

Proposed Commercial Redevelopment (For S16 Application) - Basement 4 Floor Plan

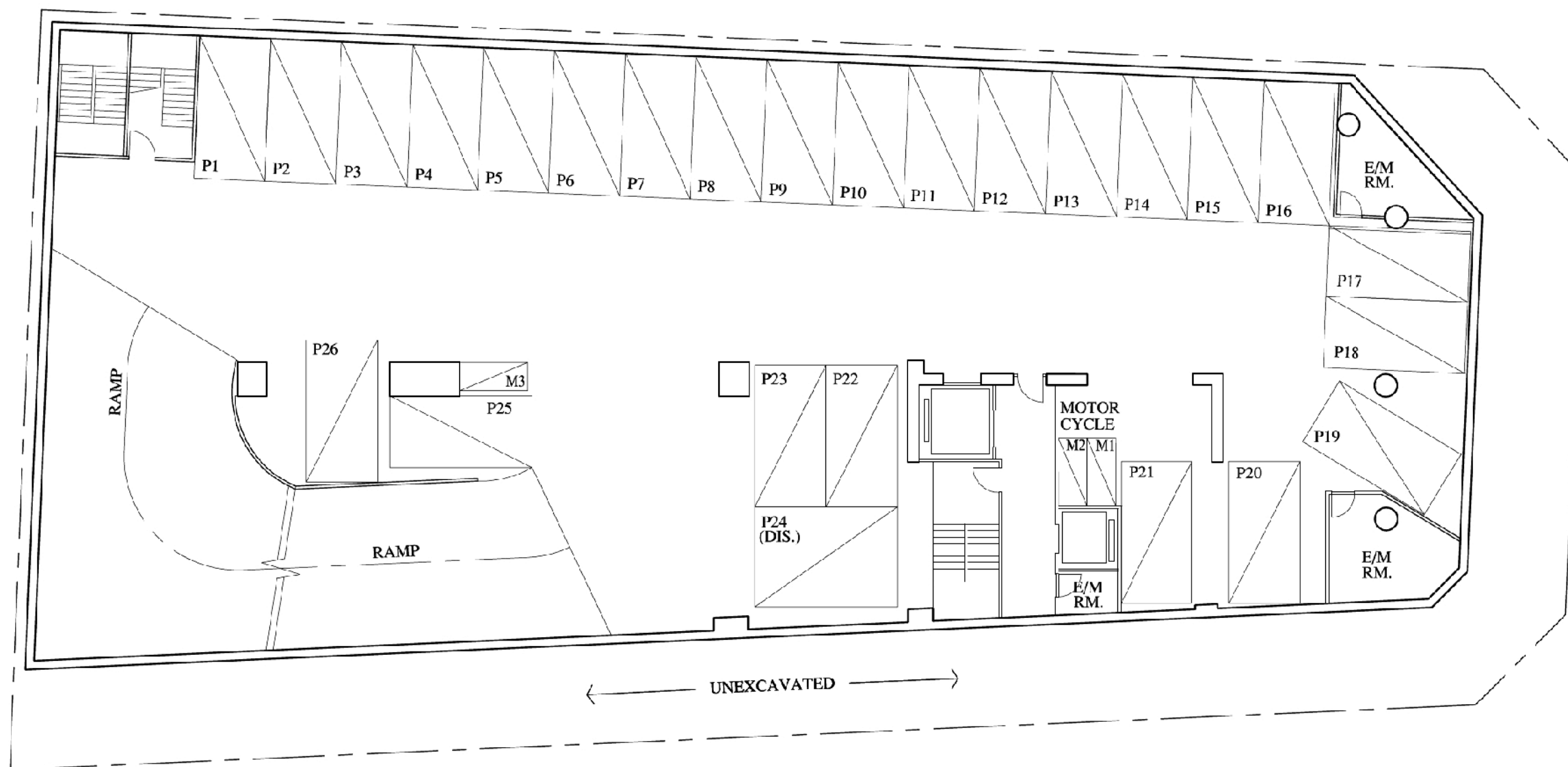
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所(香港)有限公司
 SK-01-01 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-1

(來源：附錄 1c)
 (Source : Appendix 1c)



Proposed Commercial Redevelopment (For S16 Application) - Basement 3 Floor Plan

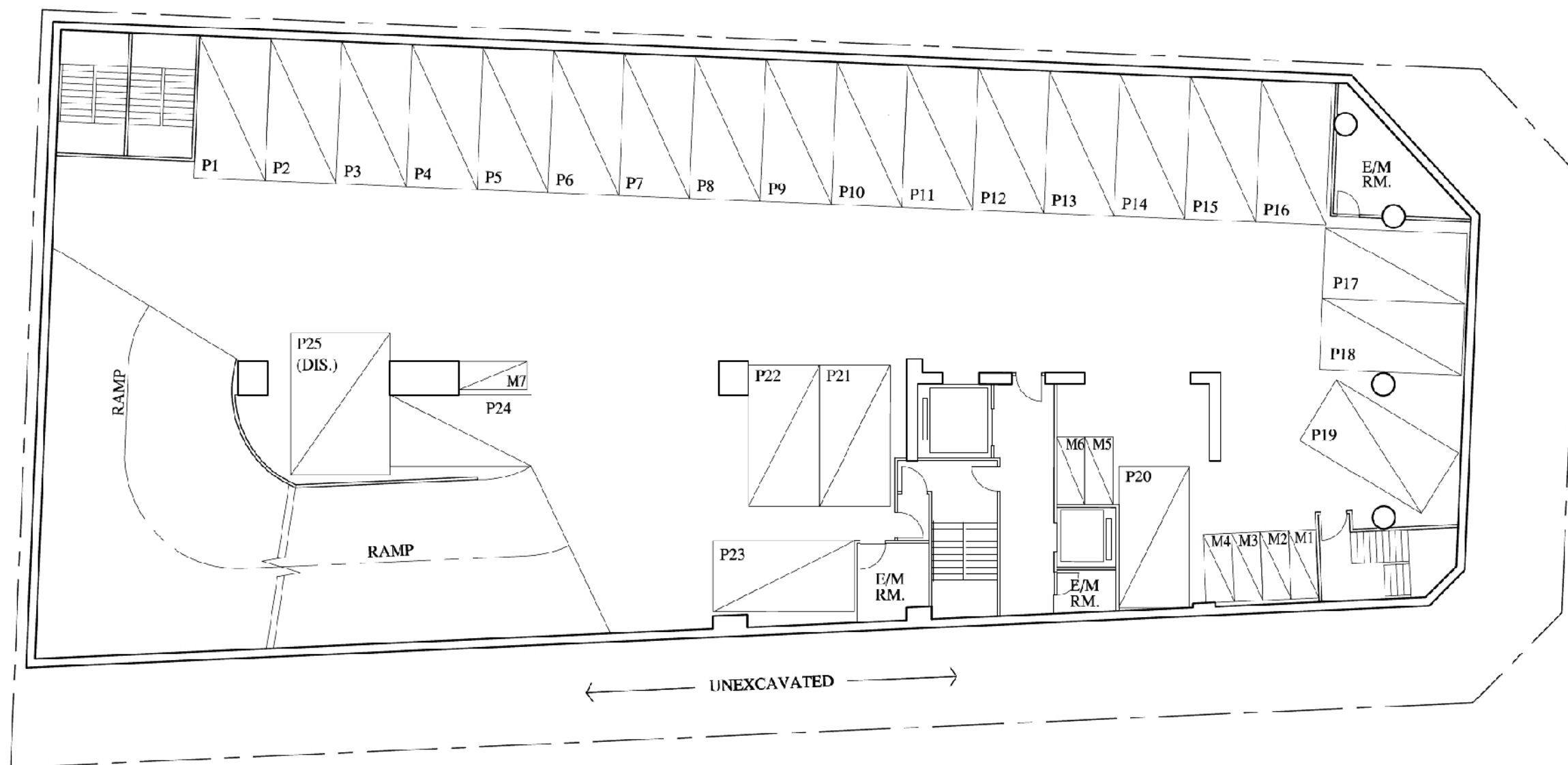
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬景建築師事務所 (香港) 有限公司
 SK-01-02 (Scale 1:150)
 03-01-2020

馬景

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-2

(來源：附錄 1c)
 (Source: Appendix 1c)



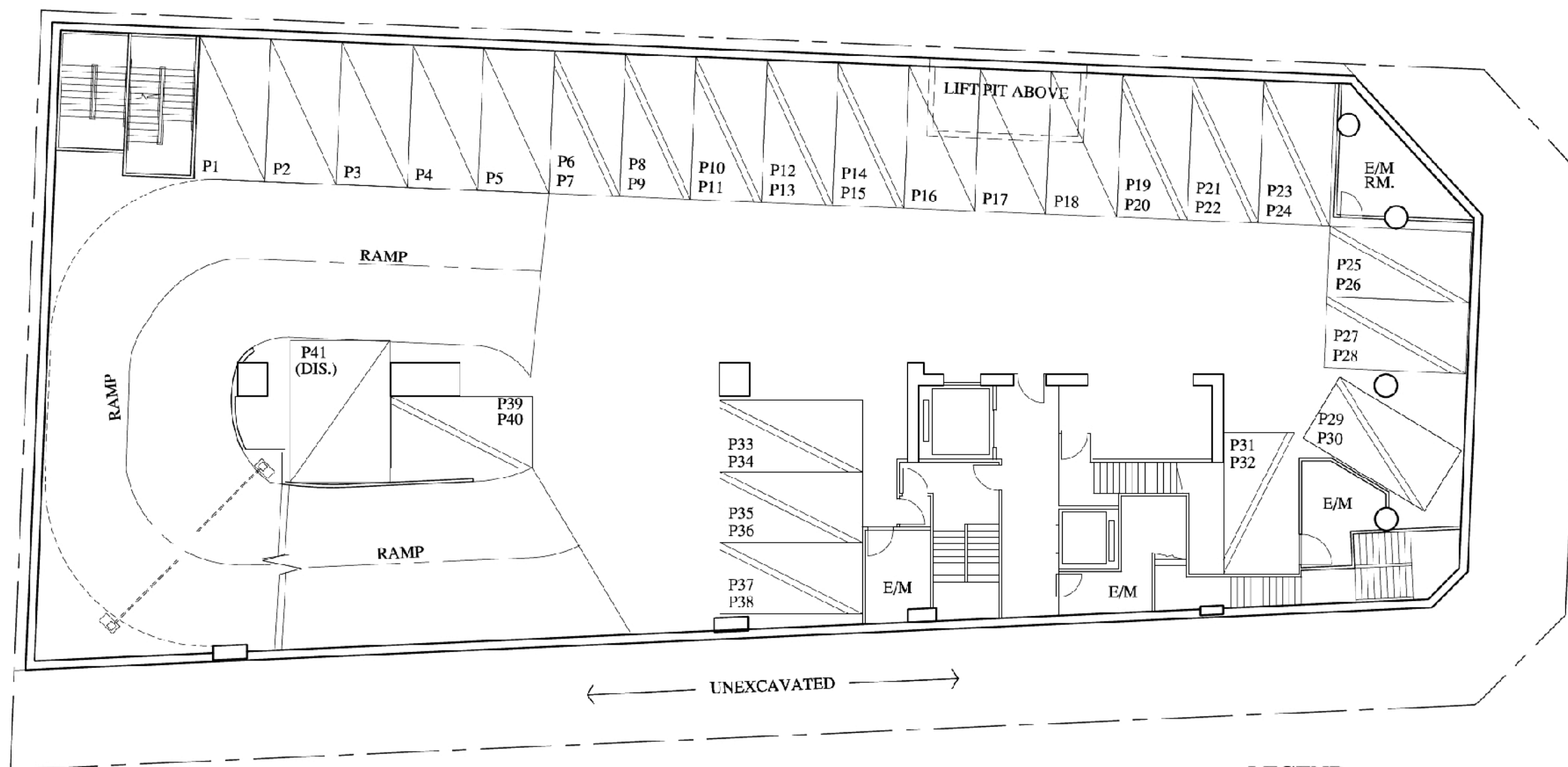
Proposed Commercial Redevelopment (For S16 Application) - Basement 2 Floor Plan

NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

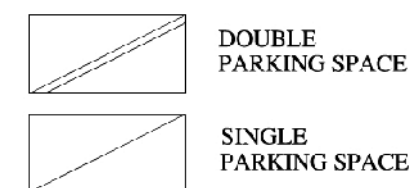


參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-3

(來源：附錄 1c)
(Source: Appendix 1c)



LEGEND :



Proposed Commercial Redevelopment (For S16 Application) - Basement 1 Floor Plan

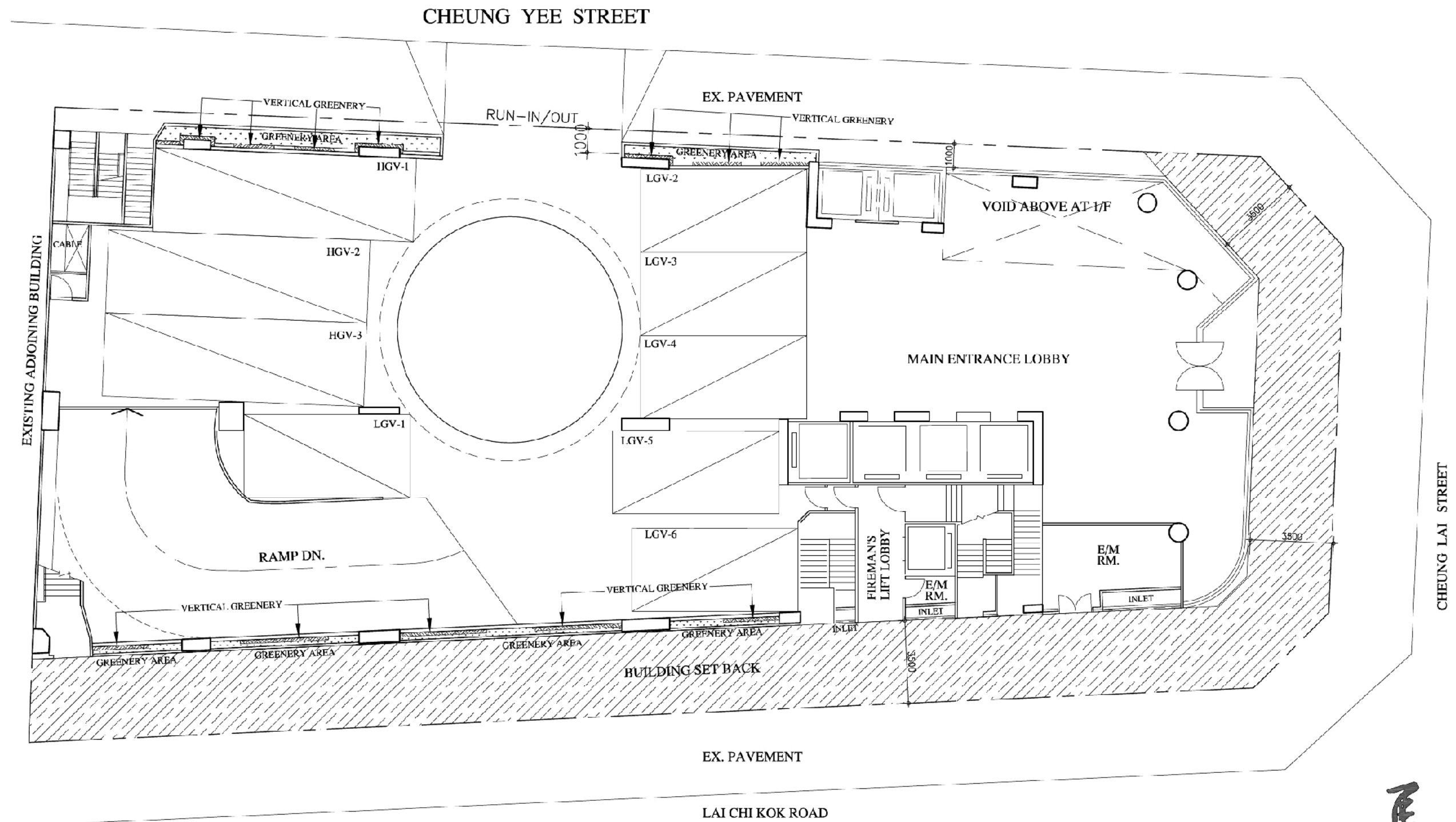
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所(香港)有限公司
 SK-01-04 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-4

(來源：附錄 1c)
 (Source : Appendix 1c)



Proposed Commercial Redevelopment (For S16 Application) - Ground Floor Plan

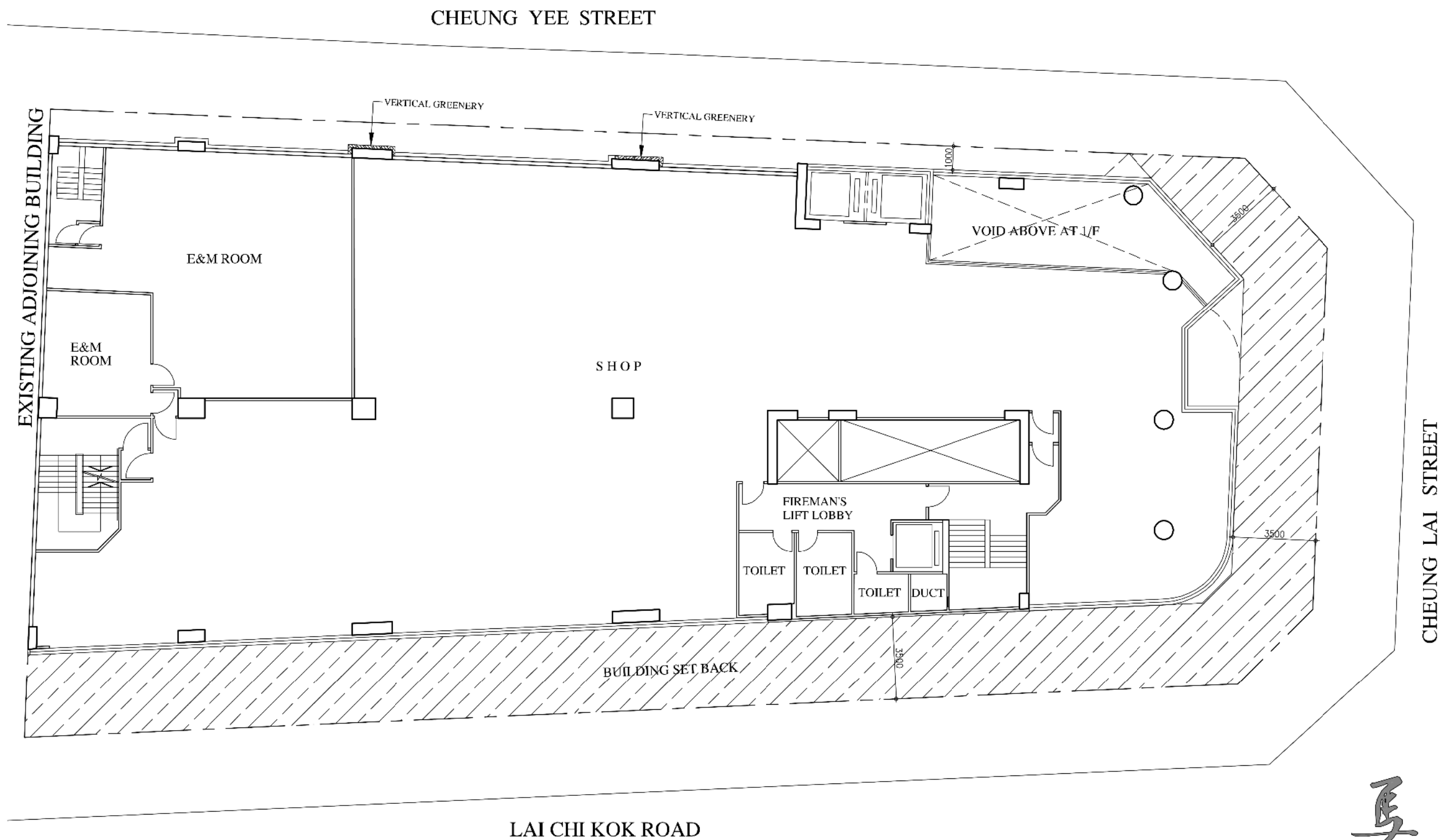
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬景建築師事務所 (香港) 有限公司
 SK-01-05 (Scale 1:150)
 03-01-2020



參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-5

(來源：附錄 1c)
 (Source: Appendix 1c)



Proposed Commercial Redevelopment (For S16 Application) - 1st Floor Plan

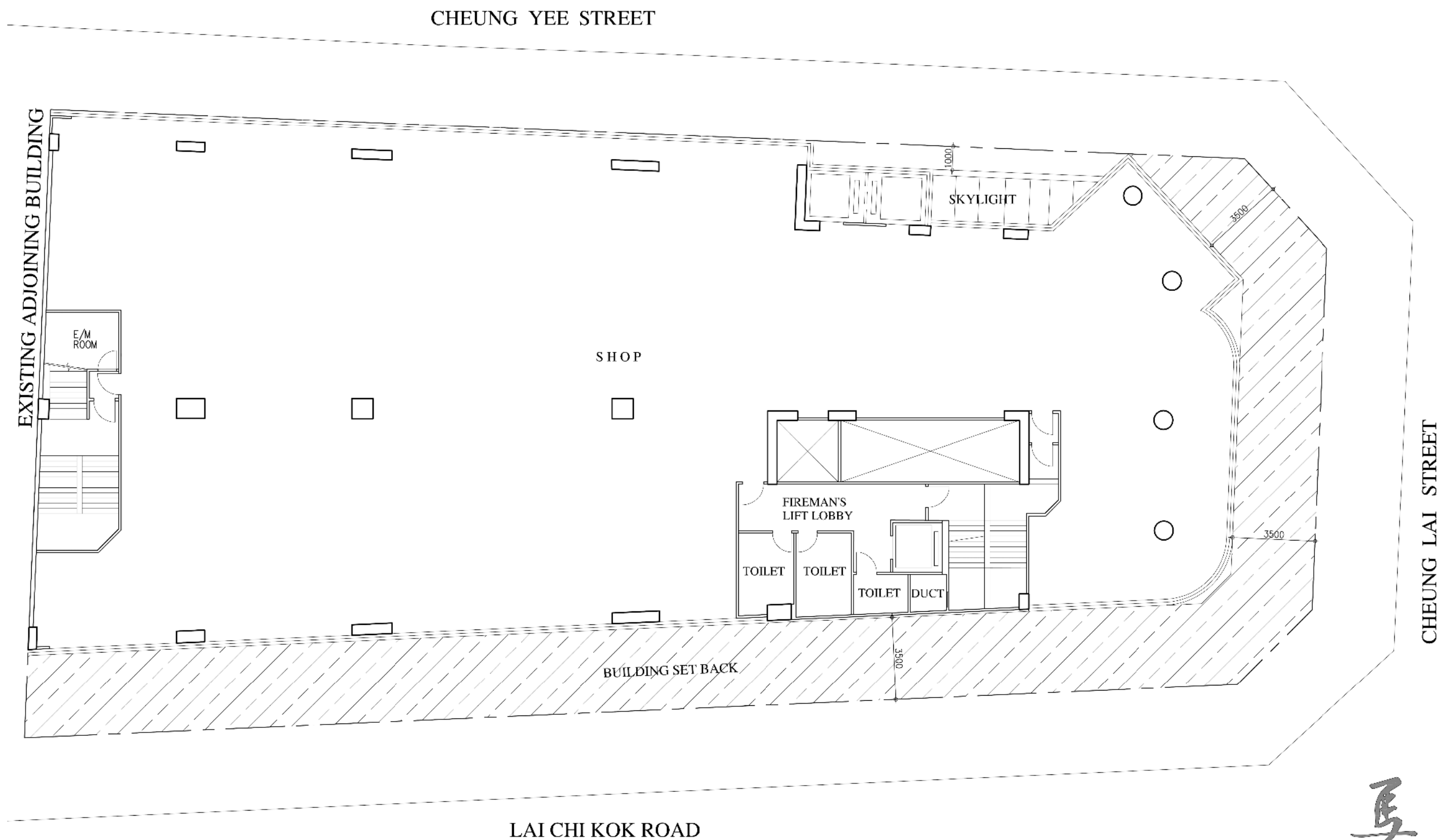
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所(香港)有限公司
 SK-01-06 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-6

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 2nd Floor Plan

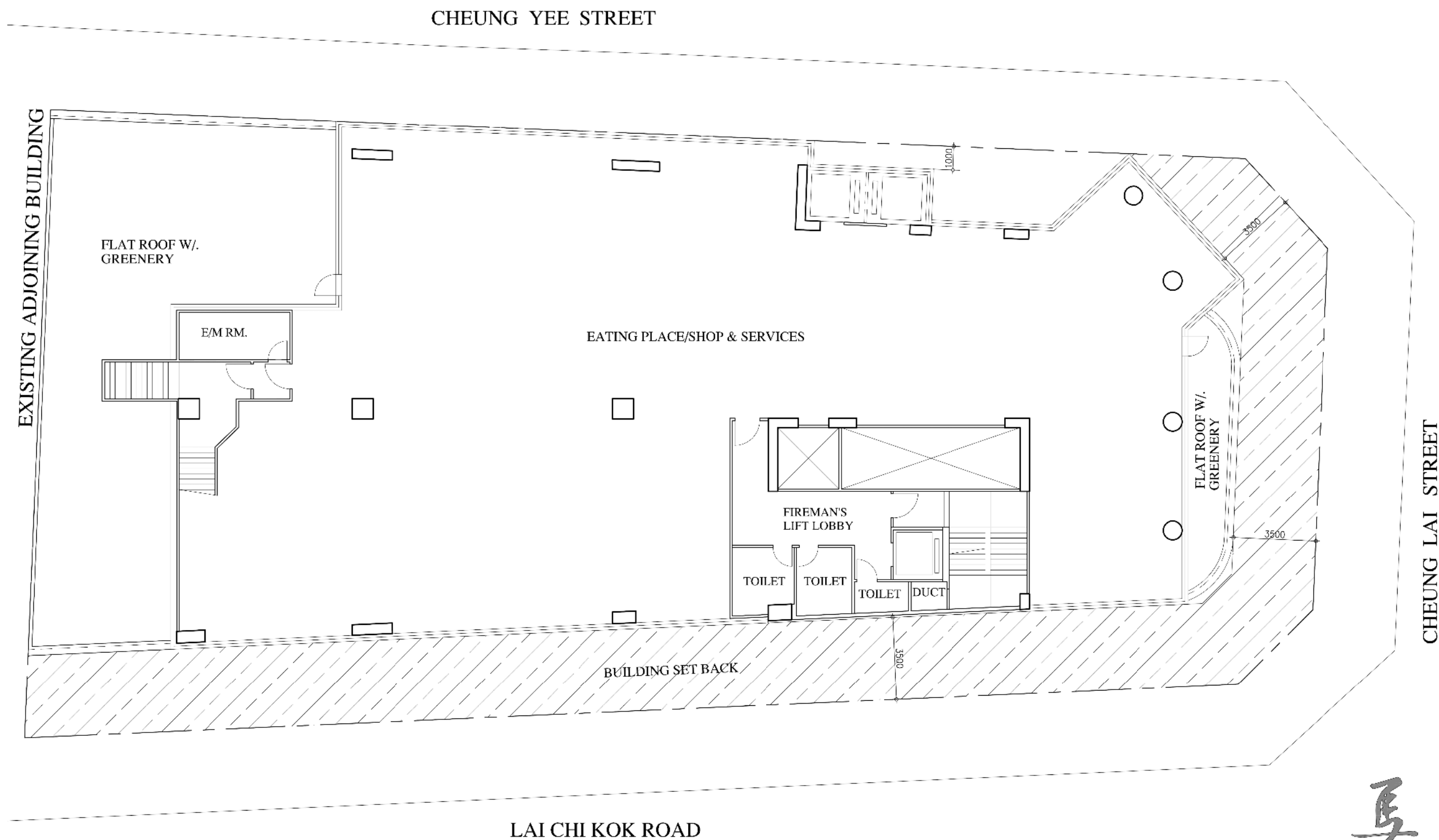
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬樂達建築師事務所(香港)有限公司
 SK-01-07 (Scale 1:150)
 03-01-2020

馬樂達

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-7

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 3rd Floor Plan

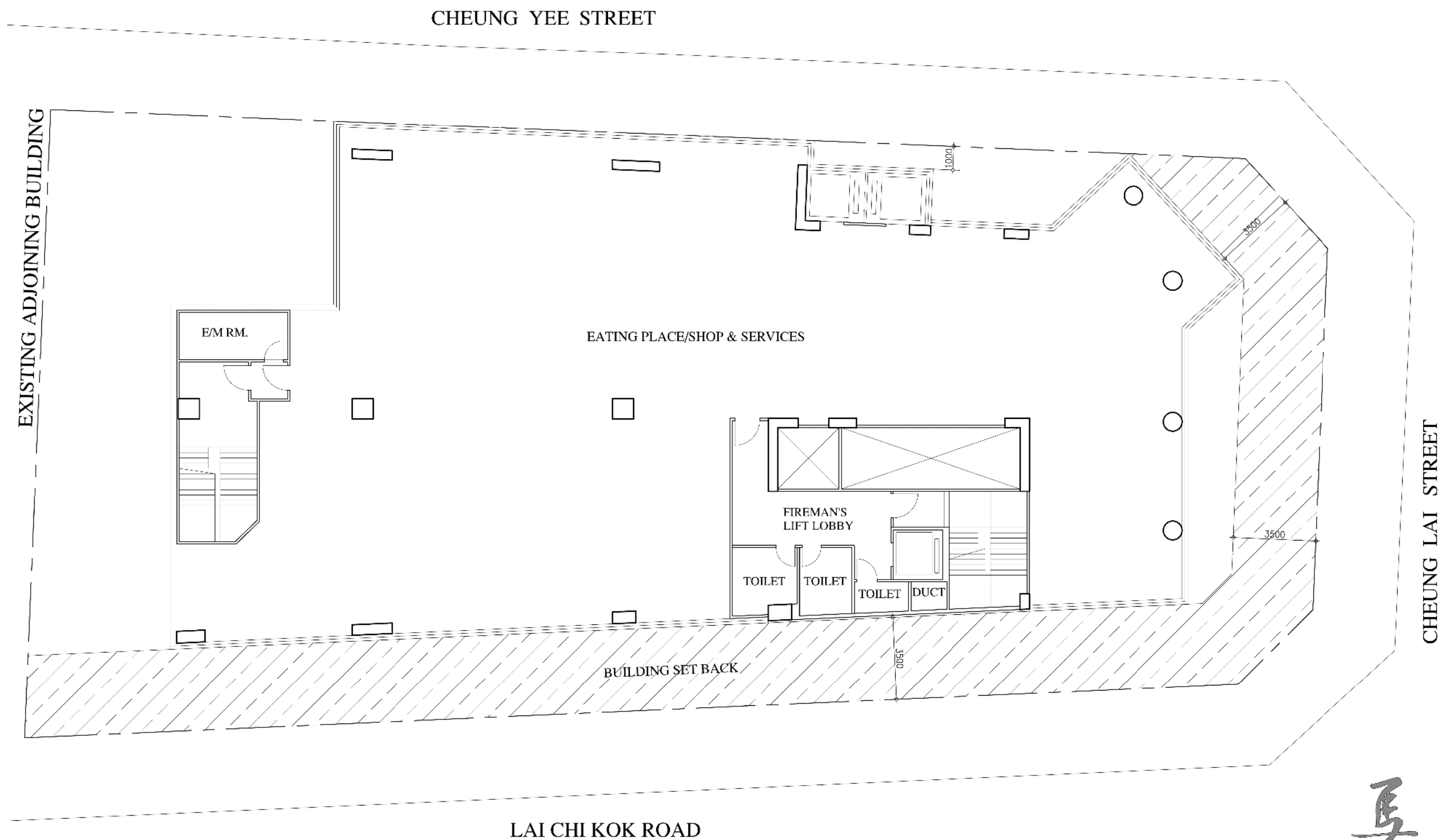
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-08 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-8

(來源：附錄 Ib)
 (Source: Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 4th Floor Plan

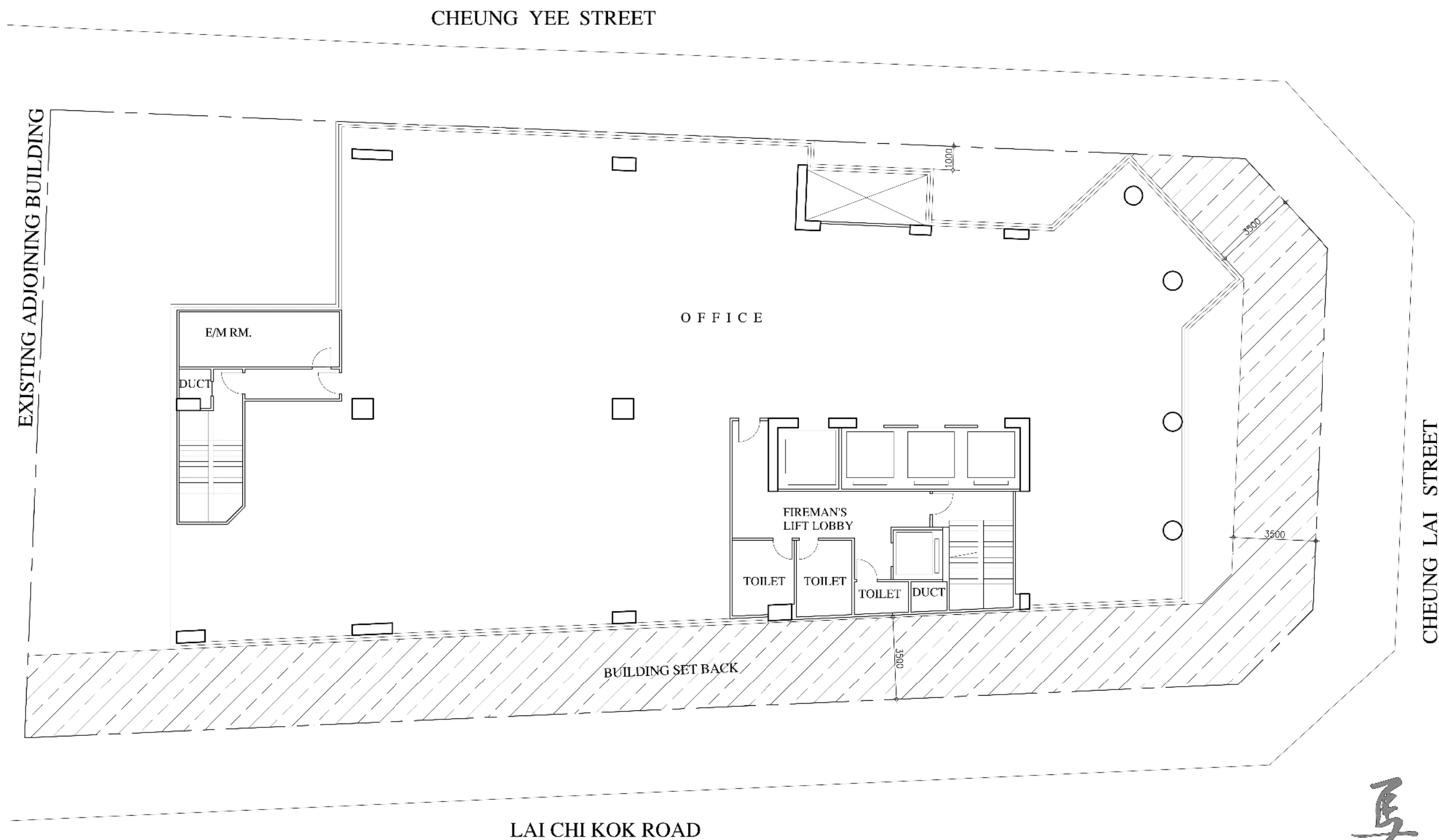
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬堤建築師事務所 (香港) 有限公司
 SK-01-09 (Scale 1:150)
 03-01-2020

馬堤

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-9

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 5th Floor Plan

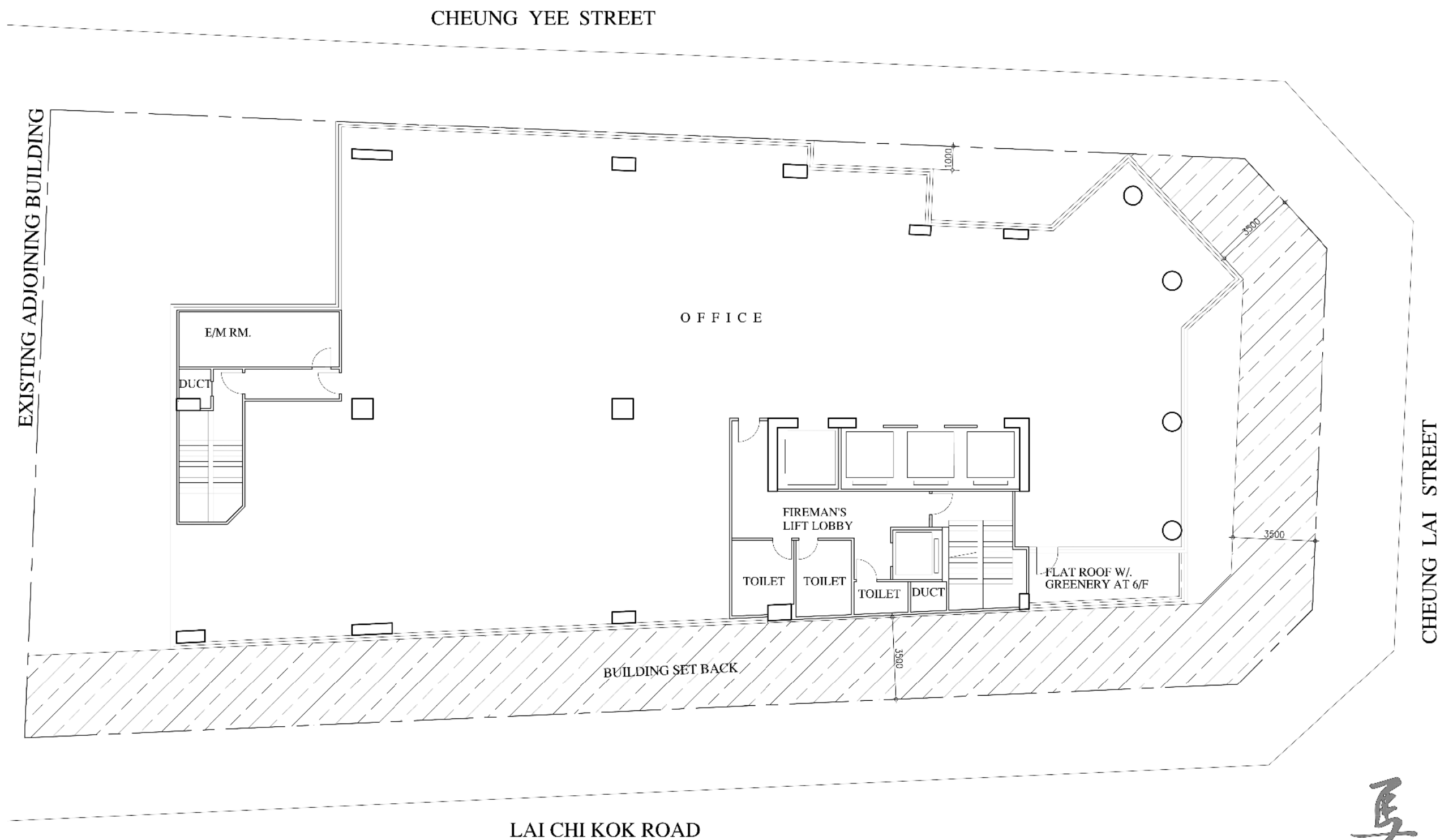
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-10 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-10

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 6th & 7th Floor Plan

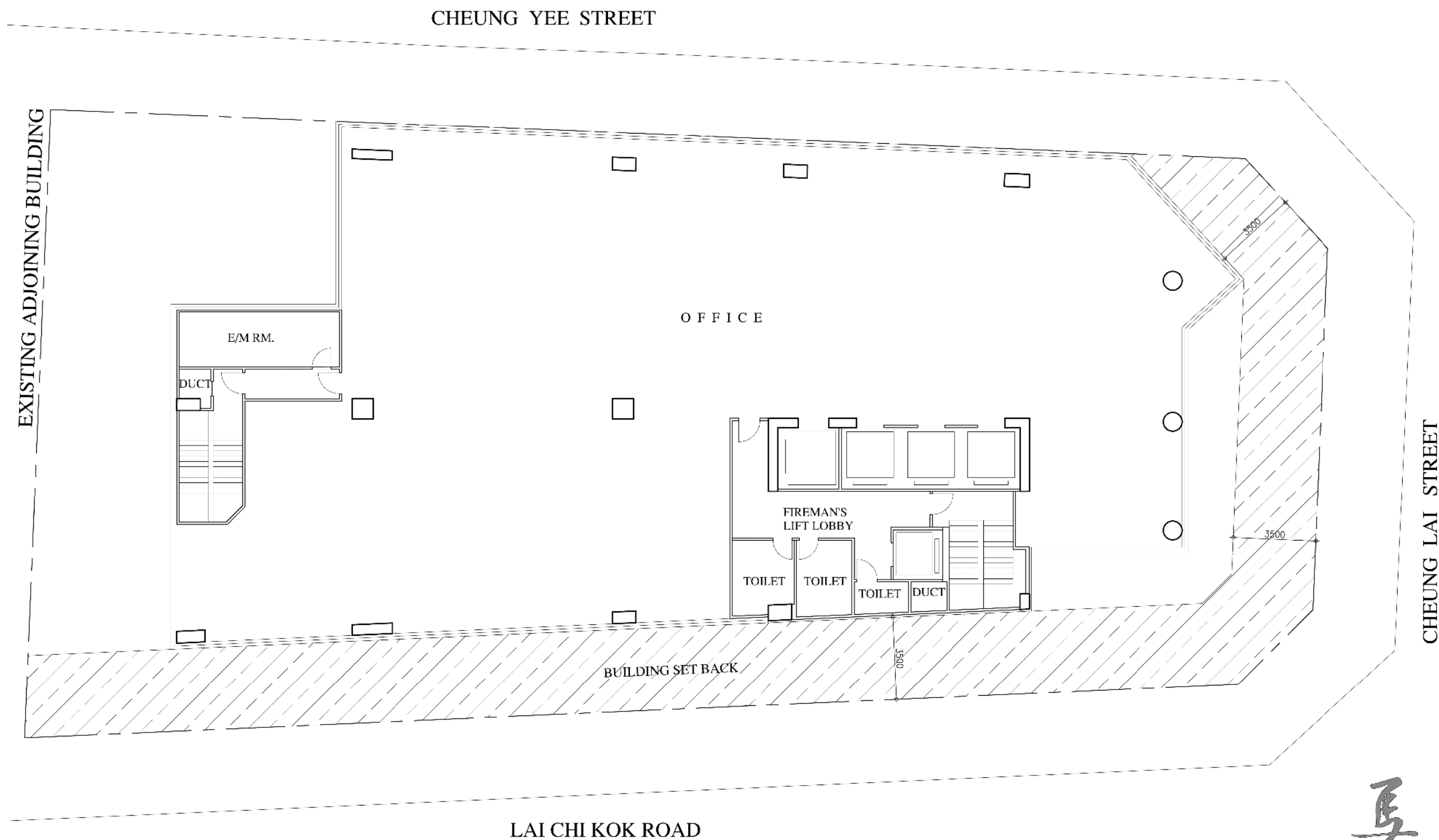
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬景濤建築師事務所(香港)有限公司
 SK-01-11 (Scale 1:150)
 03-01-2020

馬景濤

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-11

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 8th & 9th Floor Plan

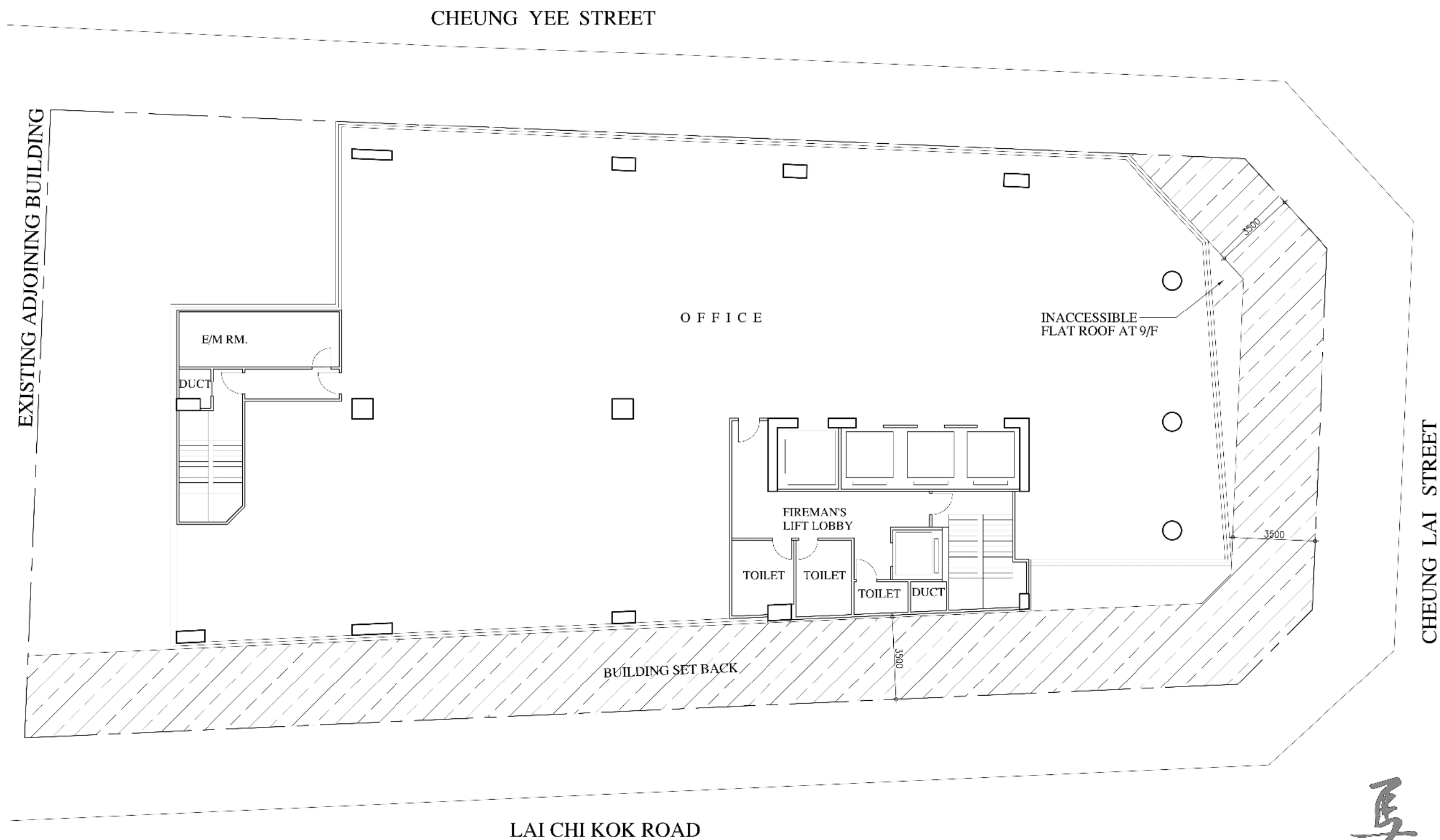
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-12 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-12

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 10th & 11th Floor Plan

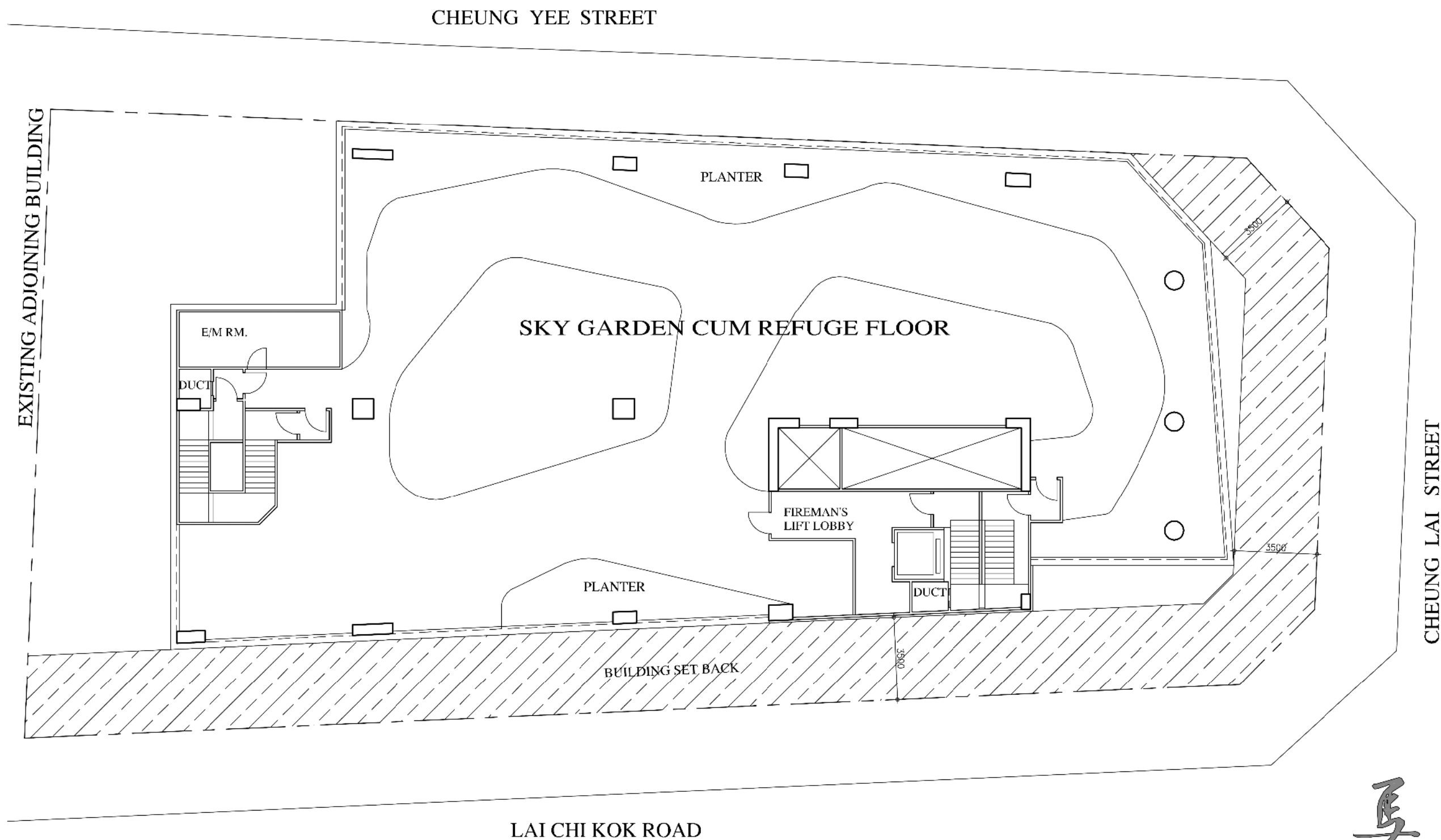
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-13 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-13

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 12th Floor Plan

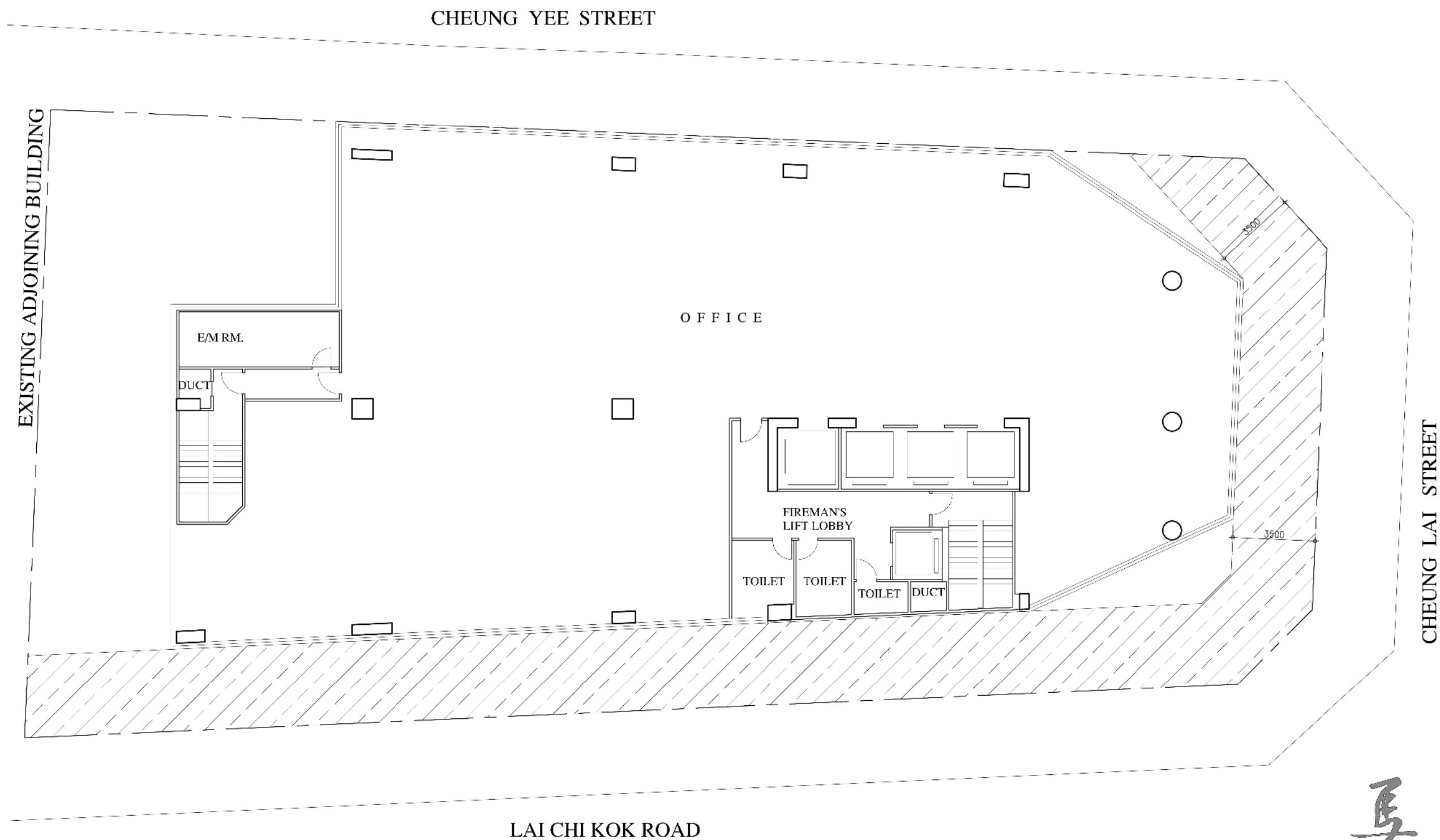
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬家建築師事務所(香港)有限公司
 SK-01-14 (Scale 1:150)
 03-01-2020

馬家

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-14

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - 13th TO 26th Floor Plan

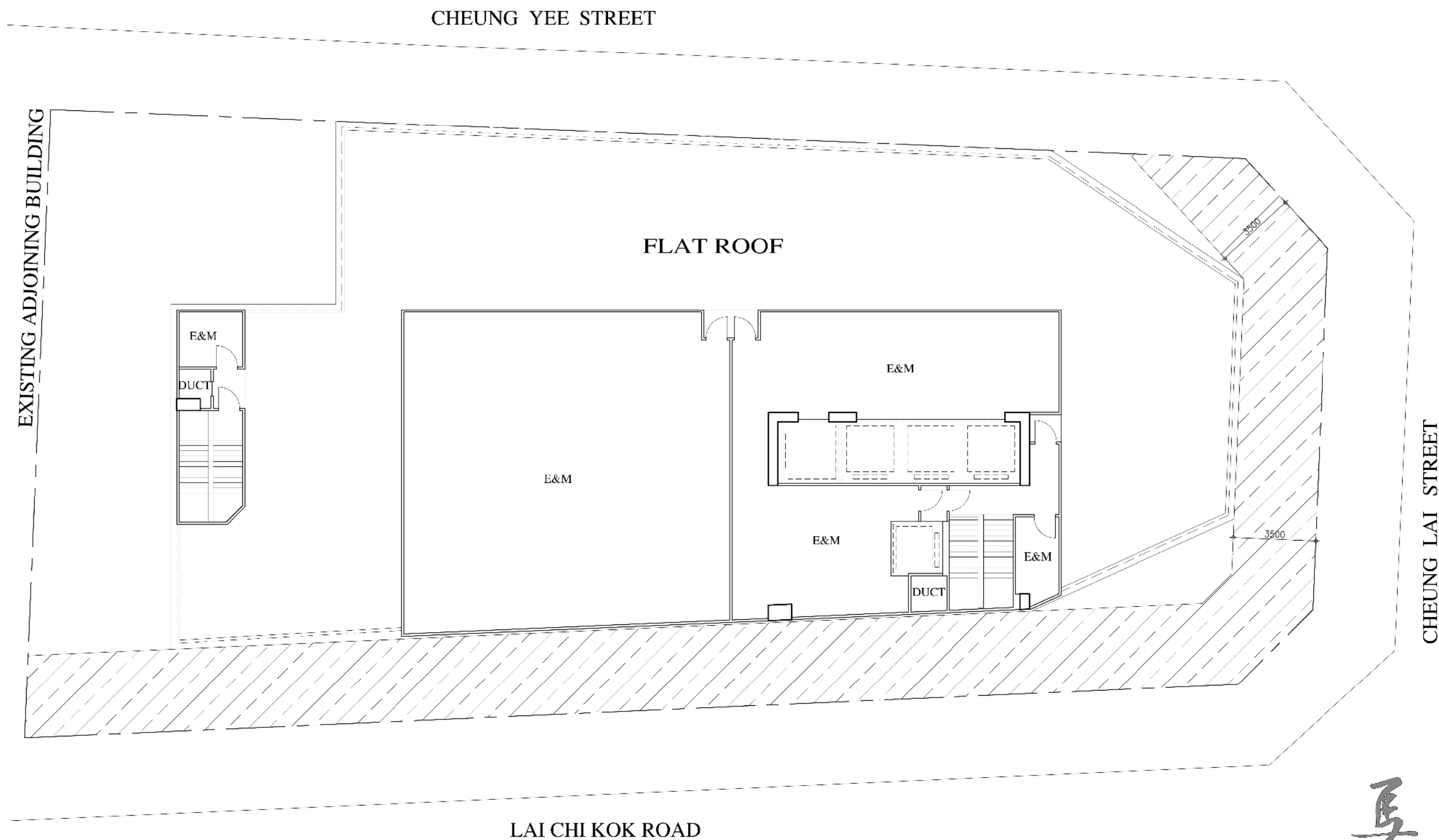
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-15 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-15

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - Roof Plan

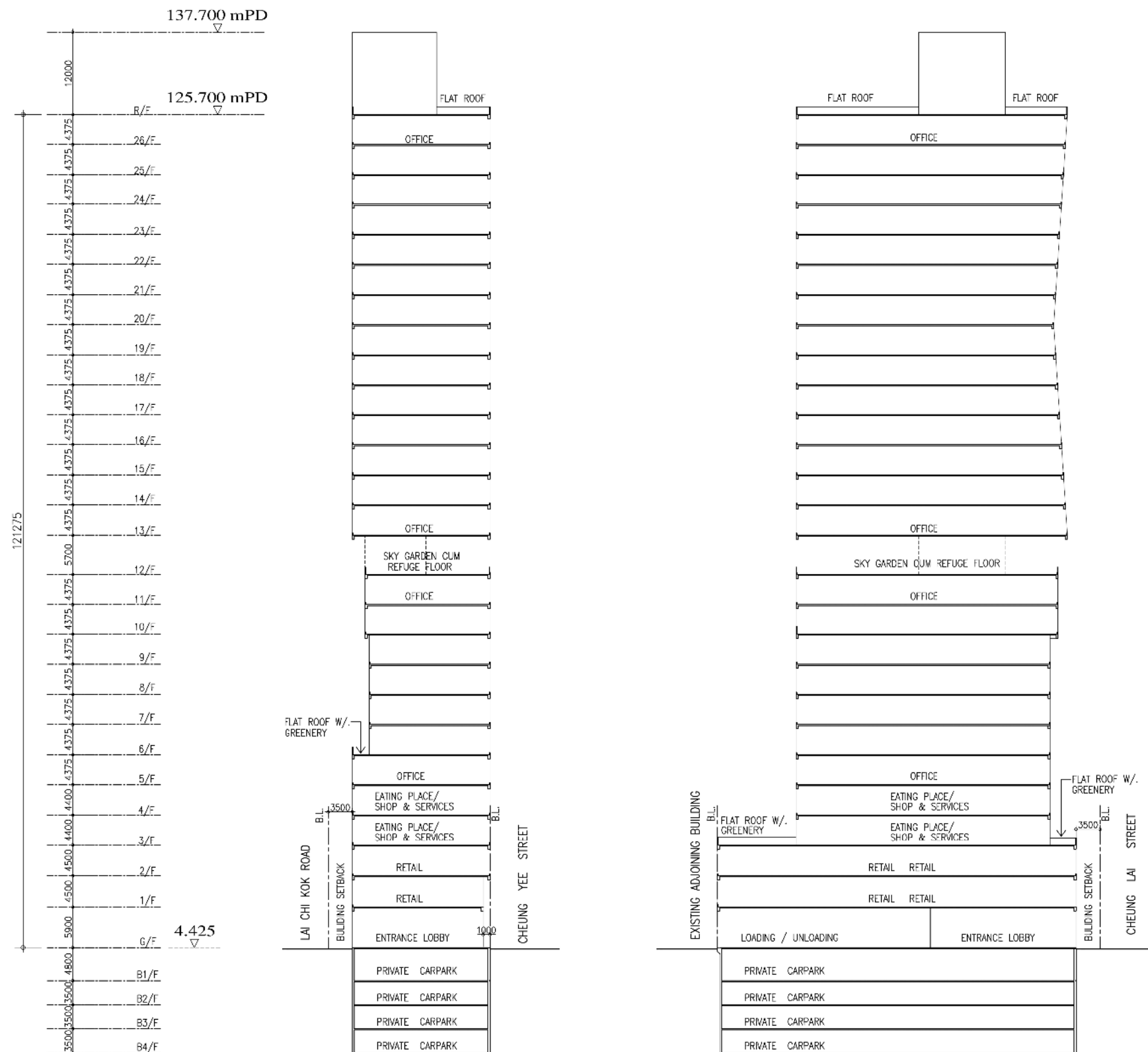
NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong

MLA
 ARCHITECTS (HK) LTD
 馬梁建築師事務所 (香港) 有限公司
 SK-01-17 (Scale 1:150)
 03-01-2020

馬梁

參考編號 REFERENCE No.	繪圖 DRAWING
A/K5/813	A-16

(來源：附錄 Ib)
 (Source : Appendix Ib)



Proposed Commercial Redevelopment (For S16 Application) - Diagrammatic Section

NO. 5568 AT NO. 822 Lai Chi Kok Road, Hong Kong



參考編號 REFERENCE No. A/K5/813	繪圖 DRAWING A-17
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(來源：附錄 Ib)
(Source : Appendix Ib)

PLANNING AND DESIGN MERITS

① Incorporation of Sky Garden

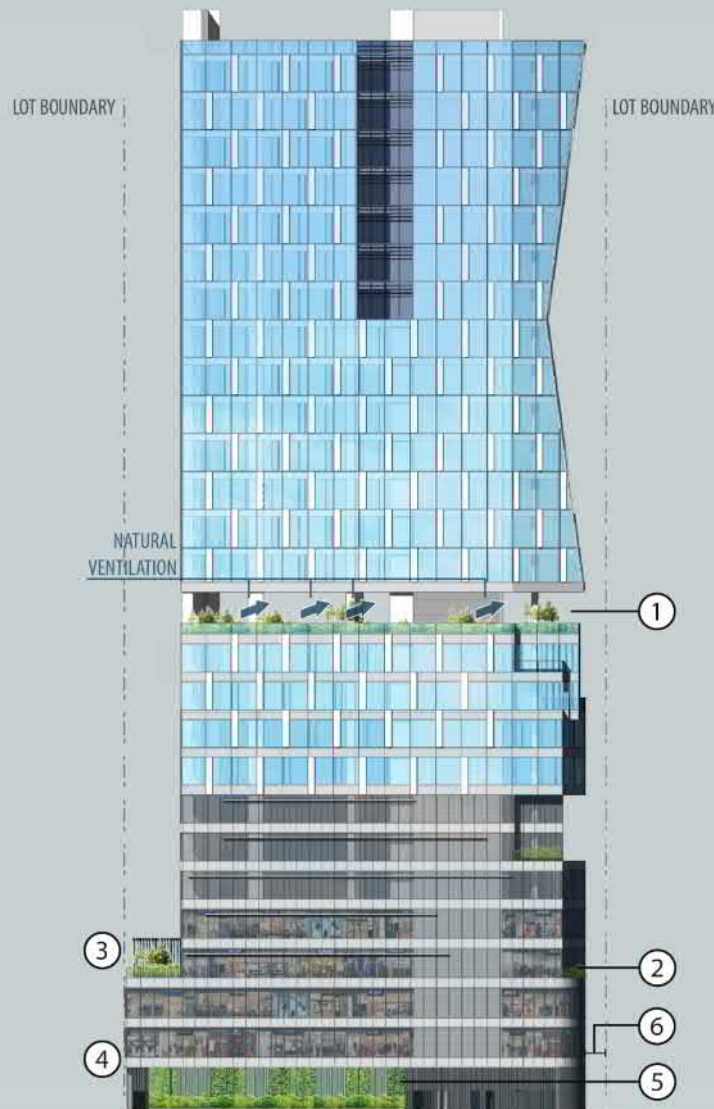
The sky garden will be incorporated on 12/F, designed with plenty of greeneries. It does not only enhance the visual quality of the Proposed Development and facilitate urban ventilation, but also serve as a new focal point for social gathering for future users.

② Recessed Terraces with Greeneries

A series of recessed terraces will be incorporated at various lower levels to enhance visual quality by providing additional greenery and breaking up the visual plainness and bulkiness of the building façades. The vegetation and shades provided by the terraces will also contribute to enhance the micro-climate at pedestrian level.

③ Flat Roof with Greenery on 3/F

The greenery on flat roof can effectively reduce the solar heat gain of the building and hence reduce the cooling load and energy consumption.



④ Incorporation of Vertical Green Wall

The vertical green wall is incorporated on the building façade along Lai Chi Kok Road and Cheung Yee Street at pedestrian level to enhance streetscape and alleviate traffic pollution.

⑤ Incorporation of Road Side Planters

Plenty of road side planters are incorporated in the building design along Lai Chi Kok Road and Cheung Yee Street to enhance pedestrian experience by improving micro-climate at pedestrian level.

⑥ Realisation of Building Setback

3.5m building setback from the lot boundary abutting Cheung Lai Street and Lai Chi Kok Road are incorporated. The setback area will be paved and opened for public circulation purposes.

⑦ Voluntary Building Setback

Additional 1m building setback from the lot boundary abutting Cheung Yee Street at G/F and 1/F with clear headroom of 10.4m. The setback area includes pavement and planters.

** for indicative purpose only*

Elevation of the Proposed Development
(FACING LAI CHI KOK ROAD)

PROPOSED COMMERCIAL REDEVELOPMENT
ON NKIL NO. 5568 AT NO. 822 LAI CHI KOK ROAD,



參考編號
REFERENCE No.
A/K5/813

繪圖
DRAWING
A-18

(來源：附錄 Ib)
(Source : Appendix Ib)

PLANNING AND DESIGN MERITS

① Incorporation of Sky Garden

The sky garden will be incorporated on 12/F, designed with plenty of greeneries. It does not only enhance the visual quality of the Proposed Development and facilitate urban ventilation, but also serve as a new focal point for social gathering for future users.

② Recessed Terraces with Greeneries

A series of recessed terraces will be incorporated at various lower levels to enhance visual quality by providing additional greenery and breaking up the visual plainness and bulkiness of the building façades. The vegetation and shades provided by the terraces will also contribute to enhance the micro-climate at pedestrian level.

③ Flat Roof with Greenery on 3/F

The greenery on flat roof can effectively reduce the solar heat gain of the building and hence reduce the cooling load and energy consumption.



④ Incorporation of Vertical Green Wall

The vertical green wall is incorporated on the building façade along Lai Chi Kok Road and Cheung Yee Street at pedestrian level to enhance streetscape and alleviate traffic pollution.

⑤ Incorporation of Road Side Planters

Plenty of road side planters are incorporated in the building design along Lai Chi Kok Road and Cheung Yee Street to enhance pedestrian experience by improving micro-climate at pedestrian level.

⑥ Realisation of Building Setback

3.5m building setback from the lot boundary abutting Cheung Lai Street and Lai Chi Kok Road are incorporated. The setback area will be paved and opened for public circulation purposes.

⑦ Voluntary Building Setback

Additional 1m building setback from the lot boundary abutting Cheung Yee Street at G/F and 1/F with clear headroom of 10.4m. The setback area includes pavement and planters.

** for indicative purpose only*

Elevation of the Proposed Development
(FACING CHEUNG YEE STREET)

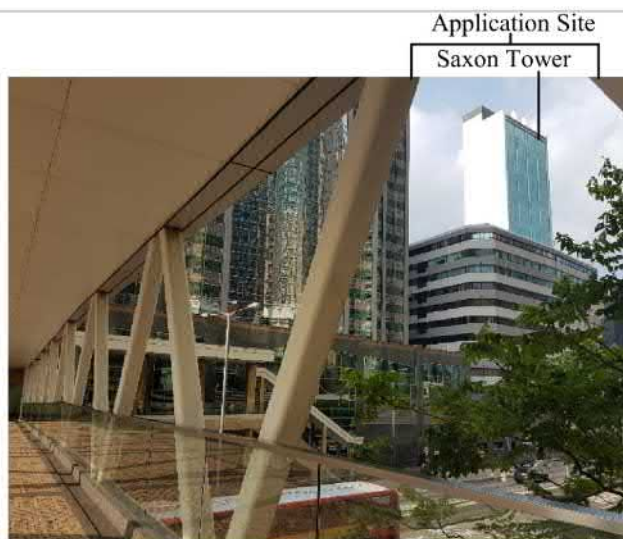
PROPOSED COMMERCIAL REDEVELOPMENT
ON NKIL NO. 5568 AT NO. 822 LAI CHI KOK ROAD,



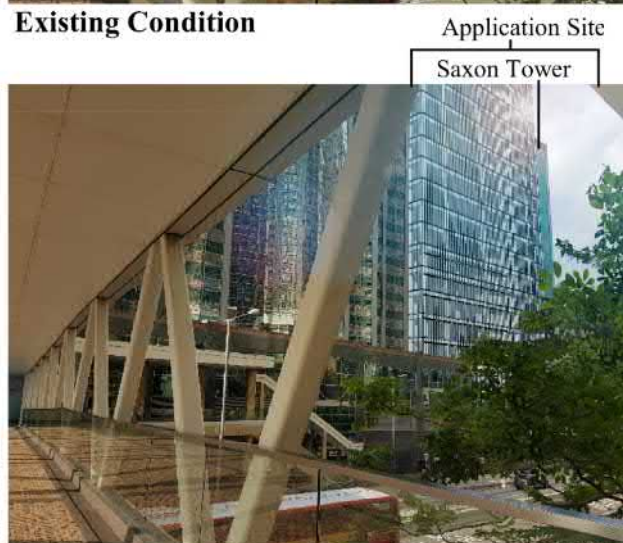
參考編號
REFERENCE No.
A/K5/813

繪圖
DRAWING
A-19

(來源：附錄 Ib)
(Source : Appendix Ib)



Existing Condition



OZP Compliance Scheme



Proposed Scheme

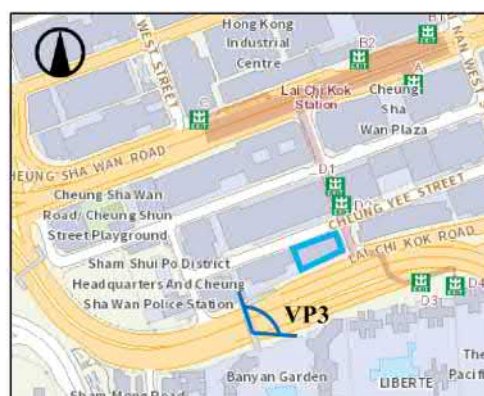


Figure No.	Scale	Figure Title
5	-	Viewing Point 3 - Footbridge linking Cheung Sha Wan Industrial/Business Area and Banyan Garden
ARUP	Date Oct 2019	Source -

參考編號
REFERENCE No.
A/K5/813

繪圖
DRAWING
A-20

(來源：附錄 Ia)
(Source : Appendix Ia)



Existing Condition



OZP Compliance Scheme



Proposed Scheme

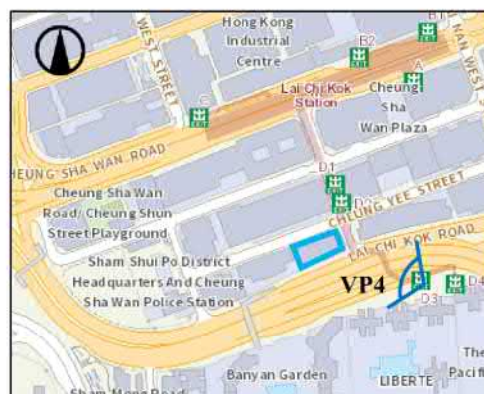


Figure No.	Scale	Figure Title
6	-	Viewing Point 4 - Lai Chi Kok MTR Exit D3 on Lai Chi Kok Road
ARUP	Date Oct 2019	Source -

參考編號 REFERENCE No. A/K5/813	繪圖 DRAWING A-21
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(來源：附錄 Ia)
(Source : Appendix Ia)



Existing Condition



OZP Compliance Scheme



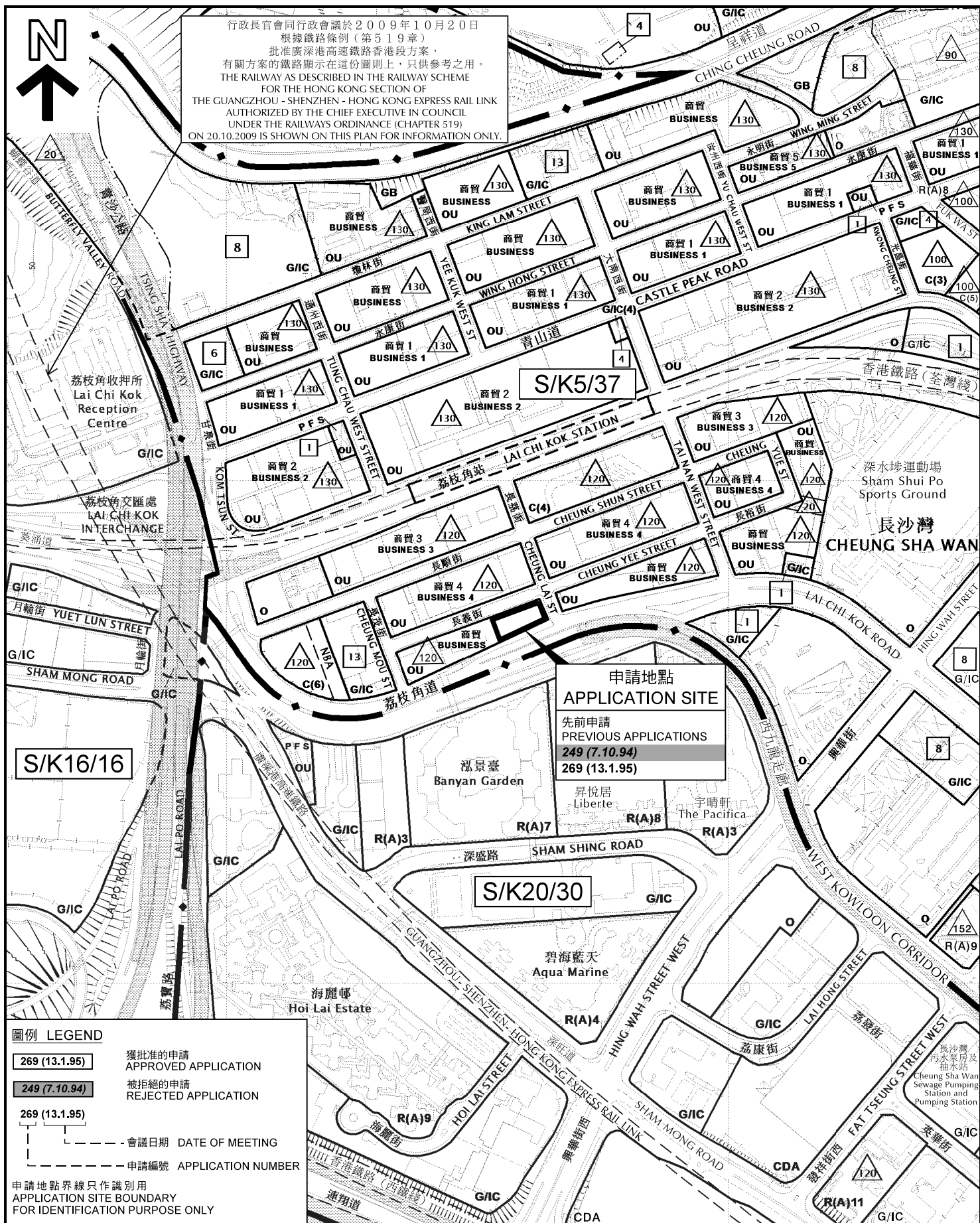
Proposed Scheme



Figure No.	Scale	Figure Title
7	-	Viewing Point 5 - Sham Shui Po Sports Ground
ARUP	Date Oct 2019	Source -

參考編號 REFERENCE No. A/K5/813	繪圖 DRAWING A-22
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(來源：附錄 Ia)
(Source : Appendix Ia)



位置圖 LOCATION PLAN

擬議略為放寬地積比率及建築物高度限制
九龍長沙灣荔枝角道822號

PROPOSED MINOR RELAXATION OF PLOT RATIO AND
BUILDING HEIGHT RESTRICTIONS
822 LAI CHI KOK ROAD, CHEUNG SHA WAN, KOWLOON

本摘要圖於2020年2月21日擬備，所根據的資料為
於2016年12月6日核准的分區計劃大綱圖編號
S/K5/37，於2013年10月8日核准的分區計劃
大綱圖編號S/K16/16和於2014年9月23日核准的
分區計劃大綱圖編號S/K20/30
EXTRACT PLAN PREPARED ON 21.2.2020
BASED ON OUTLINE ZONING PLANS No.
S/K5/37 APPROVED ON 6.12.2016
S/K16/16 APPROVED ON 8.10.2013 AND
S/K20/30 APPROVED ON 23.9.2014

米 100 0 100 200 米
METRES SCALE 1:5 000 比例尺

規劃署
PLANNING
DEPARTMENT



參考編號
REFERENCE No.

A/K5/813

圖 PLAN

A-1



圖例 LEGEND

-  申請地點 (界線只作識別用)
APPLICATION SITE (BOUNDARY FOR IDENTIFICATION PURPOSE ONLY)
-  後移
SETBACK
-  商業
COMMERCIAL
-  其他指定用途「商貿」
OTHER SPECIFIED USES (BUSINESS)
-  實地照片的觀景點
VIEWING POINT OF SITE PHOTO

平面圖 SITE PLAN

擬議略為放寬地積比率及建築物高度限制
九龍長沙灣荔枝角道822號

PROPOSED MINOR RELAXATION OF PLOT RATIO AND
BUILDING HEIGHT RESTRICTIONS
822 LAI CHI KOK ROAD, CHEUNG SHA WAN, KOWLOON

SCALE 1 : 1 000 比例尺
米 20 0 20 40 米
METRES

規劃署
PLANNING
DEPARTMENT



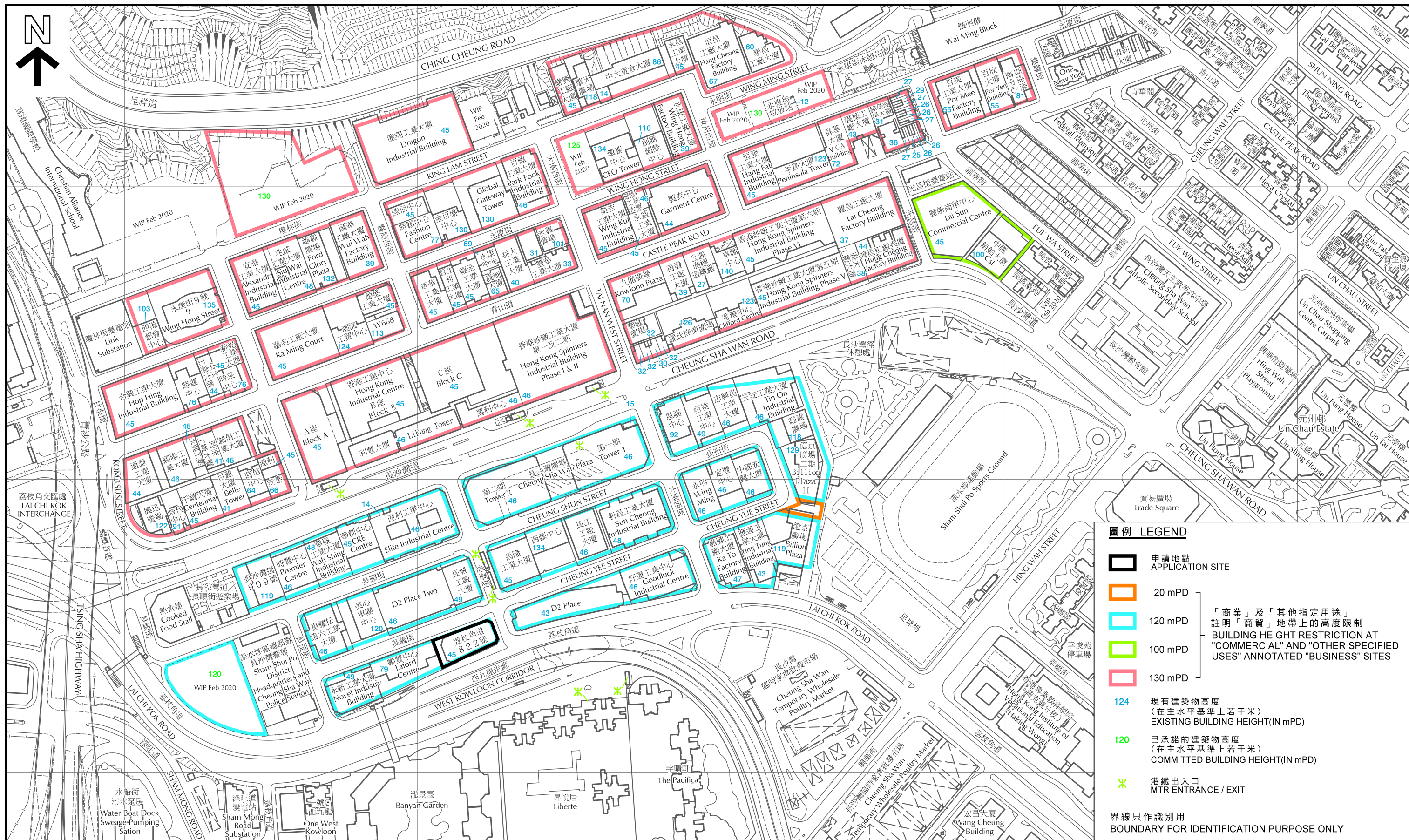
參考編號
REFERENCE No.

A/K5/813

圖 PLAN

A-2

本摘要圖於2020年2月21日擬備，所根據的資料為測量圖編號11-NW-8C
EXTRACT PLAN PREPARED ON 21.2.2020
BASED ON SURVEY SHEET No.
11-NW-8C



圖例 LEGEND

- 申請地點 APPLICATION SITE
- 20 mPD
- 120 mPD
- 100 mPD
- 130 mPD

「商業」及「其他指定用途」註明「商貿」地帶上的高度限制
BUILDING HEIGHT RESTRICTION AT "COMMERCIAL" AND "OTHER SPECIFIED USES" ANNOTATED "BUSINESS" SITES

- 124 現有建築物高度 (在主水平基準上若干米)
EXISTING BUILDING HEIGHT (IN mPD)
- 120 已承諾的建築物高度 (在主水平基準上若干米)
COMMITTED BUILDING HEIGHT (IN mPD)
- 港鐵出入口 MTR ENTRANCE / EXIT

界線只作識別用
BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

長沙灣工業/商貿區內現有建築物高度

HEIGHT OF EXISTING BUILDINGS IN CHEUNG SHA WAN INDUSTRIAL / BUSINESS AREA

擬議略為放寬地積比率及建築物高度限制

九龍長沙灣荔枝角道822號

PROPOSED MINOR RELAXATION OF PLOT RATIO AND BUILDING HEIGHT RESTRICTIONS
822 LAI CHI KOK ROAD, CHEUNG SHA WAN, KOWLOON

SCALE 1 : 3 000 比例尺
METRES 50 0 50 100 150 200 250 METRES

本摘要圖於2020年3月4日擬備
所根據的資料為測量圖編號
11-NW-7B及D和11-NW-8A、B、C及D
EXTRACT PLAN PREPARED ON 4.3.2020
BASED ON SURVEY SHEETS No.
11-NW-7B & D AND 11-NW-8A,B,C & D

規劃署
PLANNING DEPARTMENT



參考編號
REFERENCE No.
A/K5/813

圖 PLAN
A-3

勵豐中心
Laford Centre

西頓中心
Saxon Tower

荔枝角道822號
822 Lai Chi Kok Road

D2 Place

西九龍走廊
WEST KOWLOON CORRIDOR



西九龍走廊
WEST KOWLOON CORRIDOR

勵豐中心
Laford Centre

永新工業大廈
Novel Industry Building

荔枝角道822號
822 Lai Chi Kok Road

D2 Place

長荔街
CHEUNG LAI STREET



申請地點（界線只作識別用）
APPLICATION SITE
(BOUNDARY FOR IDENTIFICATION
PURPOSE ONLY)

本圖於2020年2月21日擬備，
所根據的資料為攝於2019年11月29日的
實地照片
PLAN PREPARED ON 21.2.2020
BASED ON SITE PHOTOS TAKEN ON
29.11.2019

實地照片 SITE PHOTOS

擬議略為放寬地積比率及建築物高度限制
九龍長沙灣荔枝角道822號
PROPOSED MINOR RELAXATION OF PLOT RATIO AND
BUILDING HEIGHT RESTRICTIONS
822 LAI CHI KOK ROAD, CHEUNG SHA WAN, KOWLOON

規劃署
PLANNING
DEPARTMENT



參考編號
REFERENCE No.
A/K5/813

圖 PLAN
A-4



申請地點 (界線只作識別用)
APPLICATION SITE
(BOUNDARY FOR IDENTIFICATION
PURPOSE ONLY)

本圖於2020年2月21日擬備，
所根據的資料為攝於2019年11月29日的
實地照片
PLAN PREPARED ON 21.2.2020
BASED ON SITE PHOTOS TAKEN ON
29.11.2019

實地照片 SITE PHOTOS

擬議略為放寬地積比率及建築物高度限制
九龍長沙灣荔枝角道822號

PROPOSED MINOR RELAXATION OF PLOT RATIO AND
BUILDING HEIGHT RESTRICTIONS
822 LAI CHI KOK ROAD, CHEUNG SHA WAN, KOWLOON

規劃署
PLANNING
DEPARTMENT



參考編號
REFERENCE No.
A/K5/813

圖 PLAN
A-5