
Attachment 2

Responses-to-Comments Table

RtoC Table (Departmental Comments)

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1.	Buildings Department	1
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4.	Transport Department	3

	Departmental Comments	Responses to Comments
1.	Comments from Buildings Department	
1.1	Item 5 of the “Responses to Public Comments” - Sustainable building design guidelines under PNAP-APP 152 do not provide methodology or requirements specific to microclimate evaluation.	Please find the revised responses to item 5 as follows: The Application Site does not fall within an area with any major breezeways identified. It was observed that the prevailing winds would flow along the existing road networks. The Proposed Development is to increase the building height of an existing office tower, with the footprint of the extension portion being slightly smaller than the existing footprint. Adverse air ventilation impact is not anticipated. Hence, quantitative air ventilation assessment is not required. At the subsequent detailed design stage, when preparing the General Building Plans submission, the Applicants will take into consideration various design factors such as sustainable building design guidelines, BEAM Plus requirements, etc. to ensure building sustainability performance. <i>The BEAM Plus requirements would help bring positive impacts to microclimate. In any case, the Applicants will review impacts on microclimate, if any, in detailed design stage. Adverse impacts are not anticipated with good design features to ensure sustainability adopted.</i>
1.2	Item 10 of the “Responses to Public Comments” - According to our record, there were additions and alterations (A&A) plans approved from May 2021 to September 2022 for changing part of the Office Reception Area to Shop on <u>5/F only</u> . No relevant approval in May 2022 as stated in the item 10 of the “Responses to Public Comments”.	Please be clarified that various A&A plans have been submitted for 6/F. A&A approvals for the bank on 6/F were obtained in November 2021 and January 2022. Please refer to Enclosure 1 for the relevant A&A plans and approval letters.
1.3	Our comments in DPO/HK’s email dated 10.3.2026 are still pertinent.	Noted.

	Departmental Comments	Responses to Comments
2.	Comments from Drainage Services Department	
2.1	Please include the reconstruction of sewer manhole FMH7036243 in the conclusion.	Included accordingly in Section 3.1.2, please refer to Appendix E of Attachment 1 for the revised Sewerage Impact Assessment (SIA).
2.2	“Tai Koo Shing Pumping Station” should read as “Tai Koo Shing Sewage Pumping Station”. Please update the texts.	Revised accordingly in Sections 2.5.4 and 3.1.3, please refer to Appendix E of Attachment 1 for the revised SIA.
2.3	The proposed works for lowering the existing sewers from FSH7001300 to FMH7036294 by more than 2m cannot be agreed. Please review.	As the sewage generated from the Proposed Development will occupy 5% of Tai Koo Shing Sewage Pumping Station, which is deemed insignificant, it can be deduced that the capacity of Tai Koo Shing Sewage Pumping Station and the pipes connected to Tai Koo Shing Sewage Pumping Station are enough for the sewage generated from the Proposed Development. Hence, the downstream sewers of Tai Koo Shing Sewage Pumping Station will not be affected and thereby, calculations are removed.
2.4	Please review whether the proposed works for adjusting sewer pipe invert levels from FMH7036246 to FMH7036270 can be avoided.	As the sewer capacity of S2-S4 and S7-S10 are insufficient, the upgrading work can be either upgrading pipe size or adjusting pipe invert level. However, to minimize the work area, adjusting pipe invert level is adopted.
2.5	900mm dia. uPVC pipes were proposed to replace the existing concrete pipes. Please review whether such pipe size is available for uPVC pipes.	HDPE and concrete pipes are proposed instead of uPVC. See Appendix E of Attachment 1 for the revised SIA.
2.6	If HDPE pipes are proposed, please be reminded that the nominal size (NS) for HDPE pipes features the outer diameter (OD) instead of the internal pipe diameter. Therefore correct internal pipe diameter taking into account the pipe thickness (depending on pressure rating, or SDR) should be adopted in the design calculation.	Noted. The inner diameters are adopted in the calculation. See Appendix E of Attachment 1 for the revised SIA.

	Departmental Comments	Responses to Comments
2.7	Please review the proposed pipe invert levels for FMH7036270 (namely S10) and FMH7036248 (namely S4). The proposed invert levels for the outgoing pipes are higher than the incoming pipes for these 2 manholes which is not ideal from hydraulic or maintenance point of view.	The invert levels of S4 and S6-S10 are revised. See Appendix E of Attachment 1 for the revised SIA.
3.	Comments from District Lands Office / Hong Kong East, Lands Department	
3.1	I refer to item 4 on page 2 of the applicant's “Responses to Public Comments” at Attachment 6 that “ <i>lease modification and amendments to the Master Development Plans (MDP) are required to implement the proposed development</i> ”. Regarding this, I would like to reiterate that should the Town Planning Board approve the planning application, the applicant, the concerned lot owners and the relevant parties are required to apply to LandsD for prior written consent (for necessary amendments of the MDP) in order to implement the proposed development. However, there is no guarantee that such application, if submitted, will be approved. Such application, if received, will be dealt with by LandsD acting in a capacity as the landlord at LandsD's discretion, and if it is approved, it will be subject to such terms and conditions including amongst others, payment of appropriate premium and fees as may be imposed by LandsD.	Noted.
3.2	Subject to the above, this office's previous comments should remain valid.	Noted.
4.	Comments from Transport Department	
4.1	Para. 3.3 of Planning Statement: Provision of Lay-by for Pick-up / Drop-off for of Taxi / Private Car at King's Road with Barrier-free Access to 1111 King's Road and Cityplaza	Noted. Para. 3.3 of the Planning Statement has been revised accordingly, please refer to Attachment 1 .

	Departmental Comments	Responses to Comments
4.2	Para. 3.3.1 of Planning Statement: ... The proposed road works regarding the new pick-up / drop-off layby abutting King's Road will be designed and implemented by the Applicants. After completion, it is proposed to be surrendered to the Government is proposed to resume the for management and maintenance responsibilities of the proposed lay-by...	Noted. Para. 3.3.1 of the Planning Statement has been revised accordingly, please refer to Attachment 1 .
4.3	Para. 8.5.3 of Planning Statement: <u>Provision of lay-by for pick-up / drop-off for of taxi / private car at King’s Road with barrier-free access to 1111 King’s Road and Cityplaza</u> A new pick-up / drop-off area (i.e. “Arrival Plaza”) (Figure 3.4 refers) is proposed on 5/F abutting King’s Road. This serves as a new lay-by for pick-up / drop off for of taxi / private car at King’s Road with barrier-free access to 1111 King’s Road and Cityplaza.	Noted. Para. 8.5.3 of the Planning Statement has been revised accordingly, please refer to Attachment 1 .

Enclosure 1

A&A Plans approved in Nov 2021 and Jan 2022

2 November 2021

NG Kin Siu
6/F.,
The Sun's Group Centre,
200 Gloucester Road,
Wan Chai, Hong Kong.

Dear Sir,

**6/F, 1111 King's Road and 18 Taikoo Shing Road, Site VA, Hong Kong
(Cityplaza One) –
Q.B.M.L. 2 s.J R.P. & Ext. (portion), s.K ss.5 & Ext. (portion),
s.Q ss.2 s.A R.P. & Ext. (portion), s.Q ss.7 R.P. & Ext. (portion),
s.R ss.1 s.A & Ext. (portion) and s.R R.P. & Ext.(portion)**

I refer to your application ~~dated~~ received on 18 August 2021 and supplementary information received on 3 September 2021 for approval of proposals in respect of Building (Alterations and Additions).

2. Your submission of plans has been checked under the curtailed check system announced in Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers ADM-19. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental issues of a building proposal. Although non-fundamental issues will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorized persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above – mentioned plans submitted with your application ~~dated~~ received on 18 August 2021 and supplementary information received on 3 September 2021 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. This approval does **NOT** authorize the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the Buildings Ordinance refers.

6. This approval only covers the building works as coloured on the submitted plan on the basis that the uncoloured parts of the plans are exactly the same as the corresponding parts in the previous approved plans, and should not be construed as implying the approval of the uncoloured portion of the plan.

/7.

SL 9(11/2013) (T-b+ND a)

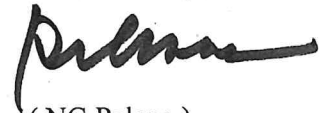
FORWARDED

- 5 NOV 2021

Our Ref: BD 2-3/3133/74 /46/VA

7. Your plan and development schedule have been referred to the District Lands Officer/Hong Kong East for scrutiny under the lease condition. His comments will be directly conveyed to you.
8. With regard to your Form BA16 received on 7 October 2021, the requisite Form BD106 is enclosed herewith.
9. It is noted that for facilitating your amendments to the submitted plans under PNAP ADM-14, you took away the said plans from this office on 20 October 2021 and subsequently returned the same on 25 October 2021.

Yours faithfully,



(NG Pelene)
Chief Building Surveyor
for Building Authority

c.c. Talent Point Limited
18/F, 68 Yee Wo Street,
Causeway Bay, Hong Kong

D of FS
DLO/HKE
CO/SM

SL 9(11/2013) (T-b+ND a)

GENERAL NOTES

- ALL DIMENSIONS SHOWN ON ALL DRAWINGS ARE STRUCTURE AND IN MILLIMETER (mm) UNLESS OTHERWISE STATED.
- ALL LEVELS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- ALL BLOCK WORKS TO BE BUILT IN 1:3 CEMENT MORTAR/ ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- ALL DOORS TO PROTECTED LOBBIES/ REQUIRED STAIRCASE TO HAVE APPROPRIATE NOTICES ON BOTH SIDES TO REMAIN BUILDING USERS THAT EXIT DOORS SHOULD BE ALWAYS KEPT CLOSED.
- ALL FIRE SERVICES/INSTALLATION TO BE FULLY COMPLIED WITH CODES OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATIONS AND EQUIPMENT AND INSPECTION, TESTING AND MAINTENANCE OF INSTALLATIONS AND EQUIPMENT 2005.
- STABILITY AND STRENGTH OF THE PROPOSED BLOCK WALL SHOULD BE JUSTIFIED TAKING INTO ACCOUNT B(C)R, SLENDerness RATIO AND ITS CONSTITUENT MATERIALS.
- ALL WORKS TO BE COMPLIED WITH CODE OF PRACTICE FOR FIRE SAFETY IN BUILDING 2011.
- ALL WORKS TO BE COMPLIED WITH CODE OF PRACTICE: BARRIER FREE ACCESS 2008.
- THE DESIGN IMPOSED LOAD IS 5KPA.
- ALL LIGHTWEIGHT CONCRETE BLOCK WALL AND RAISED FLOOR SHALL HAVE DENSITY OF 650kg/m³.

F.S. NOTES

- AUTOMATIC SPRINKLER SYSTEM
 - THE EXISTING AUTOMATIC SPRINKLER LAYOUT OF THE BUILDING SHALL BE RETAINED.
 - EXISTING SPRINKLER LAYOUT SHALL BE ALTERED TO SUIT THE NEW ARCHITECTURAL LAYOUT IN THE A&A WORKS AREA (INCLUDING ALL REQUIRED STAIRCASES).
 - THE SPRINKLER SYSTEM AT THE A&A WORKS AREA SHALL BE EXTENDED FROM THE EXISTING SPRINKLER SYSTEM OF THE EXISTING BUILDING.
- FIRE DETECTION AND ALARM SYSTEM
 - EXISTING FIRE DETECTION AND ALARM SYSTEM OF THE BUILDING SHALL BE RETAINED.
 - EXISTING FIRE DETECTION AND ALARM SYSTEM OF THE BUILDING SHALL BE ALTERED TO SUIT THE NEW ARCHITECTURAL LAYOUT IN THE A&A WORKS AREA.
 - THE FIRE DETECTION AND ALARM SYSTEM AT THE A&A WORKS AREA SHALL BE EXTENDED FROM THE EXISTING FIRE DETECTION AND ALARM SYSTEM OF THE EXISTING BUILDING.
- EXIT SIGN SHALL BE PROVIDED AS SHOWN ON PLAN. ALL EXIT SIGNS INDICATED ON PLAN SHALL BE PROVIDED WITH SELF-ILLUMINATED "EXIT" SIGNS IN ENGLISH AND CHINESE CHARACTERS OF MINIMUM 125mm HIGH WITH 15mm WIDE STROKES. SUFFICIENT DIRECTIONAL EXIT SIGNS SHALL BE PROVIDED TO ENSURE THAT ALL EXIT ROUTES WITHIN THE A&A WORKS AREA ARE CLEARLY INDICATED AS REQUIRED BY THE CONFIGURATION OF THE STAIRCASE SERVING THE BUILDING.
- ALL LININGS FOR ACOUSTIC AND THERMAL INSULATION PURPOSES IN DUCTING AND CONCEALED LOCATIONS SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BS 476: PT.7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT. ALL LININGS FOR ACOUSTIC, THERMAL INSULATION AND DECORATIVE PURPOSES WITHIN PROTECTED MEANS OF ESCAPE SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BS 476:PT.7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT.

LEGEND / ABBREVIATION

	REINFORCED CONCRETE
	LIGHT-WEIGHT CONCRETE
	SOLID CONCRETE BLOCK (FRR -/120/120) (DENSITY OF 650 kg/m ³)
	CONCRETE SLAB/BEAM
	SANITARY FITTINGS
	STONE CLADDING
	METAL
	GLASS
	CERAMIC TILING OR NON-ABSORBENT SPRAY PAINT MATERIALS
	TIMBER

EXISTING ELEMENTS TO BE REMOVED.

	MECHANICAL VENTILATION & ARTIFICIAL LIGHTING TO BE PROVIDED
	VENTILATION DUCT
	EXISTING/PROPOSED FINISHED LEVEL
	EXISTING/PROPOSED STRUCTURAL LEVEL
	HOSE REEL
	EXIT SIGN
	EXISTING LIFT FOR THE BARRIER FREE ACCESS
	FIRE SHUTTER

DOOR SCHEDULE

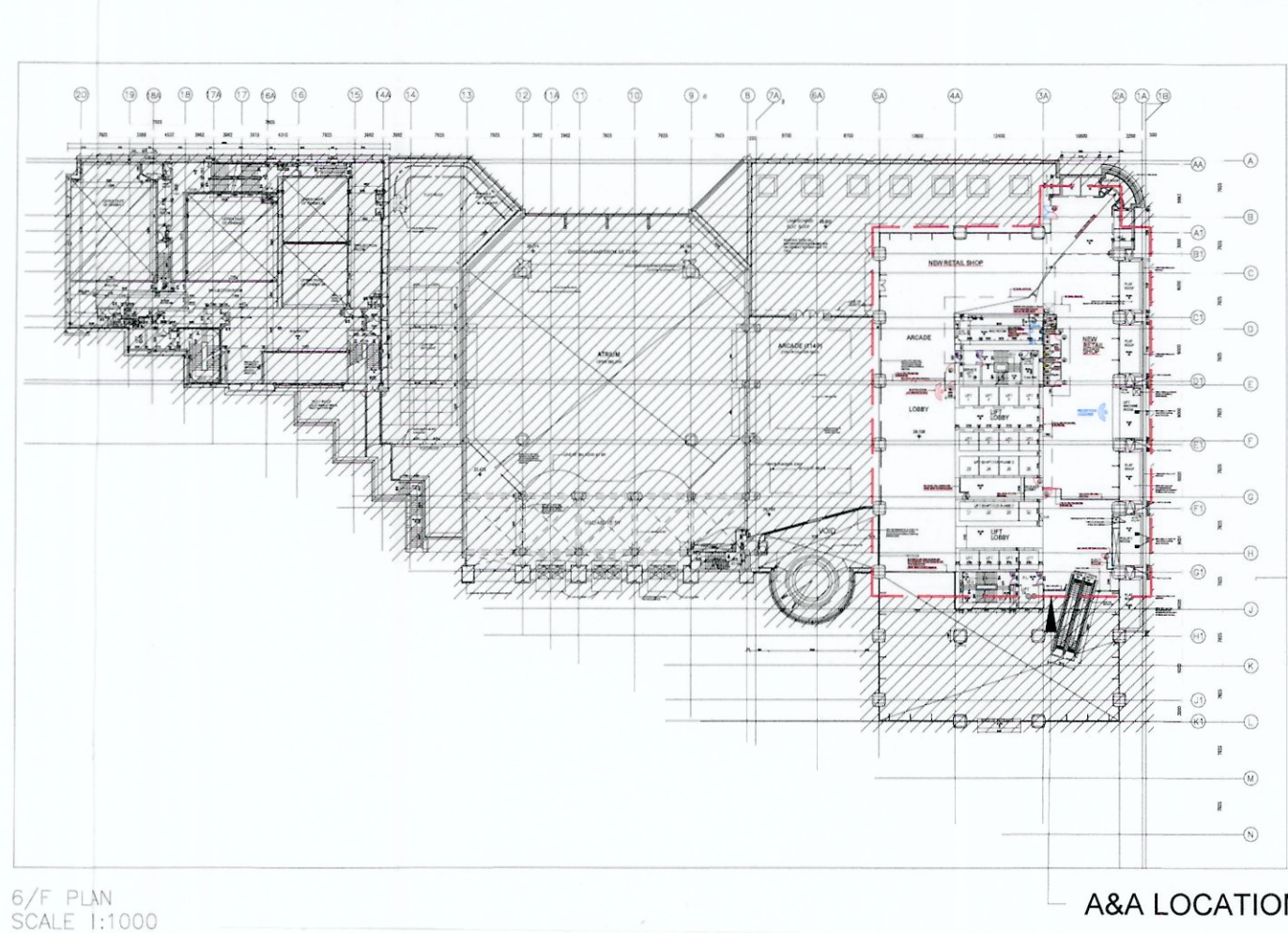
- (D1) APPROVED GLASS DOOR
- (D2) APPROVED FIRE RATED TIMBER DOOR WITH FRR OF -/60/60
- (D3) NEW GLASS DOOR
- (D4) NEW SELF CLOSING FIRE RATED TIMBER DOOR WITH FRR OF -/60/60 AND VISION PANEL
- (D5) NEW TIMBER DOOR
- (D6) NEW SELF CLOSING FIRE RATED TIMBER DOOR WITH FRR OF -/120/120 AND VISION PANEL

RECEIVED BY
2021 AUG 18 P 4:50
R&D Regulatory (NEB) DEPARTMENT
BUILDINGS DEPARTMENT

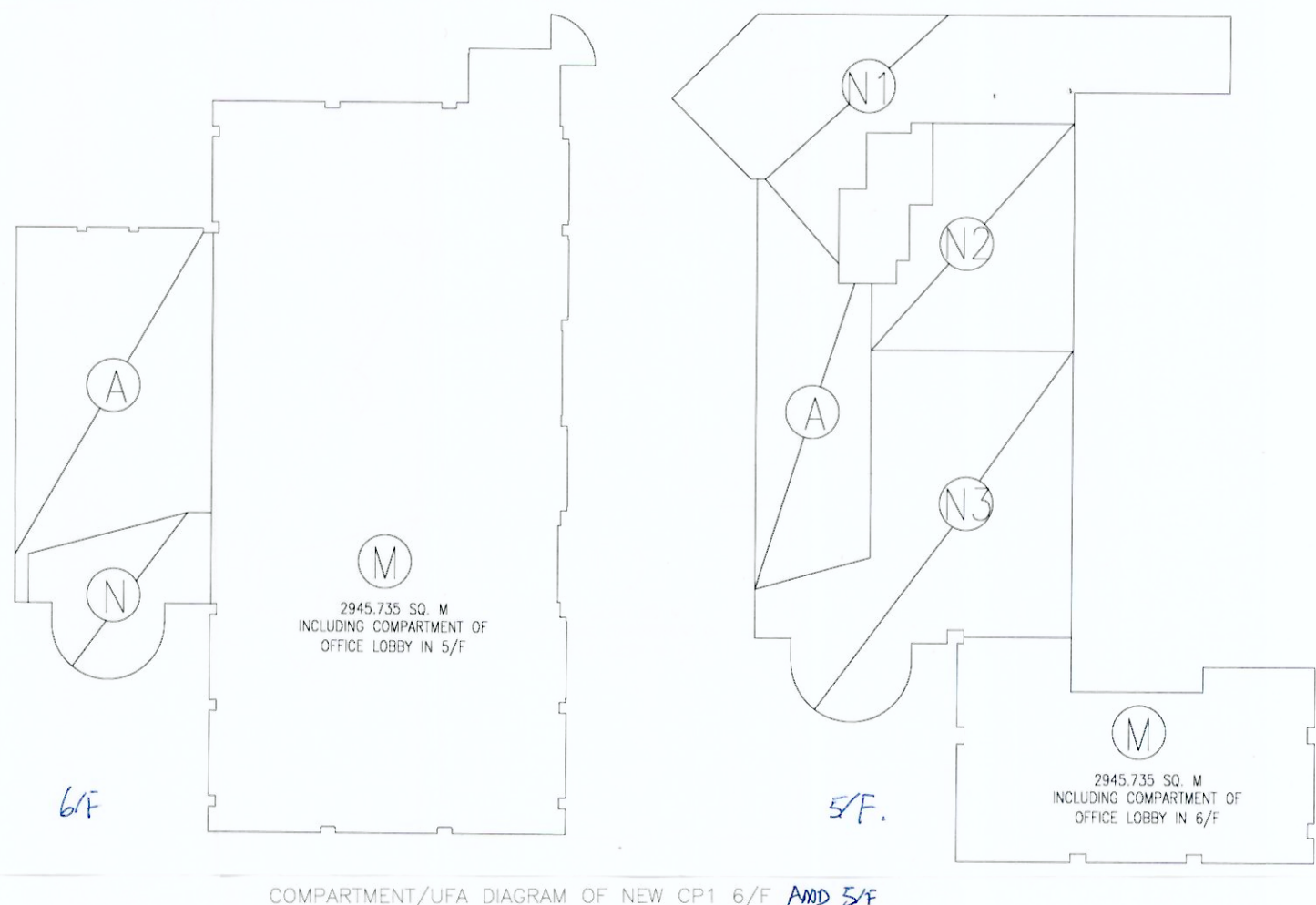
GFA DIAGRAM OF 6/F
(BD REF: 2-3/3133/74/20 APPROVED ON 12 JAN. 2001, DWG NO. B/A10/12.1 REV.03)

6TH FL. GFA CALCULATION

EXISTING G.F.A.	=	3,164.287 m ²
(BD REF: 2-3/3133/74/20 APPROVED ON 12 JAN. 2001, DWG NO. B/A10/12.1 REV.03)		
DEDUCT		
(D) NEW ELECTRICAL ROOM	=	1.978 m ²
		3,162.311 m ²

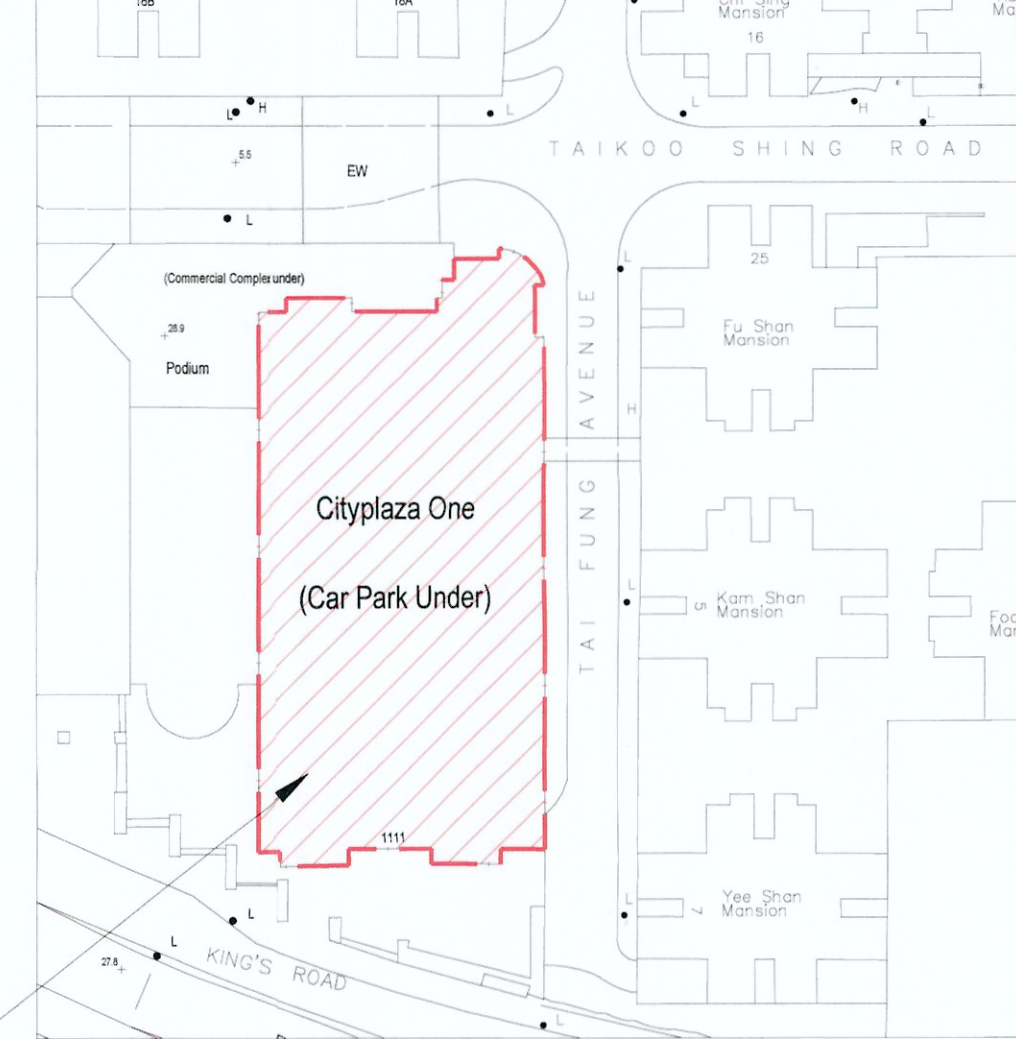


A&A LOCATION

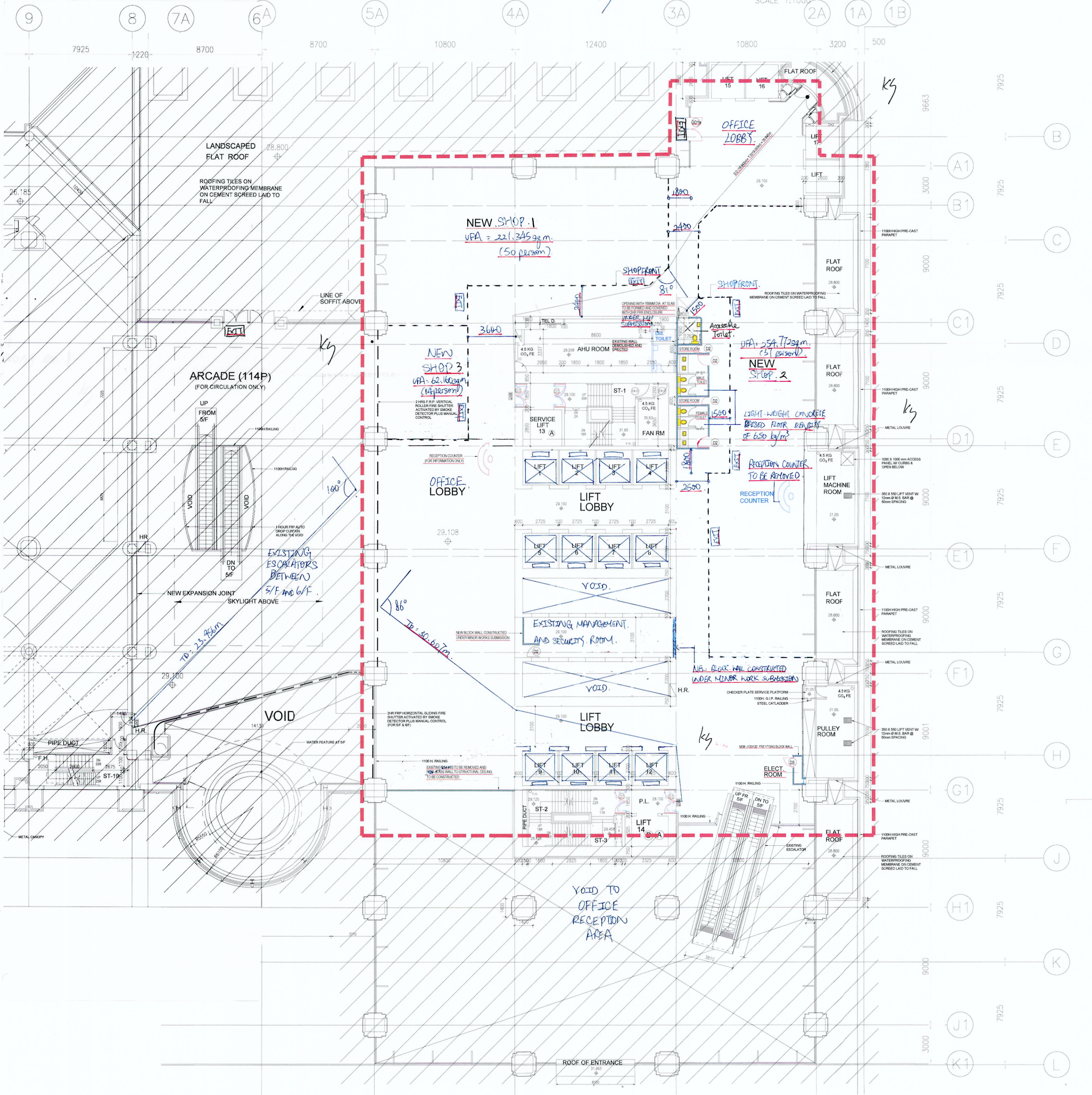


COMPARTMENT/UFA DIAGRAM OF NEW CP1 6/F AND 5/F
(REF: BD 2-3/3133/74/20, DWG NO. B/A10/19 REV.08
APPROVED ON 12 JAN 2001)

A&A LOCATION



BLOCK PLAN SCALE 1:1000



PART PLAN OF 6/F
SCALE 1:200

B.D. REF. : BD 2-3/3133/74/46/VA

F.S.D. REF. : -

REV.	DESCRIPTION	DATE
-	FIRST SUBMISSION	26/04/2021
-	FIRST RE-SUBMISSION	18/08/2021

Note: This plan has been processed on a curtailed check basis under the centralized processing system as promulgated in PNAP ADM-19. The duties of the authorized person, registered structural engineer and/or registered geotechnical engineer concerned as specified under section 4(3)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.

Plan Approved

NG Pelene
Chief Building Surveyor
for BUILDING AUTHORITY
-12 NOV 2021

BUILDING CONSULTANT:

**FRUIT
DESIGN &
BUILD LTD**

A | 6/F, The Sun's Group Centre, 200 Gloucester Road,
Wan Chai, Hong Kong
T | +852 3188 5595 F | +852 3188 5595

AUTHORIZED PERSON :

NG KIN SIU
AUTHORIZED PERSON

STRUCTURAL ENGINEER :

PROJECT :

ALTERATION & ADDITIONAL WORKS
AT 6/F, CITYPLAZA 1 TAIKOO SHING
AT QUARRY BAY, Q.B.M.L. 2 s.J. R.P. & Ext. (portion),
s.R. ss.1, s.A & Ext. (portion), s.R.R.P. & Ext. (portion),
s.Q ss.2 s.A.R.P. & Ext. (portion) and s.Q. ss.7 R.P.
& Ext. (portion)

DRAWING TITLE :

BLOCK PLAN, GENERAL NOTE, 6/F PLAN,
6/F GFA, COMPARTMENT AND UFA DIAGRAM

SCALE : AS SHOWN DRAWN : CC DATE : 18/08/2021

DWG. NO. : AA-01

REF. : A

JOB. NO. : FDB-P-21110

DO NOT SCALE OFF DRAWING. THIS DRAWING IS NOT FOR CONSTRUCTION PURPOSES UNLESS EXPRESSLY STATED. ALL RIGHT RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY FRUIT DESIGN AND BUILD LTD.

BD

NG Kin Siu
6/F, The Sun's Group Centre,
200 Gloucester Road,
Wan Chai, Hong Kong.

17 January 2022

197
(59)

Dear Sir,

**6/F, 1111 King's Road and 18 Taikoo Shing Road, Site VA, Hong Kong (Cityplaza One) –
Q.B.M.L. 2 s.J R.P. & Ext. (portion), s.K ss.5 & Ext. (portion),
s.Q ss.2 s.A R.P. & Ext. (portion), s.Q ss.7 R.P. & Ext. (portion),
s.R ss.1 s.A & Ext. (portion) and s.R R.P. & Ext.(portion)**

I refer to your application dated received on 20 December 2021 for approval of proposals in respect of BUILDING (ALTERATIONS & ADDITIONS) Amendment and the application for consent to the commencement and carrying out of the above building works*.

(*excluding erection of glass wall, removal of existing railing and erection of wall of accessible toilet, store rooms, male toilet and female toilet)

2. Your submission of plans has been checked under the curtailed check system announced in Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers ADM-19. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental issues of a building proposal. Although non-fundamental issues will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorized persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above – mentioned plans submitted with your application dated received on 20 December 2021 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. Section 14(2) of the Buildings Ordinance refers.

6. Consent to the commencement and carrying out of the above BUILDING (ALTERATIONS & ADDITIONS) Amendment * is given in the Form BD103 enclosed. You are reminded to ensure that the plans now approved are compatible with all previously approved plans, any conditions imposed are fulfilled and no works are carried out before all required plans have been approved and consent given. Your attention is drawn to paragraph 10 of Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-97.

(*excluding erection of glass wall, removal of existing railing and erection of wall of accessible toilet, store rooms, male toilet and female toilet)

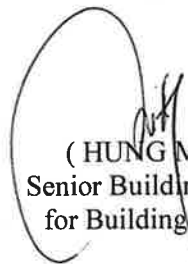
/7.

S.L. 9A (10/2009)

Our Ref. 2-3/3133/74 /46/VA

7. This approval only covers the building works as coloured on the submitted plan on the basis that the uncoloured parts of the plans are exactly the same as the corresponding parts in the previous approved plans, and should not be construed as implying the approval of the uncoloured portion of the plan.
8. Your plans have been referred to the Director of Fire Services for comments. Since a fire certificate is not available, your attention is drawn to Buildings Ordinance section 4(3) in case any amendments are required.
9. Your plans have been referred to the District Lands Officer/Hong Kong East for scrutiny under the lease condition. His comments will be directly conveyed to you.
10. You are reminded to take all necessary protective and precautionary measures to ensure the safety of the public, occupants and workers prior to the commencement of works and properly maintain such measures and exercise due care during the course of the above works. Nuisance from dusts/ noise and other inconvenience to the public should be kept to the minimum. Your attention is drawn to PNAP APP-107 and PNAP ADV-4. You should also ensure that the exit routes in the works are maintained free and unobstructed during the construction periods.

Yours faithfully,


(HUNG Man-kit)
Senior Building Surveyor
for Building Authority

c.c. Talent Point Limited
18/F, 68 Yee Wo Street,
Causeway Bay, Hong Kong

D of FS
DLO/HKE
CO/SM

S.L. 9A (10/2009)

GENERAL NOTES

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- ALL WORKS TO BE COMPLIED WITH DESIGN MANUAL: BARRIER FREE ACCESS 2008.
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1.1 THE EXISTING AUTOMATIC SPRINKLER LAYOUT OF THE BUILDING SHALL BE RETAINED.
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- EMERGENCY LIGHTING SHALL BE MODIFIED TO SUIT THE NEW LAYOUT.
- PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED AS INDICATED ON PLANS.

LEGEND / ABBREVIATION

	REINFORCED CONCRETE
	SOLID LIGHT-WEIGHT CONCRETE BLOCK (FRR -/120/120)
	CONCRETE SLAB/BEAM
	SANITARY FITTINGS
	STONE CLADDING
	METAL
	GLASS
	CERAMIC TILING OR NON-ABSORBENT SPRAY PAINT MATERIALS
	TIMBER

EXISTING ELEMENTS TO BE REMOVED.

	M.ECHANICAL VENTILATION & ARTIFICIAL LIGHTING TO BE PROVIDED
	V.ENTILATION DUCT
	EXISTING/PROPOSED FINISHED LEVEL
	EXISTING/PROPOSED STRUCTURAL LEVEL
	HOSE REEL
	EXIT SIGN
	EXISTING LIFT FOR THE BARRIER FREE ACCESS
	FIRE SHUTTER

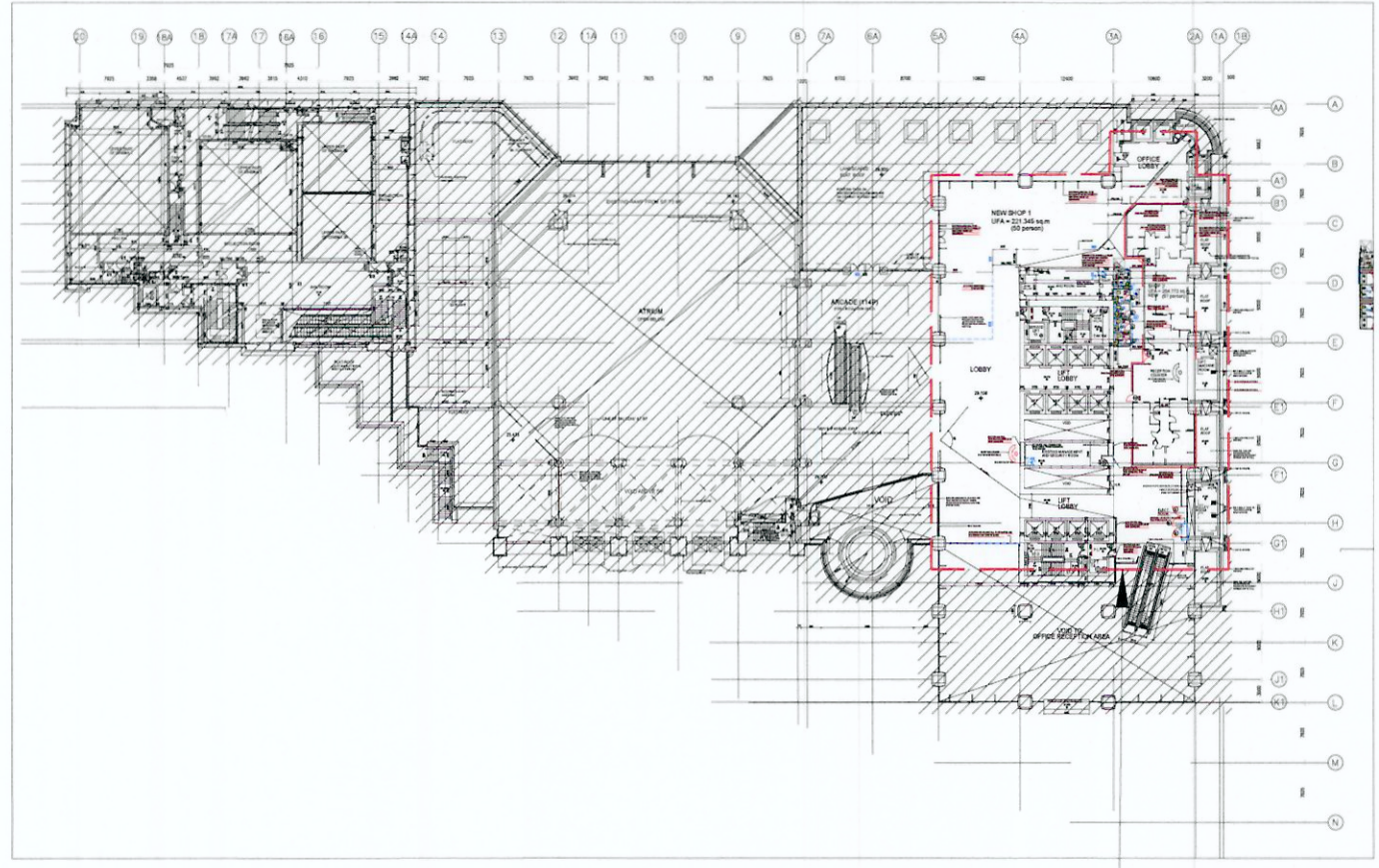
DOOR SCHEDULE

	APPROVED GLASS DOOR
	APPROVED FIRE RATED TIMBER DOOR WITH FRR OF -/60/60
	NEW GLASS DOOR
	NEW SELF CLOSING FIRE RATED TIMBER DOOR WITH FRR OF -/60/60 AND VISION PANEL
	NEW TIMBER DOOR
	SELF CLOSING FIRE RATED TIMBER DOOR WITH FRR OF -/120/120 AND VISION PANEL

GFA DIAGRAM OF 6/F
(BD REF: 2-3/3133/74/20 APPROVED ON 12 JAN. 2001, DWG NO. B/A10/12.1 REV.03)

6TH FL. GFA CALCULATION

EXISTING G.F.A.	= 3150.107 m ²
DEDUCT	
NEW ELECTRICAL ROOM	= 3.191 m ²
	3146.916 m ²

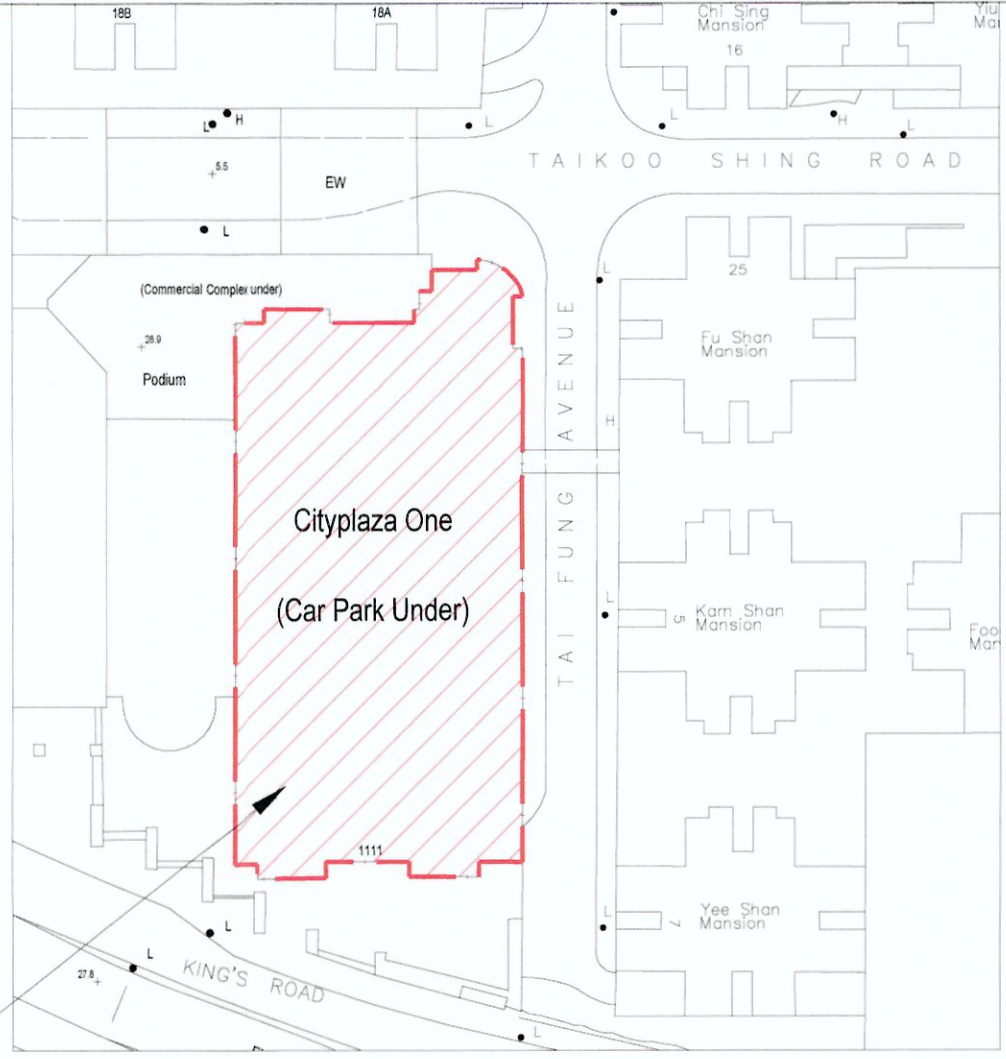


A&A LOCATION

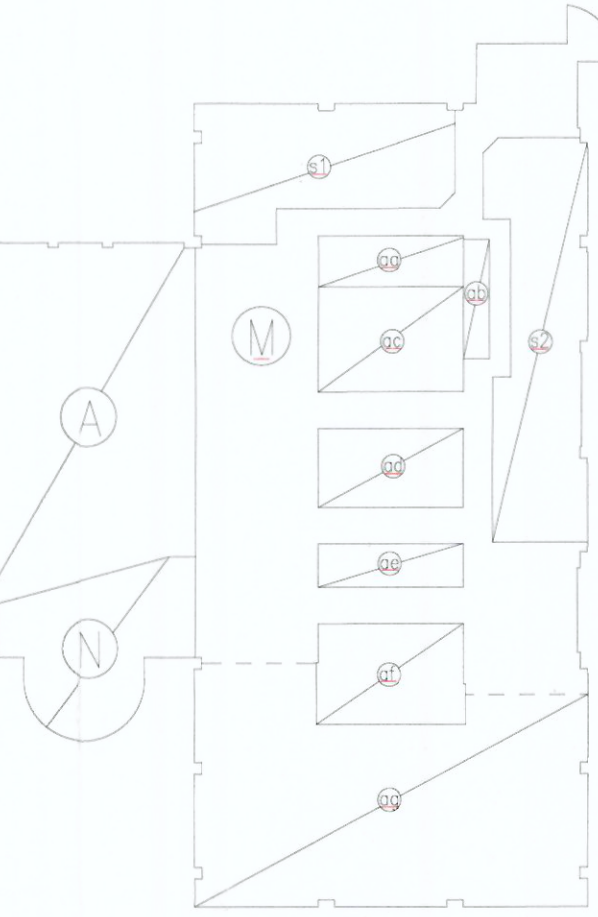
COMPARTMENT/UFA DIAGRAM OF NEW CP1 5/F AND 6/F
(REF: BD 2-3/3133/74/20, DWG NO. B/A10/19 REV.08 APPROVED ON 12 JAN 2001)

COMPARTMENT/UFA DIAGRAM OF NEW CP1 5/F AND 6/F
(REF: BD 2-3/3133/74/20, DWG NO. B/A10/19 REV.08 APPROVED ON 12 JAN 2001)

A&A LOCATION



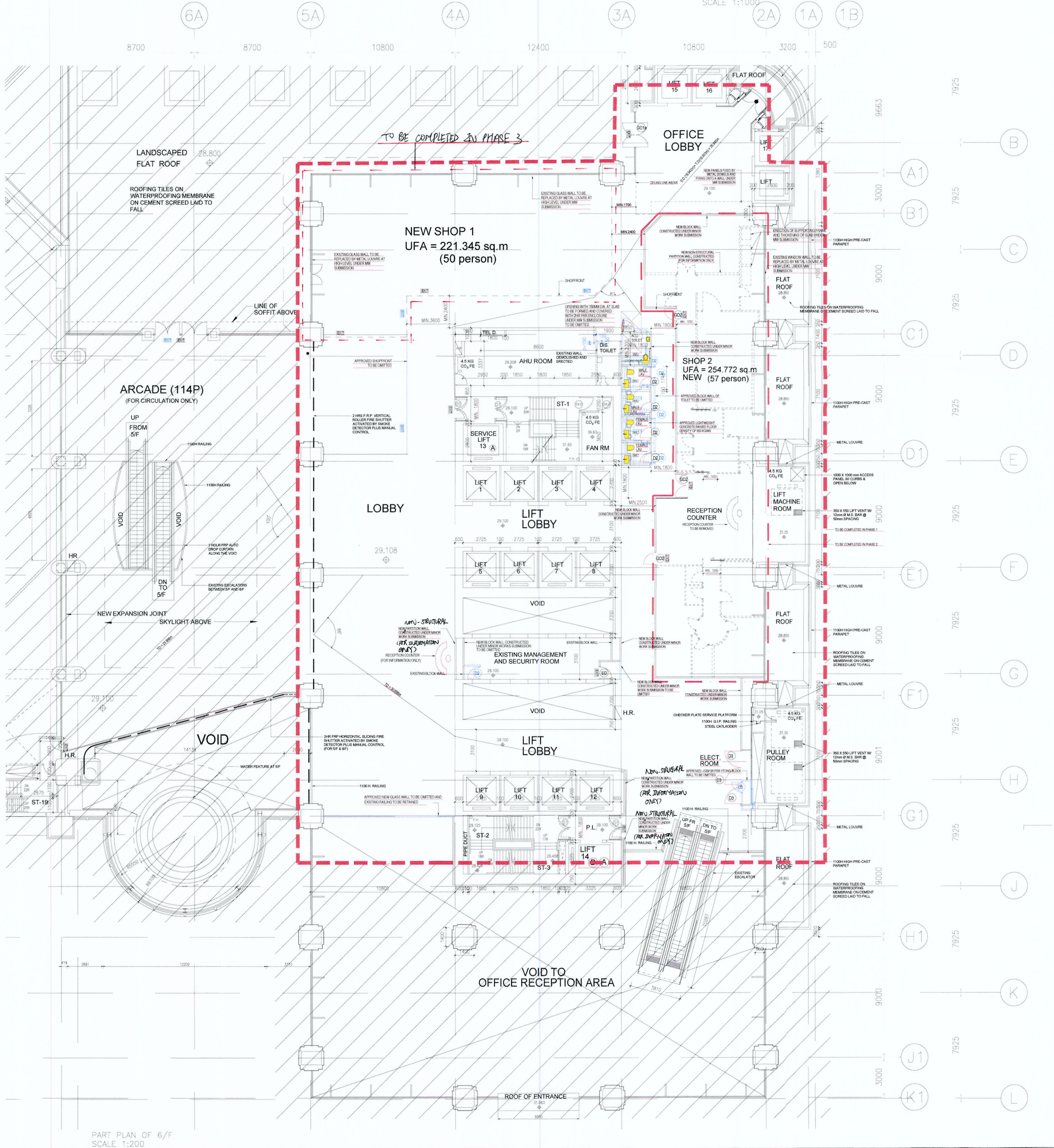
BLOCK PLAN



UFA DIAGRAM OF NEW CP1 6/F
(REF: BD 2-3/3133/74/20, DWG NO. B/A10/19 REV.08 APPROVED ON 12 JAN 2001)

6TH FL. UFA CALCULATION

EXISTING U.F.A. AT 6/F (BD REF: 2-3/3133/74/20, APPROVED ON 12 JAN 2001) DWG NO. B/A10/19 REV.08 DEDUCT	= 2337.682 m ²
NEW U.F.A. OF OFFICE LOBBY	= 827.058 m ²



PART PLAN OF 6/F
SCALE 1:200

B.D. REF. : BD 2-3/3133/74/46/VA

F.S.D. REF. : -

REV.	DESCRIPTION	DATE
-	FIRST SUBMISSION	26/04/2021
-	FIRST RE-SUBMISSION	18/08/2021
A	FIRST AMENDMENT	20/12/2021

Note: This plan has been processed on a curtailed check basis under the centralized processing system as promulgated in PIVAP ADM-19. The duties of the authorized person, registered structural engineer and/or registered geotechnical engineer concerned as specified under section 40(3)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS (A&A WORKS) IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

(EXCLUDING ERECTION OF GLASS WALL, REMOVAL OF EXISTING RAILING AND SECTION OF WALL OF ACCESSIBLE TOILET, STORE ROOM, MALE TOILET AND FEMALE TOILET)

Plan Approved
HUNG Man-kit
Senior Building Surveyor
for BUILDING AUTHORITY
17 JAN 2022

BUILDING CONSULTANT:

FRUIT
DESIGN &
BUILD LTD

A | 6/F, The Sun's Group Centre, 200 Gloucester Road,
Wan Chai, Hong Kong
T | +852 3188 5595 F | +852 3188 5595

AUTHORIZED PERSON:

NG KIN SIU
AUTHORIZED PERSON

STRUCTURAL ENGINEER:

PROJECT:

ALTERATION & ADDITIONAL WORKS
AT 6/F, CITYPLAZA 1 TAIKOO SHING
AT QUARRY BAY, Q.B.M.L. 2 s.J. R.P. & Ext. (portion),
s.R. ss.1, s.A & Ext. (portion), s.R.R.P. & Ext. (portion),
s.Q ss.2 s.A R.P. & Ext. (portion) and s.Q ss.7 R.P.
& Ext. (portion)

DRAWING TITLE:

BLOCK PLAN, GENERAL NOTE, 6/F PLAN,
6/F GFA, COMPARTMENT AND UFA DIAGRAM

SCALE : AS SHOWN DRAWN : CC DATE : 20/12/2021

DWG. NO. : AA-01

REF.: A

JOB. NO. : FDB-P-21110

DO NOT SCALE OFF DRAWING. THIS DRAWING IS NOT FOR CONSTRUCTION PURPOSES UNLESS EXPRESSLY STATED. ALL RIGHT RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY FRUIT DESIGN AND BUILD LTD.

BD