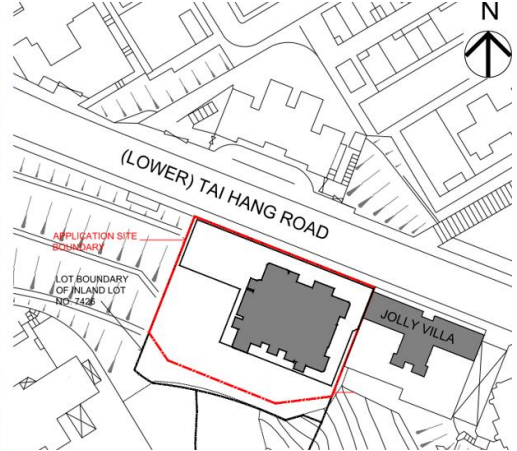


Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio Restriction for Permitted Flat Use (Proposed Amendments to an Approved Scheme with Minor Relaxation of Plot Ratio Restriction under Application No. A/H6/91) at 4, 4A, 4B and 4C Tai Hang Road, Hong Kong (Application No. A/H6/97)

Responses to Departmental Comments

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	Departmental Comments	Responses to Comments
1.	Comments of Architectural Services Department	
1.1	The Applicant has not addressed our comment (b) directly. The Applicant should ensure that the proposed development will not diminish the light and air available to other existing building (i.e. Jolly Villa) in accordance with Building (Planning) Regulations 37.	Noted. The Applicant will ensure that the proposed development complies with Building (Planning) Regulation 37. In formulating the development scheme, the adjoining existing development (i.e. Jolly Villa) has been carefully taken into consideration. In particular, Jolly Villa has its windows facing north and south, while the proposed development is located on the west of Jolly Villa (see diagrams below). Therefore, there will be no issue of diminishing the light and air available.  

	Departmental Comments	Responses to Comments
2.	Comments of Environmental Protection Department	
2.1	<u>Noise</u> Please seek TD's endorsement on the traffic forecast.	Noted. TD's endorsement will be provided once available.
2.2	We have some comments on consistency of the revised EA which are given below – Section 2.3.3 & Appendix 2-1: the agreement and respective correspondence for TD is not found in appendix 2-1.	Noted. TD's endorsement will be provided once available. Section 2.3.3 of the EA has been rectified accordingly. Please refer to Attachment 1 .
2.3	<u>Sewerage</u> For Table-2 under Appendix 6.3, No. of Jardine Summit and True Light Middle School of Hong Kong should be H21 and H22 according to Appendix 6.2 and Table-1 under Appendix 6.3, please revise.	Noted. Table-2 in Appendix 6-3 of the SIA has been rectified accordingly. Please refer to Attachment 2 .
2.4	Please also seek DSD's agreement on the calculations.	Noted. The Application has been circulated to DSD for comments. Comments from DSD have been addressed in Section 3 of this RtoC Table below.
3.	Comments of Drainage Services Department	
3.1	Table 2 in Appendix 6-3 is referred. Typo mistakes, H20 should read as H21 whereas H21 should read as H22.	Noted. Table-2 in Appendix 6-3 of the SIA has been rectified accordingly. Please refer to Attachment 2 .
3.2	Regarding item 6.5 of the response concerning the sewage discharge from Illumination Terrace, information extracted from BRAVO indicates that there appear to be two discharge locations for the aforementioned property. The main discharge from the two residential blocks is conveyed to sewer manhole FMH7023697 located at Tai Hang Road via a 300mm dia. sewer (i.e. via manhole LSMH-A, as shown in the vertical drainage line diagram enclosed in Annex A of the RtoC). There is also another discharge via a 150mm dia. pipe to Wun Sha Street from manhole LSMH-B, for discharging sewage flow from the podium which comprises multi-level carparks and a swimming pool. Please review the design calculations accordingly.	Noted. Sewage discharge generated from residential units from Illumination Terrace has been incorporated in the sewage flow estimation (ID No. I9). However, the swimming pool backwash from the development is excluded as information extracted from BRAVO indicates it discharges via a 150mm dia. pipe to Wun Sha Street. The SIA have been rectified accordingly. Please refer to Attachment 2 .