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William Shu Tai WONG/PLAND

寄件者: Chong Hermose <[redacted]>
寄件日期: 2025年12月30日星期二 14:44
收件者: tpbpd/PLAND
副本: William Shu Tai WONG/PLAND
主旨: s16 : A/NE-MUP/220 -回應部門的意見 (請以此電郵為準**)
附件: DD 38 Lot 25 & 26_測量圖.pdf; DD38_25_Layout_Plan_20251230.pdf; 申請表格_P.5.pdf; 申請表格_P.11.pdf; 附件1：A_NE-MUP_220_Temporary Drainage Proposal.pdf; 附件2：A_NE-MUP_220_FS Plan.pdf; 附件3.pdf; A_NE-MUP_220_回應部門意見_20251230.pdf

類別: Internet Email

城規會 / 規劃處 ：

現附上規劃申請：A/NE-MUP/220 回應部門的意見，請查收。

這電郵將取代 2025 年 12 月 23 日 的電郵，謝謝。

如有什麼問題，請隨時聯絡我，謝謝。

Ms Chong
([redacted])

Temporary Logistics Centre and Associated Filling of Land
Various Lots and Adjoining Government Land, Sha Tau Kok, N.T.
(Application No. A/NE-MUP/220)

Supplementary Information

1. 有關這個規劃申請，其中有 2 個地段（Lot 25 and 26 in D.D. 38）已進行分契請看附件的分地圖），申請範圍和界線沒有改變，但有新的地段號碼，現時新的申請地點如下：

   新界沙頭角丈量約份第 38 約地段第 25 號 A 分段、第 26 號 A 分段及第 27 號（部分）、丈量約份第 46 約地段第 804 號（部分）、第 806 號、第 807 號、第 808 號、第 809 號、第 811 號、第 812 號、第 813 號、第 823 號 B 分段餘段、第 824 號 B 分段餘段、第 825 號、第 826 號（部份）、第 827 號、第 828 號 B 分段餘段和毗連政府土地

   Lots 25 S.A, 26 S.A and 27 (Part) in DD. 38, Lots 804 (Part),806, 807,808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825,826(Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL),Sha Tau Kok,New Territories

2. 申請地點涉及一個先前的規劃申請：A/NE-MUP/193，由於之前因為早前申請人未能如期履行規劃許可附帶的規劃條件（未能落實車輛通道出入口、渠務工程及消防工程；車輛通道出入口建議、排水建議書及消防裝置的建議書已遞交），在 18 個月後申請就被撤銷，不夠時間落實車輛通道出入口、渠務工程及消防工程，於是申請人重新提交本申請（A/NE-MUP/220 ）以要求城市規劃委員會批准為期三年的規劃許可，希望貴處能重新考慮，申請人承諾這次會履行所有附帶條件，並遞交排水建議書（附件 1）、消防裝置的建議書（附件 2），以及落實車輛通道出入口的文件（請看附件 3），並已找承建商落實渠務和消防工程。

3. 申請地點的東南邊有少許範圍和規劃申請 A/NE-MUP/215 重疊，申請人知悉並會和業主再協商。

4. 如獲城規會批准後，申請人確認現場會按照批准的 Layout 執行。

Temporary Logistics Centre and Associated Filling of Land
Various Lots and Adjoining Government Land, Sha Tau Kok, N.T.
(Application No. A/NE-MUP/220)

Table A: Responses to Departmental Comments

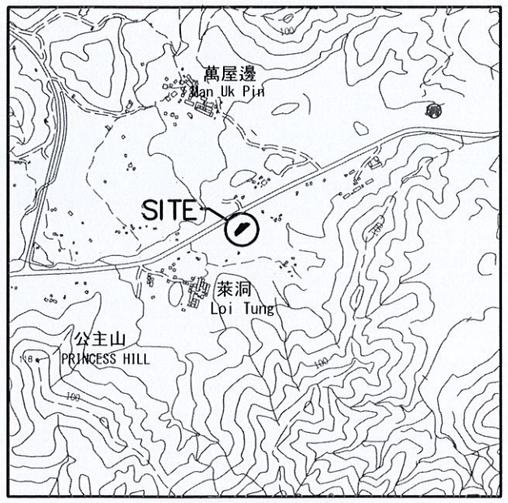
	Departmental Comments	**Responses**
	Comment from EPD	
(1)	It is noted that 6-8 staff will be working on the site during operating hours . The applicant should advise whether any sewage treatment facilities will be provided within the site and provide detailed information for their reference.	申請地點內設有洗手間讓職員使用，也已設置化糞池，並會安排清潔公司定期來吸糞。

837120 E | 837160 E | 837200 E

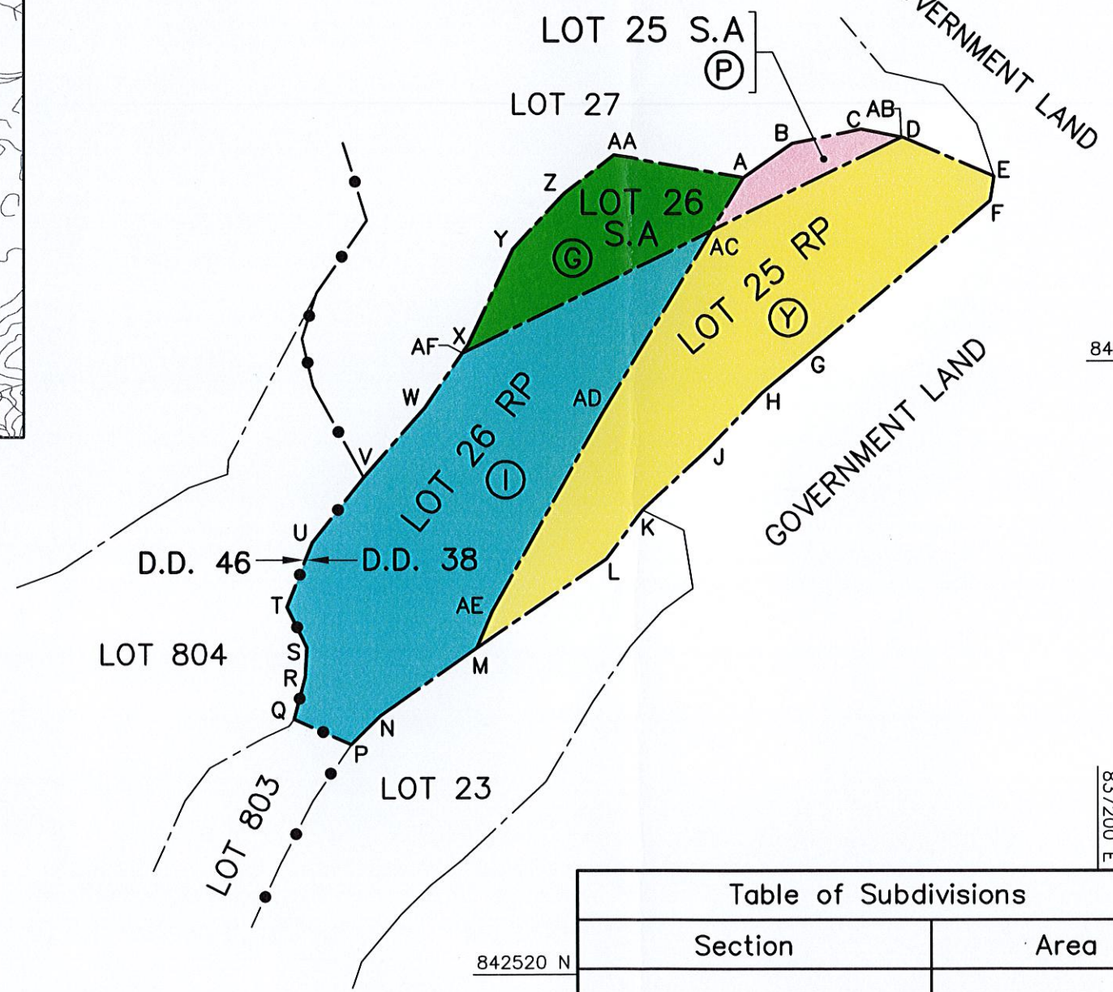
N

842560 N

LOCATION



SCALE 1:20,000



842560 N

837200 E

Ref	Colour
B	BROWN
G	GREEN
I	INDIGO
O	ORANGE
P	PINK
R	RED
V	VIOLET
Y	YELLOW
GY	GREY

842520 N

842520 N

SCALE 1:400

METRES 10 0 10 20 30 40 METRES

837120 E | 837160 E

LOT COORDINATES & DIMENSIONS

Boundary Point	Bearing ° ' "	Distance in metres	Northing	Easting
LOT 25 S.A				
A			842 572.001	837 177.038
B	54 57 26	3.891	842 574.235	837 180.224
C	78 00 56	4.586	842 575.187	837 184.710
AB	101 18 35	2.705	842 574.657	837 187.362
AC	243 51 00	13.809	842 568.571	837 174.967
A	31 07 18	4.007	842 572.001	837 177.038
LOT 25 RP				
AC			842 568.571	837 174.967
AB	63 51 00	13.809	842 574.657	837 187.362
D	101 18 35	0.207	842 574.616	837 187.566
E	113 38 15	6.314	842 572.084	837 193.350
F	188 58 08	1.604	842 570.500	837 193.100
G	229 38 08	15.749	842 560.300	837 181.100
H	230 23 22	3.764	842 557.900	837 178.200
J	224 11 35	5.021	842 554.300	837 174.700
K	227 04 12	5.873	842 550.300	837 170.400
L	216 52 12	4.000	842 547.100	837 168.000
M	235 22 33	10.208	842 541.300	837 159.600
AE	22 37 12	2.600	842 543.700	837 160.600
AD	28 58 47	14.861	842 556.700	837 167.800
AC	31 07 18	13.866	842 568.571	837 174.967
LOT 26 S.A				
AA			842 573.510	837 168.531
A	100 03 32	8.640	842 572.001	837 177.038
AC	211 07 18	4.006	842 568.571	837 174.967
AF	243 51 00	18.123	842 560.584	837 158.699
X	34 10 14	0.637	842 561.111	837 159.057
Y	25 00 21	6.908	842 567.372	837 161.977
Z	42 31 13	4.915	842 570.994	837 165.299
AA	52 06 32	4.096	842 573.510	837 168.531
LOT 26 RP				
AF			842 560.584	837 158.699
AC	63 51 00	18.123	842 568.571	837 174.967
AD	211 07 18	13.867	842 556.700	837 167.800
AE	208 58 47	14.861	842 543.700	837 160.600
M	202 37 12	2.600	842 541.300	837 159.600
N	234 38 15	7.603	842 536.900	837 153.400
P	225 00 00	2.687	842 535.000	837 151.500
Q	293 59 07	4.050	842 536.646	837 147.800
R	14 34 25	2.787	842 539.344	837 148.501
S	03 33 01	2.006	842 541.346	837 148.625
T	333 59 15	2.919	842 543.969	837 147.345
U	21 21 33	4.543	842 548.200	837 149.000
V	37 57 15	5.390	842 552.450	837 152.315
W	40 55 16	6.076	842 557.042	837 156.295
AF	34 10 14	4.282	842 560.584	837 158.699

Table of Subdivisions

Section		Area
LOT 25 S.A	(Coloured Pink)	24.7 m² (About)
LOT 25 RP	(Coloured Yellow)	296.6 m² (About)
Total Area		321.3 m² (About)
LOT 26 S.A	(Coloured Green)	95.5 m² (About)
LOT 26 RP	(Coloured Indigo)	333.9 m² (About)
Total Area		429.4 m² (About)

I, Chan Hon Kwan Henry, an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap. 473), hereby certify that this land boundary plan has been prepared from land boundary surveys that were carried out by me, or under my direct supervision, in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the 13th day of August 2025.

Dated this 25th day of August 2025.

Authorized Land Surveyor

Survey District : NORTH
Date of Survey : AUGUST 2025
Survey Sheet No. : 3-NW-25D
Survey Record Plan No.: SRP/DN/005/02164/D1

PLAN OF S.A AND RP OF LOT NO. 25 AND S.A AND RP OF LOT NO. 26, ALL IN D.D. 38

BEING SUBDIVISION OF LOT NO. 25 AND LOT NO. 26, BOTH IN D.D. 38

FOR OFFICIAL USE

Land Boundary Plan No.: LBP/DN/005/02164/D1

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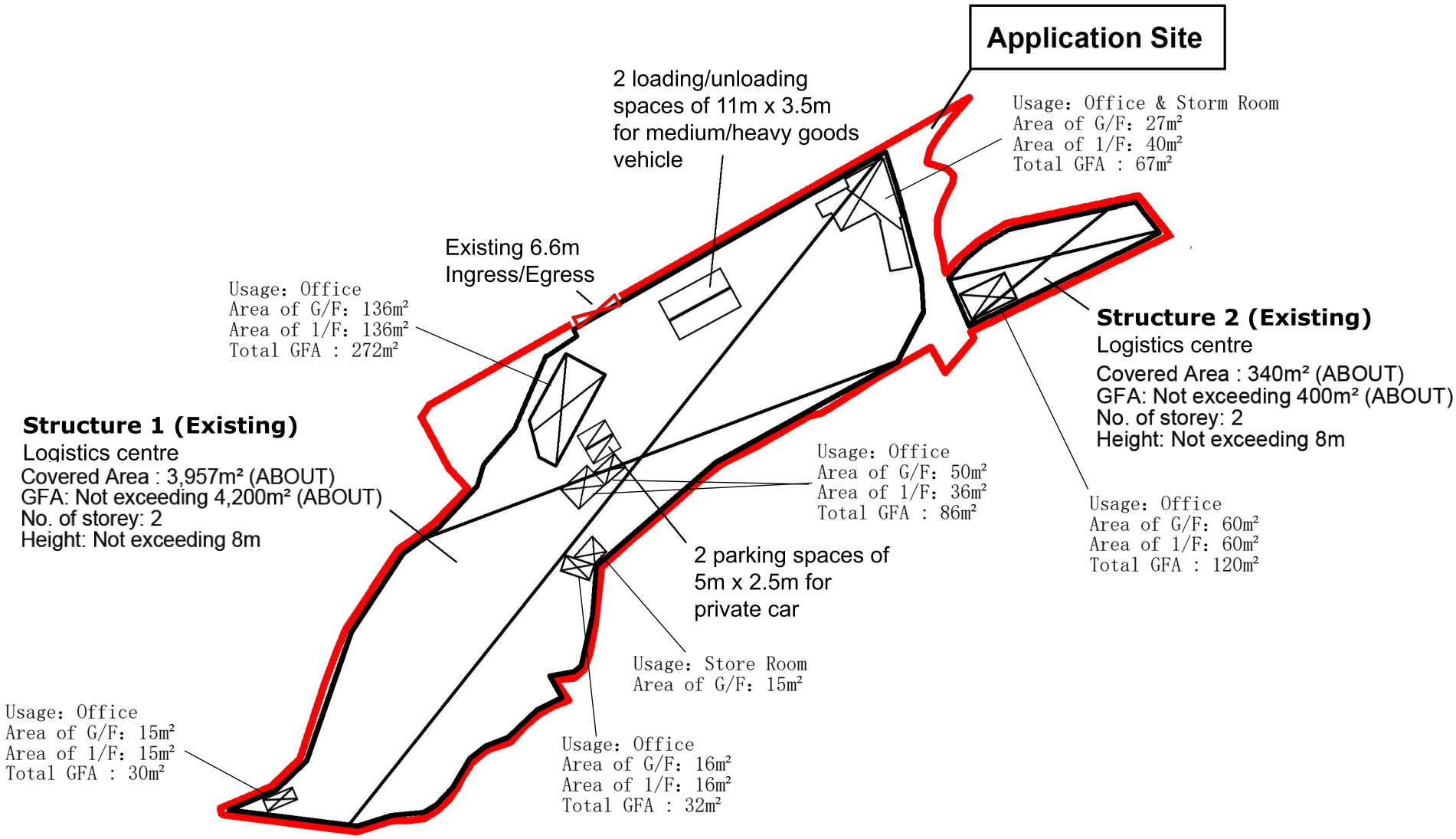


Allgain Land Planning
全堅土地規劃

Project 項目名稱:
Proposed Temporary Logistics Centre for a Period of Three Years and Associated Filling of Land at Lots 25 (Part), 26 (Part) and 27 in DD. 38, Lots 804 (Part), 806, 807,808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826(Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories

Drawing Title 圖紙標題:
Layout Plan

20251230

Remarks 備註:
- Private car parking Space
- Medium/heavy goods vehicle
- Structure

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展
(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))
(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	擬議臨時物流中心及相關填土工程 Proposed Temporary Logistics Centre and Associated Filling of Land (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	☑ year(s) 年 ..... 3 ..... ☐ month(s) 個月 .....

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	823 sq.m ☐About 約
Proposed covered land area 擬議有上蓋土地面積	4297 sq.m ☑About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	2
Proposed domestic floor area 擬議住用樓面面積	0 sq.m ☐About 約
Proposed non-domestic floor area 擬議非住用樓面面積	4600 sq.m ☑About 約
Proposed gross floor area 擬議總樓面面積	4600 sq.m ☑About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

構築物1：臨時物流中心，2層高，上蓋面積約3957平方米，總樓面面積約4200平方米，高度不多於8米。

構築物2：臨時物流中心，2層高，上蓋面積約340平方米，總樓面面積約400平方米，高度不多於8米。

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	2
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	0
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	2個中型貨車及重型貨車車位

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率	
	Domestic 住用	0	☐ About 約 ☐ Not more than 不多於	0	☐About 約 ☐Not more than 不多於
	Non-domestic 非住用	4600	☑ About 約 ☐ Not more than 不多於	0.898	☑About 約 ☐Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	0			
	Non-domestic 非住用	2			
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	0	m 米 ☐ (Not more than 不多於)		
		0	Storeys(s) 層 ☐ (Not more than 不多於)		
	Non-domestic 非住用	8	m 米 ☑ (Not more than 不多於)		
		2	Storeys(s) 層 ☑ (Not more than 不多於)		
(iv) Site coverage 上蓋面積		83.9 %	☑ About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數			2	
	Private Car Parking Spaces 私家車車位			2	
	Motorcycle Parking Spaces 電單車車位			0	
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位			0	
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位			0	
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位			0	
	Others (Please Specify) 其他 (請列明)			0	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數			2	
	Taxi Spaces 的士車位			0	
	Coach Spaces 旅遊巴車位			0	
	Light Goods Vehicle Spaces 輕型貨車車位			0	
	Medium Goods Vehicle Spaces 中型貨車位			0	
	Heavy Goods Vehicle Spaces 重型貨車車位			0	
	Others (Please Specify) 其他 (請列明) 2個中型貨車及重型貨車車位				

TEMPORARY DRAINAGE PROPOSAL

APPLICATION SITE OF PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AND FILLING OF LANDS AT LOT 25 (PART), 26 (PART) & 27 IN D.D.38, LOTS 802 (PART), 804 (PART), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP IN D.D.46 AND ADJOINING GOVERNMENT LAND, SHA TAU KOK, NEW TERRITORIES

Application No.:

Project No.: ALPL/TDM/001
Revision No.: 0
20 October 2024

1 Content

2 Introduction 3
2.1 Background 3
2.2 Objectives of the Report 3
2.3 Report Structure 3
3 Development Proposal 3
3.1 Location of the Application Site 3
4 Assessment Criteria 4
4.1 Design Return Periods 4
4.2 Calculation Methodology for Runoff 5
4.3 Calculation Methodology for Pipe Capacity Checking 5
5 Potential Drainage Impact 5
5.1 Existing Site Condition 5
5.2 Changes in Drainage Characteristics 6
5.3 Potential Drainage Impact 6
6 Construction Stage 7
6.1 Temporary Drainage Arrangements 7
7 Conclusions 8
7.1 Conclusions 8

2 Introduction

2.1 Background

This report presents the Drainage Proposal for supporting the Proposed Temporary Logistics Centre for a Period of 3 Years at and filling of lands a Lot 25(part), 26(part) & 27 in D.D.38, Lots 802(part), 804(part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and adjoining government land, Sha Tau Kok, New Territories.

2.2 Objectives of the Report

This report shall be prepared to include the following:

- Identify the potential drainage impact assessment from the proposed Application Site
- Recommend and implement all necessary measures to mitigate adverse drainage impacts arising from the application site

2.3 Report Structure

The report contains the following sections:

- Section 1 on Introduction;
- Section 2 on Development Proposal;
- Section 3 on Assessment Criteria;
- Section 4 on Potential Drainage Impact; and
- Section 5 on Conclusion.

3 Development Proposal

3.1 Location of the Application Site

The application Site is located within the Sha Tau Kok, with an area of around 5240m^2 (including Government Land of about 228m^2) and ground level varying between + 23.5mPD and + 26.6mPD. The layout plan is provided in **Appendix B**.

This application site is "Agriculture" zoning, the type of application is the Temporary Use/Development in Rural Areas for a Period of 3 Years.

There is a existing Drainage Service Department 900mm diameter U-channel (feature no.: SUP1022140) vicinity of the application site, with reference to Geoinfo Map, the location and site photos of the existing U-channel are provided in **Appendix C**.

4 Assessment Criteria

4.1 Design Return Periods

The drainage system in the Application site is to collect surface flows and convey to downstream village drain. The recommended design return periods based on the flood levels for the various drainage systems depend on the drainage system, land use, hazard to public safety and community expectations. The recommended design return period is reproduced in Table 4-1 below:

DESCRIPTION	DESIGN RETURN PERIODS
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage including internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 4-1 Recommended Design Return Periods based on Flood Levels

As per Storm Drainage Manuel (SDM) Section 6.6.2 Urban Drainage Branch and Urban Drainage Trunk Systems "An 'Urban Drainage Branch System' is defined as a group or network of connecting drains collecting runoff from the urban area and conveying stormwater to a trunk drain, river or sea. For a simple definition, the largest pipe size or the equivalent diameter in case of a box culvert in a branch system will normally be less than 1.8m.

An 'Urban Drainage Trunk System' collects stormwater from branch drains and/or river inlets, and conveys the flow to outfalls in river or sea. Pipes with size or diameter equal to or larger than 1.8m are normally considered as trunk drains."

As per SDM, since the proposed U-channels are sized smaller than 1.8m, the drainage system would be defined as an urban drainage branch with recommended design return period of 50 years.

The 50 years design return period will be considered to ensure adequacy of the stormwater drainage system.

4.2 Calculation Methodology for Runoff

Peak instantaneous runoff values before and after the development were calculated based on the Rational Method and with recommended physical parameters including runoff coefficient (C) and storm constants for different return periods referred to the SDM, based on the following equation:

$$\mathbf{Q_p = 0.278\ C\ i\ A}$$

where

Q_p	=	Peak Runoff, m^3/s
C	=	Runoff Coefficient
i	=	Rainfall Intensity, mm/hr
A	=	Catchment Area, km^2

The paved area of the site will account for 5240m2. For conservative, the runoff coefficient of 0.9 is assumed, such that the all the run-off would be collected from the catchment area without any infiltration as the critical scenario.

Based on the storm constants for 50-year return period recommended in the SDM, the appropriate rainfall intensities (i) are calculated as detailed in Appendix D

4.3 Calculation Methodology for Pipe Capacity Checking

Due to the catchment areas are less than 1ha, U-channels are recommended to be constructed to collect the stormwater runoff of the open area within the site. For the catchment area within the roofing of the one-story warehouse, stormwater would be collected by the gutter, and then be diverted to U-channel system at ground level via downpipe. The collected stormwater should finally be diverted to the downstream via the proposed U-channel system.

For the worst-case scenario, bad condition of concrete pipe is assumed for the Manning's roughness coefficient (coefficient value is 0.016) for calculating capacities of concrete U-channel using Manning's Equation.

Manning's Equation for calculating the channel and pipe capacities is adopted.

5 Potential Drainage Impact

5.1 Existing Site Condition

The application Site is located within the Sha Tau Kok with an area of around 5240m^2 and ground level varying between + 23.5mPD and + 26.6mPD.

5.2 Changes in Drainage Characteristics

Since the ground level of application site is generally higher than the adjacent ground surface. No external catchment shall be considered in the calculation.

The characteristics of the sub-catchment areas are altered due to the proposed application, which are changed from unpaved site area to paved area. The change in sub-catchment is summarized in Table 5-1.

	Before	After
Grassland (m^2)	0	0
Paved Area (m^2)	5240	5240
External Catchment Area(m^2)	0	0
Total Catchment Area (m^2)	5240	5240

Table 5-1 Change in sub-catchment within the site

5.3 Potential Drainage Impact

The details of the proposed drainage works are illustrated in **Appendix C**.

To effectively convey stormwater away from the application site and minimize the potential impact to the drainage infrastructure of the village area, drainage works consists of U-channels, are proposed to convey the stormwater runoff to the terminate catchpit with sand trap (TCP).

The runoff within application site divided to two portion, roofing area and open area. For the roofing area runoff, it collected by surrounding gutter and then be conveyed to the U-channel system by the 150mm dia. downpipe to the ground level U-channel system. For the open are of the application site, runoff would be collected by 300mm U-channels along the open area and convey to the terminate catchpit with sand trap (TCP), before discharge to the existing DSD 900mm dia. U-channel at the northwest direction of the application site, and eventually discharge to the further downstream as indicated in the **Appendix C**.

The 4nos. of 300 mm U-channel receives stormwater from the open area and roofing area. For Conservative, the critical scenario is considered for collecting all the flow leading to the 300mm U-channel. The design calculation of the proposed drainage is provided in **Appendix D**. The design calculation is summarized in Table 4-2.

Drainage System	Estimated Flow (L/min)	Capacity (L/min)	Reserve Capacity
300mm u-channel U1	1062.5	7000	85%
300mm u-channel U2	1793.6	7000	74%
300mm u-channel U3	1509.6	7000	78%
300mm u-channel U4	2524.7	7000	64%

Table 4-2 Design calculation of the proposed drainage work

1. Rainfall increase due to climate change at the end of 21st century is considered according to stormwater drainage manual Table 28.
2. The reserve capacity is calculated by assuming that the U-channel reach its full capacity.

The design runoff arise from the proposed Application Site is to be discharged into the proposed terminate catchpit with the runoff anticipated to be 1062.5-2524.7L/min, which is within the drainage capacity of the proposed 300mm u-channel of 7000L/min, the minimum reserve capacity is 64%.

It is considered that the drainage discharge from the Application Site will not cause adverse impact to the entire downstream drainage system.

All u-channels & catch pits will be constructed according to the CEDD's standard drawings, please refer to the **Appendix E**.

6 Construction Stage

6.1 Temporary Drainage Arrangements

Proper measures shall be taken to maintain the existing drainage characteristics of the catchment areas and to minimize drainage impacts associated with the construction works. The principal drainage impacts which are associated with construction of the works have been identified as follows:
(i) Erosion of ground materials;
(ii) Sediment transportation to existing downstream drainage system; and
(iii) Obstruction to drainage systems.

Regular inspections shall be carried out to ensure integrity of the works. These inspections shall cover works under construction as well as recently completed areas.

To ensure proper operation of the site drainage channels and desilting facilities, inspection of the perimeter drains shall be carried out on a weekly basis and the desilting facilities shall be cleaned on a daily basis.

If excavated materials are not possible to transport away the excavated material within the same day, the material should be covered by tarpaulin/impervious sheets. Stockpiles of construction materials (for examples aggregate, fill materials) of more than 50 m3 in an open area shall also be covered with tarpaulin or similar fabric during rainstorms.

All runoff discharged into the existing drainage system will be settled in a silt trap to ensure no sediment will be discharged into the channel. Silt traps will normally be provided along the site drainage immediately upstream of the proposed discharge point to the existing Site. The silt traps will be inspected daily and immediately after each rainstorm.

Liaison will be carried out with relevant parties regarding temporary drainage arrangements to ensure that the drainage system is functioning adequately.

7 Conclusions

7.1 Conclusions

The analysed catchment area of 5240m2 consists of the site area of the proposed Application Site only and no external catchment area had been identified.

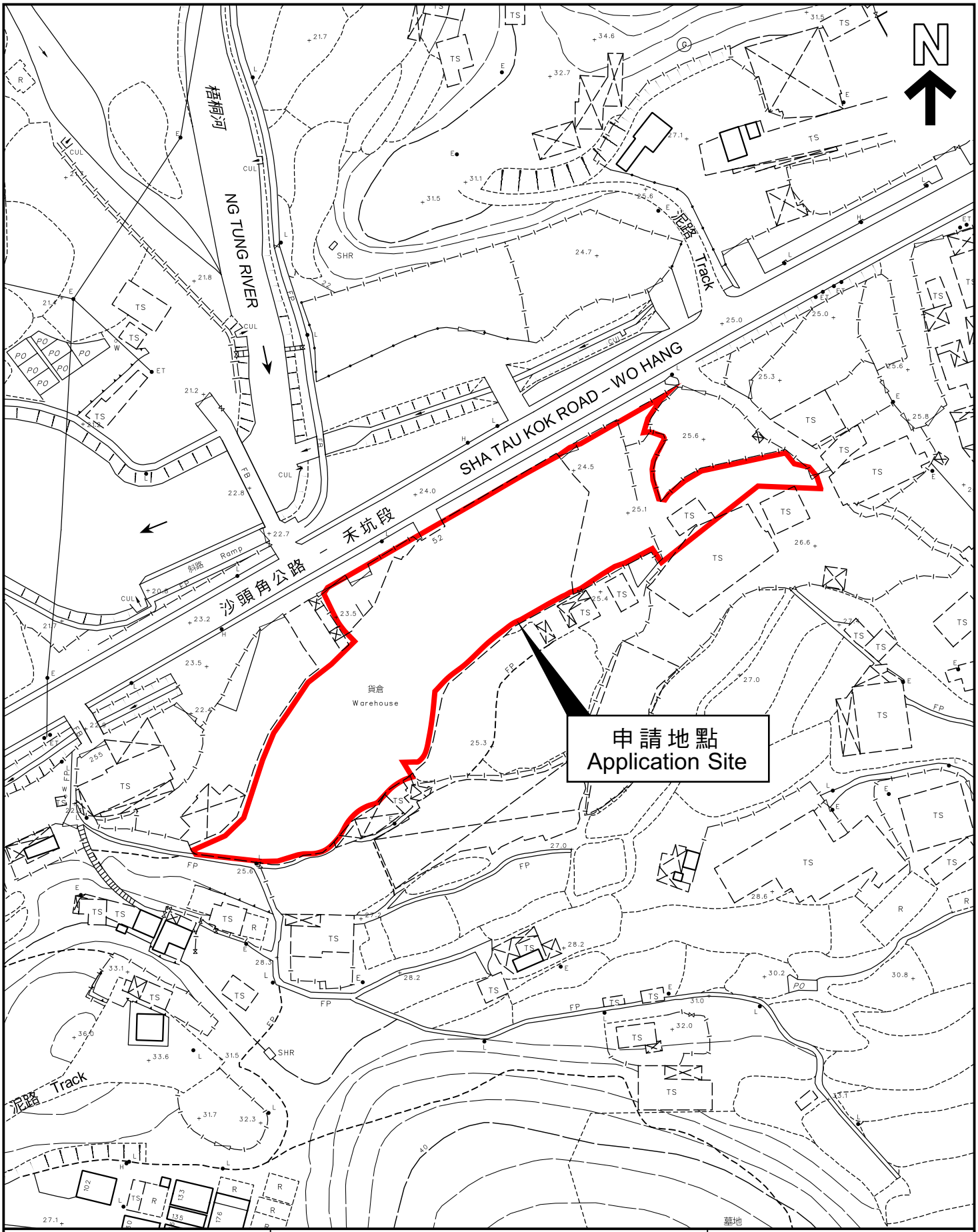
U-channels are proposed to convey runoff from the application site for collection. The proposed U-channels are located along the open area and receive the stormwater from the roofing area which is subject to change to suit the building layout.

The assessment reviews the drainage pipe have the sufficient capacity to cater for the drainage flow from the Application Site.

Mitigation measures are proposed during the construction period and to ensure that the existing drainage system within the site will not be affected during the construction stage.

APPENDIX A

SITE LAYOUT PLAN



平面圖 **SITE PLAN**

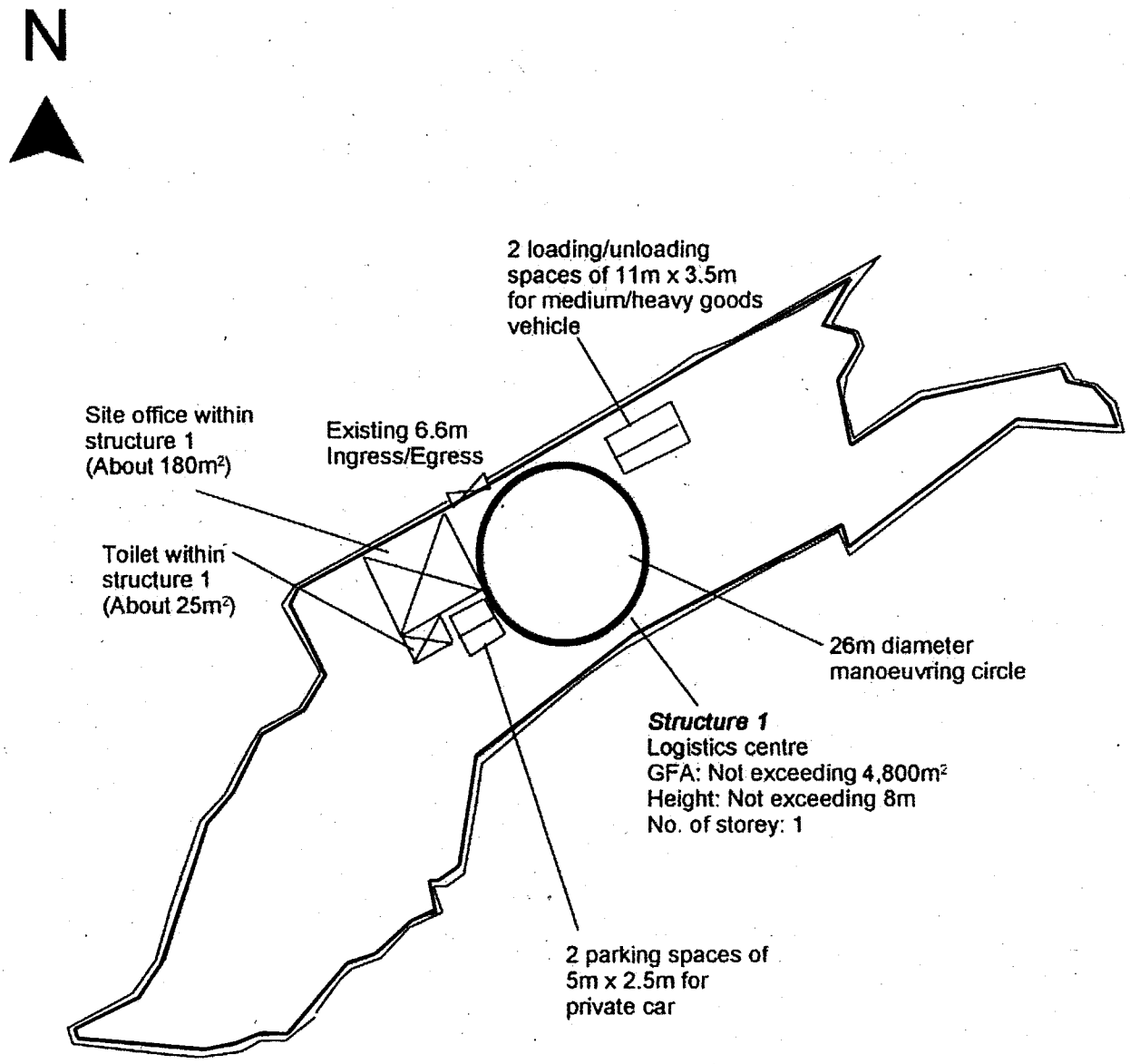
本摘要圖於2023年8月21日擬備，
所根據的資料為測量圖編號
3-NW-25B及25D
EXTRACT PLAN PREPARED ON 21.8.2023
BASED ON SURVEY SHEETS No.
3-NW-25B & 25D

申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.
A/NE-MUP/193

APPENDIX B

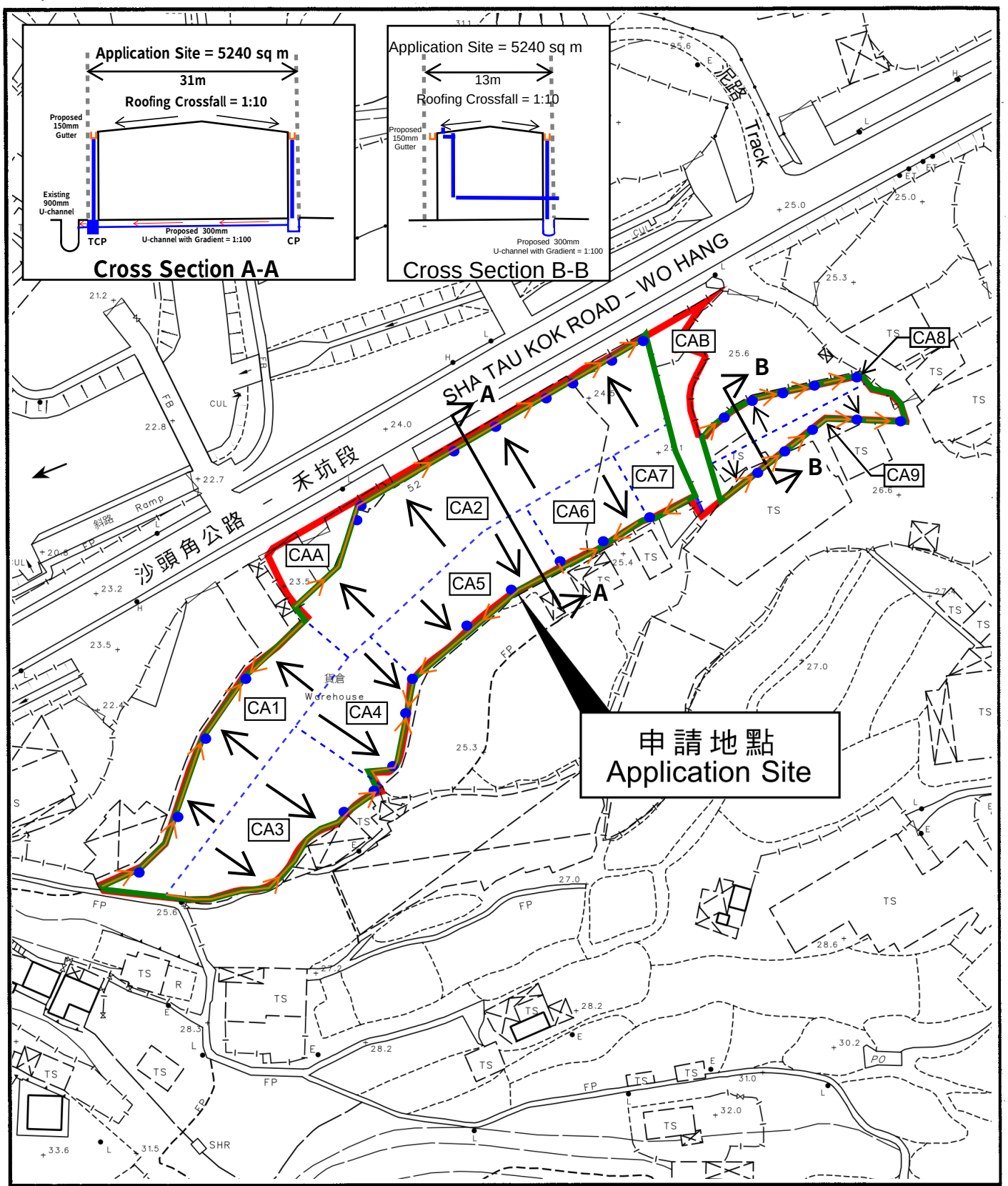
LAYOUT PLAN



Project 項目名稱:	Drawing Title 圖目:	Remarks 備註:
Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) & 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.	Proposed Layout Plan	☐ Structrue 1
	Drawing No. 圖號: Figure 2	Scale 比例: 1:1000

APPENDIX C

PROPOSED DRAINAGE PLAN



Project 項目名稱:

Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) & 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.

Drawing Title 圖目:

Proposed Drainage Layout Plan- Roof Level

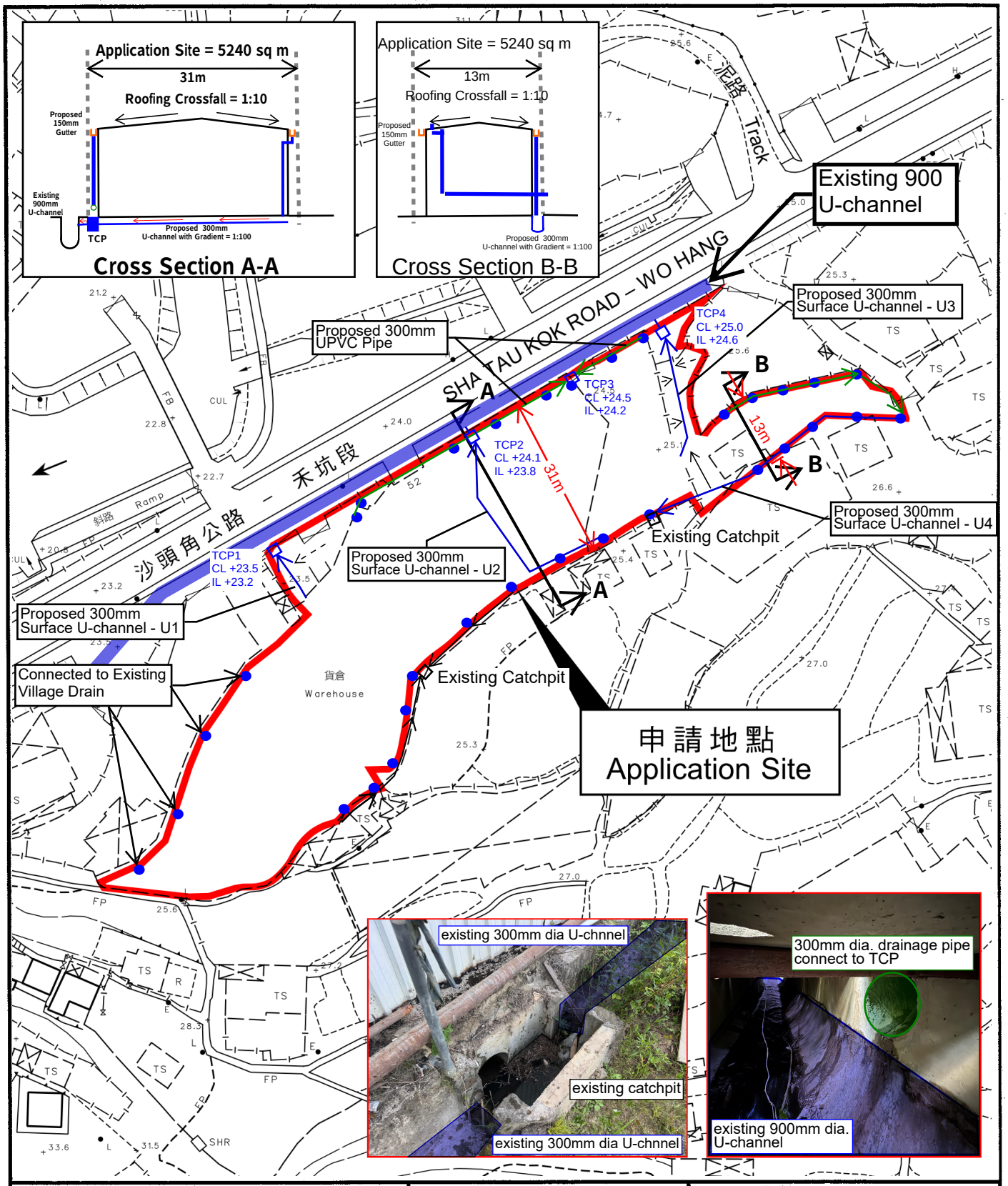
Drawing No. 圖號:

Figure 6

Remarks 備註:

- Roofing Area
- Fall of Roofing
- 150 mm Gutter
- Downpipe

Scale 比例:



Project 項目名稱:

Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) & 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.

Drawing Title 圖目:

Proposed Drainage Layout Plan- Ground Level

Drawing No. 圖號:

Figure 7

Remarks 備註:

- Proposed Catch Pit
- Existing Catch Pit
- Fall of Open Area
- Proposed U channel
- UPVC Pipe Connect Downpipe and Catchpit
- **Downpipe**

Scale 比例:

APPENDIX D

DESIGN CALCULATION OF THE PROPOSED DRAINAGE SYSTEM

PROJECT: *APPLICATION SITE OF PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AND FILLING OF LANDS AT SHA TAU KOK, NEW TERRITORIES*

Revision : *0*

Date : *18-Oct-24*

JOB NO : *ALPL/TDM/001*

TITLE : ***Temporary Drainage Design Calculation***

Prepare By: *JW*

DETERMINE THE CATCHMENT OF AREA

CA1	=	746	(m^2)
CA2	=	1546	(m^2)
CA3	=	660	(m^2)
CA4	=	399	(m^2)
CA5	=	529	(m^2)
CA6	=	307	(m^2)
CA7	=	183	(m^2)
CA8	=	209	(m^2)
CA9	=	223	(m^2)
CAA	=	182	(m^2)
CAB	=	258	(m^2)

DETERMINE THE INLET TIME AND INTENSITY

Section	*A = Catchment of Area (m^2)*		*Level of remote point (mPD)*	*Level of inlet point (mPD)*	*L (m)*	*H (m/100m)*	*t_e = Time of Natural flow (min)*	*Assumed Flow (m/s)*	*t_f (min)*	t_c (min)	I (mm/hr)	*Remarks*
1	*CA1*	*746*	*33.1*	*31.7*	*14*	*10.00*	*0.66*	*1.5*	*0.16*	*0.81*	390	*roofing*
2	*CA2*	*1546*	*33.1*	*31.7*	*17*	*8.24*	*0.77*	*1.5*	*0.19*	*0.96*	390	*roofing*
3	*CA3*	*660*	*33.1*	*31.7*	*16*	*8.75*	*0.78*	*1.5*	*0.18*	*0.96*	390	*roofing*
4	*CA4*	*399*	*33.1*	*31.7*	*19*	*7.37*	*1.01*	*1.5*	*0.21*	*1.22*	390	*roofing*
5	*CA5*	*529*	*33.1*	*31.7*	*18*	*7.78*	*0.92*	*1.5*	*0.20*	*1.12*	390	*roofing*
6	*CA6*	*307*	*33.1*	*31.7*	*14*	*10.00*	*0.72*	*1.5*	*0.16*	*0.88*	390	*roofing*
7	*CA7*	*183*	*33.1*	*31.7*	*14*	*10.00*	*0.76*	*1.5*	*0.16*	*0.91*	390	*roofing*
8	*CA8*	*209*	*33.6*	*32.9*	*7.5*	*9.33*	*0.41*	*1.5*	*0.08*	*0.49*	390	*roofing*
9	*CA9*	*223*	*33.6*	*33.1*	*5.5*	*9.09*	*0.30*	*1.5*	*0.06*	*0.36*	390	*roofing*
A	*CAA*	*182*	*23.5*	*23.3*	*10.5*	*1.90*	*0.79*	*1.5*	*0.12*	*0.91*	390	*open area*
B	*CAB*	*258*	*25.1*	*25.05*	*3*	*1.67*	*0.22*	*1.5*	*0.03*	*0.26*	390	*open area*

Ref.: ***Brandsby Williams Equation***

Note:

$$t_e = \frac{0.14465.L}{H^{0.2}.A^{0.1}}$$

H = average slope (m per 100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration

L = distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m).

t_f = Flow time = L / assumed flow velocity

t_c = Time of concentration = $t_f + t_e$ (Min. t_c = 1 min. for conservative design)

I = Intensity = Refer to the extracted Figure 8.2 - Curves Showing Duration and Intensity of Rainfall in H.K. for Various Return Periods (Geotechnical Manual for Slopes P.248)

DETERMINE THE SIZE AND QUANTITIES OF DOWNPIPE

1	2	3	4	5	6	7	8	9	10	
Section No.	Dia. of Downpipe (m)	Sectional Area of Gutter (m^2)	v (m/s)	No. of Downpipe Provided	Capacity (l/min)	A (m^2)	I (mm/hr)	Runoff (l/min)	Remark	
CA1	0.15	0.02	2.00	4	8482	746	390	4366	*O.K.*	*CAPACITY > RUNOFF*
CA2	0.15	0.02	2.00	8	16965	1546	390	9042	*O.K.*	*CAPACITY > RUNOFF*
CA3	0.15	0.02	2.00	2	4241	660	390	3861	*O.K.*	*CAPACITY > RUNOFF*
CA4	0.15	0.02	2.00	2	4241	399	390	2335	*O.K.*	*CAPACITY > RUNOFF*
CA5	0.15	0.02	2.00	3	6362	529	390	3093	*O.K.*	*CAPACITY > RUNOFF*
CA6	0.15	0.02	2.00	2	4241	307	390	1794	*O.K.*	*CAPACITY > RUNOFF*
CA7	0.15	0.02	2.00	1	2121	183	390	1068	*O.K.*	*CAPACITY > RUNOFF*
CA8	0.15	0.02	2.00	5	10603	209	390	1220	*O.K.*	*CAPACITY > RUNOFF*
CA9	0.15	0.02	2.00	5	10603	223	390	1304	*O.K.*	*CAPACITY > RUNOFF*

Note: v = Velocity of flow in downpipe
A = Catchment Area
K = Runoff coefficient = 0.9 refer to Character of Surface (refer DSD(2013))

DETERMINE THE RUNOFF OF OPEN AREA

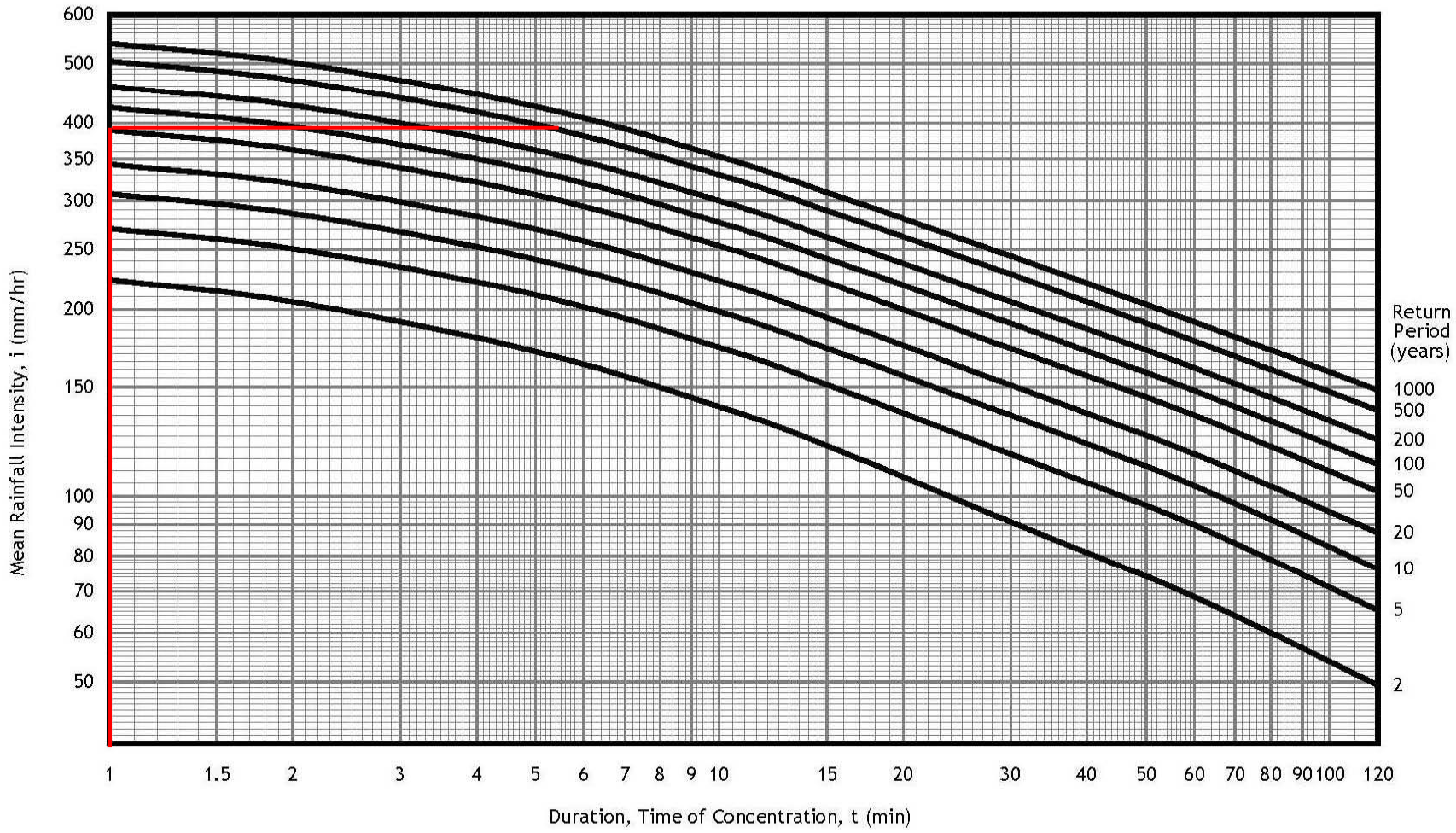
1	2	3	4	5	6	7	8
Section No.	Ldr (m)	Lh (m)	L (m)	Gradient (1 in)	Site area (m^2)	I (mm/hr)	Runoff (l/min)
CAA	0.15	13.00	13.00	86.67	182	390	1062.5
CAB	0.40	36.00	36.00	90.00	258	390	1509.6

DETERMINE THE SIZE OF STEPPED / U-CHANNEL

1	2	3	4	5	6	7	8	9						
U Channel No.	Carchment Area Section	Total area (m^2)	channel size (mm)	Assumed Flow	I (mm/hr)	Runoff (l/min)	Ldr (m)	Lh (m)	L (m)	Gradient (1 in)	Capacity (l/min)	Remark		
U1	A	182	300	1.50	380.00	1062.5	0.1	12	12.00	120.00	7000	O.K.	*CAPACITY > RUNOFF*	Required 150U, provide 300U with 1:100 gradient
U2	6	307	300	1.50	380.00	1793.6	0.4	43	43.00	107.50	7000	O.K.	*CAPACITY > RUNOFF*	Required 225U, provide 300U with 1:100 gradient
U3	B	258	300	1.50	380.00	1509.6	0.2	25	25.00	125.00	7000	O.K.	*CAPACITY > RUNOFF*	Required 225U, provide 300U with 1:100 gradient
U4	8, 9	432	300	1.50	380.00	2524.7	0.5	51	51.00	102.00	7000	O.K.	*CAPACITY > RUNOFF*	Required 225U, provide 300U with 1:100 gradient

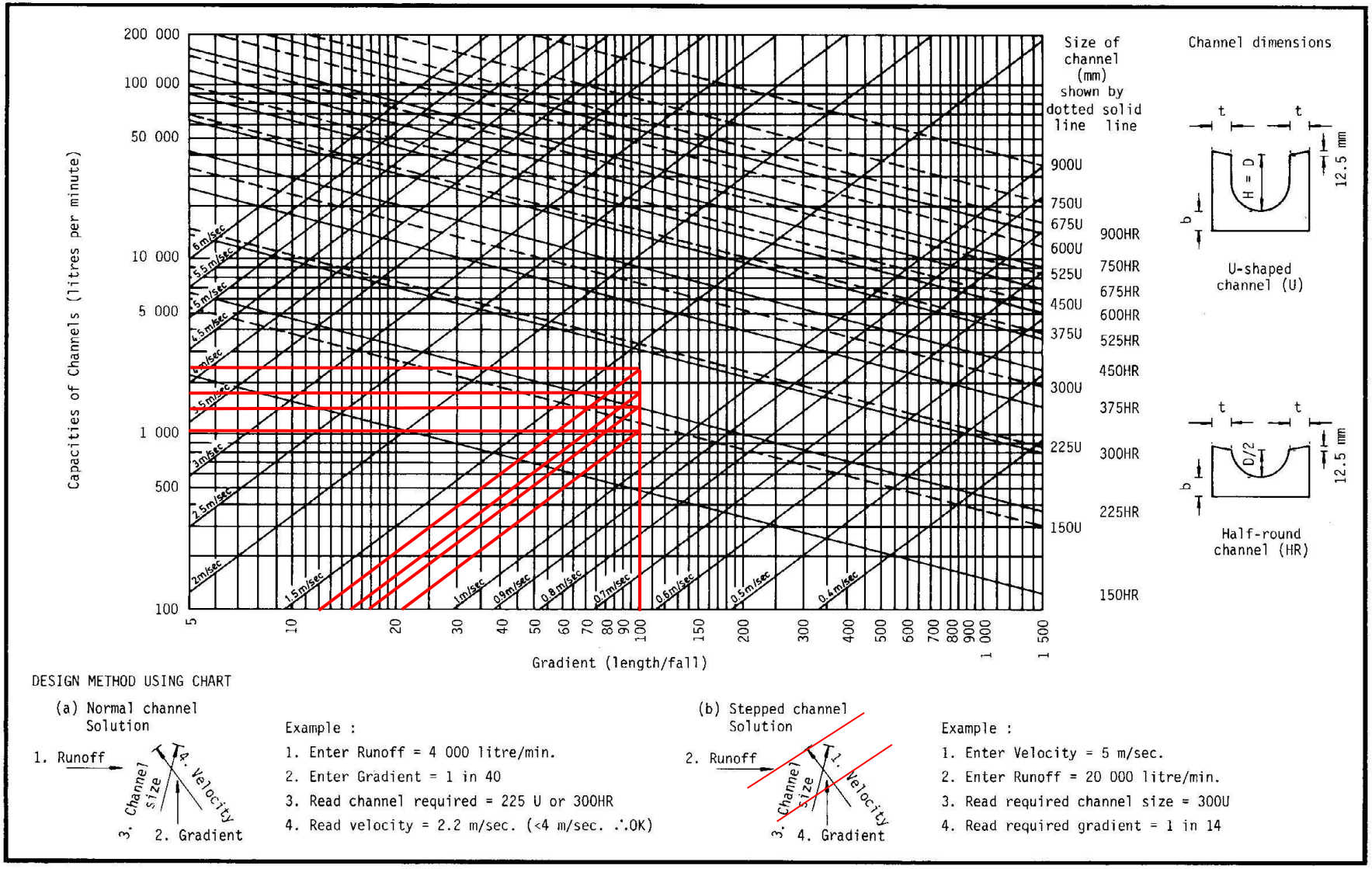
Note: Ldr = Different level between U-channel section
Gradient = 1 in (Lh/Ldr)
Total area = Site area + others area
A=Cumulative area = Total area + others section area
Capacity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)
Assumed flow velocity = Assumed velocity of runoff
Actual Flow velocity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)
Design Return Period = 50 years
Runoff = K.I.A./3600 (l/s) = K.I.A./60 (l/min)

For section no. U1 , **Actual** Flow Velocity = **1.20** m/s < **4m/s, O.K.**
For section no. U2 , **Actual** Flow Velocity = **1.30** m/s < **4m/s, O.K.**
For section no. U3 , **Actual** Flow Velocity = **1.27** m/s < **4m/s, O.K.**
For section no. U4 , **Actual** Flow Velocity = **1.40** m/s < **4m/s, O.K.**



Intensity

Printed Date: 21/10/2024



DESIGN METHOD USING CHART

(a) Normal channel
Solution

Example :

1. Enter Runoff = 4 000 litre/min.
2. Enter Gradient = 1 in 40
3. Read channel required = 225 U or 300HR
4. Read velocity = 2.2 m/sec. (<4 m/sec. ∴OK)

(b) Stepped channel
Solution

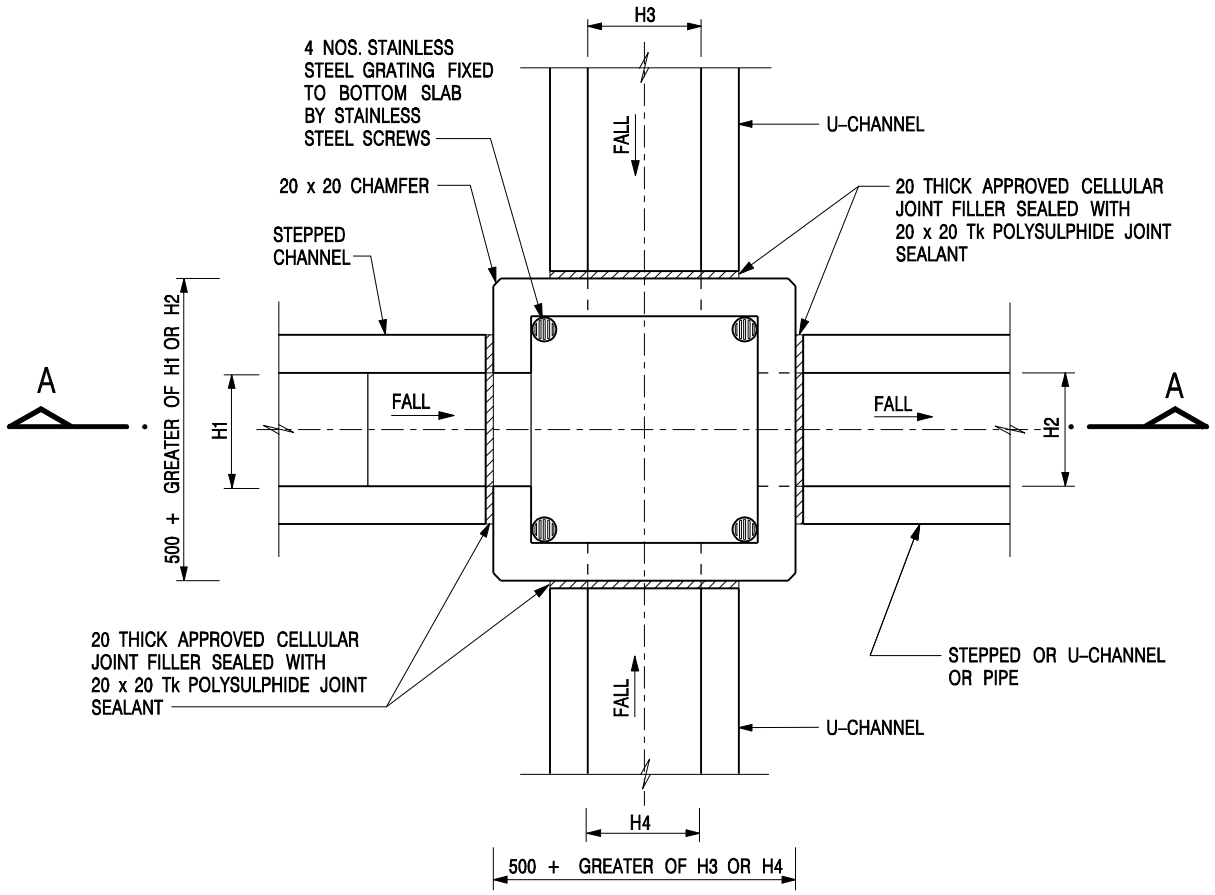
Example :

1. Enter Velocity = 5 m/sec.
2. Enter Runoff = 20 000 litre/min.
3. Read required channel size = 300U
4. Read required gradient = 1 in 14

APPENDIX E

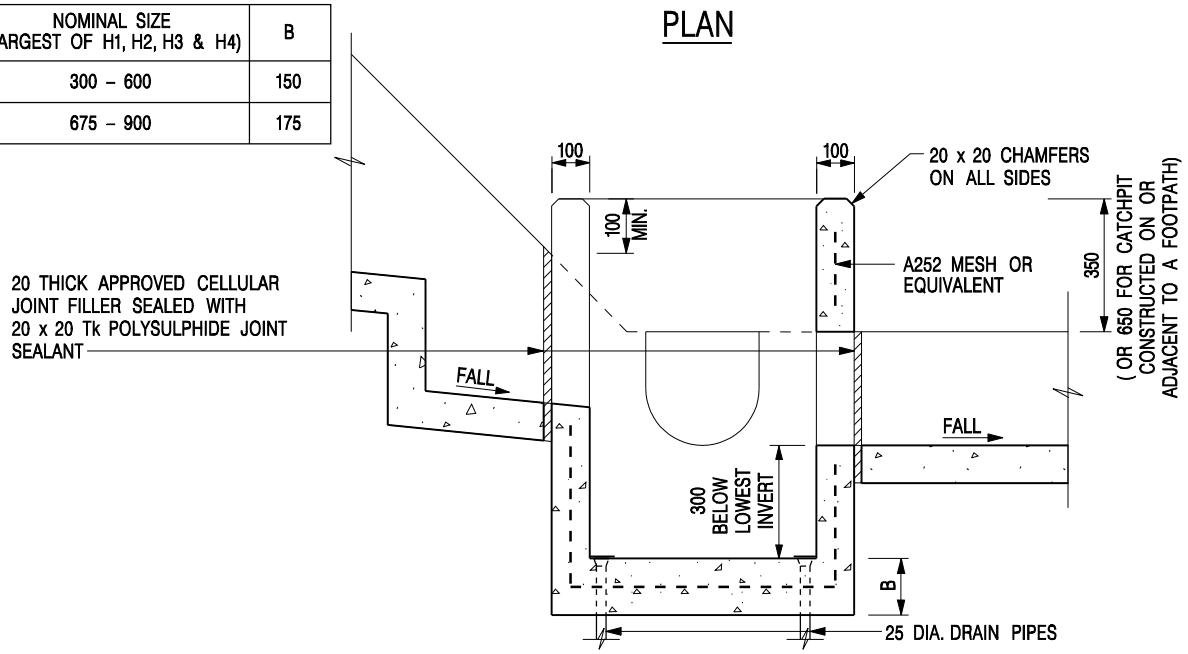
TYPICAL STANDARD DRAWINGS OF U-CHANNEL AND CATCHPIT

(EXTRACTED FROM CEDD, FOR REFERNCE ONLY)



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 – 600	150
675 – 900	175



SECTION A – A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

REF.	REVISION	SIGNATURE	DATE
–	FORMER DRG. NO. C2406J.	Original Signed	03.2015

CATCHPIT WITH TRAP

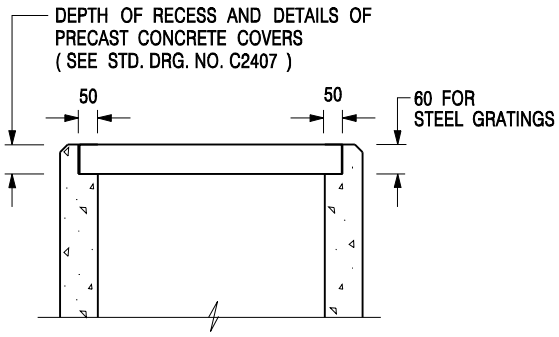
(SHEET 1 OF 2)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO. C2406 /1



ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

REF.	REVISION	SIGNATURE	DATE
A	MINOR AMENDMENT.	Original Signed	04.2016
–	FORMER DRG. NO. C2406J.	Original Signed	03.2015

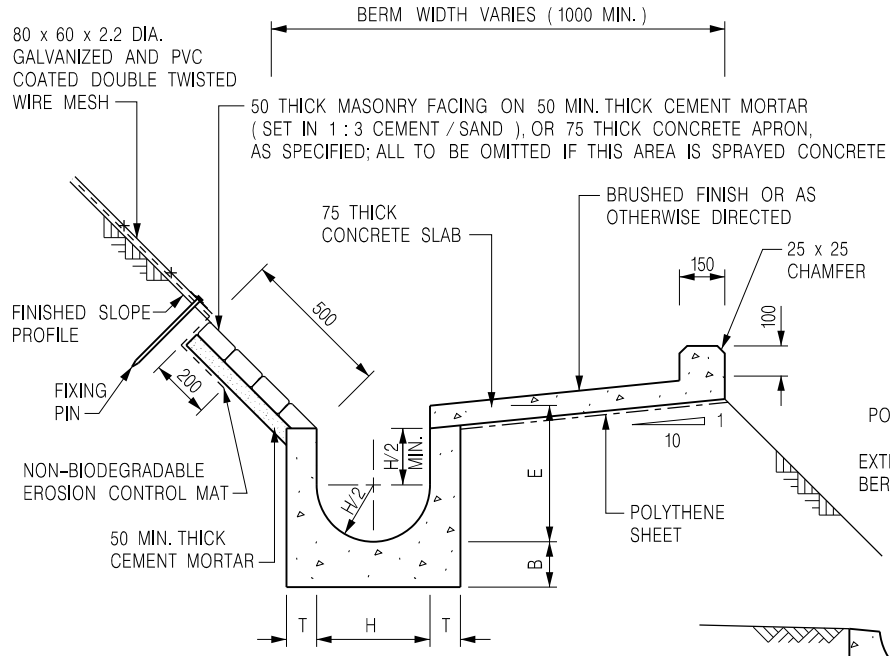
CATCHPIT WITH TRAP
(SHEET 2 OF 2)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

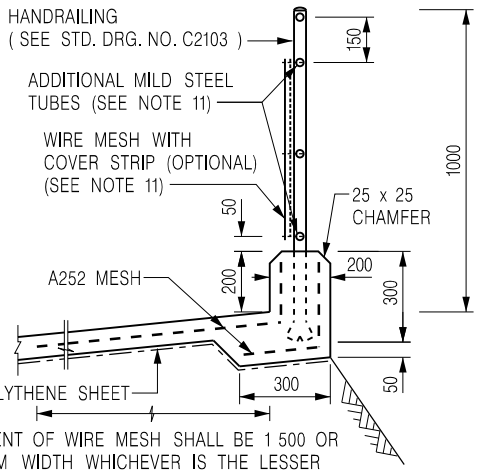
SCALE 1 : 20

DATE JAN 1991

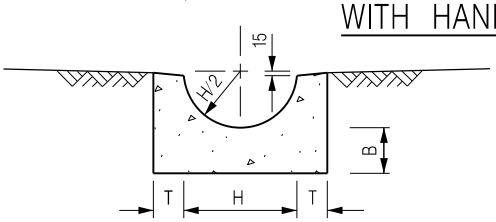
DRAWING NO. C2406 /2A



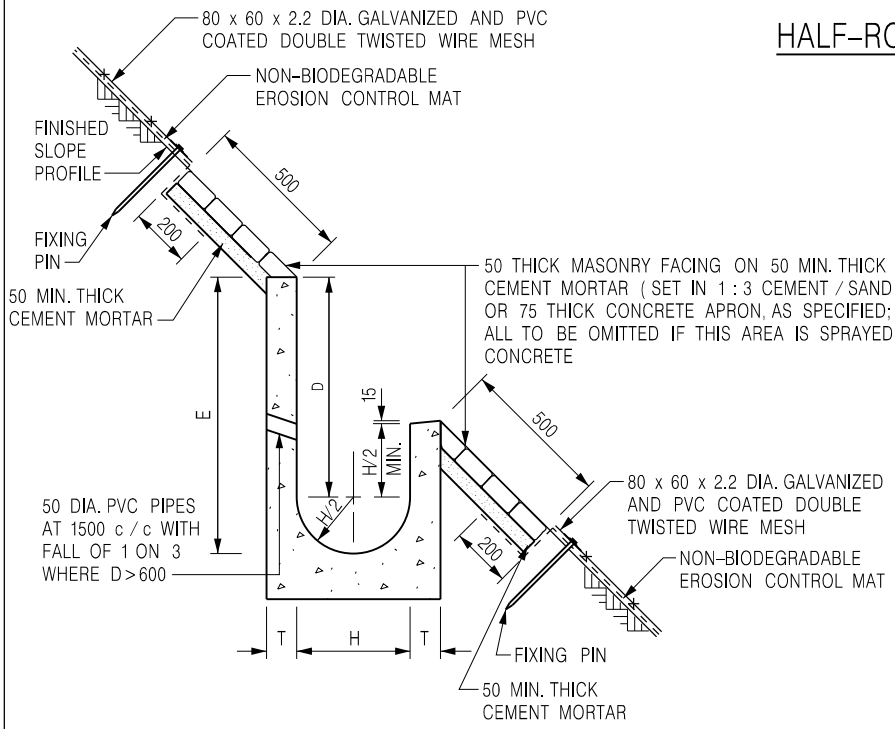
U-CHANNELS CONSTRUCTED ON BERM



DETAILS OF BERM WITH HANDRAILING



HALF-ROUND CHANNEL



U-CHANNELS NOT CONSTRUCTED ON BERM

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/1E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/1E)
11. THE WIRE MESH ON HANDRAILING IS OPTIONAL. THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO. C2103)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 – 600	100	150	
675 – 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
J	DETAILS OF HANDRAILING AMENDED.	Original Signed	08.2024
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002

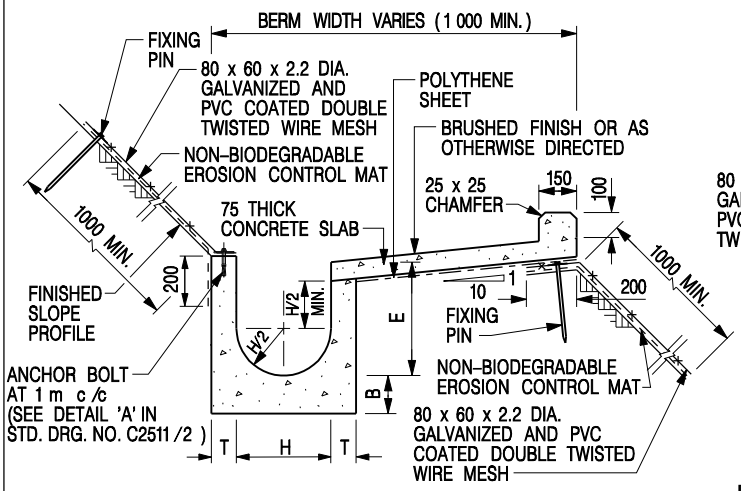
DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A – WITH MASONRY APRON)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

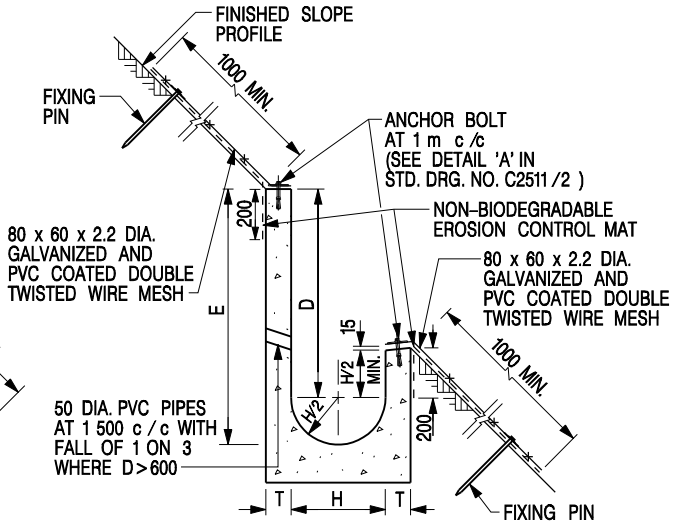
SCALE 1 : 25

DATE JAN 1991

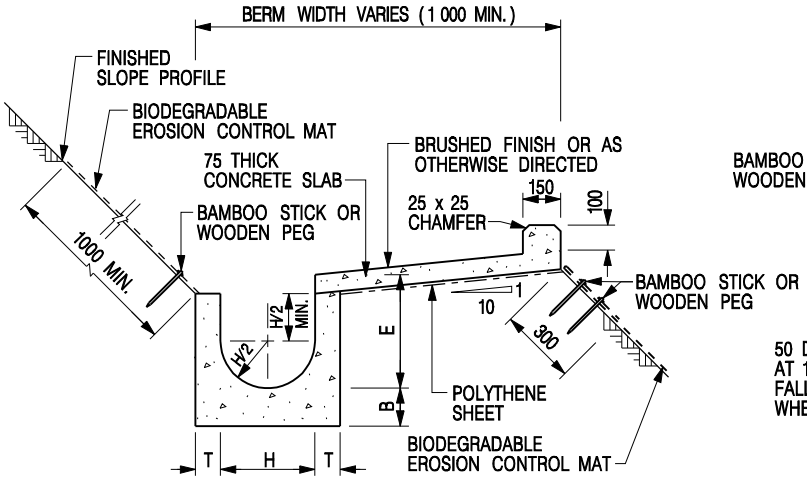
DRAWING NO. C2409J



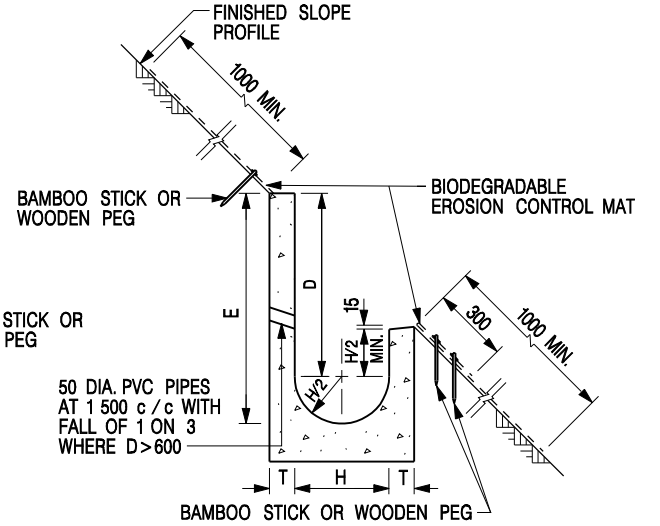
U-CHANNELS CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS NOT CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS NOT CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20/20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

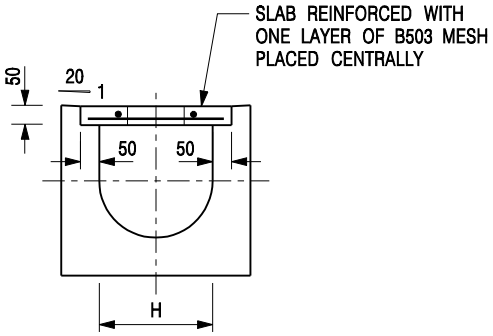
DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE B - WITH EROSION CONTROL MAT APRON)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

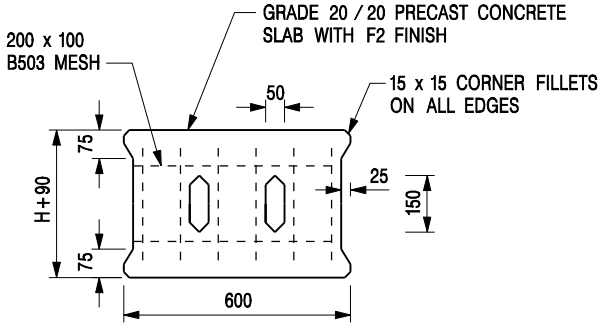
SCALE DIAGRAMMATIC

DATE JAN 1991

DRAWING NO. C2410I



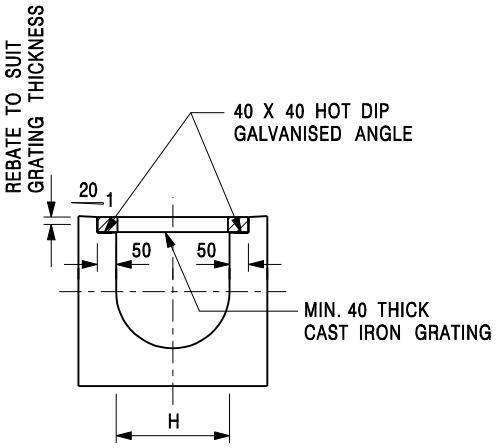
TYPICAL SECTION



PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



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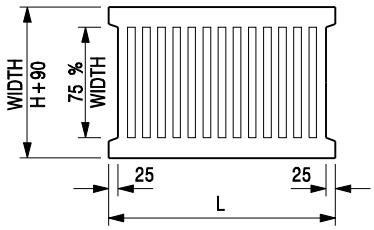


L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

REF.	REVISION	SIGNATURE	DATE
E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002

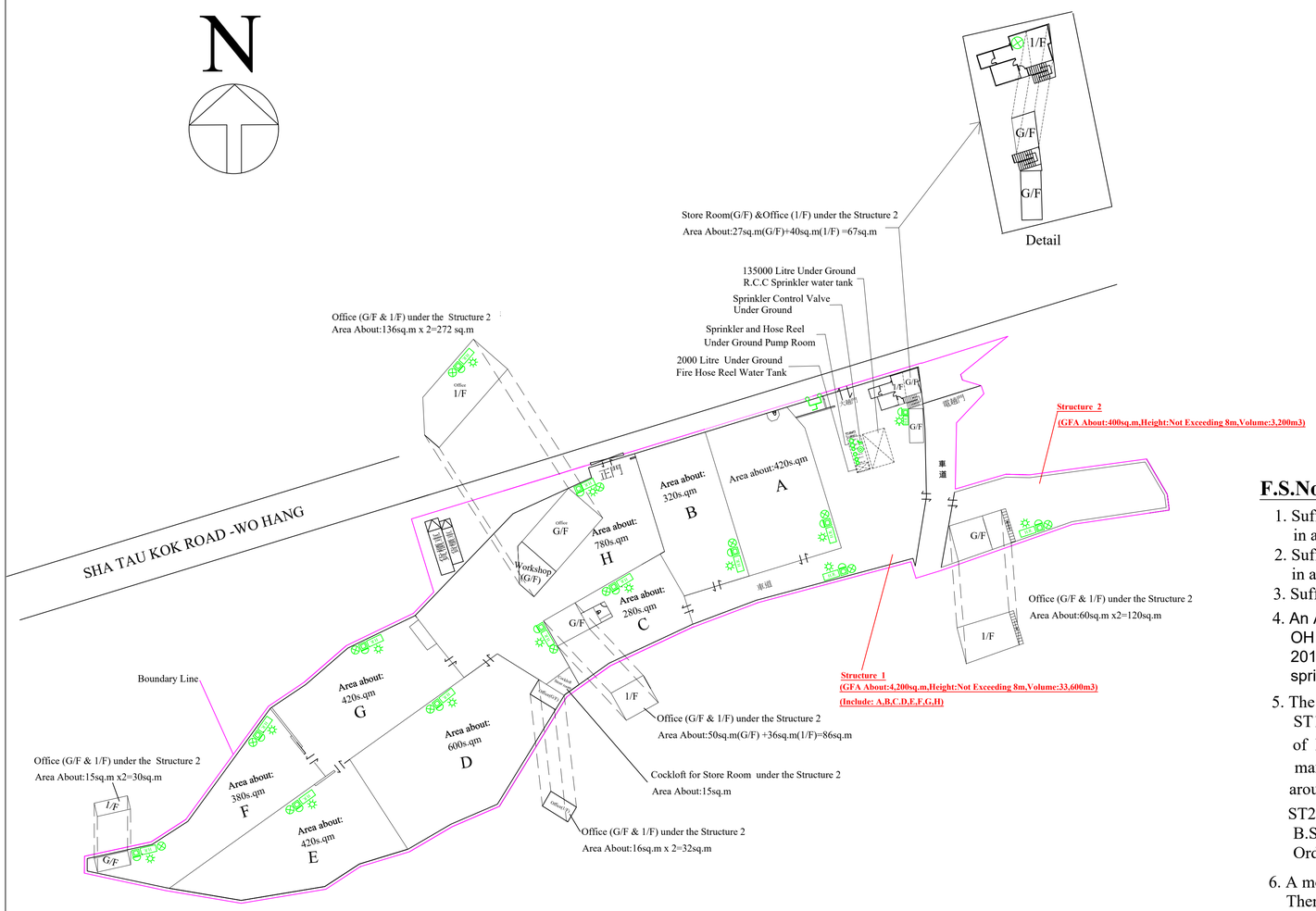
COVER SLAB AND CAST IRON GRATING FOR CHANNELS

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO. C2412E



LEGEND

	Gate Valve
	Non Return Valve
	Pump Set c/w Motor
	Sprinkler Control Valve
	Sprinkler Inlet
H.R.	Fire Hose Reel Set c/w Break Glass and Alarm Bell &Visual Alarm Device
JP	Sprinkler Jockey Pump
SP-1,SP-2	Sprinkler Duty and Standby Pump
HR-P1,HR-P2	Hose Reel Duty and Standby Pump
	4.0 kg Dry Powder type fire extinguisher
	5.0 kg CO2 type fire extinguisher
	Boundary Line

F.S.Notes:

1. Sufficient emergency lighting shall be provided througout the entire buildings/structures in accordance with B.S.5266-1:2016 and EN 1838:2013 and FSD Circular Letter No.4/2021
2. Sufficient directional and exit sign shall be provided in accordance with B.S.5266:Part 1 and FSD circular letter 5/2008 .
3. Sufficient Portable hand-operated Approved appliances shall be provided as required by occupancy and as marked on plans.
4. An Automatic sprinkler system supplied by 135,000L sprinkler water tank and Hazard class: OH III should be provided to the structure 1 & structure 2 in accordance with BS EN 12845: 2015 and FSD circular 5/2020 . The sprinkler water tank, sprinkler pump room, sprinkler inlet, sprinkler control valve group shall be clearly marked on plans.
5. The storage configuration is ST1 & ST2.
   ST1:free standing or block stacking with reference to the section 6.3.2 of B.S 12845.and storage pattern is the maximum storage height shall not exceed 4 m & the maximum storage areas shall be 50m2 for any single block.with no less than 2.4m clearance around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category I)
   ST2:Post pallets in single rows,with aisles not less than 2.4m wide with reference to be section 6.3.2 of B.S 12845. Maximum storage heights shall not exceed 3.5m & Aisles between rows shall be not less than 2.4m wide as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category:Category I)
6. A modified hose reel system supplied by a 2000 litre FS water tank shall be provided There shall be sufficient hose reels to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The FS water tank, FS pump room and hose reel shall be clearly marked on plans.
7. Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 -1 : 2017 and FSD Circular Letter no 6/2021. One actuation point and audio warning devices to be located at each hose reel point.This actuation point should include facilities for fire pump start and audio/visual warning device initiation.
8. The Sprinkler water Tank & F.S water Tank water supply pipe should be connected to Town Main. .
9. Source of secondary power supply shall be provided.
10. Static or dynamic smoke extraction system is not provided.The openable windows of Structure"1" with aggregate area exceeding 6.25% of the floor area as marked on plans.(Detail see openable window layout plan)
11. Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong should be notified to the Director of Fire Services.

INTERCEPT FIRE & SECURITY TECHNICIANS LTD.

[redacted]

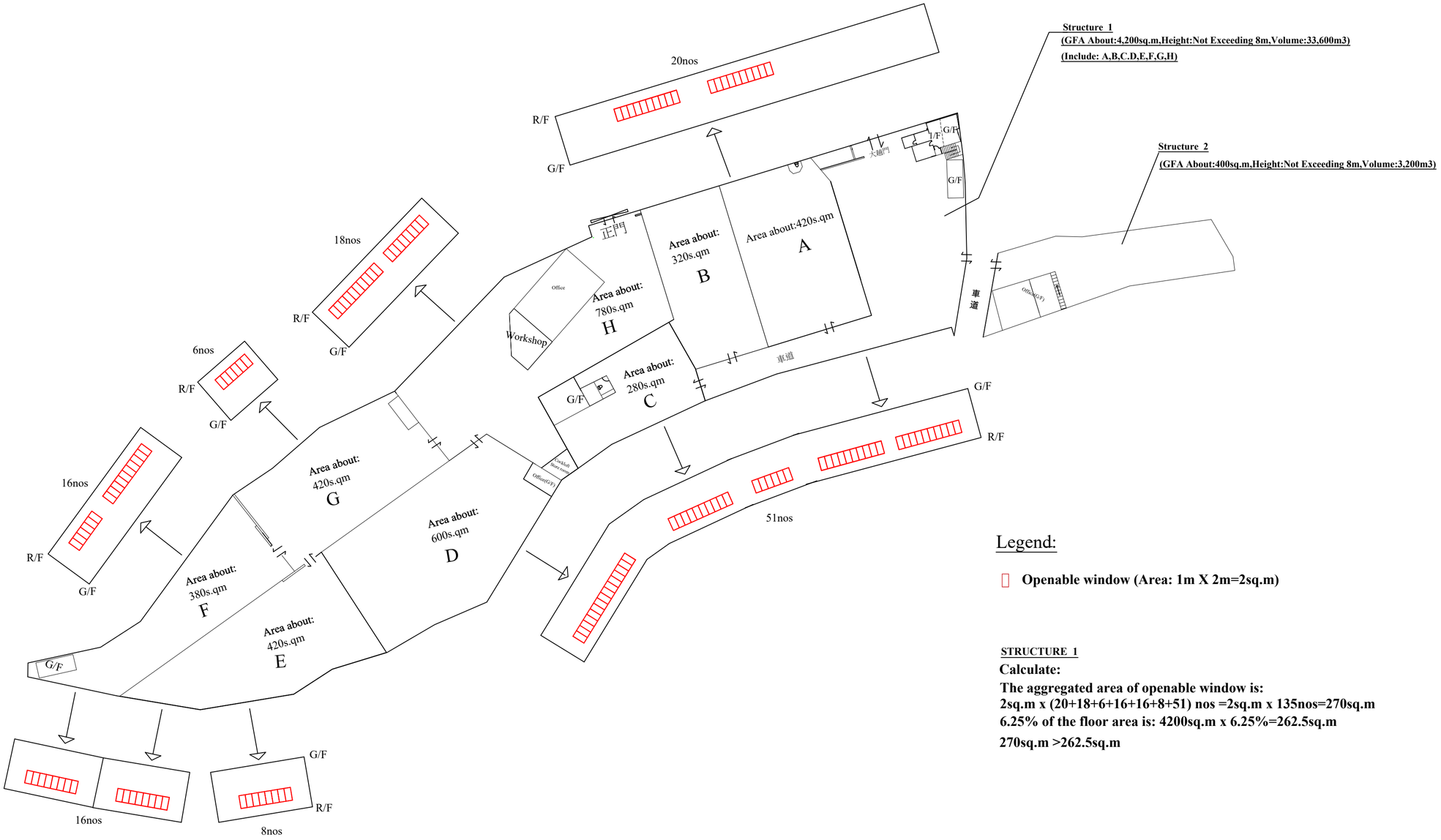
Project :

Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25(Part),26(Part) &27 in D.D 38,Lots 802(Part),804(Part),806,807,808,809,811,812,813,823 S. B RP,824 S.B RP,825,826,827,828 S.B RP in D.D 46 and Adjoining Government Land,Sha Tau Kok Road-Wo Hang Section,N.T

Title :

Proposed Automatic Sprinkler and Modified Hose Reel System

Drawn By :	**W.C WONG**
Date :	**2025-02-06**
Scale :	**1 : 500 @A1**
Ref. No :	**TPB/A/MUP/193**
Revise Date:	**2025-02-06**



Legend:

▯ **Openable window (Area: 1m X 2m=2sq.m)**

STRUCTURE 1

Calculate:

The aggregated area of openable window is:
2sq.m x (20+18+6+16+16+8+51) nos =2sq.m x 135nos=270sq.m
6.25% of the floor area is: 4200sq.m x 6.25%=262.5sq.m
270sq.m >262.5sq.m

OPENABLE WINDOWS LAYOUT OF STRUCTURE 1 (Side Elevation)

INTERCEPT FIRE & SECURITY TECHNICIANS LTD.

[redacted]

Project :

Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25(Part),26(Part) &27 in D.D 38,Lots 802(Part),804(Part),806,807,808,809,811,812,813,823 S. B RP,824 S.B RP,825,826,827,828 S.B RP in D.D 46 and Adjoining Government Land,Sha Tau Kok Road-Wo Hang Section,N.T

Title :
Proposed Openable window Layout Plan

Drawn By :	**W.C WONG**
Date :	**2025-02-06**
Scale :	**1 : 500 @A2**
Ref. No :	**TPB/A/MUP/193**
Revise Date:	**2025-02-06**

附件 3：落實車輛通道出入口圖片