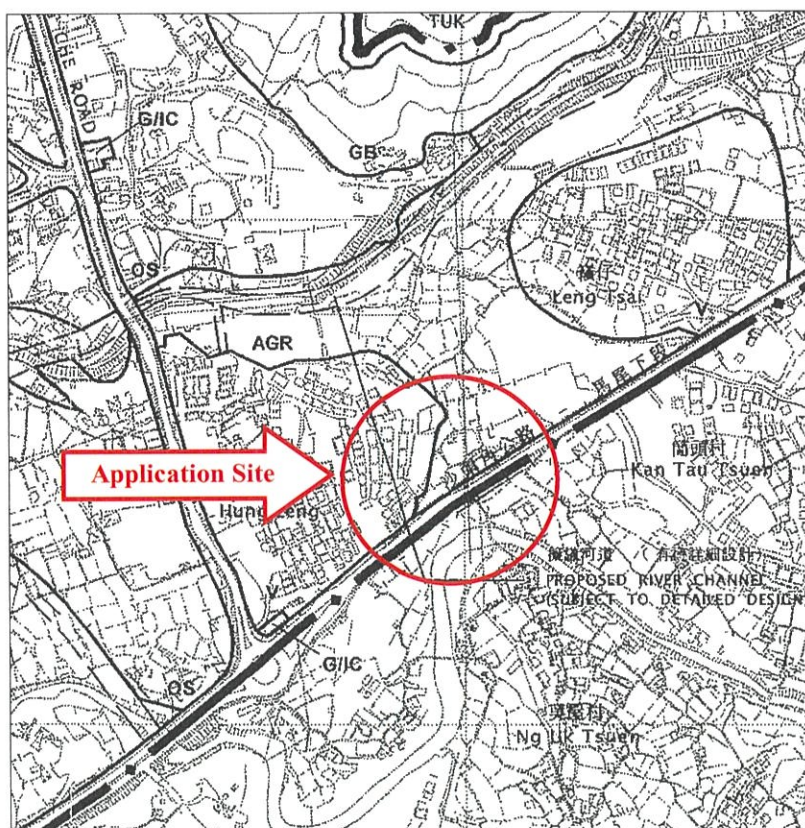


Planning Application
Under Section 16
of the Town Planning Ordinance
(Cap. 131)

**Planning Application for
Proposed Temporary Private Vehicle Park (Excluding Container Vehicles)
and Associated Filling of Land for a Period of 3 Years
at Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76,
Hung Leng, Fanling, New Territories**



Prepared by

LANBASE Surveyors Limited

August 2026

EXECUTIVE SUMMARY

The Application Site (the Site) comprises Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling, New Territories. The Site is located adjacent to the residential settlement at Hung Leng and Sha Tau Kok Road – Ma Mei Ha Section. The Site occupies a total site area of about 675m². According to the Approved Ping Che and Ta Kwu Leng Outline Zoning Plan No. S/NE-TKL/14 (the OZP), the Site falls within an area zoned “Agriculture” (“AGR”) and “Village Type Development (“V”) on the OZP.

The applicant seeks planning permission under Section 16 of the Town Planning Ordinance for proposed temporary private vehicle park (excluding container vehicles) and associated filling of land for a period of 3 years. Since the Site is small in scale, no adverse traffic and drainage impacts are anticipated.

The current application is justified on the following grounds: 1) Would not frustrate the long-term planning intention of the “V” and “AGR” zones; 2) Meeting the local parking demand; 3) Previous planning permission granted for the same proposed use at the Site; 4) Approval of similar applications in the vicinity of the Site; 5) Compatible with surrounding land uses; 6) Adverse traffic impacts are not anticipated; and 7) Adverse drainage impacts are not anticipated.

行政摘要

申請地點為新界粉嶺孔嶺丈量約份第76約地段第1497號B分段第4小分段及第1497號B分段餘段。申請地點鄰近孔嶺住宅區及沙頭角路-馬尾下段。申請地點佔地約675平方米。申請地點坐落在《坪輦及打鼓嶺分區計劃大綱核准圖編號S/NE-TKL/14》上劃為「農業」及「鄉村式發展」地帶的地方。

申請人根據《城市規劃條例》第16條申請規劃許可，擬議為期3年的臨時私家停車場（不包括貨櫃車），並進行相關的填土工程。由於場地規模細小，預計不會引致不良的交通及渠務影響。

是次申請的規劃理據如下： 1) 不會影響「農業」及「鄉村式發展」地帶的長遠規劃意向；2) 滿足地區的泊車需求；3) 申請地點先前已獲批同一擬議用途的規劃許可；4) 申請地點附近已有同類申請獲批；5) 與周邊的土地用途兼容；及6) 不會對交通方面構成不良影響。及7) 不會對渠務方面構成不良影響。

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1. INTRODUCTION

- 1.1 The Application Site (the Site) comprises Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling, New Territories. The Site is located adjacent to the residential settlement at Hung Leng and Sha Tau Kok Road – Ma Mei Ha Section. According to the Approved Ping Che and Ta Kwu Leng Outline Zoning Plan No. S/NE-TKL/14 (the OZP), the Site falls within an area zoned “Agriculture” (“AGR”) and “Village Type Development” (“V”) on the OZP. Please refer to an extract of the OZP and its relevant Notes at **Appendix 1**, the Location Plan at **Appendix 2** and the Site Plan at **Appendix 3**.
- 1.2 The current application seeks planning permission from the Town Planning Board (the Board) for “Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) and Associated Filling of Land for a Period of 3 Years”.
- 1.4 The applicant, Victory Vila Management Ltd. has commissioned Lanbase Surveyors Limited to submit a planning application on his behalf for the said temporary use under Section 16 of the Town Planning Ordinance (Cap. 131).
- 1.5 The Planning Statement serves to describe the existing condition of the Site and its surrounding land uses, to give details of the proposed development, and to provide justifications for the Board’s consideration.

2. SITE CONTEXT

2.1 Application Site

2.1.1 The Site comprises Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling, New Territories. The Site occupies a site area of about 675m². Please refer to the Location Plan at **Appendix 2** and the Site Plan at **Appendix 3**.

2.1.2 The Site is hard-paved and currently used as a car park. No additional land filling is required for the current application. Please refer to site photos at **Appendix 10**.

2.2 Lease Particulars

The subject lots are held under Block Crown Lease and demised as agricultural land.

2.3 Surrounding Land Uses

2.3.1 The Site is located adjacent to the residential settlement at Hung Leng and Sha Tau Kok Road – Ma Mei Ha Section.

2.3.2 The surrounding area is predominantly occupied by residential settlements, vehicle parking and storage yards.

2.4 Accessibility

2.4.1 The Site is accessible via a local track connecting to Sha Tau Kok Road – Ma Mei Ha Section.

2.4.2 The subject area is served by various modes of public transport including franchised buses, minibuses and taxis along Sha Tau Kok Road – Ma Mei Ha Section.

3. TOWN PLANNING

- 3.1 The Site falls within an area zoned “AGR” and “V” on the Approved Ping Che and Ta Kwu Leng OZP No. S/NE-TKL/14 dated 12.3.2010. An extract of the OZP is available at **Appendix 1**.
- 3.2 According to the Notes of the OZP, any temporary use or development of any land or building not exceeding a period of 3 years and filling of land within the “AGR” zone require planning permission from the Board.
- 3.3 The Site was the subject of a previous planning application No. A/NE-TKL/747, which was approved on 19.7.2024, for “Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of Three Years and Associated Filling of Land” use. Please refer to the approval letter from the Board dated 2.8.2024 at **Appendix 4**.
- 3.4 Planning application No. A/NE-TKL/747 was revoked due to non-compliance with approval conditions within the specified time limit. However, some of the approval conditions imposed have been satisfactorily complied with, as follows:

Item	Approval Condition(s)	Compliance Date(s)
(a)	the submission of a drainage proposal to the satisfaction of the Director of Drainage Services or of the TPB.	12.3.2025 (Please refer to the compliance letter at Appendix 7)
(b)	the provision of the drainage facilities to the satisfaction of the Director of Drainage Services or of the TPB.	Not complied with
(c)	the implemented drainage facilities at the site shall be maintained at all times during the planning approval period.	Not complied with
(d)	the submission of a fire service installations proposal (FSIs) to the satisfaction of the Director of Fire Services or of the TPB.	2.12.2024 (Please refer to the relevant compliance letter at Appendix 8)

(e)	the implementation of the FSIs proposal to the satisfaction of the Director of Fire Services or of the TPB.	24.4.2025 (Please refer to the relevant compliance letter at Appendix 8)
(f)	the submission of the design of vehicular run-in/out to the site to the satisfaction of the Director of Highways or of the TPB.	2.1.2025 (Please refer to the compliance letter at Appendix 9)
(g)	the provision of the vehicular run-in/out to the site to the satisfaction of the Director of Highways or of the TPB.	Not complied with

3.5 Despite the applicant's genuine efforts to comply with the approval conditions of the previous planning application, compliance with approval conditions (b), (c) and (g) were found to be impracticable within the specified time limit. Regarding the drainage connection at Sha Tau Kok Road – Ma Mei Ha Section, an excavation permit application was submitted to the Highways Department in September 2025, but the application is still being processed. Without the said excavation permit, the commencement of any excavation works on public roads for the provision of drainage facilities and vehicular run-in/out to the Site was not possible.

4. PROPOSED DEVELOPMENT

4.1 Proposed Use

4.1.1 The applicant proposes to use the Site as temporary private vehicle park (excluding container vehicles) for a period of 3 years to serve the residents in a private residential development called Victory Garden (百勝山莊).

4.1.2 As the Site has already been paved with concrete of not more than 0.2m in depth for many years, no further land filling works would be necessary for the proposed use. In association with the proposed temporary use, the current application seeks planning permission to regularise filling of land on the “AGR” portion of the Site.

4.2 Site Layout

4.2.1 10 private car parking spaces will be provided on the Site. The width of the driveways inside the Site is about 3 meters. The proposed run-in/out of not less than 4.5 meters wide would be provided on the footpath at the vehicular access in accordance with the relevant Highways Department’s standard drawings. Please refer to the Proposed Layout Plan at **Appendix 5** and the Design Proposal of Vehicular Run-in/out at **Appendix 9**, which was approved by the relevant government department(s) under previous application No. A/NE-TKL/747.

4.2.1 Adequate space for maneuvering of the vehicles entering and exiting the Site, maneuvering within the Site and into/out of the parking will be provided. Please refer to the Swept Path Analysis at **Appendix 6**.

4.3 Operation Hours

The proposed vehicle park will be operated 24 hours daily (including Sundays and public holidays).

4.4 Traffic

4.4.1 Due to the small scale of the Site, which primarily serves local residents, only limited traffic flow would be generated.

4.4.2 With reference to the previous planning application No. A/NE-TKL/747, a trip generation and attraction survey was conducted at a nearby temporary open vehicle park (with 34 spaces) at Lot 1495 S.B RP in D.D. 76, Ng Uk Tsuen, Sha Tau Kok Road in 2024 during the AM peak (07:30 – 10:30) and PM peak (16:00 – 19:00) periods. The traffic generation and attraction of the proposed temporary vehicle park was estimated by the pro-rata method. The existing traffic conditions in the surroundings remain unchanged.

4.5 Drainage

The applicant will provide proper drainage facilities at the Site. Approval condition for provision of drainage facilities is acceptable. Please refer to the Drainage Proposal at **Appendix 7**, which was approved by the relevant government department(s) under previous application No. A/NE-TKL/747.

4.6 Landscape

As there is no existing tree and no additional open area for tree planting, no tree preservation and planting are required.

4.7 Fire Precaution Measures

The applicant will provide proper fire service installations at the Site. Approval condition for provision of the fire service installations is acceptable. Please refer to the Fire Service Installations Proposal at **Appendix 8**, which was approved by the relevant government department(s) under previous application No. A/NE-TKL/747.

5. JUSTIFICATIONS

5.1 Would Not Frustrate the Long-Term Planning Intention of the “V” and “AGR” Zones

The Site partly falls within an area partly zoned “V” zone and partly zoned “AGR” zone on the OZP. The planning intention of the “V” zone states that “other some commercial, community and recreational uses may be permitted on application to the Town Planning Board”. As the proposed use is to serve the residents of Victory Garden, it is considered appropriate to provide temporary private vehicle park at the Site. Approval of the proposed use on a temporary basis that would not frustrate the long-term planning intention of the “V” and “AGR” zones.

5.2 Meeting the Local Parking Demand

There are about 66 residential units in 22 residential blocks of Victory Garden but there is no car parking provision within the development. In addition, there is a lack of public car park in the locality to serve the residents in Hung Leng. The proposed use will help meet the parking demands of Victory Garden.

5.3 Previous Planning Permission Granted for the Same Proposed Use at the Site

5.3.1 The Site was the subject of a previous planning application No. A/NE-TKL/747, which was approved on 19.7.2024, for the same proposed use. However, planning application No. A/NE-TKL/747 was revoked due to non-compliance with certain approval conditions within the specified time limit. Despite the applicant’s genuine efforts to comply with the approval conditions, the commencement of any excavation works on public roads for drainage facilities and vehicular run-in/out to the Site was not possible, as the necessary excavation permit application is still being processed.

5.3.2 As there has been no major change in planning circumstances, and the nature of use and layout remain consistent with the previous application, approval of the current application is in line with the Rural and New Town Planning Committee’s previous

decisions.

5.4 Approval of Similar Applications in the Vicinity of the Site

There are 5 planning applications approved for similar uses in the vicinity of the Site in recent years, including:

- Planning application No. A/NE-LYT/741 for “Proposed Temporary Public Vehicle Park for Private Cars and Medium Goods Vehicles, and Warehouse for Storage of Construction Materials for a Period of 3 Years”, which was approved on 10.9.2021;
- Planning application No. A/NE-LYT/749 for “Temporary Public Vehicle Park for Private Cars and Light Goods Vehicles for a Period of 3 Years”, which was approved on 25.6.2021;
- Planning application No. A/NE-LYT/827 for “Temporary Public Vehicle Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years”, which was approved on 19.7.2024;
- Planning application No. A/NE-TKL/772 for “Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years”, which was approved on 6.12.2024; and
- Planning application No. A/NE-TKL/817 for “Temporary Private Car Park (Private Cars and Light Goods Vehicles) and Associated Filling of Land for a Period of 3 Years”, which was approved on 7.11.2025.

Permissions granted by the Board for similar uses in the area suggested that the proposed use would be suitable on the Site.

5.5 Compatible with Surrounding Land Uses

The surrounding area is predominantly occupied by residential settlements, vehicle parking and storage yards. The proposed use is considered compatible with the surrounding uses in the area.

5.6 Adverse Traffic Impacts Are Not Anticipated

The proposed use is a small-scale operation serving local residents with low traffic demand. Adequate space for maneuvering of the vehicles entering and exiting the Site, maneuvering within the Site and into/out of the parking will be provided. A trip generation and attraction survey was conducted for the previous planning application No. A/NE-TKL/747, such that the traffic generation and attraction of the proposed temporary vehicle park was estimated by the pro-rata method. With the existing traffic conditions in the surroundings remain unchanged, no adverse traffic impacts are anticipated.

5.7 Adverse Drainage Impacts Are Not Anticipated

The proposed use is a small-scale operation serving local residents with low drainage demand. The Site has been well-paved and is ready for use without the need for any construction works. Appropriate drainage facilities will be provided on-site. In this regard, adverse drainage impacts are not expected.

6. CONCLUSION

6.1 The applicant seeks planning permission under Section 16 of the Town Planning Ordinance for proposed temporary private vehicle park (excluding container vehicles) and associated filling of land for a period of 3 years, to meet the local parking demand.

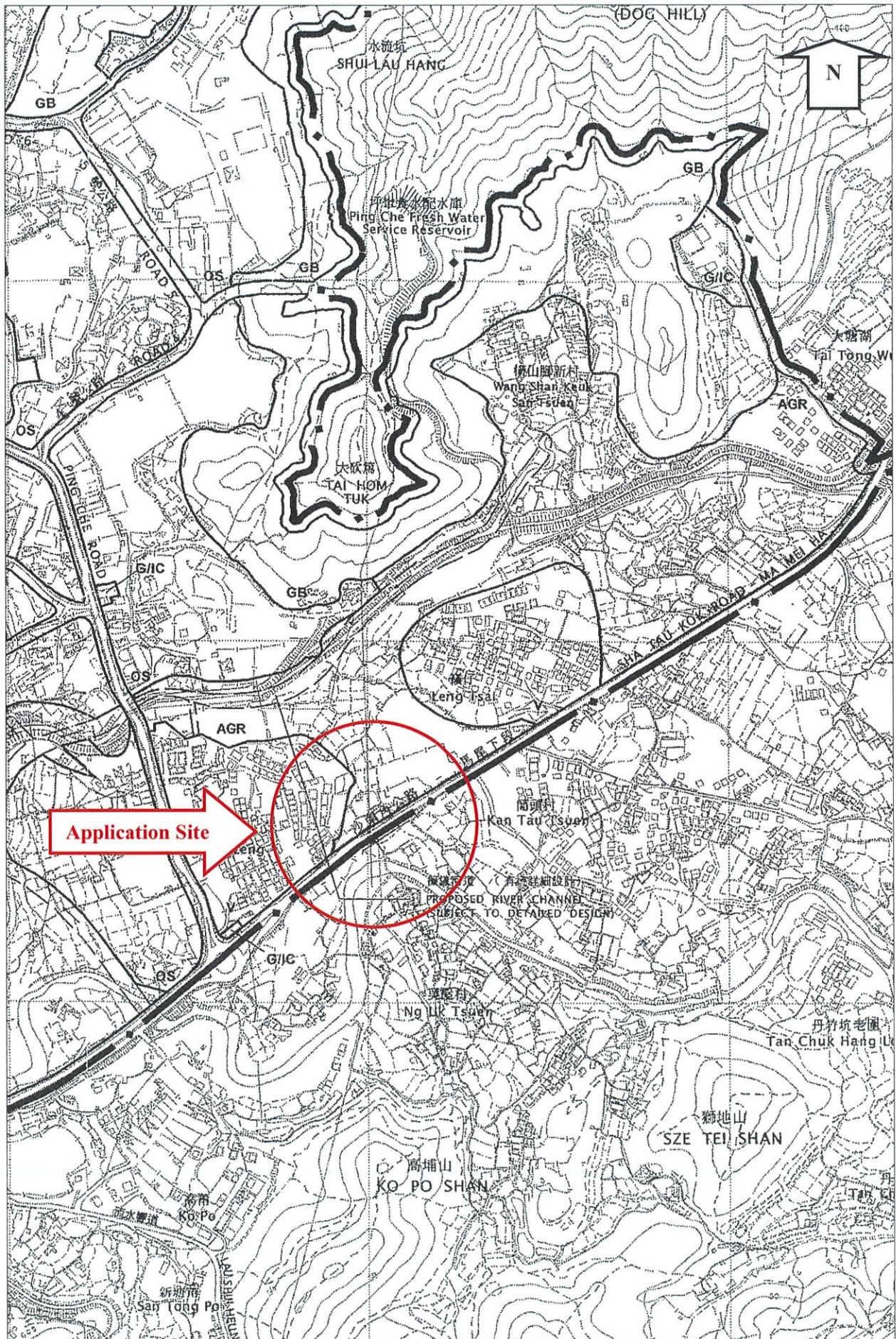
6.2 With regard to the following justifications:

- would not frustrate the long-term planning intention of the “V” and “AGR” zones;
- meeting the local parking demand;
- previous planning permission granted for the same proposed use at the Site;
- approval of similar applications within the same “AGR” zone;
- compatible with surrounding land uses;
- adverse traffic impacts are not anticipated; and
- adverse drainage impacts are not anticipated.

the Board is requested to approve the current application for “Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) and Associated Filling of Land for a Period of 3 Years” at Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling, New Territories.

APPENDIX 1

**Extract of the Approved Ping Che and Ta Kwu Leng
Outline Zoning Plan No. S/NE-TKL/14 dated 12.3.2010
and its Relevant Notes**



For Identification Only

AGRICULTURE

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Agricultural Use Government Use (Police Reporting Centre only) On-Farm Domestic Structure Public Convenience Religious Institution (Ancestral Hall only) Rural Committee/Village Office	Animal Boarding Establishment Barbecue Spot Burial Ground Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) House (New Territories Exempted House only, other than rebuilding of New Territories Exempted House or replacement of existing domestic building by New Territories Exempted House permitted under the covering Notes) Picnic Area Place of Recreation, Sports or Culture (Horse Riding School, Hobby Farm, Fishing Ground only) Public Utility Installation Religious Institution (not elsewhere specified) School Utility Installation for Private Project

Planning Intention

This zone is intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.

Remarks

- (a) Any filling of pond, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the interim development permission area plan without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance.

(Please see next page)

AGRICULTURE (Cont'd)

Remarks (Cont'd)

- (b) Any filling of land, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the draft Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/10 without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance. This restriction does not apply to filling of land specifically required under prior written instructions of Government department(s) or for the purposes specified below:
- (i) laying of soil not exceeding 1.2m in thickness for cultivation; or
 - (ii) construction of any agricultural structure with prior written approval issued by the Lands Department.

VILLAGE TYPE DEVELOPMENT

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Agricultural Use Government Use (Police Reporting Centre, Post Office only) House (New Territories Exempted House only) On-Farm Domestic Structure Religious Institution (Ancestral Hall only) Rural Committee/Village Office	Burial Ground Eating Place Government Refuse Collection Point Government Use (not elsewhere specified)# House (not elsewhere specified) Institutional Use (not elsewhere specified)# Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation# Public Vehicle Park (excluding container vehicle) Religious Institution (not elsewhere specified)# Residential Institution# School# Shop and Services Social Welfare Facility# Utility Installation for Private Project

In addition, the following uses are always permitted on the ground floor of a New Territories Exempted House:

Eating Place
Library
School
Shop and Services

Planning Intention

The planning intention of this zone is to designate both existing recognized villages and areas of land considered suitable for village expansion. Land within this zone is primarily intended for development of Small Houses by indigenous villagers. It is also intended to concentrate village type development within this zone for a more orderly development pattern, efficient use of land and provision of infrastructures and services. Selected commercial and community uses serving the needs of the villagers and in support of the village development are always permitted on the ground floor of a New Territories Exempted House. Other commercial, community and recreational uses may be permitted on application to the Town Planning Board.

(Please see next page)

VILLAGE TYPE DEVELOPMENT (Cont'd)

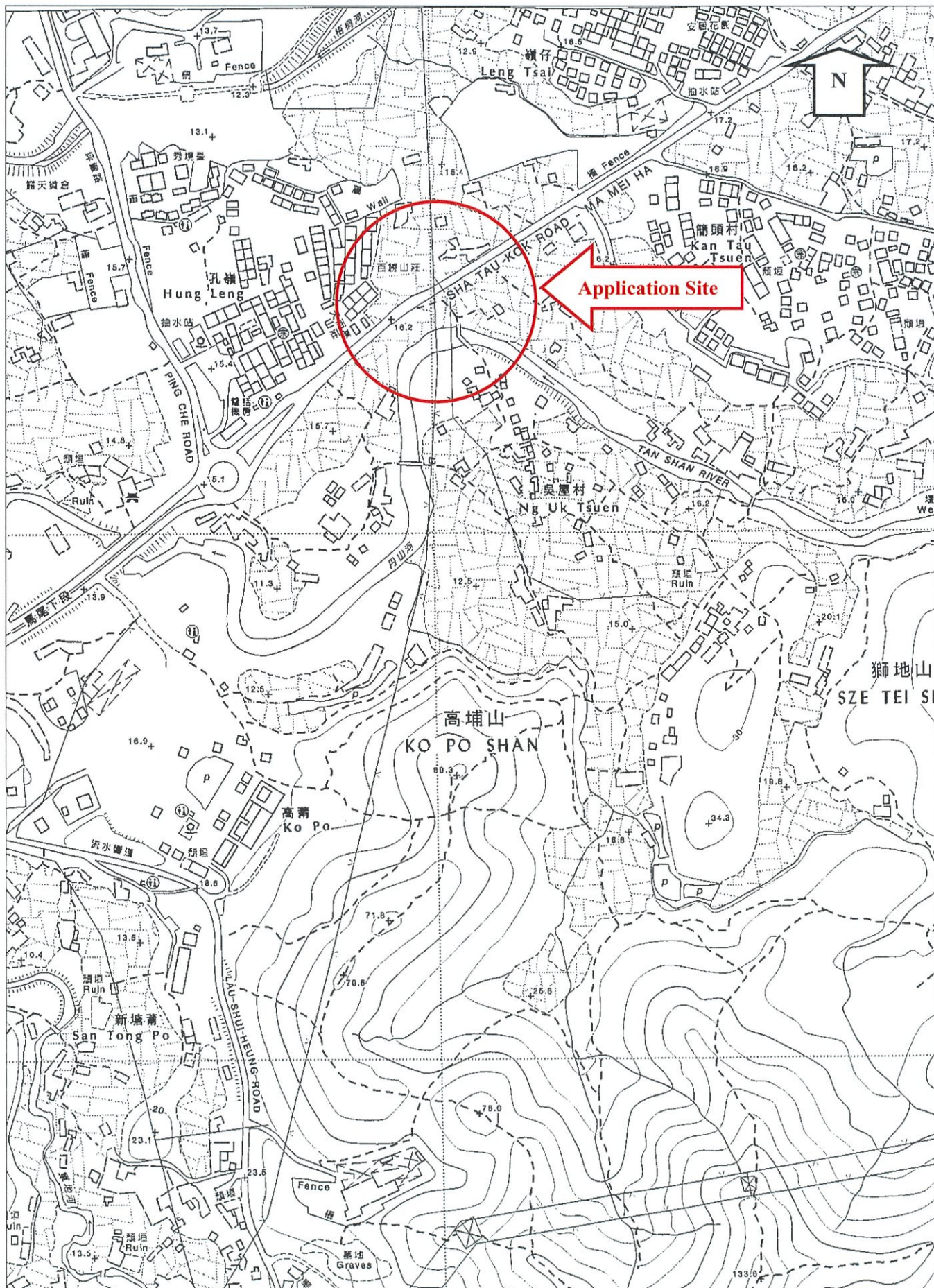
Remarks

- (a) No new development, or addition, alteration and/or modification to or redevelopment of an existing building (except development or redevelopment to those annotated with #) shall result in a total development and/or redevelopment in excess of a maximum building height of 3 storeys (8.23m) or the height of the building which was in existence on the date of the first publication in the Gazette of the notice of the interim development permission area plan, whichever is the greater.
- (b) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the building height restriction stated in paragraph (a) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- (c) Any filling of pond, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the interim development permission area plan without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance.

- (6) Any use or development of land or building falling within the boundaries of the Plan but not within the boundaries of the interim development permission area plan, unless always permitted in terms of the Plan, shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the first draft outline zoning plan without permission from the Town Planning Board.
- (7) Except as otherwise specified by the Town Planning Board, when a use or material change of use is effected or a development or redevelopment is undertaken, as always permitted in terms of the Plan or in accordance with a permission granted by the Town Planning Board, all permissions granted by the Town Planning Board in respect of the site of the use or material change of use or development or redevelopment shall lapse.
- (8) Road junctions, alignment of roads, and boundaries between zones may be subject to minor adjustments as detailed planning proceeds.
- (9) The following uses or developments are always permitted on land falling within the boundaries of the Plan except where the uses or developments are specified in Column 2 of the Notes of individual zones:
 - (a) maintenance, repair or demolition of a building;
 - (b) provision, maintenance or repair of plant nursery, amenity planting, open space, rain shelter, refreshment kiosk, footpath, bus/public light bus stop or lay-by, cycle track, taxi rank, public utility pipeline, electricity mast, lamp pole, telephone booth, telecommunications radio base station, automatic teller machine and shrine;
 - (c) maintenance or repair of road, watercourse, nullah, sewer and drain;
 - (d) geotechnical works, local public works, road works, sewerage works, drainage works, environmental improvement works, marine related facilities and waterworks (excluding works on service reservoir) and such other public works co-ordinated or implemented by Government;
 - (e) rebuilding of New Territories Exempted House;
 - (f) replacement of an existing domestic building i.e. a domestic building which was in existence on the date of the first publication in the Gazette of the notice of the interim development permission area plan, by a New Territories Exempted House; and
 - (g) provision, maintenance or repair of a grave of an indigenous New Territories villager or a locally based fisherman and his family members for which permission has been obtained from Government.
- (10) In any area shown as 'Road', all uses or developments except those specified in paragraphs (9)(a) to (9)(d) and (9)(g) above and those specified below require permission from the Town Planning Board:
 - road and on-street vehicle park.

APPENDIX 2

Location Plan



For Identification Only

APPENDIX 3

Site Plan (Lot Index Plan)

地段索引圖 LOT INDEX PLAN

摘要說明：本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地，以及其他作核准用途的土地。請注意：(1)本索引圖上的資料會被不時更新而不作事先通知；(2)索引圖的更新或會延後於有關資料的實際變更；以及(3)本索引圖中顯示的界線僅供識別之用，資料是否準確可靠，應徵詢專業土地測量師的意見。
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Explanatory notes: This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor.
Disclaimer: The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.



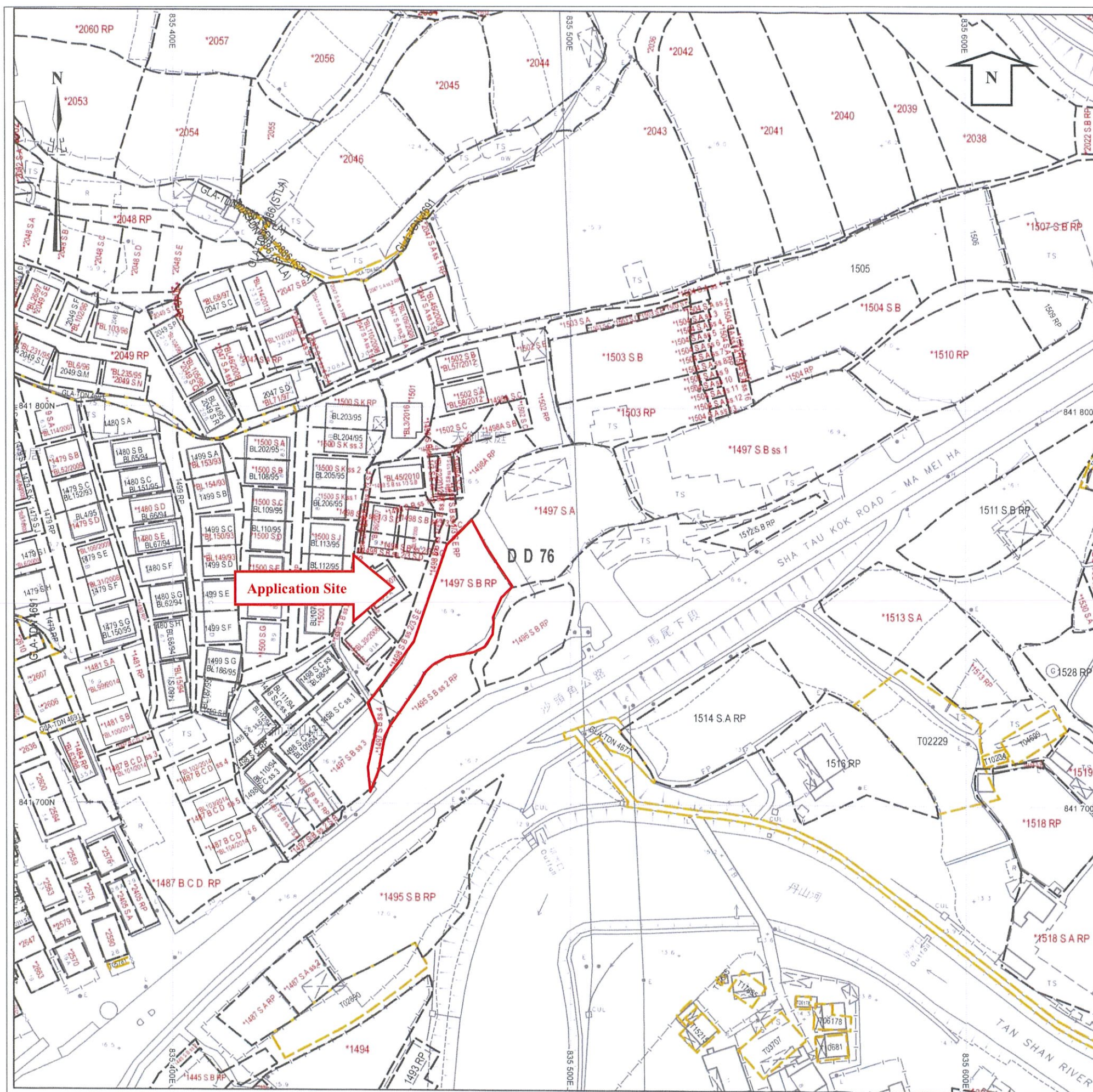
地政總署測繪處
Survey and Mapping Office
Lands Department

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比例尺 SCALE 1:1 000
metres 10 0 10 20 30 40 50 metres

Locality :
Lot Index Plan No. : ags_S00000119995_0001
District Survey Office : Lands Information Center
Date : 17-Nov-2023
Reference No. : 3-SW-4B

For Identification Only



APPENDIX 4

**Copy of Town Planning Board's Approval Letter for
Previous Planning Application No. A/NE-TKL/747
dated 2.8.2024**

城市規劃委員會

香港北角渣華道三百三十三號
北角政府合署十五樓

TOWN PLANNING BOARD

15/F., North Point Government Offices
333 Java Road, North Point,
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

電 話 Tel: 2231 4810

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/NE-TKL/747

By Email

2 August 2024

Lanbase Surveyors Ltd.

(Attn.: Anson Lee)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Village Type Development" Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling

I refer to my letter to you dated 9.7.2024.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance (the Ordinance) on the terms of the application as submitted to the TPB. The permission shall be valid on a temporary basis for a period of 3 years until 19.7.2027 and is subject to the following conditions :

- (a) the submission of a drainage proposal within 6 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 19.1.2025;
- (b) in relation to (a) above, the provision of drainage facilities within 9 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 19.4.2025;
- (c) in relation to (b) above, the implemented drainage facilities at the site shall be maintained at all times during the planning approval period;
- (d) the submission of a fire service installations proposal (FSIs) within 6 months from the date of planning approval to the satisfaction of the Director of Fire Services or of the TPB by 19.1.2025;
- (e) in relation to (d) above, the implementation of the FSIs proposal within 9 months from the date of planning approval to the satisfaction of the Director of Fire Services or of the TPB by 19.4.2025;
- (f) the submission of the design of vehicular run-in/out to the site within 6 months from the date of planning approval to the satisfaction of the Director of Highways or of the TPB by 19.1.2025;

- (g) in relation to (f) above, the provision of the vehicular run-in/out to the site within 9 months from the date of planning approval to the satisfaction of the Director of Highways or of the TPB by 19.4.2025;
- (h) if planning condition (c) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice;
- (i) if any of the above planning condition (a), (b), (d), (e), (f) or (g) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice; and
- (j) upon expiry of the planning permission, the reinstatement of the "Agriculture" portion of the site to an amenity area to the satisfaction of the Director of Planning or of the TPB.

The TPB also agreed to advise you to note the advisory clauses as set out at Appendix IV of the TPB Paper.

You are reminded to strictly adhere to the time limit for complying with the above planning conditions. If any of the above planning conditions are not complied with by the specified time limit, the permission given shall be revoked without further notice and the development will be subject to enforcement action. If you wish to apply for extension of time for compliance with planning conditions, you should submit a section 16A application to the TPB no less than six weeks before the expiry of the specified time limit. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for extension of time if the time limit specified in the permission has already expired at the time of consideration by the TPB. For details, including the total time period for compliance that might be granted, please refer to the TPB Guidelines No. 34D and 36C. The Guidelines, application form (Form No. S16A) and the Guidance Notes for applications are available at the TPB's website (<https://www.tpb.gov.hk/en/resources/index.html>), the Planning Enquiry Counters of the Planning Department (Hotline : 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

This temporary permission will lapse on 20.7.2027. You may submit an application to the TPB for renewal of the temporary permission no less than two months and normally no more than four months before its expiry by completing an application form (Form No. S16-III). Application submitted more than four months before expiry of the temporary approval may only be considered based on the individual merits and exceptional circumstances of each case. For details, please refer to TPB Guidelines No. 34D. However, the TPB is under no obligation to renew the temporary permission.

For amendments to the approved development that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36C for details.

The TPB Paper in respect of the application is available at this link (https://www.tpb.gov.hk/en/meetings/RNTPC/Agenda/746_rnt_agenda.html) and the relevant extract of minutes of the TPB meeting held on 19.7.2024 is enclosed herewith for your reference.

Under section 17(1) and 17(1A) of the Ordinance, an applicant aggrieved by a decision of the TPB may in writing apply to the TPB for a review of the decision and set out the grounds for the review. If you wish to seek a review, you should inform me and provide the grounds for the review within 21 days from the date of this letter (on or before 23.8.2024). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

This permission by the TPB under section 16 of the Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Ms. Ivy Wong of the Sha Tin, Tai Po & North District Planning Office at 2158 6237. In case you wish to consult the relevant Government departments on matters relating to the above approval conditions, a list of the concerned Government officers is attached herewith for your reference.

Yours faithfully,



(Leticia LEUNG)

for Secretary, Town Planning Board

APPENDIX 5

Proposed Layout Plan

地段索引圖 LOT INDEX PLAN

摘要說明：本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地，以及其他作核准用途的土地。請注意：(1)本索引圖上的資料會被不時更新而不作事先通知；(2)索引圖的更新或會延後於有關資料的實際變更；以及(3)本索引圖中顯示的界線僅供識別之用，資料是否準確可靠，應徵詢專業土地測量師的意見。
免責說明：如因使用本地段索引圖，或因所依據的本索引圖資料出錯、遺漏、過時或有誤差而引致任何損失或損害，政府概不承擔任何法律責任。

Explanatory notes : This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor.
Disclaimer : The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.



地政總署測繪處
Survey and Mapping Office
Lands Department

香港特別行政區政府 — 版權所有
© Copyright reserved — Hong Kong SAR Government

比例尺 SCALE 1:1 000
metres 10 0 10 20 30 40 50 metres

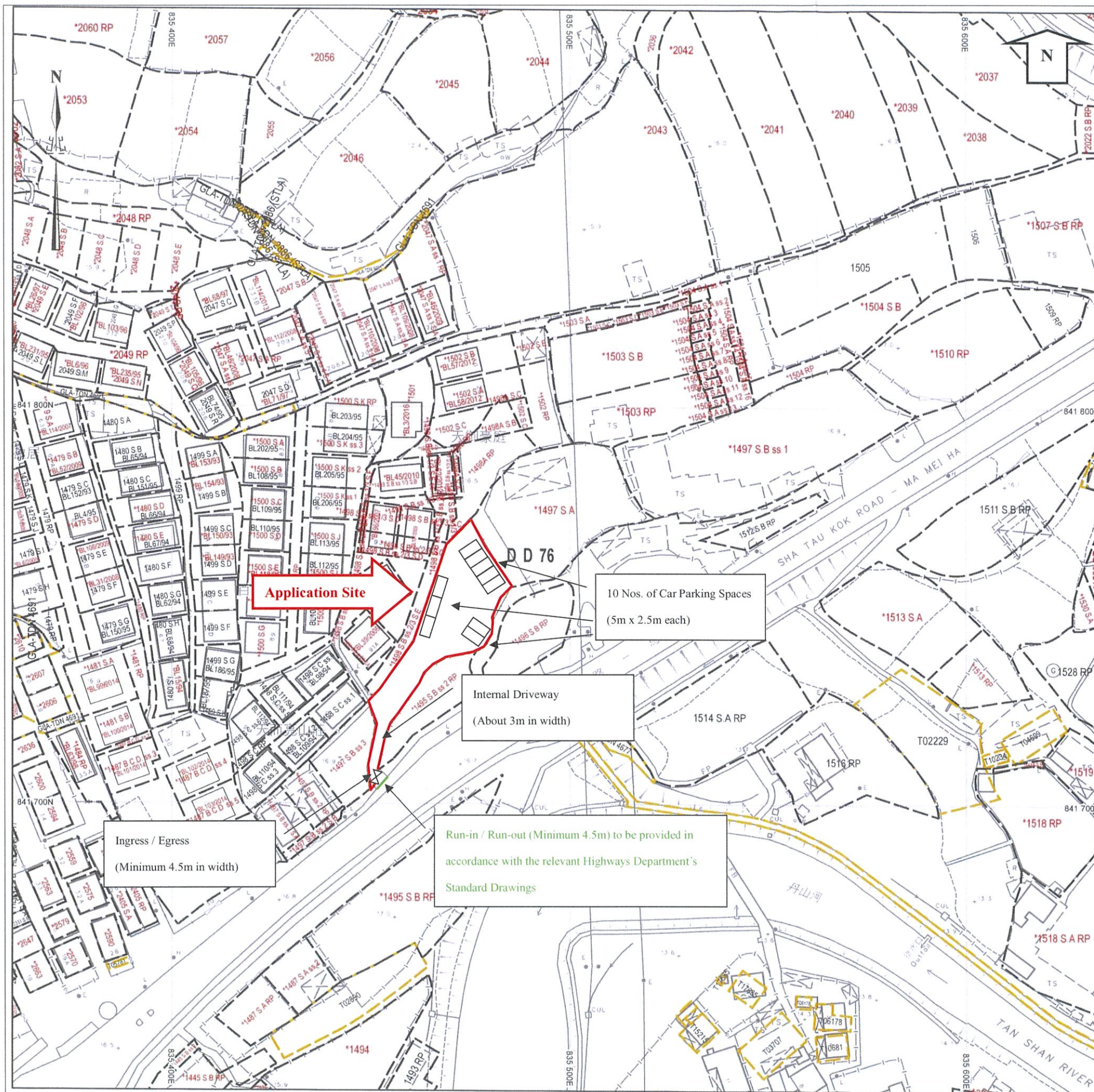
Locality :

Lot Index Plan No. : ags_S00000119995_0001

District Survey Office : Lands Information Center

Date :17-Nov-2023

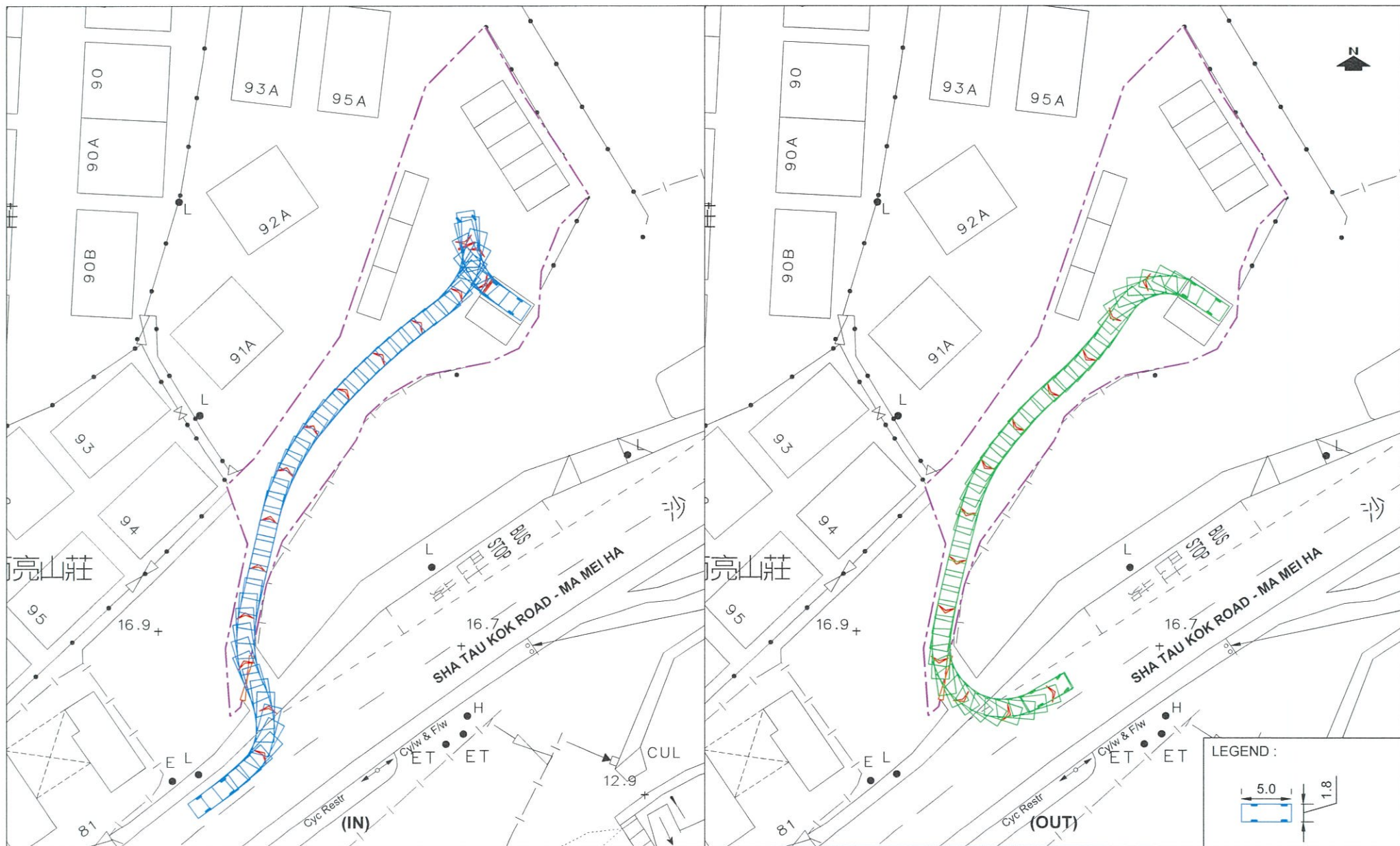
Reference No. : 3-SW-4B



For Identification Only

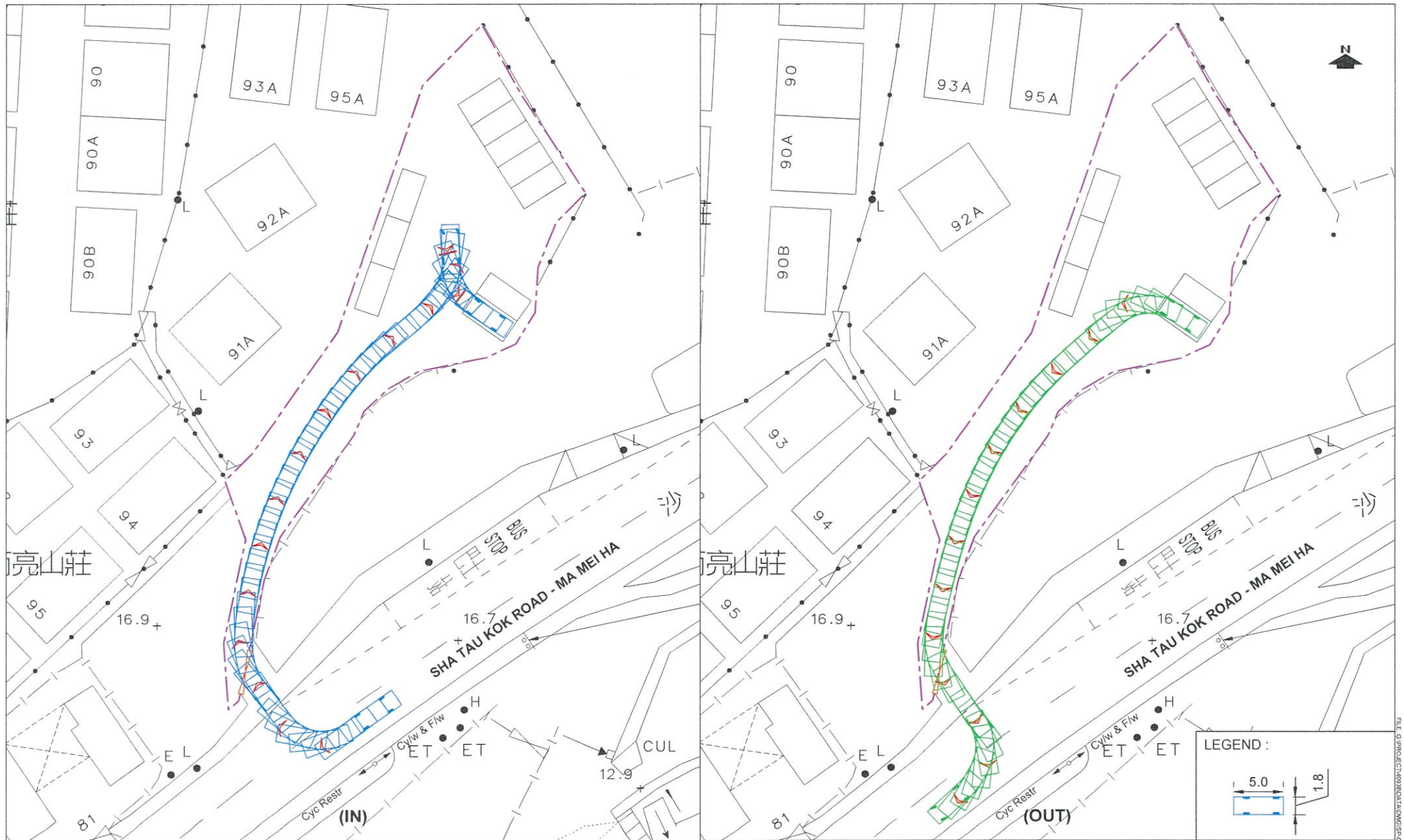
APPENDIX 6

Swept Path Analysis



SWEPT PATH ANALYSIS - PC

(SCALE 1:500 @ A4)



SWEPT PATH ANALYSIS - PC
(TO / FROM SHA TAU KOK ROAD SOUTHBOUND)

(SCALE 1:500 @ A4)

APPENDIX 7

**Approved Drainage Proposal and the Relevant Compliance
Letter of Previous Planning Application No. A/NE-TKL/747**

Proposed Drainage Facilities

Lots 1497 S.B SS.4

&

1497 S.B RP in D.D.76

Sha Tau Kwok Road,

Hung Leng,

New Territories,

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2. IDENTIFY CATMENT AREA AND RUNOFF	4
3. DESIGN OF DRAINAGE FACILITIES	5

APPENDIX

- A Proposed Drainage Details for the Application Site
- B Design Calculation
- C Response to DSD's Comments

1. INTRODUCTION

The application for the Planning Application for A Temporary Private Vehicle Park (excluding Container Vehicles) at Lot Nos. 1497 S.B SS.4 & 1497 S.B RP in D.D.76, Hung Leng, Fanling, New Territories, (Planning Application Number: A/NE-TKL/747). The application has been submitted for planning approval. The report is to submit the Drainage Facilities Proposal discharging the Approval Condition (a).

This report has been prepared to support the drainage proposal by:

- (a) Identifying the catchments;
- (b) Demonstrating with hydraulic calculations that the proposed drainage facilities are adequate to collect, convey, and discharge the surface runoff, as shown in Appendix B.

2. IDENTIFY CATMENT AREA AND RUNOFF

The key plan for the proposed catchment, which is perpendicular to the contour lines, is shown in Figure 1 below.

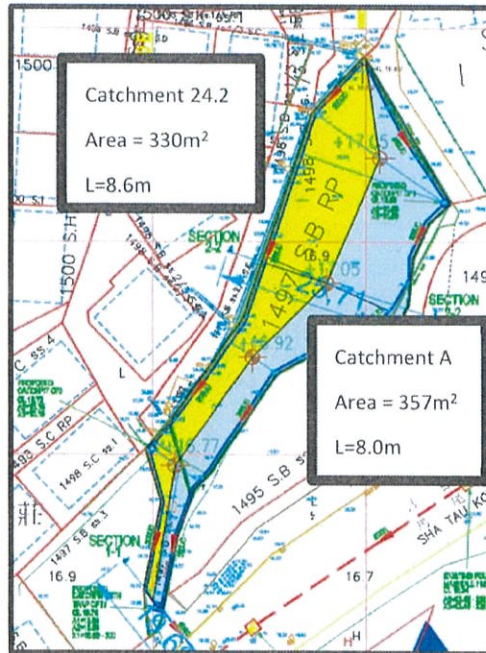


Figure 1. Catchments Identification

2.1 It has been found that the application site, consisting of Lots 1497 S.B SS.4 and 1497 S.B RP in D.D. 76, is situated on flat terrain immediately adjacent to Sha Tau Kwok Road – Ma Mei Ha. It is mostly surrounded by an existing 300 mm U-Channel (outside the site boundary) along the northern boundary, while both the eastern and southern boundaries are bordered by an existing 160 mm wall. The adjacent lot on the western boundary is at a similar level to the application site. The application site is likely to collect surface runoff from Catchments A and B within the site boundary only.

2.1.1 In Catchment A, denoted by the yellow area, the surface runoff flows in a north-west direction and will be directed to a U-Channel.

2.1.2 In Catchment B, denoted by the blue area, the surface runoff flows in a south-east direction and will also be directed to a U-Channel.

Detailed hydraulic calculations are provided in Appendix B.

DESIGN OF DRAINAGE FACILITIES

The proposed facilities are designed according to the following codes and guidelines:

1. Geotechnical Manual for Slopes (GCO, 1984);
2. Stormwater Drainage Manual 2018 (SDM 2018);
3. GEO Technical Guidance Note No. 30 (TGN 30);
4. GEO Technical Guidance Note No. 39 (TGN 39);
5. GEO Technical Guidance Note No. 43 (TGN 43);

The surface runoff for a 1 in 50-year return period rainstorm is calculated using the rational method in accordance with SDM 2018 and SDM Corrigendum No. 1/2024; the calculations are attached in Appendix B.

The increment for climate change is included in the calculations in accordance with SDM Corrigendum No. 1/2022, +16.0%.

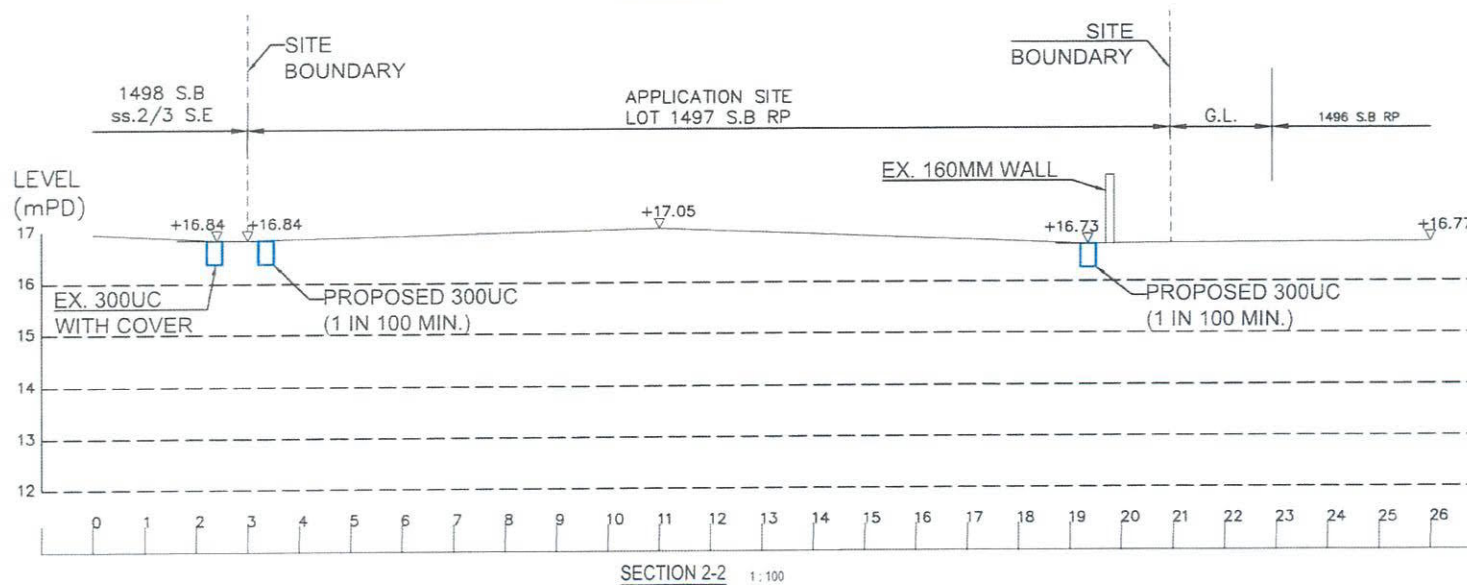
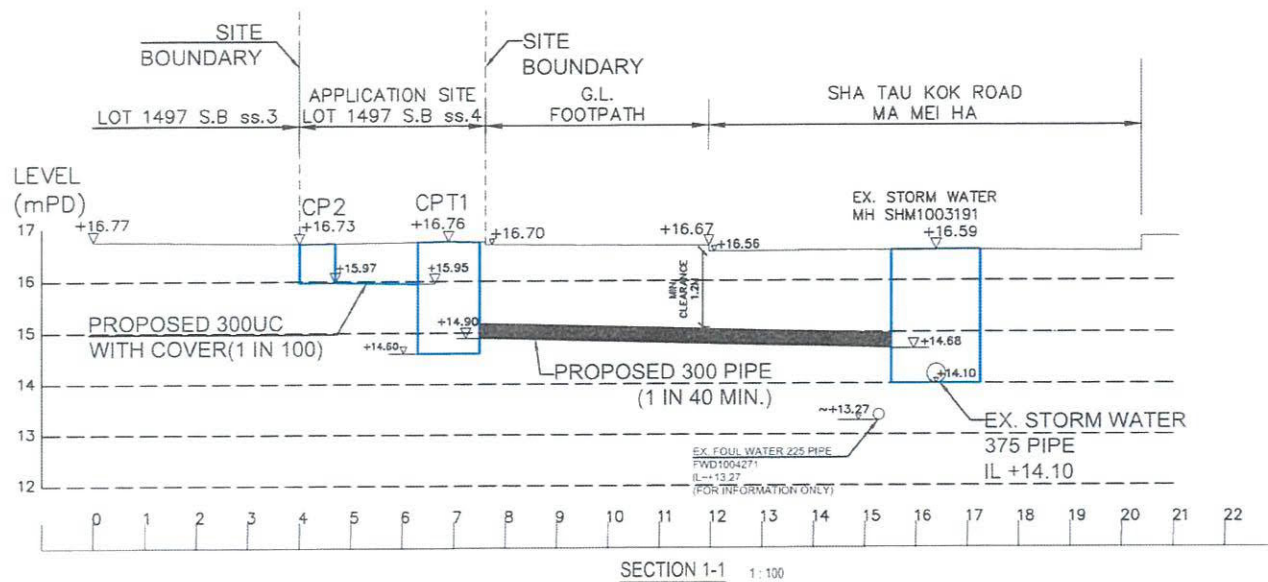
It is concluded that along both the northern boundary and the eastern/southern boundaries, 300 mm U-Channels (minimum 1 in 100 fall) are provided as per Appendix A. These channels connect to a catchpit with a trap (CPT1) located within the subject site boundary. The runoff will then discharge into an existing stormwater manhole (SMH1003191) via a 300 mm P.E. pipe (minimum 1 in 40 fall).

The hydraulic calculations demonstrate that the facilities are adequate to collect surface runoff from the application site.

The design is considered sufficient.

APPENDIX A

Proposed Drainage Details for the Application Site



GEOTECHNICAL CONSULTANT:

PSA PHILIP SO & ASSOCIATES
CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS LTD.

PROJECT:

STORMWATER SYSTEM DESIGN FOR
THE APPLICATION OF A CARPARK AT
LOTS 1497 S.B SS.4 & 1497 S.B RP
IN D.D.76, HUNG LENG, NORTH

DRAWING TITLE

STORMWATER DRAINAGE WORKS -
SECTIONS

SCALE 1:100

DRAWN BY: C.W.

DATE 27/02/2025

CHECKED BY: E.W.

DRAWING NO. DD76-1497/D-02

REV. B

NOTES FOR CATCHPIT

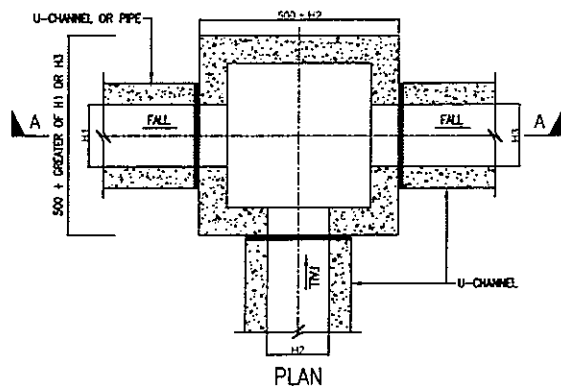
1. ALL CONCRETE SHALL BE GRADE C30 AND COMPLY WITH CS1:2010.
2. MINIMUM CONCRETE COVER SHALL BE 40mm.
3. ALL REINFORCEMENT (GRADE 500B) TO BE HIGH TENSILE DEFORMED BAR.
ALL REINFORCEMENT SHALL COMPLY WITH CS2:2012.
ALL WIRE MESH SHALL BE GRADE 500B STEEL COMPLY WITH CS2:2012.
4. RUN OFF FROM THIS SITE SHALL BE PROPERLY TREATED AND CONVEYED TO THE PUBLIC DRAIN VIA SANDTRAP/CATCHPIT DURING THE SITE FORMATION WORKS.

NOTES FOR U-CHANNEL

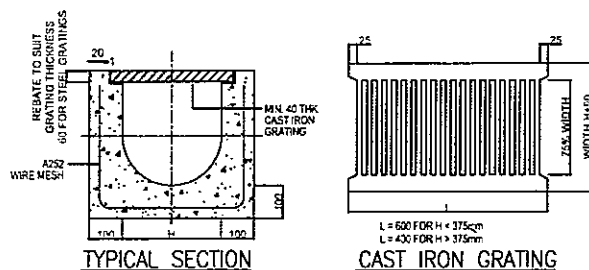
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H = NOMINAL CHANNEL SIZE
3. FOR DIMENSIONS OF CHANNEL SEE TABLE.

NOMINAL SIZE H	T	B	REINFORCEMENT
225-300	100	100	A252 MESH PLACED CENTRALLY

4. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
5. EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 10 METRES.
6. ALL CONCRETE SHALL BE GRADE C30.
7. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.

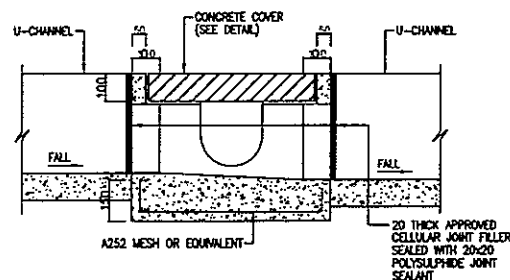


PLAN
TYPICAL DETAIL OF CATCHPIT N.T.S.

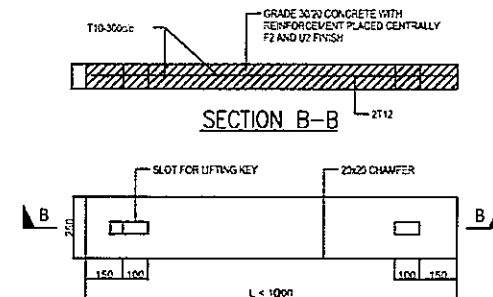


U-CHANNEL WITH CAST IRON GRATING N.T.S.

(UP TO H OF 525)
(DIMENSIONS ARE FOR GUIDANCE ONLY. CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

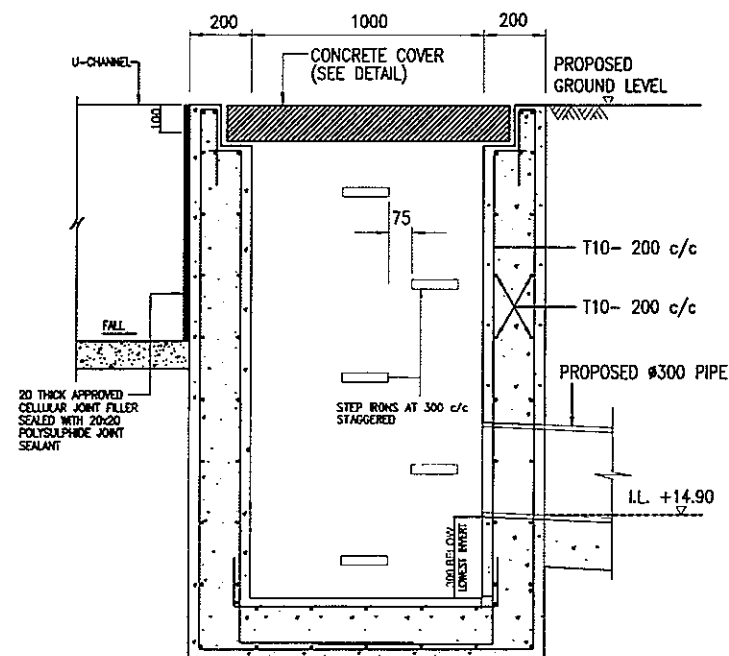


SECTION A-A
(WITHOUT TRAP)
(SCALE N.T.S.)



PLAN OF PRECAST CONCRETE COVER
FOR CATCHPIT

TYPE 1 - FOR SPAN UP TO 1.0m N.T.S.



SECTION A-A
(WITH TRAP)
(SCALE N.T.S.)

GEOTECHNICAL CONSULTANT:

PHILIP SO & ASSOCIATES
CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS LTD.

PROJECT:

STORMWATER SYSTEM DESIGN FOR
THE APPLICATION OF A CARPARK AT
LOTS 1497 S.B SS.4 & 1497 S.B RP
IN D.D.76, HUNG LENG, NORTH

DRAWING TITLE

STORMWATER DRAINAGE WORKS -
NOTES AND DETAILS

SCALE: AS SHOWN

DRAWN BY: C.V.

DATE: 27/02/2025

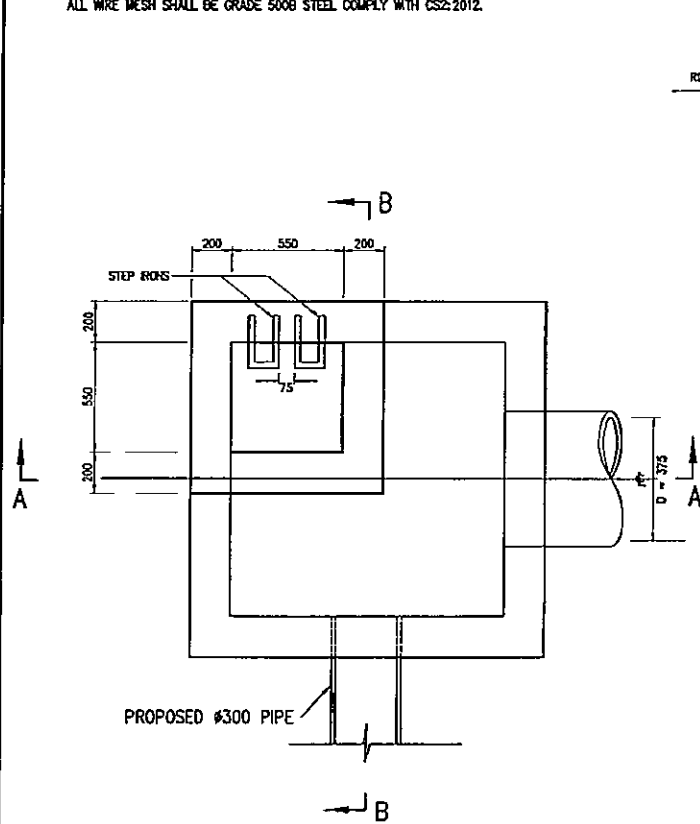
CHECKED BY: R.W.

DRAWING NO. DD76-1497/D-03

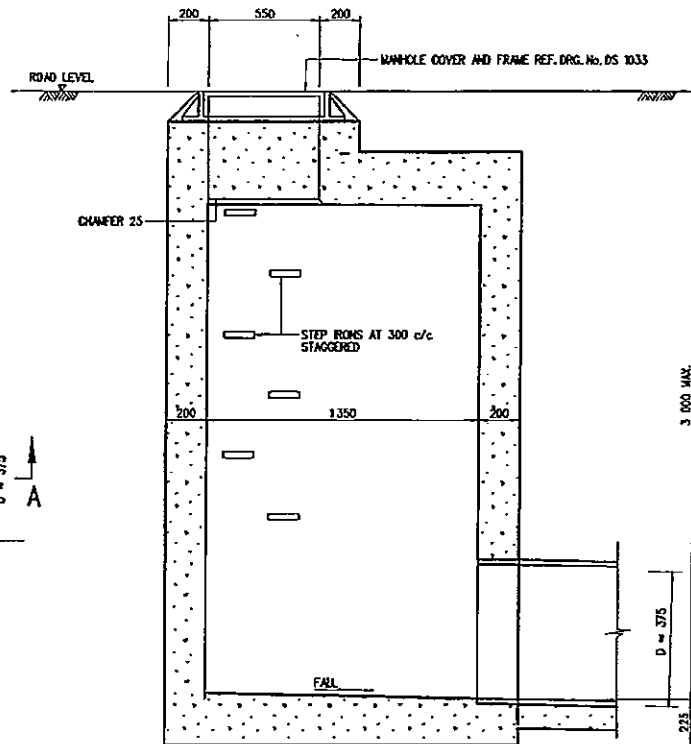
REV. B

NOTES FOR MANHOLE'S CONNECTION WORK

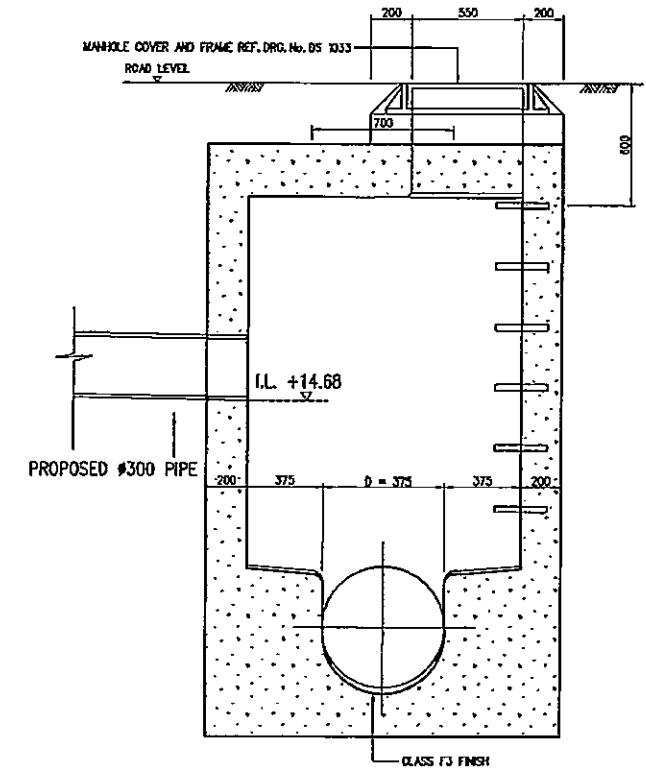
1. OSD'S CONSENT MUST BE GRANTED PRIOR TO THE COMMENCEMENT OF CONNECTION WORK.
2. THE CONTRACTOR SHOULD TAKE ALL PRECAUTIONARY MEASURES TO PREVENT ANY DISTURBANCE, DAMAGE, AND POLLUTION FROM THE DEVELOPMENT TO ANY PARTS OF THE EXISTING DRAINAGE FACILITIES IN THE VICINITY OF THE LOT.
3. ALL CONCRETE SHALL BE GRADE C30 AND COMPLY WITH CS1:2010.
4. ALL REINFORCEMENT (GRADE 500B) TO BE HIGH TENSILE DEFORMED BAR. ALL REINFORCEMENT SHALL COMPLY WITH CS2:2012. ALL WIRE MESH SHALL BE GRADE 500B STEEL COMPLY WITH CS2:2012.



PLAN OF EXISTING MANHOLE SMH1003191
(SCALE N.T.S.)



SECTION A-A
(SCALE N.T.S.)



SECTION B-B
(SCALE N.T.S.)

GEOTECHNICAL CONSULTANT:

PHILIP SO & ASSOCIATES
CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS LTD.

PROJECT:

STORMWATER SYSTEM DESIGN FOR
THE APPLICATION OF A CARPARK AT
LOTS 1497 S.B SS.4 & 1497 S.B RP
IN D.D.76, HUNG LENG, NORTH

DRAWING TITLE:

STORMWATER DRAINAGE WORKS -
NOTES AND DETAILS 2

SCALE: AS SHOWN

DRAWN BY: C.W.

DATE: 27/02/2025

CHECKED BY: R.W.

DRAWING NO. DD76-1497/D-04

REV. B

APPENDIX B

Design Calculation

Calculation of 300 UC capacity within Application Site & Proposed 300 Pipe capacity with Catchment Area A & Major Part of Lot 24 in DD38, plus Mountain Runoff

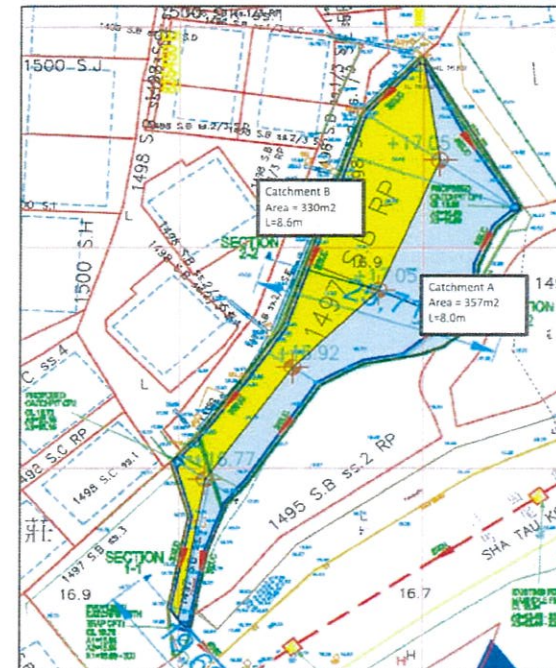
Table 3d – Storm Constants for Different Return Periods of North District Area for Return Period 50 years, SDM Corrigendum 01 2024

a	b	c
474.6	2.9	0.371

[illegible]

Sum	3,733
-----	-------

Collect Area	Total Peak Run-off (litre/min)	Required Pipe/Channel	Channel Capacity (litre/min)	Velocity at Capacity (m/s)	Status	(Notes)
A	1,805	300U 1 in 100	8,141	1.69	ok	IL-CP1-CPT1
B	1,929	300U 1 in 100	8,141	1.69	ok	IL-CP2-CPT1
A+B	3,733	Proposed 300P 1 in 40	13,527	3.19	ok	CPT1-MH1003191



Calculation of U-Channel Capacity by using Manning's Formula

Refer to Section 8.3.4 of Geotechnical Manual for Slopes (GCO, 1984) & 5.1 of GEO Technical Guidance Note No. 43 (TGN 44)

For U-Channel

$$R=Dh=A/P$$

$$\begin{aligned} b &= 0.3 \text{ m} \\ h &= 0.3 \text{ m} \\ r=b/2 &= 0.15 \text{ m} \end{aligned}$$

$$\text{half full } A = 0.035343$$

For $h \leq r$, Half-Circle:

$$\theta = 2 \cdot \cos^{-1}((r-h)/r) = 3.141593$$

$$P=r\theta = 0.471239 \text{ m}$$

$$A=r^2(\theta - \sin\theta)/2 = 0.035343 \text{ m}^2, (\text{limit at half circle})$$

$$\text{Hydraulic Radius, } R=A/P = 0.075$$

For $h > r$, Upper Rectangle:

$$h'=h-r = 0.15 \text{ m}$$

$$\text{Additional } P'=2h = 0.3 \text{ m}$$

$$\text{Additional, } A'=bh' = 0.045 \text{ m}^2$$

$$\text{Hydraulic Radius, } R=A/P = 0.15$$

Combined:

$$P = 0.771239 \text{ m}$$

$$A = 0.080343 \text{ m}^2$$

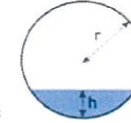
$$\text{Hydraulic Radius, } R=A/P = 0.104174 \text{ m}$$

Manning's formula,

$$V=R^{0.67} \cdot S^{0.5}/n \quad \text{8.3.4 of GCO 1984 \& 5.1 of TGN43}$$

2. Pipe (less than full)

The problem gets a bit more complicated when the pipe is only partially filled. We already calculated this wetted perimeter in the [wetted perimeter of a pipe](#) section:



$$P = r \times \theta, \text{ where the central angle } \theta = 2 \times \arccos[(r-h)/r]$$

What about the area, then? You can use the [segment area calculator](#) or directly the formula for the circle segment area:

$$A = r^2 \times (\theta - \sin(\theta)) / 2$$

Combining the two, we find the hydraulic radius equation:

$$R = A / P = [r^2 \times (\theta - \sin(\theta)) / 2] / (r \times \theta)$$

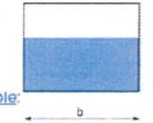
This is quite a formula! Luckily, you can use this handy hydraulic radius calculator instead of meticulously performing all the calculations by hand :)

Hydraulic radius equation for rectangular, trapezoidal, and triangular channel

This hydraulic radius calculator can be used for channels of various shapes, including rectangles, trapezoids, and triangles. Let's analyze them in more detail to find out which hydraulic radius equations can be used in each case

1. Rectangular channel

In the case of a rectangular channel, the formulas are very straightforward. The hydraulic radius is simply equal to the rectangle's area divided by the wetted perimeter, as explained in [the first example](#):



$$R = A / P = (b \times y) / (b + y + y) = (b \times y) / (b + 2y)$$

That's it — you can use this formula to find the hydraulic radius of a rectangular open channel.

	b	h	r=b/2	θ	1 in	S=	n=	Lower half-Circle		Upper Rectangle		A+A'	P+P'	R=Dh=A/P	V m/s	Q, m ³ /s	Q, L/min
Cap/Chart	0.3	0.3000	0.15	3.141593	40.00	0.025	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	2.67	0.21472	12.883
Cap/Chart	0.3	0.3000	0.15	3.141593	50.00	0.020	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	2.39	0.192051	11.523
Cap/Chart	0.3	0.3000	0.15	3.141593	60.00	0.017	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	2.18	0.175318	10.519
Cap/Chart	0.3	0.3000	0.15	3.141593	70.00	0.014	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	2.02	0.162313	9.739
Cap/Chart	0.3	0.3000	0.15	3.141593	80.00	0.013	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	1.89	0.15183	9.110
Cap/Chart	0.3	0.3000	0.15	3.141593	90.00	0.011	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	1.78	0.143147	8.589
Cap/Chart	0.3	0.3000	0.15	3.141593	95.00	0.011	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	1.73	0.139329	8.360
Cap/Chart	0.3	0.3000	0.15	3.141593	100.00	0.010	0.013	0.035343	0.471239	0.045	0.3	0.080343	0.771239	0.104174	1.69	0.135801	8.148

Calculation of Proposed 300mm Pipe Capacity by using Colebrook-White's Formula

Refer to Section 8.3.1, Table 12 & Table 14 SDM 2018

Refer to Section 3.12.2 of Guidance Notes On Road Pavement Drainage Design
RD/GN/035A, February 2020

For Pipe

Pipe Diameter=	0.3 m		
A_p =	0.0707 m ²		
R =Hydraulic Radius=	0.075 m		
g =	9.81 m/s ²		
S_f	0.02540416 m/m	eqv. (1 in X) =	39.4
k_s =	0.00006 m	takes $k_s=0.06$ mm for PE Pipe, Table 14, SDM 2018	
ν =	0.000001 m ² /s		
V= Cross-Sectional Mean Velocity =	- 0.7734	* log (5.405E-05	+ 2.112E-05)
=	3.189 m/s		
Q_p =	A_p	* V	
=	0.0707	* 3.189	
=	0.225 m ³ /s		
=	13.527 L/min		

Table 12, SDM 2018

Colebrook-White	$\bar{V} = -\sqrt{32gRS_f} \log \left[\frac{k_s}{14.8R} + \frac{1.25\nu}{R\sqrt{32gRS_f}} \right]$	transition between rough and smooth turbulent flow
-----------------	---	--

RD/GN/035A

3.12.2 The capacity of an outlet pipe can be computed by using the Colebrook-White equation as shown in Equation (6):

$$Q_p = -A_p \sqrt{32gRS_f} \log \left[\frac{k_s}{14.8R} + \frac{1.25\nu}{R\sqrt{32gRS_f}} \right] \quad (6)$$

where Q_p = pipe capacity (m³/s)
 A_p = cross-sectional area of the pipe (m²)
 g = gravitational acceleration (m/s²) (the typical value is of 9.81 m/s²)
 R = hydraulic radius (m) (= pipe diameter/4)
 S_f = slope of the pipe
 k_s = roughness value of the pipe (m) (the typical values for concrete pipe and PVC pipe are 0.0006 m (i.e. 0.6 mm) and 0.00006 m (i.e. 0.06 mm) respectively)
 ν = viscosity of stormwater (m²/s) (the typical value is of 1×10^{-6} m²/s)

APPENDIX D

Response to DSD's Comments

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) (Contact person: Mr. Wilson TAI; Tel. No.: 2300 1693) PlanD Ref.: () in TPB/A/NE-TKL/747 Dated: 21 Feb 2025	Our Response to DSD's Comments
General Comments (i) please be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from his lot and all upstream catchments. The applicant shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;	Noted. Noted.

(ii) the cover levels of proposed u-channels and catch pits should be flush with the adjoining ground level;	Noted
(iii) the applicant should check and ensure that the existing drainage system to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the captioned lot. He should also ensure that the flow from this site will not overload the existing drainage system;	Noted
(iv) the applicant is reminded that where walls are erected or kerbs are laid along the boundary of the site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD;	Noted
(v) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;	Noted

(vi) the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the applicant at his own expense;	Noted
(vii) for works to be undertaken outside the lot boundary, the applicant should obtain prior agreement from District Lands Office/ North, Lands Department and/or relevant private lot owners;	Noted
(viii) the applicant should make good all the adjacent affected areas upon the completion of the drainage works;	Noted
(ix) the applicant should construct and maintain the proposed drainage works properly and rectify the system if it is found to be inadequate or ineffective during operation;	Noted
(x) as usual, Government should be empowered to inspect conditions of the private drainage system and to enforce its cleansing by the owners, if necessity arises (e.g. upon receipt of complaints);	Noted
(xi) the applicant should conduct site checking to confirm invert levels of the public drainage system to which the stormwater from the subject site is proposed to be discharged;	Noted

(xii) upon completion of the works, the applicant should apply to DSD for audit of the drainage connections, using an "HBP1" form. The applicant may visit DSD's website (www.dsd.gov.hk) for details of connection audit fees and arrangements. Then, a joint inspection with DSD shall be arranged and those as-built drainage connection records and materials certificates should be furnished to DSD for record purpose; (xiii) the existing drainage facilities, watercourse, river, channel and the like should not be affected and obstructed by the construction materials, waste or debris from the proposed development;	Noted and Agreed Noted
Specific Comments: (xiv) the applicant should provide the drawings in higher resolution to facilitate our review; and; (xv) backdrop manhole should be provided as the difference in invert levels between the proposed inlet pipe and existing outlet pipe of existing manhole SMH1003191 is greater than 600mm;	Noted. Please refer to Appendix A. Noted. The Proposed Catchpit With Trap and Proposed 300mm Pipe were redesigned with new invert level. The new difference in invert levels between the proposed inlet pipe and existing outlet pipe of existing manhole SMH1003191 is less than 600mm; Please refer to Appendix A for details.

END of Drainage Design Report

規 劃 署

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香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North
District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference NH/TPN/2595A/L21
本署檔號 Our Reference () in TPB/A/NE-TKL/747
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806

By Post and Email

Lanbase Surveyors Ltd.

12 March 2025



(Attn.: Anson LEE)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in “Agriculture” and “Village Type Development” Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling (Compliance with Approval Condition (a) for Planning Application No. A/NE-TKL/747)

I refer to your submission dated 28.2.2025 for compliance with approval condition (a) in relation to the submission of a drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board under the captioned planning application.

The Chief Engineer/Mainland North, Drainage Services Department (Contact person: Mr. Wilson TAI; Tel.: 2300 1693) has been consulted and considered that approval condition (a) has been complied with. Her advisory comments are attached at **Appendix I** for your reference. Please proceed to implement the accepted drainage proposal for compliance with approval condition (b).

Should you have any other queries related to planning matters, please contact Ms. Sheren LEE of this Office at 2158 6391.

Yours faithfully,

(Rico TSANG)
for Director of Planning

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)
(Contact person: Mr. Wilson TAI; Tel. No.: 2300 1135):

- (i) the applicant should be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from his lot and all upstream catchments. The applicant shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;
- (ii) the cover levels of proposed u-channels and catch pits should be flush with the adjoining ground level;
- (iii) the applicant should check and ensure that the existing drainage system to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the subject lots. He should also ensure that the flow from the subject site will not overload the existing drainage system;
- (iv) the applicant is reminded that where walls are erected or kerbs are laid along the boundary of the site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD;
- (v) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
- (vi) the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the applicant at his own expense;
- (vii) for works to be undertaken outside the lot boundary, the applicant should obtain prior agreement from District Lands Officer/North, Lands Department and/or relevant private lot owners;
- (viii) the applicant should make good all the adjacent affected areas upon the completion of the drainage works;
- (ix) the applicant should construct and maintain the proposed drainage works properly and rectify the system if it is found to be inadequate or ineffective during operation;

- (x) as usual, Government should be empowered to inspect conditions of the private drainage system and to enforce its cleansing by the owners, if necessity arises (e.g. upon receipt of complaints);
- (xi) the applicant should conduct site checking to confirm invert levels of the public drainage system to which the stormwater from the subject site is proposed to be discharged;
- (xii) upon completion of the works, the applicant should apply to DSD for audit of the drainage connections, using an “HBP1” form. The applicant may visit DSD’s website (www.dsd.gov.hk) for details of connection audit fees and arrangements. Then, a joint inspection with DSD shall be arranged and those as-built drainage connection records and materials certificates should be furnished to DSD for record purpose; and
- (xiii) the existing drainage facilities, watercourse, river, channel and the like should not be affected and obstructed by the construction materials, waste or debris from the proposed development.

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香港新界沙田上禾輋路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

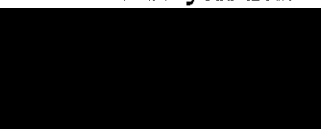
Sha Tin, Tai Po & North
District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference NH/TPN/2595A/L21
本署檔號 Our Reference () in TPB/A/NE-TKL/747
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806

By Post and Email

Lanbase Surveyors Ltd.

12 March 2025



(Attn.: Anson LEE)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Village Type Development" Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling (Compliance with Approval Condition (a) for Planning Application No. A/NE-TKL/747)

I refer to your submission dated 28.2.2025 for compliance with approval condition (a) in relation to the submission of a drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board under the captioned planning application.

The Chief Engineer/Mainland North, Drainage Services Department (Contact person: Mr. Wilson TAI; Tel.: 2300 1693) has been consulted and considered that approval condition (a) has been complied with. Her advisory comments are attached at **Appendix I** for your reference. Please proceed to implement the accepted drainage proposal for compliance with approval condition (b).

Should you have any other queries related to planning matters, please contact Ms. Sheren LEE of this Office at 2158 6391.

Yours faithfully,

(Rico TSANG)
for Director of Planning

Appendix I

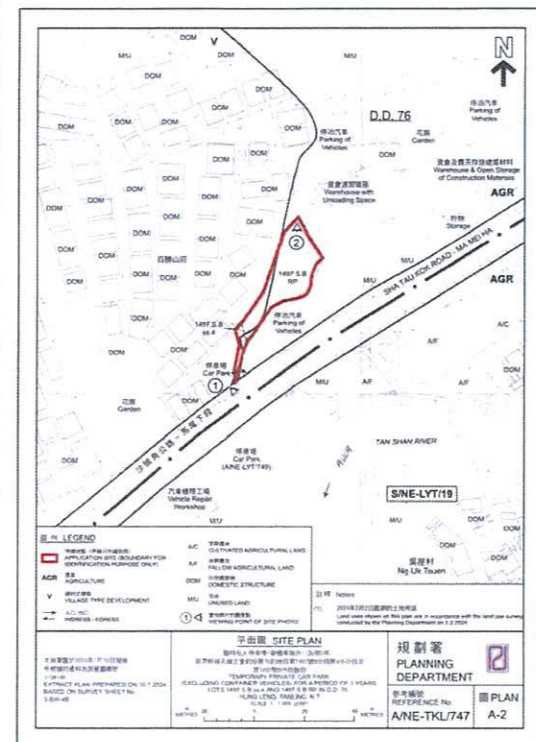
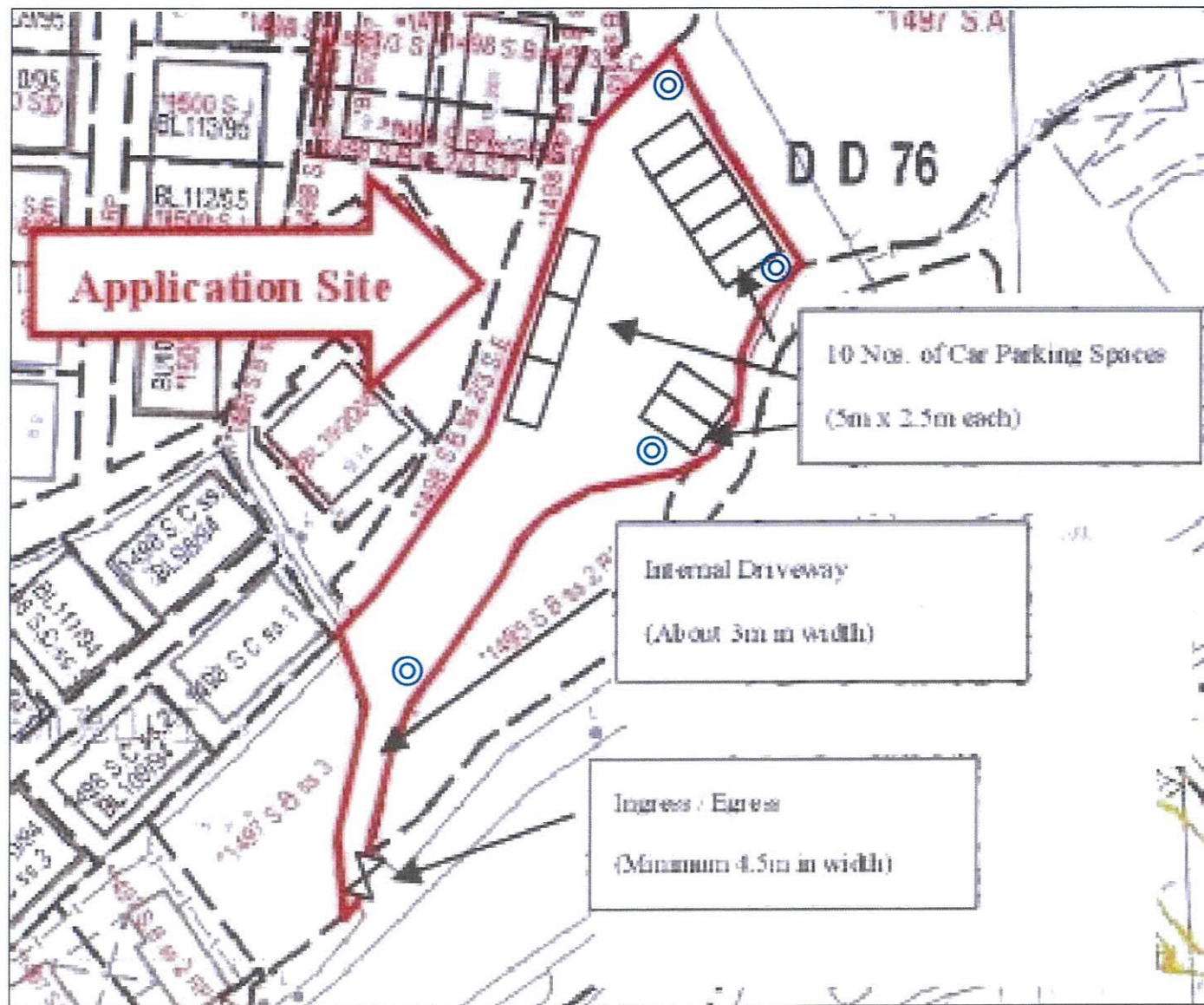
Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)
(Contact person: Mr. Wilson TAI; Tel. No.: 2300 1135):

- (i) the applicant should be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from his lot and all upstream catchments. The applicant shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;
- (ii) the cover levels of proposed u-channels and catch pits should be flush with the adjoining ground level;
- (iii) the applicant should check and ensure that the existing drainage system to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the subject lots. He should also ensure that the flow from the subject site will not overload the existing drainage system;
- (iv) the applicant is reminded that where walls are erected or kerbs are laid along the boundary of the site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD;
- (v) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
- (vi) the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the applicant at his own expense;
- (vii) for works to be undertaken outside the lot boundary, the applicant should obtain prior agreement from District Lands Officer/North, Lands Department and/or relevant private lot owners;
- (viii) the applicant should make good all the adjacent affected areas upon the completion of the drainage works;
- (ix) the applicant should construct and maintain the proposed drainage works properly and rectify the system if it is found to be inadequate or ineffective during operation;

- (x) as usual, Government should be empowered to inspect conditions of the private drainage system and to enforce its cleansing by the owners, if necessity arises (e.g. upon receipt of complaints);
- (xi) the applicant should conduct site checking to confirm invert levels of the public drainage system to which the stormwater from the subject site is proposed to be discharged;
- (xii) upon completion of the works, the applicant should apply to DSD for audit of the drainage connections, using an "HBP1" form. The applicant may visit DSD's website (www.dsd.gov.hk) for details of connection audit fees and arrangements. Then, a joint inspection with DSD shall be arranged and those as-built drainage connection records and materials certificates should be furnished to DSD for record purpose; and
- (xiii) the existing drainage facilities, watercourse, river, channel and the like should not be affected and obstructed by the construction materials, waste or debris from the proposed development.

APPENDIX 8

**Approved Fire Service Installations Proposal and the
Relevant Compliance Letters of Previous Planning
Application No. A/NE-TKL/747**



APPLICATION SITE (NOT IN SCALE)



泛亞消防工程公司
FAN AH FIRE ENGINEERING COMPANY

Temporary Private Car Park (Excluding Container Vehicles) for a Period of 3 Years

ADDRESS: Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling, New Territories

APPLICATION NO.: TPB/A/NE-TKL/747

DRAWN NO: A2410-01

SCALE: 1 : 500 @ A3

DRAWN BY: KEITH NG

VER 1

DATE: 22 OCT 2024

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室

**Planning Department**

Sha Tin, Tai Po & North
District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference A2410-01 Ver1
本署檔號 Our Reference () in TPB/A/NE-TKL/747
電話號碼 Tel No.: 2158 6237
傳真機號碼 Fax No.: 2691 2806

By Post and Fax

2 December 2024

Fan Ah Fire Engineering Company

(Attn.: Mr. Ng)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Village Type Development" Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling (Compliance with Approval Condition (d) for Planning Application No. A/NE-TKL/747)

I refer to your submission dated 22.10.2024 for compliance with approval condition (d) in relation to the submission of a fire service installations (FSIs) proposal to the satisfaction of the Director of Fire Services (D of FS) or of the Town Planning Board under the captioned planning application.

The D of FS (Contact person: Mr. QIU Yi; Tel.: 2733 5845) has been consulted and considered the approval condition (d) has been complied with. Please proceed to implement the accepted FSIs proposal for compliance with approval condition (e). You are advised to submit a full set of Certificate of FSI and Equipment (FS 251) incorporated with all FSIs proposed in the accepted FSIs proposal under approval condition (d) for further arrangement of FSI acceptance inspection.

Should you have any other queries related to planning matters, please contact Ms. Sheren LEE of this department at 2158 6391.

Yours faithfully,

(Ivy WONG)
for Director of Planning

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
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Planning Department

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1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference A2410-01 Ver1
本署檔號 Our Reference () in TPB/A/NE-TKL/747
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806

By Post and Fax

24 April 2025

Fan Ah Fire Engineering Company

(Attn.: Mr. NG)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Village Type Development" Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling (Compliance with Approval Condition (e) for Planning Application No. A/NE-TKL/747)

I refer to your submission and our interim reply dated 11.2.2025 and 25.3.2025 respectively for compliance with approval condition (e) in relation to the implementation of the fire service installations (FSIs) proposal to the satisfaction of the Director of Fire Services (D of FS) or of the Town Planning Board under the captioned planning application.

The D of FS (Contact person: Mr. LI Chi-fung; Tel.: 2733 5844) has been consulted and considered that approval condition (e) has been complied with.

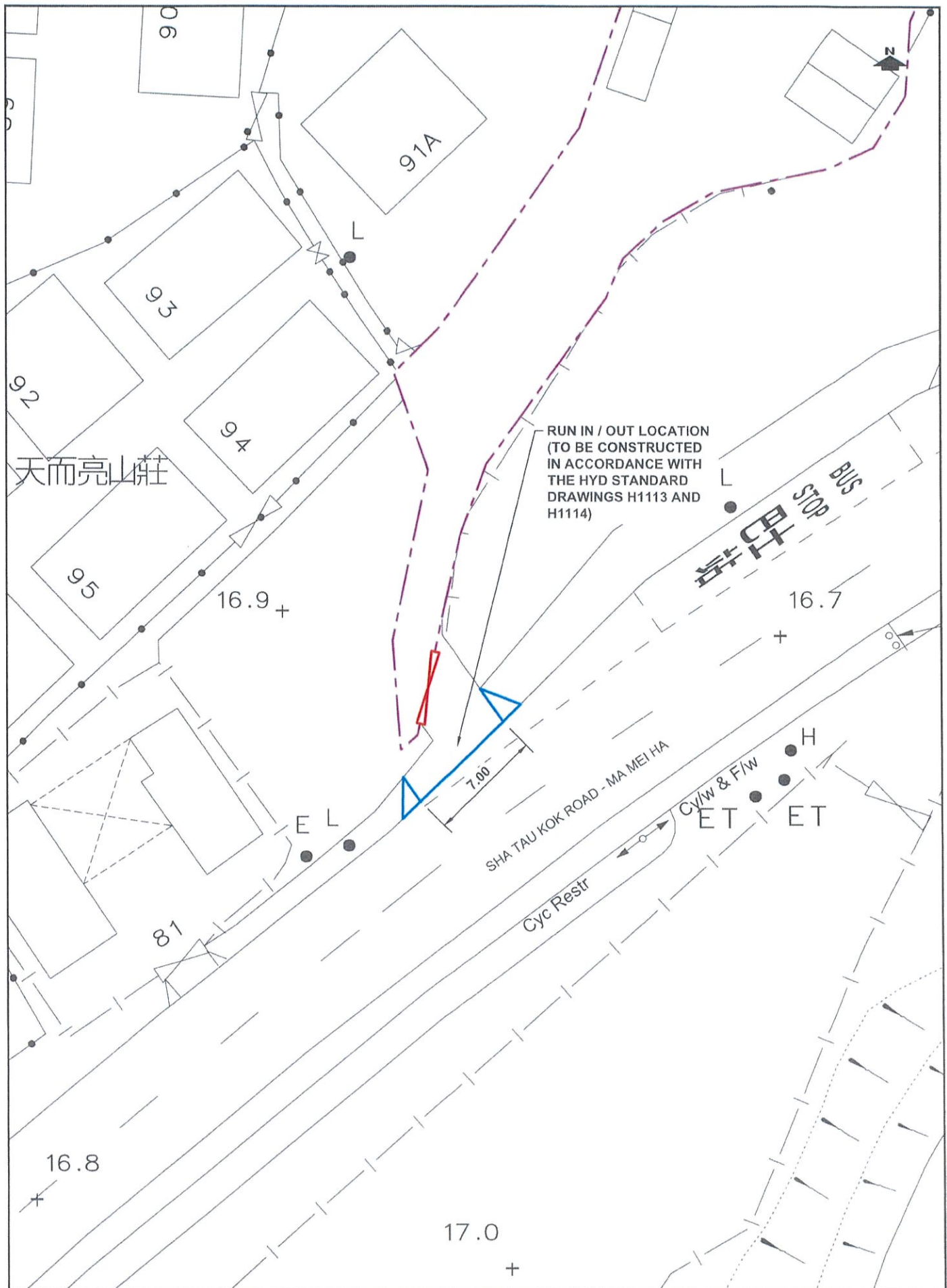
Should you have any other queries related to planning matters, please contact Ms. Sheren LEE of this Office at 2158 6391.

Yours faithfully,

(Rico TSANG)
for Director of Planning

APPENDIX 9

**Approved Design Proposal of Vehicular Run-in/out and the
Relevant Compliance Letter of Previous Planning
Application No. A/NE-TKL/747**



PROJECT NO 40938		PROJECT TITLE PROPOSED TEMPORARY PRIVATE VEHICLE PARK (EXCLUDING CONTAINER VEHICLES) FOR A PERIOD OF THREE YEARS AT LOT NOS. 1497SBSS4 AND 1497SBRP IN D.D. 76, HUNG LENG, FANLING, N.T.		DRAWING NO FIGURE 1	REV. .
DESIGNED SLN	DATE DEC 2024	DRAWING TITLE ACCESS ARRANGEMENT		LLA 顧問有限公司 Consultancy Limited	
DRAWN CLL	SCALE 1:300				
CHECKED SLN					

規 劃 署

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香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North
District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference NH/TPN/2595A/L16
本署檔號 Our Reference () in TPB/A/NE-TKL/747
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806

By Email

Lanbase Surveyors Ltd.

2 January 2025

(Attn.: Anson LEE)

Dear Sir/Madam,

Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land in “Agriculture” and “Village Type Development” Zones, Lots 1497 S.B ss.4 and 1497 S.B RP in D.D. 76, Hung Leng, Fanling (Compliance with Approval Condition (f) for Planning Application No. A/NE-TKL/747)

I refer to your submission received by this Office on 13.12.2024 for compliance with approval condition (f) in relation to the submission of the design of vehicular run-in/out to the site to the satisfaction of the Director of Highways or of the Town Planning Board under the captioned planning application.

The Chief Highway Engineer/New Territories East, Highways Department (Contact person: Mr. Kennie LAM; Tel.: 2762 4090) has been consulted and considered the approval condition (f) has been complied with.

Should you have any queries related to planning matters, please contact Ms. Sheren LEE of this department at 2158 6391.

Yours faithfully,

(Rico TSANG)
for Director of Planning

APPENDIX 10

Site Photo

Site Photo

Application Site



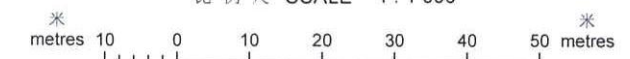
Explanatory notes : This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor.

Disclaimer : The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.



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比例尺 SCALE 1:1 000



Locality :
Lot Index Plan No. : ags_S00000119995_0001
District Survey Office : Lands Information Center
Date :17-Nov-2023
Reference No. : 3-SW-4B

For Identification Only