

Our Ref. : [REDACTED]
Your Ref. : TPB/A/YL-PN/91

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

2 June 2026

Dear Sir,

Supplementary Information

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),
Holiday Camp, Barbecue Site and Animal Boarding Establishment with Ancillary Facilities and
Associated Filling of Land for a Period of 3 Years in "Agriculture" Zone,
Various Lots in D.D.135 and Adjoining Government Land, Pak Nai, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-PN/91)

We are writing to submit supplementary information in support of the subject application, details are as follows:

- (a) The revised plan and appendices are provided, details are as follows:
- Land filling plan (**Plan 5**)
 - Replacement page of tree survey (**Appendix I**)
 - Replacement pages of geotechnical planning review report (**Appendix II**)
- (b) A drainage impact assessment (DIA) has been provided by the applicant to review the drainage arrangement of the proposed development (**Appendix III**). The runoff of the existing natural stream during rainstorm would be discharged by means of 750mm U-channels and 900mm pipe connecting to existing 3m open rectangular channel. The DIA concluded that no unacceptable drainage impact is anticipated.
- (c) The applicant would like to provide clarification on the proposed development, details are as follows:
- 2.5m high solid metal fencing will be erected along the site boundary to avoid any disturbance to the surrounding areas.
 - The applicant will strictly follow 'Control of Oil Fume and Cooking Odour from Restaurants and Food Business' issued by the Environmental Protection Department (EPD) to control oily fume and cooking odour emissions generated



from the canteen for the operation. Adequate air pollution control equipment is provided at the kitchen ventilation system for treating cooking fume emissions before being discharged to the odour environment, in order to fulfill the requirements of the Air Pollution Control Ordinance.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Planning Limited



Louis TSE
Town Planner

cc DPO/TMYLW, PlanD

(Attn.: Mr. Adien CHU
(Attn.: Ms. Belva TONG

email: aspchu@pland.gov.hk)
email: byktong@pland.gov.hk)

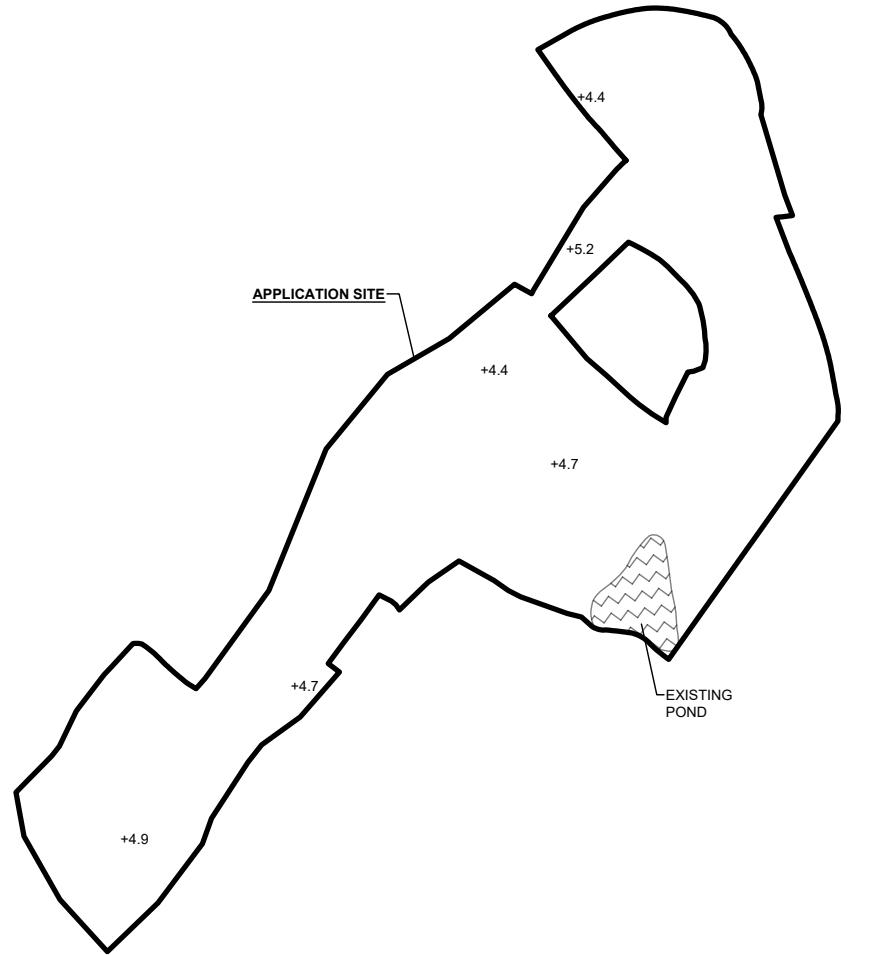


Plan 5
Filling of Land



EXISTING CONDITION OF THE APPLICATION SITE

APPLICATION SITE AREA	: 16,283 m ²	(ABOUT)
EXISTING SOILED AREA	: 15,855 m ²	(ABOUT)
EXISTING SITE LEVELS	: +4.4 mPD TO +5.2 mPD	(ABOUT)
EXISTING POND AREA	: 428 m ²	(ABOUT)



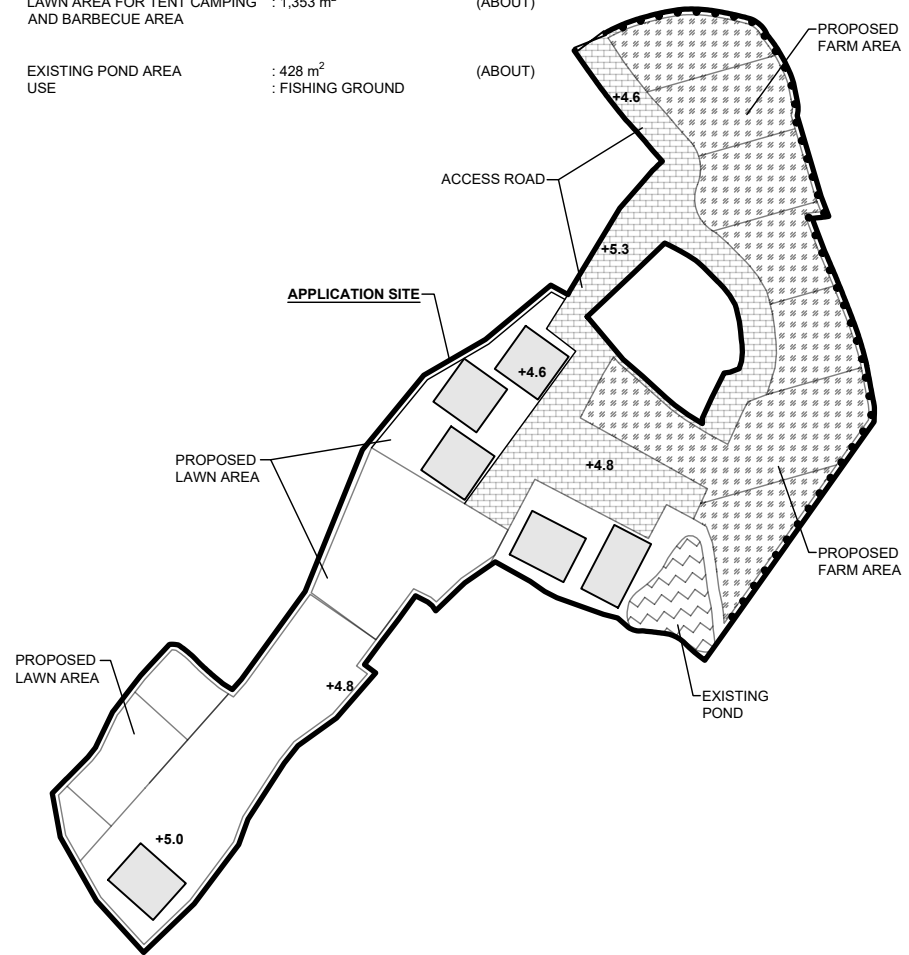
LEGEND

	APPLICATION SITE
+4.4	EXISTING SITE LEVEL

SITE LEVELS ARE FOR REFERENCE ONLY.
 *SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

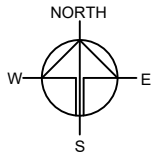
PROPOSED FILLING OF LAND AREA

APPLICATION SITE AREA	: 16,283 m ²	(ABOUT)
COVERED BY STRUCTURE	: 1,213 m ²	(ABOUT)
ACCESS ROAD	: 3,048 m ²	(ABOUT)
PROPOSED FILLING AREA	: 4,261 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2 m	
PROPOSED SITE LEVELS	: +4.6 mPD TO +5.3 mPD	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
USE	: SITE FORMATION OF STRUCTURES, AND CIRCULATION SPACE	
PROPOSED FARM AREA	: 4,705 m ²	(ABOUT)
USE	: HOBBY FARMING	
PROPOSED LAWN AREA	: 6,889 m ²	(ABOUT)
LAWN AREA FOR TENT CAMPING AND BARBECUE AREA	: 1,353 m ²	(ABOUT)
EXISTING POND AREA	: 428 m ²	(ABOUT)
USE	: FISHING GROUND	



LEGEND

	APPLICATION SITE
	PROPOSED FILLED AREA
+4.5	PROPOSED SITE LEVEL



PLANNING CONSULTANT



PROJECT
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION
 VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 2000 @ A4

DRAWN BY LT	DATE 28.4.2026
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE FILLING OF LAND	
DWG NO. PLAN 5	VER. 001

Appendix I

Replacement Page of Tree Survey

2. Summary of Existing Trees

The surveyed site is located at 24 RP, 26 RP, 27 RP, 28, 29, 30, 31, 32, 34, 37, 38, 39 (Part), 42 S.A, 42 RP, 43 and 44 in D.D. 135 and Adjoining Government Land (GL), Pak Nai, Yuen Long, New Territories

At the time of inspection on 15th December 2025, **44** tree was found within the Site. **No** dead tree was found within the site boundary. Location of individual tree refers to Appendix I.

Details of tree conditions and photo records for individual tree are recorded in the Appendix II and Appendix III respectively.

Appendix II

Replacement Pages of Geotechnical Planning Review Report

1 Project Background

Introduction

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) under Section (S.) 16 of the Town Planning Ordinance (Cap. 131) (the Ordinance) to use Various Lots in D.D. 135 And Adjoining Government Land, Pak Nai, Yuen Long, New Territories (the Site) for 'Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm And Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment With Ancillary Facilities and Associated Filling of Land for a Period of 3 Years'.
- 1.2 According to the Approved Sheung Pak Nai and Ha Pak Nai Outline Zoning Plan ("OZP") No. S/YL-PN/9, the application site currently falls within "Agriculture" ("AGR") zone. A planning permission for the proposed temporary hobby farm, fishing ground, holiday camp, barbecue site and animal boarding establishment, as well as the proposed filling of land, are required on application to the Town Planning Board ("TPB") under Section 16 of the Town Planning Ordinance.

Objective of the Assessment

- 1.3 The objective of this report is to present the Geotechnical Planning Review Report for Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm And Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment With Ancillary Facilities and Associated Filling of Land for a Period of 3 Years on the available ground information.
- 1.4 The proposed development involved the construction of 6 nos. of one-storey structure with no basement. This geotechnical review is prepared in accordance with the requirements set out in PNAP-APP25 (PNAP 78). The purpose of this review is to demonstrate that the proposed development at the Site will not have any unacceptable geotechnical risks.
- 1.5 This report contains the following two items.
 - i. Impact and proposed investigation to the adjoining premises
 - ii. Conclusion and recommendation

2 Site Description

Description of Existing Environment

- 2.1 The area of the application site is about 16,283m² and it is located at Pak Nai in Yuen Long District. Existing site levels ranging from +4.4 mPD to +5.2 mPD.
- 2.2 The Site is primarily in an area of rural character, with some vegetation cover. There are several single-storey structures which were for residential and farming use.
- 2.3 The site is currently a vacant land overgrown with weeds and different tree groups. The location of the Site is shown on Drawing No. PLAN 1 in **Appendix A**.

Proposed Development Scheme

- 2.3.1 The site is proposed to be a temporary place of recreation, sports or culture (hobby farm and fishing ground), holiday camp, barbecue site and animal boarding establishment with ancillary facilities and associated filling of land for a period of 3 years. A proposed master layout plan with Drawing No. PLAN 9 is enclosed in **Appendix A**.
- 2.3.2 The following uses or facilities will be provided:
 - I. Site Office, Reception and Washroom;
 - II. Animal Boarding Establishment
 - III. Canteen For Staff and Visitor
 - IV. Agricultural Education, Office and Store Room
 - V. Area Reserved for Recreational, Sports or Cultural Activities
 - VI. Hobby Farming Area
 - VII. Activity Room
 - VIII. Tent Camping Area and Barbecue Area
- 2.4 Six structures are proposed at the Site for reception, washroom, animal boarding establishment, canteen for staff and visitor, agricultural education and store room, site office with total GFA of approximately 1,213 m². The layout plan of the proposed development on drawing no. PLAN4 in **Appendix B**.
- 2.5 Part of the site is proposed to be filled wholly with concrete pavement for the access road, formation of structures and circulation space as shown on drawing no. PLAN5 in **Appendix B**. As heavy loading of structures and vehicles would compact the existing soiled ground and weaken the ground surface, concrete site formation is required to meet the operation needs and that has been kept to minimal for the operation of the proposed development.
- 2.6 The Existing Site falls from south to north, following the natural topography of the area. The proposed site falls from approximately +4.6 mPD to +5.3 mPD (South to North). There will be no substantial changes in levels at the Site as a result of the proposed development.

Appendix III

Revised Drainage Impact Assessment

Response to comment

Departmental Comments	Applicant's Responses
Comments of the Chief Engineer/Mainland North, Drainage Services Department (Contact Officer: Mr. Daniel CHAN; Tel: 2332 2471)	
Comments received on 6.5.2026	
(a) Section 2.1.3 - Figure 2 was not provided in the submission.	Section 2.1.3 is revised. The existing stream is highlighted on Drawing No. PLAN 3 in Appendix A for clarity.
(b) Section 2.2.1 - Plan 9 was not provided in the submission.	For the master layout plan, please refer to Drawing No. PLAN 4 in Appendix. Section 2.2.1 is revised accordingly.
(c) Section 2.3.6 - Please review and take into account climate change in DIA.	10.4% (For Mid 21 st Century) rainfall increase has been included in the runoff estimation in Appendix B. The capacity calculations in Appendix C have been updated accordingly.
(d) The existing channel, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant(s) shall resolve any conflict/disagreement arisen for discharging the runoff from the application site(s) to the proposed discharge point(s). In the case that it is a local village drains, HAD should be consulted. Moreover, the applicant(s) should ensure that this drainage system and the existing downstream drains/channels/streams have adequate capacity to convey the additional runoff from the application site(s). Regular maintenance should be carried out by the applicant(s) to avoid blockage of the system.	Noted. The applicant would consult HAD on the proposed drainage works.
(e) Further to (d) above, since there is no record of the said discharge path, please provide more site photos at different location of the existing stream to demonstrate that the dimension (i.e. 3m x 2.5m) of the existing stream in the DIA is the minimum dimension along the existing stream.	Noted. The site photos of the existing stream at different location are provided in Appendix D.
(f) Peripheral surface channels shall be provided along the site boundary of the	U channels have been provided along site boundary at the lower sides

Response to comment

<p>lower sides to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands.</p>	<p>to collect the surface runoff accrued on the application site and to intercept the overland flow. Please refer to drawing no. DIA1. Please refer to the revised drainage layout, Drawing No. DL1 in Appendix A.</p>
<p>(g) Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given, as well as the connection / discharge details from proposed site to the existing stream.</p>	<p>Noted. Drawing No. CS1 is included to show cross sections of the existing and proposed ground levels of the captioned site as well as the drainage details from the proposed site to the existing stream.</p>
<p>(h) Drg No. DIA 1 - It is noted that the site at south of Catchment A2 outside the site is higher than A2, and it is expected that surface runoff might flow passing through the site. In addition, the lot DD135 Lot 35 was excluded from the concerned site. However, the site area of Lot 35 should be taken into account in the concerned catchment. Please review the catchment.</p>	<p>An external catchment E2 is included on Drawing No. DIA1 in Appendix A to cater the potential runoff from the south of Catchment A2.</p>
<p>(i) Sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities.</p>	<p>A catchpit with trap would be provided at the last catchpit before discharging to the existing stream. Please refer to Drawing No. DL1.</p>
<p>(j) Where walls or hoarding are erected are laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.</p>	<p>Noted.</p>
<p>(k) The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.</p>	<p>Noted.</p>
<p>(l) Consideration should be given to provide grating for the surface</p>	<p>Steel Grating would be provided for the proposed U-channel. Standard Drawing No. is included in Appendix E.</p>
<p>(m) Appendix D - the location of photo 4 is unknown.</p>	<p>The location of photo 4 has been provided in Appendix D.</p>
<p>(n) Please remind the applicant's A.P. of the following general comments/</p>	<p>Noted.</p>

Response to comment

<p>requirements on the drainage works.</p>	
<p>(o) The proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at his expense.</p>	<p>Noted.</p>
<p>(p) The existing drainage system proposed for discharge of the runoff from the subject site is not maintained by DSD. Consent from the owner/maintenance party, users of this drainage system and DO/YL should be sought for the proposed drainage connection. Moreover, the applicant should ensure that this drainage system and the existing downstream drains/channels have adequate capacity to convey the additional runoff from the subject site. In addition, regular maintenance should be carried out by the lot owner/developer to avoid blockage of drain.</p>	<p>Noted.</p>
<p>(q) The applicant/owner that their drainage facilities shall be properly designed, constructed and maintained in good condition without causing adverse drainage impact to the adjacent area at all times, and the applicant is required to rectify/modify the drainage systems if they are found to be inadequate or ineffective to accommodate the additional runoff arisen from the application. The applicant/owner shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the drainage systems caused by their application.</p>	<p>Noted.</p>
<p>(r) For works to be undertaken outside the lot boundary, prior consent and agreement from DLO/YL, DO/YL and/or relevant private lot owners should be sought.</p>	<p>Noted.</p>
<p>(s) The applicant/owner should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the</p>	<p>Noted.</p>

Response to comment

<p>existing drainage facilities in the vicinity of the lot. In the event of any damage to the existing drainage facilities, the lot owner/developer would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom.</p>	
<p>(t) A minimum soil cover of 450mm and 900mm should be provided for the connection pipe constructed under footpath and carriageway respectively.</p>	<p>Noted.</p>
<p>(u) The lot owner/developer should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot.</p>	<p>Noted.</p>

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment

Various Lots in D.D. 135 And Adjoining Government Land, Pak Nai, Yuen Long, New Territories

Drainage Impact Assessment Report

Applicant

Pak Nai Farmhouse Limited

May 2026

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years, Various Lots in D.D. 135 And Adjoining Government Land, Pak Nai, Yuen Long, New Territories

AMENDMENT RECORD

REVISION NO.	DESCRIPTION	PREPARED BY (Date)	REVIEWED BY (Date)	APPROVED BY (Date)
1.0	Final Proposal	11/5/2026	11/5/2026	12/5/2026

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Table 2	Storm Constants for Different Return Periods of HKO Headquarters

1 Project Background

1.1 Introduction

1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) under Section (S.) 16 of the Town Planning Ordinance (Cap. 131) (the Ordinance) to use Various Lots in D.D. 135 And Adjoining Government Land, Pak Nai, Yuen Long, New Territories (the Site) for 'Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm And Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment With Ancillary Facilities and Associated Filling of Land for a Period of 3 Years'.

1.1.2 According to the Approved Sheung Pak Nai and Ha Pak Nai Outline Zoning Plan ("OZP") No. S/YL-PN/9, the application site currently falls within "Agriculture" ("AGR") zone. A planning permission for the proposed temporary hobby farm, fishing ground, holiday camp, barbecue site and animal boarding establishment, as well as the proposed filling of land, are required on application to the Town Planning Board ("TPB") under Section 16 of the Town Planning Ordinance.

1.1.3 In order to assess possible drainage impact may be generated from the proposed development, a Drainage Impact Assessment ("DIA") is conducted to support this Section 16 planning application.

1.2 Objective of the Assessment

1.2.1 The objectives of this DIA are to assess the potential drainage impact that may be generated from the proposed development and recommend the mitigation measures, if necessary, to alleviate the impacts.

2 Site Description

2.1 Description of Existing Environment

2.1.1 The area of the application site is about 16,283m² and it is located at Pak Nai in Yuen Long District. Existing site levels ranging from +4.4 mPD to +5.2 mPD.

2.1.2 According to the site inspection conducted in April 2026, the site is currently a vacant land overgrown with weeds and different tree groups. Moreover, several ditches/watercourses were found next to the Site, which are connected to surrounding catchments to Deep Bay (Shenzhen Bay). The location of the Site is shown on Drawing No. PLAN 1 in **Appendix A**.

2.1.3 There are existing watercourse surrounding the proposed site, collecting runoff near Nim Wan Road which has generally higher ground level. The proposed site is minimum 3m away from the existing watercourse. The existing stream is highlighted on Drawing No. PLAN 3 in **Appendix A** for clarity.

2.2 Proposed Development Scheme

2.1.2 The site is proposed to be a proposed temporary place of recreation, sports or culture (hobby farm and fishing ground), holiday camp, barbecue site and animal boarding establishment with ancillary facilities and associated filling of land for a period of 3 years. A proposed master layout plan with Drawing No. PLAN 4 is enclosed in **Appendix A**.

2.2.2 The following uses or facilities will be provided:

- I. Site Office, Reception and Washroom;
- II. Animal Boarding Establishment
- III. Canteen For Staff and Visitor
- IV. Agricultural Education, Office and Store Room
- V. Area Reserved for Recreational, Sports or Cultural Activities
- VI. Hobby Farming Area
- VII. Activity Room
- VIII. Tent Camping Area and Barbecue Area

3 Methodology

3.1 Assessment Method

3.1.1 Rational Method is used to estimate the peak runoff from the catchment according to “Stormwater Drainage Manual – Planning, Design and Management” (SDM). The peak runoff is given by the following expression:

$$Q_p = 0.278 C i A$$

Where Q_p = peak runoff in m³/s
 C = runoff coefficient (dimensionless)
 i = rainfall intensity in mm/hr
 A = catchment area in km²

3.1.2 According to the Stormwater Drainage Manual, the runoff coefficient C is considered below:

Table 1: Runoff Coefficients

Surface Characteristics	Runoff Coefficient
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (Heavy Soil)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (Sandy Soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

3.1.3 The rainfall intensity i is determined by using the Gumbel Solution:

$$i = a / (td + b)c$$

Where i = extreme mean intensity in mm/hr
 td = duration in minutes ($td \leq 240$)
 a, b, c = storm constants given in the table below

Table 2: Storm Constants for Different Return Periods of HKO Headquarters (based on SDM Corrigendum No. 1/2024)

Return Period T(years)	2	5	10	20	50	100	200	500	1000
a	446.1	470.5	485.0	496.0	505.5	508.6	508.8	504.6	498.7
b	3.38	3.11	3.11	3.17	3.29	3.38	3.46	3.53	3.55
c	0.463	0.419	0.397	0.377	0.355	0.338	0.322	0.302	0.286

3.1.4 The Brandsby William's Equation is used to determine the time of concentration etc.

$$t_o = 0.14465L / (H^{0.2}A^{0.1})$$

Where t_o = time of concentration of a natural catchment (min.);
 A = catchment area (m²);
 H = average slope (m per 100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration;
 L = distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m)

3.1.5 The Manning's Equation is used to determine the capacity of U-channel and Stream:

$$V = \frac{R^{\frac{1}{6}}}{n} \sqrt{Rs}$$

where V = mean velocity (m/s)
 R = hydraulic radius (m)
 n = Manning coefficient (s/m^{1/3})
 s = hydraulic gradient (energy loss per unit length due to friction)

3.1.6 The application site is proposed to be temporary place of recreation, sports or culture (hobby farm and fishing ground), holiday camp, barbecue site and animal boarding establishment with ancillary facilities and associated filling of land. Rainfall increase due to climate change is not adopted in the runoff assessment in **Appendix B**.

4 Existing Drainage

4.1 Existing Drainage Routes and Arrangements

- 4.1.1 The Site is located almost immediately adjacent to (to the east of) a substantial (in the order of 3m wide) natural streamcourse which serves a large upstream catchment, leading up to Yuen Tau Shan. The overall catchment is shown on Drawing No. DIA1 in **Appendix A**. The overall catchment measures approximately 16,283m².
- 4.1.2 Within the Site, there are no apparent main drainage systems, with runoff generally passing overland from South to North, towards the main natural streamcourse as indicated on Drawing No. DIA1 in **Appendix A**.
- 4.1.3 There are no flooding blackspots in the vicinity of the Site and there is no history of flooding in the area (apart from the natural pond within the Site).
- 4.1.4 There are no known Ecologically Important Streams/Rivers in the catchment in which the Site is located.

5 Drainage Impact Assessment (DIA)

5.1 Project Site

- 5.1.1 The site is proposed to be concrete paved. The proposed site levels are ranging from +4.60 mPD to +5.30 mPD. There would be additional concrete paving area compared to the existing situation, with a resultant increase in runoff. The increase is quantified and discussed in Section 5.4. The proposed site catchment is shown on Drawing No. DIA1 in **Appendix A**
- 5.1.2 According to the topographical data and the existing drainage facilities on the surveys map obtained from Lands Department, there is an External Catchment located at the adjacent to the project site. The runoff from the External Catchment will flow from the Eastern and Southern Boundary of the Project Site, this extra runoff will potentially further drain into the proposed drainage system. As such, runoff arising from the External Catchment should be considered in this DIA using Rational Method.
- 5.1.3 Three main catchment areas were identified based on the proposed site layout plan including the local natural upstream catchment, external catchment adjacent to the proposed site and the proposed site itself. The runoffs are further collected into the existing public open rectangular channel next to the Site. The proposed site condition is shown on Drawing No. PLAN 4 and PLAN 5 in **Appendix A**.

5.2 Proposed Drainage Arrangement

5.2.1 The Site currently receives runoff from the External Catchment and this will continue after the proposed development as shown in Drawing Nos. DIA1. The runoff is expected to be widespread (rather than at discrete locations), U-channels will be proposed to collect the runoff from internal and external catchment. The flow capacities of the proposed U-channel are calculated using the Chart for the Rapid Design of Channels. Runoff from corresponding Site Catchments (calculated based on a return period of 50 years), the capacity estimation and checking for the proposed U-channels are included in **Appendix C**. The overall drainage is proposed to discharge into the existing open rectangular channel.

5.3 Assessment Assumptions

5.3.1 Runoff coefficient of $C=0.25$ is adopted for the naturally vegetated hillsides and steep vegetated soil. For the Proposed Development, the whole site coverage will be paved with impervious concrete, runoff coefficient of $C = 0.95$ is adopted. However, the development is proposed to introduce a range of different materials for various parts of the Site and different runoff coefficients are adopted. About $12,022 \text{ m}^2$ of the application site area is set to be greenland. The runoff coefficient of greenland is generally adopted as $C = 0.25$. Details of the runoff assessment, please refer to the calculation in **Appendix B**.

5.4 Drainage Impact Assessment

5.4.1 The 1 in 50-year peak discharge from the Site alone will increase from 0.203 to $0.353 \text{ m}^3/\text{s}$, i.e. an increase of $0.150 \text{ m}^3/\text{s}$. The existing and future runoff flows from the proposed site, external and overall catchment are presented in **Appendix B**. It is understood that the proposed development would cause additional flow to the public drainage system. The overall drainage flow is estimated to be $16.694 \text{ m}^3/\text{s}$ (Proposed Site Catchment A1 + External Catchment E1 + The Local Upstream Catchment A2) for 1 in 50-year peak discharge as shown in **Appendix B**. To avoid adverse drainage impact on the existing natural stream, the capacity of Existing 3m open rectangular channel is calculated using Manning Equation, please refer to the calculation shown in **Appendix C**. The design capacity of the Existing 3m open rectangular Channel is found to be $21.64 \text{ m}^3/\text{s}$. Therefore, the existing drainage system is adequate to cater the additional flow from the proposed development.

6 CONCLUSION

- 6.1.1 The Project Proponent will be responsible for the construction and ongoing maintenance of the drainage facilities. The runoff to the existing natural stream during rainstorm would be discharged by means of 750mm U-channels and 900mm pipe connecting to existing 3m open rectangular channel.
- 6.1.2 The proposed development will result in slightly greater runoff than the existing Site comparing to the design capacity of the Existing 3m rectangular Channel. The incremental runoff before and after the development was estimated using the rational method. The existing 3m rectangular Channel is adequate to collect the incremental runoff during the heavy rainstorm. As a result, no adverse drainage impact to the existing drainage system is anticipated after the development of the Site with 50 year return period. With implementation of the mentioned drainage system, no unacceptable drainage impact is anticipated.

May 2026

Appendix A

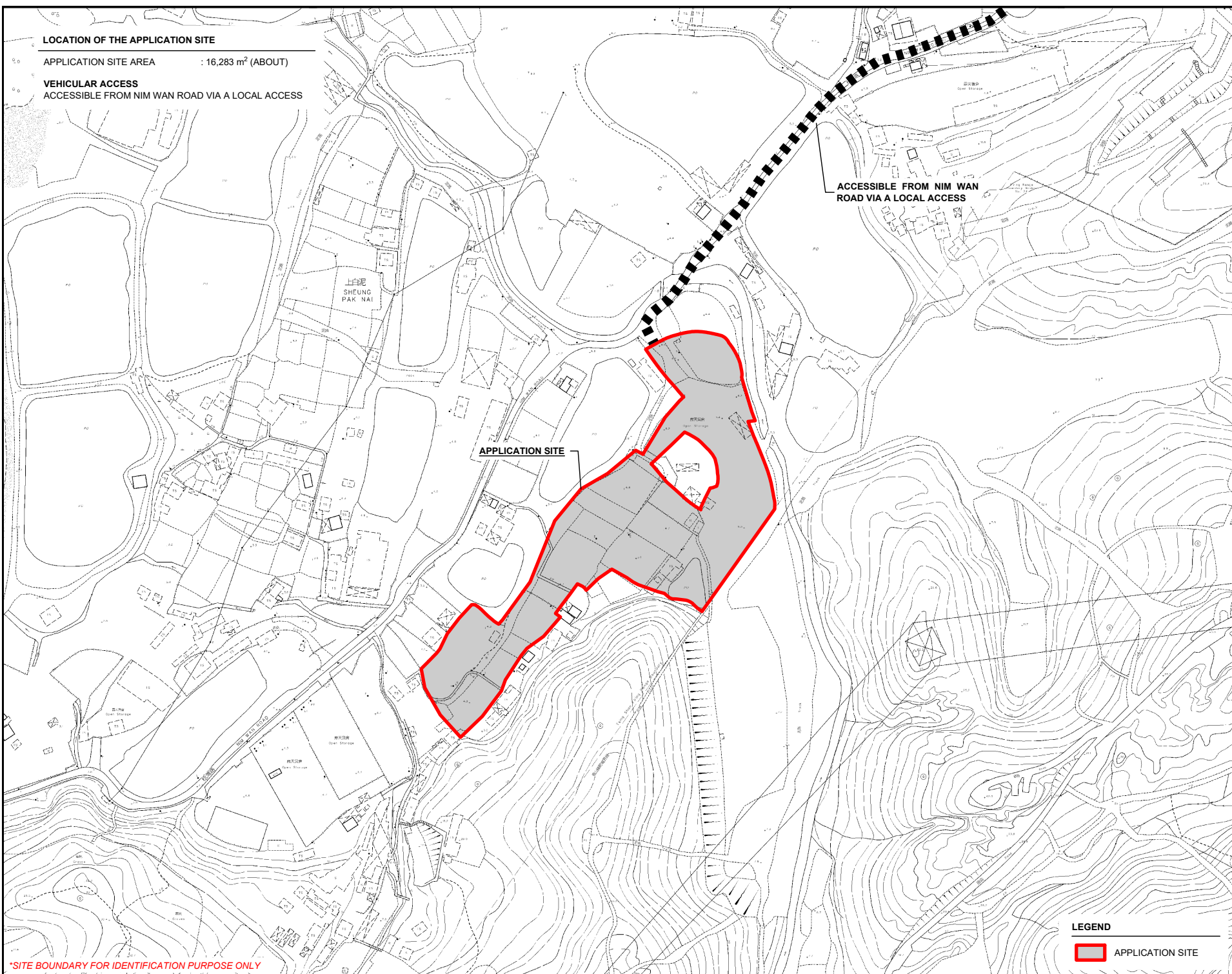
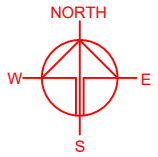
Drawings

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 16,283 m² (ABOUT)

VEHICULAR ACCESS

ACCESSIBLE FROM NIM WAN ROAD VIA A LOCAL ACCESS



ACCESSIBLE FROM NIM WAN ROAD VIA A LOCAL ACCESS

APPLICATION SITE

*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

LEGEND
[Red outline box] APPLICATION SITE

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE
1 : 3000 @ A4

DRAWN BY
LT

DATE
28.4.2026

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE
LOCATION PLAN

DWG NO.
PLAN 1

VER.
001

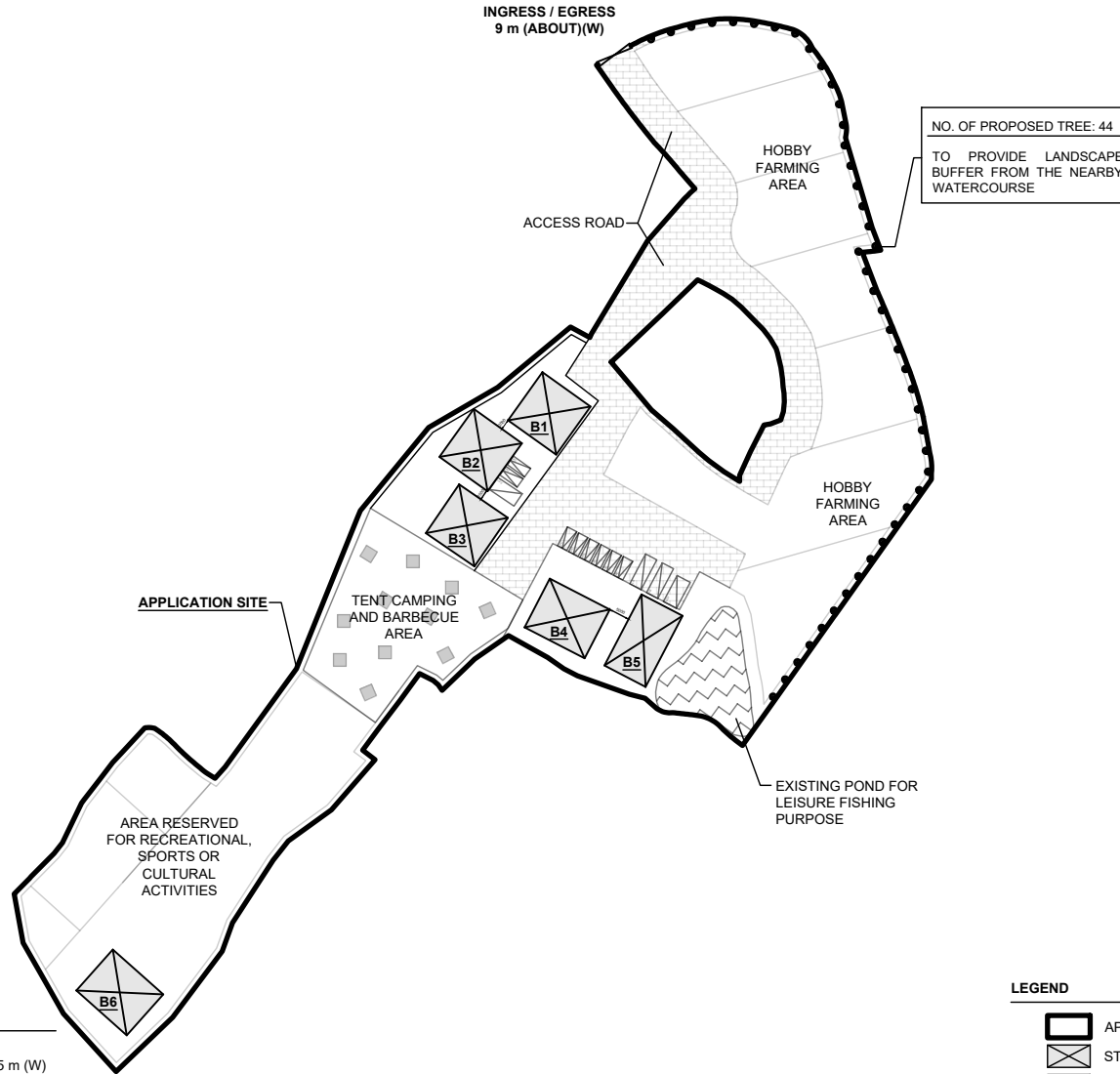
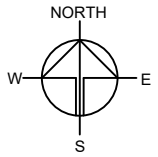
DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 16,283 m ²	(ABOUT)
COVERED AREA	: 1,213 m ²	(ABOUT)
UNCOVERED AREA	: 15,070 m ²	(ABOUT)
PLOT RATIO	: 0.07	(ABOUT)
SITE COVERAGE	: 7 %	(ABOUT)
NO. OF STRUCTURE	: 6	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 1,213 m ²	(ABOUT)
TOTAL GFA	: 1,213 m ²	(ABOUT)
BUILDING HEIGHT	: 4 m (ABOUT)	
NO. OF STOREY	: 1	

PROPOSED USES

HOBBY FARM	: 4,705 m ²	(ABOUT)
FISHING GROUND	: 428 m ²	(ABOUT)
HOLIDAY CAMP AND BARBECUE SITE	: 1,353 m ²	(ABOUT)
NO. OF CAMPING TENT	: 11	(ABOUT)
NO. OF BARBECUE PIT	: 11	(ABOUT)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	ANIMAL BOARDING ESTABLISHMENT	196 m ² (ABOUT)	196 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
B2	ANIMAL BOARDING ESTABLISHMENT	196 m ² (ABOUT)	196 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
B3	AGRICULTURAL EDUCATION, OFFICE AND STORE ROOM	196 m ² (ABOUT)	196 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
B4	RECEPTION AND SITE OFFICE	208 m ² (ABOUT)	208 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
B5	CANTEEN FOR STAFF AND VISITOR	209 m ² (ABOUT)	209 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
B6	ACTIVITY ROOM	208 m ² (ABOUT)	208 m ² (ABOUT)	4 m (ABOUT)(1-STOREY)
TOTAL		1,213 m² (ABOUT)	1,213 m² (ABOUT)	



PARKING AND LOADING / UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 8
DIMENSION OF L/U/L SPACE	: 5 m (L) x 2.5 m (W)
NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 2
DIMENSION OF L/U/L SPACE	: 7 m (L) x 3.5 m (W)
NO. OF L/U/L SPACE FOR LIGHT BUS	: 2
DIMENSION OF L/U/L SPACE	: 8 m (L) x 3 m (W)

LEGEND

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (LGV)
- LOADING / UNLOADING SPACE (LB)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 1750 @ A4

DRAWN BY	DATE
LT	28.4.2026

REVISED BY	DATE

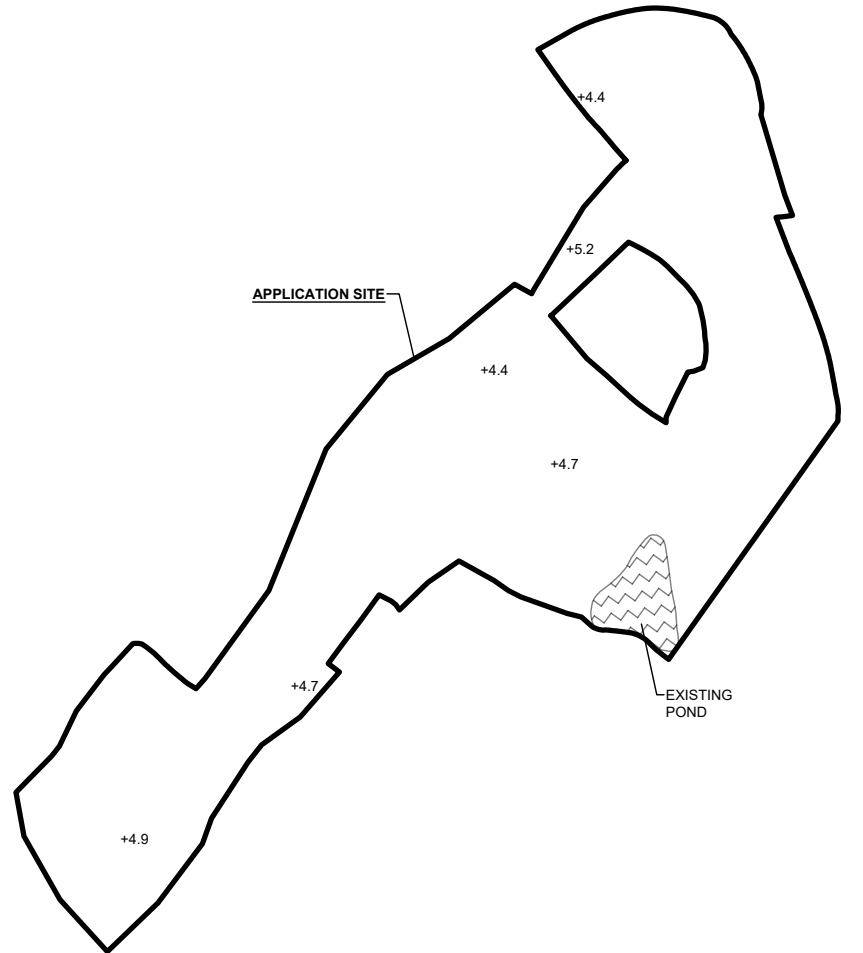
APPROVED BY	DATE

DWG. TITLE
LAYOUT PLAN


DWG NO.	VER.
PLAN 4	001

EXISTING CONDITION OF THE APPLICATION SITE

APPLICATION SITE AREA	: 16,283 m ²	(ABOUT)
EXISTING SOILED AREA	: 15,855 m ²	(ABOUT)
EXISTING SITE LEVELS	: +4.4 mPD TO +5.2 mPD	(ABOUT)
EXISTING POND AREA	: 428 m ²	(ABOUT)



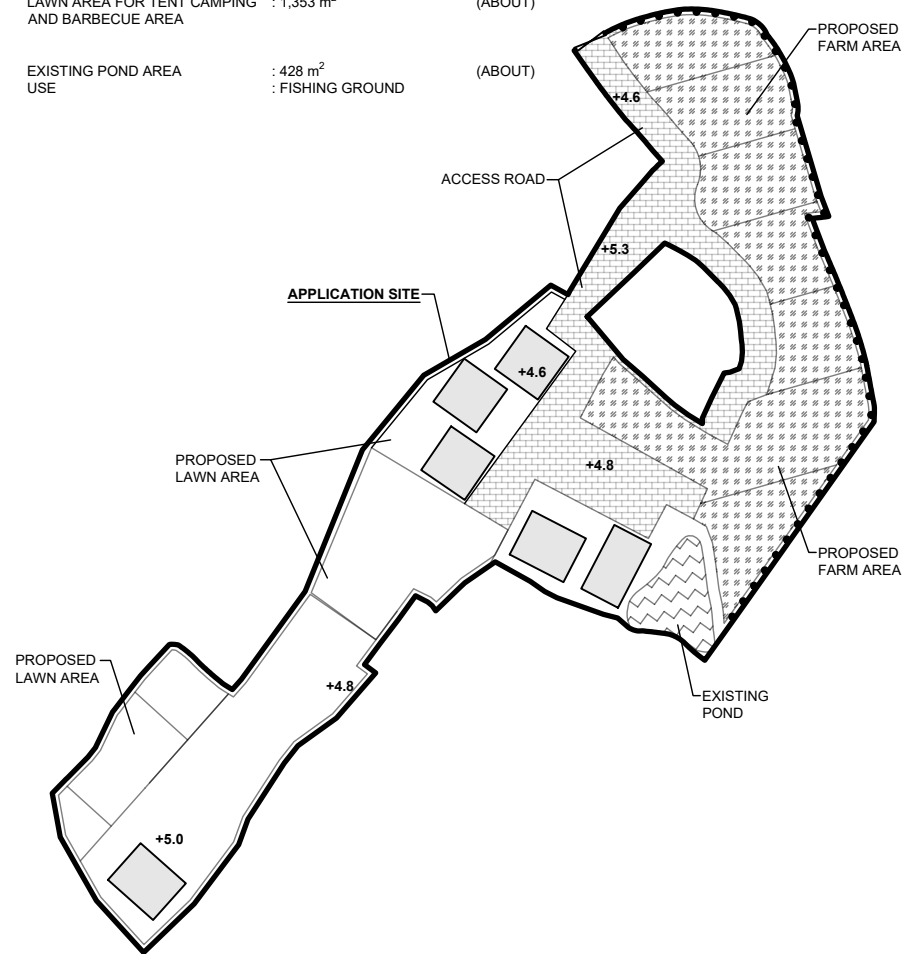
LEGEND

	APPLICATION SITE
+4.4	EXISTING SITE LEVEL



SITE LEVELS ARE FOR REFERENCE ONLY.
 *SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

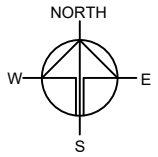
PROPOSED FILLING OF LAND AREA

APPLICATION SITE AREA	: 16,283 m ²	(ABOUT)
COVERED BY STRUCTURE	: 1,213 m ²	(ABOUT)
ACCESS ROAD	: 3,048 m ²	(ABOUT)
PROPOSED FILLING AREA	: 4,261 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2 m	
PROPOSED SITE LEVELS	: +4.6 mPD TO +5.3 mPD	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
USE	: SITE FORMATION OF STRUCTURES, AND CIRCULATION SPACE	
PROPOSED FARM AREA	: 4,705 m ²	(ABOUT)
USE	: HOBBY FARMING	
PROPOSED LAWN AREA	: 6,889 m ²	(ABOUT)
LAWN AREA FOR TENT CAMPING AND BARBECUE AREA	: 1,353 m ²	(ABOUT)
EXISTING POND AREA	: 428 m ²	(ABOUT)
USE	: FISHING GROUND	



LEGEND

	APPLICATION SITE
	PROPOSED FILLED AREA
+4.5	PROPOSED SITE LEVEL



PLANNING CONSULTANT



PROJECT
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION
 VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 2000 @ A4

DRAWN BY	DATE
LT	28.4.2026

CHECKED BY	DATE

APPROVED BY	DATE

DWG. TITLE
 FILLING OF LAND

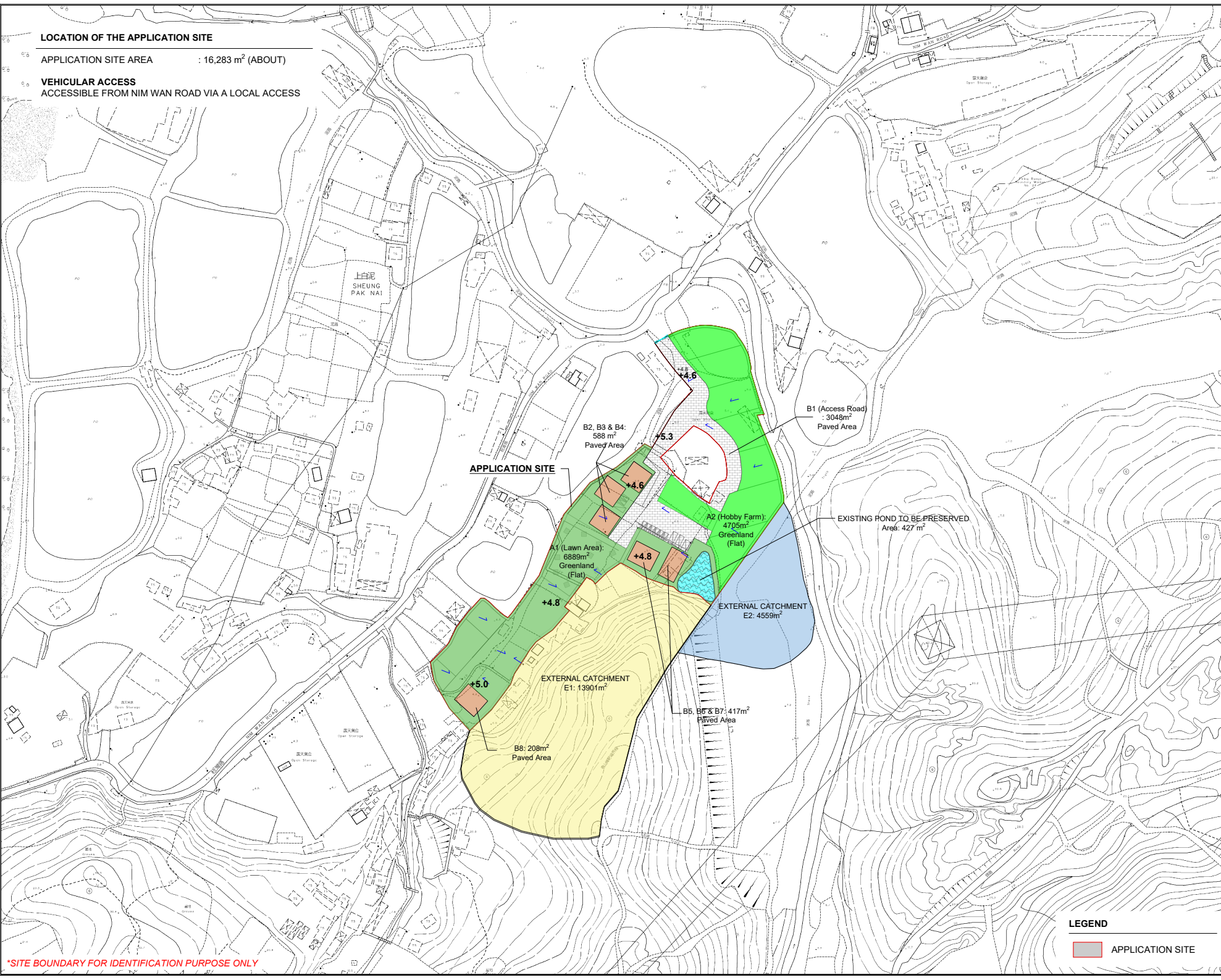
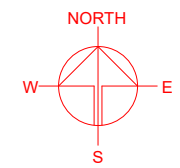
DWG NO.	VER.
PLAN 5	001

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 16,283 m² (ABOUT)

VEHICULAR ACCESS

ACCESSIBLE FROM NIM WAN ROAD VIA A LOCAL ACCESS



APPLICATION SITE

B2, B3 & B4:
588 m²
Paved Area

B1 (Access Road)
: 3048m²
Paved Area

EXISTING POND TO BE PRESERVED
Area: 427 m²

EXTERNAL CATCHMENT
E2: 4559m²

EXTERNAL CATCHMENT
E1: 13901m²

B5, B6 & B7: 417m²
Paved Area

B8: 208m²
Paved Area

A1 (Lawn Area):
6889m²
Greenland
(Flat)

A2 (Hobby Farm):
4705m²
Greenland
(Flat)

LEGEND

APPLICATION SITE

PLANNING CONSULTANT

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PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 3000 @ A4

DRAWN BY DATE

MN 22.12.2025

REVISED BY DATE

APPROVED BY DATE

DWG. TITLE

CATCHMENT PLAN

DWG NO. VER.

DIA 1 001

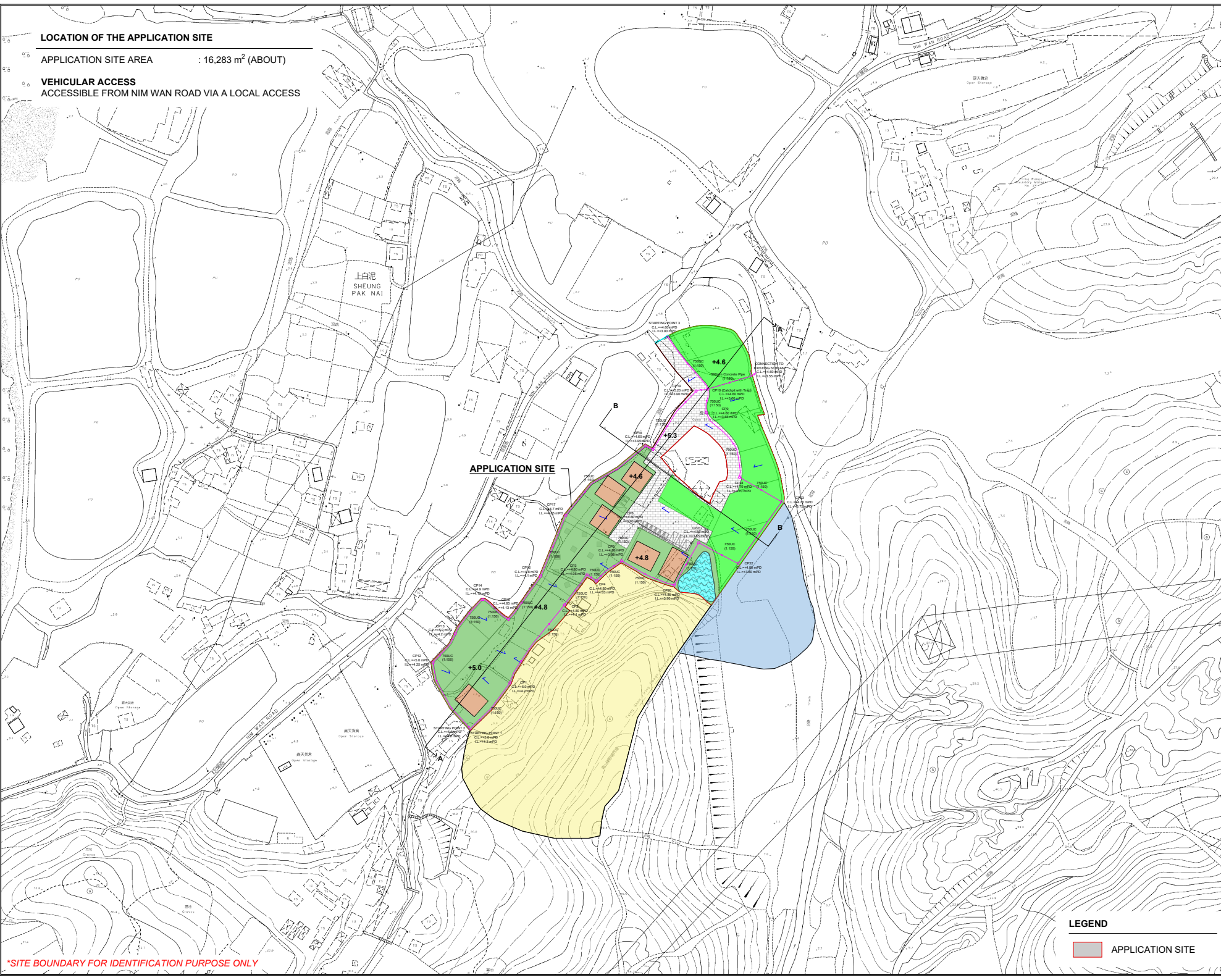
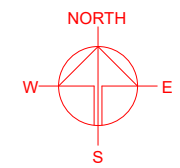
*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 16,283 m² (ABOUT)

VEHICULAR ACCESS

ACCESSIBLE FROM NIM WAN ROAD VIA A LOCAL ACCESS



APPLICATION SITE

上白泥
SHEUNG
PAK NAI

LEGEND

APPLICATION SITE

PLANNING CONSULTANT

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PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 3000 @ A4

DRAWN BY DATE

MN 22.12.2025

REVISED BY DATE

APPROVED BY DATE

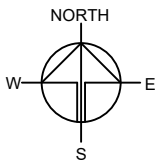
DWG. TITLE

DRAINAGE LAYOUT

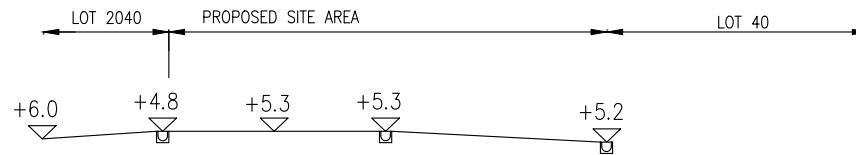
DWG NO. VER.

DL 1 001

*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY



SECTION A-A



SECTION B-B

LEGEND

APPLICATION SITE

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE, PLACE OF RECREATION, SPORTS OR CULTURE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

NTS @ A4

DRAWN BY _____ DATE _____

CHECKED BY _____ DATE _____

APPROVED BY _____ DATE _____

DWG. TITLE

CROSS SECTIONS

DWG NO.

CS1

VER.

001

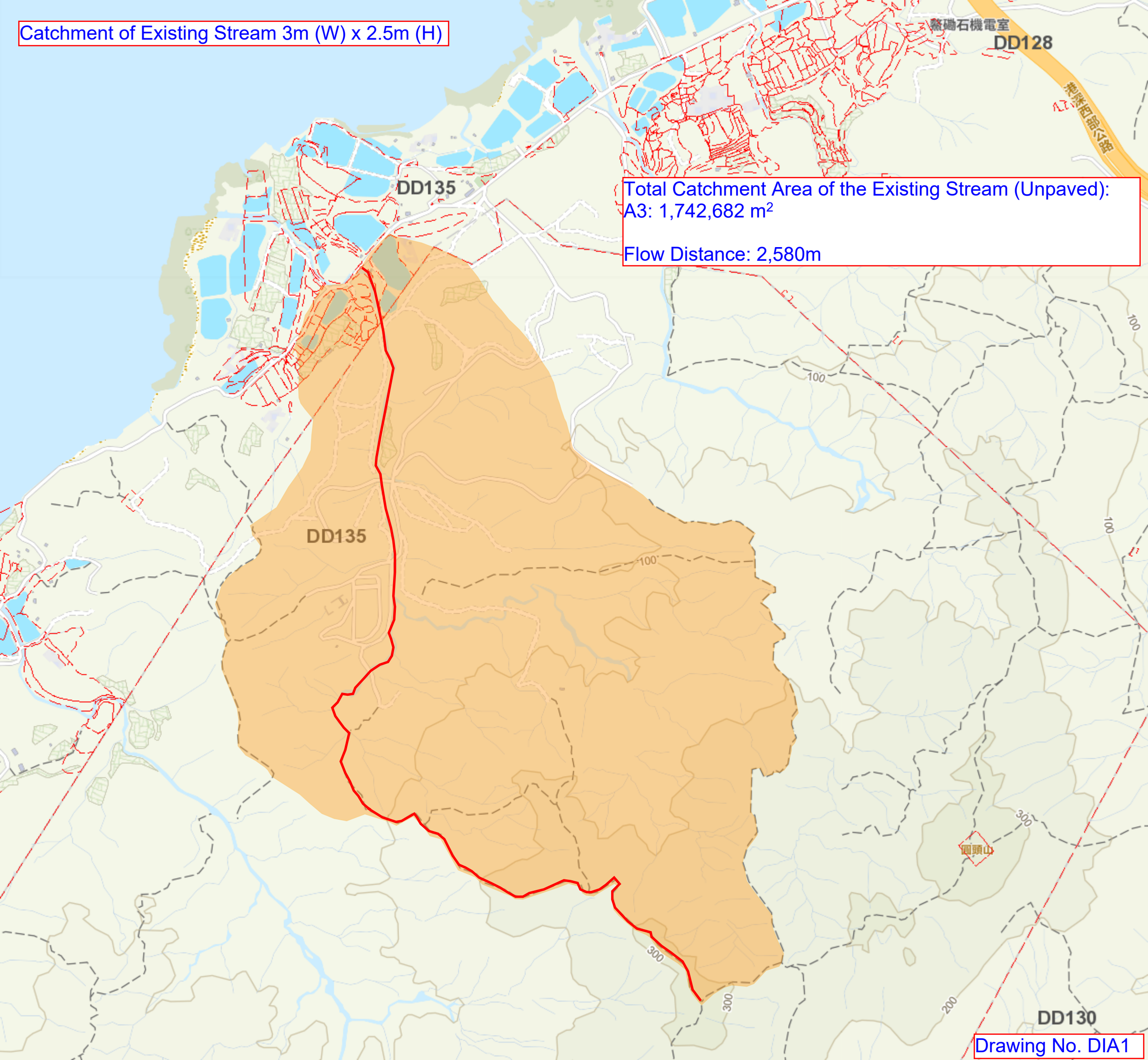
Appendix B

Runoff Calculations

Catchment of Existing Stream 3m (W) x 2.5m (H)

整礫石機電室
DD128

Total Catchment Area of the Existing Stream (Unpaved):
A3: 1,742,682 m²
Flow Distance: 2,580m



Runoff Estimation

Rational method is used for calculation of the peak runoff. The formula is extracted from Section 7.5.2 (a) of SDM. The parameters and assumptions refer to section 3.

The external catchment comprises mainly naturally steep vegetated hillsides; C = 0.35

The existing site comprises mainly flat vegetated soil; C = 0.25

The hobby farming and tent camping area of the proposed site comprise mainly naturally flat greenland; C=0.25

The concrete paved area (Impervious) of the proposed site: C=0.95

Area of the Site = 16,283 m²

Area of the local upstream catchment = 29455 m²

The Site is proposed to be "Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),

Holiday Camp, Barbecue Site and Animal Boarding Establishment with Ancillary Facilities and Associated Filling of Land for a Period

so check the 1 in 50-year Scenario.

Existing Site Catchment

Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
16283	295	5.2	4.4	0.27	21.00	21.00	HKO headquarters	0.25 0.95	16283 0	10.4%	179.82 179.82	0.20 0.00	0.203	12210

Proposed Site Catchment (A1)

Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
16283	295	5.3	4.5	0.27	21.00	21.00	HKO headquarters	0.25 0.95	12022 4261	10.4%	179.82 179.82	0.15 0.20	0.353	21156

External Catchment (E1+E2)

Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
18460	169	40.4	4.8	21.07	4.98	4.98	HKO headquarters	0.35 0.95	18460 0	10.4%	263.67 263.67	0.47 0.00	0.474	28415

Proposed Site Catchment (A1) + External Catchment (E1+E2)

Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
34743	169	5.3	4.5	0.47	9.98	9.98	HKO headquarters	0.25 0.35 0.95	30482 18460 4261	10.4%	222.89 222.89 222.89	0.47 0.40 0.25	1.123	67401

The Local Upstream Catchment (A2)

Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
1742682	2580	300	4.8	11.44	54.46	54.46	HKO headquarters	0.25 0.95	1742682 0	10.4%	132.23 132.23	16.02 0.00	16.015	960905

Proposed Site Catchment (A1) + External Catchment (E1) + The Local Upstream Catchment (A2)

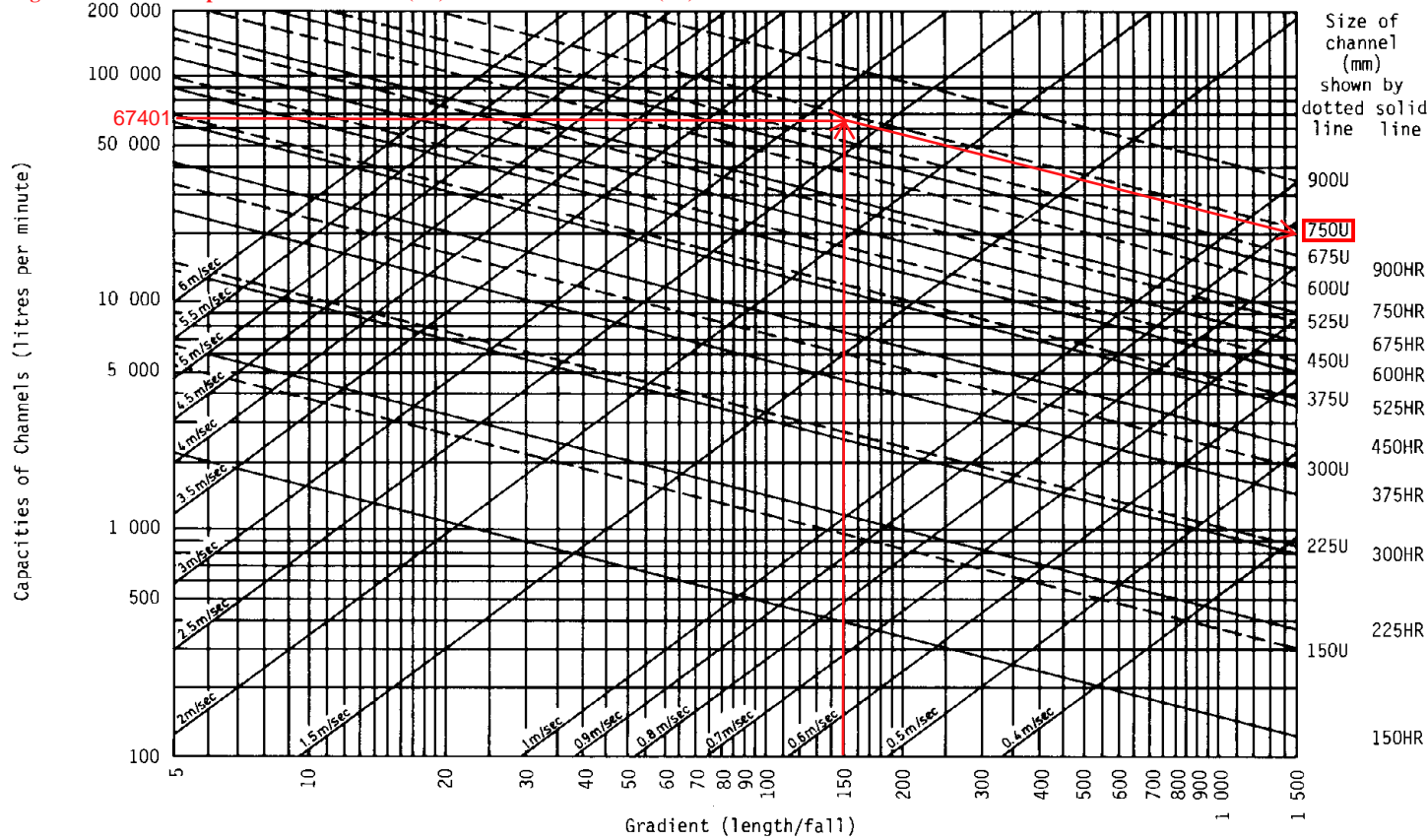
Catchment (m ²)	Flow Distance (m)	Highest (mPD)	Lowest (mPD)	Gradient (per 100m) = $(h_1-h_2)/L \times 100$	t_o (min) = $0.14465L/(H^{0.2}A^{0.1})$	$t_c = t_o + t_r$ (min)	Storm Constants	Runoff coeff.	Total Catch. Area (m ²)	Rainfall Increase	50 year Intensity (mm/hr)	50 year design runoff = 0.278CiA	50 year Total runoff (m ³ /s)	50 year Total runoff (L/min)
1777425	2580	300	4.5	11.45	54.35	54.35	HKO headquarters	0.25 0.35 0.95	1773164 18460 4261	10.4%	132.33 132.33 132.33	16.31 0.24 0.15	16.694	1001620

Appendix C

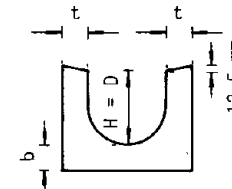
Calculation of Drainage Capacity of U
Channels, Discharge Pipe and Checking of
Existing Stream Capacity

Calculation of Drainage Capacity of U Channels and Sizing

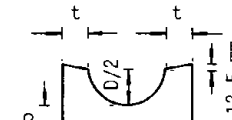
Runoff generated from Proposed Site Catchment (A1) + External Catchment (E1) = 67401 L/min



Channel dimensions



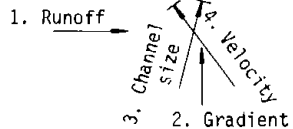
U-shaped channel (U)



Half-round channel (HR)

DESIGN METHOD USING CHART

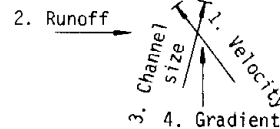
(a) Normal channel Solution



Example :

1. Enter Runoff = 4 000 litre/min.
2. Enter Gradient = 1 in 40
3. Read channel required = 225 U or 300HR
4. Read velocity = 2.2 m/sec. (<4 m/sec. ∴OK)

(b) Stepped channel Solution



Example :

1. Enter Velocity = 5 m/sec.
2. Enter Runoff = 20 000 litre/min.
3. Read required channel size = 300U
4. Read required gradient = 1 in 14

Figure 8.7 - Chart for the Rapid Design of Channels

Calculation of Discharge Pipe and Sizing

Drainage Assessment for 900mm Concrete Pipe discharging to Existing Open Channel

50 year Runoff Generated from the Proposed Site and External Catchment (m ³ /s)	Length (m)	Nominal Diameter (mm)	No. of Pipe	Gradient, S _f		Velocity ⁷ (m/s)	50 year Runoff ¹ (m ³ /s)	Capacity (m ³ /s)	Utilization (%)	Pipe Capacity > Runoff ?
				(%)	1 in					
1.123	34	900	1	1.5	150	3.439	1.123	1.969	57%	Yes

Mean Velocity is calculated by Colebrook- White equation

Where:

V =Mean Velocity (m/s)

R =Hydraulic Diameter (m)

Ks =Surface Roughness (m)

V =Kinematic viscosity

(kg/ms)

S =Slope of Hydraulic

Gradient

g =Gravity (m/s²)

$$\bar{V} = -\sqrt{32gRS_f} \log \left[\frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

The Roughness Coefficient Ks is assumed to be 1.5 for Concrete (Monolithic construction against rough forms)

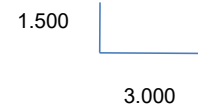
Checking of Capacity of Existing Stream

Calculation Sheet		Sheet No. 1	Rev. 1
Job Title: Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Holiday Camp, Barbecue Site and Animal Boarding Establishment with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years		Location:	Lot No. DD135
			Date

Checking of Capacity of Existing Stream

Input Data

Width of U.C. = 3 m
 Height of U.C. = 1.5 m
 Design Flow Generated from the Proposed Site = 16.694 m³/s



Flow capacity, Q

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where A = cross sectional area of flow (m²) = 4.5 m²
 A' = Adjusted cross sectional area (SDM Section 9.3) = 4.5 x 0.9
 with 10% reduction in flow area = 4.05 m²
 r = hydraulic radius (m)
 s = slope of the water surface or the linear hydraulic head loss (m/m)
 n = Manning coefficient of roughness

Hydraulic radius

$$r = \frac{A'}{P}$$

p = wetted perimeter (m) = 6.00 m

r = 0.68 m

Slope

s = 0.010 m/m (Gradient = 1:100)

Manning coefficient of roughness

n = 0.016 Fair Condition for Concrete-lined channels

Therefore,

Q = 21.6419 m³/s > Design flow, OK!

Utilization = 77.14%

Appendix D

Site Photos



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

PROJECT:

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

LOCATION:

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

TITLE SITE PHOTOS		FIGURE NUMBER APPENDIX D1	
VER	DESCRIPTION	DATE	



PROJECT:

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), HOLIDAY CAMP, BARBECUE SITE AND ANIMAL BOARDING ESTABLISHMENT WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 3 YEARS

TITLE

SITE PHOTOS OF EXISTING!
STREAM

FIGURE NUMBER

APPENDIX D2

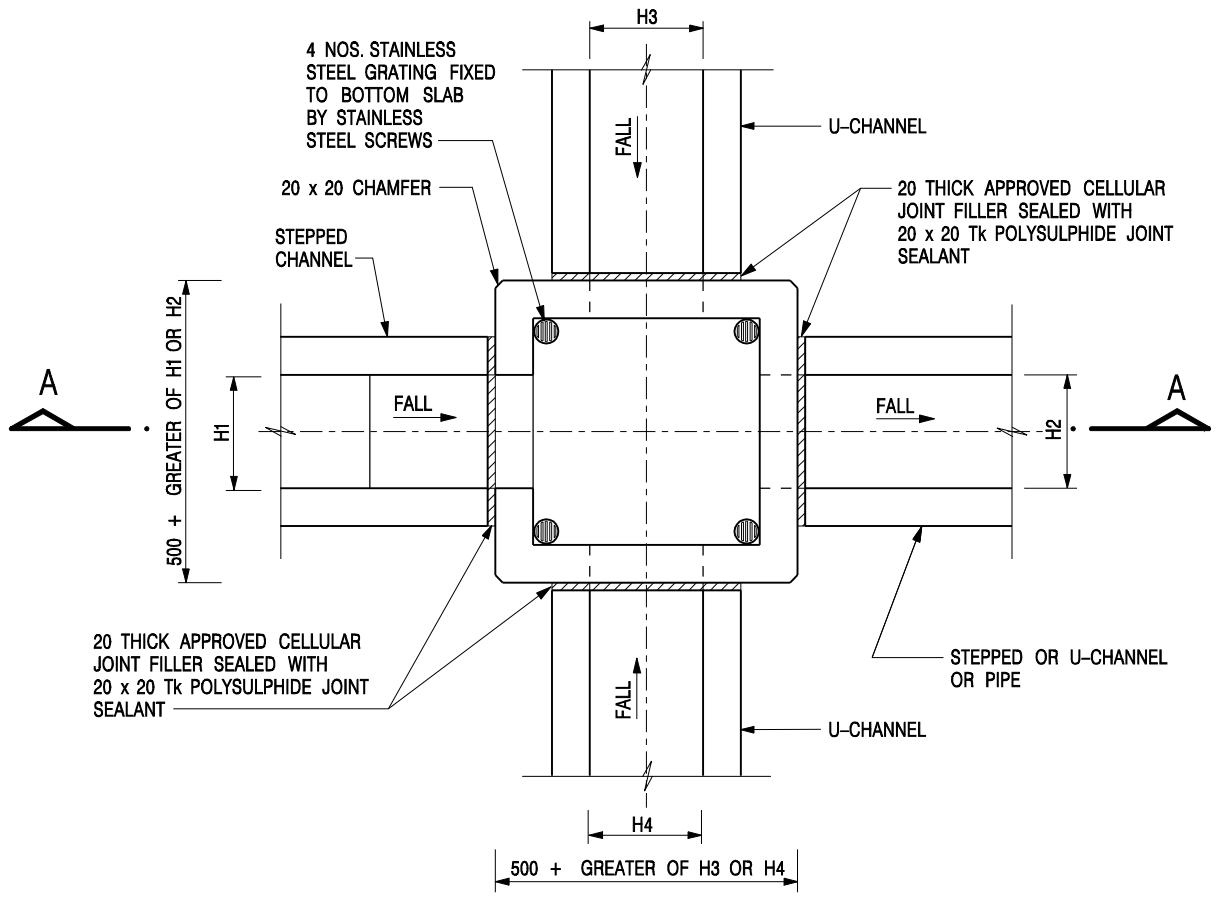
LOCATION:

VARIOUS LOTS IN D.D. 135 AND ADJOINING GOVERNMENT LAND, PAK NAI, YUEN LONG, NEW TERRITORIES

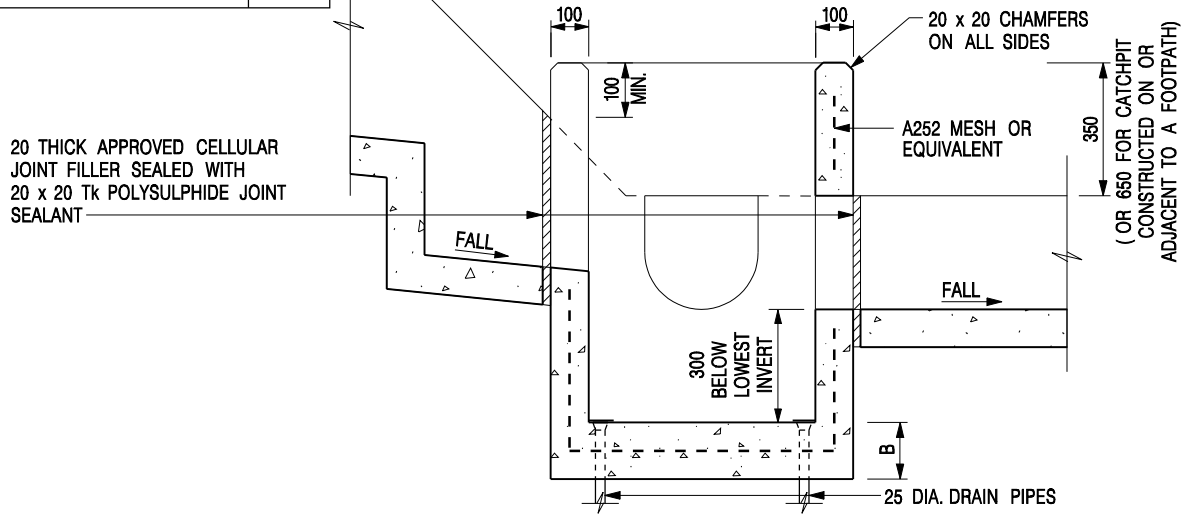
VER	DESCRIPTION	DATE

Appendix E

Standard Details of the Proposed U Channel
and the Catchpit/Sand trap



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



- NOTES:**
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. REFER TO SHEET 2 FOR OTHER NOTES.

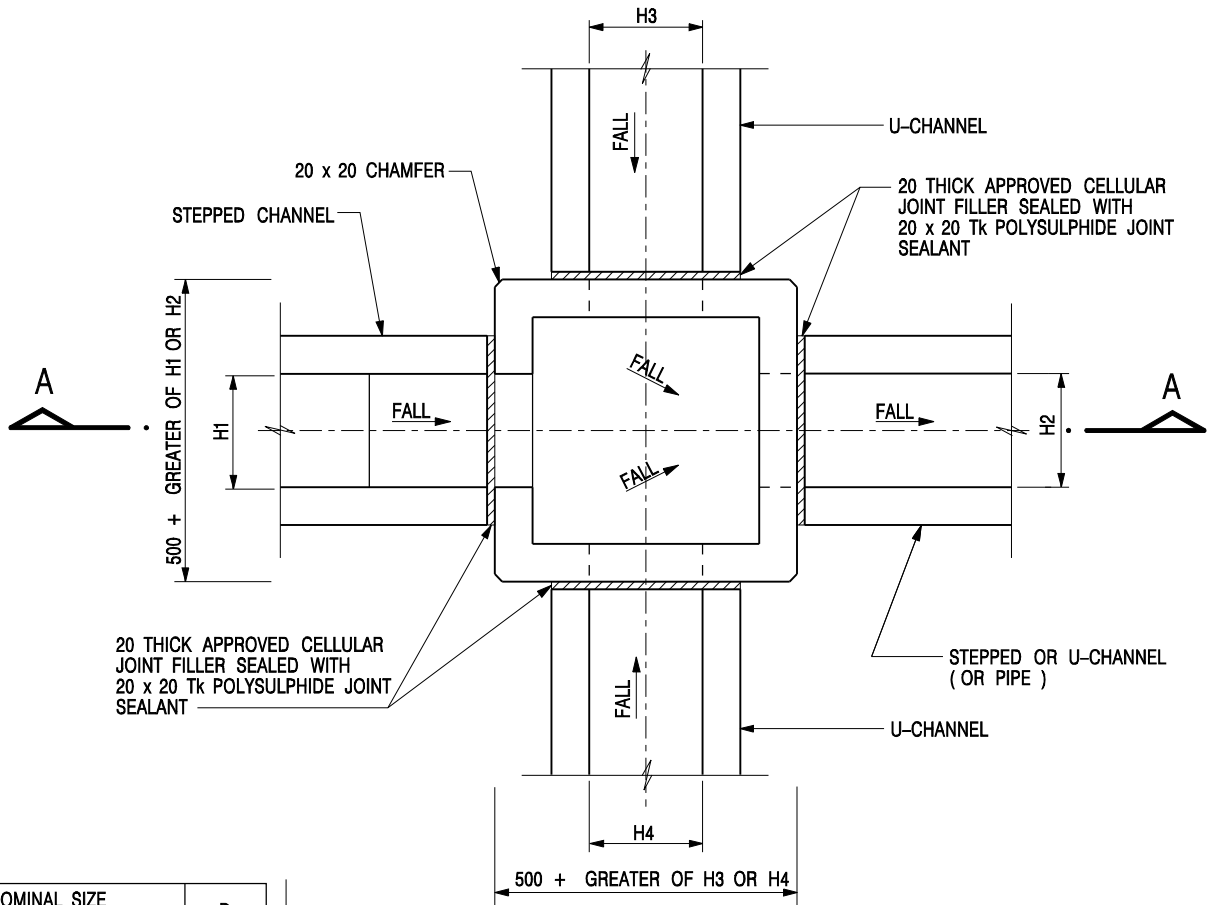
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

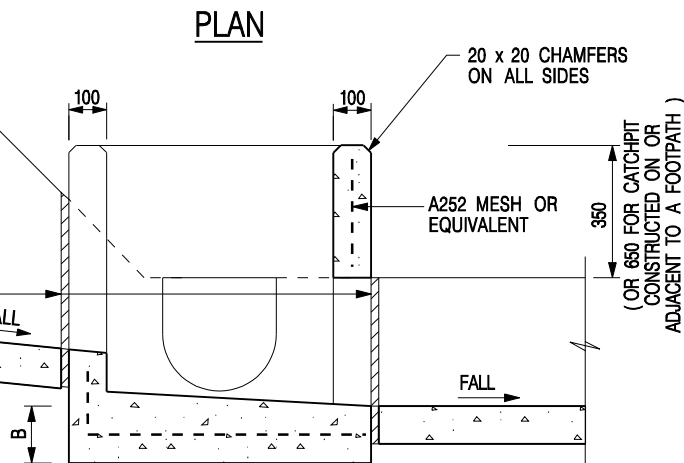
SCALE 1 : 20 **DRAWING NO.** C2406 /1

DATE JAN 1991

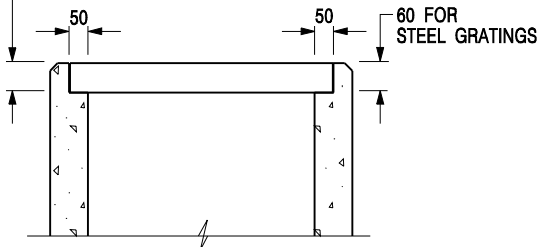


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



DEPTH OF RECESS AND DETAILS OF PRECAST CONCRETE COVERS (SEE STD. DRG. NO. C2407)



SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

STANDARD CATCHPIT DETAILS (SHEET 1 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

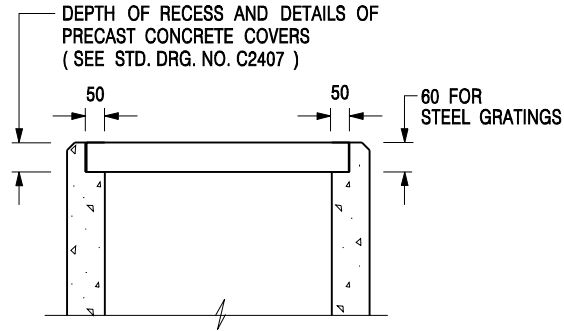


CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.
C2405 / 1




**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS**

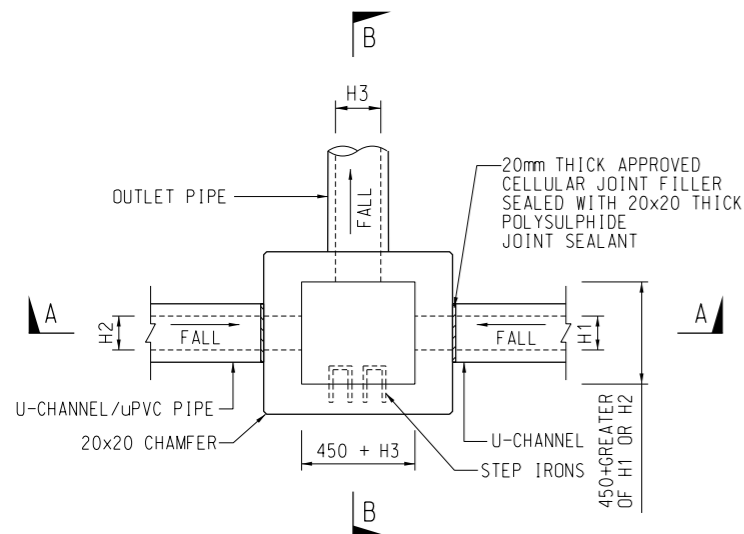
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

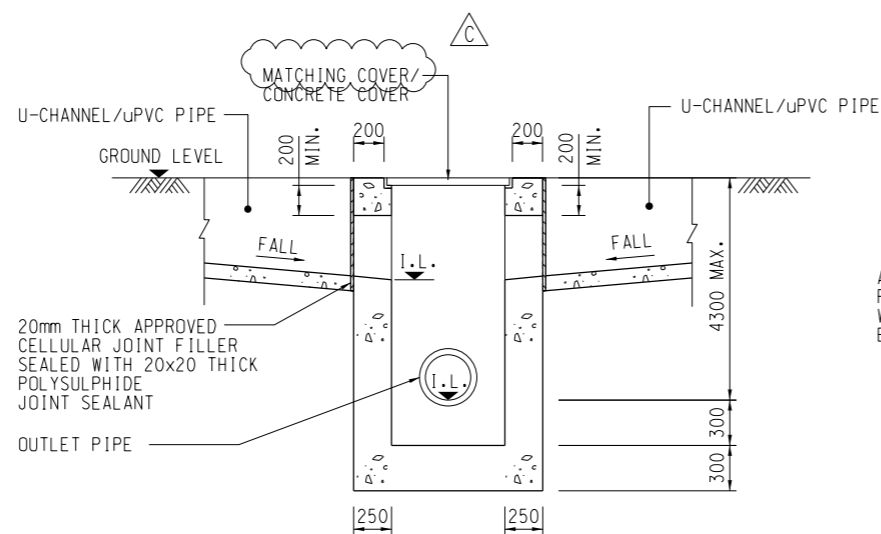
A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**

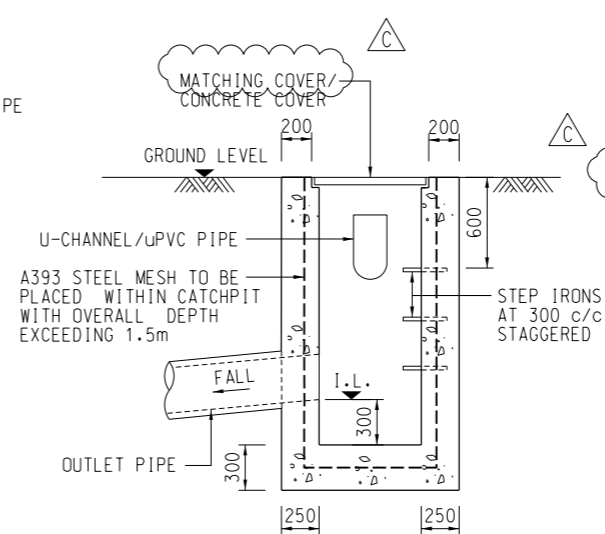
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	
SCALE 1 : 20	DRAWING NO. C2406 /2A
DATE JAN 1991	



TYPICAL DETAIL OF CATCHPIT
SCALE 1 : 50



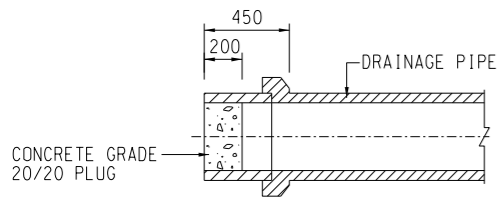
SECTION A - A
SCALE 1 : 50



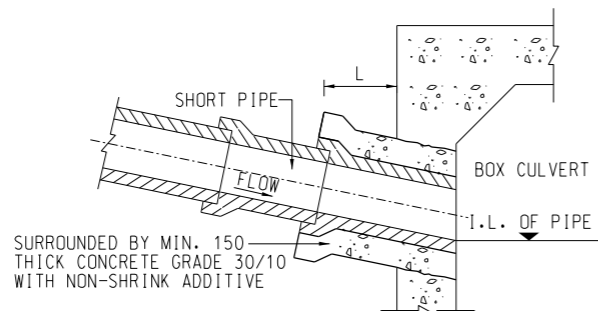
SECTION B - B
SCALE 1 : 50

- NOTES:
- THIS DRAWING TO BE READ IN CONJUNCTION WITH DRAWING NOS. 60329339/C2/C00/1311 TO 1314.
 - PIPE LENGTHS FOR SHORT PIPES SHALL BE AS FOLLOWS:
FOR PIPE 450 DIA. AND LESS, 450mm;
FOR PIPE BETWEEN 525 DIA. AND 1200 DIA., 1250mm;
FOR PIPE OVER 1200 DIA., FULL PIPE LENGTH UNLESS OTHERWISE SHOWN.
 - CATCH PIT COVERS REFER TO NOTE C.3. OF LATEST REVISION OF 60329339/C2/SK0177.

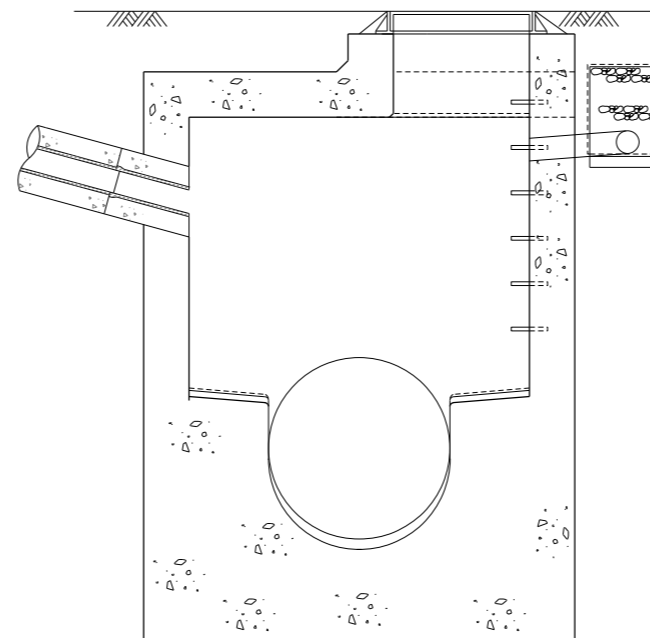
PIPE DIA.	L
225-900	500mm
1050-1950	750mm
2100-2500	900mm



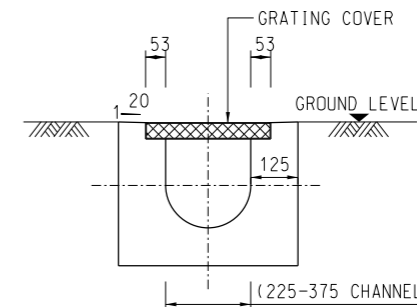
TEMPORARY PLUG FOR FUTURE PIPE CONNECTION
N.T.S.



TYPICAL DETAIL OF PIPE CONNECTION TO BOX CULVERT
N.T.S.

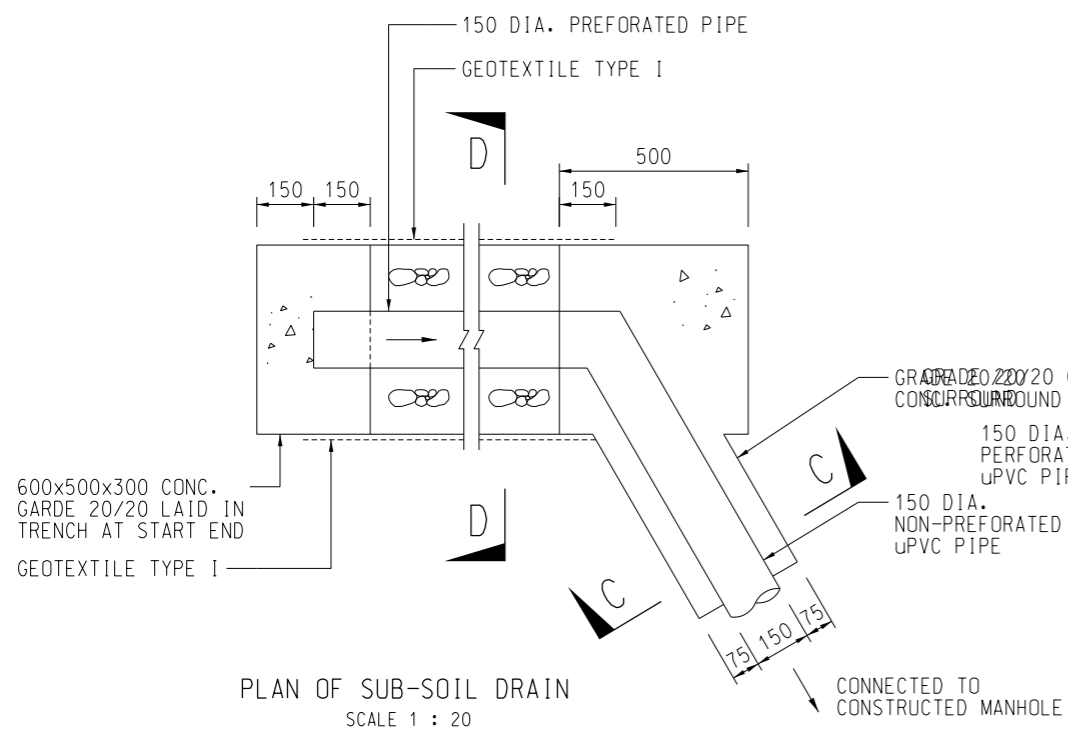


TYPICAL SUB-SOIL DRAIN CONNECTED TO MANHOLE
SCALE 1 : 50

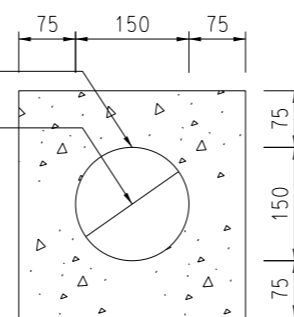


TYPICAL DETAILS OF U-CHANNEL WITH COVER
N.T.S.

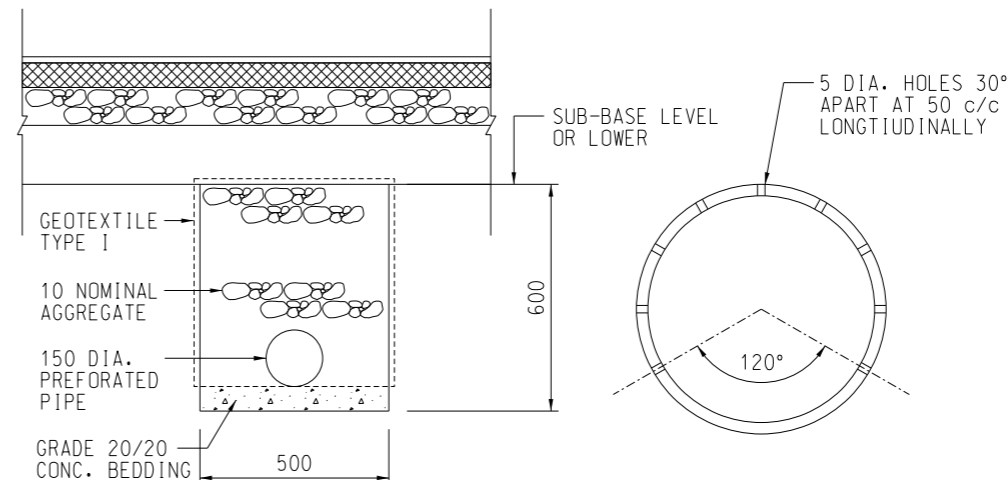
(THE CHANNEL GRATING SHALL REFER TO HYD DRAWING NO. H3154 FOR CYCLE TRACK AND FOOTPATH; HINGED CHANNEL GRATING SHALL REFER TO DRAWING NO. SSD166-A FOR CYCLE TRACK ON HIGHWAY STRUCTURES)



PLAN OF SUB-SOIL DRAIN
SCALE 1 : 20



SECTION C-C
SCALE 1 : 10



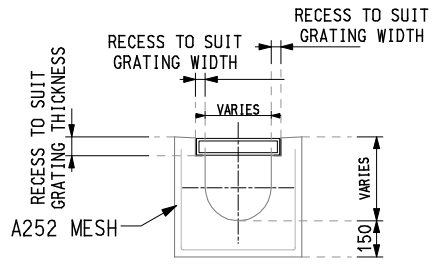
SECTION D-D
SCALE 1 : 20

PERFORATION PATTERN FOR 150 DIA. uPVC SUB-SOIL DRAIN
SCALE 1 : 5

REV.	DATE	DESCRIPTION	DRAWN	PRE.	APP.
C	18-NOV-22	RF I-238	WKM	CHW	PT
B	21-SEP-22	FOR CONSTRUCTION	KFC	TWC	PT
A	14-JAN-22	FOR CONSTRUCTION	BLK	CHW	PT
-	03-SEP-20	FOR CONSTRUCTION	KFC	WWW	PT

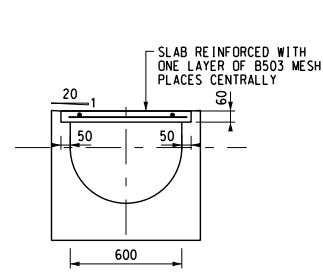
AECOM

KEY PLAN	
CONTRACT NO.	NE/2017/08
CROSS BAY LINK, TSEUNG KWAN O ROAD D9 AND ASSOCIATED WORKS	
DRAINAGE MISCELLANEOUS DETAILS	
SHEET 1 OF 2	
SKETCH NO.	REV.
60329339/C2/SK0124	C
EXTRACTED FROM DRG. NO.	SCALE
60329339/C2/C00/1315	AS SHOWN (A3)



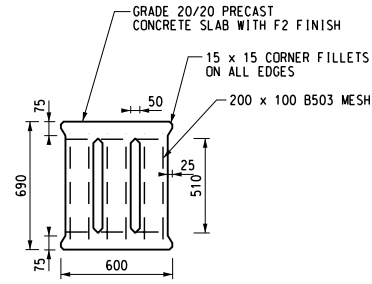
**TYPICAL CROSS SECTION OF
U-CHANNEL WITH COVER**

SCALE N.T.S.



TYPICAL SECTION

U-CHANNELS WITH PRECAST CONCRETE SLABS



PLAN OF SLAB

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED
2. DETAILS OF CATCHPIT REFER TO STANDARD DRAWING NO. C2405/1.
3. DETAILS OF CATCHPIT WITH TRAP STANDARD DRAWING NO. C2406/1.

PLANNING CONSULTANT



PROJECT

SCALE

AS SHOWN

DRAWN BY	DATE
TL	13.10.2023

CHECKED BY	DATE

APPROVED BY	DATE

DWG. TITLE
STANDARD DETAILS

DWG NO.	VER.
SD 1	001