

Appendix I

Geotechnical Planning Review Report

Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Geotechnical Planning Review Report

Reference: 292635/GPRR/001

Issue1 | Feb 2026

This report takes into account the particular instructions and requirements of our client. It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party.

Job number 292635

Arup Hong Kong Limited



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1. Introduction

1.1 Background

To unleash the development potential and make the better use of private owned land, this Geotechnical Planning Review Report (GPRR) is appended to the Supporting Planning Statement, for the Proposed Amendment to the Approved Tai Po Outline Zoning Plan No. S/TP/32 for the Proposed Residential Development with Associated Infrastructure (“the Proposed Development”) at Various Lots in D.D. 32 and adjoining Government land at Wong Yi Au, Tai Po, New Territories (“the Application Site”).

The Application Site, with an area of about 19876.89 m², is located in Wong Yi Au at the southern fringe of the well-developed Tai Po New Town. It lies at the north-eastern foothill of Lai Chi Shan and comprises a development site to be connected by an indicative access road leading to Yung Yi Road and Tai Po Road – Tai Po Kau. It is surrounded by vegetated natural hillsides in proximity to a cluster of medium-to-low density residential developments to the north, including Wong Yi Au Village, Chateau Royale, Grand Palisades and The Paragon, as well as an abandoned village to the immediate west. The Application Site is mainly zoned “Green Belt” (“GB”) within a minor portion on “Village Type Development” (“V”) on the Approved Tai Po Outline Zoning Plan No. S/TP/32. In the Master Layout Plan (MLP) (**refer to Appendix A**), the Application Site mainly consists of 4 blocks of residential towers with a max building height of +96mPD. Additionally, the development site will be connected to the existing roads by the indicative vehicular access road. At the end of the indicative access road, a saltwater pumping station is proposed in the vicinity of the existing saltwater network near Yung Yi Road to support the proposed residential development. Arup was commissioned to carry out a study to construct the Geotechnical Planning Review Report (GPRR). Hence, the scope of this report is summarized as follows:

1. Desk study and background information search of existing geotechnical features located in the vicinity of the site.
2. A review of the site conditions and findings of the geotechnical investigation.
3. Brief assessment of the geotechnical feasibility of this planning application.
4. A proposed scheme of Excavation and Lateral Support (ELS, site formation, slope upgrading works and/or mitigation measures which are likely to be carried out in connection with this planning application.

2. Desk Study

A desk study has been carried out to support the geotechnical appraisal. The desk study include:

- (a) a review of the general site history through aerial photograph interpretation (API);
- (b) a review of the condition and engineering status of the man-made features within and adjacent to the application site;
- (c) gathering and review of ground conditions from published geology maps and existing ground investigation (GI) records; and
- (d) a review of topographic conditions to determine the need (or otherwise) for further assessment of natural terrain hazards.

The following data sources have been reviewed as part of the desk study of geotechnical appraisal:

- B1000 Map Sheets;
- CEDD 2020 LiDAR Survey Data;
- Slope Information System (SIS);
- Existing Ground Investigation Data from Geotechnical Information Unit (GIU)
- 1:100,000-scale Geological Map of Hong Kong
- 1:20,000-scale Geological Map Sheet No. 7 (Edition II, 2008)
- GEO Publications – Geological Memoirs, Geotechnical Area Studies Programme (GASP) Report V;
- Aerial Photographs;
- Enhanced Natural Terrain Landslide Inventory;
- Historical Landslide Catchment Dataset;
- Large Landslide Dataset;
- Boulder Field Inventory;
- Landslide Study Report;
- Previous NTHS Reports;
- LPM Study Reports.

All salient geological features, hydrology, change of land use, past instabilities, ground conditions and any potential geological or landslide issues have been identified and documented in this report.

2.1 Site Topography

The Site is generally situated within areas of agricultural terraces and natural terrain hillsides facing to the north and northeast at Wong Yi Au, with terrain elevations varying between +20 to +105 mPD. The site includes a proposed public road that extends downhill from the main site area and northward to the existing road of M.H Lau Secondary School. The Site location plan and the general view of the site topography are shown in **Figures 1**.

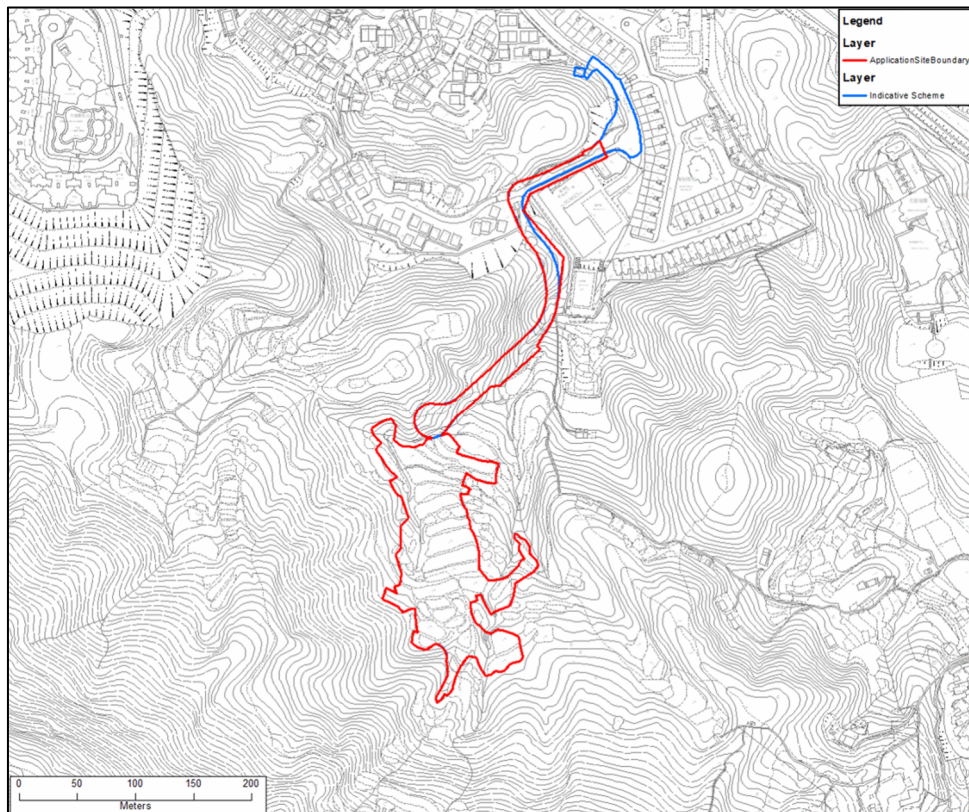


Figure 1- Site Topography

2.2 Aerial Photographs

An Aerial Photograph Interpretation (API) has been conducted for the Site to determine the development history, presence of major anthropogenic features and geological features, and the conditions of natural terrain hillside within the vicinity of the Site.

Based on the findings of the aerial photographs, the site was in agricultural use prior to 1963. The agricultural activities then eased, accompanied by the development of some residential structures to the east of the site between 1974 to 1982. The construction works of Chateau De Mansion and Chateau Royale to the north of the Site were observed in the aerial photographs of 1998 and were completed in 1999. No significant changes within the Site were observed from 2000 to 2014. In 2015, bare soil on the agricultural terraces were observed in the middle portion of the Site and still exist now. The construction of Yung Yi Villa to the north of the site was also completed in the same year. The majority of the site has been used for agricultural activities since 1982. The aerial photographs taken in 1963, 1982, 1998, 2008, 2014, and 2019 are extracted and illustrated in **Figure 2**.

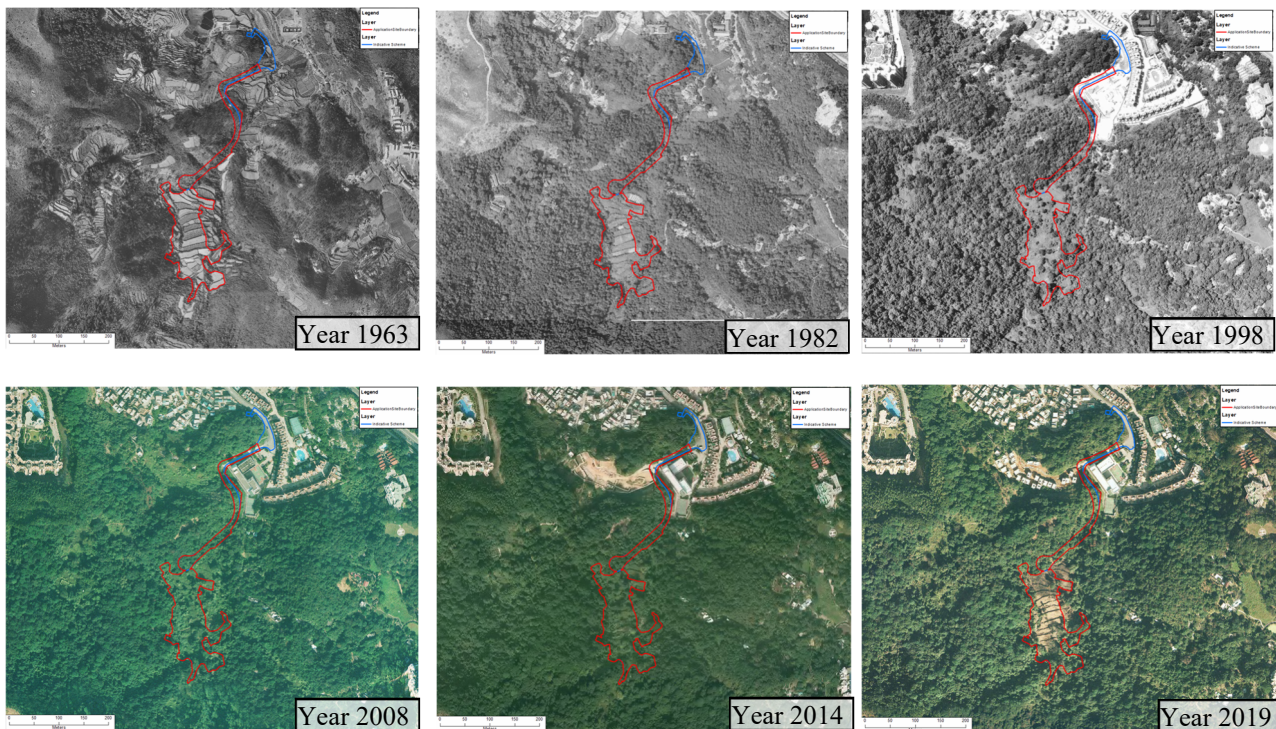


Figure 2 - Aerial Photographs Showing the Past Development of the Site

2.3 Geological and Ground Investigation Information

Based on the 1:20,000-scale Geology Map Sheet 7 (Edition II), the geology of the site comprises areas of Colluvium (Qcd and Qd) within the topographic low points (e.g. agricultural terraces in the valley floors), with solid geology of the coarse ash crystal tuff of Yim Tin Tsai Formation (JTY), with varying degrees of weathering, underlying the colluvium and on the surrounding hillslopes. An east-west trending intrusive dyke of Tai Po Granodiorite (gd) runs across the southern portion of the site. A northwest-trending inferred photogeological lineament has also been recorded traversing across the site.

Based on the information available from the Geotechnical Information Unit (GIU) of the Civil Engineering and Development Department (CEDD), there is only limited existing ground investigation (GI) data within the site area and its vicinity. The existing GI locations mainly concentrate at the entrance of the proposed public road as shown in **Figure 3**. The detailed information of the boreholes is provided in **Appendix B**.

The existing ground investigation (GI) stations mainly concentrate at the vicinity of M.H Lau Secondary School and Chateau De Mansion. Based on the limited available GI record, ground conditions comprise a thin veneer of fill with thicknesses up to 3 m at the entrance of the proposed public road, possibly associated with the site formation of the Chateau De Mansion. Underlying the fill, there is a layer of colluvium with thicknesses ranging from 2 m to 7 m. The level of the engineering rockhead (defined as the top level of continuous 5 m Grade III or better rock with TCR higher than 85%) is envisaged to be encountered at approximately 1.4 to 12.3 mbgl at the northern portion of the site. No fault evidence was recorded in the limited GI data available at present.

To obtain a better understanding of the geological information at the site, further ground investigation (GI) should be conducted at the later stage. This GI will provide the data about soil type that can enhance our understanding of the subsurface conditions. Also, a detailed design and geotechnical assessment will be carried out to ensure that the site information is both accessible and comprehensive.

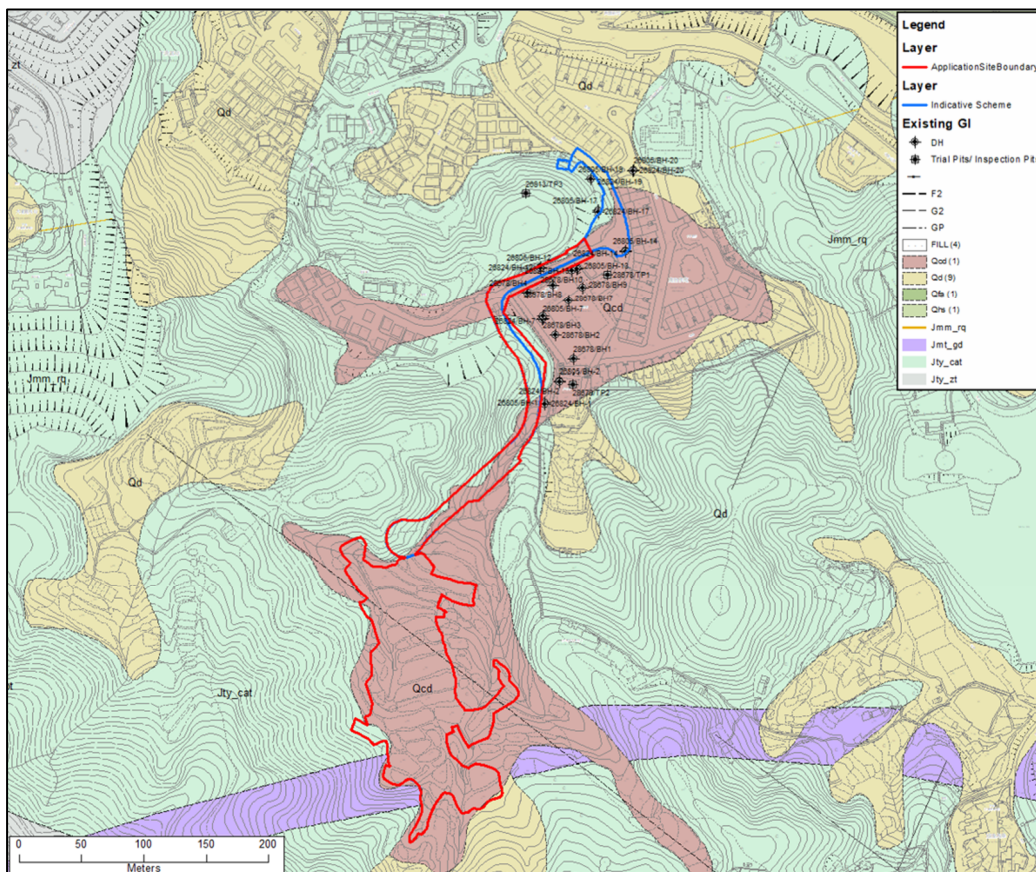


Figure 3 - Regional Geology and Existing GI Information in the Site and its Vicinity

2.4. Existing Structures and Registered Geotechnical Features

Based on the records from Slope Information System (SIS), there are 13 nos. of registered features and one unregistered feature at proximity in which 3 nos. of registered features are located within the Indicative Access Road. The feature location plan is shown in **Figure 4**. The details of features are available in **Appendix D** and summarised in **Table 1**.

Table 1 - Summary of Existing Geotechnical Features

Feature Reference No.:	Maximum Wall Height (m)	Maximum Slope Height (m)	Length (m)	Average Slope Angle (Degree)	Location of the Feature	Maintenance Responsibility
7NW-B/CR 605	1	3.2	23	36	Located at the northeast of the application site	Arch SD
7NW-B/FR 180	5	6	73	30	Located at the northeast of the application site	Arch SD
7NW-B/R 357	4	--	52 (wall)	90 (wall)	Located at the north of the application site	Private – various
7NW-B/C 299	--	3.5	15	30	Located at the north boundary of the application site	Private – various

Feature Reference No.:	Maximum Wall Height (m)	Maximum Slope Height (m)	Length (m)	Average Slope Angle (Degree)	Location of the Feature	Maintenance Responsibility
7NW-B/CR 687	5.5	3.5	135	20	Located at the north of the application site	Private – various
7NW-B/R 358	3	--	90 (wall)	90 (wall)	Located at the north of the application site	Private – various
7NW-B/C 597	--	26	120	40	Located at the north of the application site	Mixed – Lands D & various
7NW-B/C 293	--	4	35	45	Located at the northeast of the application site	Lands D
7NW-B/C 307	--	3.5	21	70	Located at the northeast of the application site	Lands D
7NW-B/C 294	--	3	45	50	Located at the east of the application site	Lands D
7NW-B/R 251	3	--	65	90	Located at the north of the application site	Private – various
7NW-B/R 266	6	--	50	90	Located at the north of the application site	Private
7NW-B/C 586	--	10	45	35	Located at the north of the application site	Private – various
Unregistered Feature	-	-	-	-	At the intersection of Yung Yi Road and Ha Wong Yi Au Road	-

A preliminary review on the captioned existing registered features was carried out and the details were summarized in the sections below:

Feature No. 7NW-B/CR 605

The feature is located at Ling Liang Church M.H. Lau Secondary School. It is a soil slope last inspected by Arch SD in 2013. It has a wall part with 1m height and a slope part with 3.2m height, 23m length and an average angle of 36 degree. It is located at the North of the site. This feature is maintained by Arch SD.

Feature No. 7NW-B/FR 180

The feature is located adjoining Ling Liang Church M.H. Lau Secondary School. It is a soil slope last inspected by Arch SD in 2013. It has a wall part with 5m height and a slope part with 6m height, 73m length and an average angle of 30 degrees. It is located at the northeast of the site and on the side of the Indicative Access Road. This feature is maintained by Arch SD.

Feature No. 7NW-B/R 357

This feature is located at the west of Ling Liang Church M.H. Lau Secondary School. It is a concrete vertical wall with 4m height and 52m length. It is located at the north of the site and on the side of the Indicative Access Road. This feature is maintained by various private parties.

Feature No. 7NW-B/C 299

This feature is located at the west of Ling Liang Church M.H. Lau Secondary School. It is a fully vegetated soil slope last inspected in 2013. It has a slope with 3.5m height, 15m length and an average angle of 30 degrees. It is located at the North of the site, with part of it within the Indicative Access Road. This feature is maintained by various private parties.

Feature No. 7NW-B/CR 687

This feature is located at the west of Ling Liang Church M.H. Lau Secondary School. The feature consists of a slope and a wall, last inspected in 2015. It has a wall with 5.5m height and a slope with 3.5m height, 135m length and an average angle of 20 degree. It is located at the north of the site and on the side of the Ha Wong Yi Au Road. This feature is maintained by various private parties.

Feature No. 7NW-B/R 358

The feature This feature is located at the west of Ling Liang Church M.H. Lau Secondary School. This feature consists of a wall and was registered in 2014. It has a vertical wall with 3m height and 90m length. It is located at the North of the site. This feature is maintained by various private parties.

Feature No. 7NW-B/C 597

The feature is located north of the application site, with part of it within the Indicative Access Road. The feature consists of a vegetated cut slope with soil nails reinforcement. The feature is maintained by various private parties and Lands Department. The feature consists of a fully vegetated soil slope. The feature spans around 120m with a maximum inclination angle of 40 degrees (26m height). This feature will be maintained during the construction of the proposed development.

Feature No. 7NW-B/C 293

The feature is located northeast of the application site. The feature consists of a fully vegetated soil slope. The feature spans around 35m with a maximum inclination angle of 45 degrees (4m height) and maintained by the Lands Department. This feature will be partially demolished during the construction of the proposed development.

Feature No. 7NW-B/C 307

The feature is located northeast of the application site. The feature consists of a fully vegetated soil slope. The feature spans around 21m with a maximum inclination angle of 70 degrees (3.5m height) and maintained by the Lands Department. This feature will be maintained during the construction of the proposed development.

Feature No. 7NW-B/C 294

The feature is located east of the application site. The feature consists of a fully vegetated soil slope. The feature spans around 45m with a maximum inclination angle of 50 degrees (3m height) and maintained by the Lands Department. This feature will be partially demolished during the construction of the proposed development.

Feature No. 7NW-B/R 251

The feature is located at the north of Chateau de Maison and on the side of Yung Yi Road. It is a concrete vertical wall with maximum 3m height and 65m length. It is located at the North of the Site. This feature is maintained by various private parties.

Feature No. 7NW-B/ R 266

The feature is located along Yung Yi Road. It is a concrete vertical wall with maximum 6m height and 50m length. It is located at the north of the site and on the side of Yung Yi Road. This feature is maintained by one private party which is TPTL142.

Feature No. 7NW-B/C 586

The feature is located south of Chateau de Maison. The feature consists of a predominantly vegetated soil slope, with approximately 70% vegetation coverage and 30% exposed bare soil surfaces. The feature spans around 45m with an average inclination angle of 35 degrees (10m height) and maintained by various private parties.

Unregistered Feature

An unregistered feature is located at the intersection of Yung Yi Road and Ha Wong Yi Au Road across from Chateau Royale, with part of it within the Indicative Access Road. Details of the feature are unavailable and formation of the access road may require modification to the feature.

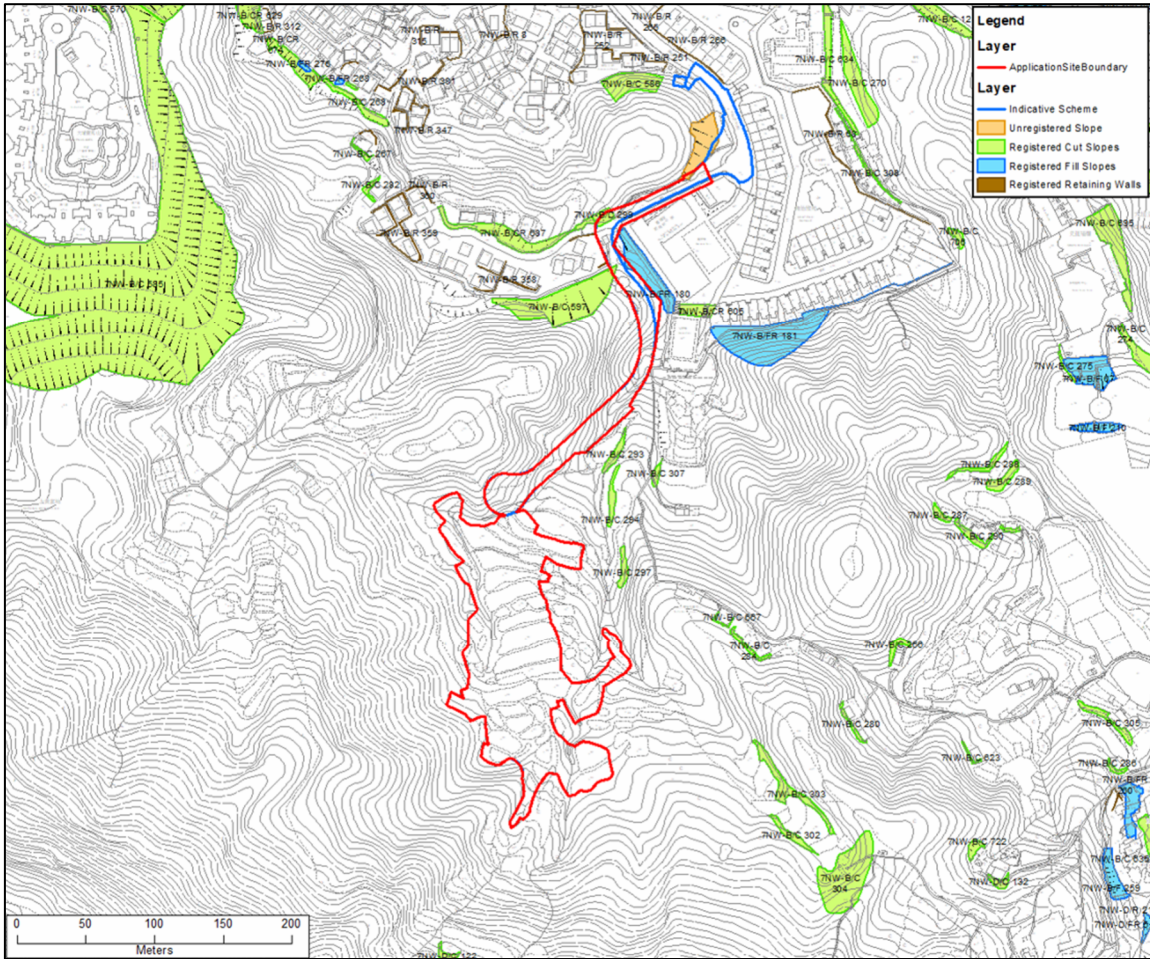


Figure 4 –Plan View of Existing Geotechnical Features

3. Natural Terrain Hazard Assessment

3.1 Natural Terrain Catchment Area

The extent of the natural terrain catchments affecting the site has been defined in accordance with GEO Report No. 138 (Ho & Roberts, 2016), and includes “terrain that has not been modified substantially by human activity but includes where grazing, hill fires and deforestation may have occurred” as shown in **Figure 5**.

Seven (7) natural terrain catchments overlooking the site have been identified. These areas have been delineated based on the extent of hillside directly overlooking and with flow paths leading to the proposed site boundary. It should be noted that any changes in the site boundary may lead to changes in the extent of natural terrain affecting the site. The natural terrain catchment areas should thus be reviewed during detailed design stage based on the latest site boundary.

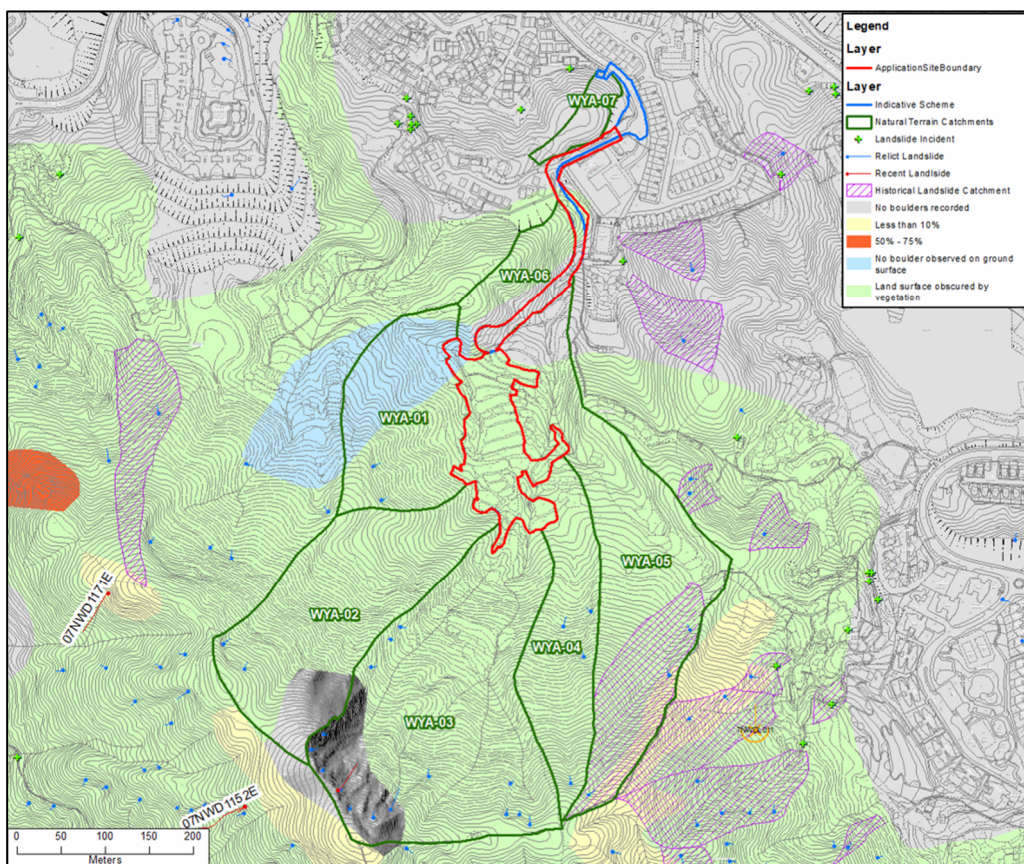


Figure 5 – Natural Terrain Catchment and Instability Records within the Vicinity of the Site

3.2 Natural Terrain Hazard Screening of the Site

Natural Terrain Hazard Screening has been undertaken for the various catchments delineated to determine whether they have notable potential to contribute hazards to the development. The screening has been conducted in accordance with the criteria laid out in GEO Report No. 138 (2nd edition), namely:

- i. Inclusion Guidelines
- ii. In-principle Objection Criteria

iii. Alert Criteria

3.2.1 Inclusion Guidelines

According to the GEO Report No. 138 (2nd edition), there are two conditions to fulfil to identify whether a site may require further study, comprising:

- (a) the proposed development involves Group 1, 2 or 3 facilities, and*
- (b) there is a 'hillside' sloping at more than 15° within 100 m horizontally upslope of the site boundary.*

The Site is identified as a Group 1(a) and Group 2(b) facilities as it comprises 'residential building' and 'road with heavy vehicular or pedestrian traffic density' respectively. The Site is also within 100 m of hillsides with slope angles varying from 13° to 27° (**Appendix C**). Therefore, the inclusion criteria are satisfied, and further screening of the site is required.

3.2.2 In-principle Objection Criteria

According to the GEO Report No.138 (2nd Edition), GEO would object in-principle to proposals for the zoning and disposal of a site that falls under the following conditions:

- (a) A site is faced with severe natural terrain hazards. A site falls within this category if any proposed Facility Groups 1(a), 1(b) and 2(a) is either:
 - (i) located within an angle of reach of 35° from any natural terrain at an elevation of 50 m or more above the proposed site formation level, or*
 - (ii) located on, or immediately below, terrain that is known to be affected by active, large-scale movement (e.g. Tuen Mun Area 19).**
- (b) The site is proposed for small-scale New Territories Exempted House (NTEH) and is subject to potential natural terrain hazards.*

The maximum angle of reach for all of the natural terrain catchments is less than 35° (**Appendix C**). Additionally, the site does not fall within an area that is known to be affected by active, large-scale movement and is not proposed for NTEH type development. As such, the site does not satisfy the in-principle objection criteria.

3.2.3 Alert Criteria

The "Alert Criteria" is defined as follows:

- (a) It is a new development site involving provision of Group 1 to 3 facilities, or it is a redevelopment that requires modification of the lease conditions and involves either a significant population at risk or a significant increase in population at risk.*
- (b) Where there is natural terrain outside the site, but within the same catchment, that is at an angular elevation of 20° or more from the site and where there is ground sloping at more than 15° within 50 m horizontally upslope of the site boundary, provided that there is a credible debris flow path to the site.*

A detailed assessment of natural terrain hazards will be required for any catchments satisfying the Alert Criteria.

Cross sections showing that the maximum angular elevation for each of the natural terrain catchments affecting the site are shown in **Appendix C**, with a summary of the findings provided in **Table 2** below. The assessment found that all seven catchments meet the "Alert Criteria" or having the prominent natural drainage course as additional consideration, and thus require further detailed study of natural terrain hazards.

Table 2 – NTHA Screening Results of Natural Terrain Catchments

Catchment No.	Critical travel angle	Inclusion Criteria Satisfied	Result of Proximity Assessment	Other consideration if not meeting criteria	NTHA Required?
WYA-01	21.5°	Yes	Satisfy Alert Criteria	-	Yes
WYA-02	23.7°	Yes	Satisfy Alert Criteria	-	Yes
WYA-03	26.9°	Yes	Satisfy Alert Criteria	-	Yes
WYA-04	22.5°	Yes	Satisfy Alert Criteria	-	Yes
WYA-05	14.0°	Yes	Not Satisfy Alert Criteria	Existence of prominent natural drainage course *	Yes
WYA-06	20.6°	Yes	Satisfy Alert Criteria	-	Yes
WYA-07	20.2°	Yes	Satisfy Alert Criteria	-	Yes

Note: * According to the GEO Report No. 138, an NTHA may be required for sites that lie beyond the area delineated by the above criteria, as for example for sites where there are historical landslides with long debris runout extending beyond these limits, and for sites that are either intersected by, or adjacent to, a natural drainage course.

3.3 Mitigation Measures for Natural Terrain Hazard

With due consideration of the possible type and magnitude of the hazards as well as the site conditions present, the following overarching hazard mitigation strategies are anticipated:

- *Avoidance*: Where at all possible, the most effective mitigation strategy is to avoid the hazard all together. Avoidance approaches such as adjustments to the facility layout and providing buffer zones, are considered realistic strategies.
- *Debris Containment / Diversion*: Depending on the magnitude of the landslide in question, debris can be prevented from impacting on facilities through provision of flexible or rigid barriers or through provision of debris diversion walls to deflect the debris away from any affected facilities.
- *Stabilisation at Source*: In-situ stabilisation of the potential landslide and/or rock/boulder fall source areas through the installation of soil nails, provision of buttresses or similar. Such measures are typically only suitable for small catchments.

Mitigation measures for natural terrain hazards will be implemented subject to further review and, if deemed necessary, will be provided in the subsequent stages of the project in accordance with the GEO Report 138 (2nd edition).

4. Proposed Geotechnical Works

The schematic design of the geotechnical works comprises the proposed Excavation and Lateral Support (ELS) and permanent site formation schemes.

4.1 Proposed Excavation and Lateral Support

To facilitate the construction of the basement structure and retaining walls for permanent site formation, ELS system of open cut excavation with soil nails or rock dowels support is proposed. The proposed Final Excavation Level (FEL) for the basement construction is situated at +49.4mPD for the whole portion of the development site.

The proposed ELS schemes at the development site, and vehicular access mainly consists of a main system: open cut excavation with soil nails or rock dowels as well as temporary pile wall with steel shoring for the construction of permanent L-shaped retaining wall, pile cap, basement, and superstructure. Consequently, the assessment of proposed excavation schemes will employ numerical modelling platforms such as PLAXIS and Limit Equilibrium Analysis to assess the impact of the proposed excavation scheme to satisfy the serviceability and ultimate limit.

4.2 Proposed Permanent Site Formation

Permanent reinforced concrete retaining walls, bored /soldier pile wall and cut slopes with soil nails or rock dowels are proposed to be constructed to bridge the level difference between the existing topography and proposed future formation level. The proposed future formation levels are mainly situated below the existing ground level. For permanent L-shaped retaining walls, they are planned to be used in the northern portion of the development site and driveway. The retaining height in the northern portion of the development site is with a maximum of approximately 23m. For the southern portion of the development site, bored pile walls with tie back system, with a maximum height of approximately 55m are to be proposed while L-shaped retaining walls may be used to cater for level difference of about 20m.

On the other hand, the proposed site formation works for the vehicular access consists of open cut slope (at 30° maximum angle), and L-shaped concrete wall. The open cut slopes supported by soil nails or rock dowels at the development site serve as the temporary support during construction and permanent feature for site formation. The vehicular access road traverses along the northern boundary of the site, passing in proximity to a proposed saltwater pumping station. This pumping station is to be embedded into a natural hillside formation. Potential vertical level difference is about 5-7m at this location after excavation. Cantilever bored pile walls may be used because of the height level difference. A design review shall be carried out to justify the existing conditions of the geotechnical features are maintained and that the slope stability would not be adversely affected by the construction of the proposed works. The existing features that will be demolished due to the open cut excavation will be deregistered, while the proposed retaining wall will be registered for record.

4.3 Envisaged Possible Impacts to Existing Man-made Features

After the processes of proposed ELS and site formation on this site, some nearby man-made slopes are accessed by the proposed access road so stabilities of the slopes may be affected, such as 7NW-B/FR 180, 7NW-B/C 299, 7NW-B/C 586, 7NW-B/R 251, 7NW-B/R 266, 7NW-B/C 597 and unregistered feature. In additional, the range of the distance between other man-made slopes and the site boundary is from approximately 20m to 60m which is relatively closed to the site boundary. These slopes also may be affected by the proposed ELS and site formation works.

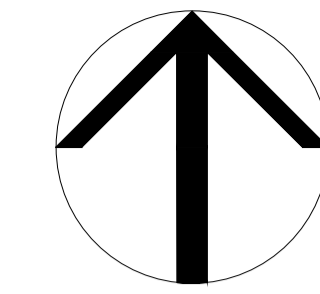
To mitigate the negatively effect of site work to the nearby existing features, further studies and works should be conducted to assess potential impacts and implement appropriate protective measures. Thus, the stability analysis should be used to check the slope stability. On the other hand, slope modification/upgrading works should be considered on the site for the man-made slope stability.

5. Conclusion

A summary of the desk study outcome, initial screening of natural terrain hazard study, and the proposed of the geotechnical works to be carried out for the development in the planning application is reviewed in this report. The major conclusions are listed as follows:

1. It is envisaged that the proposed planning application is **geotechnically feasible**. Rigorous and comprehensive impact assessment during geotechnical design will be carried out to comply with current standards and mitigate any adverse effect on the proposed development. If necessary, appropriate measures including recommendation and implementation of any stabilization / upgrading / preventive works to provide a safe geotechnical environment will be designed in detail in future studies.
2. The proposed ELS scheme of pipe pile walls and open cut excavation with soil nails or rock dowels support will be proposed to ensure no adverse effect induced to adjacent ground and geotechnical features during excavation process.
3. The proposed permanent site formation scheme of concrete retaining walls, bored pile wall, bored pile wall with tiebacks, and cut slopes with soil nails or rock dowels will be proposed to form the required platforms.
4. All seven natural terrain catchments overlooking the site are considered to require a NTHA in the later stage of the project.

Appendix A
The Indicative Scheme



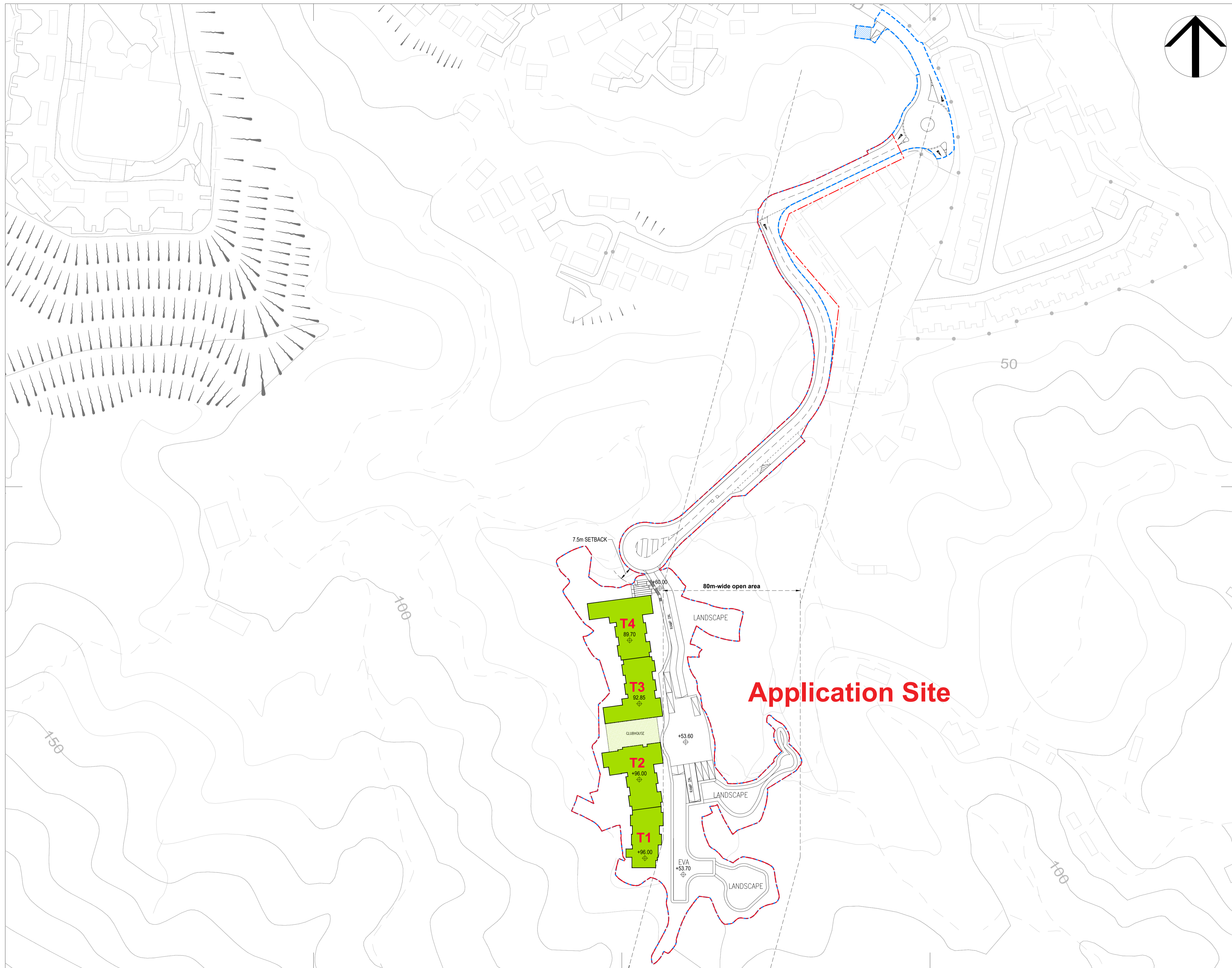
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Rev.	Date	Description
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- Notes
1. Do not scale drawings. Dimensions govern.
 2. Verify dimensions in field. Notify WCWP of discrepancies.
 3. Dimensions in mm unless otherwise noted.
 4. Not for construction unless expressly certified.

LEGEND

- APPLICATION SITE BOUNDARY
- INDICATIVE SCHEME
- FLATS
- CLUBHOUSE
- SALT WATER PUMPING STATION (INDICATIVE ONLY)



Application Site

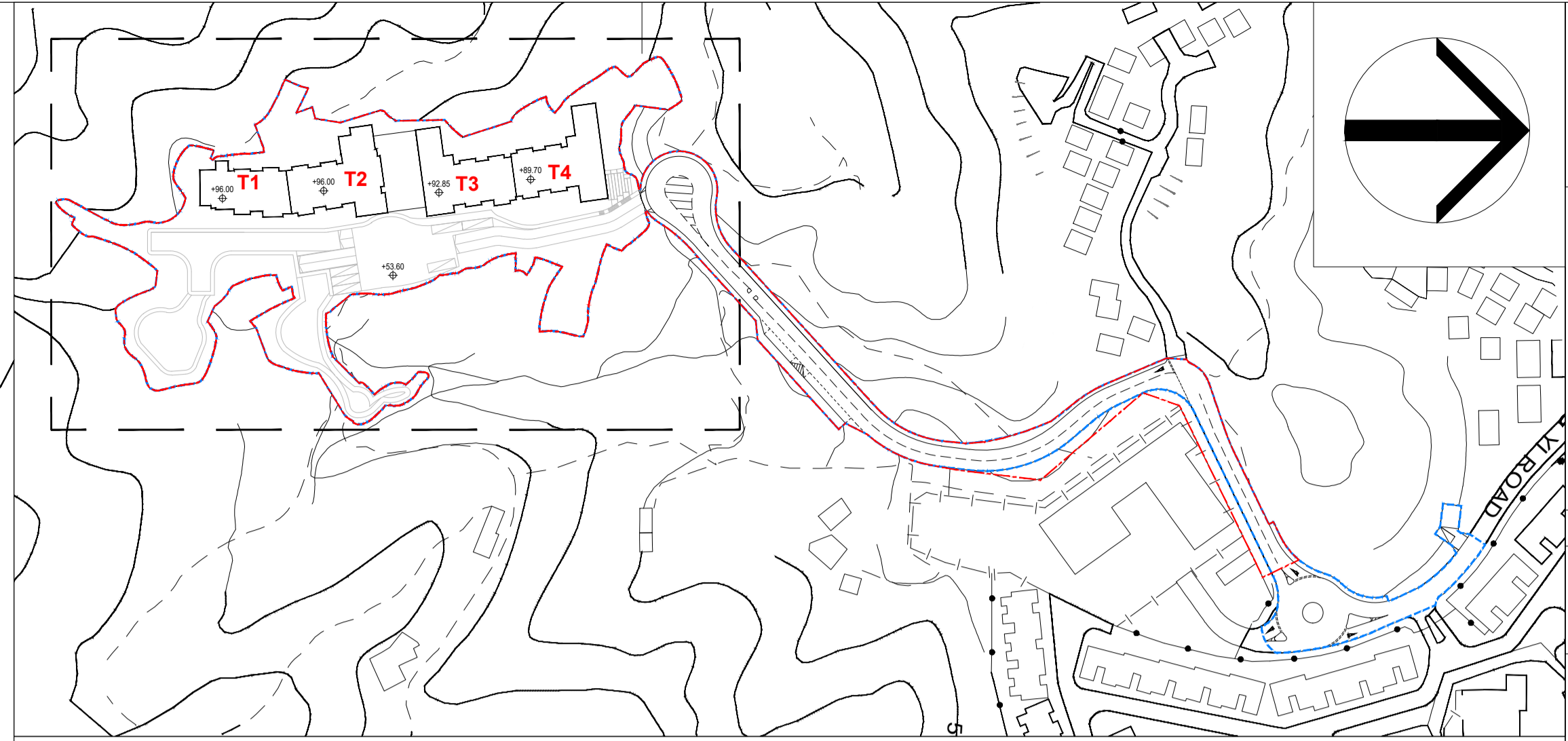
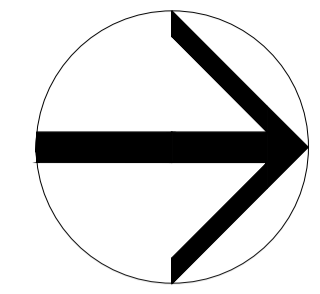
Project
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Project Number	Date
20064	06/2025

Scale	Drawn/Approved
1:1000 (A1)	

Title
MASTER LAYOUT PLAN

Number	Revision
GP102	00



KEY PLAN

SCALE 1:2000

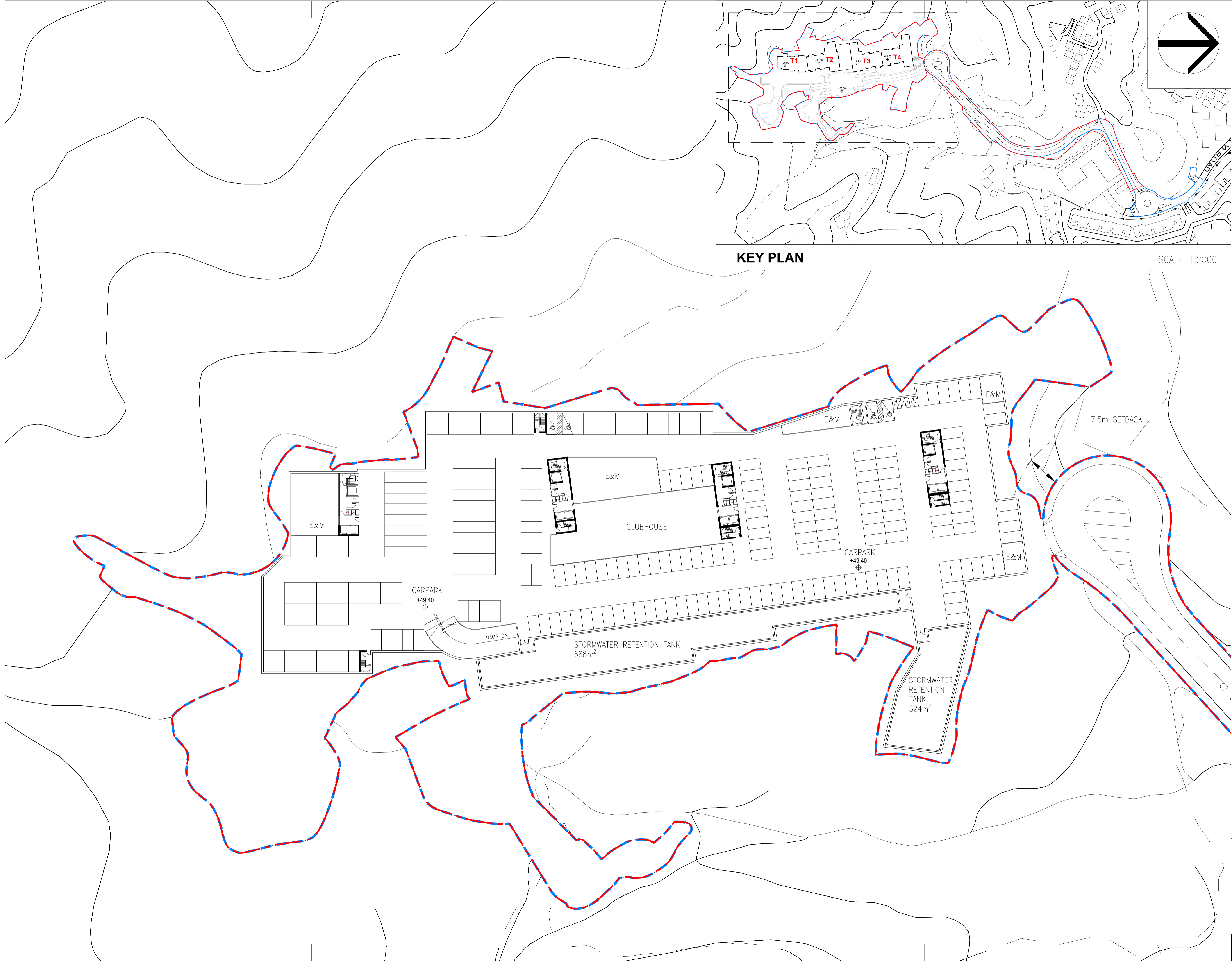
Rev.	Date	Description
00	07/2025	1st Submission

- Notes
1. Do not scale drawings. Dimensions govern.
 2. Verify dimensions in field. Notify WCWP of discrepancies.
 3. Dimensions in mm unless otherwise noted.
 4. Not for construction unless expressly certified.

LEGEND

--- APPLICATION SITE BOUNDARY

--- INDICATIVE SCHEME



Project
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Project Number
20064

Date
06/2025

Scale
1:400 (A1)

Drawn/Approved

Title
BASEMENT FLOOR PLAN

Number	Revision
GP103	00

00	07/2025	1st Submission
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Rev.	Date	Description
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- Notes
1. Do not scale drawings. Dimensions govern.
 2. Verify dimensions in field. Notify WCWP of discrepancies.
 3. Dimensions in mm unless otherwise noted.
 4. Not for construction unless expressly certified.

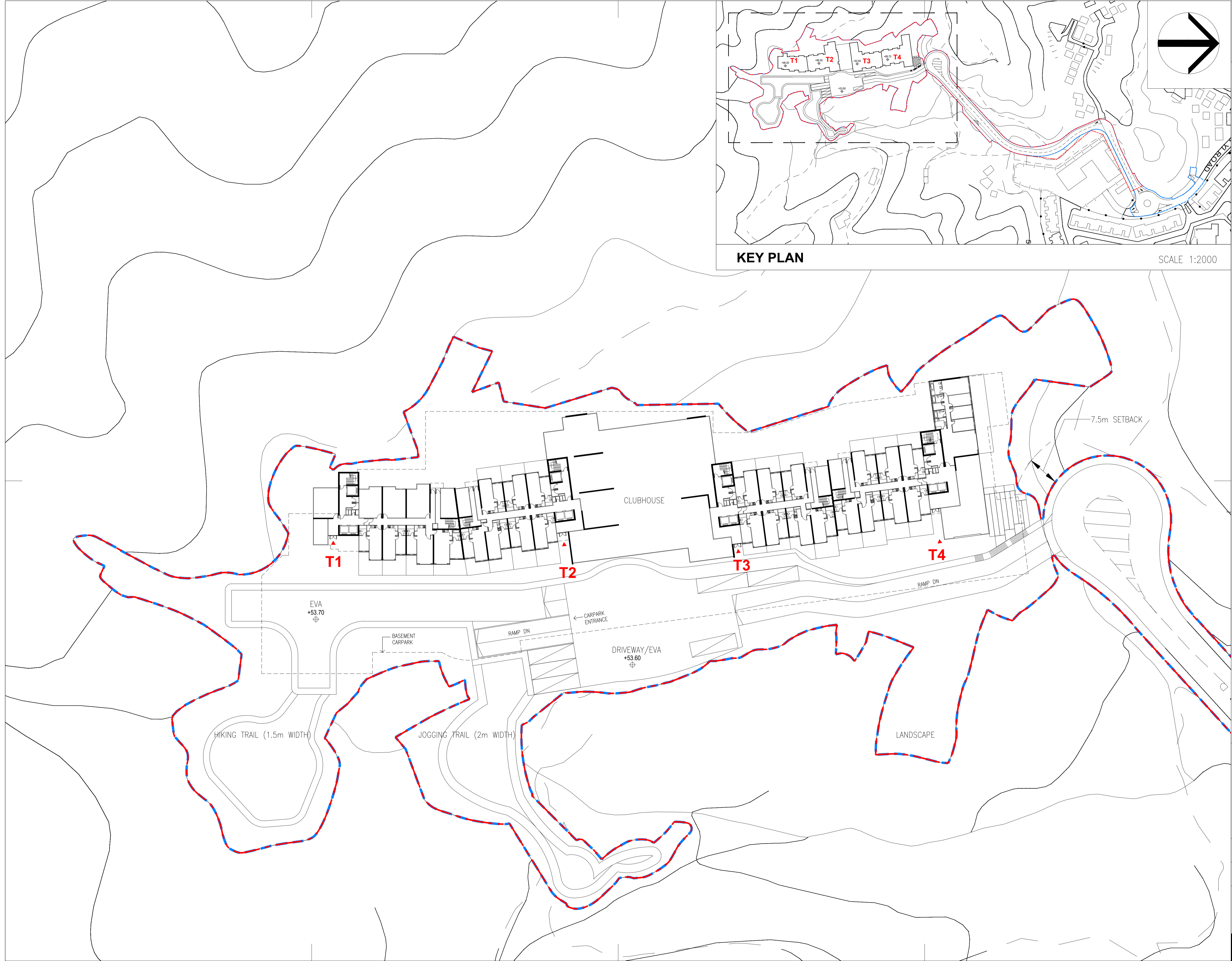
LEGEND

--- APPLICATION SITE BOUNDARY

--- INDICATIVE SCHEME

KEY PLAN

SCALE 1:2000



Project
 Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Project Number	Date
20064	06/2025

Scale	Drawn/Approved
1:400 (A1)	

Title
 GROUND FLOOR PLAN

Number	Revision
GP104	00

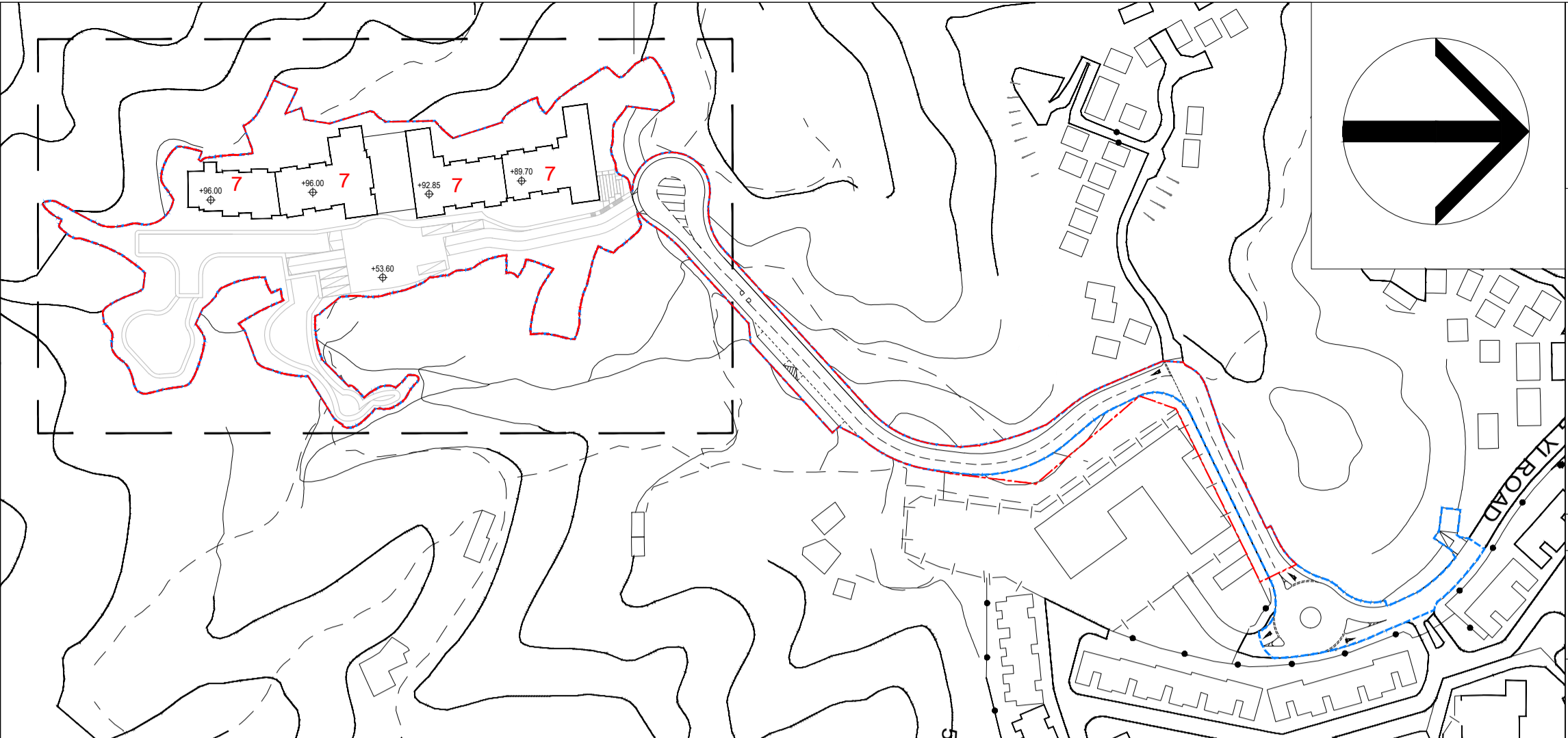
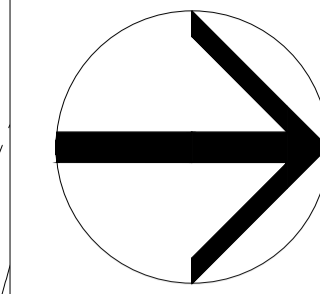
Application Site Boundary

Indicative Scheme

LEGEND

Application Site Boundary

Indicative Scheme



Scale 1:2000

Scale 1:2000



Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

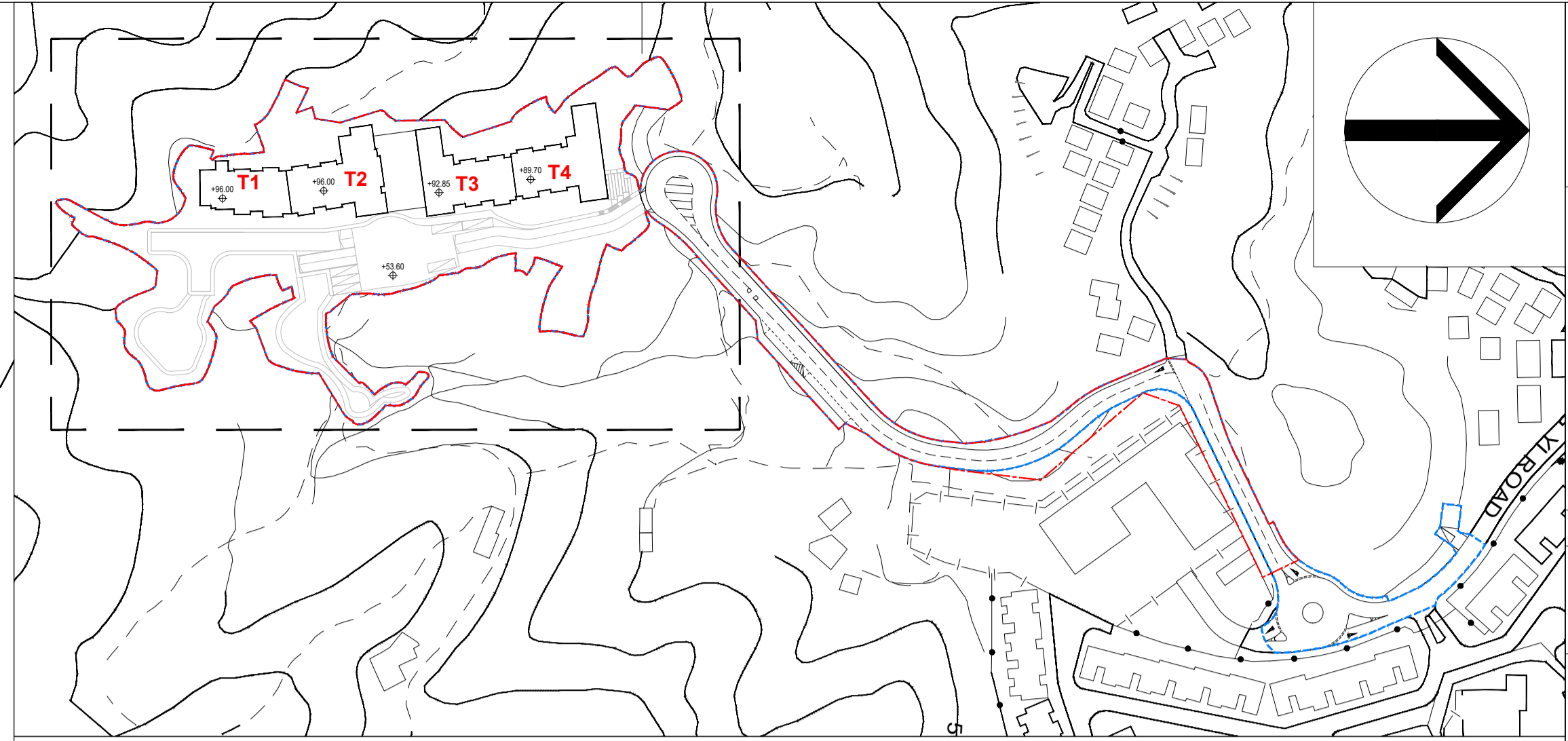
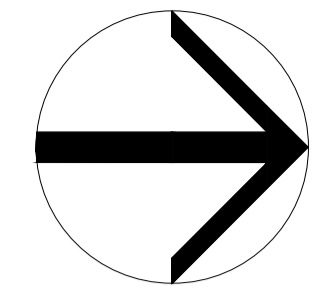
20064 06/2025

1:400 (A1)

TYPICAL FLOOR PLAN

GP105

ii



KEY PLAN

SCALE 1:2000

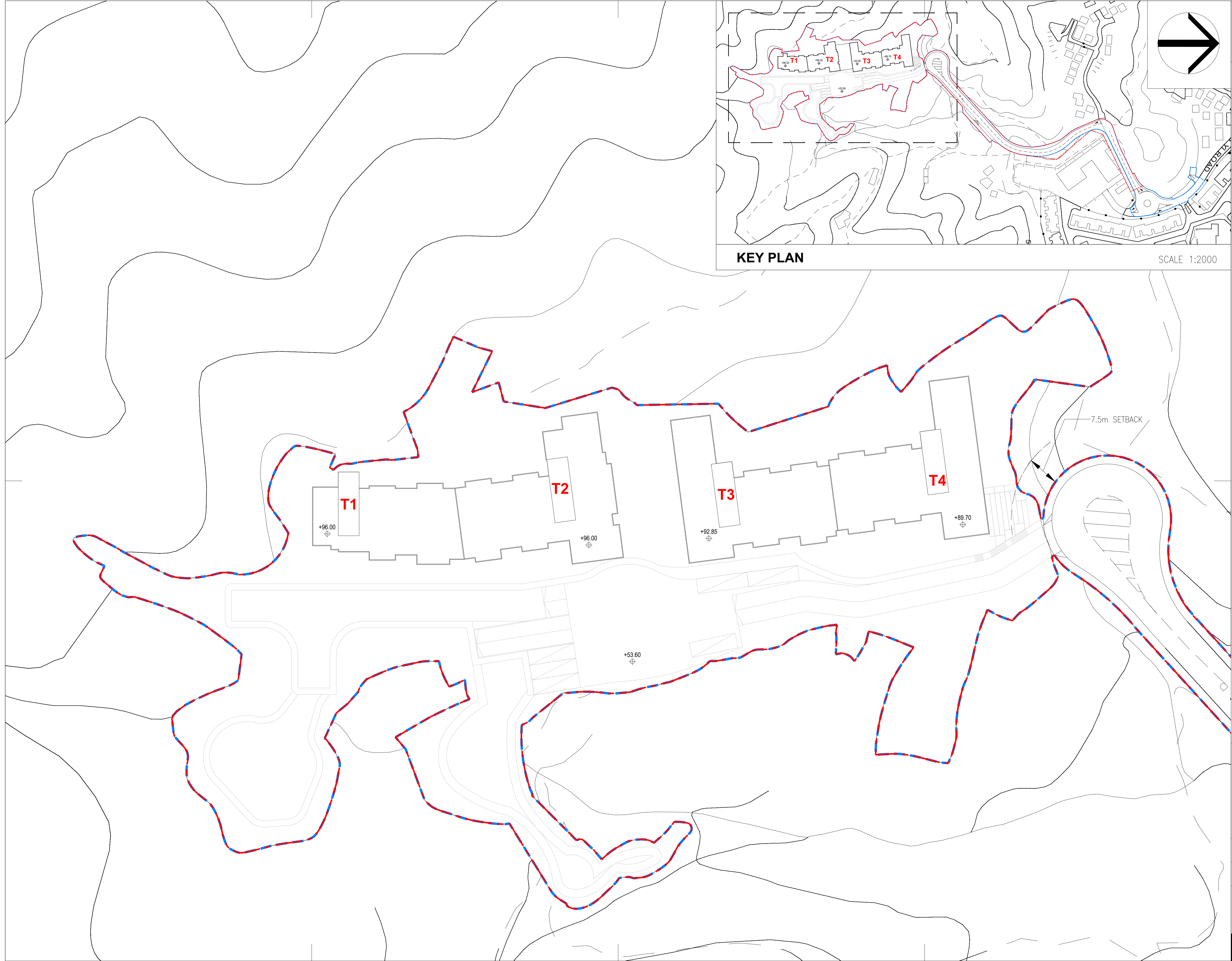
Rev.	Date	Description
00	07/2025	1st Submission

- Notes
1. Do not scale drawings. Dimensions govern.
 2. Verify dimensions in field. Notify WCWP of discrepancies.
 3. Dimensions in mm unless otherwise noted.
 4. Not for construction unless expressly certified.

LEGEND

APPLICATION SITE BOUNDARY

INDICATIVE SCHEME



Project
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Project Number
20064

Date
06/2025

Scale
1:400 (A1)

Drawn/Approved

Title
ROOF FLOOR PLAN

Number
GP106

Revision
00

00	07/2025	1st Submission
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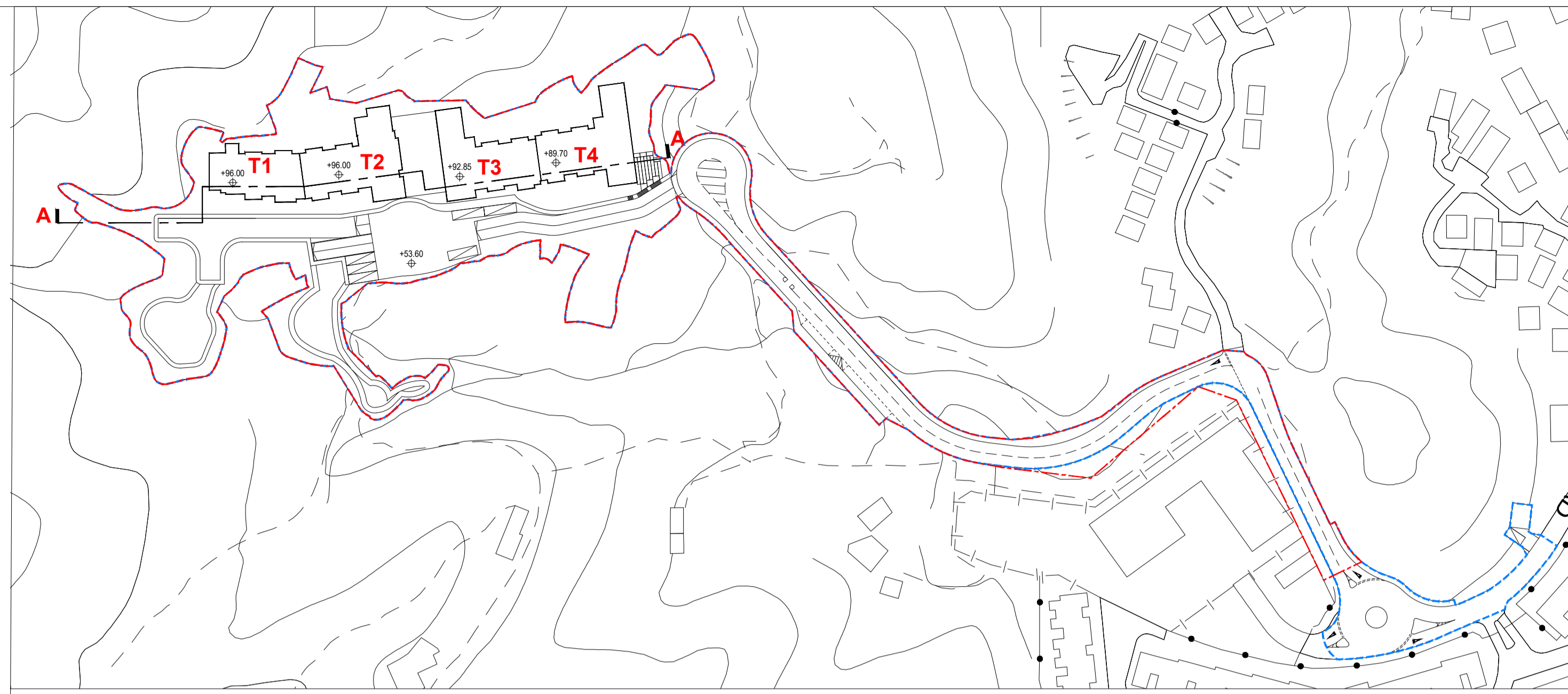
Rev.	Date	Description
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- Notes
- Do not scale drawings. Dimensions govern.
 - Verify dimensions in field. Notify WCWP of discrepancies.
 - Dimensions in mm unless otherwise noted.
 - Not for construction unless expressly certified.

LEGEND

--- APPLICATION SITE BOUNDARY

--- INDICATIVE SCHEME



KEY PLAN

SCALE 1:1500

T1
 (13 Storeys Excluding
 Basement Carpark below GF)
 Typical F/F = 3.15m
 G/F F/F = 4.35

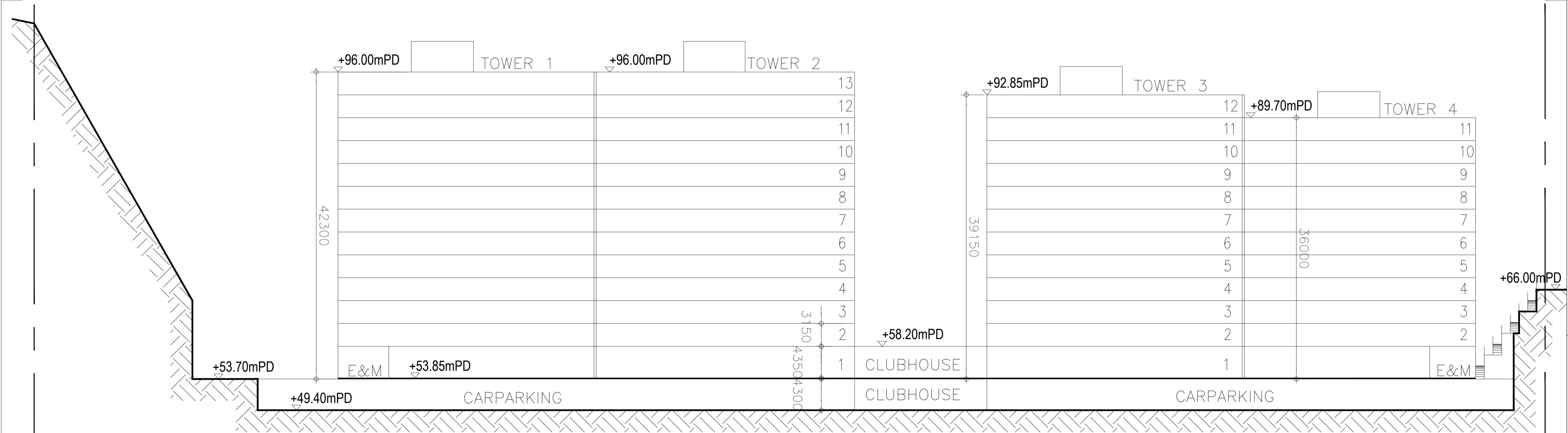
T2
 (13 Storeys Excluding
 Basement Carpark below GF)
 Typical F/F = 3.15m
 G/F F/F = 4.35

T3
 (12 Storeys Excluding
 Basement Carpark below GF)
 Typical F/F = 3.15m
 G/F F/F = 4.35

T4
 (11 Storeys Excluding
 Basement Carpark below GF)
 Typical F/F = 3.15m
 G/F F/F = 4.35

SITE BOUNDARY

SITE BOUNDARY



Section AA

Project
 Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Project Number
20064

Date
06/2025

Scale
1:300 (A1)

Drawn/Approved

Title
SECTION

Number GP107	Revision 00
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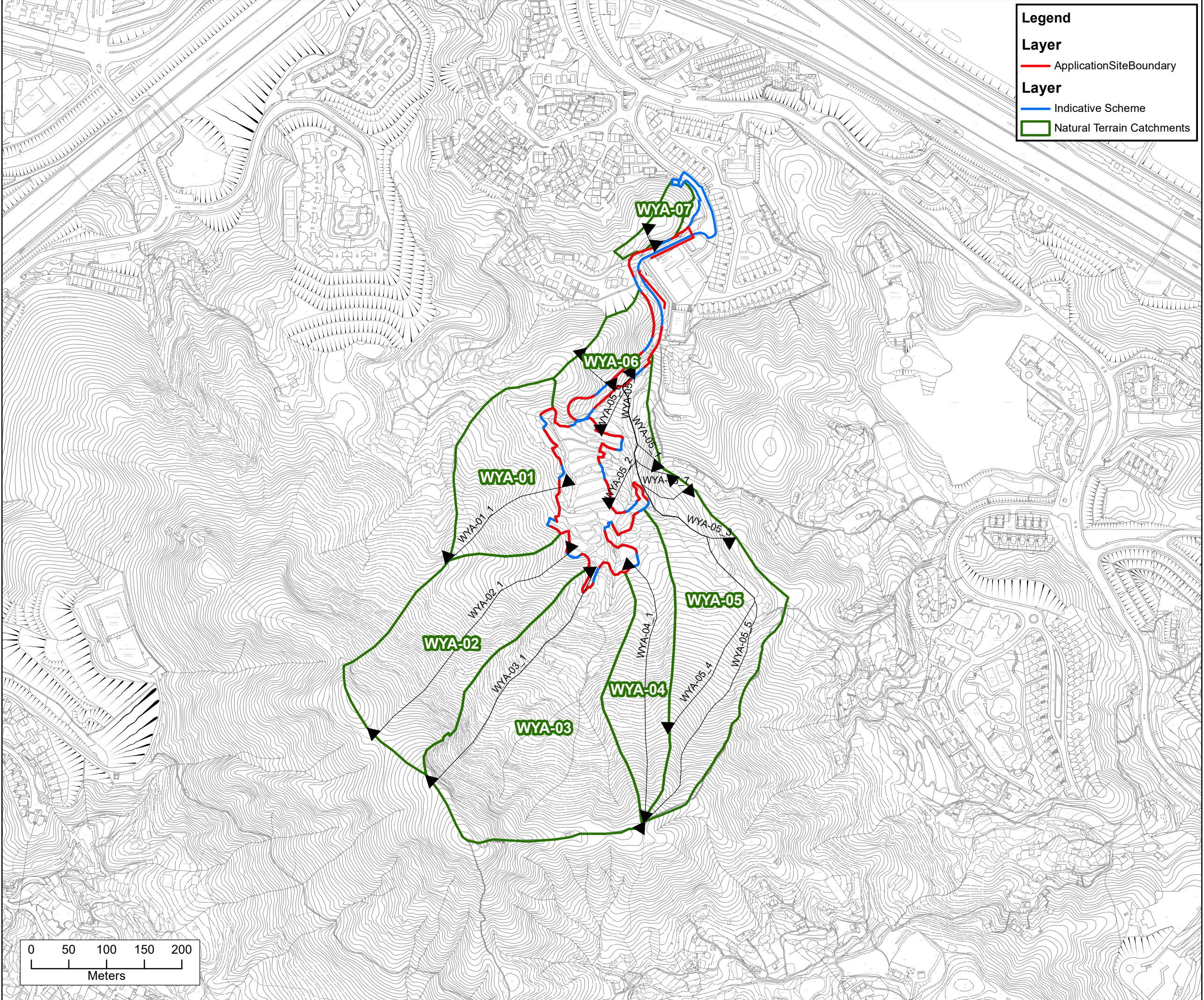
Appendix B
Existing Ground Investigation Records

Appendix B Summary of Existing Ground Investigation Records

Reference No.	Location		Exploratory Hole Information					Base of Units (mbgl)^									Thickness of Unit (m)						Rockhead				Rock Type			
	GI Station No.	Easting	Northing	Ground Level (mPD)	Hole Depth (mbgl)	Hole Base Level (mPD)	Hole Type*	Plunge	Top Soil	FILL	Marine Deposits	Colluvium	Alluvium	Residual Soil	CDG & CHDG (V-V/V1)	Engineering Rockhead Depth (mbgl) #	Top Soil	FILL	Marine Deposits	Colluvium	Alluvium	Residual Soil	CDG & CHDG (V-V/V1)	Total Soil Thickness	Corestone Zone	Top of Corestone (where present) (mbgl)		Top of Corestone Layer (where present) (mPD)	Engineering Rockhead Depth (mbgl) #	Engineering Rockhead Elevation (mPD) #
26805/BH-1	836319.35	833375.90	34.06	6.40	27.66	DH	-90	-	0.20	-	-	-	-	-	1.40	1.40	-	0.20	-	-	-	-	1.20	1.40	-	-	-	1.40	32.66	Tuff
26805/BH-12	836316.04	833485.54	27.82	8.00	19.82	DH	-90	-	0.40	-	-	-	-	-	3.00	3.00	-	0.40	-	-	-	-	0.40	2.60	0.40	27.42	3.00	24.82	Tuff	
26805/BH-13	836345.53	833484.53	24.17	9.50	14.67	DH	-90	-	0.20	-	-	-	-	-	4.30	4.30	-	0.20	-	-	-	-	0.20	4.10	0.20	23.97	4.30	19.87	Tuff	
26805/BH-14	836384.03	833498.67	22.23	9.10	13.13	DH	-90	-	3.00	-	-	-	-	4.00	4.00	-	3.00	-	-	-	-	1.00	4.00	-	-	-	4.00	18.23	Tuff	
26805/BH-17	836362.15	833530.92	21.39	8.90	12.49	DH	-90	-	-	-	3.10	-	-	3.80	3.80	-	-	-	3.10	-	-	0.70	3.80	-	-	-	3.80	17.59	Tuff	
26805/BH-19	836356.20	833556.01	17.94	6.60	11.34	DH	-90	-	-	-	-	-	-	1.60	1.60	-	-	-	-	-	-	1.60	1.60	-	-	-	1.60	16.34	Tuff	
26805/BH-2	836331.26	833393.65	33.67	7.90	25.77	DH	-90	-	1.10	-	-	-	-	2.90	2.90	-	1.10	-	-	-	-	1.80	2.90	-	-	-	2.90	30.77	Tuff	
26805/BH-20	836390.73	833563.48	22.73	16.15	6.58	DH	-90	-	2.00	-	-	-	-	9.10	10.50	-	2.00	-	-	-	-	7.10	9.10	1.40	9.10	13.63	10.50	12.23	Tuff	
26805/BH-7	836317.51	833443.85	32.50	10.70	21.80	DH	-90	-	1.50	-	2.80	-	-	5.70	5.70	-	1.50	-	1.30	-	-	2.90	5.70	-	-	-	5.70	26.80	Tuff	
26813/TP3	836304.99	833545.32	37.38	3.50	33.88	TP	-90	-	-	-	3.50	-	-	-	-	-	-	-	3.50	-	-	-	3.50	-	-	-	-	-	Tuff	
28678/BH1	836342.19	833411.17	33.60	9.85	23.75	DH	-90	-	2.30	-	4.71	-	-	-	4.71	-	2.30	-	2.41	-	-	-	4.71	-	-	-	4.71	28.89	Tuff	
28678/BH2	836328.00	833430.29	33.05	16.40	16.65	DH	-90	-	-	-	-	-	3.00	11.25	11.25	-	-	-	-	-	3.00	8.25	11.25	-	-	-	11.25	21.80	Tuff	
28678/BH3	836318.03	833445.95	32.36	9.85	22.51	DH	-90	-	-	-	-	-	2.00	4.60	4.60	-	-	-	-	-	2.00	2.60	4.60	-	-	-	4.60	27.76	Tuff	
28678/BH4	836305.04	833464.59	31.37	10.60	20.77	DH	-90	-	-	-	2.60	-	-	-	2.60	-	-	-	2.60	-	-	-	2.60	-	-	-	2.60	28.77	Tuff	
28678/BH7	836338.27	833458.19	31.69	17.30	14.39	DH	-90	-	3.00	-	-	-	-	12.30	12.30	-	3.00	-	-	-	-	9.30	12.30	-	-	-	12.30	19.39	Tuff	
28678/BH8	836325.74	833471.03	30.78	16.41	14.37	DH	-90	-	2.00	-	4.47	-	-	10.20	10.20	-	2.00	-	2.47	-	-	5.73	10.20	-	-	-	10.20	20.58	Tuff	
28678/BH9	836349.75	833469.11	30.38	17.50	12.88	DH	-90	-	3.00	-	-	-	5.95	12.30	12.30	-	3.00	-	-	2.95	-	6.35	12.30	-	-	-	12.30	18.08	Tuff	
28678/BH10	836341.19	833482.95	30.10	13.64	16.46	DH	-90	-	3.40	-	7.00	-	-	7.50	8.50	-	3.40	-	3.60	-	-	0.50	7.50	1.00	7.50	22.60	8.50	21.60	Tuff	
28678/TP1	836369.56	833479.45	29.08	1.50	27.58	TP	-90	-	1.50	-	-	-	-	-	-	-	1.50	-	-	-	-	-	1.50	-	-	-	-	-	Tuff	
28678/TP2	836341.34	833390.53	34.71	1.50	33.21	TP	-90	-	1.50	-	-	-	-	-	-	-	1.50	-	-	-	-	-	1.50	-	-	-	-	-	Tuff	

- Notes:**
1. ^ Values indicated in red colour have not reached the bottom level of the strata and should be read as being preceded with a '>' symbol.
 2. * DH= Drillhole, IP= Inspection Pit, SS= Slope Stripping, TP= Trial Pit
 3. # Engineering Rockhead is defined as 5m continuous Grade III or better rock with TCR > 85%
 4. GI stations in **BOLD** are project-specific GIs
 5. NIL - information of coordinates not available by the time of reporting

Appendix C
NTHA Screening



Legend

Layer

- ApplicationSiteBoundary

Layer

- Indicative Scheme
- Natural Terrain Catchments

Legend

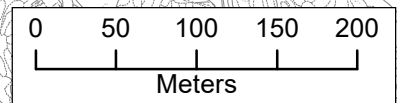
- ▲ Screening Sections

Layer

- ApplicationSiteBoundary

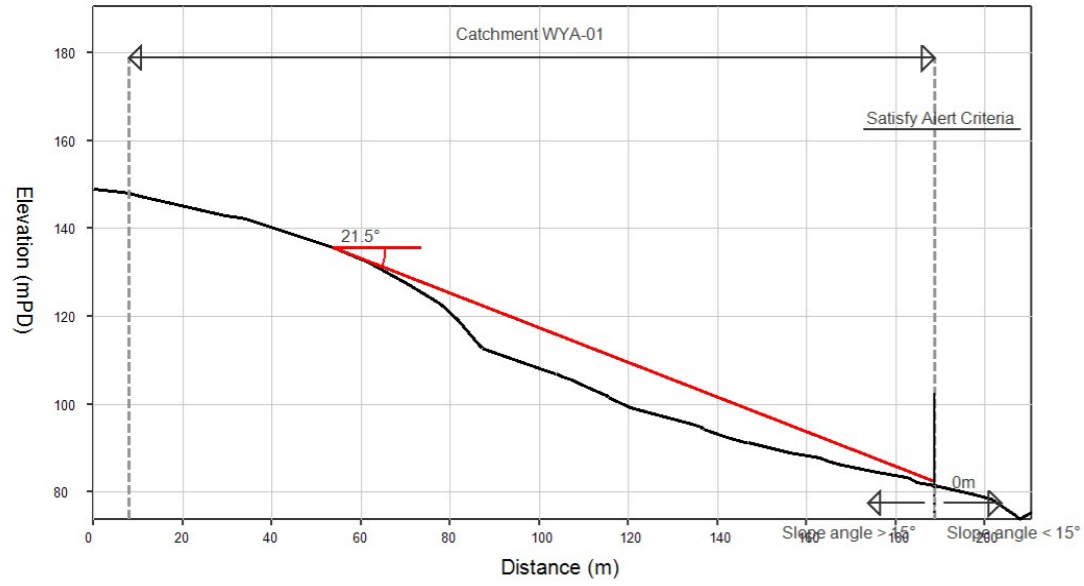
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- Indicative Scheme
- Natural Terrain Catchments

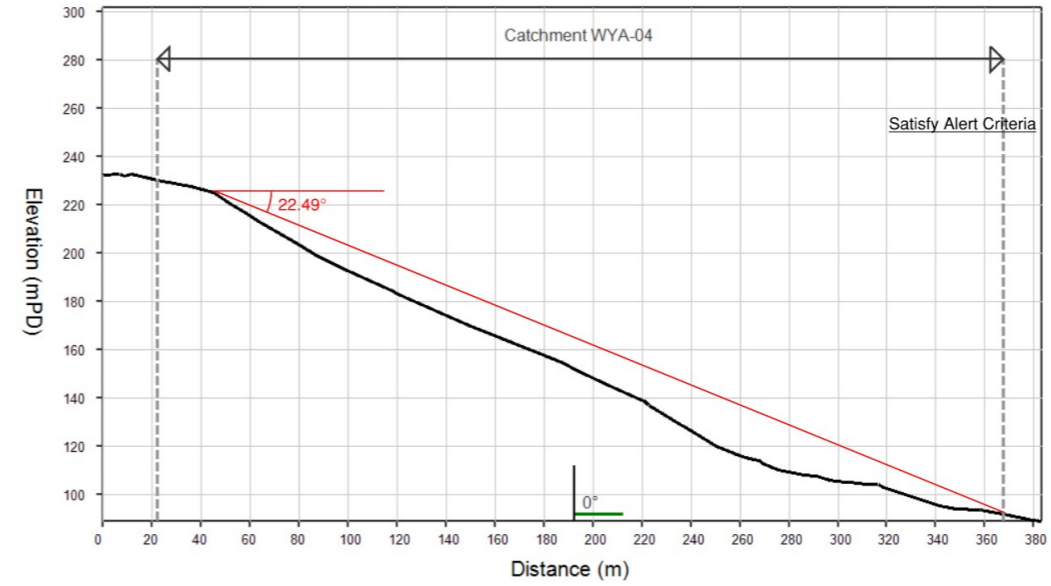


Consultant		ARUP	
Contract No. and Title			
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories			
Drawing Title			
Natural Terrain Hazard Study Screening Results			
Drawing No.		Rev.	
Appendix C		R4	
Drawn LN	Date 2026-03-02	Checked KC	Approved SM
Scale 1:4,696 @ A3			

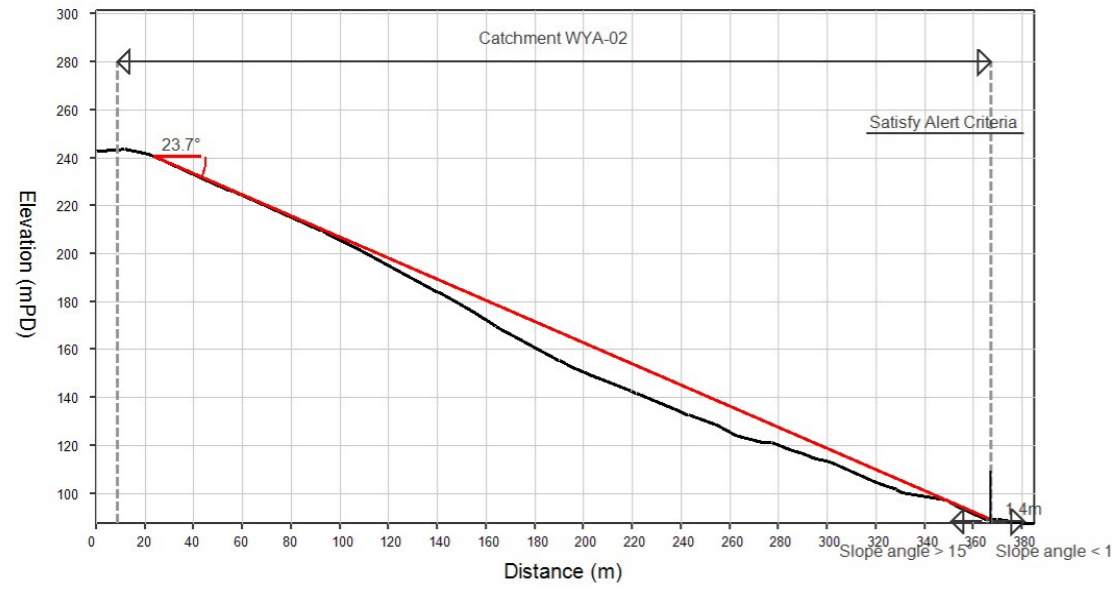
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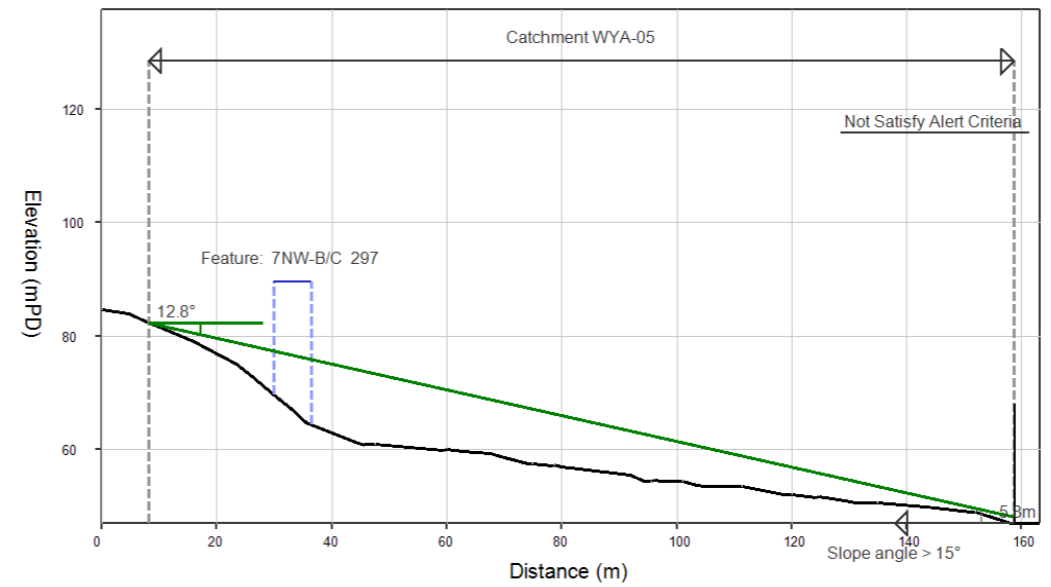
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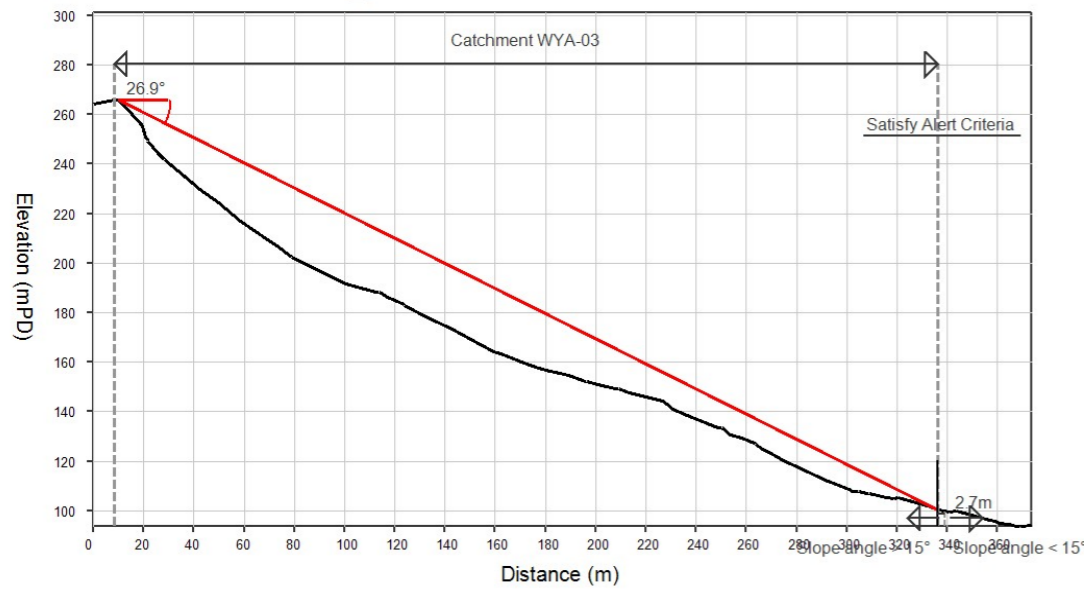
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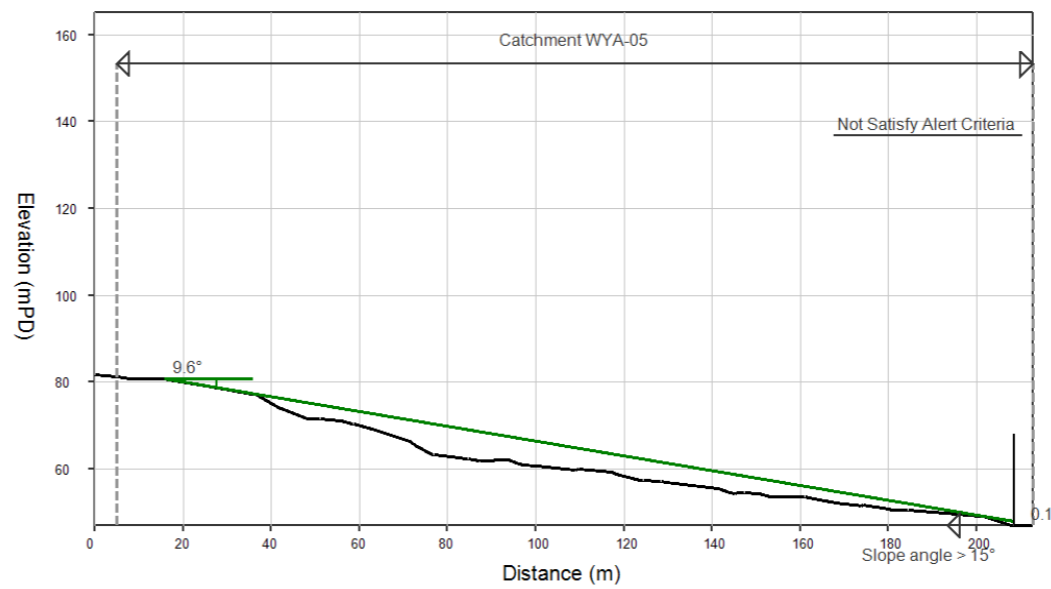
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Section WYA-03_1

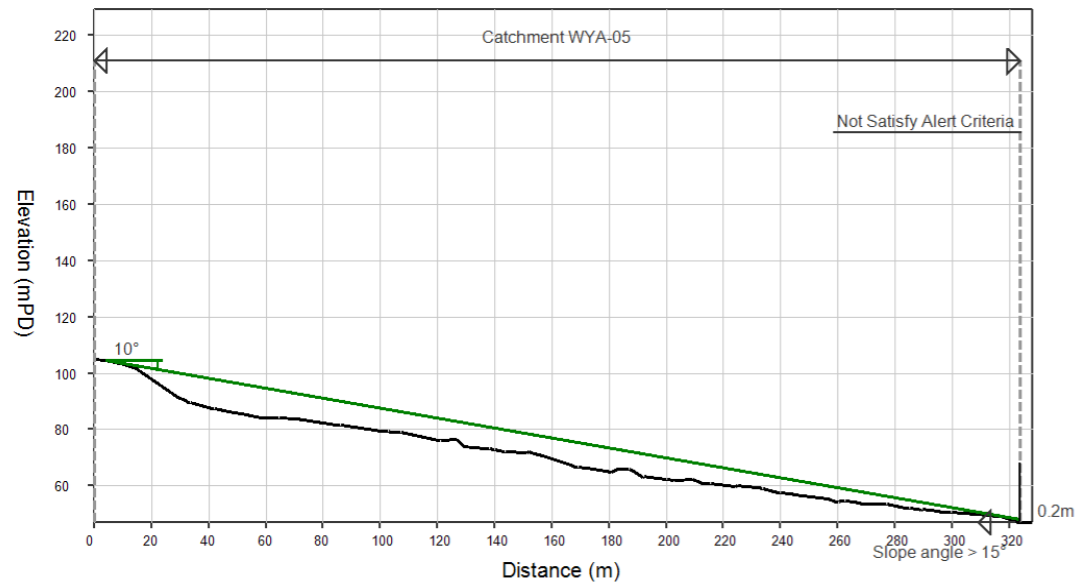


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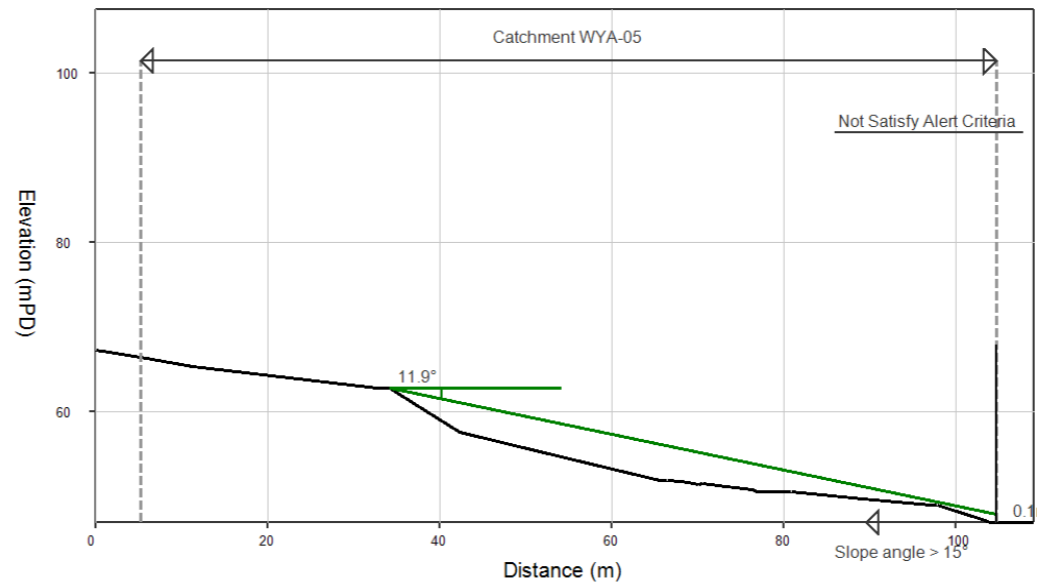


Consultant		ARUP	
Contract No. and Title			
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories			
Drawing Title			
Natural Terrain Hazard Study Screening Results			
Drawing No.	Appendix C	Rev.	R3
Drawn	TY	Date	2024-12-12
Checked	KC	Approved	SM
Scale			

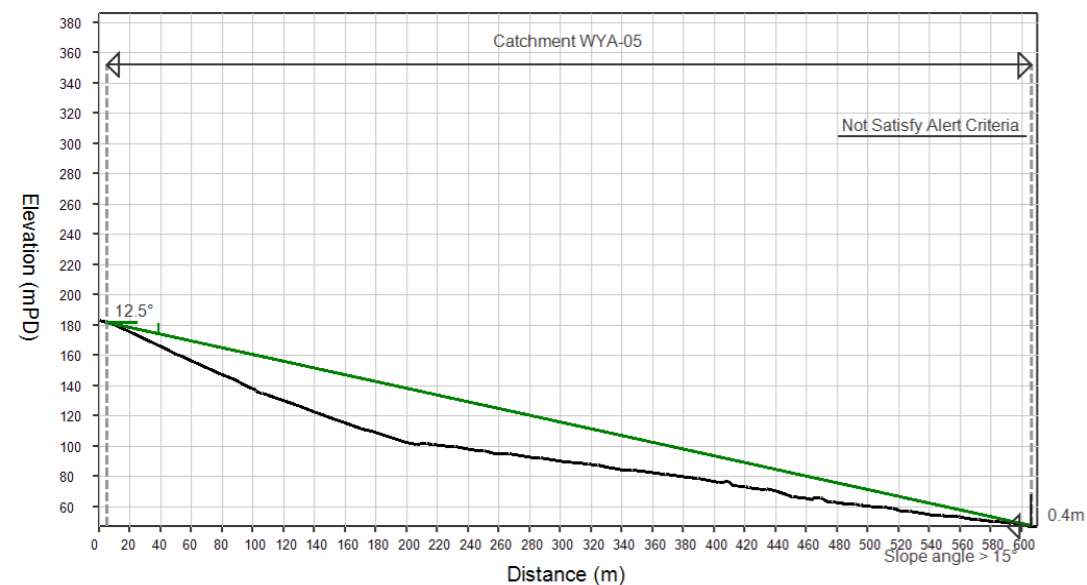
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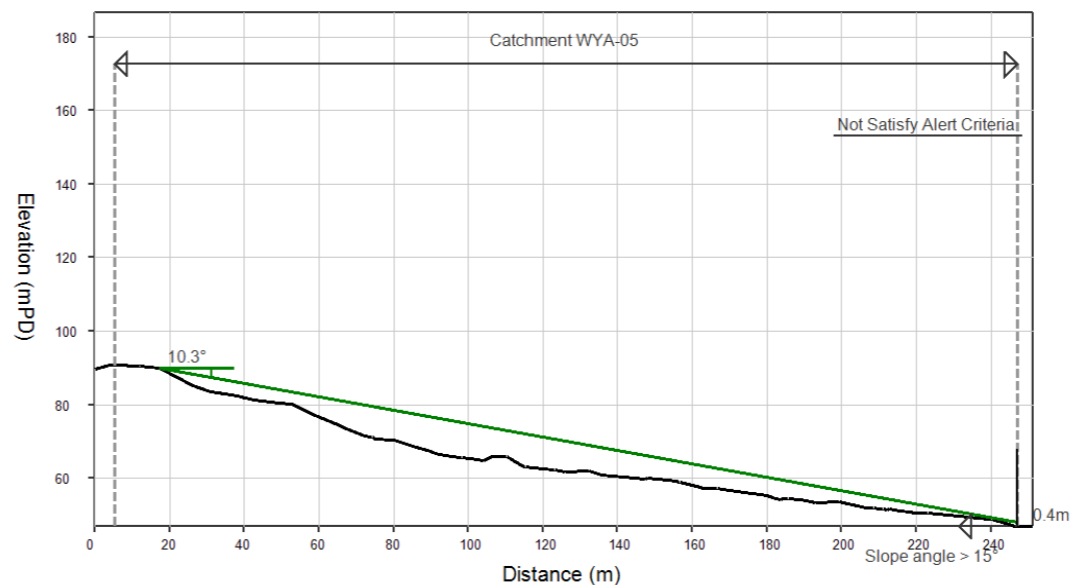
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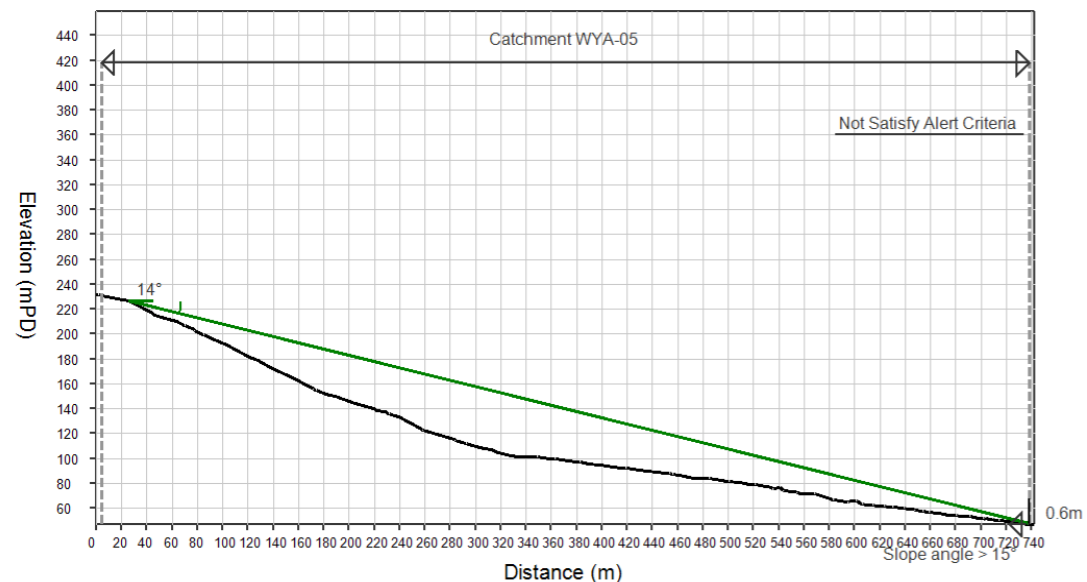
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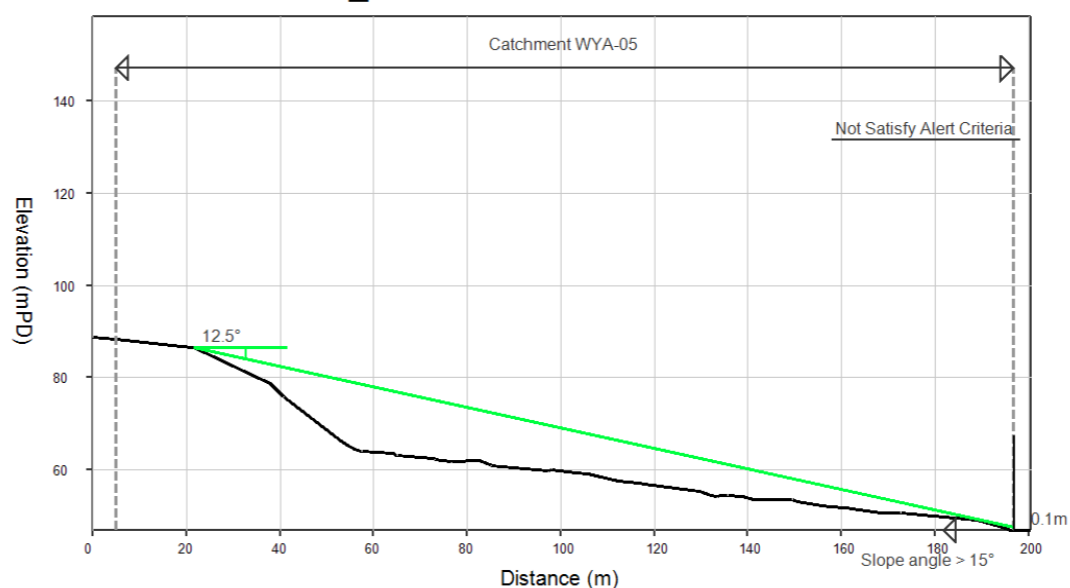
Section WYA-05_7



Section WYA-05_5



Section WYA-05_8



Consultant

ARUP

Contract No. and Title

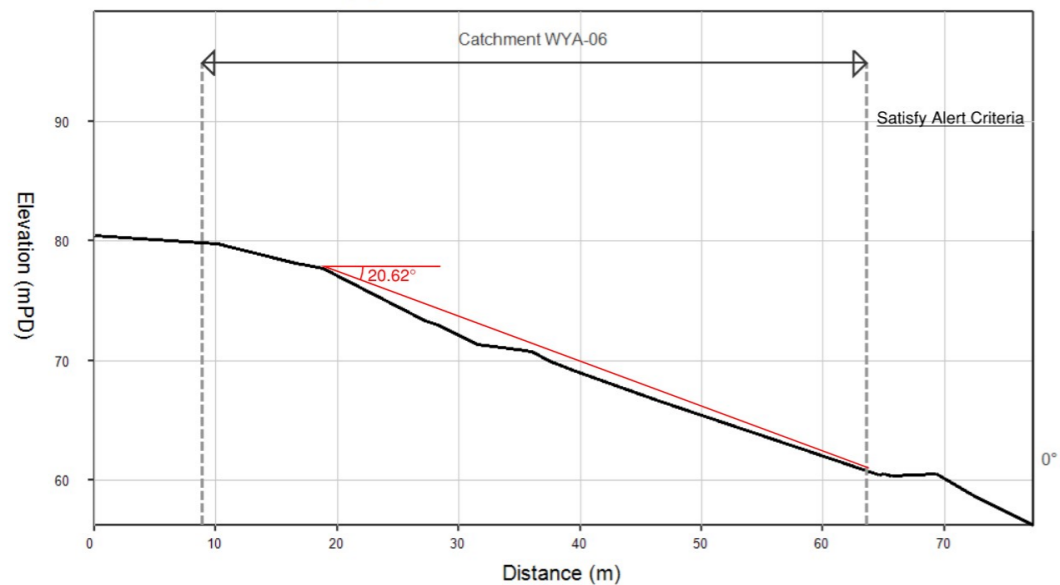
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories

Drawing Title

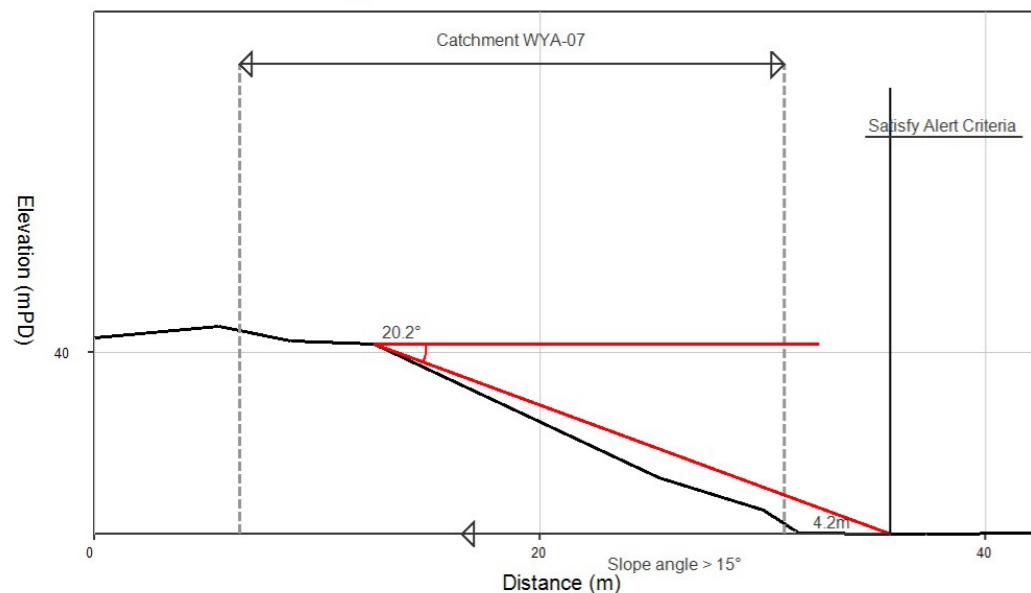
Natural Terrain Hazard Study Screening Results

Drawing No. Appendix C	Rev. R3
Drawn TY Date 2024-12-12	Checked KC Approved SM
Scale	

Section WYA-06_1



Section WYA-07_1



Consultant			
ARUP			
Contract No. and Title			
Application for Amendment of Plan under Section 12A of the Town Planning Ordinance (Cap. 131) for Proposed Residential Development and Associated Infrastructure at Various Lots in D.D. 32 and Adjoining Government Land, Wong Yi Au, Tai Po, New Territories			
Drawing Title			
Natural Terrain Hazard Study Screening Results			
Drawing No. Appendix C			Rev. R3
Drawn TY	Date 2024-12-12	Checked KC	Approved SM
Scale			