

METRO PLANNING COMMITTEE OF THE TOWN PLANNING BOARD

MPC Paper No. 10/16

**For Consideration by
the Metro Planning Committee on 26.8.2016**

**Submission for Compliance with
Approval Condition (a) of Application No. A/K20/126**

**Proposed Public Utility Installation (Dry Weather Flow Interceptor)
in “Open Space” Zone and area shown as ‘Road’
Government Land, Hoi Fai Road, Tai Kok Tsui, Kowloon West**

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1. Purpose

The Metro Planning Committee (the Committee) is invited to consider whether the submission made by the applicant, Drainage Services Department (DSD), on the revised design of the proposed development is acceptable for compliance with approval condition (a) attached to the planning permission granted on 23.10.2015 for the proposed public utility installation (Dry Weather Flow Interceptor (DWFI)) at Hoi Fai Road, Tai Kok Tsui, Kowloon West under Application No. A/K20/126.

2. Background

- 2.1 On 4.9.2015, the applicant sought planning permission for building a proposed DWFI at the application site (the Site) (**Plan AA-1**). With an area of about 1,652m², the Site mainly falls within the area zoned as “Open Space” (“O”) on the approved South West Kowloon Outline Zoning Plan (OZP) No. S/K20/30¹.
- 2.2 The proposed DWFI will comprise a pumping station, penstocks, an emergency bypass culvert and associated facilities at the outfall of the Cherry Street Box Culvert (CSBC) to intercept the polluted flow in the CSBC (**Plans AA-1 and AA-2**) and convey it to the existing sewerage network and ultimately to the Stonecutters Island Sewage Treatment Works for treatment and disposal.
- 2.3 The majority of the components of the DWFI will be underground, including a screen chamber, a wet well, a flow meter chamber, two valve chambers and a maintenance corridor (with gross floor area of 675m²). Only the upper portion of the penstocks which cannot be installed entirely underground due to operation need and minimum sizes required, and the flood sensitive components for the pumping station (including switch room, dangerous goods room, transformer room and deodorize room) will be above ground.
- 2.4 The application was approved by the Committee on 23.10.2015. However, during the meeting, Members raised concerns on the design of the proposed

¹ There is a slight encroachment onto area shown as ‘Road’ (about 41m² or 2.5% of site area) which can be considered as minor adjustment to the zoning boundary as permitted on the OZP.

development. In particular, Members considered that the overall design of the proposed development should be further revised to enhance visual openness for public enjoyment and facilitate pedestrian movement. The Committee decided to impose, amongst others, the following approval condition for the applicant to take into account Members' comments on the overall design:

- (a) The submission of a revised design of the proposed development to the satisfaction of the Town Planning Board.

2.5 An extract of the minutes of the Committee meeting on 23.10.2015 and the approval letter dated 6.11.2015 for Application No. A/K20/126 are at **Appendices II and III** respectively.

3. Submission for Compliance with Approval Condition (a)

3.1 On 15.7.2016, the applicant submitted a revised design of the proposed development for compliance with approval condition (a) which is at **Appendix I**. On 16.8.2016, the applicant submitted supplementary information and revised drawings taking into consideration the departmental comments to further enhance the design (**Appendix Ia**).

3.2 A comparison of the major development parameters of the original scheme and the currently revised design are summarised below. Comparisons of the layout plan, landscaping design, and perspective illustrations between the original scheme and the currently revised design are at **Drawings AA-1 to AA-6**.

Development Parameters	Original Scheme (approved on 23.10.2015)	Current Design
Site Area	1,652m ²	
Fenced off area (pumping station area)	380m ²	170m ² (1)
Waterfront promenade (open to public)	387m ²	
Area above emergency bypass culvert (open to public)	128m ²	
Remaining area (open to public except during maintenance period)	757m ²	967m ² (2)
% of area open to public	77%	90%

Remarks:

(1) There is no longer a fence (**Appendix Ia**) for the above-ground pumping station at the northern most of the Site but only occupied by the pumping station building structure (**Drawing AA-1**).

(2) The fence wall above the underground pumping station has been removed in the revised design (**Drawings AA-1 and AA-3**).

4. Applicant's Responses to the Committee's Concerns

Site Constraints

- (a) Most of the facilities have been located underground except for the flood sensitive components of the pumping station (including the switch room, the dangerous goods room, the transformer room and the deodorizer room) which have to be located above ground due to safety and other requirements.
- (b) There is little room for realignment of the penstocks at the southern portion of the Site as they need to be seated above the existing box culvert underneath for operation and maintenance needs.

Removal of Fence Wall

- (c) The fence wall above the underground pumping station has been removed in the revised design to enhance visual openness (**Drawing AA-3**) (but will be fenced off during maintenance works and screenings removal for safety reasons) and to maximise the provision of open space. Approximately 90% of the Site will be opened to public.
- (d) Due to operational needs and inadequate space/soil depth for tree planting at the newly opened up area, grasscrete and removable planters with shrubs and benches with shelter are proposed above the underground pumping station for public enjoyment, as the covers would need to be opened frequently for accessing the underground facilities and for carrying out regular maintenance works and screenings removal by trucks (about 3 times per week).

Enhancement of Pedestrian Movement

- (e) Due to site configuration and the need to accommodate the pumping station and all underground facilities, further widening of the promenade is not achievable². To mitigate the bottleneck effect, a staircase is proposed to connect the promenade and the open space at Hoi Fai Road to enhance pedestrian flow (**Drawings AA-2 and AA-4**)³.

² The average width of the waterfront promenade has been widened from the previously proposed 3.5m (scheme presented to the Task Force on Harbourfront Developments in Kowloon, Tsuen Wan and Kwai Tsing before submission of Application No. A/K20/126) to 5.5m (i.e. approved scheme under No. A/K20/126). The applicant has critically reviewed the design again upon approval of No. A/K20/126. Due to the site constraint and space requirement to accommodate the pumping station and all the required underground facilities, further widening of the waterfront promenade at the bottleneck is not achievable.

³ DSD has critically reviewed and found that it is not possible to provide a barrier free access connecting the promenade and the raised open space within the Site due to the limited site area. The public could utilise the barrier free access at the adjacent Hoi Fai Road Promenade (about 50m away from the staircase) (**Plan AA-2**).

Tree Planting and Greening

- (f) As suggested by the Architectural Services Department, additional vertical greening will be provided at the northern and western façade of the pumping station to further soften the building mass (**Drawing AA-6**).
- (g) Shrubs will be planted at the promenade to improve the appearance of the planters and six additional trees on removable planters, *Melaleuca bracteata* (黃金串錢柳) (**Drawing AA-5**) have been proposed towards the southern side of the waterfront promenade, in addition to the proposed shelters, landscape area and vertical green walls under the original scheme, in order to maximise tree planting opportunities along the promenade (**Drawings AA-2 and AA-5**).
- (h) The planter boxes will be designed to enhance visual appearance matching with the environment. The height of all tree planter boxes have been reduced and semi-sunken to a height of 0.75m above ground to look less massive and enhance visual openness while complying with the required soil depth of 1.2m (**Drawings AA-2 and AA-5**).

Compatible Design

- (i) The Site has been designed to be compatible with the adjacent Hoi Fai Road Promenade, e.g. the building form and colour tone of the pumping station and the architectural features on the penstocks have been designed to match with the adjacent Hoi Fai Road Promenade.
- (j) DSD has submitted the detailed design to the Design Advisory Panel (DAP) in September 2015 and DAP had no comment on the design.

5. Comments from Relevant Government Departments/Bureau

- 5.1 The following Government departments have been consulted and their views on the applicant's submission are summarised as follows:

Design and Landscape Aspect

- 5.1.1 Comments of the Chief Architect/Central Management Division (2), Architectural Services Department (CA/CMD2, ArchSD):

Upon submission of the revised design (**Appendix Ia**), he has no further comment on the revised design.

5.1.2 Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

Upon submission of the revised design (**Appendix Ia**), he has no further comment.

5.1.3 Comments of the Director of Leisure and Cultural Services (DLCS):

He has no further comment on the revised design.

Land Administration

5.1.4 Comments of the District Lands Officer/Kowloon West, Lands Department (DLO/KW, LandsD):

She noted that the applicant will submit a revised tree felling application reflecting the revised number of compensatory trees to LandsD. She has no further comment on the submission.

Traffic

5.1.5 Comments of the Commissioner for Transport (C for T):

He noted that there is no change to the vehicular access and other traffic related matters in the submission. He has no comment on the submission from traffic engineering point of view.

Building Matters

5.1.6 Comments of the Chief Building Surveyor/Kowloon, Buildings Department (CBS/K, BD):

He has no comment on the application as the proposed development involves Government building which is exempted from the provision of the Buildings Ordinance.

Environment

5.1.7 Comments of the Director of Environmental Protection (DEP):

- (a) The submission does not contain environmental findings and is mainly related to the revised design of the open space of DWFI and the provision of staircase to enhance pedestrian flow, etc. There is no change to the scope and scale of the proposed DWFI and sewage pumping station. On the above basis, she has no comment on the submission.

- (b) From the Environmental Impact Assessment Ordinance (EIAO) perspective, the proposed DWFI, comprising a sewage pumping station with an installed capacity of more than 2,000m³ per day and is within 150m from an existing residential area, is classified as a designated project (DP) under item F.3(b)(i), Part I of Schedule 2 of the EIAO. Permission was granted to the applicant to apply directly for an Environmental Permit (EP) under the EIAO on 17.9.2015 (Application No. DIR-241/2015). The applicant is reminded to obtain an EP for the construction and operation of the DP.

5.2 The following departments/bureau have no comment on the submission:

- (a) Harbour Unit, Development Bureau;
- (b) Director of Fire Services;
- (c) Chief Highway Engineer/Kowloon, Highways Department;
- (d) Project Manager/Kowloon, Civil Engineering and Development Department;
- (e) Director of Marine;
- (f) Chief Engineer/Construction, Water Supplies Department
- (g) Commissioner of Police;
- (h) Director of Agriculture, Fisheries and Conservation;
- (i) Government Property Agency; and
- (j) District Officer (Yau Tsim Mong).

6. Planning Considerations and Assessments

- 6.1 Approval condition (a) was imposed by the Committee requiring the applicant to improve the design of the proposed development. In response to the Committee's suggestions, the applicant has revised and improved the scheme with respect to the following aspects.

Visual Openness

- 6.2 The original fence wall above the underground pumping station in the northern part of the Site has been removed to enhance visual openness and maximise the provision of open space (**Drawing AA-3**) (except during maintenance and screenings removal for safety reasons).

Public Enjoyment

- 6.3 By removing the fenced-off area under the revised design, approximately 90% of the site area will be opened to public. Besides, removable planters with shrubs and benches with shelter are proposed above the underground pumping station for public enjoyment.

Connection with the Waterfront Promenade

- 6.4 Even though further widening of the promenade is not achievable due to site configuration, a staircase has been proposed to connect the promenade and the open space at Hoi Fai Road to enhance pedestrian circulation (**Drawings AA-2 and AA-4**).

Landscaping and Greening

- 6.5 Additional landscaping and greening measures have been proposed, including vertical greening at the northern and western façade of the pumping station to further soften the building mass (**Drawing AA-6**), provision of shrubs at the promenade to improve the appearance of the planters and addition of trees on removable planters, landscape area and vertical green walls to maximise tree planting opportunities (**Drawings AA-2 and AA-5**). The height of all tree planter boxes has also been reduced and semi-sunken to a height of 0.75m above ground to reduce the mass and enhance visual openness (**Drawings AA-2 and AA-5**).

Departmental Comments

- 6.6 Comments of relevant Government departments including CA/CMD2, ArchSD, CTP/UD&L, PlanD and LCSD have been taken into account in the revised design of the proposed development, and they have no further comment in this regard.

Overall

- 6.7 Members' concerns on the visual openness of the Site, the bottleneck effect at the waterfront promenade and public enjoyment of the open space have been addressed and mitigated by the currently revised design.
- 6.8 Subject to any further views from Members, the revised design could be considered as acceptable for compliance with approval condition (a).

7. Decision Sought

- 7.1 The Committee is invited to consider whether the applicant's current submission is acceptable for compliance with approval condition (a) of Application No. A/K20/126.
- 7.2 Should the Committee decide the applicant's current scheme acceptable for compliance with approval condition (a), the approval condition (a) is deemed to have been complied with.
- 7.3 Alternatively, should the Committee decide the applicant's revised design not acceptable, Members are invited to advise what reason(s) for not accepting the

design and the applicant should be advised to further revise the design of the proposed development to comply with approval condition (a) of Application No. A/K20/126.

8. Attachments

Appendix I	Applicant's letter dated 15.7.2016 enclosing the submission of revised design and responses to departmental comments
Appendix Ia	Applicant's letter dated 16.8.2016 providing supplementary information and revised drawings
Appendix II	Extract of the minutes of the Committee meeting on 23.10.2015
Appendix III	Approval letter dated 6.11.2015 for Application No. A/K20/126
Drawing AA-1	Comparison of the layout plan between the approved scheme and the currently revised design
Drawing AA-2	Comparison of the landscaping design between the approved scheme and the currently revised design
Drawing AA-3	Comparison of the landscape and aesthetic design (View A) between the approved scheme and the currently revised design
Drawing AA-4	Comparison of the revised landscape and aesthetic design (View B) between the approved scheme and the currently revised design
Drawing AA-5	Comparison of the revised landscape and aesthetic design (View C) between the approved scheme and the currently revised design
Drawing AA-6	Comparison of the revised landscape and aesthetic design (vertical greening) between the approved scheme and the currently revised design
Plan AA-1	Location Plan
Plan AA-2	Site Plan
Plan AA-3	Aerial Photo
Plans AA-4 and AA-5	Site Photos

**PLANNING DEPARTMENT
AUGUST 2016**



Drainage Services Department
Consultants Management Division
42/F, Revenue Tower, 5 Gloucester Road,
Wan Chai, Hong Kong

Appendix I of MPC
Paper No. 10/16

渠務署
顧問工程管理部
香港灣仔告士打道5號
稅務大樓42樓

來函檔號 Your Ref: TPB/A/K20/126

本署檔號 Our Ref: () in DSD CM 8/CE1201/29 Pt.

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15 July 2016

Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong
(Attn : Mr Raymond KAN)

Dear Sirs,

**Proposed Public Utility Installation (Dry Weather Flow Interceptor)
in "Open Space" zone and area shown as "Road",
government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon**

Further to your letter ref. TPB/A/K20/126 dated 6 November 2015, we are pleased to submit a revised design of our proposed development for your further consideration and acceptance.

2. We have come up with a revised design after a critical review which has taken into consideration of comments provided by the Town Planning Board. We also have liaised closely with relevant government departments including Architectural Services Department (ArchSD), Planning Department (PlanD) and Leisure and Cultural Services Department (LCSD) and our revised design has satisfactorily addressed their concerns and comments.

3. We would like to highlight our revised design below for your easy reference:

- i. We have opened up more space for the public enjoyment. One of our overall design goals is to maximize the open space for public use and improve the amenity of the vicinity. We have located most of our facilities underground except for the flood sensitive components of the pumping station, including the switch room, the dangerous goods room, the transformer room and the deodorizer room which have to be located above ground due to safety and other requirements. We have now removed the fence wall at the pumping station maximizing the provision of open space and now approximately 90% of our site area is open to public. Due to operational needs and inadequate space/soil depth for tree planting at the newly opened up area, a removable planter with shrubs was added to improve the streetscape and amenity of the vicinity. Please refer to **Figure 1** for the revised layout.

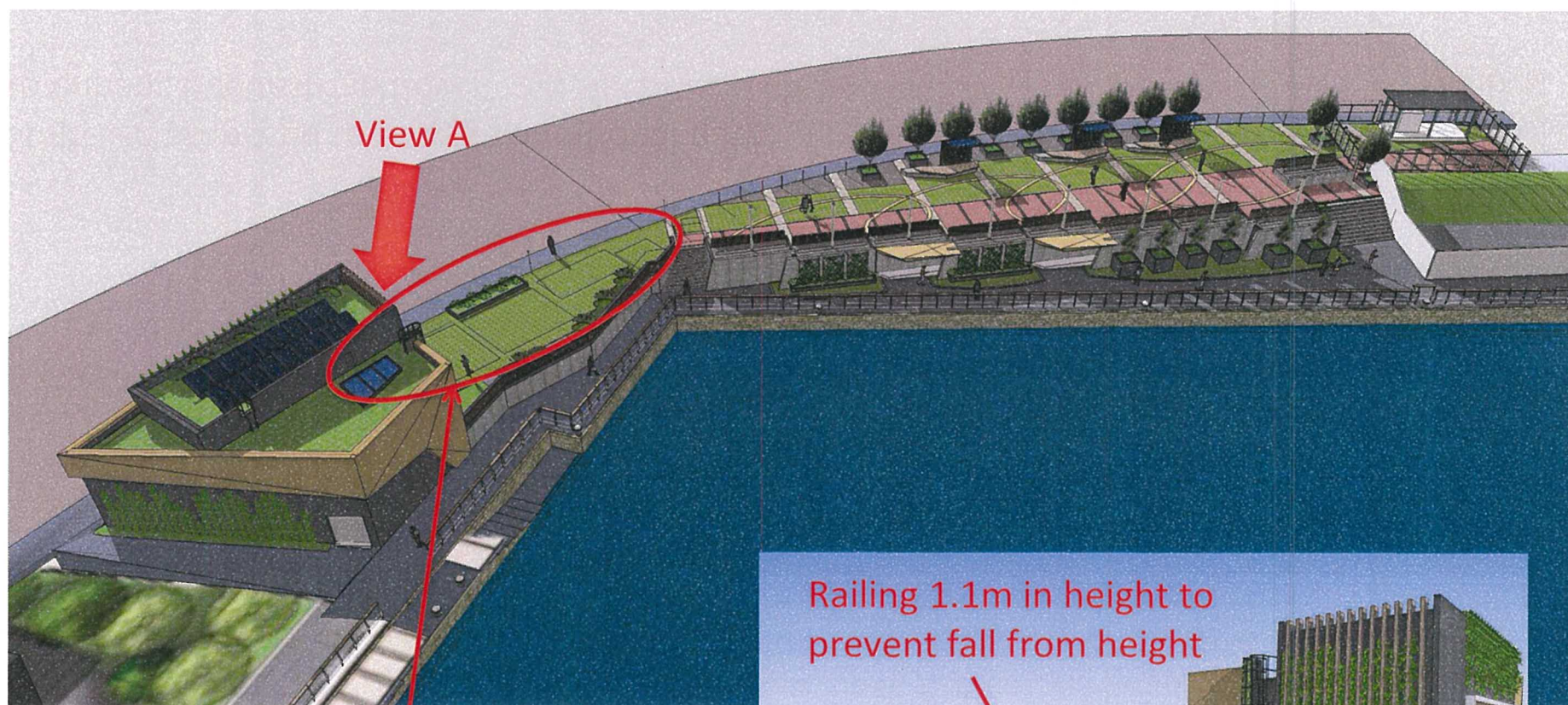
- ii. We have added a staircase to provide an additional path for pedestrians walking along the promenade to get to the open space at Hoi Fai Road to enhance pedestrian flow which will have an effect similar to the widening of the promenade. We have reviewed and found that further widening of the promenade is not achievable due to site configuration and the need to accommodate the pumping station and all the underground facilities. The proposed staircase is shown in **Figure 2**.
 - iii. We have taken the advice of Architectural Services Department and reduced the height of the removable tree planters in the open area from 1.5m to 0.75m to enhance visual openness. The reduction of height of the planters is shown in **Figure 3**.
 - iv. As suggested by Architectural Services Department, we have provided additional vertical greenings at the northern and western façade of the pumping station to further soften the building mass. The additional vertical greening is shown in **Figure 4**.
 - v. To accord with the Town Planning Board's view and as suggested by Planning Department, we have provided 6 additional of *Melaleuca bracteata* (黃金串錢柳) towards the southern side of the waterfront promenade to enhance the landscape. The proposed additional trees are shown in **Figure 3**.
4. We have summarized the comments by the Town Planning Board and provided our response in a table attached with this letter.
5. We have also provided figures of the original design in our previous S16 application as Annex A for your easy reference.

Yours faithfully,



(Raymond K. F. SEIT)
for Chief Engineer/Consultants Management
Drainage Services Department

Encl.



Fence wall removed to enhance visual openness and for public enjoyment

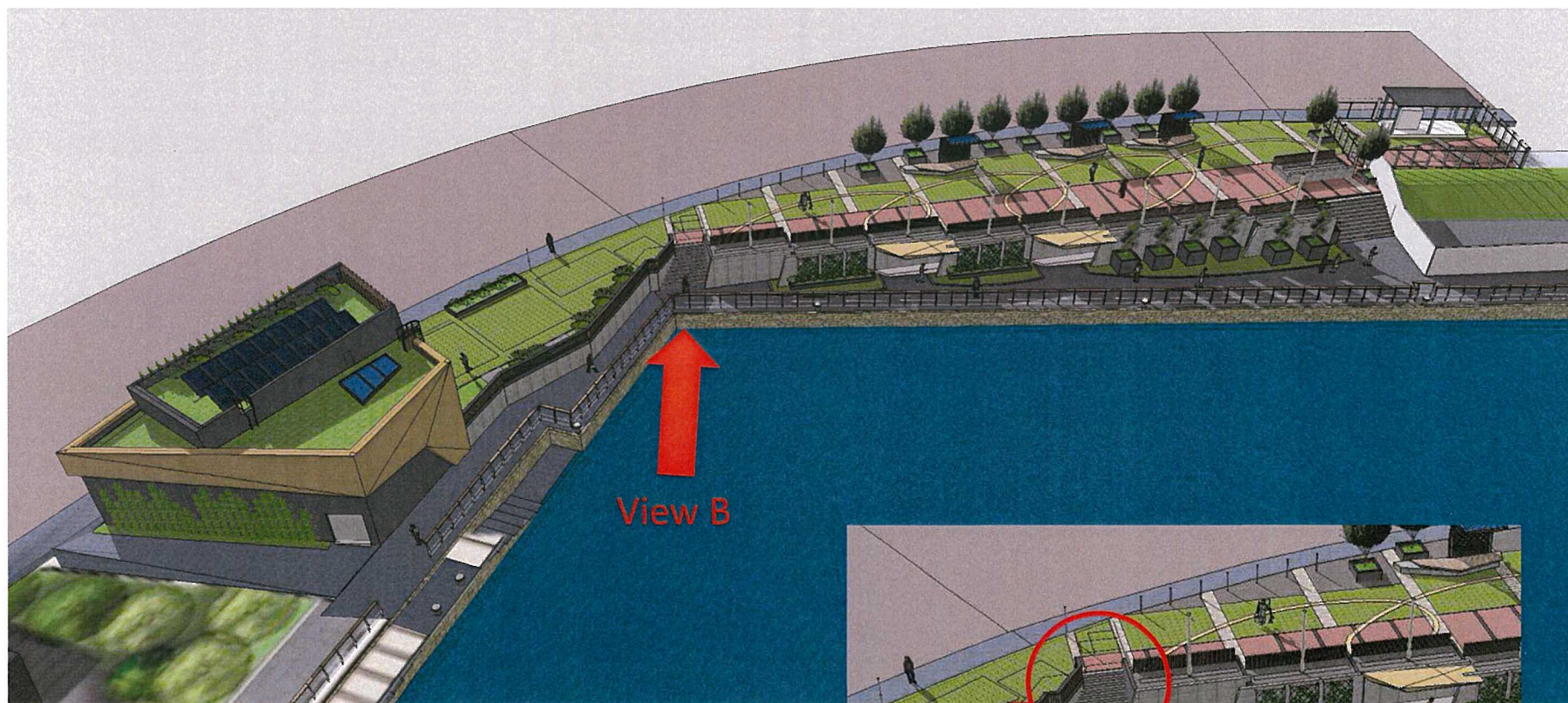


Removable planter with shrubs added to improve the streetscape and amenity of the vicinity

View A

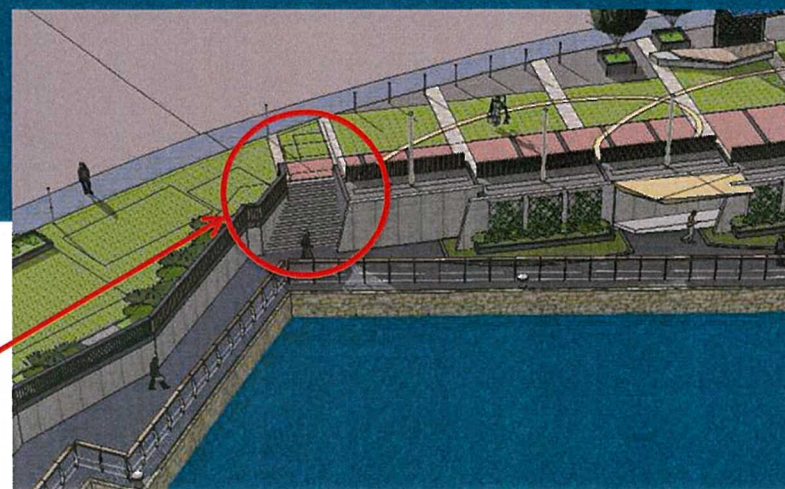
Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 1 (Revised Design)



View B

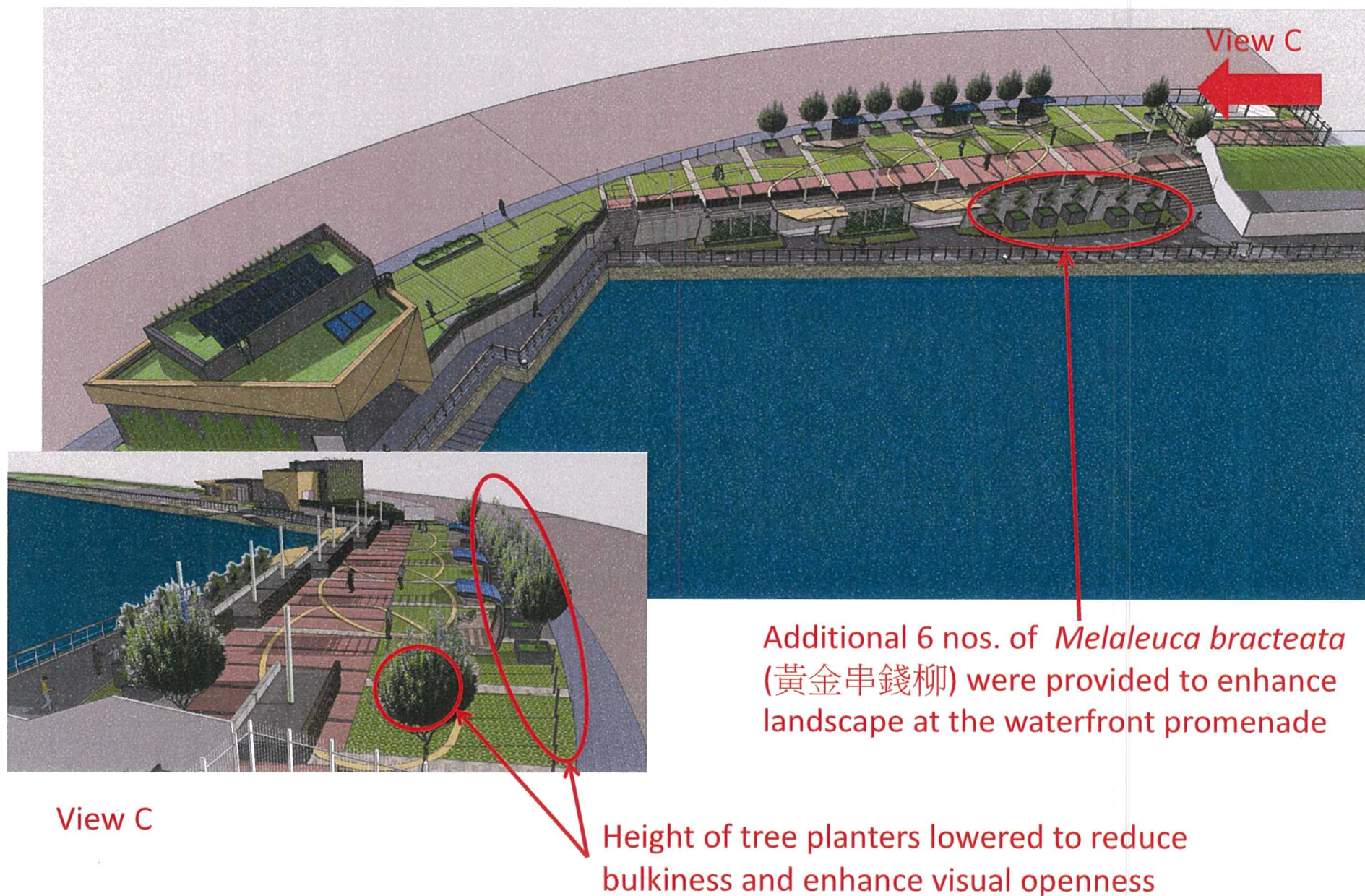
Staircase proposed to provide additional path
to enhance pedestrian flow



View B

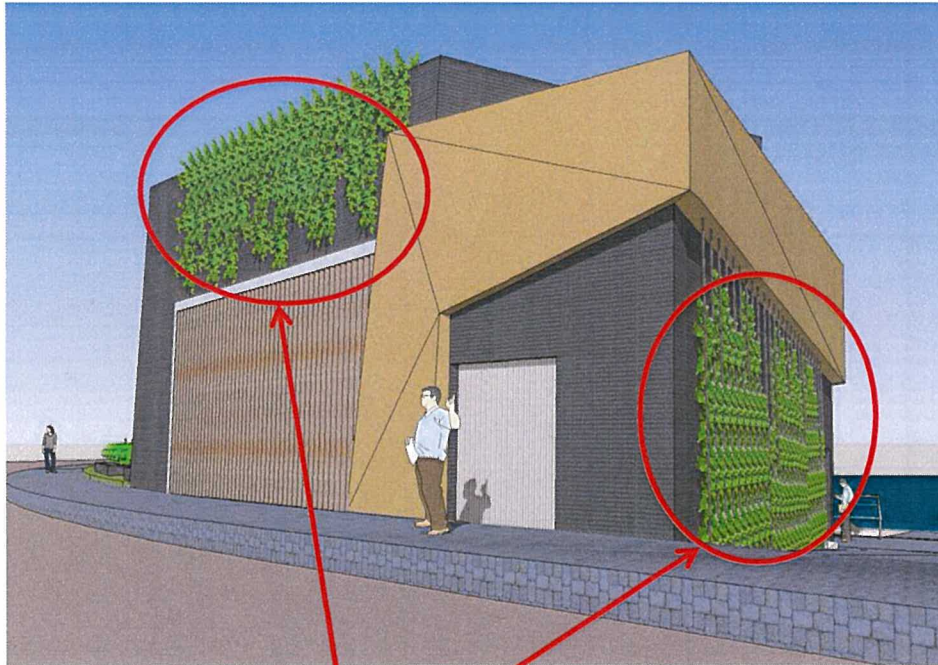
Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 2 (Revised Design)



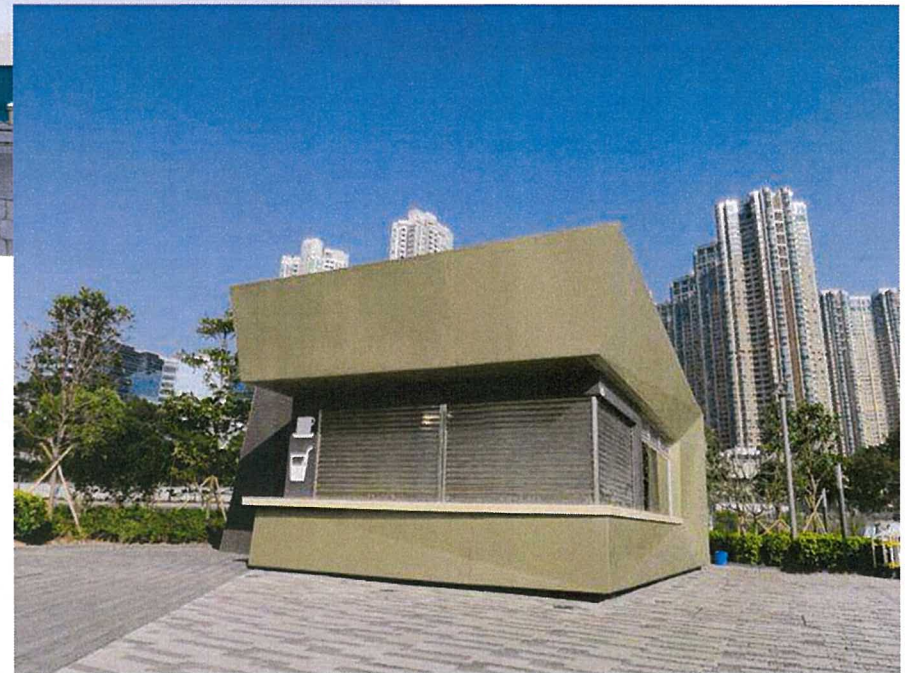
Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 3 (Revised Design)



Vertical greening is added on the northern and western façade of the building

The site is designed to be compatible with the Hoi Fai Road Promenade (formally known as Tai Kok Tsui Advance Promenade in the application).



Kiosk at Hoi Fai Road Promenade

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in “Open Space” zone and area shown as ‘Road’, government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 4 (Revised Design)

PWP Item no. 4380DS
Consultation of Dry Weather Flow Interceptor at
Cherry Street Box Culvert and Other Works
Town Planning Board Section 16 Submission

Responses to Comments

Letter ref. TPB/A/K20/126 from Secretary, Town Planning Board dated 6 November 2015

Comments	Responses
<i>General Comments</i>	
<p>After giving consideration to the application, the Town Planning Board (the TPB) approved the application for permission under Section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid until 23.10.2019; and after the said date, the permission shall cease to have effect unless before the said date either the development hereby permitted is commenced or the permission is renewed. The permission is subject to the following conditions:</p>	
<p>a) the submission of a revised design of the proposed development to the satisfaction of the TPB;</p> <p><i>Detailed comment extracted from the minutes of the TPB meeting:</i></p> <p><i>TPB members' are concerned about the following issues:</i></p> <p>i) <i>Information about the height of fence wall;</i></p> <p>ii) <i>If the area above the underground pumping station could be open to the public;</i></p>	<p>We will submit a revised design of the proposed development to the satisfaction of the TPB addressing all the concerns raised.</p> <p>i) Please be advised that the fence wall has been removed in the revised design to provide more open space for public use. As there is a level difference between the opened up space and the waterfront promenade, a railing 1.1m in height is proposed at the southern edge to replace the original fence wall as a safety measure to prevent fall from height. Please refer to the attached Figure 1 showing the removal of the fence wall and the location of the safety railing.</p> <p>ii) Please note that the underground pumping station includes an inlet chamber, a pump well and a valve</p>

Comments	Responses
<p>iii) <i>The promenade should be widen, especially at the bottleneck with a width of only 3m, the fence wall should be considered to set back;</i></p> <p>iv) <i>More tree planting along the waterfront promenade should be provided; and</i></p>	<p>chamber, and the area above the underground pumping station was originally proposed to be fenced off for safety, operation and maintenance reasons. To maintain the underground pumping station, DSD needs to carry out maintenance works and screenings removal by trucks about 2~3 times per week by opening the covers there. To address TPB members' concerns, we now propose to also open up the area to the public in our latest design. The fence wall will be removed but the area above the underground pumping station will be fenced off during screenings removal and maintenance works for safety reasons. A removable planter with shrubs would also be provided to improve the streetscape and amenity of vicinity. Please refer to Figure 1 for details.</p> <p>iii) Please be advised that the average width of the waterfront promenade has been widened from the previously proposed 3.5m to 5.5m after consulting the "Task Force on Harbourfront Developments in Kowloon, Tsuen Wan and Kwai Tsing". Upon receiving your comments, we have again critically reviewed the design. Due to the site constraint and space requirement to accommodate the pumping station and all the required underground facilities, further widening of the waterfront promenade at the bottleneck is not achievable. To mitigate the bottleneck effect, a staircase is now proposed to connect the waterfront promenade and the open area above to provide an additional path to enhance pedestrian flow which will produce similar effect as the widening of the promenade. Please refer to Figure 2 which shows the location of the added staircase.</p> <p>iv) After liaising with Leisure and Cultural Services Department and Planning Department, we have proposed 6 trees</p>

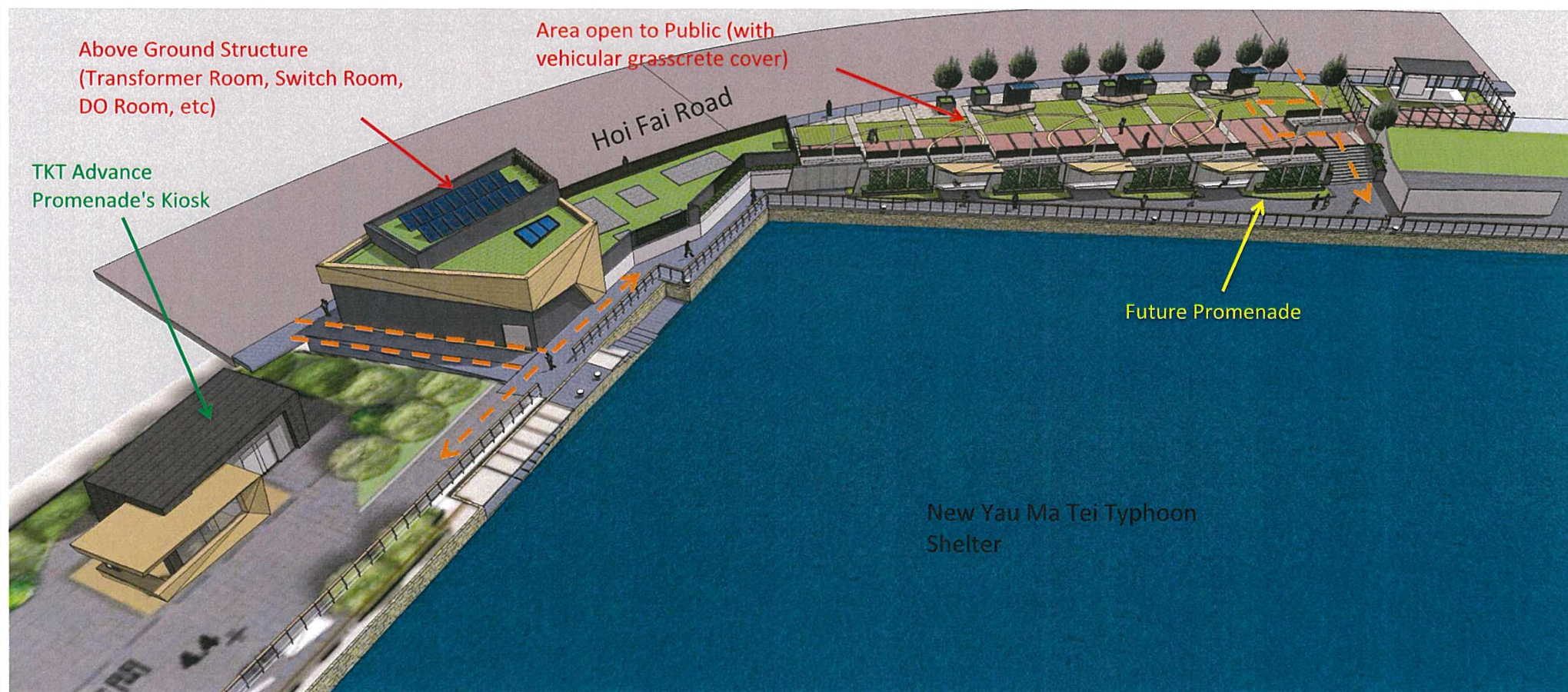
Comments	Responses
<p>v) <i>The overall design of the proposed development should be further revised to enhance visual openness at the site for public enjoyment.</i></p>	<p>at the southern side of the waterfront promenade which is relatively wider, in addition to the already proposed shelters, landscape area and vertical green walls to maximize greening and to enhance the landscape design. Please refer to Figure 3 for details.</p> <p>v) One of our overall design goals is to maximize the open space for public use and to minimize the above ground structure as far as possible. We have critically reviewed our design and we now proposed to further remove the fence wall which will enhance visual openness at the site for public enjoyment. We have already located most of our facilities underground except for the flood sensitive components of the pumping station, including the switch room, the dangerous goods room, the transformer room and the deodorizer room which have to be located above ground due to safety and other requirements. Approximately 90% of our site area is now open to public.</p>
<p>b) the submission and implementation of landscape and compensatory tree planting proposals to the satisfaction of the Director of Planning or of the TPB;</p> <p><i>Details comment extracted from the minutes:</i></p> <ul style="list-style-type: none"> - <i>The tree felling approved involves felling of 14 trees and provision of 4 compensatory trees. However, the planning statement states that the tree felling involves felling of 14 trees and provision of 11 compensatory trees, Revised tree felling application reflecting the correct number of compensatory trees should be submitted for approval.</i> 	<p>We will provide 17 compensatory trees under our project. We have added 13 compensatory trees in addition to our originally provided 4 compensatory trees to address an earlier request by Planning Department/ Landscape Unit. A revised tree felling application reflecting the revised number of compensatory trees would be submitted to the satisfaction of the Director of Planning and District Lands Office.</p>
<p>c) the design and provision of waterfront promenade, as proposed by you, to the satisfaction of the Director of Leisure and Cultural Services or of the TPB; and</p>	<p>Noted. The revised design would be submitted to the satisfaction of the Director of Leisure and Cultural Services.</p>

Comments	Responses
d) the submission and implementation of fire service installations and water supplies for firefighting to the satisfaction of the Director of Fire Services or of the TPB.	The general building plans (GBP) has been approved by the Director of Fire Services. The design of fire service installations and water supplies for firefighting would be submitted to the satisfaction of the Director of Fire Services upon completion of the fire services design.
The TPB also agreed to advise you of the following:	
a) to note the comments of the District Lands Officer/ Kowloon West, Lands Department that you are required to apply for a permanent government land allocation (PGLA) to cater for the proposed Dry Weather Flow Interceptor (DWFI). Such PGLA is subject to comments from relevant government departments upon circulation of the PGLA and the formal site survey by the District Survey Office/ Kowloon. There is no guarantee that such PGLA would be approved. Subject to your agreement with the Leisure and Cultural Services Department (LCSD) on how to delineate the Drainage Services Department's facilities and LCSD's promenade, separate PGLA to LCSD may be required to cover the promenade as appropriate. A small part of the proposed DWFI, which does not form part of the application, encroaches onto the adjacent temporary government land allocation allocated to the Marine Department (MD). You are requested to follow up such encroachment matter directly with MD. You are also requested to submit a revised tree felling application reflecting the correct number of compensatory trees to her office for approval;	<p>Noted and a PGLA would be applied at a later stage nearer to the completion of the project. Liaison about the encroachment was also carried out with MD. MD has agreed with our proposal to occupy a small part of the temporary government land allocated to MD and to return that portion of land for their use after completion of our project.</p> <p>A revised tree felling application reflecting the revised number of compensatory trees would be submitted to LCSD.</p>
b) to note the comments of the Director of Fire Services that detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans. Emergency vehicular access shall be provided in accordance with Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 which is administered by the Building Department;	Noted. General building plans has been approved by FSD.
c) to note the comments of the Director of Marine that if marine works, sea access and/	Noted. We will consult MD if marine works, sea access and/ or vessels are involved in

Comments	Responses
<p>or vessels are involved in connection with the construction of DWFI and other works, MD shall be consulted. Marine works shall not be carried out in the New Yau Ma Tei Typhoon Shelter without notification to and agreement by MD. The uses of the public landing steps near the proposed DWFI and the existing right of way shall not be affected;</p>	<p>connection with the construction of DWFI and other works. Our project will not affect the uses of the public landing steps near the proposed DWFI and the existing right of way.</p>
<p>d) to note the comments of the Director of Environmental Protection that you are reminded to obtain an environmental permit for the construction and operation of the designated project and follow the requirements of the Environmental Impact Assessment Ordinance in implementing the project; and</p>	<p>Noted. We will apply and obtain an environmental permit before the commencement of construction works and follow the requirements of the Environmental Impact Assessment Ordinance in implementing the project.</p>
<p>e) to note the comments of the Chief Architect/Central Management Division 2, Architectural Services Department that</p> <p>i) more greening should be provided on the facades of the proposed development to soften the building mass.</p> <p>ii) The fenced off area should be as minimal as practicable, the design of the proposed fence and the wall should be less rigid.</p> <p>iii) Hanging planters or climbers to soften the edge should be considered.</p>	<p>A meeting with Architectural Services Department (ArchSD) was held on 7 January 2016 and their comments were discussed. Our responses are presented as follows and in generally considered acceptable by ArchSD:</p> <p>i) Noted and more vertical greenings have been provided at the northern and western façade of the building to further soften the building mass. Please refer to Figure 4 for details.</p> <p>ii) The fence wall has been removed and the area will be opened to public. A railing 1.1m in height is proposed at the southern edge of original fence wall as a safety measure to prevent fall from height due to the level difference between the opened up area and the promenade. Removable planter with shrubs would also provide to improve the streetscape and amenity of vicinity. Please refer to Figure 1 showing the removal of the originally proposed fence wall and location of the safety railing.</p> <p>iii) The fence wall has been removed and hanging planters or climber is no longer required to soften the edge.</p>

Comments	Responses
<p>iv) You should consider setting back the fence from Hoi Fai Road to allow planting strip along the pavement.</p> <p>v) You shall consider widening the structures of the penstocks above ground. The disposition of the eight structures for the penstocks above ground appears fragmented. A continual layout with dynamic treatment may be considered.</p> <p>vi) To avoid blocking the harbour view, it is suggested to reduce the height of the feature walls of these structures. You shall consider enhancing the transparency of these feature walls.</p> <p>vii) To enhance the pedestrian flow between the promenade and the open space, additional access linking the two levels should be considered. Barrier free access connecting the promenade and the raised open space should be provided.</p> <p>viii) You should review the landscape design proposal and consider more grass covering on the open space.</p>	<p>iv) The fence wall has been removed and the area will be opened to public. Hence there is no need for a planting strip to soften the impact due to the fence wall. Also, there is inadequate space for a planting strip there as it would conflict with the maintenance of the underground facilities.</p> <p>v) As we mentioned in the meeting, the penstock locations are chosen to suit operation and maintenance needs and there is little room for realignment as the penstocks need to be seated above the existing box culvert underneath. Architectural features, including aluminum cladding and glazing and lighting features have been proposed at the aboveground section of the penstocks to enhance the appearance.</p> <p>vi) The fence wall has been removed and a railing 1.1m in height is proposed instead to enhance transparency. Please refer to Figure 1 for details.</p> <p>vii) An additional staircase is now proposed next to the pumping station to enhance pedestrian flow between the waterfront promenade and the open space at the higher level. Please refer to Figure 2. We have critically reviewed and found that it is not possible to provide a barrier free access within the site due to the limited site area. As pointed out in the meeting, the public can utilize the barrier free access at the adjacent Hoi Fai Road Promenade (Formally kwon as Tai Kok Tsui Advance Promenade in the application) which is only about 50m away from the staircase.</p> <p>viii) We have further reviewed the landscape design. Part of the open space is hard paved because they are manhole covers for providing access</p>

Comments	Responses
<p>ix) You should ensure coherent and compatible design with the promenade.</p> <p>x) You are reminded to submit the detailed design for Design Advisory Panel's comment in accordance with Environment, Transport and Works Bureau Technical Circular (Works) No. 8/2005.</p>	<p>to maintain the underground drainage box culvert. Heavy vehicles would also travel along the hard paved areas and hence more grass covering cannot be provided.</p> <p>ix) The site is already designed to be compatible with the adjacent Hoi Fai Road Promenade (Formally known as Tai Kok Tsui Advance Promenade in the application) (See Figure 4). For example, the building form and colour tone of the pumping station and the architectural features on the penstocks have been designed to match with the adjacent Hoi Fai Road Promenade.</p> <p>x) We have submitted the detailed design for Design Advisory Panel's (DAP) comment on 11 September 2015, We had addressed DAP's comments and DAP advised via memo ref. ASD18/92051/TEC/DAP dated 22 September 2015 that they had no comment on our design.</p>



— — — ➤ Access to Future Promenade

View Looking Southeast (Original Design)

Project

Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction

香港特別行政區政府渠務署
THE GOVERNMENT OF THE
HONG KONG
SPECIAL ADMINISTRATIVE REGION
DRAINAGE SERVICES DEPARTMENT

Title

Proposed Landscape and Aesthetic Design

Figure

App-A1 rev1

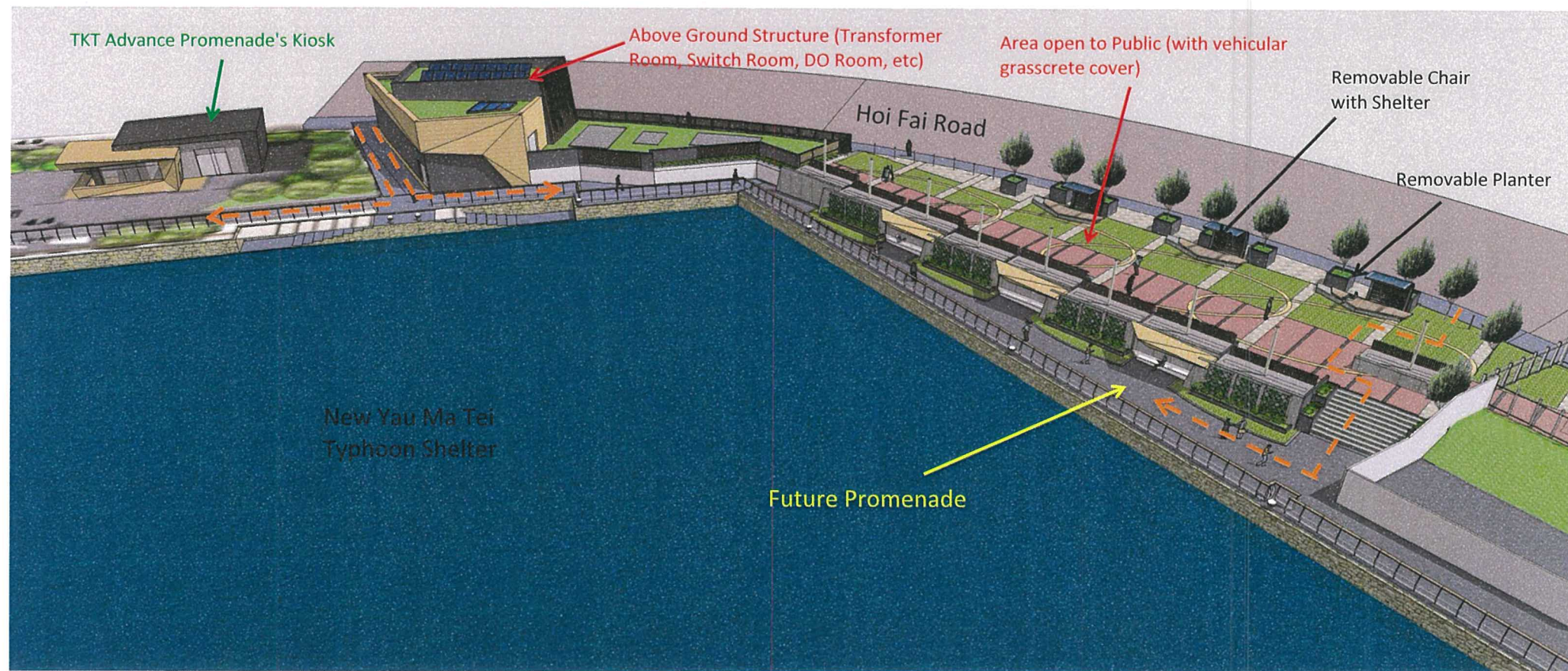
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Checked

GC

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Access to Future Promenade

View Looking Northeast

(Original Design)

Project

Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction



香港特別行政區政府渠務署
THE GOVERNMENT OF THE
HONG KONG
SPECIAL ADMINISTRATIVE REGION
DRAINAGE SERVICES DEPARTMENT

Title

Proposed Landscape and Aesthetic Design

Figure

App-A2 rev1

Prepared

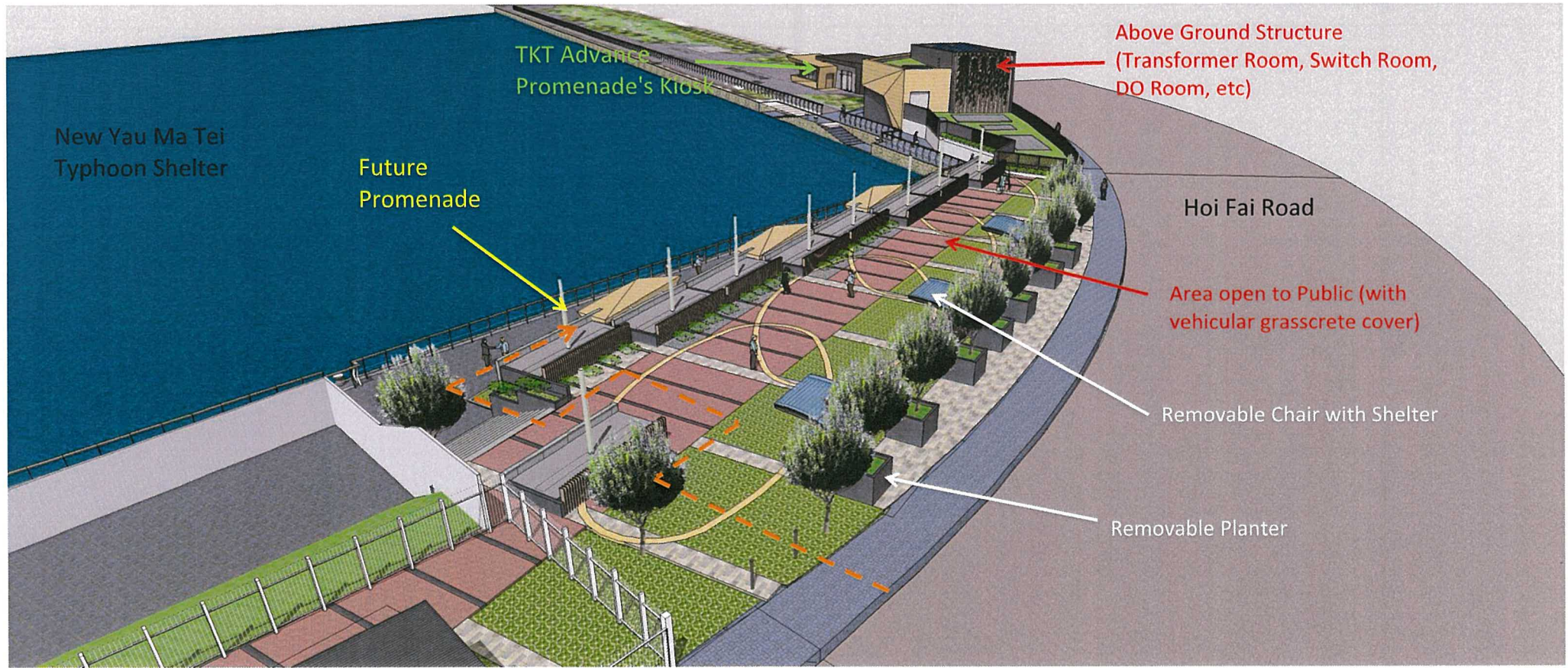
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Access to Future Promenade

View Looking Northwest (Original Design)

Project

Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction



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THE GOVERNMENT OF THE
HONG KONG
SPECIAL ADMINISTRATIVE REGION
DRAINAGE SERVICES DEPARTMENT

Title

Proposed Landscape and Aesthetic Design

Figure

App-A3 rev1

Prepared

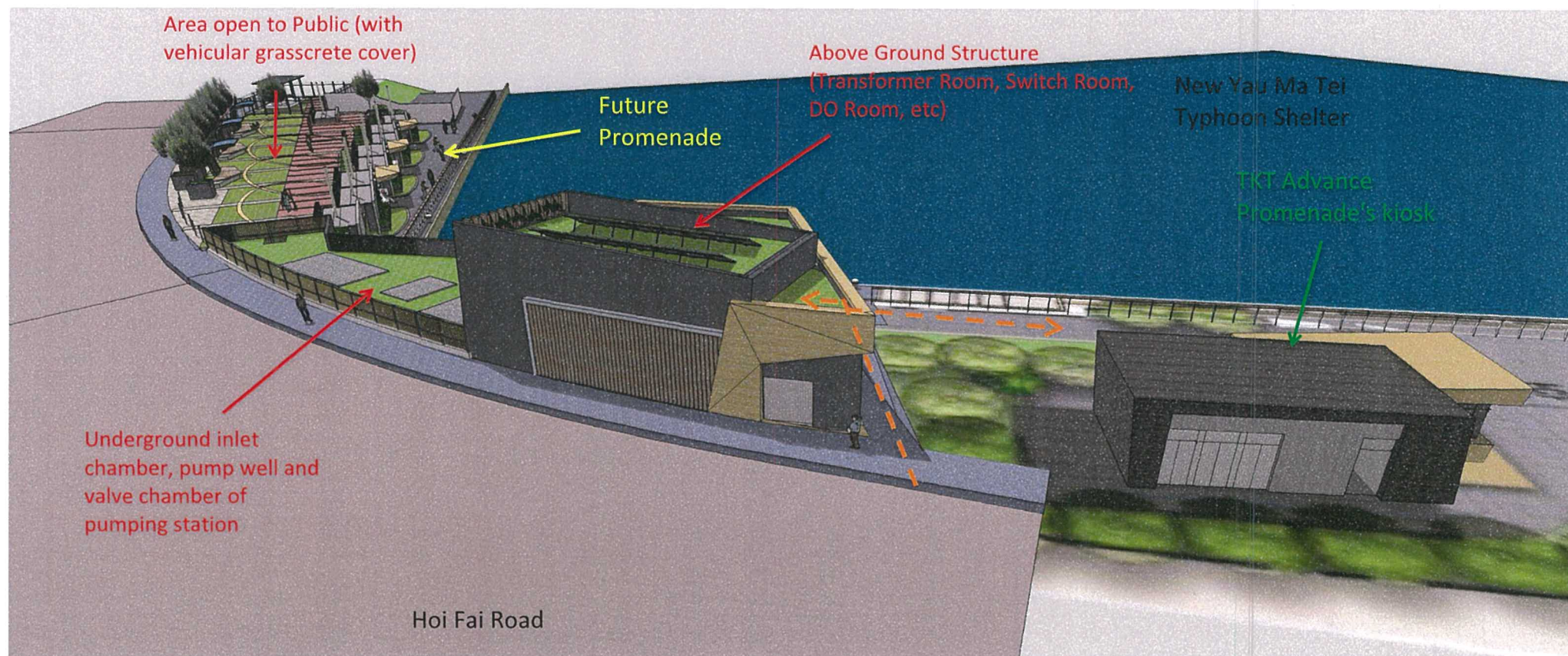
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Access to Future Promenade

View Looking Southwest

(Original Design)

Project

Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction

Title

Proposed Landscape and Aesthetic Design

Figure
App-A4 rev1

Prepared

CC

Checked

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DRAINAGE SERVICES DEPARTMENT



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Drainage Services Department
Consultants Management Division
42/F, Revenue Tower, 5 Gloucester Road,
Wan Chai, Hong Kong

渠務署
顧問工程管理部
香港灣仔告士打道5號
稅務大樓42樓

來函檔號 Your Ref: TPB/A/K20/126

本署檔號 Our Ref: () in DSD CM 8/CE1201/29 Pt.

電話 Tel: (852) 2594 7292

傳真 Fax: (852) 2827 8526

16 August 2016

Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong
(Attn : Mr Raymond KAN)

Dear Sirs,

**Proposed Public Utility Installation (Dry Weather Flow Interceptor)
in "Open Space" zone and area shown as "Road",
government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon**

Further to our letter ref. DSD CM 8/CE1201/29 dated 15 July 2016 submitting the revised design of our proposed development for consideration and acceptance by the Town Planning Board, we are pleased to provide supplementary information and revised drawings to address comments received from various Government departments to further enhance the design.

2. We would like to highlight our changes to the revised design submitted on 15 July 2016 below for your easy reference:

- i. Shrubs will be planted at the promenade to improve the appearance of the planters.
- ii. Now that the fence wall has been removed, benches with shelters and removable planters with shrubs are added along the railings at the open space above the underground pumping station for public enjoyment. As the covers there would have to be opened frequently for accessing the underground facilities and for carrying out regular maintenance works, no shrub planting, seating, shelters could be provided above these covers.
- iii. In the original design, the fenced off area above the underground pumping station except the concrete manhole covers was intended to be turfed. After design review, we consider that covering the area with grasscrete would be more appropriate to fit operation and maintenance needs. As this area would be subjected to frequent opening of the manhole covers (about 3 times per week) and heavy loading of the maintenance vehicles, grasscrete would be more durable to withstand the loading of maintenance vehicles and facilitate future operation and maintenance works in that area. Moreover, it could blend in better with the open area to the south after removal of the fence wall. Nonetheless, we have replaced the concrete

manhole covers with grasscrete manhole cover to increase the grass cover area.

3. We would also like to provide the following supplementary information about our revised design:

- i. We propose to add 6 trees on removable planters along the southern end of the promenade to address Planning Department's request to maximize tree planting opportunities along the promenade. Green walls would also be provided at the planters where additional trees were added along the waterfront promenade. The planter boxes will be designed to enhance visual appearance matching with the environment.
- ii. All tree planter boxes would be semi-sunken to reduce the height to 0.75m above ground level to look less massive while also complying with the required soil depth of 1.2m.
- iii. After removing the fence wall at the pumping station, there is no more fenced off area. 90% of site would be opened to the public for enjoyment.
- iv. A plan showing the revised design is attached as a supplement to the perspective views previously provided. The proposed revisions are shown in red for easy reference.
- v. We confirm that there is no change to the scope and scale of the proposed DWFI and sewage pumping station. The revised design mainly addressed the concerns raised by the Town Planning Board and the revisions are highlighted in the figures submitted. We are fully aware of the requirement and we will obtain an environmental permit prior to the commencement of our construction contract.

4. We have updated and attached with this letter the table summarizing the comments by the Town Planning Board and our response, the layout plan and the landscaping design plan.

5. We have also provided figures of the original design in our Section 16 application approved with conditions by the Town Planning Board on 16 November 2015 and figures highlighting our latest design revisions as Annex A for your easy reference.

Yours faithfully,



(Raymond K F SEIT)

for Chief Engineer/Consultants Management
Drainage Services Department

Encl.

PWP Item no. 4380DS
Consultation of Dry Weather Flow Interceptor at
Cherry Street Box Culvert and Other Works
Town Planning Board Section 16 Submission

Responses to Comments

Letter ref. TPB/A/K20/126 from Secretary, Town Planning Board dated 6 November 2015

Comments	Responses
<p><i>General Comments</i></p> <p>After giving consideration to the application, the Town Planning Board (the TPB) approved the application for permission under Section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid until 23.10.2019; and after the said date, the permission shall cease to have effect unless before the said date either the development hereby permitted is commenced or the permission is renewed. The permission is subject to the following conditions:</p>	
<p>a) the submission of a revised design of the proposed development to the satisfaction of the TPB;</p> <p><i>Detailed comment extracted from the minutes of the TPB meeting:</i></p> <p><i>TPB members' are concerned about the following issues:</i></p> <p>i) <i>Information about the height of fence wall;</i></p> <p>ii) <i>If the area above the underground pumping station could be open to the public;</i></p>	<p>We will submit a revised design of the proposed development to the satisfaction of the TPB addressing all the concerns raised.</p> <p>i) Please be advised that the fence wall has been removed in the revised design to provide more open space for public use. As there is a level difference between the opened up space and the waterfront promenade, a railing 1.1m in height is proposed at the southern edge to replace the original fence wall as a safety measure to prevent fall from height. Please refer to the attached Figure 1 showing the removal of the fence wall and the location of the safety railing.</p> <p>ii) Please note that the underground pumping station includes an inlet chamber, a pump well and a valve</p>

Comments	Responses
<p>iii) <i>The promenade should be widen, especially at the bottleneck with a width of only 3m, the fence wall should be considered to set back;</i></p> <p>iv) <i>More tree planting along the waterfront promenade should be provided; and</i></p>	<p>chamber, and the area above the underground pumping station was originally proposed to be fenced off for safety, operation and maintenance reasons. To maintain the underground pumping station, DSD needs to carry out maintenance works and screenings removal by trucks about 2~3 times per week by opening the covers there. To address TPB members' concerns, we now propose to also open up the area to the public in our latest design. The fence wall will be removed but the area above the underground pumping station will be fenced off during screenings removal and maintenance works for safety reasons. A removable planter with shrubs would also be provided to improve the streetscape and amenity of vicinity. Please refer to Figure 1 for details.</p> <p>iii) Please be advised that the average width of the waterfront promenade has been widened from the previously proposed 3.5m to 5.5m after consulting the "Task Force on Harbourfront Developments in Kowloon, Tsuen Wan and Kwai Tsing". Upon receiving your comments, we have again critically reviewed the design. Due to the site constraint and space requirement to accommodate the pumping station and all the required underground facilities, further widening of the waterfront promenade at the bottleneck is not achievable. To mitigate the bottleneck effect, a staircase is now proposed to connect the waterfront promenade and the open area above to provide an additional path to enhance pedestrian flow which will produce similar effect as the widening of the promenade. Please refer to Figure 2 which shows the location of the added staircase.</p> <p>iv) After liaising with Leisure and Cultural Services Department and Planning Department, we have proposed 6 trees</p>

Comments	Responses
<p>v) <i>The overall design of the proposed development should be further revised to enhance visual openness at the site for public enjoyment.</i></p>	<p>at the southern side of the waterfront promenade which is relatively wider, in addition to the already proposed shelters, landscape area and vertical green walls to maximize greening and to enhance the landscape design. Please refer to Figure 3 for details.</p> <p>v) One of our overall design goals is to maximize the open space for public use and to minimize the above ground structure as far as possible. We have critically reviewed our design and we now proposed to further remove the fence wall which will enhance visual openness at the site for public enjoyment. We have already located most of our facilities underground except for the flood sensitive components of the pumping station, including the switch room, the dangerous goods room, the transformer room and the deodorizer room which have to be located above ground due to safety and other requirements. Approximately 90% of our site area is now open to public.</p>
<p>b) the submission and implementation of landscape and compensatory tree planting proposals to the satisfaction of the Director of Planning or of the TPB;</p> <p><i>Details comment extracted from the minutes:</i></p> <ul style="list-style-type: none"> - <i>The tree felling approved involves felling of 14 trees and provision of 4 compensatory trees. However, the planning statement states that the tree felling involves felling of 14 trees and provision of 11 compensatory trees, Revised tree felling application reflecting the correct number of compensatory tress should be submitted for approval.</i> 	<p>We will provide 17 compensatory trees under our project. We have added 13 compensatory trees in addition to our originally provided 4 compensatory trees to address an earlier request by Planning Department/ Landscape Unit. A revised tree felling application reflecting the revised number of compensatory trees would be submitted to the satisfaction of the Director of Planning and District Lands Office.</p>
<p>c) the design and provision of waterfront promenade, as proposed by you, to the satisfaction of the Director of Leisure and Cultural Services or of the TPB; and</p>	<p>Noted. The revised design would be submitted to the satisfaction of the Director of Leisure and Cultural Services.</p>

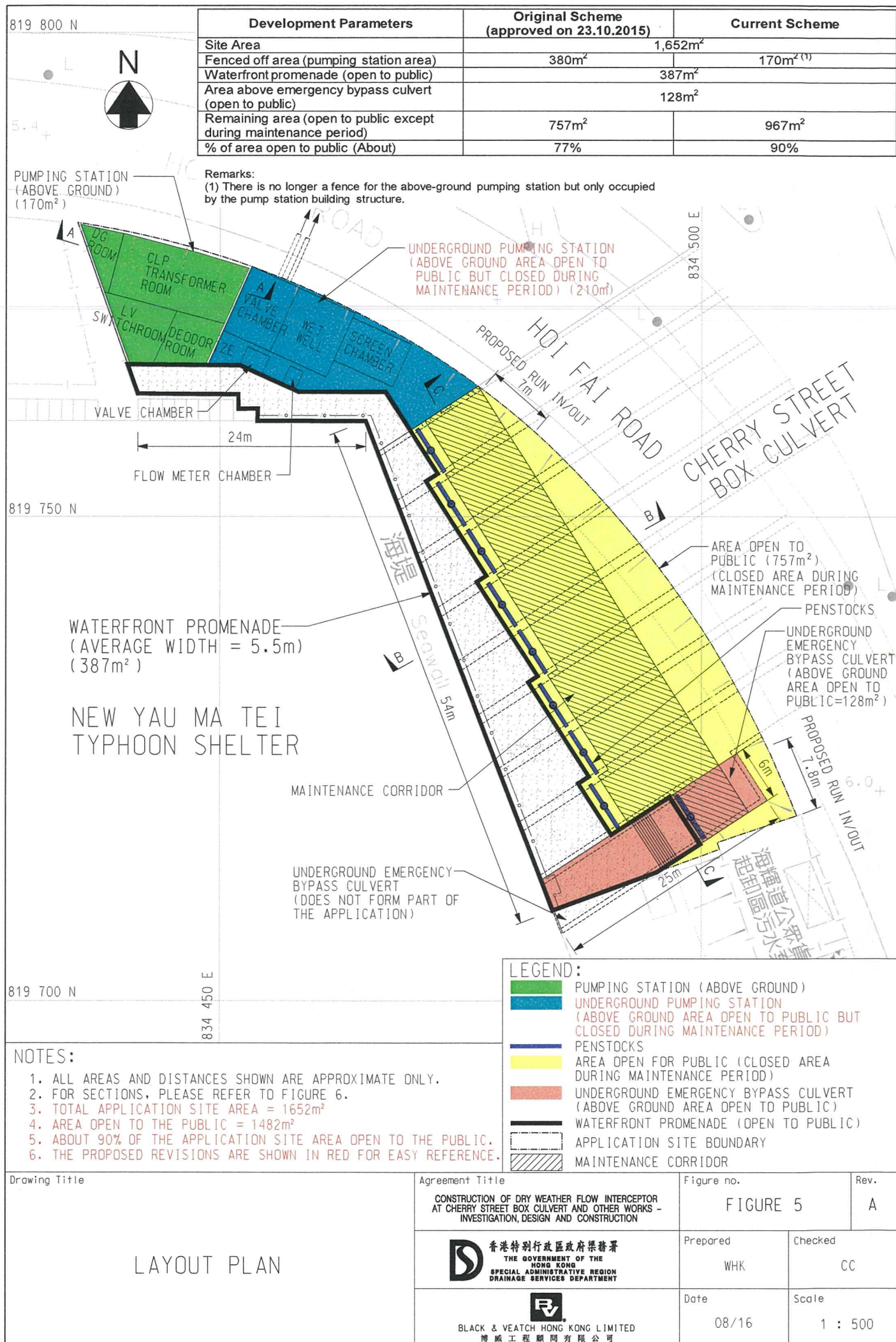
Comments	Responses
d) the submission and implementation of fire service installations and water supplies for firefighting to the satisfaction of the Director of Fire Services or of the TPB.	The general building plans (GBP) has been approved by the Director of Fire Services. The design of fire service installations and water supplies for firefighting would be submitted to the satisfaction of the Director of Fire Services upon completion of the fire services design.
The TPB also agreed to advise you of the following:	
a) to note the comments of the District Lands Officer/ Kowloon West, Lands Department that you are required to apply for a permanent government land allocation (PGLA) to cater for the proposed Dry Weather Flow Interceptor (DWFI). Such PGLA is subject to comments from relevant government departments upon circulation of the PGLA and the formal site survey by the District Survey Office/ Kowloon. There is no guarantee that such PGLA would be approved. Subject to your agreement with the Leisure and Cultural Services Department (LCSD) on how to delineate the Drainage Services Department's facilities and LCSD's promenade, separate PGLA to LCSD may be required to cover the promenade as appropriate. A small part of the proposed DWFI, which does not form part of the application, encroaches onto the adjacent temporary government land allocation allocated to the Marine Department (MD). You are requested to follow up such encroachment matter directly with MD. You are also requested to submit a revised tree felling application reflecting the correct number of compensatory trees to her office for approval;	<p>Noted and a PGLA would be applied at a later stage nearer to the completion of the project. Liaison about the encroachment was also carried out with MD. MD has agreed with our proposal to occupy a small part of the temporary government land allocated to MD and to return that portion of land for their use after completion of our project.</p> <p>A revised tree felling application reflecting the revised number of compensatory trees would be submitted to LCSD.</p>
b) to note the comments of the Director of Fire Services that detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans. Emergency vehicular access shall be provided in accordance with Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 which is administered by the Building Department;	Noted. General building plans has been approved by FSD.
c) to note the comments of the Director of Marine that if marine works, sea access and/	Noted. We will consult MD if marine works, sea access and/ or vessels are involved in

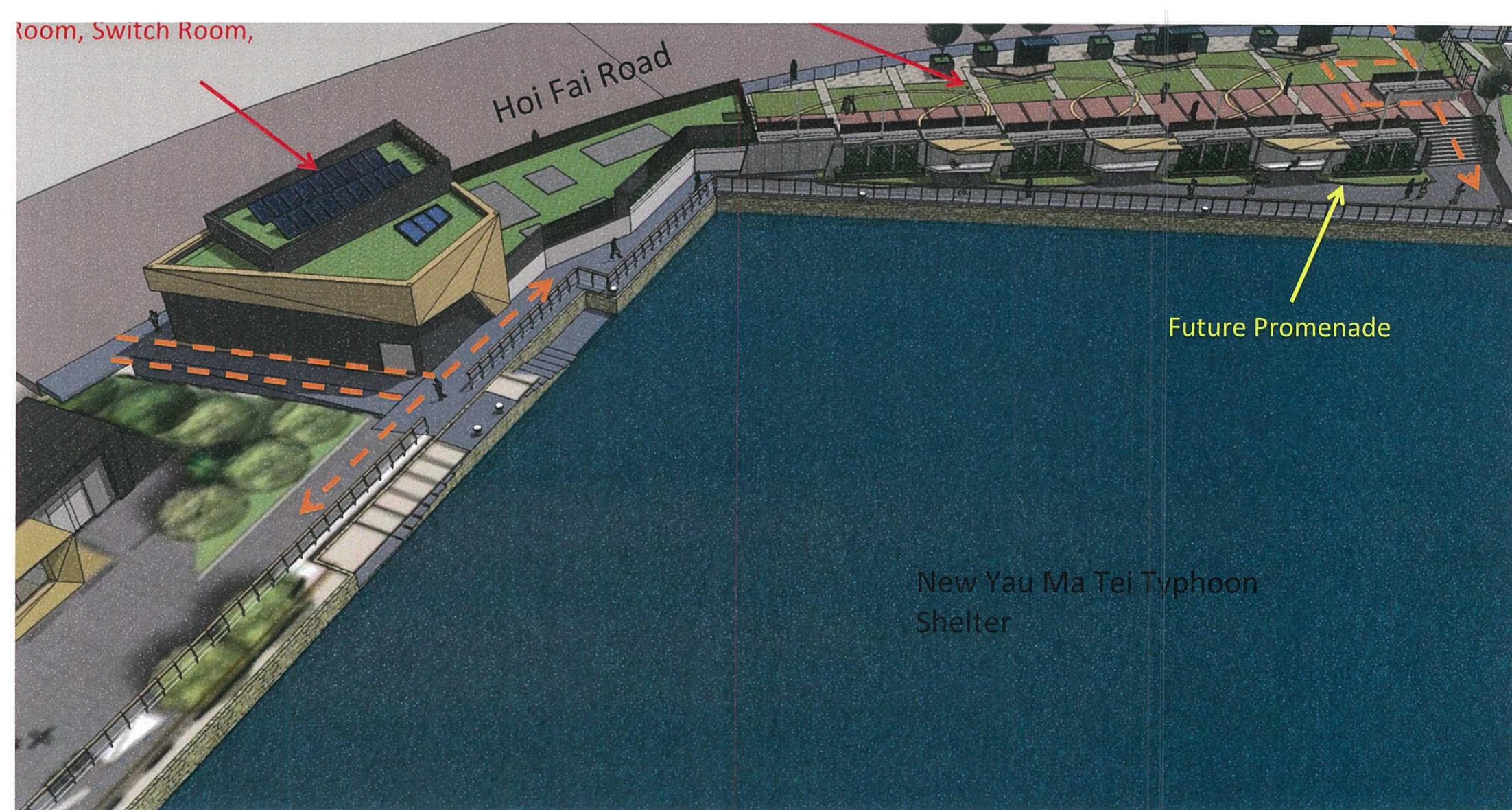
Comments	Responses
<p>or vessels are involved in connection with the construction of DWFI and other works, MD shall be consulted. Marine works shall not be carried out in the New Yau Ma Tei Typhoon Shelter without notification to and agreement by MD. The uses of the public landing steps near the proposed DWFI and the existing right of way shall not be affected;</p>	<p>connection with the construction of DWFI and other works. Our project will not affect the uses of the public landing steps near the proposed DWFI and the existing right of way.</p>
<p>d) to note the comments of the Director of Environmental Protection that you are reminded to obtain an environmental permit for the construction and operation of the designated project and follow the requirements of the Environmental Impact Assessment Ordinance in implementing the project; and</p>	<p>Noted. We will apply and obtain an environmental permit before the commencement of construction works and follow the requirements of the Environmental Impact Assessment Ordinance in implementing the project.</p>
<p>e) to note the comments of the Chief Architect/Central Management Division 2, Architectural Services Department that</p> <p>i) more greening should be provided on the facades of the proposed development to soften the building mass.</p> <p>ii) The fenced off area should be as minimal as practicable, the design of the proposed fence and the wall should be less rigid.</p> <p>iii) Hanging planters or climbers to soften the edge should be considered.</p>	<p>A meeting with Architectural Services Department (ArchSD) was held on 7 January 2016 and their comments were discussed. Our responses are presented as follows and are considered acceptable in general by ArchSD:</p> <p>i) Noted and more vertical greenings have been provided at the northern and western façade of the building to further soften the building mass. Please refer to Figure 4 for details.</p> <p>ii) The fence wall has been removed and the area will be opened to public. A railing 1.1m in height is proposed at the southern edge of original fence wall as a safety measure to prevent fall from height due to the level difference between the opened up area and the promenade. Removable planter with shrubs would also be provided to improve the streetscape and amenity in the vicinity. Please refer to Figure 1 showing the removal of the originally proposed fence wall and location of the safety railing.</p> <p>iii) The fence wall has been removed and hanging planters or climber is no longer required to soften the edge.</p>

Comments	Responses
<p>iv) You should consider setting back the fence from Hoi Fai Road to allow planting strip along the pavement.</p> <p>v) You shall consider widening the structures of the penstocks above ground. The disposition of the eight structures for the penstocks above ground appears fragmented. A continual layout with dynamic treatment may be considered.</p> <p>vi) To avoid blocking the harbour view, it is suggested to reduce the height of the feature walls of these structures. You shall consider enhancing the transparency of these feature walls.</p> <p>vii) To enhance the pedestrian flow between the promenade and the open space, additional access linking the two levels should be considered. Barrier free access connecting the promenade and the raised open space should be provided.</p> <p>viii) You should review the landscape design proposal and consider more grass covering on the open space.</p>	<p>iv) The fence wall has been removed and the area will be opened to public. Removable planter with shrubs would also be provided to improve the streetscape and amenity in the vicinity.</p> <p>v) As we mentioned in the meeting, the penstock locations are chosen to suit operation and maintenance needs and there is little room for realignment as the penstocks need to be seated above the existing box culvert underneath. Architectural features, including aluminum cladding and glazing and lighting features have been proposed at the aboveground section of the penstocks to enhance the appearance.</p> <p>vi) The fence wall has been removed and a railing 1.1m in height is proposed instead to enhance transparency. Please refer to Figure 1 for details.</p> <p>vii) An additional staircase is now proposed next to the pumping station to enhance pedestrian flow between the waterfront promenade and the open space at the higher level. Please refer to Figure 2. We have critically reviewed and found that it is not possible to provide a barrier free access within the site due to the limited site area. As pointed out in the meeting, the public can utilize the barrier free access at the adjacent Hoi Fai Road Promenade (Formally known as Tai Kok Tsui Advance Promenade in the application) which is only about 50m away from the staircase.</p> <p>viii) We have further reviewed the landscape design. Part of the open space is hard paved because they are manhole covers for providing access</p>

Comments	Responses
<p>ix) You should ensure coherent and compatible design with the promenade.</p> <p>x) You are reminded to submit the detailed design for Design Advisory Panel's comment in accordance with Environment, Transport and Works Bureau Technical Circular (Works) No.</p>	<p>to maintain the underground drainage box culvert. Heavy vehicles would also travel along the hard paved areas. In the original design, the fenced off area above the underground pumping station except for the concrete manhole covers was intended to be turfed. After design review, we consider that covering the area with grasscrete would be more appropriate to fit the operation and maintenance needs. As this area would be subjected to frequent opening of the manhole covers (about 3 times per week) and heavy loading of the maintenance vehicles, grasscrete would be more durable to withstand the loading of maintenance vehicles and facilitate future operation and maintenance works in that area. Moreover, it could blend in better with the open area to the south after removal of the fence wall. Nonetheless, we have replaced the concrete manhole covers with grasscrete manhole cover to increase the grass cover area above the underground pumping station.</p> <p>ix) The site is already designed to be compatible with the adjacent Hoi Fai Road Promenade (Formally known as Tai Kok Tsui Advance Promenade in the application) (See Figure 4). For example, the building form and colour tone of the pumping station and the architectural features on the penstocks have been designed to match with the adjacent Hoi Fai Road Promenade.</p> <p>x) We have submitted the detailed design for Design Advisory Panel's (DAP) comment on 11 September 2015. We had addressed DAP's comments and DAP advised via memo ref. ASD18/92051/TEC/DAP dated</p>

Comments	Responses
8/2005.	<p>22 September 2015 that they had no comment on our design. As the currently proposed design revisions to address TPB' s comments mainly involve additional soft landscape such as trees, planters and green wall, and there is no change in the design of the aboveground structure as well as the overall aesthetic design concept of the site such as the materials used and the color theme, we consider that a resubmission to the DAP is not necessary.</p>

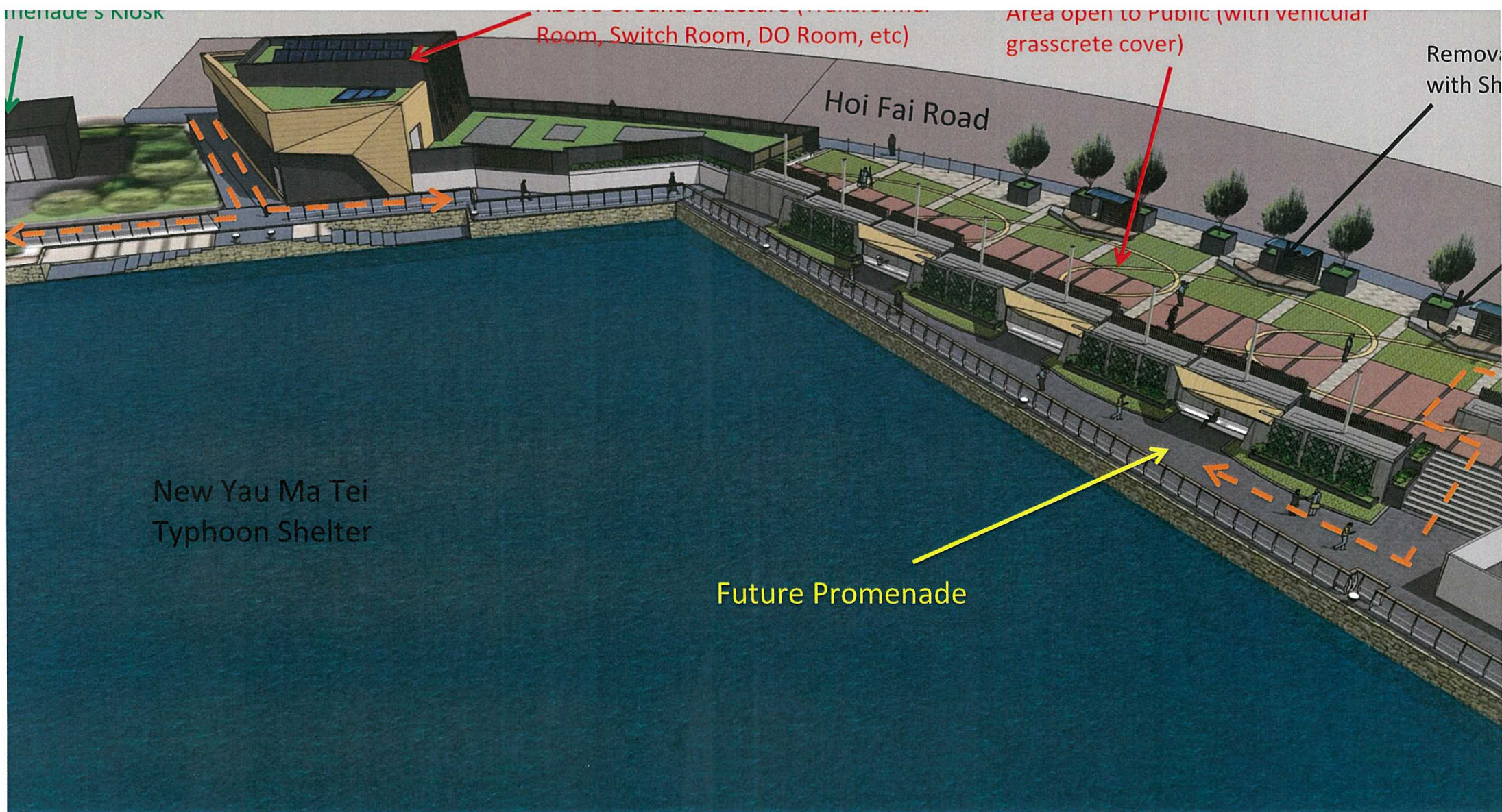




o Future Promenade

View Looking Southeast

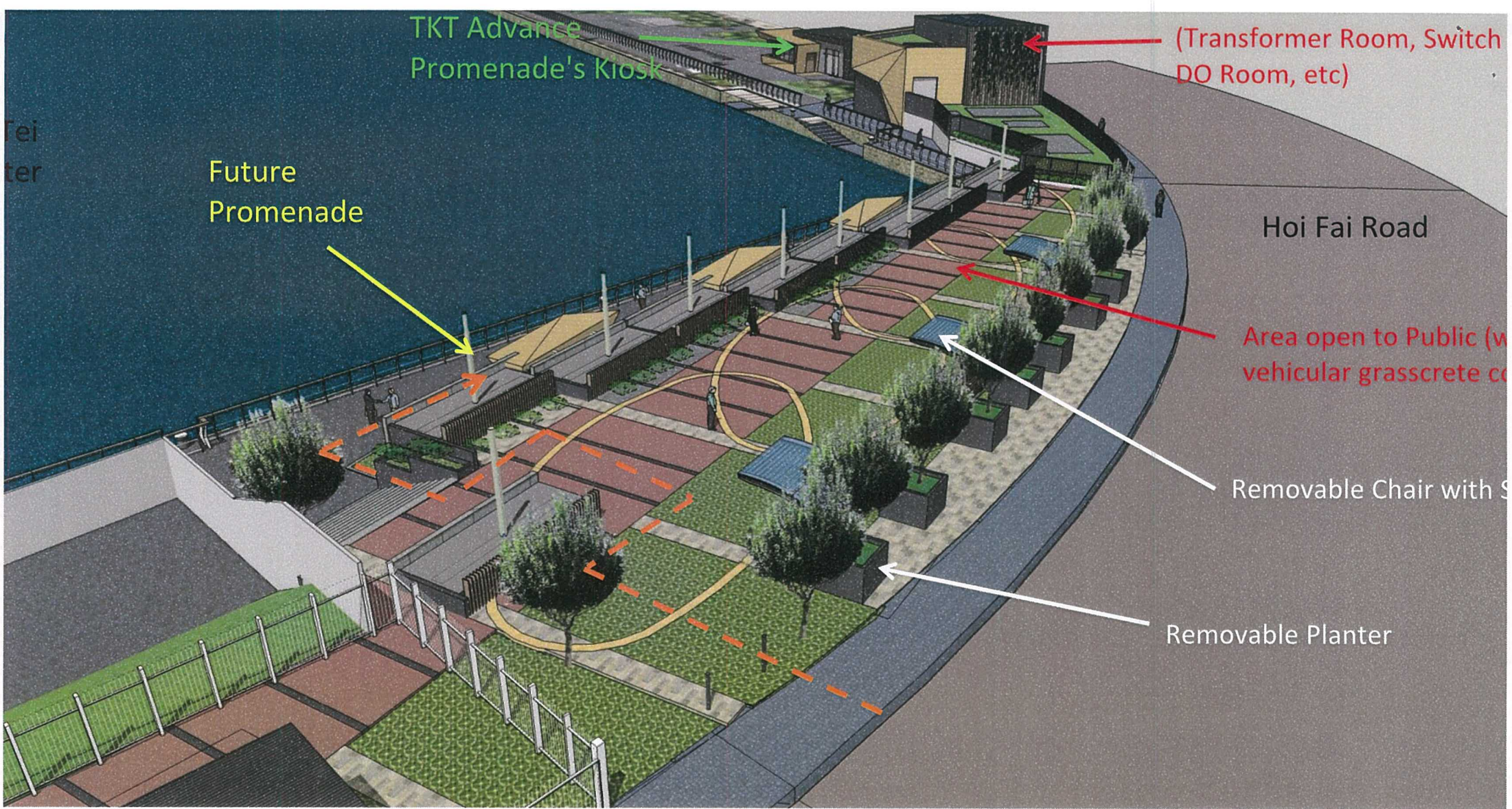
(Original Design)



Access to Future Promenade

View Looking Northeast

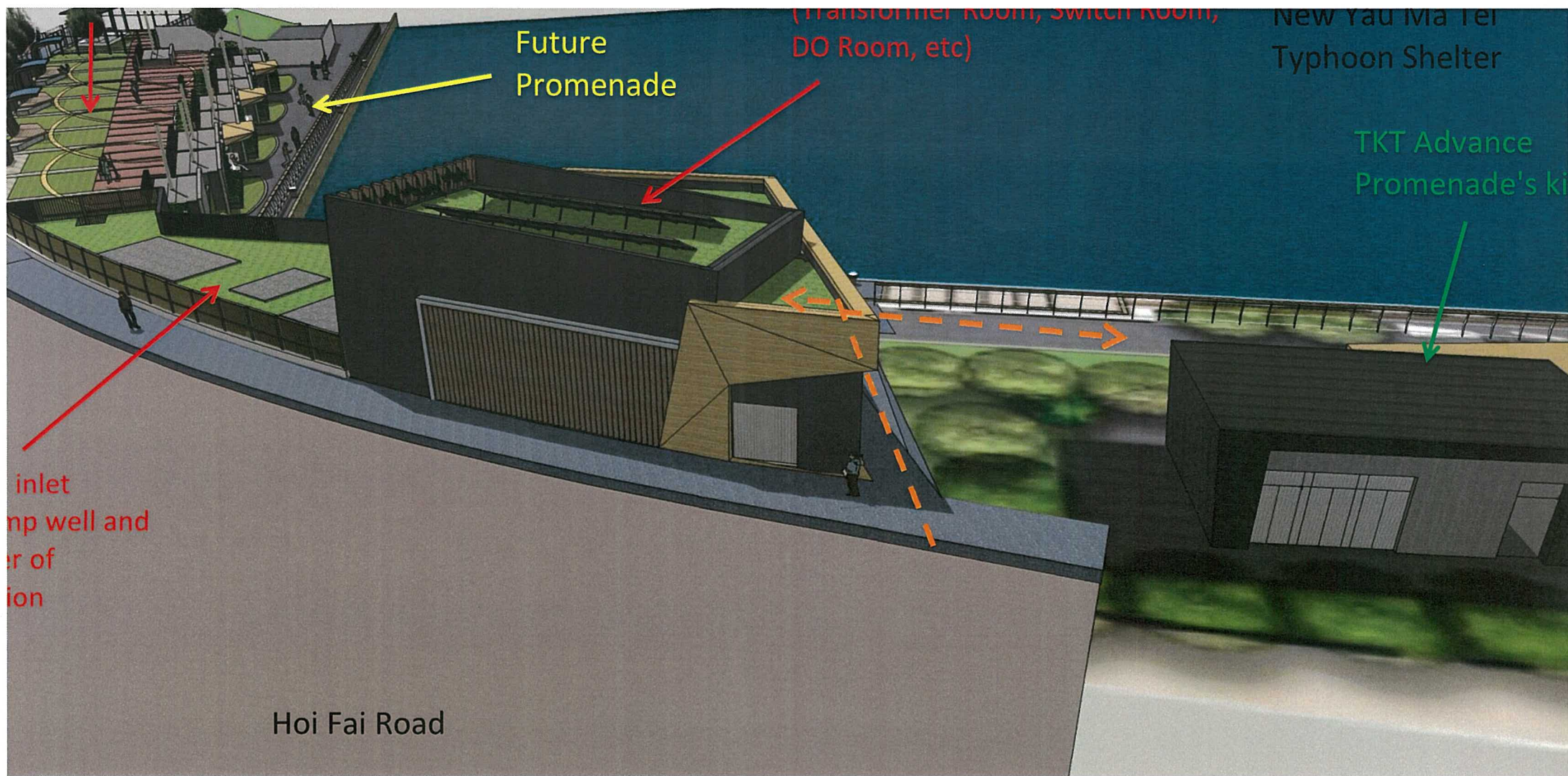
(Original Design)



Access to Future Promenade

View Looking Northwest

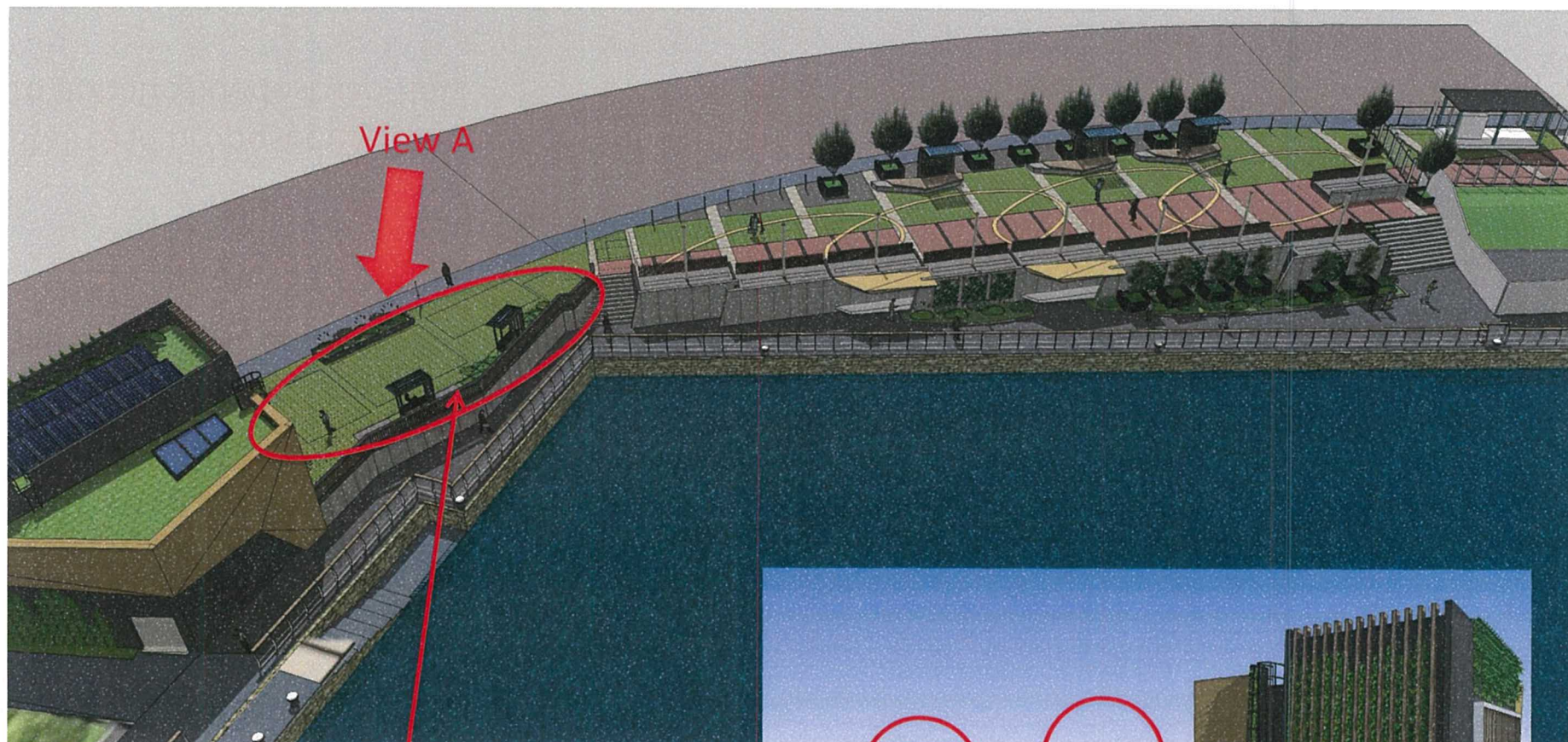
(Original Design)



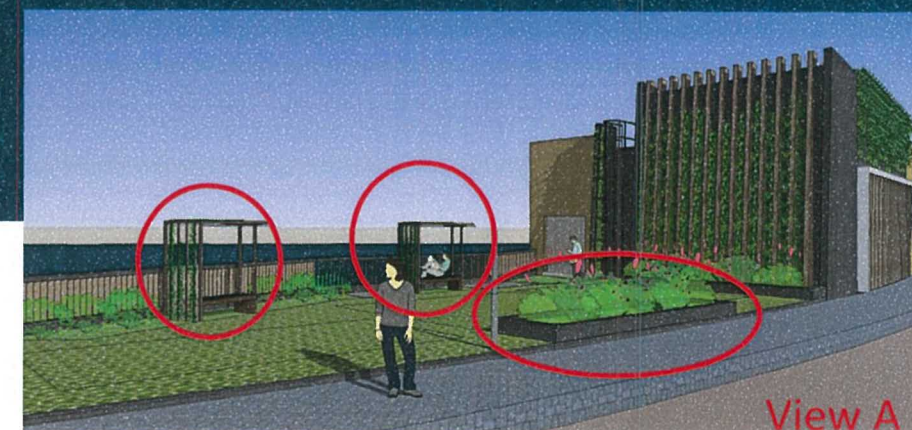
Access to Future Promenade

View Looking Southwest

(Original Design)



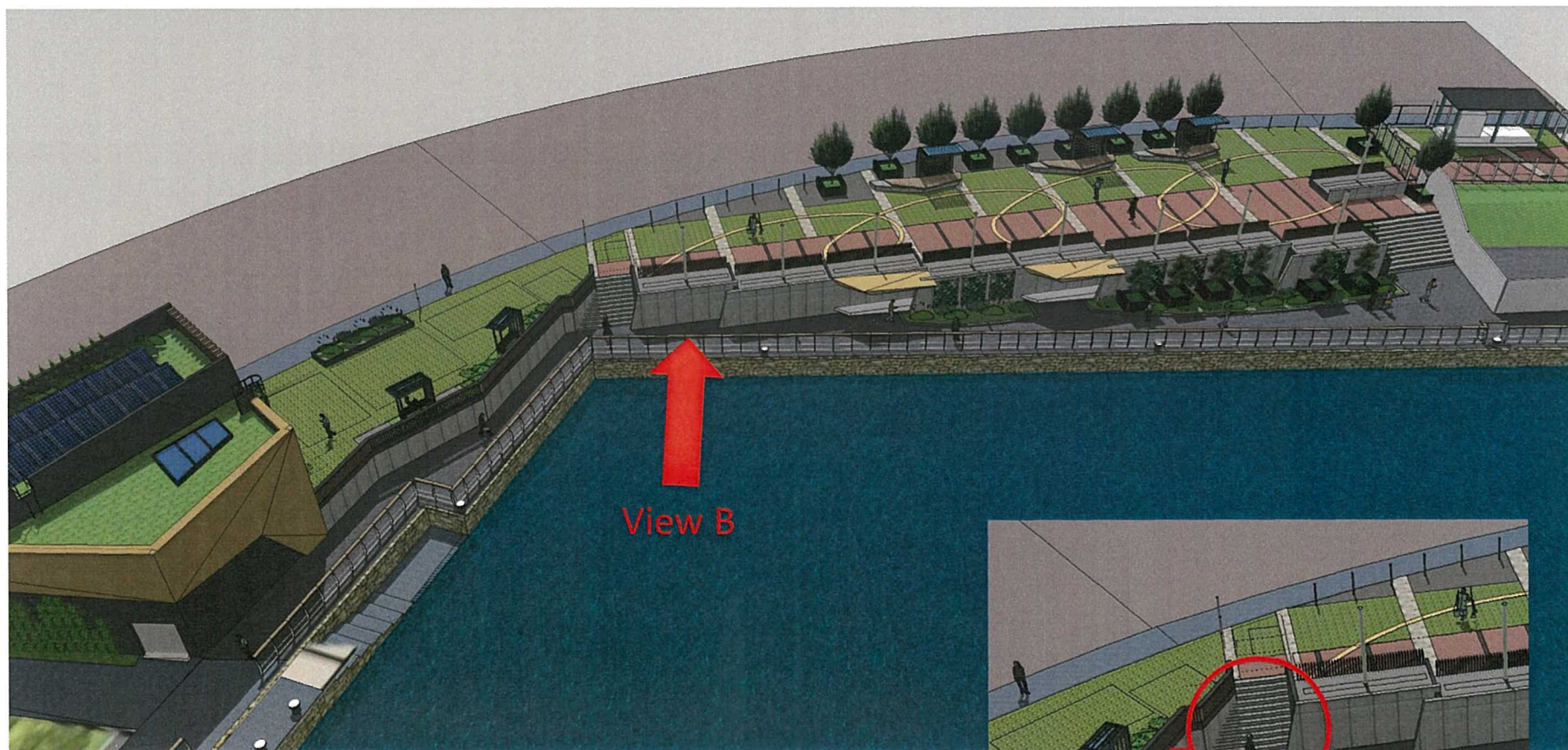
Fence wall removed to enhance visual openness and for public enjoyment



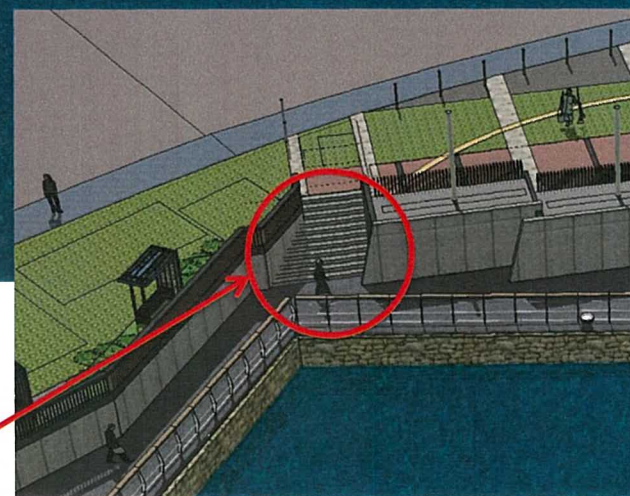
Removable planter with shrubs and benches with shelter added to improve the streetscape and amenity of the vicinity

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 1 (Revised Design)



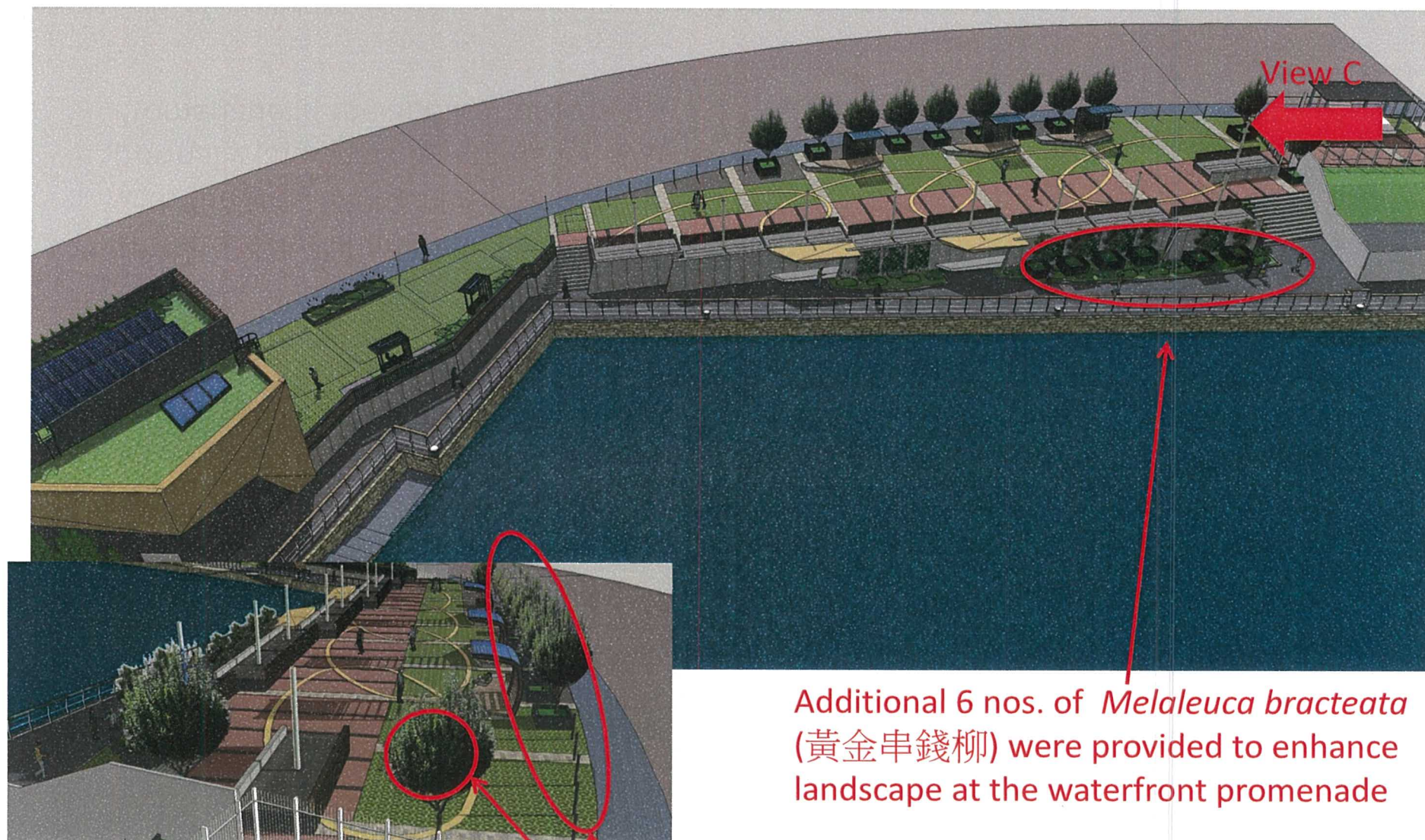
Staircase proposed to provide additional path
to enhance pedestrian flow



View B

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 2 (Revised Design)



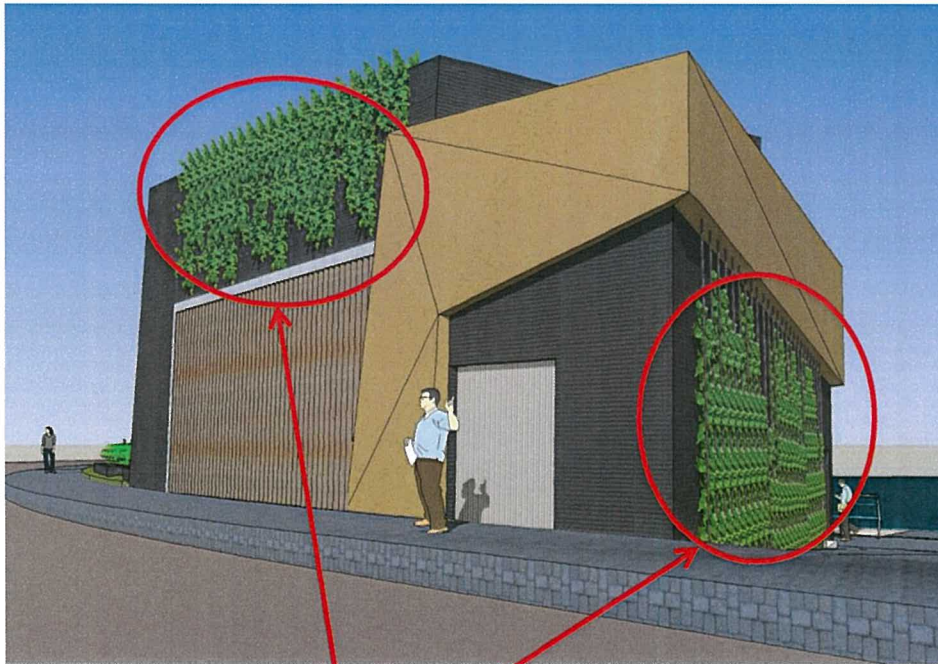
View C

Additional 6 nos. of *Melaleuca bracteata* (黃金串錢柳) were provided to enhance landscape at the waterfront promenade

Height of tree planters lowered to reduce bulkiness and enhance visual openness

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 3 (Revised Design)



Vertical greening is added on the northern and western façade of the building

The site is designed to be compatible with the Hoi Fai Road Promenade (formally known as Tai Kok Tsui Advance Promenade in the application).



Kiosk at Hoi Fai Road Promenade

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in “Open Space” zone and area shown as ‘Road’, government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 4 (Revised Design)

A/K20/126 Proposed Public Utility Installation (Dry Weather Flow Interceptor) in
 “Open Space” zone and area shown as ‘Road’, government land, Hoi Fai
 Road, Tai Kok Tsui, West Kowloon

 (MPC Paper No. A/K20/126)

Presentation and Question Sessions

18. With the aid of a PowerPoint presentation, Ms Michelle M.S. Yuen, STP/TWK, presented the application and covered the following aspects as detailed in the Paper :

- (a) background to the application;
- (b) the proposed public utility installation (Dry Weather Flow Interceptor) (DWFI);
- (c) departmental comments – departmental comments were set out in paragraph 8 of the Paper and highlighted as follows:
 - (i) the Director of Leisure and Cultural Services had no adverse comment on the application as there was no plan or programme to develop the site as public open space;
 - (ii) the Chief Town Planner/Urban Design & Landscape, Planning Department (PlanD) had no in-principle objection to the application and commented that there was inadequate information to demonstrate that the felled trees would be properly compensated in terms of quantity and quality, and on the landscape treatment along the waterfront promenade; and
 - (iii) the Chief Architect/Central Management Division 2, Architectural Services Department (ArchSD) commented that more greening should be provided on the facades to soften the building mass; the fenced off area should be as minimal as practicable; the design of the proposed fence and the wall should be less rigid; the applicant should consider setting back the fence from Hoi Fai Road to allow a

planting strip along the pavement; the waterfront promenade appeared narrow, in particular the area in front of the pumping station and the fenced off area and the applicant should consider widening the promenade as far as practicable; and barrier free access connecting the promenade and the raised open space should be provided; and

- (d) the Task Force of the Harbourfront Commission was briefed about the project in January and May 2013. The Task Force recognised the need for the proposed DWFI and the revised scheme presented in May 2013 had shown improvement with a widened waterfront promenade as compared to the previous scheme presented in January 2013;
- (e) during the first three weeks of the statutory publication period, two public comments were received. Designing Hong Kong Limited supported the application while a local resident suggested that a different location should be considered, and if the proposed development had to take place at the harbourfront, it should be designed as unobstructive as possible; and
- (f) PlanD's views – PlanD had no objection to the application based on the assessments set out in paragraph 11 of the Paper. The site fell within an area zoned "Open Space" ("O") on the Approved South West Kowloon Outline Zoning Plan (OZP). There was a surplus of planned local and district open spaces. The applicant proposed to fence off only 380m² for the pumping station, while the waterfront promenade with an average width of 5.5m (covering an area of about 387m²) within the site and the remaining area (of about 885m²) outside the fenced off area would be open for public enjoyment. The impact on the open space provision would be minimal. The proposed pumping station was of a small scale and of one storey and would not have significant visual impact on the surrounding area. To address the departmental comments on landscaping and tree compensation, and the waterfront promenade, relevant approval conditions were suggested. The proposed development was not envisaged to have significant adverse impacts on the environmental, fire safety and traffic

aspects. Permission was already granted by the Environmental Protection Department to the applicant to apply directly for an Environmental Permit under the Environmental Impact Assessment Ordinance (EIAO) for the construction and operation of the pumping station. On the public comment on the siting of the proposed structure in relation to the shoreline, an approval condition on the design and provision of waterfront promenade was suggested.

19. In response to the Chairman's questions, Ms Michelle M.S. Yuen, STP/TWK, said that the fenced-off area covered an area of about 380m² in the northern part of the site mainly for a single-storey transformer room of about 6.5m above ground level and an underground pumping station. The applicant had not provided any information on the height of the fence wall. The proposed waterfront promenade, which would be open to the public at all times, had an average width of 5.5m with a width ranging from 3m to 8m. The design and construction of the waterfront promenade would be carried out by the applicant and managed by the Leisure and Cultural Services Department (LCSD). The Drainage Services Department (DSD) and LCSD were still discussing on the maintenance aspect. The remaining area would be landscaped and open to the public except during the maintenance period of 1.5 to 2 months each year.

20. In response to a Member's question on how the concerns of ArchSD on the proposed development could be addressed, Ms Michelle M.S. Yuen, STP/TWK, said that the concerns on greening and landscape, the width of the waterfront promenade and the access connecting the waterfront promenade and the raised open space could be addressed by the suggested approval conditions on the submission and implementation of landscape and compensatory tree planting proposals, and the design and provision of waterfront promenade.

21. On another Member's question regarding the comprehensive design of the harbourfront area, Ms Michelle M.S. Yuen said that the area to the south of the site was mainly for a marine refuse collection point and a Marine Department Harbour Patrol Office, and there was a public cargo working area to the further south. There was no programme to relocate the public cargo handling facility from the area. However, the proposed waterfront promenade could be connected to the existing open space to the north. Although the proposed pumping station would take up part of the land zoned "O", the applicant had

proposed to construct the waterfront promenade as part of the project for enjoyment of the public. In that regard, the impact of the proposed development on the provision of open space in the area would be kept to the minimal.

22. The Vice-chairman asked whether there were similar stormwater drainage facilities in other parts of the territory, Ms Michelle M.S. Yuen said that there was no similar stormwater drainage facility in the area covered by the same OZP, but in other areas of Hong Kong where the pumping stations were next to box culverts for operational purpose, their scale and footprint were comparable to those of the subject application.

23. A Member expressed concern on whether the proposed development would have any impact on the planning of the waterfront promenade, particularly when the proposed development would create a bottleneck with a width of only 3m at part of the waterfront promenade. The Chairman said that the long-term planning of the harbourfront of Victoria Harbour was to provide waterfront facilities for recreational enjoyment of the public. Opportunities would be taken to relocate some existing uses so that the waterfront area could be developed for recreational uses, such as the case in Kwun Tong. Some uses, such as the applied use, had to be located at the waterfront for operational reason. However, careful consideration of the design of those uses should be given to minimising the impacts on the waterfront area.

24. In response to a Member's question, Ms Michelle M.S. Yuen, STP/TWK, said that there was a level difference of about 2 m between the proposed pumping station and the waterfront promenade.

Deliberation Session

25. The Chairman expressed concerns that the fence wall around the proposed pumping station might create an imposing effect, particularly in the section where the waterfront promenade was only 3m wide, and queried why part of the proposed pumping station would have to be permanently fenced off. Members noted that part of the proposed pumping station would be placed underground and PlanD could further liaise with DSD on whether the area could be open to the public. The Chairman said that consideration should be given to reducing the permanent fencing as far as possible to ensure visual openness and

facilitate pedestrian movement.

26. A Member said that to avoid creating bottleneck situation in the waterfront promenade, the underground pumping facilities could be decked over and the above-ground pumping facilities could also be placed underground so that the decked over area could be converted to form part of the waterfront promenade for public enjoyment. Another Member was concerned about the safety aspect as the transformer room, if placed underground, might be subject to tidal flooding. Members noted that according to the applicant, the flood sensitive facilities could also be put underground but would require a much larger space. The subject development was required to be submitted to the Design Advisory Panel in accordance with the Environmental, Transport and Works Bureau Technical Circular (Works) No. 8/2005. The requirement for such submission had been included in the advisory clause.

27. A Member asked if some facilities of the proposed pumping station could be shifted northwards to release more space for the waterfront promenade. The Chairman said that the applicant had already gone through the site selection process and it was not expected that there would be much scope to relocate the pumping station. In response to another Member's suggestion to extend the width of the waterfront promenade by building a boardwalk overhanging the Victoria Harbour, the Chairman said that the proposal might have an implication under the Protection of the Harbour Ordinance.

28. A Member said that the public cargo working area had posed a land use compatibility problem to the nearby residential developments, and suggested that should the application be approved, an approval condition requiring the applicant to widen the promenade should be included, instead of a requirement under the advisory clause.

29. A Member expressed concerns on the lack of tree planting along the waterfront promenade and suggested that an approval condition should be included to require the applicant to provide more tree planting along the waterfront promenade, which was concurred with by another Member.

[Mr Clarence W.C. Leung arrived to join the meeting at this point.]

30. The Chairman concluded that Members generally had no objection to the

proposed development at the subject site. He said that the suggested approval condition on landscaping and compensatory tree planting should have largely addressed Members' concerns on tree planting; and the suggested approval condition on the design and provision of waterfront promenade could largely address the concerns on the width of the promenade. In view of Members' concerns on the overall design of the proposed development which could be further revised to enhance visual openness at the site for public enjoyment, Members agreed that an approval condition should be added requiring the applicant to submit a revised design for consideration by the Committee.

31. After further deliberation, the Committee decided to approve the application, on the terms of the application as submitted to the Town Planning Board (TPB). The permission should be valid until 23.10.2019, and after the said date, the permission should cease to have effect unless before the said date, the development permitted was commenced or the permission was renewed. The permission was subject to the following conditions :

- “(a) the submission of a revised design of the proposed development to the satisfaction of the TPB;
- (b) the submission and implementation of landscape and compensatory tree planting proposals to the satisfaction of the Director of Planning or of the TPB;
- (c) the design and provision of waterfront promenade, as proposed by the applicant, to the satisfaction of the Director of Leisure and Cultural Services or of the TPB; and
- (d) the submission and implementation of fire service installations and water supplies for fire fighting to the satisfaction of the Director of Fire Services or of the TPB.”

32. The Committee also agreed to advise the applicant of the following :

- “(a) to note the comments of the District Lands Officer/Kowloon West, Lands Department that the applicant is required to apply for a permanent government land allocation (PGLA) to cater for the proposed Dry

Weather Flow Interceptor (DWFI). Such PGLA is subject to comments from relevant government departments upon circulation of the PGLA and the formal site survey by the District Survey Office/Kowloon. There is no guarantee that such PGLA would be approved. Subject to the applicant's agreement with the Leisure and Cultural Services Department (LCSD) on how to delineate the Drainage Services Department's facilities and LCSD's promenade, separate PGLA to LCSD may be required to cover the promenade as appropriate. A small part of the proposed DWFI, which does not form part of the application, encroaches onto the adjacent temporary government land allocation allocated to the Marine Department (MD). The applicant is requested to follow up such encroachment matter directly with MD. The applicant is also requested to submit a revised tree felling application reflecting the correct number of compensatory trees to her office for approval;

- (b) to note the comments of the Director of Fire Services that detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans. Emergency vehicular access shall be provided in accordance with Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 which is administered by the Buildings Department;
- (c) to note the comments of the Director of Marine that if marine works, sea access and/or vessels are involved in connection with the construction of DWFI and other works, MD shall be consulted. Marine works shall not be carried out in the New Yau Ma Tei Typhoon Shelter without notification to and agreement by MD. The uses of the public landing steps near the proposed DWFI and the existing right of way shall not be affected;
- (d) to note the comments of the Director of Environmental Protection that the applicant is reminded to obtain an environmental permit for the construction and operation of the designated project and follow the

requirements of the Environmental Impact Assessment Ordinance in implementing the project; and

- (e) to note the comments of the Chief Architect/Central Management Division 2, Architectural Services Department that more greening should be provided on the façades of the proposed development to soften the building mass. The fenced off area should be as minimal as practicable, the design of the proposed fence and the wall should be less rigid. Hanging planters or climbers to soften the edge should be considered. The applicant should consider setting back the fence from Hoi Fai Road to allow planting strip along the pavement. The applicant shall consider widening the promenade as far as practicable, e.g. to minimise and set back the structures of the penstocks above ground. The disposition of the eight structures for the penstocks above ground appears fragmented. A continual layout with dynamic treatment may be considered. To avoid blocking the harbour view, it is suggested to reduce the height of the feature walls of these structures. The applicant shall consider enhancing the transparency of these feature walls. To enhance the pedestrian flow between the promenade and the open space, additional access linking the two levels should be considered. Barrier free access connecting the promenade and the raised open space should be provided. The applicant should review the landscape design proposal and consider more grass covering on the open space. The applicant should ensure coherent and compatible design with the promenade. The applicant is reminded to submit the detailed design for Design Advisory Panel's comment in accordance with Environment, Transport and Works Bureau Technical Circular (Works) No. 8/2005.”

[The Chairman thanked Ms Michelle M.S. Yuen, STP/TWK, for her attendance to answer Members' enquiries. Ms Yuen left the meeting at this point.]

[Ms Fannie F.L. Hung, Senior Town Planner/Tsuen Wan and West Kowloon (STP/TWK), was invited to the meeting at this point.]

城市規劃委員會

香港北角渣華道三百三十三號
北角政府合署十五樓

TOWN PLANNING BOARD

15/F., North Point Government Offices
333 Java Road, North Point,
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

電 話 Tel: 2231 4810

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/K20/126

By Registered Post & Fax (28278526)

6 November 2015

Drainage Services Department,
the Government of the Hong Kong Special Administrative Region
42/F, Revenue Tower
5 Gloucester Road
Wan Chai, Hong Kong
(Attn: Raymond K. F. Seit)

Dear Sir/Madam,

**Proposed Public Utility Installation (Dry Weather Flow
Interceptor) in "Open Space" zone and area shown as 'Road',
government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon**

I refer to my letter to you dated 19.10.2015.

After giving consideration to the application, the Town Planning Board (the TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid until 23.10.2019; and after the said date, the permission shall cease to have effect unless before the said date either the development hereby permitted is commenced or the permission is renewed. The permission is subject to the following conditions :

- (a) the submission of a revised design of the proposed development to the satisfaction of the TPB;
- (b) the submission and implementation of landscape and compensatory tree planting proposals to the satisfaction of the Director of Planning or of the TPB;
- (c) the design and provision of waterfront promenade, as proposed by you, to the satisfaction of the Director of Leisure and Cultural Services or of the TPB; and
- (d) the submission and implementation of fire service installations and water supplies for fire fighting to the satisfaction of the Director of Fire Services or of the TPB.

The TPB also agreed to advise you of the following :

- (a) to note the comments of the District Lands Officer/Kowloon West, Lands Department that you are required to apply for a permanent government land allocation (PGLA) to cater for the proposed Dry Weather Flow Interceptor (DWFI). Such PGLA is subject to comments from relevant government departments upon circulation of the PGLA and the formal site survey by the District Survey Office/Kowloon. There is no guarantee that such PGLA would be approved. Subject to your agreement with the Leisure and Cultural Services Department (LCSD) on how to delineate

the Drainage Services Department's facilities and LCSD's promenade, separate PGLA to LCSD may be required to cover the promenade as appropriate. A small part of the proposed DWFI, which does not form part of the application, encroaches onto the adjacent temporary government land allocation allocated to the Marine Department (MD). You are requested to follow up such encroachment matter directly with MD. You are also requested to submit a revised tree falling application reflecting the correct number of compensatory trees to her office for approval;

- (b) to note the comments of the Director of Fire Services that detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans. Emergency vehicular access shall be provided in accordance with Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011 which is administered by the Buildings Department;
- (c) to note the comments of the Director of Marine that if marine works, sea access and/or vessels are involved in connection with the construction of DWFI and other works, MD shall be consulted. Marine works shall not be carried out in the New Yau Ma Tei Typhoon Shelter without notification to and agreement by MD. The uses of the public landing steps near the proposed DWFI and the existing right of way shall not be affected;
- (d) to note the comments of the Director of Environmental Protection that you are reminded to obtain an environmental permit for the construction and operation of the designated project and follow the requirements of the Environmental Impact Assessment Ordinance in implementing the project; and
- (e) to note the comments of the Chief Architect/Central Management Division 2, Architectural Services Department that more greening should be provided on the façades of the proposed development to soften the building mass. The fenced off area should be as minimal as practicable, the design of the proposed fence and the wall should be less rigid. Hanging planters or climbers to soften the edge should be considered. You should consider setting back the fence from Hoi Fai Road to allow planting strip along the pavement. You shall consider widening the promenade as far as practicable, e.g. to minimise and set back the structures of the penstocks above ground. The disposition of the eight structures for the penstocks above ground appears fragmented. A continual layout with dynamic treatment may be considered. To avoid blocking the harbour view, it is suggested to reduce the height of the feature walls of these structures. You shall consider enhancing the transparency of these feature walls. To enhance the pedestrian flow between the promenade and the open space, additional access linking the two levels should be considered. Barrier free access connecting the promenade and the raised open space should be provided. You should review the landscape design proposal and consider more grass covering on the open space. You should ensure coherent and compatible design with the promenade. You are reminded to submit the detailed design for Design Advisory Panel's comment in accordance with Environment, Transport and Works Bureau Technical Circular (Works) No. 8/2005.

If you wish to seek an extension of the validity of this permission, you may submit an application to the TPB for renewal of the permission no less than six weeks before its expiry. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for renewal of permission

if the time limit for commencement of development specified in the permission has already expired at the time of consideration by the TPB. Please refer to the TPB Guidelines No. 35B and 36A for details. The Guidelines and application forms are available at the TPB's website (www.info.gov.hk/tpb/), the Planning Enquiry Counters (PECs) of the Planning Department (Hotline : 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

For amendments to the approved scheme that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36A for details.

A copy of the TPB Paper in respect of the application (except the supplementary planning statement/technical report(s), if any) and the relevant extract of minutes of the TPB meeting held on 23.10.2015 are enclosed herewith for your reference.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform me within 21 days from the date of this letter (on or before 27.11.2015). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

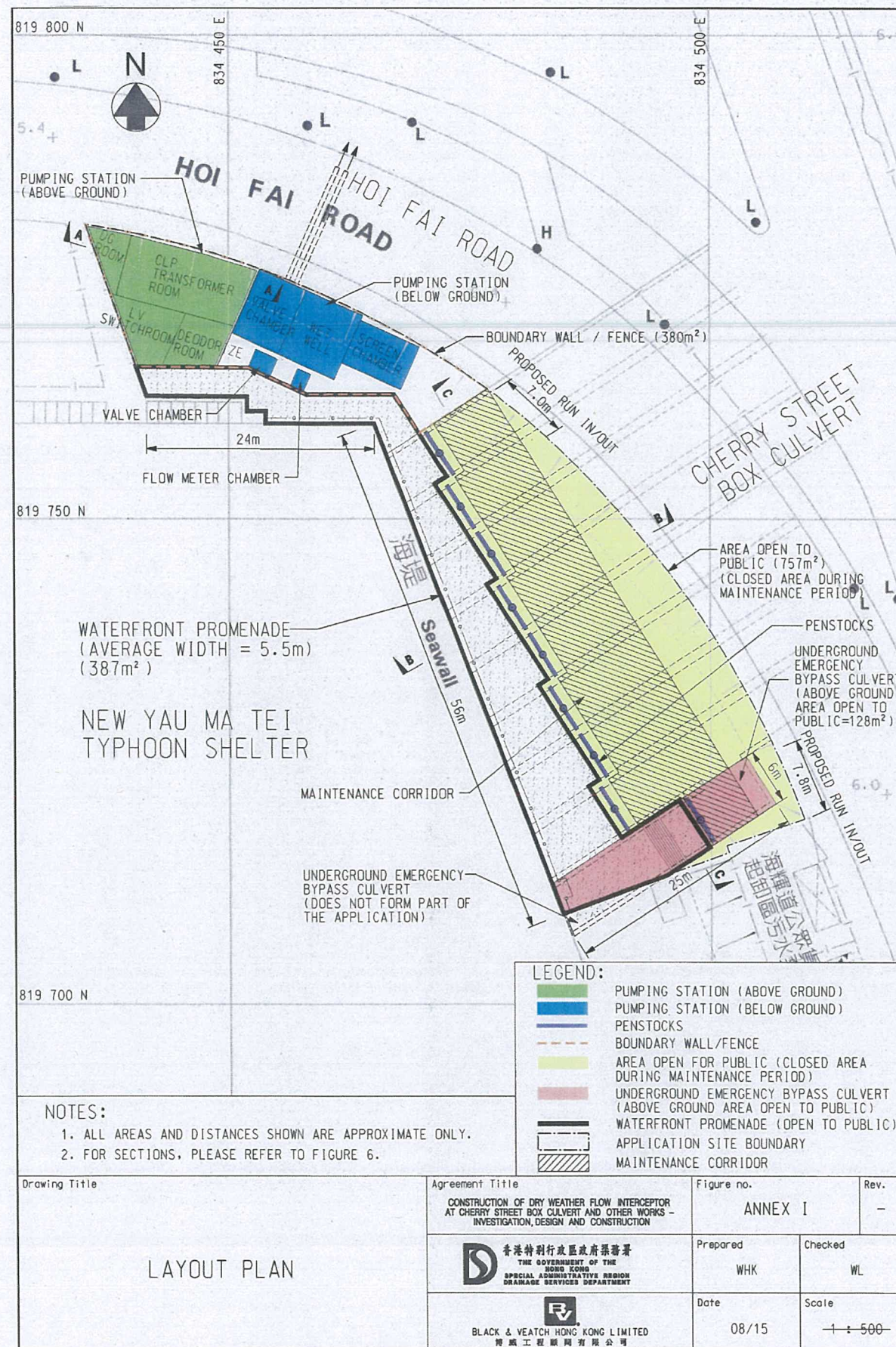
This permission by the TPB under section 16 of the Town Planning Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Ms. Michelle Yuen of Tsuen Wan and West Kowloon District Planning Office at 2417 6257.

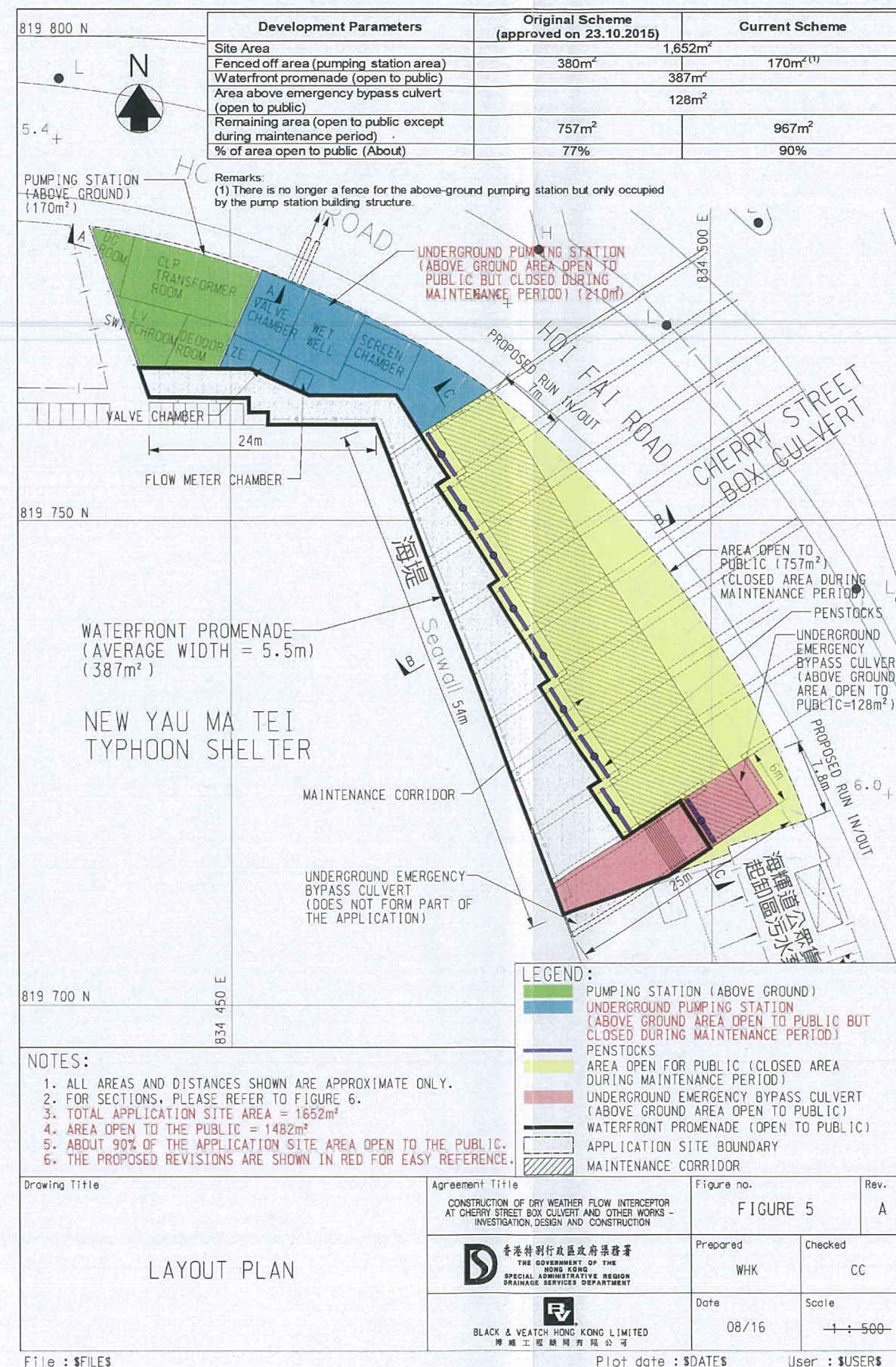
Yours faithfully,



(Raymond KAN)
for Secretary, Town Planning Board



核准計劃
APPROVED SCHEME
(A/K20/126)

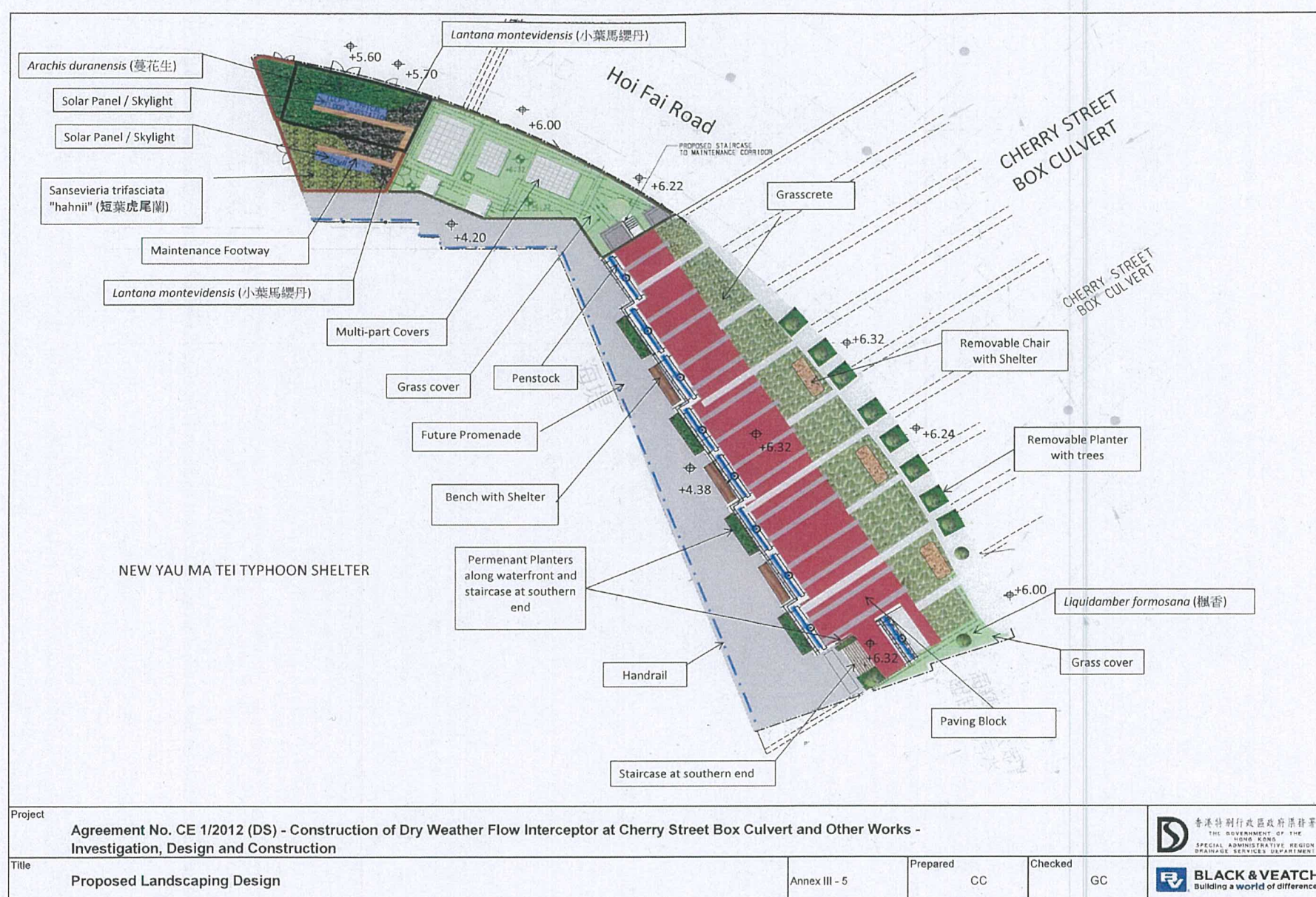


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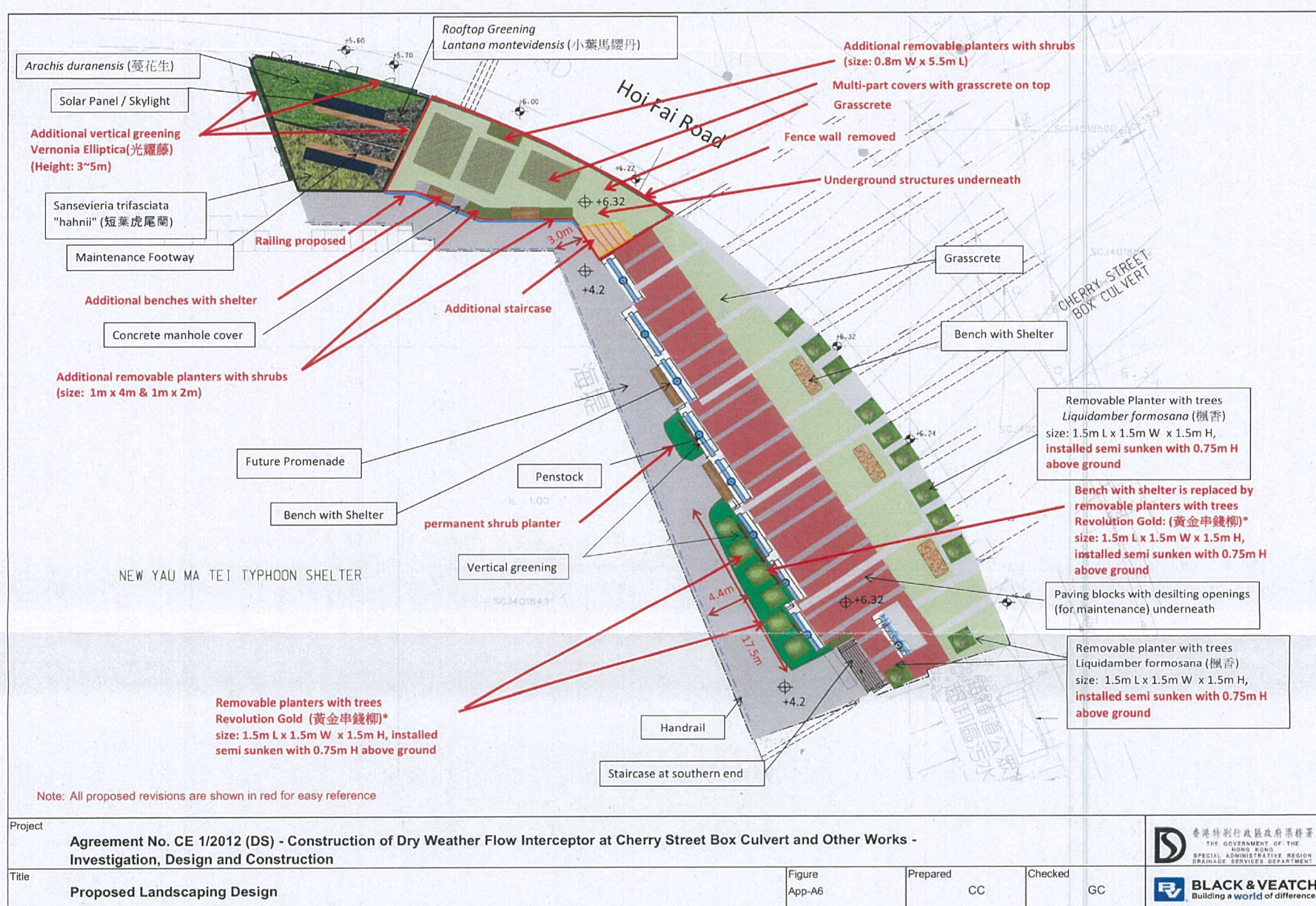
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(Source: Extract from Appendix Ia submitted by the Applicant)

參考編號
REFERENCE No.
A/K20/126

繪圖
DRAWING
AA - 1



核准計劃
APPROVED SCHEME
(A/K20/126)

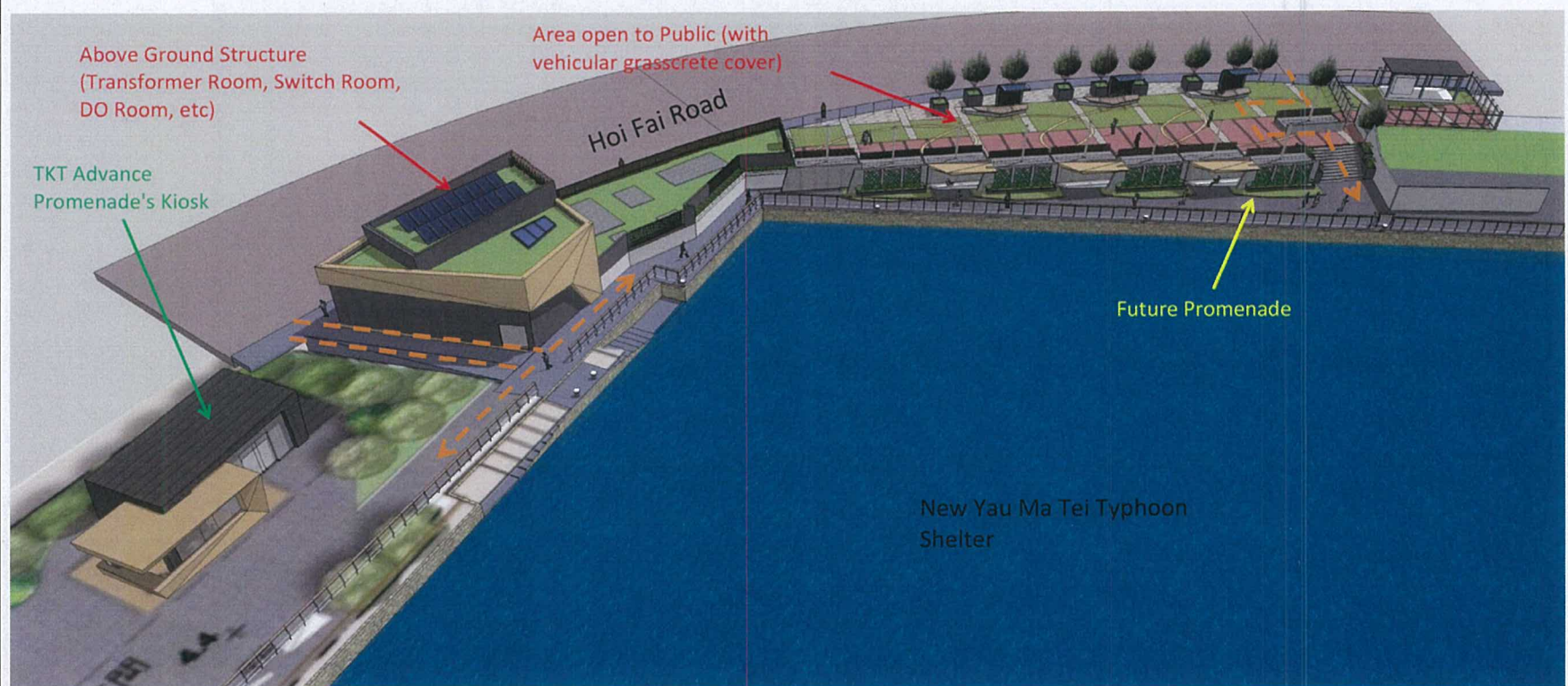


現時設計
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(資料來源: 摘自由申請人提供的附件 Ia)
(Source : Extract from Appendix Ia submitted by the Applicant)



參考編號
REFERENCE No.
A/K20/126

繪圖
DRAWING
AA - 2

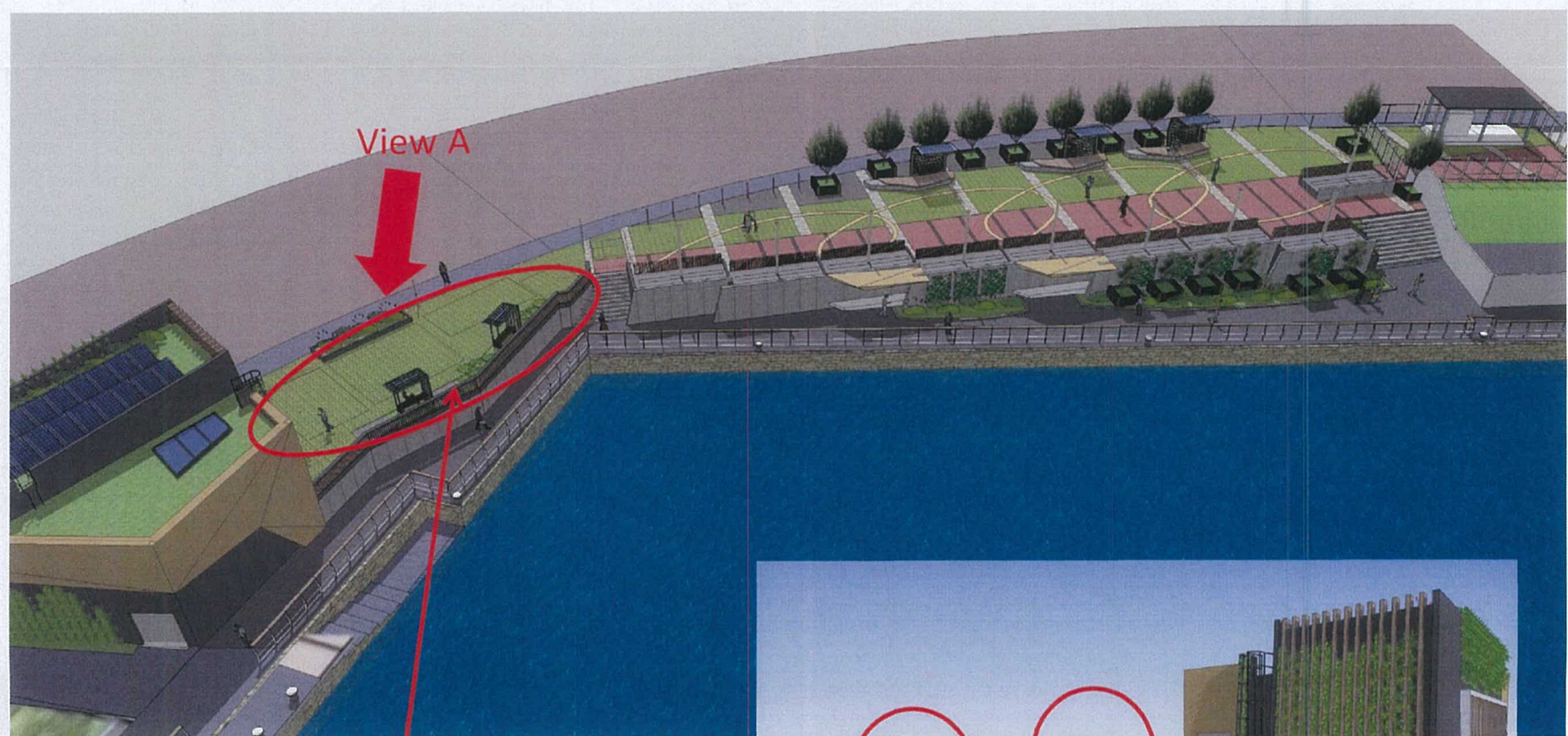


---> Access to Future Promenade

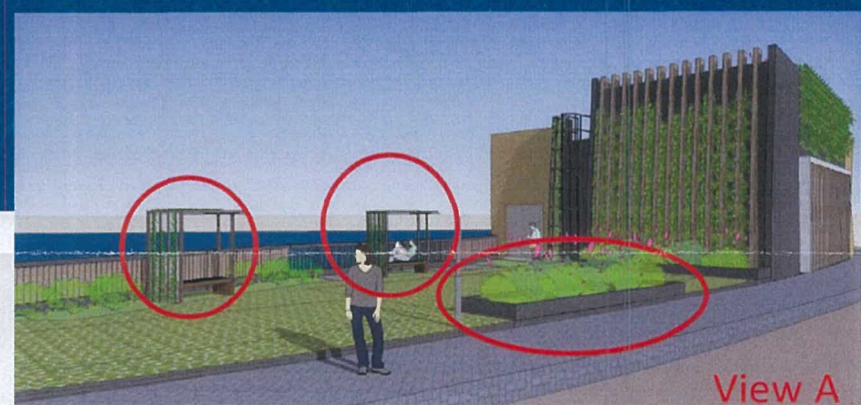
View Looking Southeast

Project	Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction	 香港特別行政區政府 THE GOVERNMENT OF THE HONG KONG SPECIAL ADMINISTRATIVE REGION		
Title	Proposed Landscape and Aesthetic Design	Figure App-A1 rev1	Prepared CC	Checked GC  BLACK & VEATCH Building a world of difference.

核准計劃
APPROVED SCHEME
(A/K20/126)



Fence wall removed to enhance visual openness and for public enjoyment



Removable planter with shrubs and benches with shelter added to improve the streetscape and amenity of the vicinity

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

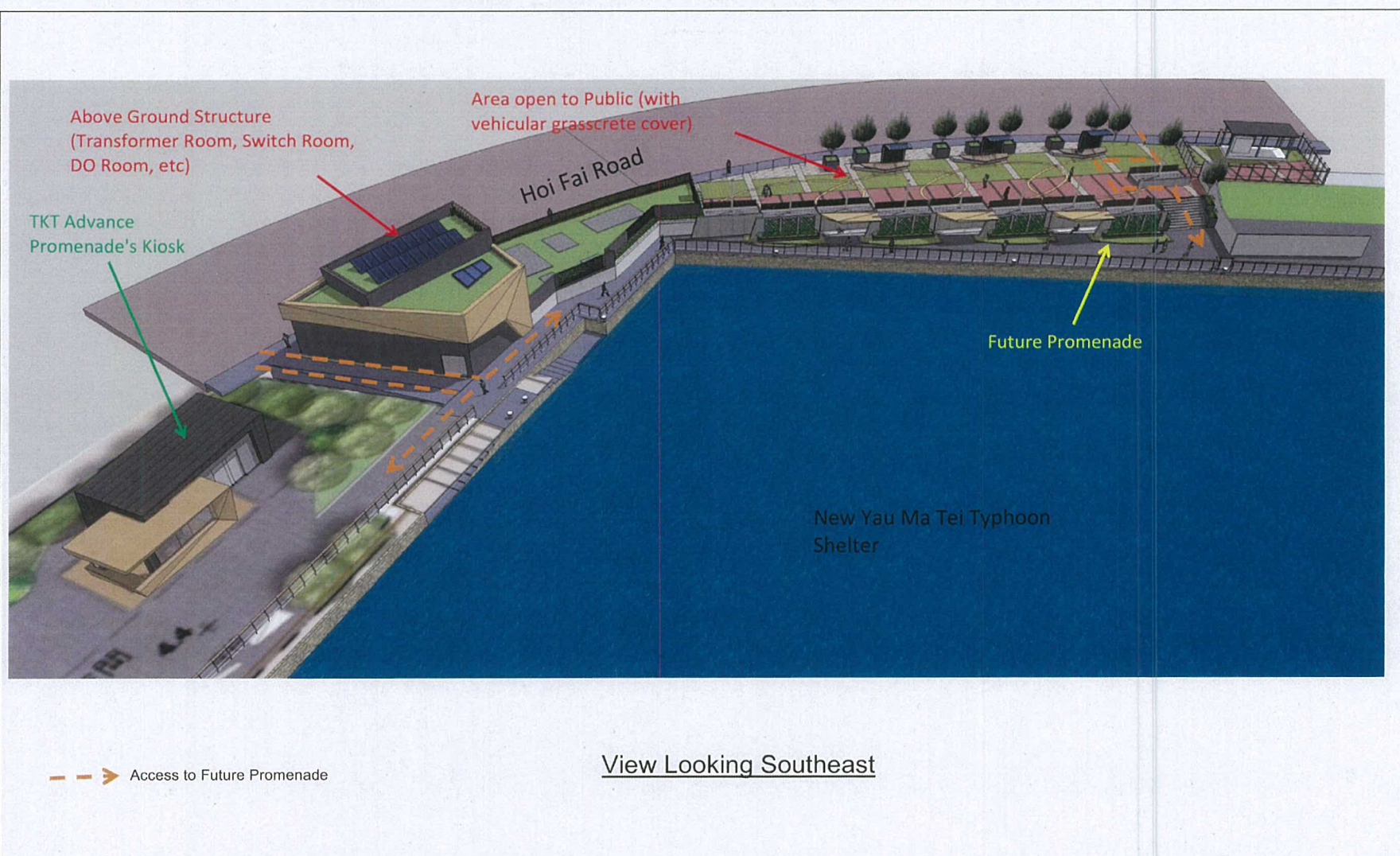
現時設計
CURRENT DESIGN



Figure 1 (Revised Design)

(資料來源：摘自由申請人提供的附件 Ia)
(Source : Extract from Appendix Ia submitted by the Applicant)

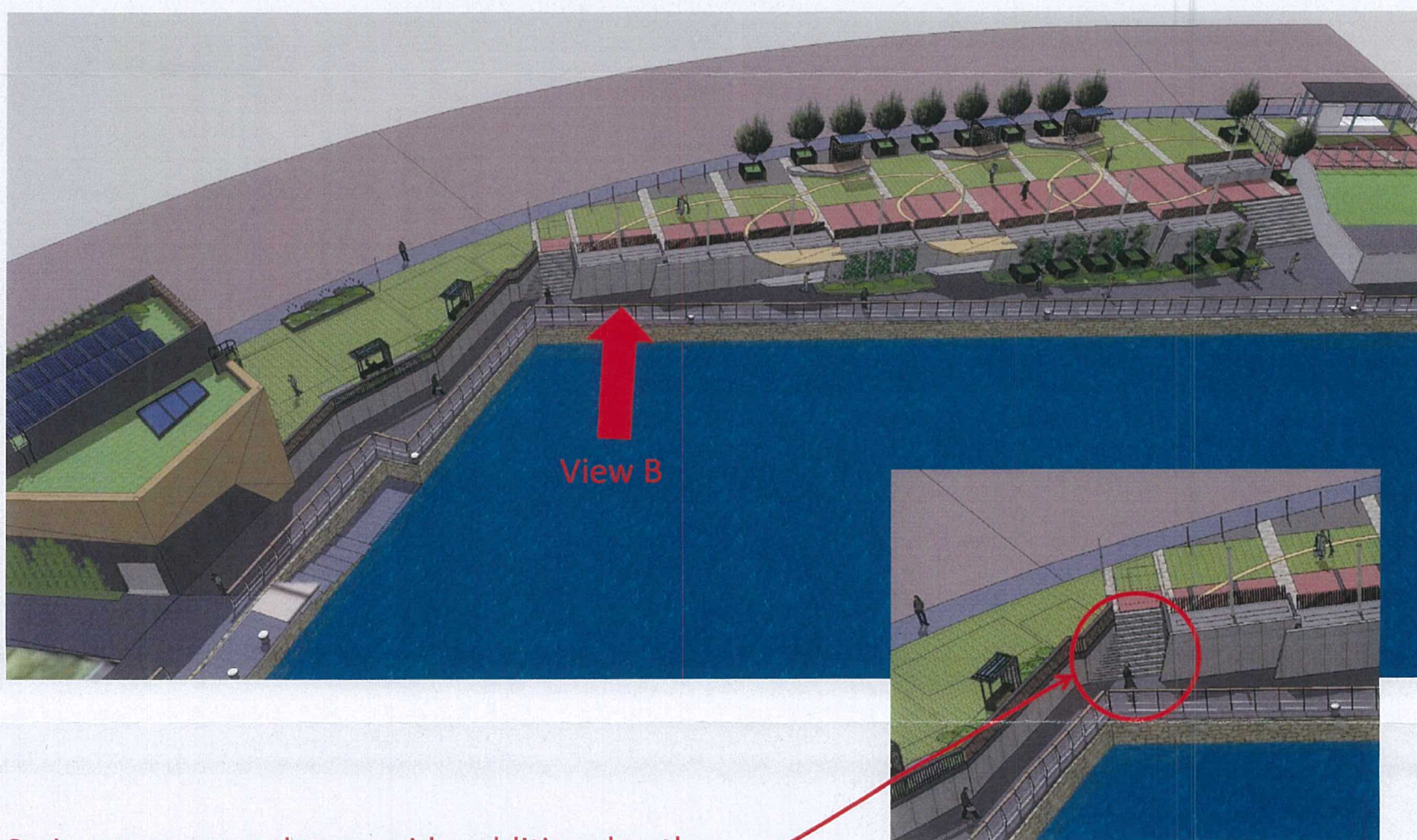
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REFERENCE No.
A/K20/126

繪圖
DRAWING
AA - 3



Project	Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction	 香港特別行政區政府渠務署 THE GOVERNMENT OF THE HONG KONG SPECIAL ADMINISTRATIVE REGION DRAINAGE SERVICES DEPARTMENT			
Title	Proposed Landscape and Aesthetic Design	Figure App-A1 rev 1	Prepared CC	Checked GC	 BLACK & VEATCH Building a world of difference.

核准計劃
APPROVED SCHEME
(A/K20/126)



Staircase proposed to provide additional path to enhance pedestrian flow

View B

Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 2 (Revised Design)

現時設計
CURRENT DESIGN

(資料來源：摘自由申請人提供的附件 Ia)
(Source : Extract from Appendix Ia submitted by the Applicant)

參考編號 REFERENCE No. A/K20/126	繪圖 DRAWING AA - 4
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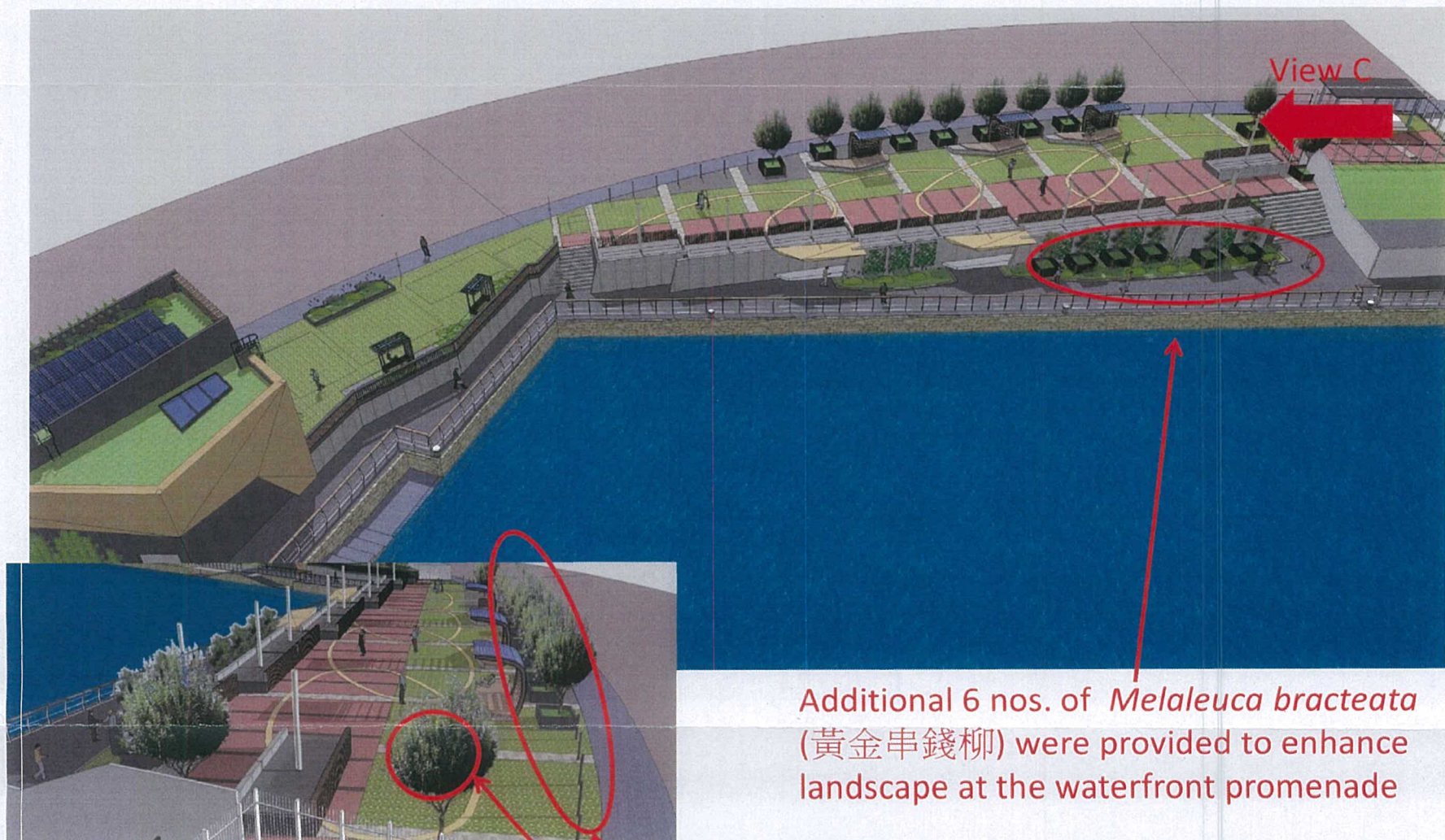


---> Access to Future Promenade

View Looking Southeast

Project	Agreement No. CE 1/2012 (DS) - Construction of Dry Weather Flow Interceptor at Cherry Street Box Culvert and Other Works - Investigation, Design and Construction					
Title	Proposed Landscape and Aesthetic Design	Figure App-A1 rev1	Prepared CC	Checked GC		

核准計劃
APPROVED SCHEME
(A/K20/126)



View C

Additional 6 nos. of *Melaleuca bracteata*
(黃金串錢柳) were provided to enhance
landscape at the waterfront promenade

Height of tree planters lowered to reduce
bulkiness and enhance visual openness

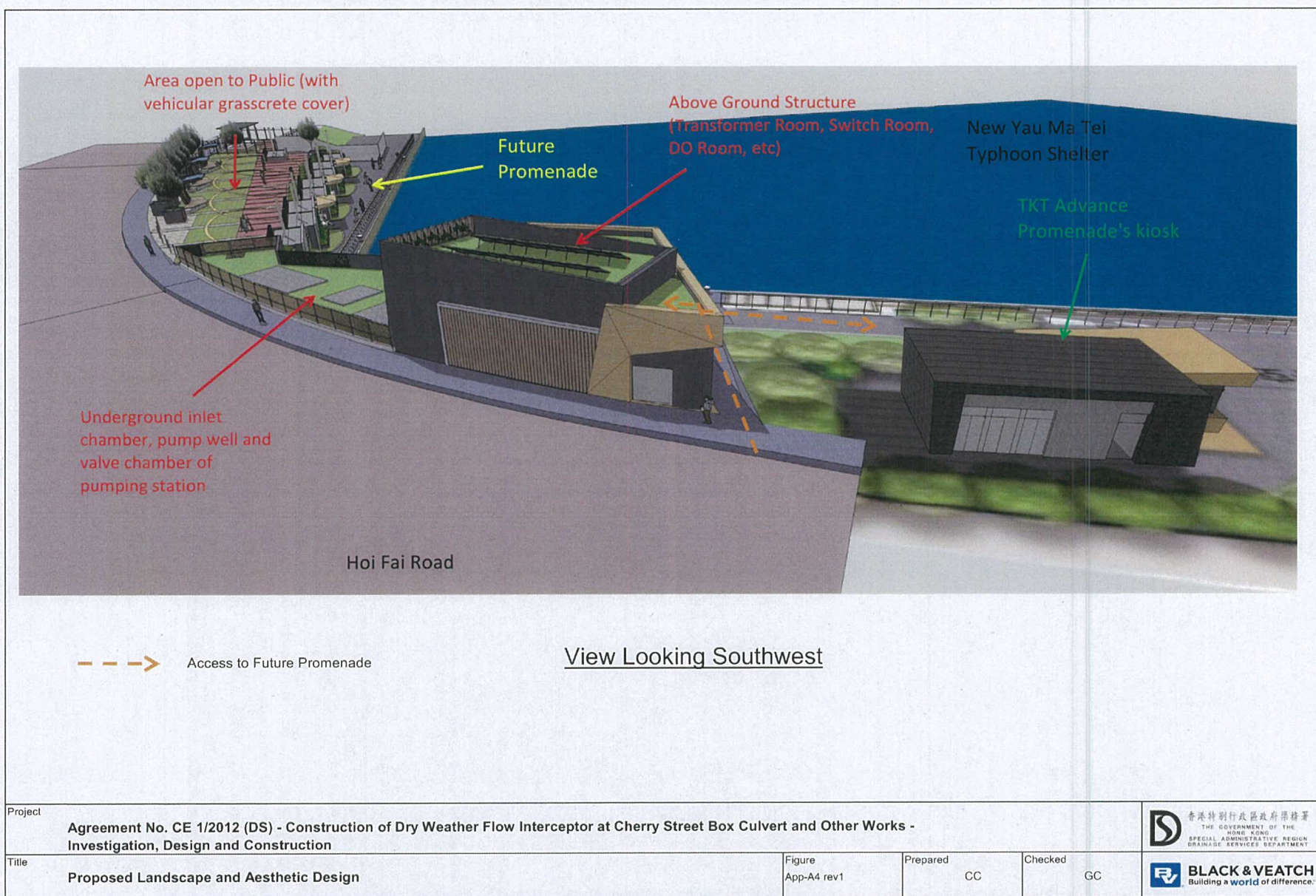
Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 3 (Revised Design)

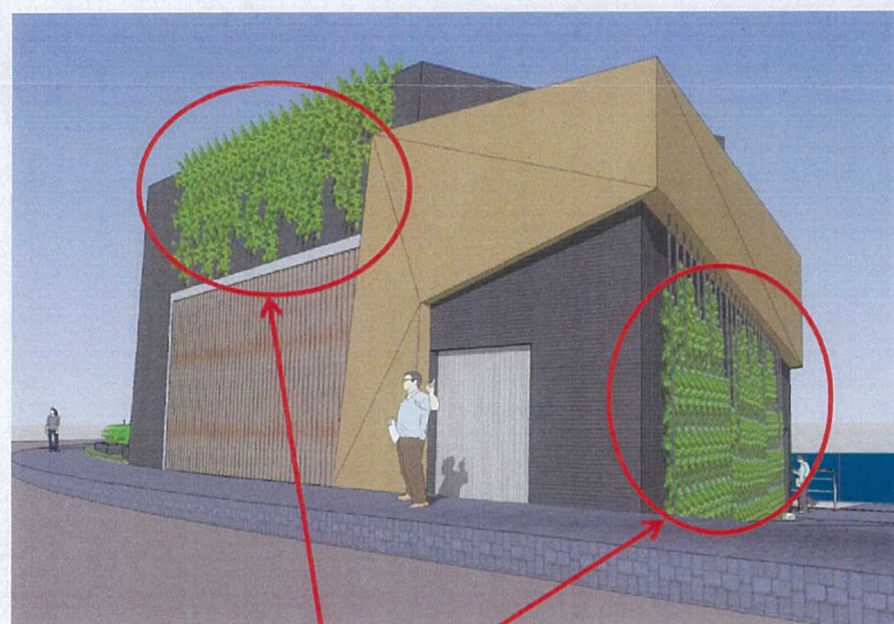
現時設計
CURRENT DESIGN

(資料來源：摘自由申請人提供的附件1a)
(Source : Extract from Appendix 1a submitted by the Applicant)

參考編號 REFERENCE No.	繪圖 DRAWING
A/K20/126	AA - 5



核准計劃
APPROVED SCHEME
(A/K20/126)



Vertical greening is added on the northern and western façade of the building

The site is designed to be compatible with the Hoi Fai Road Promenade (formally known as Tai Kok Tsui Advance Promenade in the application).



Kiosk at Hoi Fai Road Promenade

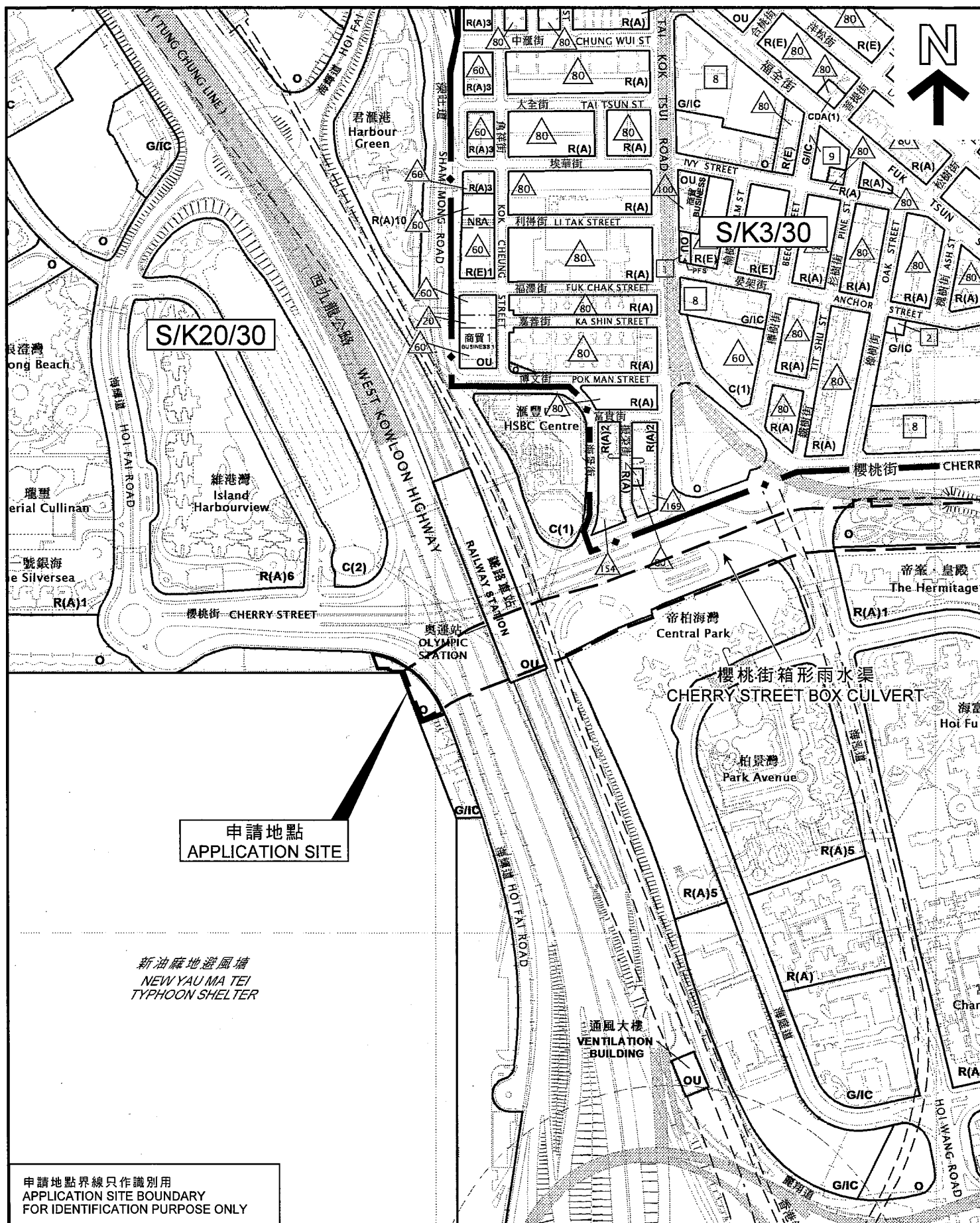
Proposed Public Utility Installation (Dry Weather Flow Interceptor) in "Open Space" zone and area shown as 'Road', government land, Hoi Fai Road, Tai Kok Tsui, West Kowloon

Figure 4 (Revised Design)

現時設計
CURRENT DESIGN

(資料來源：摘自由申請人提供的附件Ia)
(Source : Extract from Appendix Ia submitted by the Applicant)

參考編號 REFERENCE No. A/K20/126	繪圖 DRAWING AA - 6
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申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

本摘要圖於2016年7月20日擬備，
所根據的資料為於2013年5月31日
展示的分區計劃大綱圖編號S/K3/30
及於2014年9月23日核准的
分區計劃大綱圖編號S/K20/30

EXTRACT PLAN PREPARED ON 20.7.2016
BASED ON OUTLINE ZONING PLAN No.
S/K3/30 EXHIBITED ON 31.5.2013 &
S/K20/30 APPROVED ON 23.9.2014

位置圖 LOCATION PLAN

擬議公用事業設施裝置(旱流截取設施)
西九龍大角咀海輝道的政府土地
PROPOSED PUBLIC UTILITY INSTALLATION
(DRY WEATHER FLOW INTERCEPTOR)
GOVERNMENT LAND, HOI FAI ROAD, TAI KOK TSUI, WEST KOWLOON

SCALE 1:5 000 比例尺

米 100 0 100 200 METRES

規劃署
PLANNING
DEPARTMENT

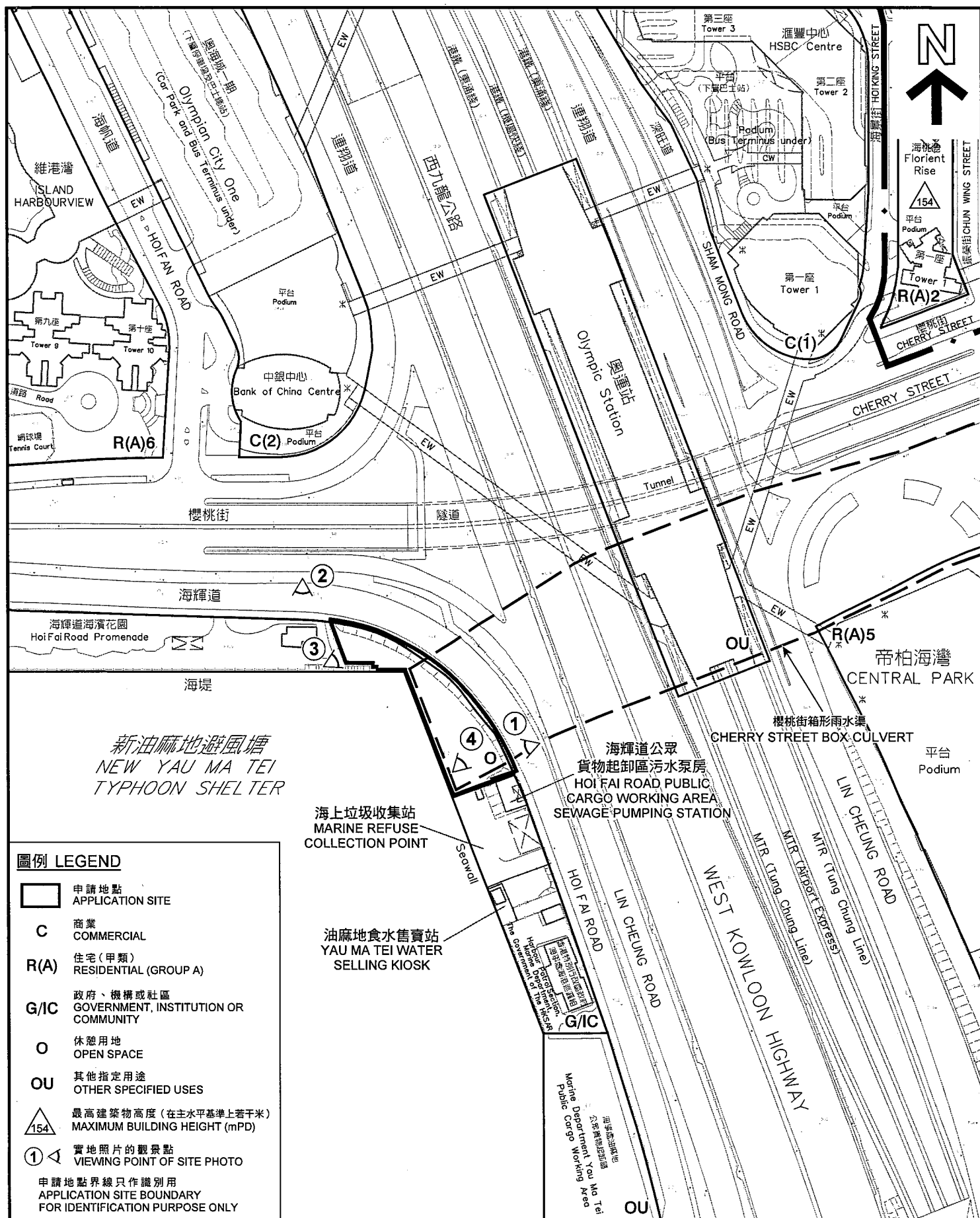


參考編號
REFERENCE No.

A/K20/126

圖 PLAN

AA - 1



平面圖 SITE PLAN

擬議公用事業設施裝置(旱流截取設施)
西九龍大角咀海輝道的政府土地
PROPOSED PUBLIC UTILITY INSTALLATION
(DRY WEATHER FLOW INTERCEPTOR)
GOVERNMENT LAND, HOI FAI ROAD, TAI KOK TSUI, WEST KOWLOON

SCALE 1 : 2 000 比例尺
米 40 0 40 80 米
METRES

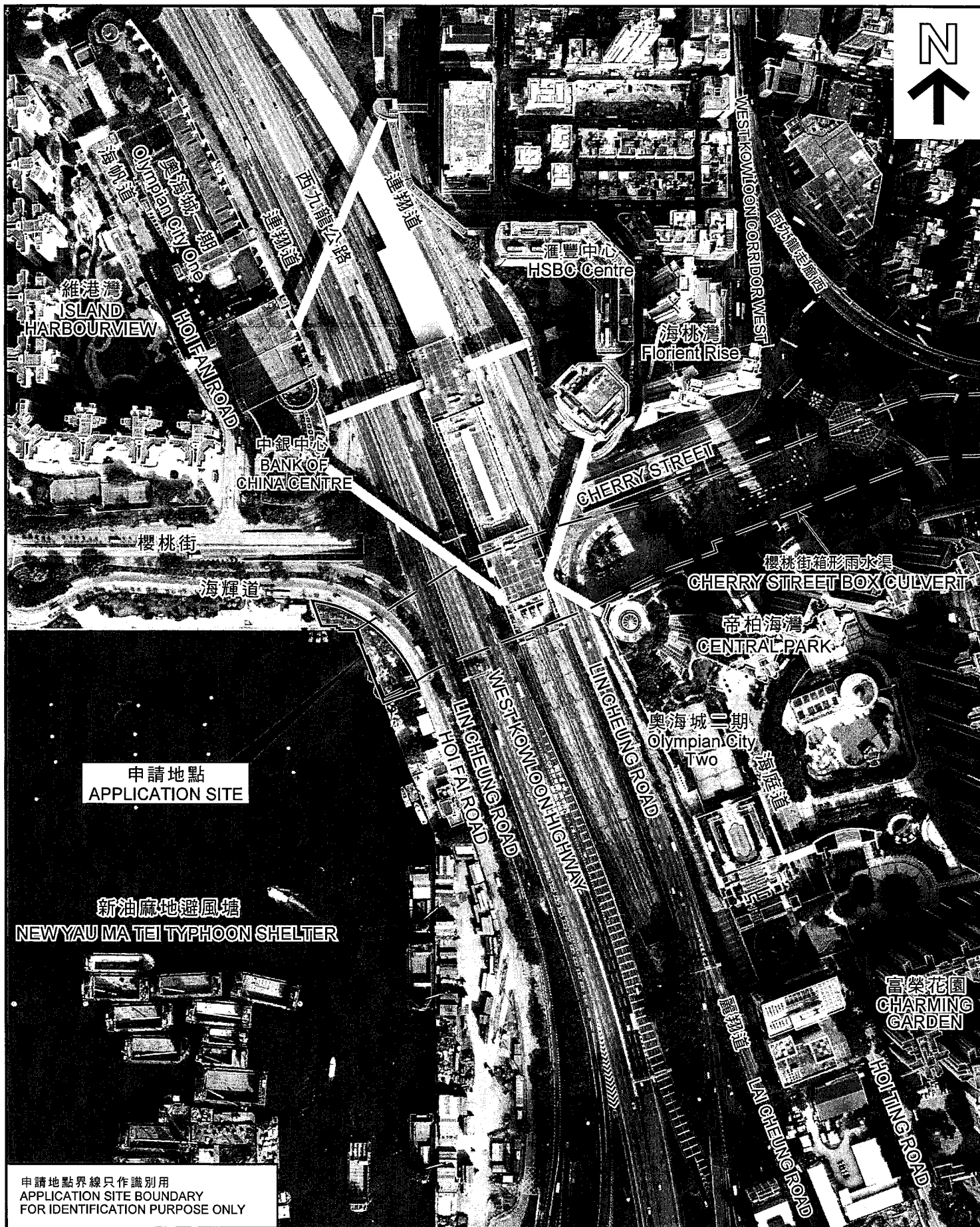
規劃署
PLANNING
DEPARTMENT



參考編號
REFERENCE No.
A/K20/126

圖 PLAN
AA - 2

本摘要圖於2016年7月20日擬備，
所根據的資料為測量圖編號
11-NW-18B, 18D, 19A及19C
EXTRACT PLAN PREPARED ON 20.7.2016
BASED ON SURVEY SHEET Nos.
11-NW-18B, 18D, 19A & 19C



申請地點
APPLICATION SITE

新油麻地避風塘
NEW YAU MA TEI TYPHOON SHELTER

申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

航攝照片 AERIAL PHOTO

本圖於2016年7月29日擬備，
所根據的資料為攝於
2016年1月8日拍攝的航攝照片
編號CS63008

PLAN PREPARED ON 29.7.2016
BASED ON AERIAL PHOTO No.
CS63008 TAKEN ON 8.1.2016

擬議公用事業設施裝置(旱流截取設施)

西九龍大角咀海輝道的政府土地

PROPOSED PUBLIC UTILITY INSTALLATION
(DRY WEATHER FLOW INTERCEPTOR)

GOVERNMENT LAND, HOI FAI ROAD, TAI KOK TSUI, WEST KOWLOON

規劃署
PLANNING
DEPARTMENT

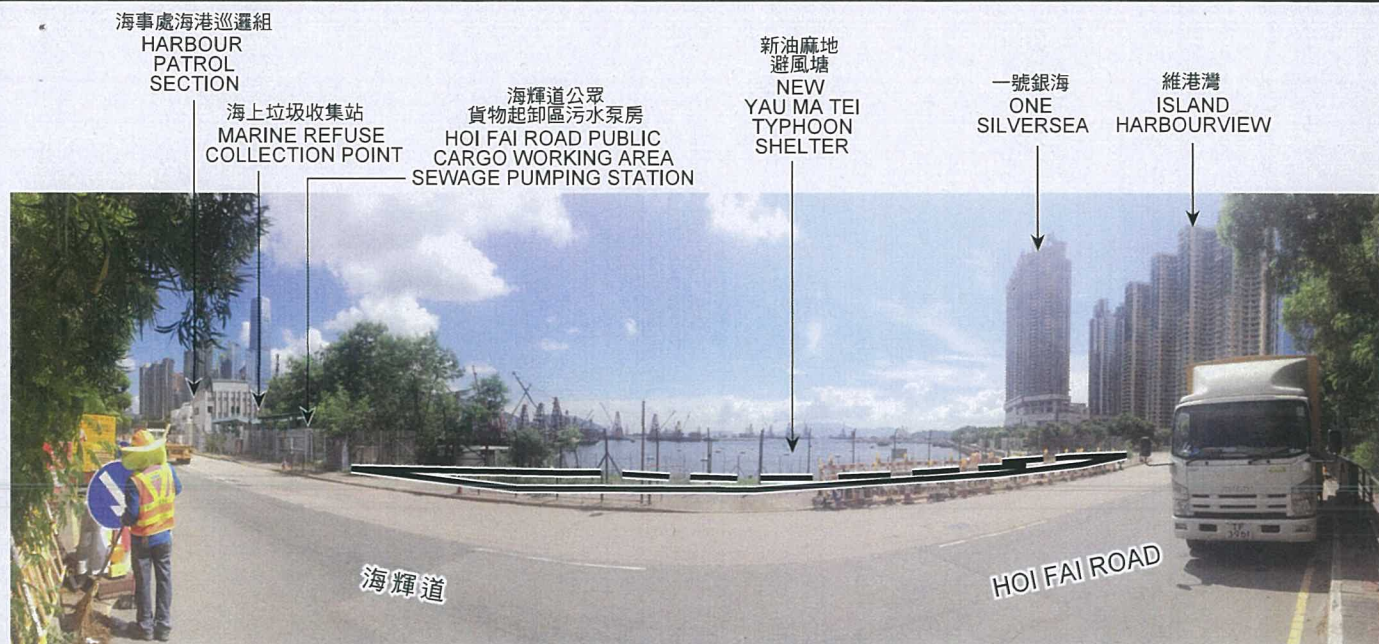


參考編號
REFERENCE No.

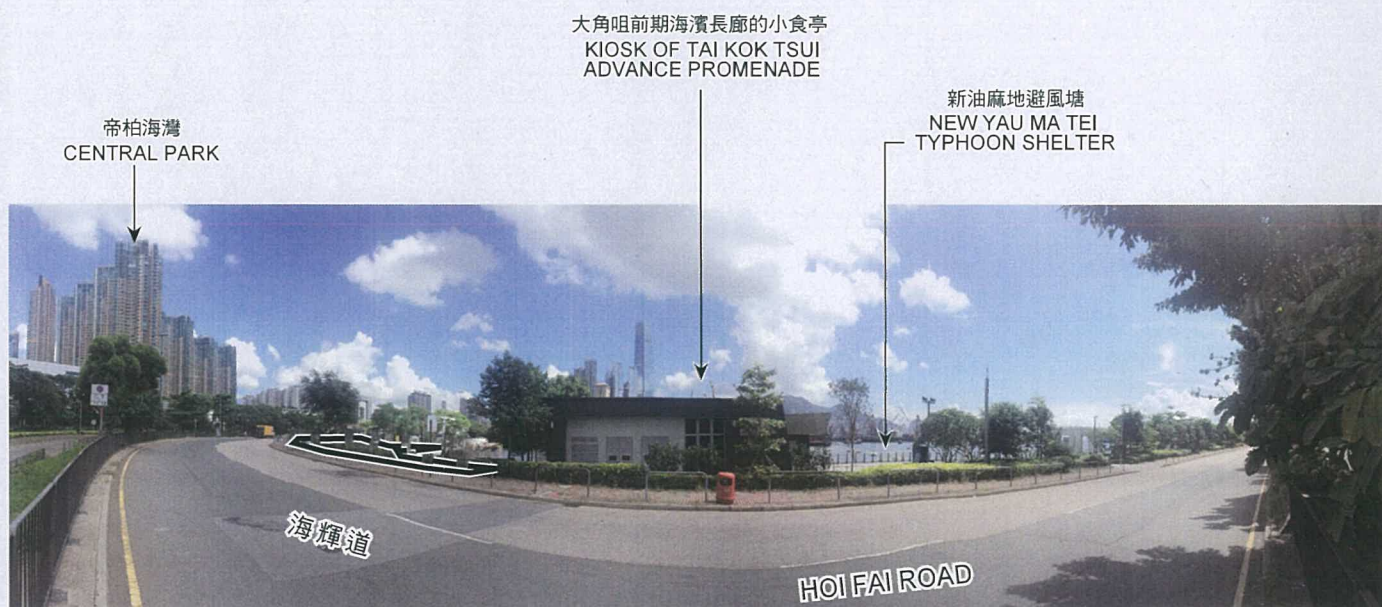
A/K20/126

圖 PLAN

AA - 3



照片 1 - 申請地點
PHOTO 1 - APPLICATION SITE



照片 2 - 申請地點
PHOTO 2 - APPLICATION SITE

界線只作識別用
BOUNDARY FOR
IDENTIFICATION PURPOSE ONLY

本摘要圖於2016年7月28日擬備，所根據
的資料為攝於2016年7月27日的實地照片

PLAN PREPARED ON 28.7.2016
BASED ON SITE PHOTOS
TAKEN ON 27.7.2016

實地照片 SITE PHOTOS

擬議公用事業設施裝置(旱流截取設施)
西九龍大角咀海輝道的政府土地
PROPOSED PUBLIC UTILITY INSTALLATION
(DRY WEATHER FLOW INTERCEPTOR)
GOVERNMENT LAND, HOI FAI ROAD, TAI KOK TSUI, WEST KOWLOON

規劃署
PLANNING
DEPARTMENT



參考編號
REFERENCE No.
A/K20/126

圖 PLAN
AA - 4

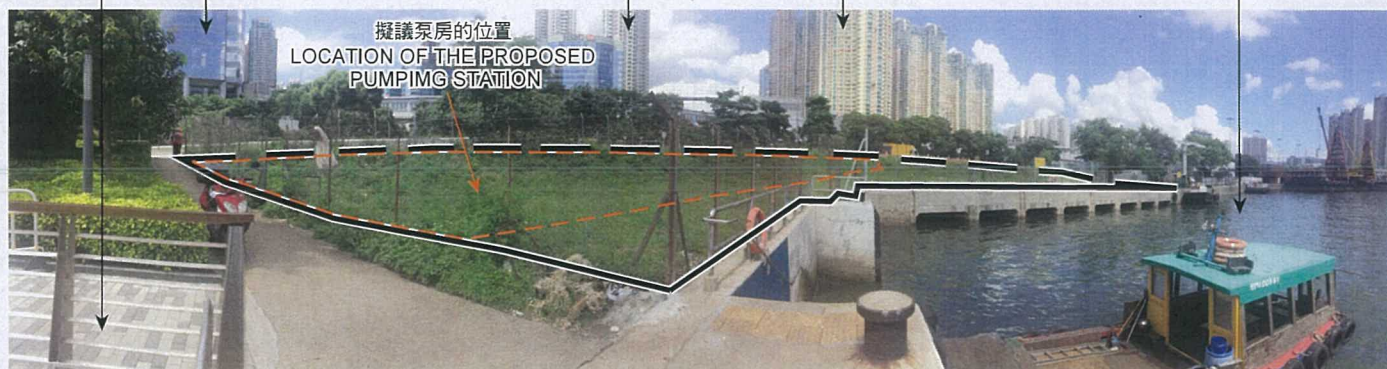
大角咀前期海濱長廊
TAI KOK TSUI
ADVANCE PROMENADE

中銀中心
BANK OF
CHINA CENTRE

海桃灣
FLORIENT
RISE

帝柏海灣
CENTRAL PARK

新油麻地避風塘
NEW YAU MA TEI
TYPHOON SHELTER



照片 3 - 申請地點
PHOTO 3 - APPLICATION SITE

中銀中心
BANK OF
CHINA CENTRE

海桃灣
FLORIENT
RISE

帝柏海灣
CENTRAL PARK

新油麻地避風塘
NEW YAU MA TEI
TYPHOON SHELTER



照片 4 - 申請地點
PHOTO 4 - APPLICATION SITE

界線只作識別用
BOUNDARY FOR
IDENTIFICATION PURPOSE ONLY

實地照片 SITE PHOTOS

擬議公用事業設施裝置(旱流截取設施)
西九龍大角咀海輝道的政府土地
PROPOSED PUBLIC UTILITY INSTALLATION
(DRY WEATHER FLOW INTERCEPTOR)
GOVERNMENT LAND, HOI FAI ROAD, TAI KOK TSUI, WEST KOWLOON

規劃署
PLANNING
DEPARTMENT



本摘要圖於2016年7月28日擬備，所根據
的資料為攝於2016年7月27日的實地照片
PLAN PREPARED ON 28.7.2016
BASED ON SITE PHOTOS
TAKEN ON 27.7.2016

參考編號
REFERENCE No.
A/K20/126

圖 PLAN
AA - 5