

**Broad Development Parameters of the Indicative
Development Proposal in Respect of Application No. Y/TW/19**
关乎申请编号 Y/TW/19 而只作指示用途的拟议发展计划的概括发展规范

Application No. 申请编号	Y/TW/19		
Location/address 位置/地址	Lots 1177 S.A RP, 1181 and 1205 in D.D. 453, Fu Yung Shan, Tsuen Wan 荃湾芙蓉山丈量约份第 453 约地段第 1177 号 A 分段余段、第 1181 号及第 1205 号		
Site area 地盘面积	About 约 11,574 sq. m 平方米		
Plan 图则	Draft Tsuen Wan Outline Zoning Plan No. S/TW/36 荃湾分区计划大纲草图编号 S/TW/36		
Zoning 地带	"Green Belt" and "Village Type Development" 「绿化地带」及「乡村式发展」		
Proposed Amendment(s) 拟议修订	To rezone the application site from "Green Belt" and "Village Type Development" to "Residential (Group B) 9" and amend the Notes of the zone applicable to the site 把申请地点由「绿化地带」及「乡村式发展」地带改划为「住宅(乙类)9」地带及修订适用于申请地点土地用途地带的《注释》		
Gross floor area and/or plot ratio 总楼面面积及/或地积比率		sq. m 平方米	Plot ratio 地积比率
	Maximum 最大	About 约 34,722	About 约 3
	Domestic 住用	About 约 29,322	About 约 2.53
	Non-domestic 非住用	About 约 5,400	About 约 0.47
No. of block 幢数	Domestic 住用	2	
	Non-domestic 非住用	1	
	Composite 综合用途	-	

Building height/No. of storeys 建筑物高度/层数	Domestic 住用	-	m 米
		135.7 - 146	mPD 米(主水平基准上)
		19 - 21	Storey(s) 层
		2	<i>Exclude</i> 不包括 <i>Basement</i> 地库
	Non-domestic 非住用	-	m 米
		80	mPD 米(主水平基准上)
		7	Storey(s) 层
		1	<i>Exclude</i> 不包括 <i>Basement</i> 地库
	Composite 综合用途	-	m 米
		-	mPD 米(主水平基准上)
-		Storey(s) 层	
Site coverage 上盖面积	Not more than 不多於 33 %		
No. of units 单位数目	608 Flats 住宅单位 328 Beds in RCHE 安老院舍床位		
Open space 休憩用地	Private 私人	Not less than 不少於 2,456	sq. m 平方米
	Public 公众	-	sq. m 平方米
No. of parking spaces and loading / unloading spaces 停车位及上落客货车位数目	Total no. of vehicle spaces 停车位总数		142
	Private Car Parking Spaces 私家车车位		135
	Motorcycle Parking Spaces 电单车车位		7
	Total no. of vehicle loading/unloading bays/lay-bys 上落客货车位/停车处总数		6
	Loading / unloading bays 上落客货车位		3
	Pick-up / Drop-off lay-by 停车处		2
	Shuttle bus lay-by 穿梭巴士停车处		1

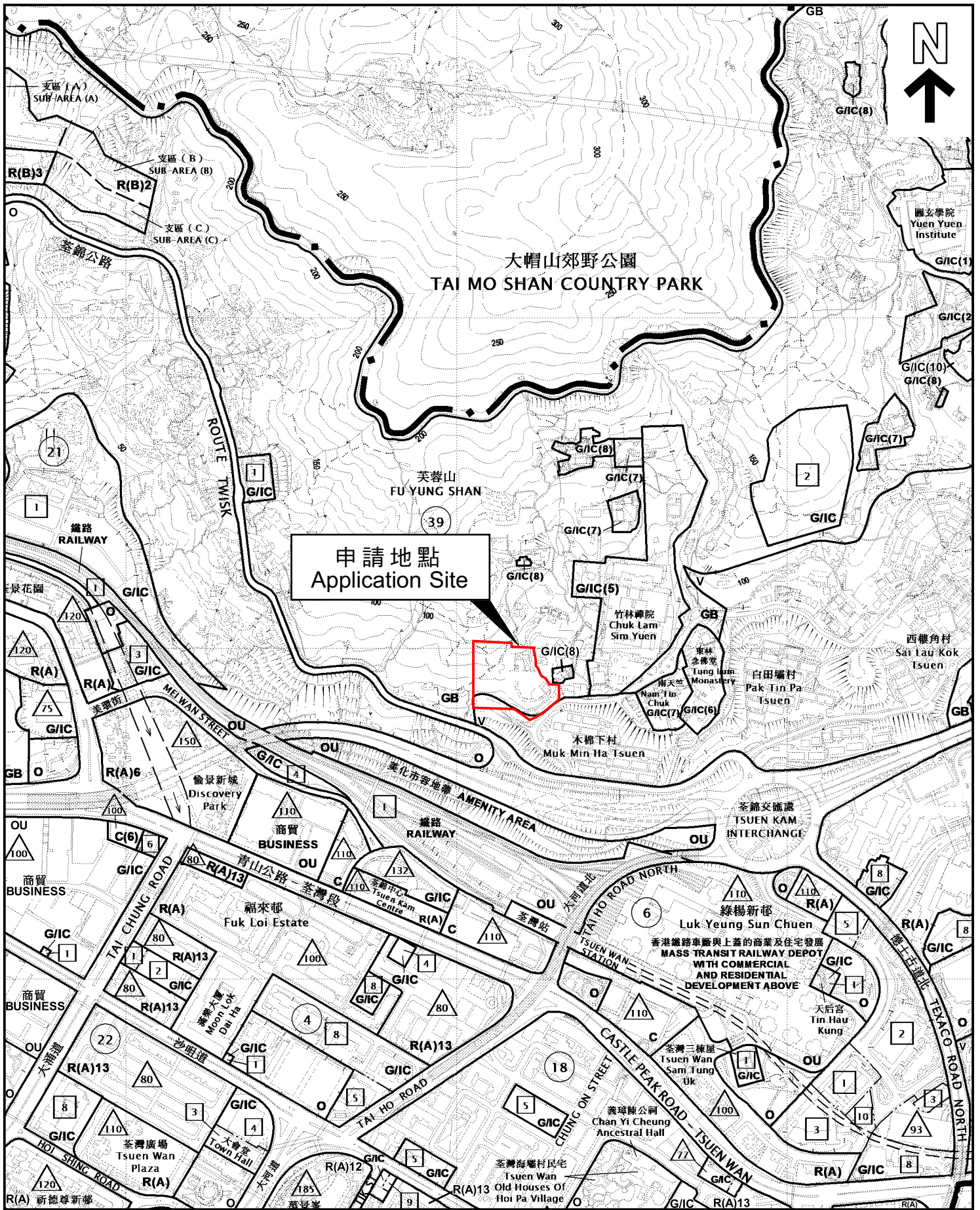
* 有关资料是为方便市民大众参考而提供。对于所载资料在使用上的问题及文义上的歧异，城市规划委员会概不负责。若有任何疑问，应查阅申请人提交的文件。

The information is provided for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

Submitted Plans, Drawings and Documents 提交的图则、绘图及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 图则及绘图</u>		
Master layout plan(s)/Layout plan(s) 总纲发展蓝图／布局设计图	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 楼宇位置图	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 楼宇平面图	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截视图	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立视图	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 显示拟议发展的合成照片	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 园境设计总图／园境设计图	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他（请注明）	<input type="checkbox"/>	<input type="checkbox"/>
<u>Reports 报告书</u>		
Planning Statement / Justifications 规划纲领 / 理据	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 环境评估（噪音、空气及／或水的污染）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Traffic impact assessment (on vehicles) 就车辆的交通影响评估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影响评估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 视觉影响评估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape impact assessment 景观影响评估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 树木调查	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical impact assessment 土力影响评估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Drainage impact assessment 排水影响评估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sewerage impact assessment 排污影响评估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Risk Assessment 风险评估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（请注明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Ecological Impact Assessment 生态影响评估；</u>		
<u>Geotechnical Planning Review Report 土力规划检讨报告；</u>		
<u>Water Supply Impact Assessment 供水影响评估；</u>		
<u>Air Ventilation Assessment 空气流通影响评估</u>		
Note: May insert more than one 「✓」. 注：可在多於一个方格内加上「✓」号		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

注：上述申请摘要的资料是由申请人提供以方便市民大众参考。對於所载资料在使用上的问题及文义上的歧异，城市规划委员会概不负责。若有任何疑问，应查阅申请人提交的文件。

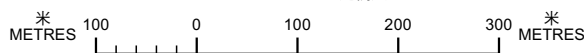


本摘要圖於2023年6月7日擬備，
所根據的資料為於2023年4月28日
展示的分區計劃大綱圖編號S/TW/36

EXTRACT PLAN PREPARED ON
7.6.2023 BASED ON OUTLINE ZONING
PLAN No. S/TW/36 EXHIBITED ON
28.4.2023

位置圖 LOCATION PLAN

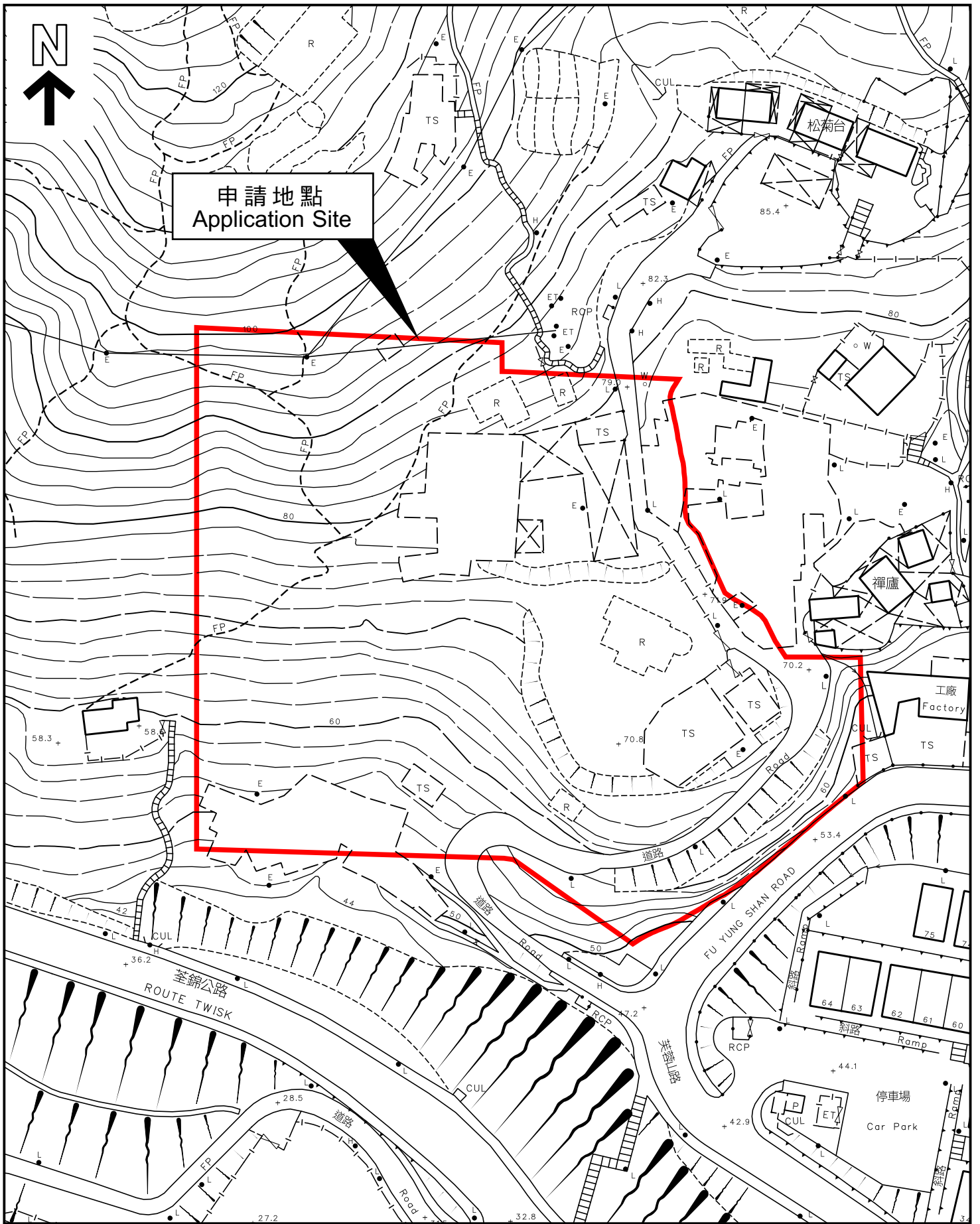
SCALE 1:7 500 比例尺



申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.

Y/TW/19



本摘要圖於2023年6月7日擬備，
所根據的資料為測量圖編號6-SE-15D 及 20B
和 7-SW-11C 及 16A

EXTRACT PLAN PREPARED ON
7.6.2023 BASED ON SURVEY SHEET
No. 6-SE-15D & 20B AND 7-SW-11C & 16A

平面圖 SITE PLAN

申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.

Y/TW/19



(Est. 1995)

ALBERT SO SURVEYORS LTD.

行政摘要

(內文如與英文版本有任何差異，應以英文版本為準)

本申請按《城市規劃條例》第12A條建議修訂圖則，擬於新界荃灣芙蓉山丈量約份第453約地段第1177號A分段餘段、第1181號和第1205號（「申請地點」）興建住宅及安老院舍（「擬議發展」）。

申請地點於荃灣分區計劃大綱草圖編號S/TW/36中主要被劃為「綠化地帶」，餘下部份則被納入「鄉村式發展」地帶內。現時，在申請地點上有些破損寮屋及臨時建築物。申請人擬就申請地點改劃為「住宅（乙類）9」地帶，容許申請地點按以下發展規範作擬議發展。

最大總樓面面積	34,722平方米
最高建築物高度	150米（主水平基準以上）

擬議發展及本修訂圖則申請與最新政策呼應，亦可為大眾帶來以下好處：

- 增加具較佳居住環境的土地及房屋供應
- 增加安老院舍及社會福利設施供應
- 積極尋求有效發展「綠化地帶」
- 善用未能實現其規劃意向的「鄉村式發展」土地
- 完善周邊的道路及基礎建設
- 以精心設計、景觀美化和管理良好的生活居所，取代現有的破損寮屋和臨時建築物，改善附近的生活環境
- 擬議發展並不會對周遭環境在生態、交通、土力、供水、渠務、排污、噪音、水質、廢物處理、空氣流通及視覺等方面，造成任何難以克服的影響

基於本規劃綱領所提出的規劃優點和理據，申請人懇請城市規劃委員會成員積極考慮和支持是次修訂圖則申請。

申請編號 Application No. : Y / TW / 19

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.



(Est. 1995)

ALBERT SO SURVEYORS LTD.

EXECUTIVE SUMMARY

This is an application for amendment of plan under Section 12A of the Town Planning Ordinance for a Residential-cum-Residential Care Home for the Elderly (“RCHE”) Development (“the Indicative Development Scheme”) on Lot Nos. 1177 S.A RP, 1181 and 1205 all in D.D. 453 (“the Site”) in Fu Yung Shan, Tsuen Wan, New Territories.

The Site currently falls within an area zoned “Green Belt” (“GB”) and “Village Type Development” (“V”) under the Draft Tsuen Wan Outline Zoning Plan No. S/TW/36. At the moment there are some dilapidated squatter and temporary structures on the Site. The Applicants propose to rezone the Site to “Residential (Group B) 9” (“R(B)9”) to enable the Indicative Development Scheme at the following development parameters:

Maximum GFA	34,722 m ²
Maximum Building Height	150 mPD

The Indicative Development Scheme and the proposed rezoning echo with the latest Government policy and would provide the following benefits to the community as a whole.

- Increase land and housing supply in Hong Kong with better living environment
- Increase supply of RCHE and social welfare facilities
- Explore the feasibility of effective utilisation of the “GB” area
- Effectively utilise the existing “V” zone area that is improbable to materialize its planning intention
- Improvement to the roads and infrastructure in the subject locality
- Improvement of living environment in the neighbourhood by replacing the existing dilapidated squatter and temporary structures with well designed, landscaped and managed living habitat
- No insurmountable ecological, traffic, geotechnical, water supply, drainage, sewerage, noise, water quality, waste management, air ventilation, and visual impacts

In view of the planning merits and justifications put forward in this Supporting Planning Statement, we respectfully ask Members of the Town Planning Board to favourably consider and support this application.

申請編號 Application No. : Y / TW / 19

此頁摘自申請人提交的文件。

This page is extracted from applicant’s submitted documents.



(Est. 1995)
ALBERT SO SURVEYORS LTD.

FIGURE 4.1 EXTRACT OF TYPICAL LAYOUT PLAN

LEGEND

- APPLICATION SITE BOUNDARY
- LOT BOUNDARY
- EXISTING ROAD
- RESIDENTIAL
- RESIDENTIAL CARE HOME FOR ELDERLY

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.



LEGEND

- APPLICATION SITE BOUNDARY
- LOT BOUNDARY
- RESIDENTIAL
- RESIDENTIAL CARE HOME FOR ELDERLY
- CAR RAMP
- E & M / CARPARK
- LP
- LOADING / UNLOADING
- LANDSCAPE ON GRADE
- DRIVEWAY
- RECREATIONAL FACILITIES (CLUB HOUSE)
- VEHICULAR INGRESS / EGRESS

申請編號 Application No. : Y / TW / 19

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

THIS PLAN SHOWS THE 1ST FLOOR PLAN OF RCHE



PARKING PROVISION FOR T1 & T2
G/F & PODIUM
CAR PARKING SPACE = 10 (DISABLED CAR PARKING SPACE = 0)
HEAVY GOODS VEHICLE LOADING / UNLOADING BAY = 2

G/F & Podium Plan
1:500



LEGEND

- - - APPLICATION SITE BOUNDARY
- - - LOT BOUNDARY
- RESIDENTIAL
- RESIDENTIAL CARE HOME FOR ELDERLY
- CAR RAMP
- E & M / CARPARK
- LP LOADING / UNLOADING
- LANDSCAPE ON GRADE
- DRIVEWAY
- RECREATIONAL FACILITIES (CLUB HOUSE)
- ↑↓ VEHICULAR INGRESS / EGRESS

PARKING PROVISION FOR T1 & T2	
B1	
CAR PARKING SPACE = 51	
DISABLED CAR PARKING SPACE = 1	



申請編號 Application No. : Y / TW / 19

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

THIS PLAN SHOWS
THE GROUND FLOOR
PLAN OF RCHE

PARKING PROVISION FOR RCHE	
G/F & PODIUM	
CAR PARKING SPACE = 7	
DISABLED CAR PARKING SPACE = 1	
LIGHT GOODS VEHICLE LOADING / UNLOADING BAY (SHARE-USED WITH AMBULANCE) = 1	
SHUTTLE BUS LAY-BY = 1	

Basement 1 Carpark Plan
1:500

姓名	日期

建筑是人类历史文明进程的见证



LEGEND

- - - APPLICATION SITE BOUNDARY
- - - LOT BOUNDARY
- RESIDENTIAL
- RESIDENTIAL CARE HOME FOR ELDERLY
- CAR RAMP
- E & M / CARPARK
- LP LOADING / UNLOADING
- LANDSCAPE ON GRADE
- DRIVEWAY
- RECREATIONAL FACILITIES (CLUB HOUSE)
- ↑ ↓ VEHICULAR INGRESS / EGRESS

PARKING PROVISION FOR T1 & T2

B2
CAR PARKING SPACE = 64
DISABLED CAR PARKING SPACE = 1
MOTORCYCLE PARKING SPACE = 7



申請編號 Application No. : Y / TW / 19

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

THIS PLAN SHOWS
THE GROUND FLOOR
PLAN OF RCHE

Basement 2 Carpark Plan
1:500



姓名	日期

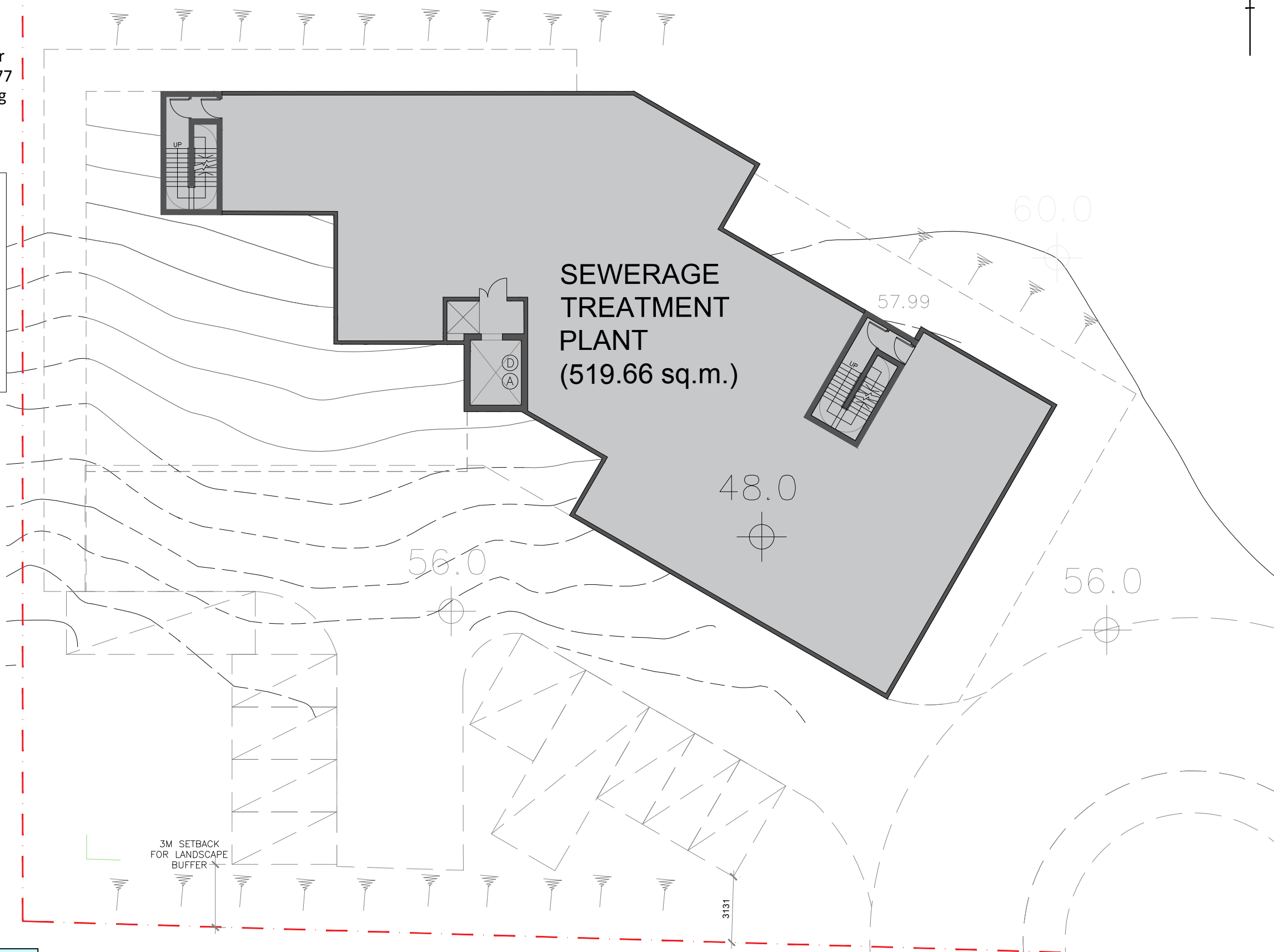
建筑是人类历史文明进程的见证

Planning Application under Section 12A for
the Proposed Development at Lot Nos.1177
S.A. RP, 1205 and 1181 in D.D. 453 Fu Yung
Shan, Tsuen Wan, New Territories.

Scale = AS SHOWN

LEGEND

-  LOT BOUNDARY OF DEVELOPMENT
-  SEWERAGE TREATMENT PLANT



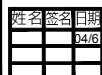
申請編號 Application No. : Y/TW/19

此頁摘自申請人提交的文件。

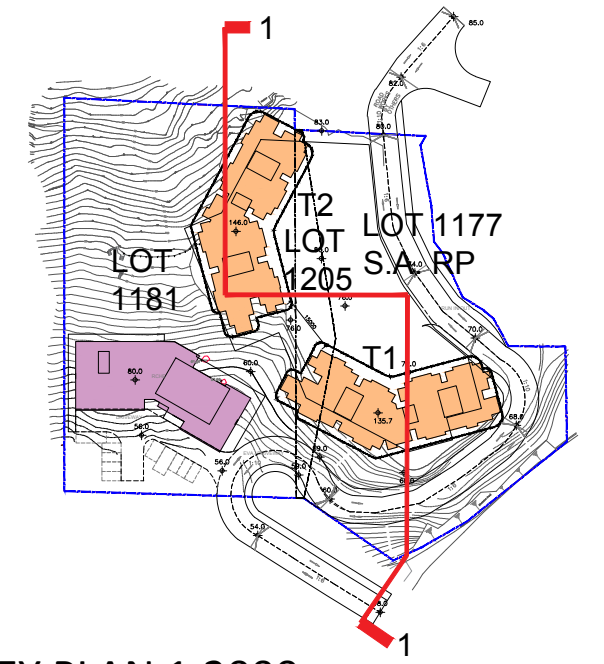
This page is extracted from applicant's submitted documents.

RCHE Basement Plan

1:200

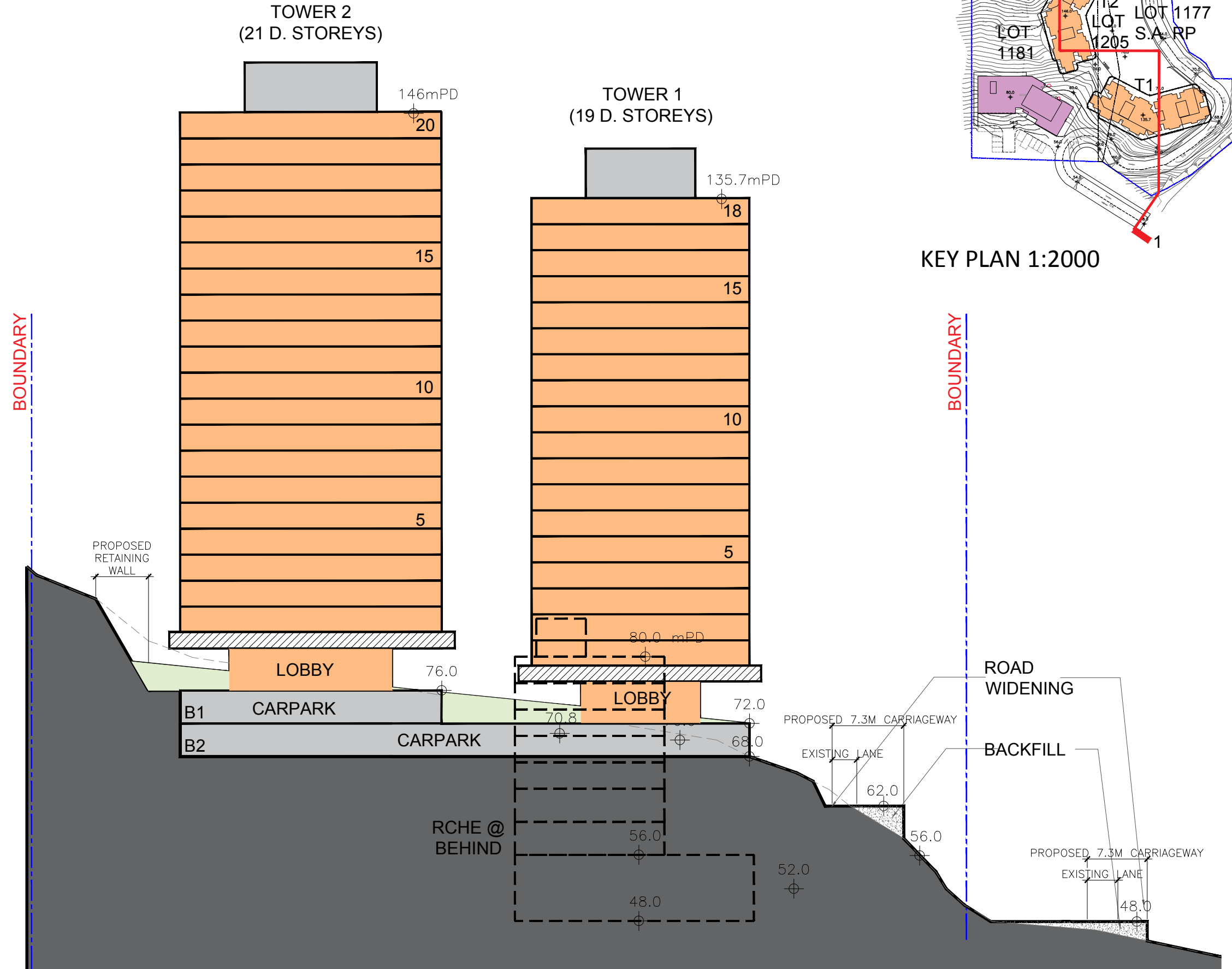


建筑是人类历史文明进程的见证



LEGEND

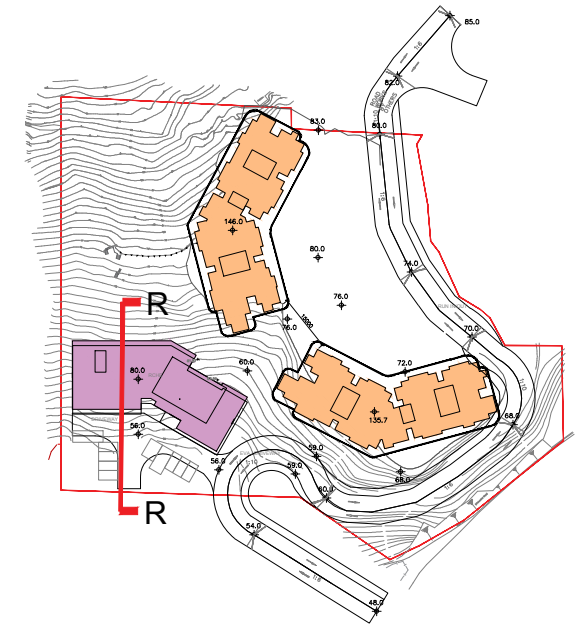
- APPLICATION SITE BOUNDARY
- LOT BOUNDARY
- RESIDENTIAL
- RESIDENTIAL CARE HOME FOR ELDERLY
- CAR RAMP
- E & M / CARPARK
- LOADING / UNLOADING
- LANDSCAPE ON GRADE
- DRIVEWAY
- RECREATIONAL FACILITIES (CLUB HOUSE)
- VEHICULAR INGRESS / EGRESS



申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

姓名	日期

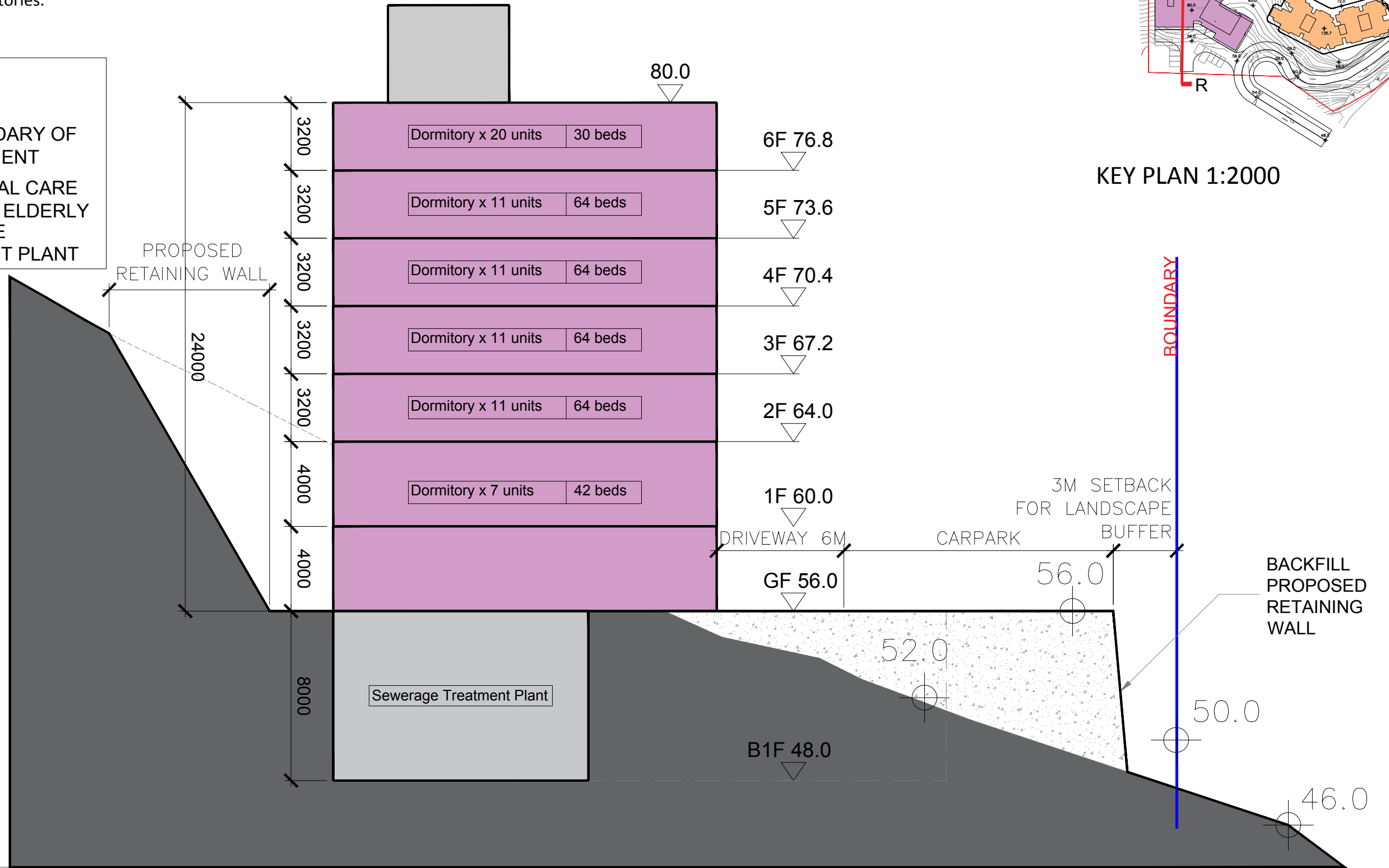
TOTAL GFA approx. 5400 sqm



KEY PLAN 1:2000

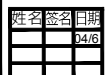
LEGEND

- LOT BOUNDARY OF DEVELOPMENT
- RESIDENTIAL CARE HOME FOR ELDERLY
- SEWERAGE TREATMENT PLANT



申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

RCHE Section RR
 1:200



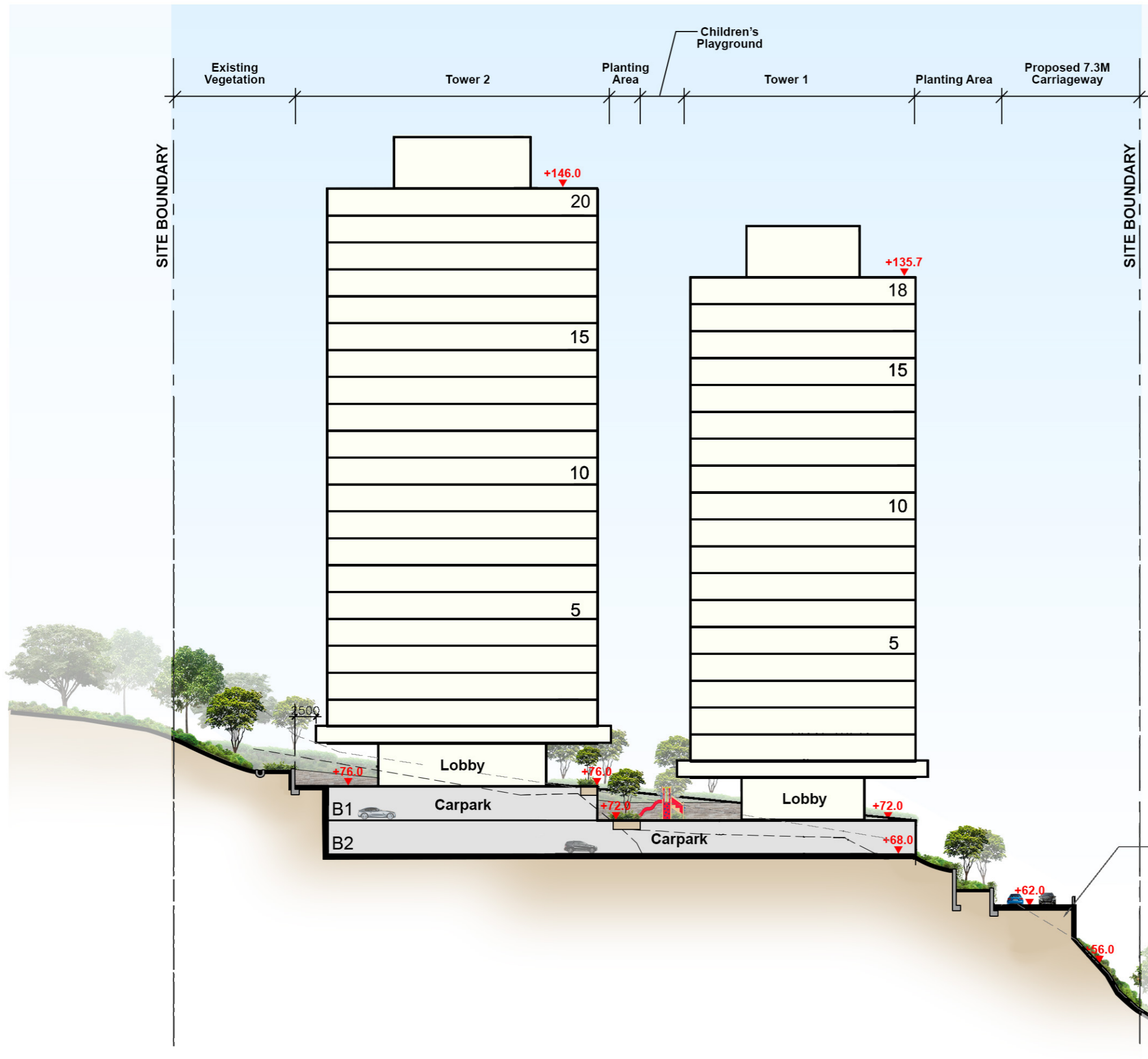


ALBERT SO SURVEYORS LTD.

申請編號 Application No. : Y / TW / 19
此頁摘自申請人提交的文件。
This page is extracted from applicant's submitted documents.

FIGURE 4.2 EXTRACT OF LANDSCAPE MASTER PLAN





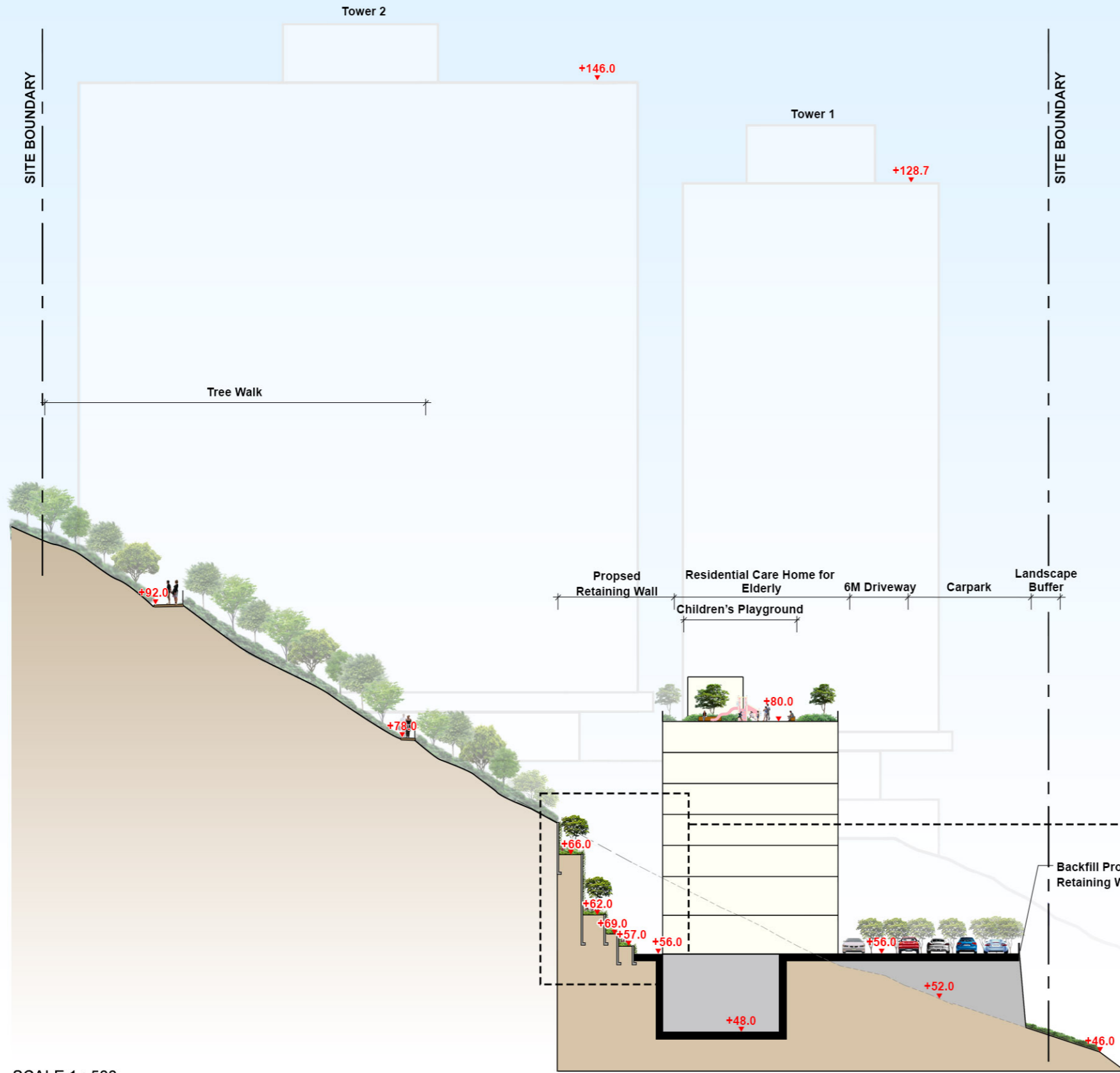
KEY PLAN

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

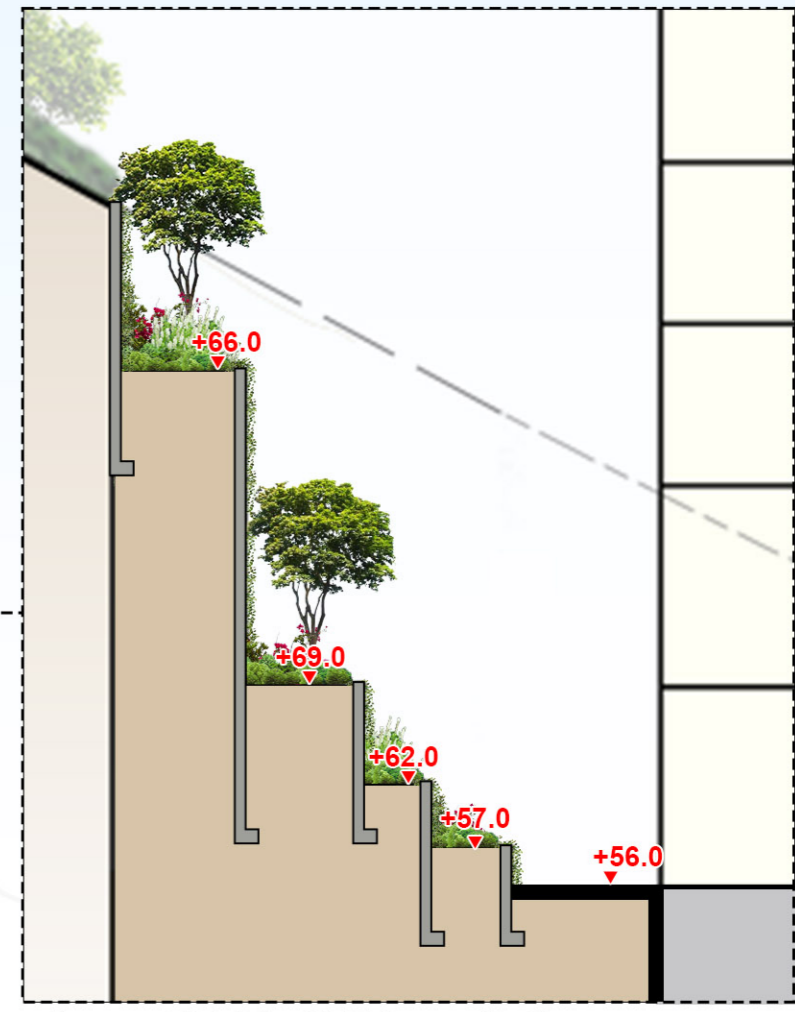


						Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong						Drawing No. ASSL7/SEC01			
						Drawing Title LANDSCAPE SECTION 1						Scale 1:500			
D	OCT 2022	Landscape Proposal Revision B	OO	JN	CD										
C	SEPT 2022	Landscape Proposal Revision B	LW	JN	CD										
B	AUG 2022	Landscape Proposal Revision B	OO	JN	CD										
A	MAR 2022	Landscape Proposal Revision A	LW	JN	CD										
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by	LW	Checked by	DK	Approved by	CD	Date	JUL 2021	Job. No.	ASSL7


 Planning, Urban Design, Landscape, Golf & Environmental Consultants
 Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662



SCALE 1 : 500
 0 10 20 30m



<table border="1"> <tr> <td>D</td> <td>MAR 2023</td> <td>Landscape Proposal Revision B</td> <td>OO</td> <td>JN</td> <td>CD</td> </tr> <tr> <td>C</td> <td>OCT 2022</td> <td>Landscape Proposal Revision B</td> <td>OO</td> <td>JN</td> <td>CD</td> </tr> <tr> <td>B</td> <td>SEPT 2022</td> <td>Landscape Proposal Revision B</td> <td>OO</td> <td>JN</td> <td>CD</td> </tr> <tr> <td>A</td> <td>AUG 2022</td> <td>Landscape Proposal Revision B</td> <td>OO</td> <td>JN</td> <td>CD</td> </tr> <tr> <td>-</td> <td>MAR 2022</td> <td>Landscape Proposal Revision A</td> <td>LW</td> <td>JN</td> <td>CD</td> </tr> </table>						D	MAR 2023	Landscape Proposal Revision B	OO	JN	CD	C	OCT 2022	Landscape Proposal Revision B	OO	JN	CD	B	SEPT 2022	Landscape Proposal Revision B	OO	JN	CD	A	AUG 2022	Landscape Proposal Revision B	OO	JN	CD	-	MAR 2022	Landscape Proposal Revision A	LW	JN	CD	Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong						Drawing No. ASSL7/SEC04	
D	MAR 2023	Landscape Proposal Revision B	OO	JN	CD																																						
C	OCT 2022	Landscape Proposal Revision B	OO	JN	CD																																						
B	SEPT 2022	Landscape Proposal Revision B	OO	JN	CD																																						
A	AUG 2022	Landscape Proposal Revision B	OO	JN	CD																																						
-	MAR 2022	Landscape Proposal Revision A	LW	JN	CD																																						
Drawing Title LANDSCAPE SECTION 4						Scale As Shown																																					
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by	LW	Checked by	DK	Approved by	CD	Date	JUL 2021	Job. No.	ASSL7																												



KEY PLAN



VIEW OF THE PROPOSED SCHEME

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Job Title	Drawing No.	Scale	Job. No.						
C	OCT 2022	Landscape Proposal Revision B	OO	JN	CD	S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong	ASSL7/REN01	N.T.S.	ASSL7						
B	SEPT 2022	Landscape Proposal Revision B	LW	JN	CD										
A	AUG 2022	Landscape Proposal Revision B	OO	JN	CD										
-	MAR 2022	Landscape Proposal Revision A	LW	JN	CD										
						Job Title									
						Drawing Title									
						Drawn by	LW	Checked by	JN	Approved by	CD	Date	MAR 2022	Job. No.	ASSL7



Planning, Urban Design, Landscape, Golf & Environmental Consultants
 Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662




KEY PLAN

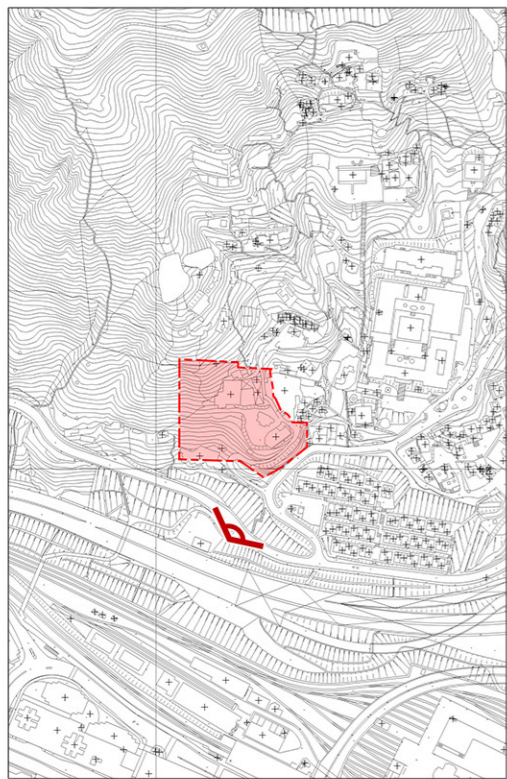


VIEW OF THE PROPOSED SCHEME

1.8m Fence wall with proposed vertical greenery

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

						Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong	Drawing No. ASSL7/REN02	 Planning, Urban Design, Landscape, Golf & Environmental Consultants Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662
C	OCT 2022	Landscape Proposal Revision B	OO	JN	CD	Drawing Title Street-level photomontage at the proposed development main entrance at East	Scale N.T.S.	
B	SEPT 2022	Landscape Proposal Revision B	LW	JN	CD			
A	AUG 2022	Landscape Proposal Revision B	OO	JN	CD			
-	MAR 2022	Landscape Proposal Revision A	LW	JN	CD			
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by LW Checked by JN Approved by CD Date MAR 2022	Job. No. ASSL7	



KEY PLAN



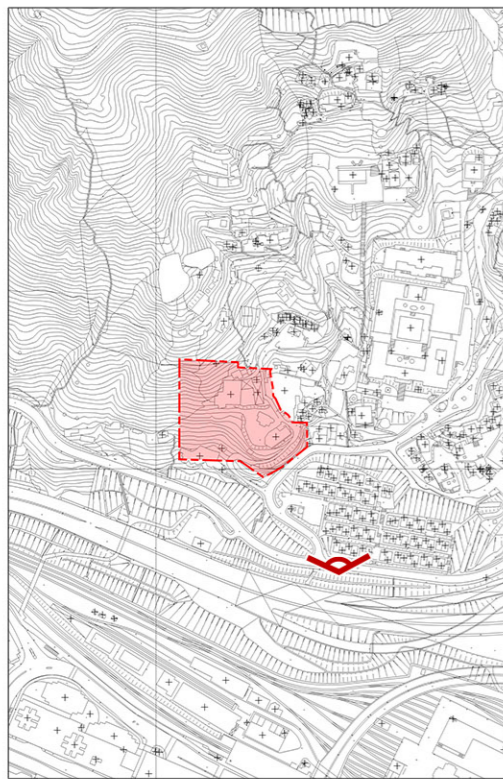
EXISTING VIEW



VIEW OF THE PROPOSED SCHEME

						Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong	Figure No. B.7
						Drawing Title Pedestrians in the end of connection access path from MTR to Route Twisk (VP#3)	Scale N.T.S.
A	APR 2022	VISUAL IMPACT ASSESSMENT REVISION A	LW	JN	CD		
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by	Job No.
			LW	JN	CD	APR 2022	ASSL7

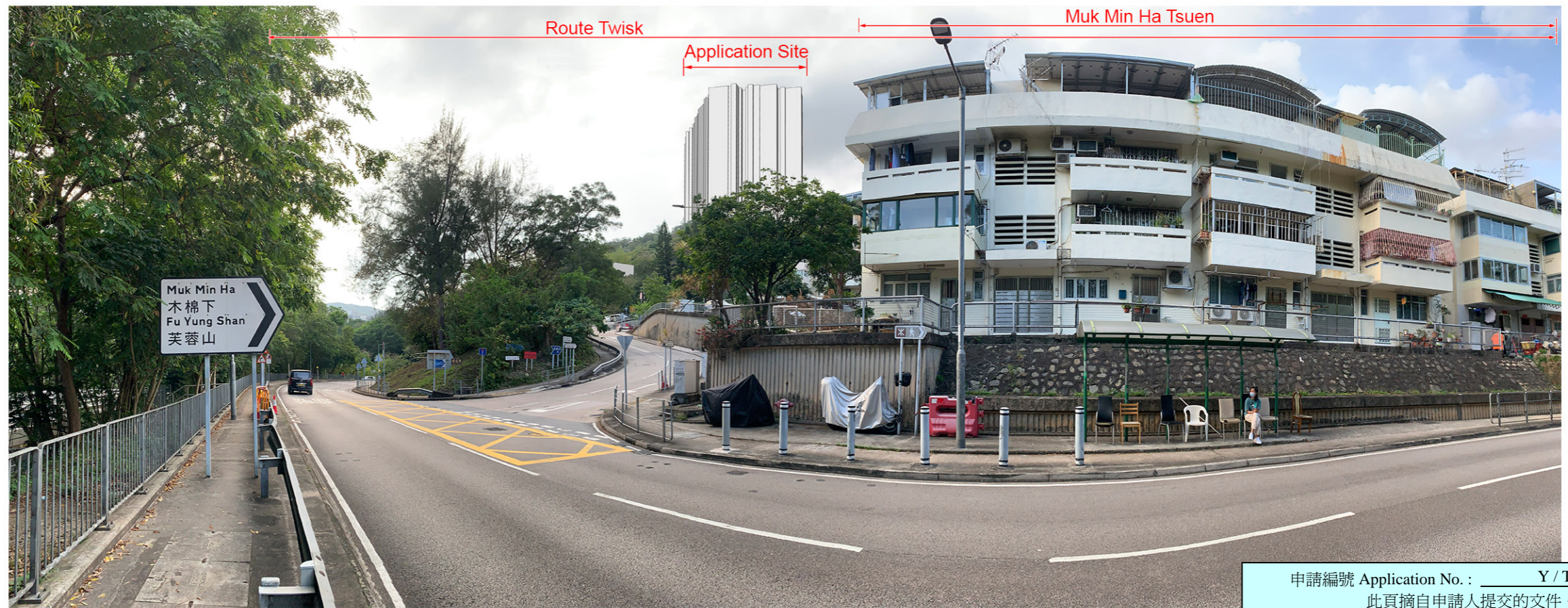




KEY PLAN



EXISTING VIEW



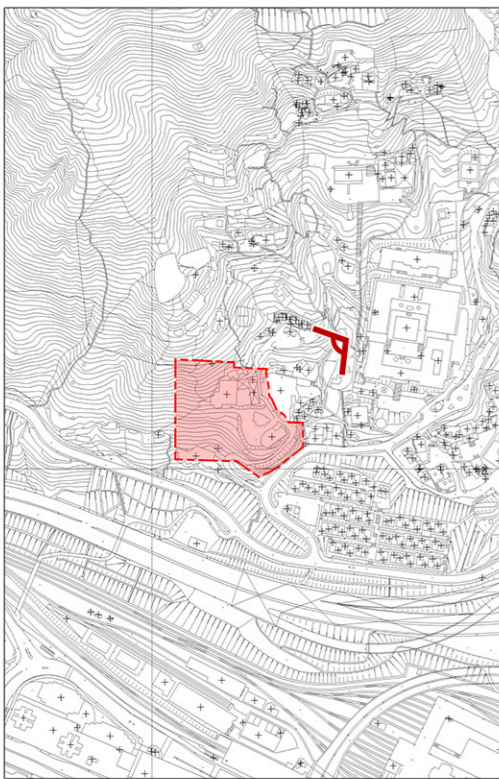
VIEW OF THE PROPOSED SCHEME

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

						Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong				Figure No. B.8					
						Drawing Title Pedestrians and vehicles at Route Twisk (VP#4)				Scale N.T.S.					
A	APR 2022	VISUAL IMPACT ASSESSMENT REVISION A	LW	JN	CD	Drawn by	LW	Checked by	JN	Approved by	CD	Date	APR 2022	Job. No.	ASSL7
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by	Checked by	Approved by	Checked by	Approved by	Checked by	Approved by	Date	Job. No.	ASSL7



Planning, Urban Design, Landscape, Golf & Environmental Consultants
 Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662



KEY PLAN



申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.

EXISTING VIEW

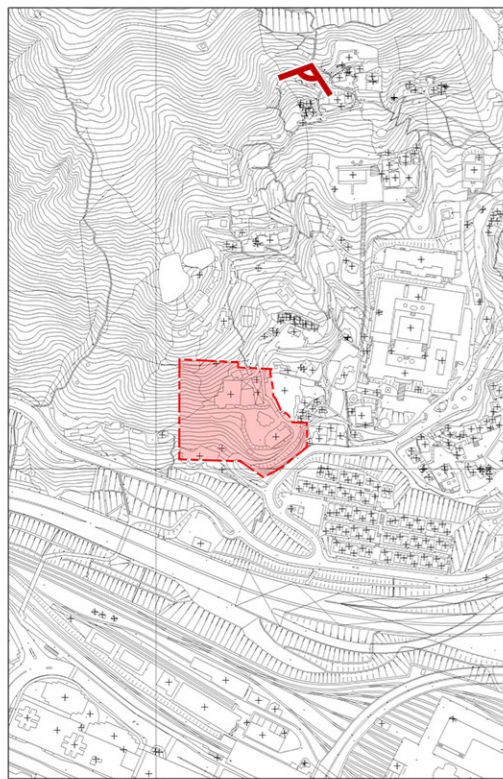


VIEW OF THE PROPOSED SCHEME

Tsuen Wan Town Center
 Application Site
 Village Houses in Fu Yung Shan Village
 Fu Yung Shan Village Public Footpath

						Job Title S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong	Figure No. B.11
						Drawing Title Pedestrians at Fu Yung Shan Village Public Footpath (VP#7)	Scale N.T.S.
B	AUG 2022	VISUAL IMPACT ASSESSMENT REVISION B	OO	JN	CD		
A	APR 2022	VISUAL IMPACT ASSESSMENT REVISION A	LW	JN	CD		
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	Drawn by LW Checked by JN Approved by CD Date APR 2022	Job No. ASSL7


Urbis Limited
 Planning, Urban Design, Landscape, Golf & Environmental Consultants
 Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662



KEY PLAN

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.



EXISTING VIEW



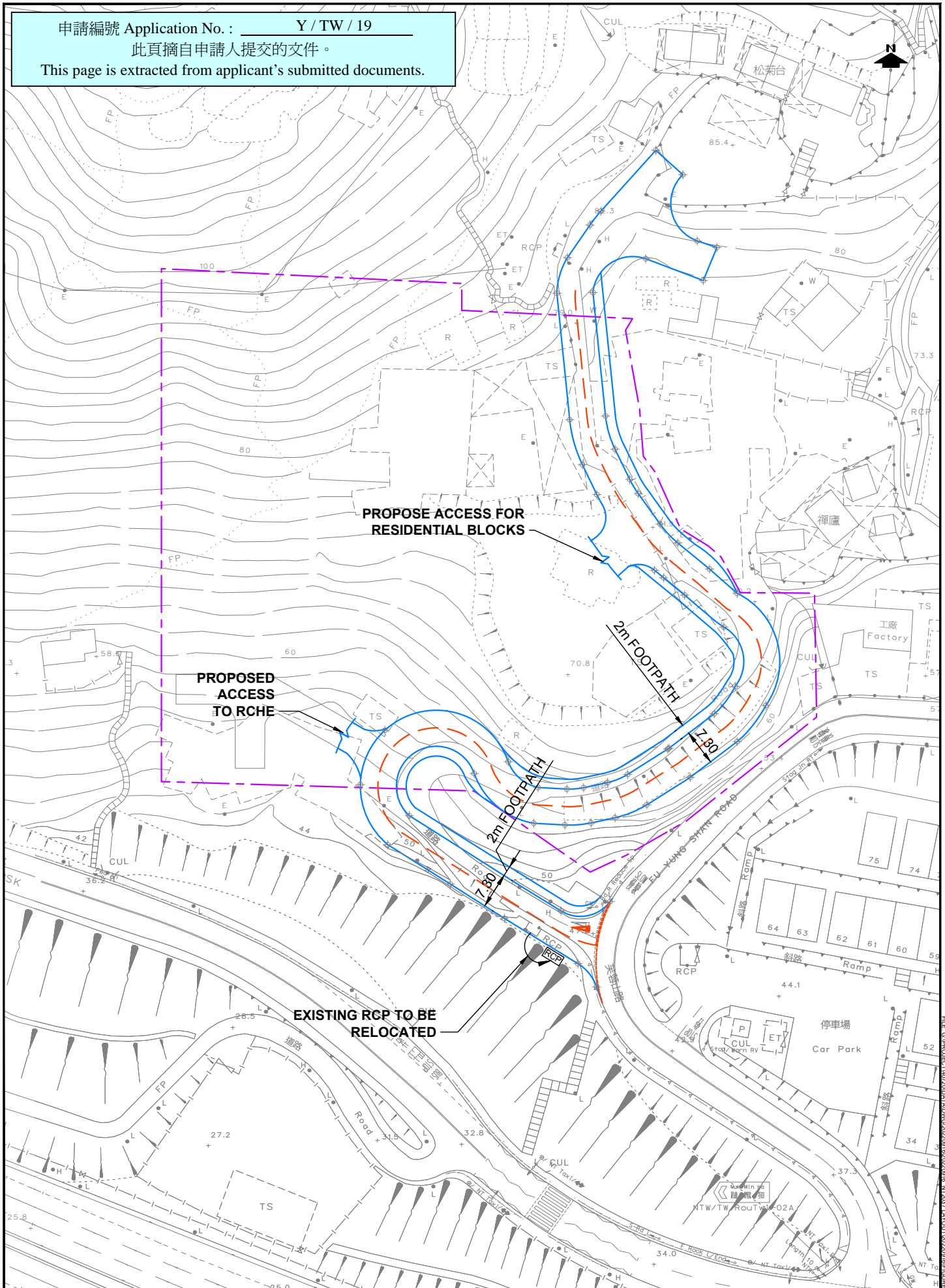
VIEW OF THE PROPOSED SCHEME

						Job Title	Figure No.
						S12A Planning Application for amendment to the Draft Tsuen Wan OZP No. S/TW/34 from "Green Belt" and "Village Type Development" to "Residential (Group B)" at various Lots in D.D 453, Tsuen Wan, Hong Kong	B.16
						Drawing Title	Scale
						Users in the rain shelter area at Fu Yung Shan Village (VP#12)	N.T.S.
A	APR 2022	VISUAL IMPACT ASSESSMENT REVISION A	LW	JN	CD	Drawn by	Job No.
Amendment No.	Date	Description	Drawn by	Checked by	Approved by	LW	ASL7
						Checked by	Date
						JN	APR 2022
						Approved by	Job No.
						CD	ASL7
						Date	ASL7
						APR 2022	



Planning, Urban Design, Landscape, Golf & Environmental Consultants
 Urbis Limited, 11/F Siu On Centre, 188 Lockhart Road, Wan Chai, Hong Kong. Tel : 2802 3333 Fax : 2802 8662

申請編號 Application No. : Y / TW / 19
 此頁摘自申請人提交的文件。
 This page is extracted from applicant's submitted documents.



PROJECT NO. 40720	PROJECT TITLE PLANNING APPLICATION UNDER SECTION 12A FOR THE PROPOSED DEVELOPMENT AT LOT NOS. 1177 S.A RP, 1205 AND 1181 IN D.D. 453, FU YUNG SHAN, TSUEN WAN, N.T.	DRAWING NO. FIGURE C1	REV. A
DESIGNED HCS	DATE MAR 2023	PRELIMINARY PROPOSED ALIGNMENT OF THE UPGRADED LOCAL ACCESS ROAD	
DRAWN CLL	SCALE 1:1000		
CHECKED SLN			
LLA 顧問有限公司 Consultancy Limited			