

2025年 3月 1 7日

Appendix I of RNTPC
Paper No. A/NE-PK/216

此文件在 17 MAR 2025
只會在收到所有必須資料後，由城市規劃委員會正式承認收到
申請的日期。

This document is received on 17 MAR 2025
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2500232

27/1

By hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-PK/216
	Date Received 收到日期	17 MAR 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☒ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

Poon, Mo Kuen Joe 潘慕娟

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

Pang Hing Yeun 彭慶餘

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	D.D. 91 Lot 1128 RP, 1130 S.A, 1130 S.B, 1130 RP, 1131 S.A, 1131 S.B & 1131 RP, Kai Leng, Sheung Shui, New Territories. 新界上水雞嶺丈量約份第91約地段第1128號餘段、1130號A分段、1130號B分段、1130號餘段、1131號A分段、1131號B分段及1131餘段
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 637.45 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 NA sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... NA sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	PING KONG OZP 丙崗分區計劃大綱圖 S/NE-PK/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Village Type Development 鄉村式發展
(f) Current use(s) 現時用途	Temporary Car Park 臨時停車場 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at25/01/2025..... (DD/MM/YYYY), this application involves a total of7..... "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☒ has obtained consent(s) of6..... "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
4	D.D. 91 Lot Nos. 1128 RP, 1130 S.A, 1130 RP, 1130 S.B	25/01/2025
2	D.D. 91 Lot Nos. 1131 S.A, 1131 S.B & 1131 RP	25/01/2025

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&
- ☒ posted notice in a prominent position on or near application site/premises on
20/02/2025 (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 19/02/2025 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Private Car Park (Private Car and Light Goods Vehicle) (For a period of 3 years) 臨時私人停車場(私家車及輕型貨車)(為期三年) (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	..... 637.45 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	..... NA
Proposed domestic floor area 擬議住用樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) NA	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	..... 16 (5m x 2.5m)
Motorcycle Parking Spaces 電單車車位	.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... 4 (5m x 2.5m)
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	.....
Others (Please Specify) 其他 (請列明)	.....
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	.....
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	.....

Proposed operating hours 擬議營運時間 星期一至日全日 24 小時開放，包括公眾假期			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 鄉村車路連接裕泰路	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> _____ _____		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

1. 申請位置位于上水雞嶺村，整個雞嶺村只有一個政府公眾停車場，村內車位嚴重不足。
2. 同時附近清河村及御皇庭的居民車位亦嚴重不足，因此亦會將車輛停泊到雞嶺村的政府公眾停車場，因此此停車位供不應求。
3. 由於車位不足，導致雞嶺村附近維瀚路及裕泰路有嚴重違泊情況，影響交通及居民安全。
4. 申請位置只停泊私家車及輕型貨車，3.3 噸以上車輛不得停泊。
5. 申請位置合共 20 個車位，16 個私家車位及 4 個輕型貨車位，而場中間有足夠闊度給予車輛掉頭。
6. 申請位置現已有一條車路通往申請地點，該車路連接裕泰路，路面闊度約 3.2m 至 6 m 左右。
7. 申請位置的车位只提供給雞嶺村居民停泊，外來人士不得使用有關車位。
8. 申請位置每日車輛出入架次約為 15 至 20 次。
9. 申請位置星期一至日，全日 24 小時開放，包括公眾假期。
10. 申請位置不涉斬樹、填土及挖掘工程，因此不會影響環境。
11. 除了雞嶺村外，真寶區內車位車位嚴重不足，加上清河村 2 期發展，將來車位不足情況會更加嚴重，因此懇請貴署放寬一些土地用作停泊車輛。
12. 申請位置地段 1130 S.B 及 1131 S.A 已向地政處申請小型屋宇，由於現時尚未獲批，因此申請地點現在只是暫時申請用作泊車，若該屋宇獲得批出，我們會取消臨時停車場的申請。
13. 申請位置在較早前已獲批規劃許可用作臨時停車場，但由於未能於指定時間內完成附帶條件，興建雨水渠及消防設施，但由於我們需要得到相關業主同意我們於申請地點上建造雨水渠，現在我們已與相關業主達成共識准許我們興工。

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Pang Hing Yeun

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

25/01/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments. 方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	D.D. 91 Lot 1128 RP, 1130 S.A, 1130 S.B, 1130 RP, 1131 S.A, 1131 S.B & 1131 RP, Kai Leng, Sheung Shui, New Territories. 新界上水雞嶺丈量約份第91約地段第1128號餘段、1130號A分段、1130號B分段、1130號餘段、1131號A分段、1131號B分段及1131餘段
Site area 地盤面積	637.45 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	PING KONG OZP 丙崗分區計劃大綱圖 S/NE-PK/11
Zoning 地帶	Village Type Development 鄉村式發展
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Private Car Park (Private Car and Light Goods Vehicle) (For a period of 3 years) 臨時私人停車場(私家車及輕型貨車)(為期三年)

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	<div style="text-align: right;">m 米</div> <input type="checkbox"/> (Not more than 不多於)	
		<div style="text-align: right;">Storeys(s) 層</div> <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	<div style="text-align: right;">m 米</div> <input type="checkbox"/> (Not more than 不多於)	
		<div style="text-align: right;">Storeys(s) 層</div> <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	<div style="text-align: right;">%</div> <input type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>		20 16 (5m x 2.5m) 4 (5m x 2.5m)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

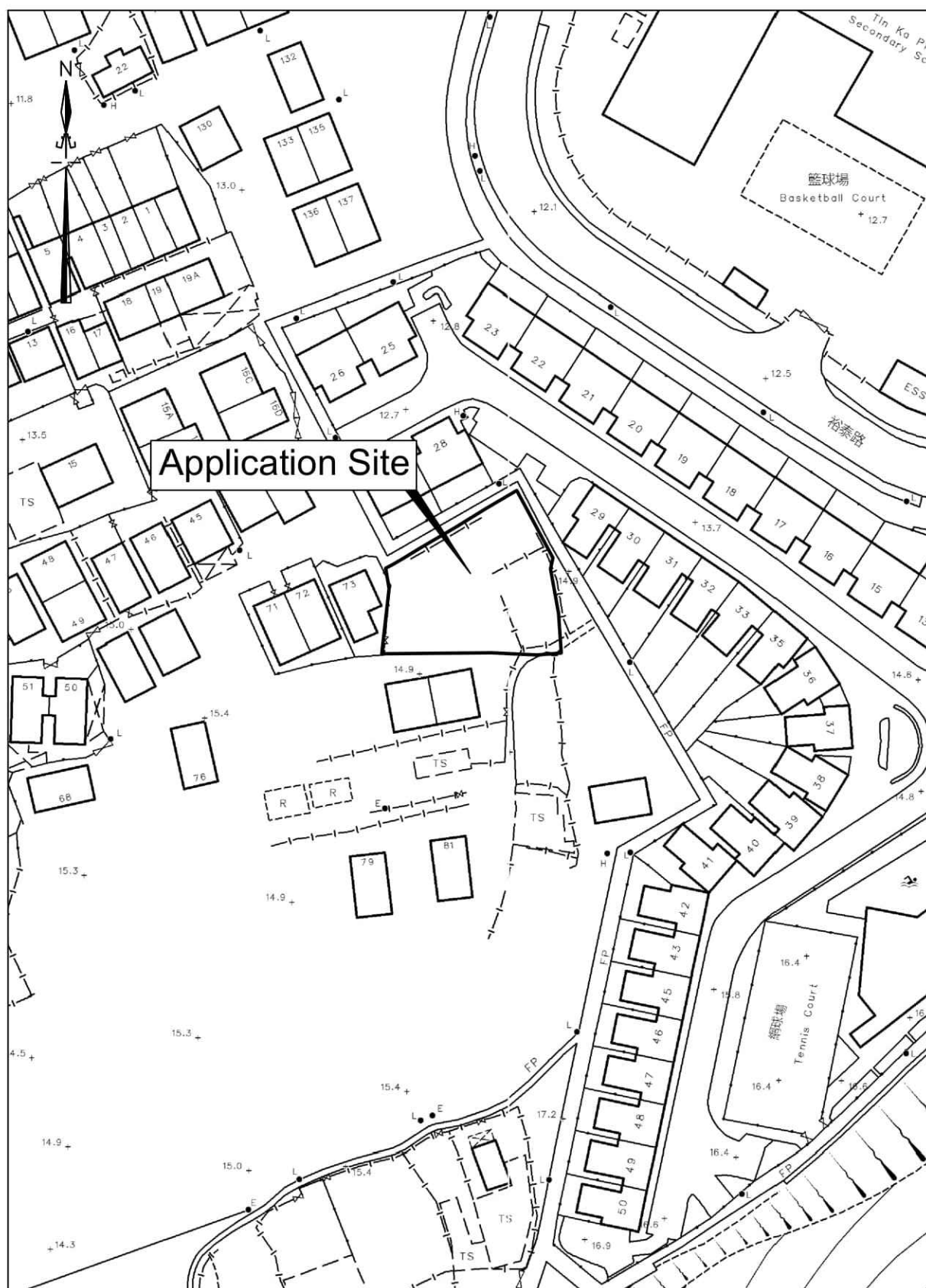
	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Access Plan, Proposed Stormwater Drainage Plan, U-Channel and Catchpit Details and Proposed Fire Service Installation		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

LOCATION PLAN

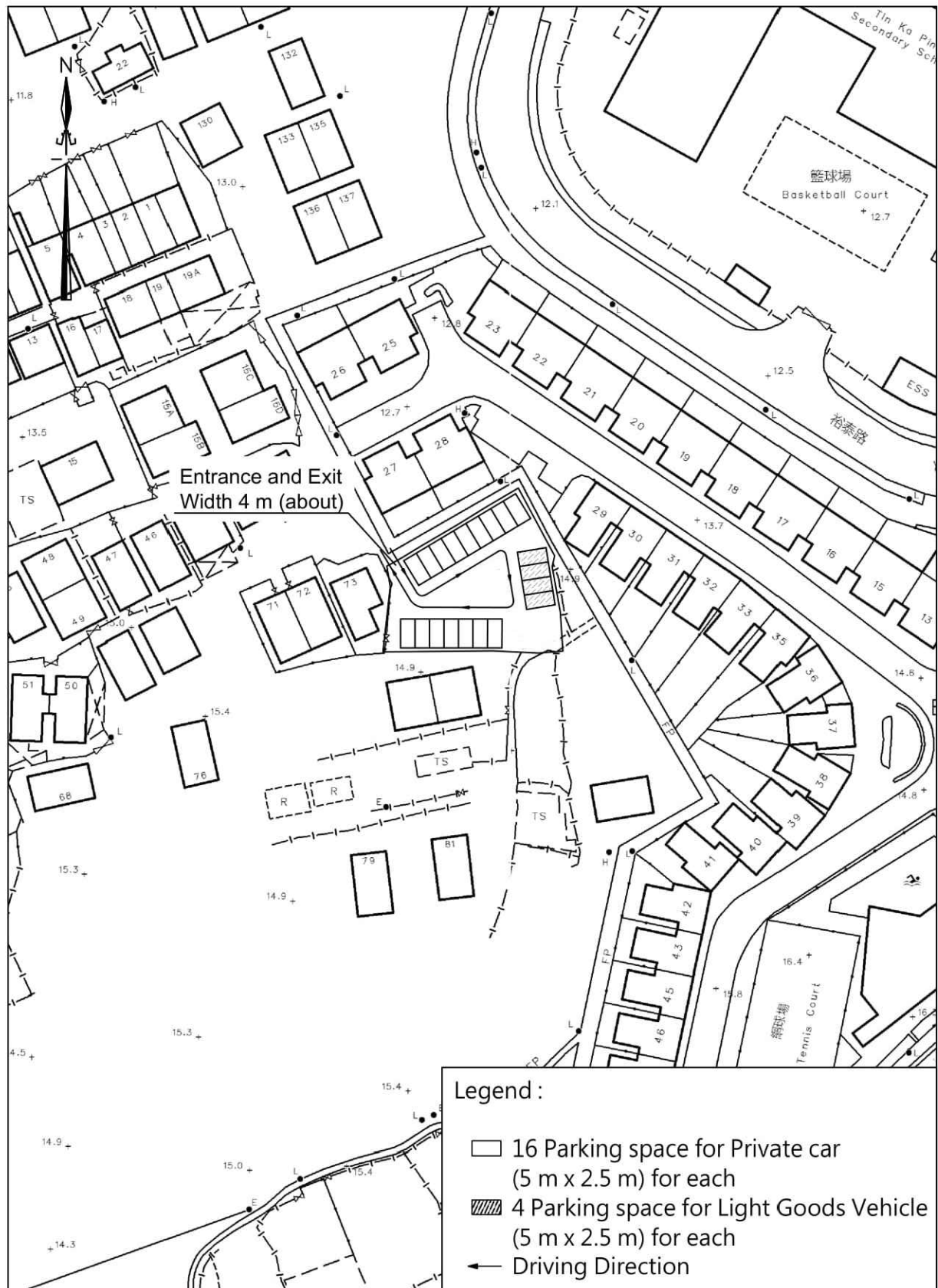


Scale : 1 : 1000

Survey Sheet No. : 3-SW-11B
3-SW-12A

Date : January 2025

LAYOUT PLAN

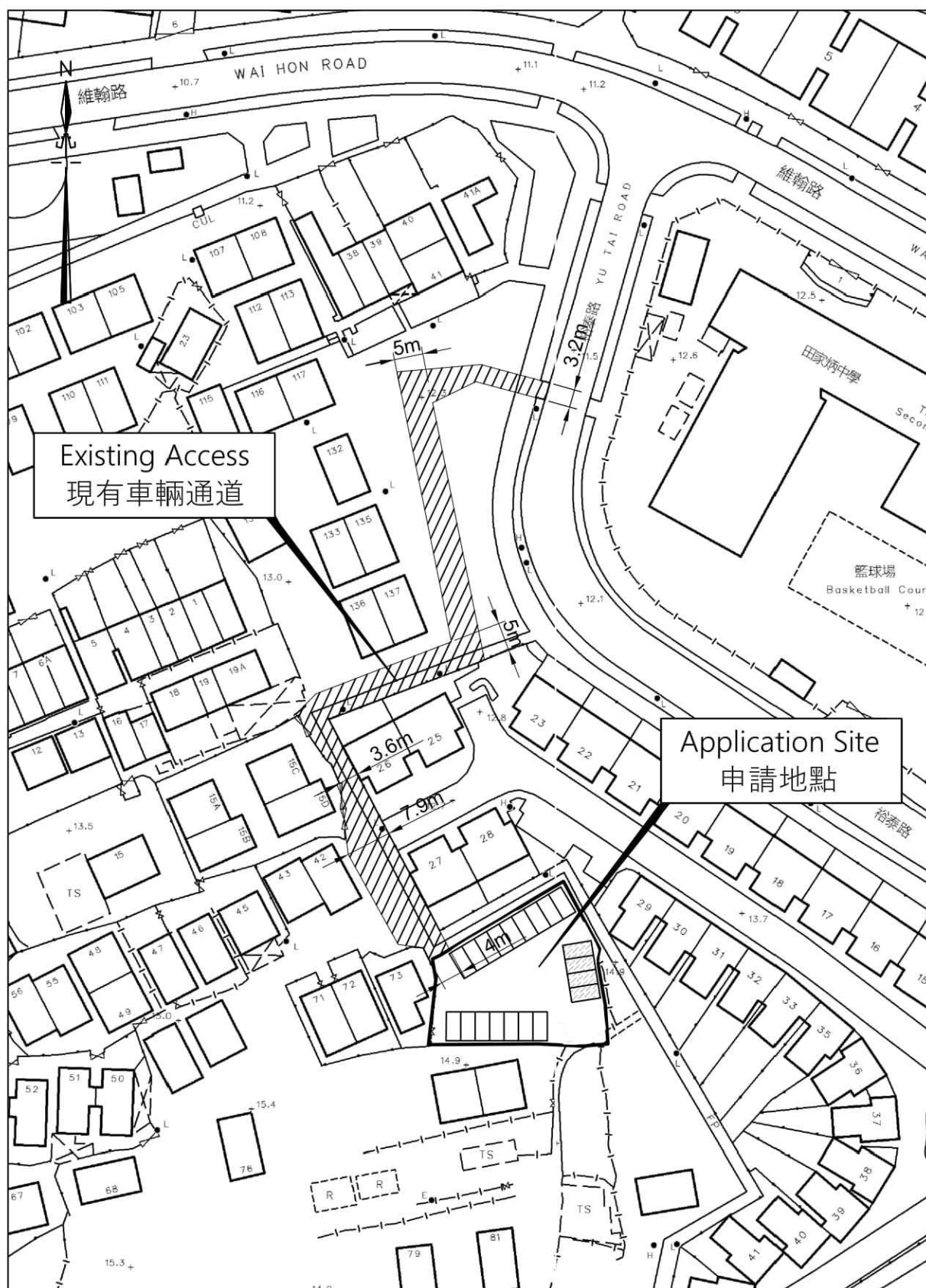


Scale : 1 : 1000

Survey Sheet No. : 3-SW-11B
3-SW-12A

Date : January 2025

ACCESS PLAN

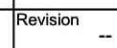


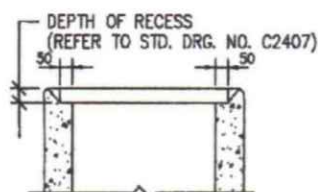
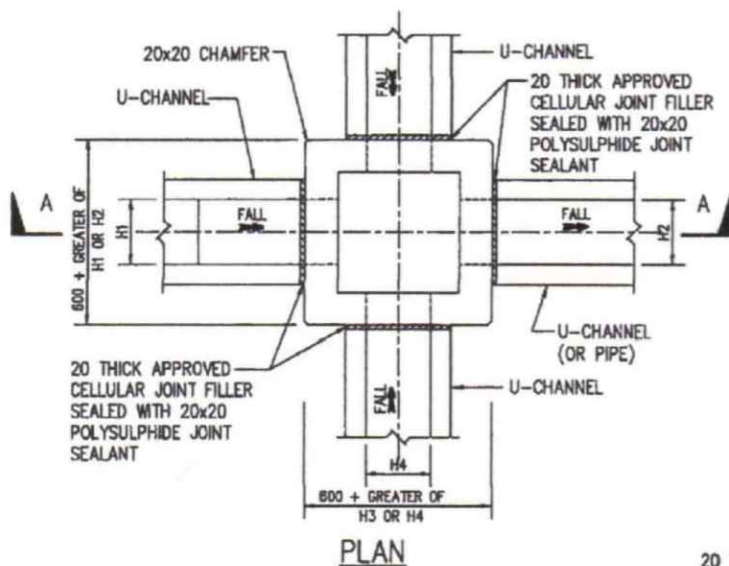
Scale : 1 : 1000

Survey Sheet No. : 3-SW-11B
3-SW-12A

Date : January 2025

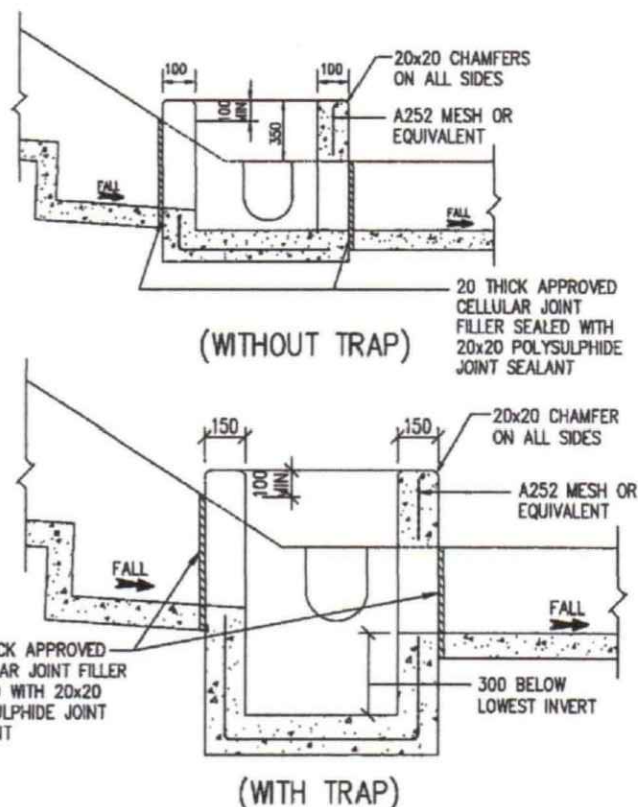
+14.85 Spot Level (mPD)





**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVER**

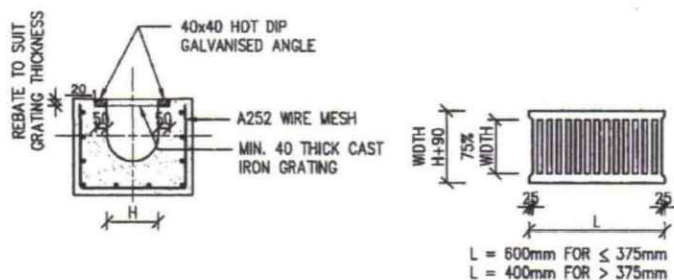
**STANDARD CATCHPIT DETAILS
(ACCORDING TO CEDD'S DRAWING NO. C2405I & 2406I)**



NOTES

SECTION A - A

- (1) ALL DIMENSIONS ARE IN MILLIMETRES.
- (2) SIZE - DEPTH : $D \leq 750$
WIDTH : $W \geq 3B$
LENGTH : $L = 4.8D^{0.67} H^{0.5} F^{-0.5} > 4B$
- (3) GRADED STONE FILTER SHALL BE CRUSHER RUN GRANITE AGGREGATE.
- (4) THE SANDTRAP SHALL BE REGULARLY DESILTED TO AVOID BLOCKAGE.



TYPICAL SECTION

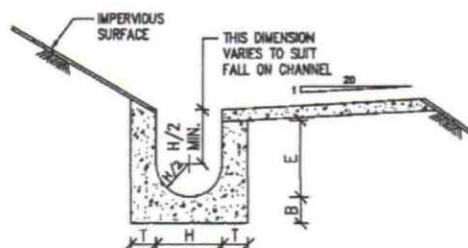
(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

CAST IRON GRATING

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

(ACCORDING TO CEDD'S DRAWING NO. C2412E)



NOMINAL SIZE (H)	T	B	REINFORCEMENT
225-300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E<650
375-600	100	150	
675-900	100	150	A252 MESH PLACED CENTRALLY

TYPICAL U-CHANNEL DETAILS

(ACCORDING TO CEDD'S DRAWING NO. C2410G)

N.T.S.

NOTES FOR U-CHANNEL

1. THE COVER OF PROPOSED U-CHANNEL SHALL BE FLUSH WITH THE PATH SURFACE AND ANY HOLE IN SUCH COVER SHALL NOT EXCEED 20mm IN ONE DIMENSION.
2. CAST IRON GRATINGS TO BE USED SHALL BE COMPLIANCE WITH BS 437:2008.

Project Title D.D. 91 Lot 1128 RP, 1130 S.A, 1130 S.B, 1130 RP, 1131 S.A, 1131 S.B & 1131 RP, Kai Leng, Sheung Shui, N.T.

Figure Title U-Channel and Catchpit Details

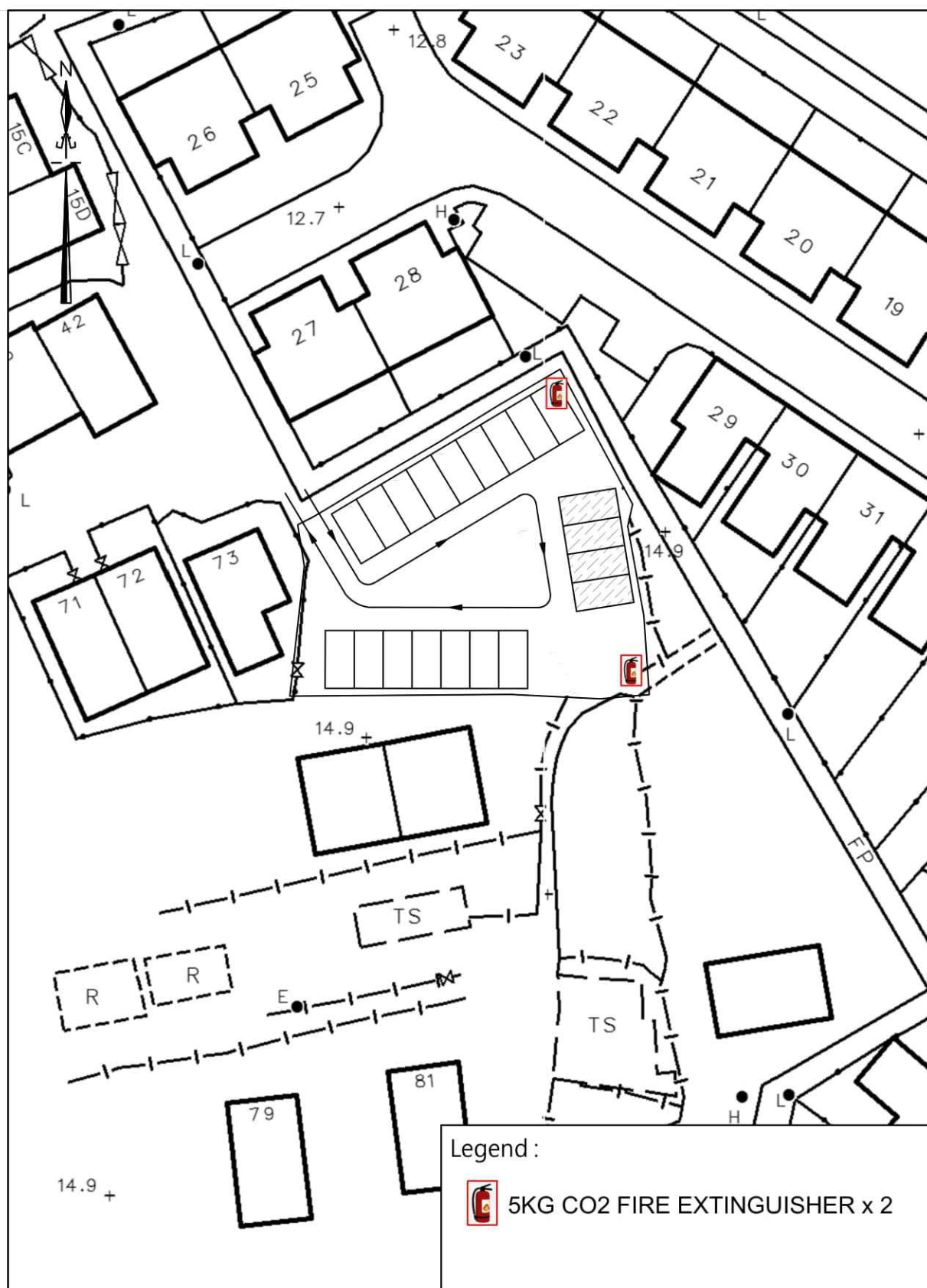
Scale --

Date 18-01-2025

Figure No. DP-02

Revision --

Proposed Fire Service Installation



Scale : 1 : 500

Survey Sheet No. : 3-SW-11B
3-SW-12A

Date : January 2025

☐ Urgent ☐ Return receipt ☐ Expand Group ☐ Restricted ☐ Prevent Copy ☐ **Paper No. A/NE-PK/216**

寄件者: Theodora Pui Shan CHAN/PLAND
寄件日期: 2025年04月16日星期三 9:47
收件者: tpbpd/PLAND
副本: Karen Ka Yan TSUI/PLAND; Shing Fung CHAIR/PLAND
主旨: Fw: [s16 application A/NE-PK/216]: Departmental Comment from Transport Department (TD)

Dear Town Planning Board Secretariat,

Please find below the further information submitted by the applicant via email dated 15.4.2025 regarding the s16 application No. A/NE-PK/216. Thank you.

Regards,
Theodora Chan
TP/TP(6)
Sha Tin, Tai Po & North District Planning Office
Planning Department
(Tel.: 2158 6235)

From: pang hingyeun [REDACTED]
Sent: Tuesday, April 15, 2025 7:59 PM
To: Theodora Pui Shan CHAN/PLAND [REDACTED]
Subject: 回覆: [s16 application A/NE-PK/216]: Departmental Comment from Transport Department (TD)

Dear Ms Chan,

We reply to TD's comments.

- a. The proposed layout of the subject site is identical to the previous approved Planning Application No. A/NE-PK/173.
- b. We will obtain consent of the owners/managing department of the concerned Ping Kong Road and local track for using it as the vehicular access to the subject site if necessary.

Thank You !

Regards,
H.Y.Pang

Previous Application

Approved Application

Application No.	Proposed Use(s)/Development(s)	Date of Consideration
A/NE-PK/173	Temporary Private Car Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	13.1.2023 (Revoked on 13.10.2024)

Similar Applications

Approved Applications

Application No.	Proposed Use(s)/Development(s)	Date of Consideration
A/NE-PK/174	Temporary Private Car Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	13.1.2023 (Revoked on 13.10.2024)
A/NE-PK/184	Temporary Private Vehicle Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	19.5.2023 (Revoked on 19.2.2024)
A/NE-PK/198	Temporary Private Vehicle Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	16.8.2024

Remarks

1: Application No. A/NE-PK/184 and 198 are in the same site.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- no comment to the application;
- the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through Government Land (GL) but no right of access via GL is granted to the Site;
- Lot no. 1131 S.A in D.D. 91 is covered by building licence no. 69/2017 for non-industrial purposes. There is a building covenant restriction that the licensee should complete the building development before the expiration of 36 months from 9.2.2024;
- the applicant confirms in the application form that no structure is proposed;
- the comments above are made without prejudice to the Government's right to enforce relevant lease conditions, in particular but not limited to the building covenant restriction mentioned; and
- his advisory comments are at **Appendix V**.

2. Traffic

Comments of the Commissioner of Police (C of P):

- no comment on the application; and
- there were 50 traffic obstructions or complaints at Wai Hon Road between January and March 2025, on average of around 1 complaint per two days. Also, nine traffic accidents were recorded in the same period. The illegal parking situation appeared to be moderate at the area.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application from environmental planning perspective; and
- there is no environmental complaint related to the Site received in the past three years.

4. Drainage

Comment of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no adverse comment on the planning application and the stormwater drainage proposal from public drainage point of view;
- the existing catchpit proposed for discharge of the runoff from the subject site is not maintained by DSD. Consent from the owner/maintenance party, current users and DO/N should be sought for the proposed drainage connection. Moreover, regular maintenance should be carried out by the lot owner/developer to avoid blockage of drain.
- should the application be approved, an approval condition should be included to request the applicant should implement a drainage proposal for the Site to ensure that the applied use will not cause adverse drainage impact to the adjacent area and to the satisfaction of his Office;
- despite that no sewage disposal/treatment was submitted with the application, EPD should be consulted regarding the sewerage treatment/disposal aspects of the applied use; and
- his advisory comments are at **Appendix V**.

5. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations and water supplies for firefighting being provided to his satisfaction; and
- his advisory comments are at **Appendix V**.

6. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- site formation works and associated drainage works are building works under the control of Buildings Ordinance (BO). Before the proposed works is to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works. An Authorized Person should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and
- his advisory comments are at **Appendix V**.

7. **Other Departments**

The following departments have no objection to / no adverse comment on the application:

- Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD);

- Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Director of Agriculture, Fisheries and Conservation (DAFC);
- Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD);
- Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD); and
- District Officer (North), Home Affairs Department (DO(N), HAD).

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) should there be further non-compliance with any of the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given to any further application;
- (c) to resolve any land issue relating to the development with concerned owner(s) of the Site;
- (d) to note the comments of the District Lands Officer, North (DLO/N, LandsD) that Lot no. 1131 S.A in D.D. 91 is covered by building licence no. 69/2017 for non-industrial purposes. There is a building covenant restriction that the licensee should complete the building development before the expiration of 36 months from 9.2.2024;
- (e) to note the comments of the Commissioner for Transport (C for T) that the local track leading to the Site is not under her office's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - the existing catchpit proposed for discharge of the runoff from the Site is not maintained by DSD. Consent from the owner/maintenance party, current users and DO/N should be sought for the proposed drainage connection. Moreover, regular maintenance should be carried out by the lot owner/developer to avoid blockage of drain;
 - the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at his expense;
 - the lot owner/developer is required to rectify/modify the drainage system if it is found to be inadequate or ineffective during operation. The lot owner/developer shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by failure of the system;
 - for works to be undertaken outside the lot boundary, prior consent and agreement from DLO/N, DO/N and/or relevant private lot owners should be sought;
 - the lot owner/developer should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing drainage facilities in the vicinity of the lot. In the event of any damage to the existing drainage facilities, the lot owner/developer would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom;
 - the lot owner/developer should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the

proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot and all upstream catchments; and

- despite that no sewage disposal/treatment was submitted with the application, EPD should be consulted regarding the sewerage treatment/disposal aspects of the applied use;

(g) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD) that:

- existing water mains inside the Site will be affected. The applicant is required to either divert or protect the water mains found on the Site;
- if diversion is required, existing water mains inside the Site are needed to be diverted outside the Site boundary to lie in Government land. A strip of land of minimum 1.5m in width should be provided for the diversion of existing water mains. The cost of diversion of existing water mains upon request will have to be borne by the applicant, and the applicant shall submit all the relevant proposal to WSD for consideration and agreement before the works commence; and
- if diversion is not required, the following conditions shall apply:
 - existing water mains are affected in the Site and no development which requires resiting of water mains will be allowed;
 - details of site formation works shall be submitted to the Director of Water Supplies (D of WS) for approval prior to commencement of works;
 - no structures shall be built and no materials shall be stored within 1.5m from the centre line(s) of water main(s). Free access shall be made available at all times for staff of the D of WS or their contractors to carry out construction, inspection, operation, maintenance and repair works;
 - no trees or shrubs with penetrating roots may be planted within the Water Works Reserve or in the vicinity of the water main(s). No change of existing site condition may be undertaken within the aforesaid area without the prior agreement of the D of WS. Rigid root barriers may be required if the clear distance between the proposed tree and the pipe is 2.5m or less, and the barrier must extend below the invert level of the pipe;
 - no planting or obstruction of any kind except turfing shall be permitted within the pace of 1.5m around the cover of any valve or within a distance of 1m from any hydrant outlet; and
 - tree planting may be prohibited in the event that the D of WS considers that there is any likelihood of damage being caused to water mains;

(h) to note the comments of the Director of Fire Services (D of FS) that:

- in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicant should submit relevant layout plans incorporated with the proposed FSIs for approval. The layout plans should be (i) drawn to scale and depicted with dimensions and nature of occupancy, and (ii) the locations of where the proposed FSIs to be installed should be clearly marked on the layout plans;
- if the proposed structure(s) is required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
- if an electricity charging station is involved, the applicant should make reference to the requirement of Fireman's Emergency Switch (**Attachment I**); and

(i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- site formation works and associated drainage works are building works under the control of Buildings Ordinance (BO). Before the proposed works is to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works. An Authorized Person should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and
- attention should be drawn to the provision under Regulation 41 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of surface water.

Requirements for the Fireman's Emergency Switch

1. A fireman's emergency switch conforming EMSD's Code of Practice shall be provided to cut off the power supply of all EV charging facilities within the car parking facilities.
2. The switch shall be situated in a conspicuous position, yet out of reach of the public in general. Thus, switch(es) provided at vehicle entrance(s) shall be positioned no more than 3m but not less than 2.5 from ground level. Where more than one fireman's emergency switch is installed on any one building, such switches shall be clearly marked to distinguish one from another.
3. In case the switch is installed at a location other than the vehicle entrance, notice plate(s) shall be provided at conspicuous location(s) of vehicle entrance(s) acceptable to the Director of Fire Services to indicate the location of fireman's emergency switch.
4. The 'ON' and 'OFF' position of the fireman's emergency switch shall be conventional (i.e. push upward – 'OFF'; push downward – 'ON') and clearly indicated by lettering legible to a person standing on the ground at the intended site.
5. The switch is to be affixed on a board approximately 300 mm long by 250 mm wide, which is painted white and edged with a 50 mm red border. The inscription 'EV CHARGING FACILITIES - FIREMAN'S SWITCH' in English is to be painted on the top and '電動車充電設施 - 消防員開關掣' in Chinese at the bottom of the board in black. The switch is to be positioned in the middle of the board.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From:

Sent:

2025-04-07 星期一 22:31:30

To:

tpbpd/PLAND <tpbpd@pland.gov.hk>

Subject:

反對申請書

A/NE-PK/216

敬啟者

本人反對位於上水雞嶺村 DD91 LOT1128, 1130, 1131 停車位申請！
申請編號：

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From:
Sent: 2025-04-08 星期二 02:33:19
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/NE-PK/216 DD 91 Kai Leng

Dear TPB Members,

As usual Fire and Drainage conditions not fulfilled so 173 revoked.

It is shocking to note that the operator is only now submitting PROPOSALS, that may or may not be implemented.

This procrastination has been encouraged by the accommodating process whereby failure to abide by regulations is not only tolerated but rewarded via the rubber stamp roll over of applications.

Applications like this should at most be approved FOR ONE YEAR ONLY WITH CESSATION OF OPERATION MANDATORY IF CONDITIONS NOT FULFILLED.

Mary Mulvihill

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 19 December 2022 3:16 AM HKT
Subject: A/NE-PK/173 DD 91 Kai Leng

A/NE-PK/173

Lots 1128 RP, 1130 S.A, 1130 S.B, 1130 RP, 1131 S.A, 1131 S.B and 1131 RP in D.D. 91, Kai Leng, Sheung Shui

Site area: About 637.45sq.m

Zoning: "VTD"

Applied use: 20 Vehicle Parking

Dear TPB Members,

There have been dozens of application for net houses on Agriculture zoning at Kai Leng. PlanD has supported it on the excuse that there are not enough lots left in the V zone to meet demand.

How then could an application for parking facilities on lots that could accommodate 5 NET houses be justified or approved?

Mary Mulvihill

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

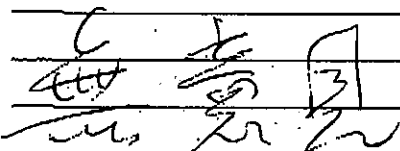
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-PK/216

意見詳情 (如有需要，請另頁說明)

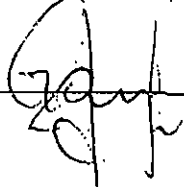
Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment

侯志強議員

簽署 Signature



日期 Date 2025.3.31