

20 MAR 2025  
This document is received on  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號



2500440

27/2

By

Post

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-SSH/163
	Date Received 收到日期	20 MAR 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

Tseng Tau Tsuen (Sai Kung North) Management Committee

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Grandmax Surveyors Limited

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot Nos.1406 S.B RP (part), 1406 S.C (part) and 1473 (part) in D.D.165, Shap Sz Heung, Tai Po, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 554 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 ..... sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Shap Sz Heung Outline Zoning Plan No.S/NE-SSH/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Village Type Development, Comprehensive Development Area and Green Belt
(f) Current use(s) 現時用途	Temporary Private Car Park (Private Cars Only)  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」 (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」 (請夾附業權證明文件)。
- ☒ is not a "current land owner".  
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at .....6/2/2025..... (DD/MM/YYYY), this application involves a total of .....4..... "current land owner(s)".  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)".  
已取得 ..... 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)



- ☒ has notified .....<sup>4</sup> "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)
1	Lot Nos. 1406 S.C and 1473 in D.D.165, Shap Sz Heung, Tai Po, New Territories	6/2/2025
3	Lot No. 1406 S.B RP in D.D.165, Shap Sz Heung, Tai Po, New Territories	6/2/2025

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

**(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))**

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

Temporary Private Car Park (Private Cars Only) For a Period of 3 Years

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☒ year(s) 年 ..... 3 years .....☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**

Proposed uncovered land area 擬議露天土地面積	..... 554 .....sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	..... Nil .....sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	..... Nil .....	
Proposed domestic floor area 擬議住用樓面面積	..... Nil .....sq.m	<input checked="" type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	..... Nil .....sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	..... Nil .....sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Nil.

**Proposed number of car parking spaces by types 不同種類停車位的擬議數目**

Private Car Parking Spaces 私家車車位	..... 15 .....
Motorcycle Parking Spaces 電單車車位	..... N/A .....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... N/A .....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	..... N/A .....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	..... N/A .....
Others (Please Specify) 其他 (請列明)	..... N/A .....

**Proposed number of loading/unloading spaces 上落客貨車位的擬議數目**

Taxi Spaces 的士車位	..... N/A .....
Coach Spaces 旅遊巴車位	..... N/A .....
Light Goods Vehicle Spaces 輕型貨車車位	..... N/A .....
Medium Goods Vehicle Spaces 中型貨車車位	..... N/A .....
Heavy Goods Vehicle Spaces 重型貨車車位	..... N/A .....
Others (Please Specify) 其他 (請列明)	..... N/A .....



Proposed operating hours 擬議營運時間 Almost between 7 a.m. to 11 p.m. daily.			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Local road off Hoi Ying Road	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)  <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)  <input type="checkbox"/> Diversion of stream 河道改道  <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> ..... .....		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
**位於鄉郊地區或受規管地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

Please refer to the additional sheets attached.



**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Kevin LAU

Director

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☒ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 RICS R.P.S.(GP)

on behalf of  
代表

Grandmax Surveyors Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

27/02/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lot Nos.1406 S.B RP (part), 1406 S.C (part) and 1473 (part) in D.D.165, Shap Sz Heung, Tai Po, New Territories
Site area 地盤面積	554 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Shap Sz Heung Outline Zoning Plan No.S/NE-SSH/11
Zoning 地帶	Village Type Development, Comprehensive Development Area and Green Belt
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途／發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途／發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途／發展	Temporary Private Car Park (Private Cars Only) for a Period of 3 Years



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		15
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		15 N/A N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		N/A
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		N/A N/A N/A N/A N/A N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Lot Index Plan		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」, 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



## **7. Justifications**

The Applicant applies for a temporary use for private car park (private cars only) for a period of 3 years.

### *Location and Environment*

The Application Site is located in the local settlement area known as Tseng Tau in Shap Sz Heung. It is accessible via a local road which connects to Hoi Ying Road and leads to Sai Sha Road. Tseng Tau is a geographically self-enclosed village. The surroundings of the Application Site are mainly village type houses.

### *Proposed Operation and Layout*

The private car park would only serve the adjacent local residents of Tseng Tau mainly for their daily car parking needs.

The Application Site area is 554 sq.m.(about) which would provide 15 nos. of parking spaces for private car. It is expected that traffic in/out the private car park would be almost between 7 a.m. to 11 p.m. daily.

Along the eastern boundary of the Application Site is a local road connecting to other portions of the village, vehicles (users) can access via the eastern side of the Application Site. The southern side of the Application Site are bound by fence wall while the northern side of the Application Site are bound by the houses of the residents.

### *Necessary Provisions to the Local Residences*

Except limited routes buses along Hoi Ying Road near the Tseng Tau and one route of public light bus arriving at the village, private cars are the main means of transportation of the local residents. However, with the limited supply of land and relatively dense alignment of village houses in Tseng Tau, there is nearly no proper parking area is available in the local vicinity. Thus, the private car park would address the basic proper parking needs of the local residences.

### *No Adverse Impacts*

The Applicant will provide fire service and drainage proposals and implementations to comply with all conditions that will be given by the planning approval. Thus, he will ensure the Application Site poses no adverse impact to the surrounding environment.

### Similar Planning Approvals

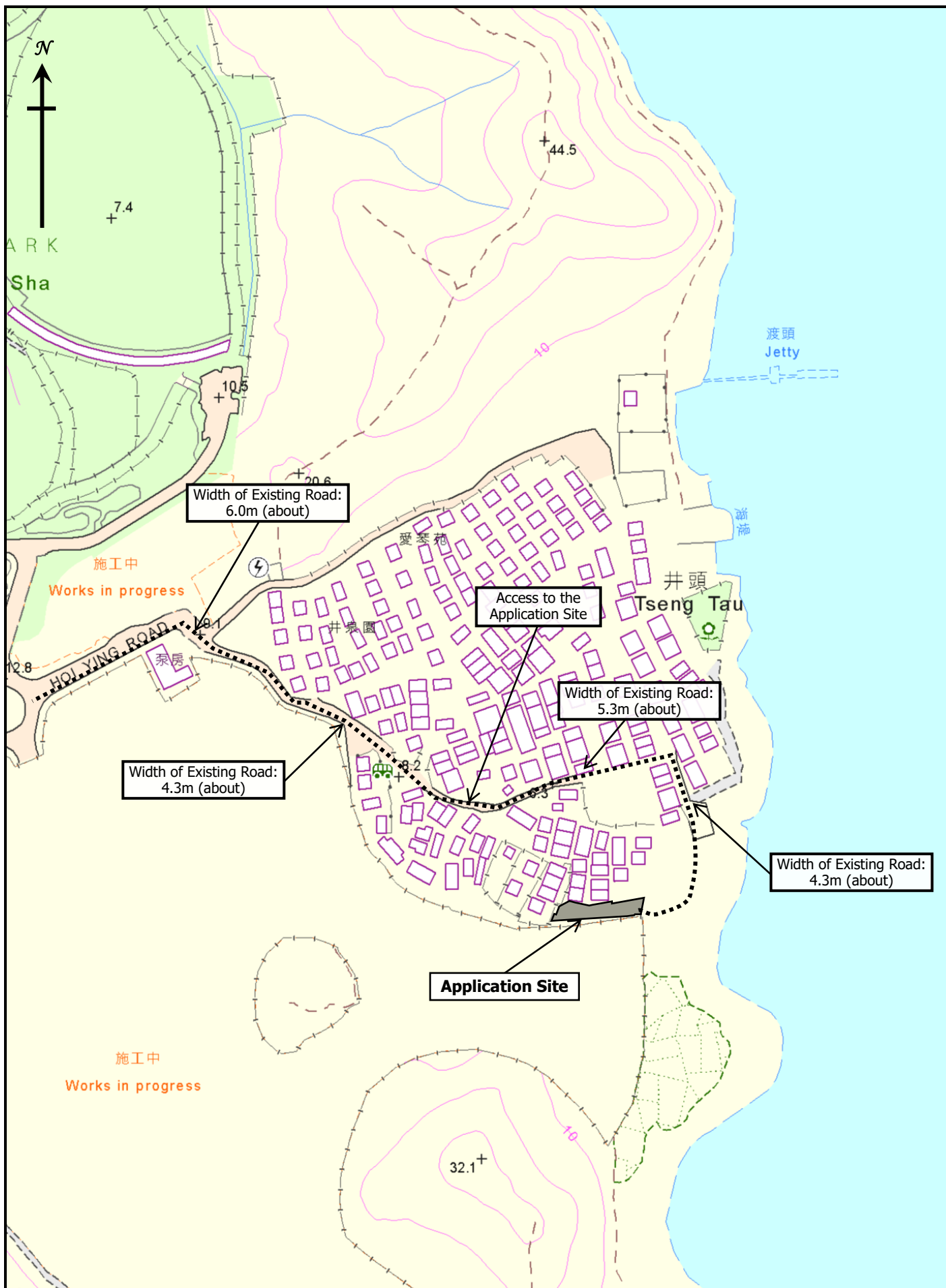
There are similar planning approvals of the same temporary use within the "Village Type Development" in Shap Sze Heung. All are temporary private car parks serving the need of local residents.

<b>Application No.</b>	<b>Applied Use</b>	<b>Approval Date</b>
A/NE-SSH/121	Temporary Private Car Park (Private Cars and Light Goods Vehicle) for a Period of 3 Years	7/9/2018
A/NE-SSH/119	Temporary Private Car Park (Private Cars and Light Goods Vehicle) for a Period of 3 Years	19/10/2018
A/NE-SSH/124	Temporary Private Car Park (Private Cars and Light Goods Vehicle) for a Period of 3 Years	19/10/2018
A/NE-SSH/134	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	10/7/2020
A/NE-SSH/135	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	10/7/2020
A/NE-SSH/141	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	15/10/2021
A/NE-SSH/153	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	15/3/2024
A/NE-SSH/154	Temporary Private Car Park (Private Cars Only) for a Period of 3 Years	15/3/2024
A/NE-SSH/159	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	16/8/2024
A/NE-SSH/155	Temporary Private Car Park (Private Cars Only) for a Period of 3 Years	4/10/2024
A/NE-SSH/156	Temporary Private Car Park (Private Cars Only) for a Period of 3 Years	4/10/2024
A/NE-SSH/160	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	10/1/2025

### Conclusion

In view of the development is only temporary in nature, addressing the solid needs of the local residents in Tseng Tau and would not incur any adverse impacts. We seek for Town Planning Board's approval of the application for a period of 3 years.





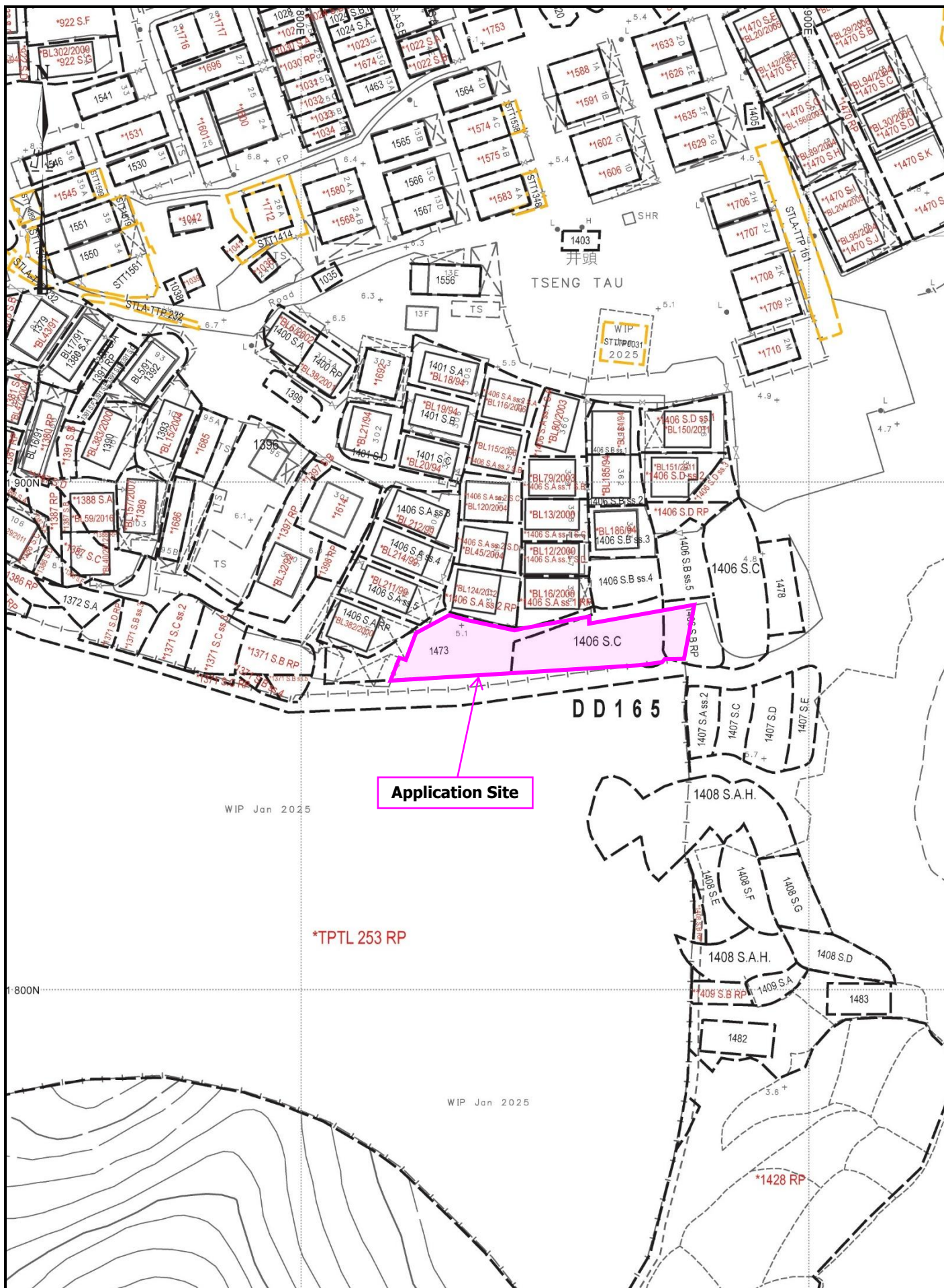
## LOCATION PLAN

**Figure 1**

Not to Scale



GRANDMAX SURVEYORS LIMITED  
俊滙測量師行有限公司



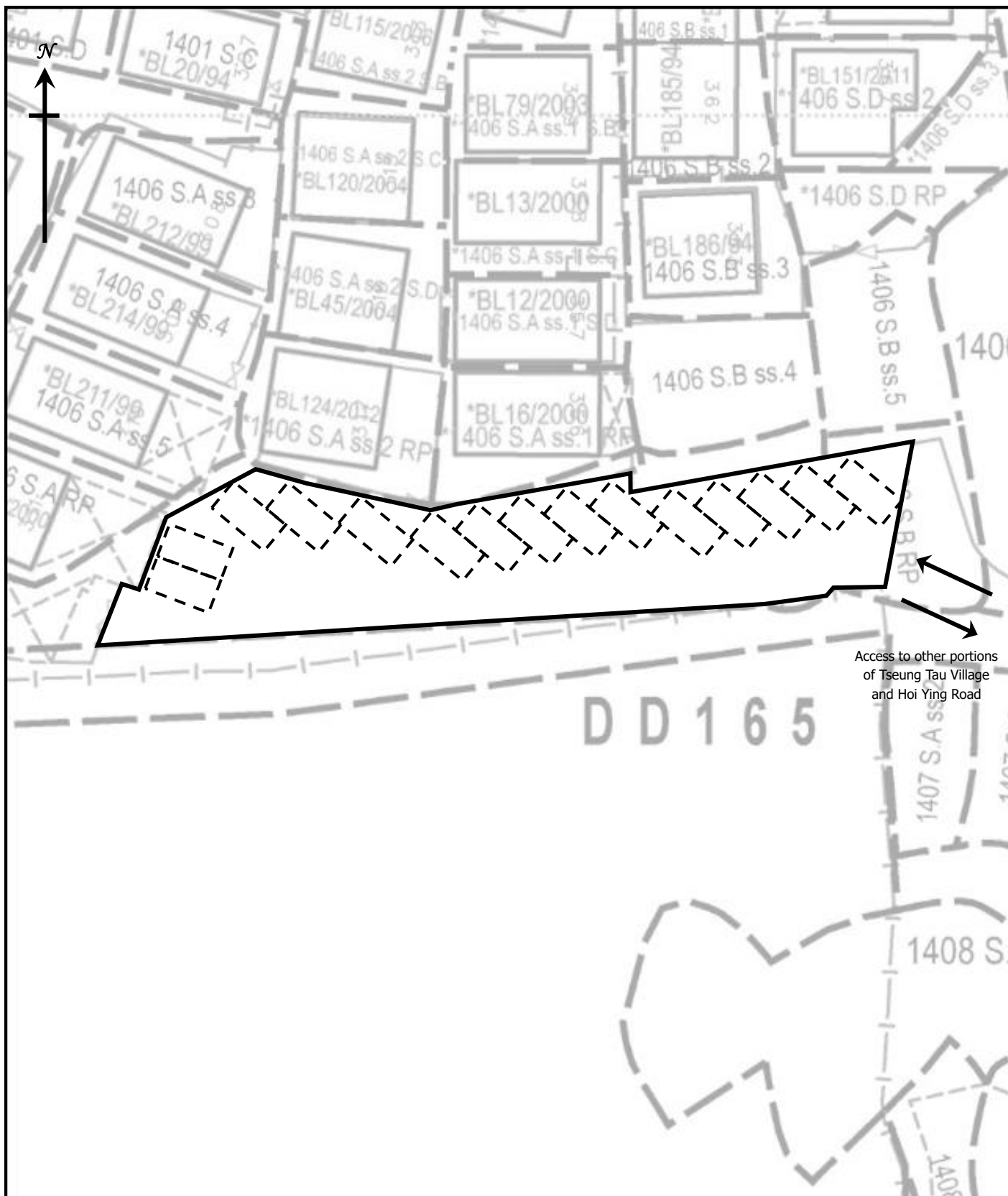
# LOT INDEX PLAN

Figure 2




1 : 1000



GRANDMAX SURVEYORS LIMITED  
俊滙測量師行有限公司



#### Legends

-  Application Site
-  Car Parking Space (Private Car)
-  Vehicular Access

## LAYOUT PLAN

**Figure 3**

1 : 400



GRANDMAX SURVEYORS LIMITED  
俊滙測量師行有限公司





Date: 9<sup>th</sup> April 2025

Your Ref: TPB/A/NE-SSH/163

Our Ref.: HK-PLG-049

The Secretary  
Town Planning Board  
15/F, North Point Government Offices  
333 Java Road, North Point, Hong Kong

**By Email ([tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)) Only**

Dear Sirs,

**Re: Application for Permission under s.16 of the Town Planning Ordinance  
Temporary Private Car Park (Private Cars Only) for a Period of 3 Years  
Lot Nos.1406 S.B RP (Part), 1406 S.C (Part) and 1473 (Part) in D.D.165  
Shap Sz Heung, Tai Po, New Territories  
(Planning Application No. TPB/A/NE-SSH/163)**

We refer to the captioned application, please find the following clarifications for your further handling:-

1. Existing Car Park Shelter

Please be noted that the existing shelter (as shown on the photo below) will be removed after obtaining Planning Approval for the Temporary Private Car Park.



2. Existing Hard Paved Ground

The existing hard paved ground has been existed for more than 20 years and was not carried out by the Applicant. There's will be "NO" further landfilling activity will be carried out for this application.

Thank you for your kind attention. Should you have any queries, please do not hesitate to contact the undersigned at .

Yours faithfully,

For and on behalf of

**Grandmax Surveyors Limited**



**Wong Chi Wai**

MHKIS MRICS R.P.S.(GP)

Encl.

c.c. Client

DPO/ST, TP & N – Attn: Ms. Candice LO (by Email: [cyklo@pland.gov.hk](mailto:cyklo@pland.gov.hk))

**Relevant Extract of Town Planning Board Guidelines for  
Application for Development within Green Belt Zone  
under Section 16 of the Town Planning Ordinance  
(TPB-PG No. 10)**

- (a) there is a general presumption against development (other than redevelopment) in a “GB” zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use;
- (b) an application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas;
- (c) the design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment;
- (d) the vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided;
- (e) the proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area;
- (f) the proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution; and
- (g) any proposed development on a slope or hillside should not adversely affect slope stability.



**Previous Application**

**Rejected Application**

<b>Application No.</b>	<b>Proposed Use(s) / Development(s)</b>	<b>Date of Consideration</b>	<b>Rejection Reasons</b>
A/NE-SSH/109	Temporary Private Car Park (Private Cars and Light Goods Vehicles) for a Period of Three Years	13.10.2017	R1 - R3

**Rejection Reasons**

- R1. The development was not in line with the planning intention of the “Coastal Protection Area” (“CPA”) zone which was intended to conserve, protect and retain the natural coastlines and the sensitive coastal natural environment, including attractive geological features, physical landform or area of high landscape, scenic or ecological value, with a minimum of built development. It was also not in line with the planning intention of the “Green Belt” (“GB”) zone which is primarily for defining the limits of urban and sub-urban development areas by natural features and to contain urban sprawl as well as to provide passive recreational outlets. There was a general presumption against development within the “CPA” and “GB” zones. There was no strong planning justification in the submission for a departure from the planning intentions, even on a temporary basis.
- R2. The development did not comply with the Town Planning Board Guidelines No. 10 for Application for Development within “GB” zone under section 16 of the Town Planning Ordinance in that the development would generate adverse landscape impacts to the area.
- R3. The approval of the application, even on a temporary basis, would set an undesirable precedent for other similar applications within the “CPA” and “GB” zones. The cumulative effect of approving such applications would result in significant adverse impact on the environment as well as high quality landscape resources and landscape characters of the area.

**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- no objection to the application;
- the Site comprises three Old Schedule Agricultural Lots in D.D. 165 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
- one shade seemingly was found on the Site without LandsD's prior approval. The applicant is required to clear any existing structures on the Site immediately unless they are covered by a valid approval. Otherwise appropriate lease enforcement action will be taken according to LandsD's priority.
- there is no guarantee to the grant of a right of way to the Site or approval of the emergency vehicular access thereto;
- no Small House application on the Site has been received so far; and
- his advisory comments are set out at **Appendix V**.

**2. Environment**

Comments of the Director of Environmental Protection (DEP):

- no objection to the application from environmental planning perspective;
- there have been no environmental complaint in relation to the Site received in the past three years;
- the applicant is advised to follow the relevant mitigation measures and requirements in the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites"; and
- his advisory comments are set out at **Appendix V**.

**3. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the application from public drainage viewpoint;
- no public sewerage maintained by DSD is currently available for connection. No sewerage collected from the Site should be discharged to the drainage system; and
- his advisory comments are set out at **Appendix V**.

#### **4. Nature Conservation**

Comments of the Director of Agriculture, Fisheries and Conservation (DAFC):

- in view that the Site is vacant and paved and surrounded by developed areas, he has no comment on the application from nature conservation perspective.

#### **5. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no adverse comment on the application from landscape planning perspective;
- based on the aerial photo of 2024, the site is partly located in an area of rural coastal plains landscape character comprising vegetation, woodland, car parking areas in the “CPA” zone at its northeast, works area in the “CDA” zone, and village houses in the “V” zone. The proposed use is considered not entirely incompatible with its surrounding environment; and
- based on the site photos taken on 28.3.2025, the site is fenced off and hard-paved with no significant landscape resource observed. Significant adverse impact on existing landscape resources within the site arising from the proposed use is not anticipated.

#### **6. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- as there is no record of approval granted by the Building Authority (BA) for the existing structure at the Site, he is not in a position to comment on its suitability for the use proposed in the application;
- based on the information provided, no proposed building works on the application are noted. He has no comment under the Building Ordinance (BO) on the application; and
- his advisory comments are at **Appendix V**.

#### **7. Other Departments**

The following government departments have no objection to/no adverse comment on the application:

- Chief Highway Engineer/New Territories East, Highways Department;
- Chief Engineer/Construction, Water Supplies Department;
- Director of Fire Services;
- Project Manager/North, Civil Engineering and Development Department (CEDD);
- Head of Geotechnical Engineering Office, CEDD;
- Commissioner of Police;



- Director of Electrical and Mechanical Services;
- Chief Building Surveyor/New Territories West, Buildings Department; and
- District Officer/Tai Po, Home Affairs Department.

**Recommended Advisory Clauses**

- (a) to resolve any land issue relating to the development with the concerned owner(s) of the Site;
- (b) to note the comments of District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that:
  - (i) the lot owners shall apply to his office for a Short Term Waiver (STW) to permit the structure(s) erected (if any) within the said private lot(s). The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structures will be considered; and
  - (ii) the applicant will likely make use of the adjoining Government land for access to the Site. The maintenance and management responsibility of the said Government land and any other Government land leading to the Site should be sorted out with the relevant Government departments, prior to the use of access purpose. Moreover, access to the Site may also fall on adjoining private lots all in DD. 165. The applicant should sort out the relevant issues with the lot owners concerned;
- (c) to note the comments of the Commissioner for Transport (C for T) that the concerned area and the village road connecting to the Site from Hoi Ying Road is not managed by her office. In addition, in order to access the parking spaces, vehicles may have to encroach onto the adjacent private lot(s). The applicant shall make their own arrangement with the concerned landowner(s) for using the road, and the land status, management, maintenance responsibilities of it should be clarified with the relevant lands and maintenance authorities accordingly in order to avoid potential land disputes;
- (d) to note the comments of the Director of Environmental Protection (DEP) that the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” issued by the Environmental Protection Department should be followed;
- (e) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
  - (i) the applicant shall ascertain that all existing flow paths would be properly intercepted and maintained without increasing the flooding risk of the adjacent areas;
  - (ii) the applicant should have its own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The applicant should neither obstruct overland flow nor adversely affect the existing natural

streams, village drains, ditches and the adjacent areas. The applicant is required to maintain the drainage systems properly and rectify/modify the nearby existing /original drainage systems if they are found to be inadequate or ineffective to accommodate the additional runoff from the development of the Site. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the modified drainage systems caused by their works. The applicant is reminded that the runoff within the subject premise including the runoff from the rooftop shall be served by a designated stormwater collection and discharge system and shall not be drained to the public sewerage network;

- (iii) the applicant is reminded that the proposed drainage proposal/works as well as the site boundary should not cause encroachment upon areas outside his jurisdiction. The applicant shall resolve any conflict/disagreement with relevant lot owners(s) and seek LandsD's permission for laying new drains/channels and modifying/upgrading existing ones in one private lots or on Government land (where required) outside the application site(s);
  - (iv) no public sewerage maintained by DSD is currently available for connection. No sewerage collected from the Site should be discharged to the drainage system; and
  - (v) all the proposed drainage facilities should be constructed and maintained by the applicant at this own cost. The applicant should ensure and keep all drainage works on site under proper maintenance at all times;
- (f) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) if the existing structure (not being a New Territories Exempted House) is erected on leased land without approval of the Building Authority, they are unauthorized building works (UBW) under the Building Ordinance (BO) and should not be designated for any proposed use under the application; and
  - (ii) for UBW erected on leased land, enforcement action may be taken by the Buildings Department to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO.



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**From:**  
**Sent:** 2025-04-18 星期五 03:37:35  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/NE-SSH/163 Tseng Tau Village CPA

A/NE-SSH/163

Lots 1406 S.B RP (Part), 1406 S.C (Part) and 1473 (Part) in D.D. 165, Tseng Tau Village, Sai Sha Road, Shap Sz Heung, Sai Kung

Site area: 554m<sup>2</sup> Includes Government Land of about 244m<sup>2</sup>

Zoning: "VTD", "Green Belt" and "CDA"

Applied Use: 15 Private Car Park

Dear TPB Members,

Application 109 was rejected as inappropriate. However the operation continued and it appears that no enforcement action was taken despite the fact that part of the footprint is GB.

Now it appears that authorities have finally got around to investigation and viola, a fresh application with the 'CA' and Government Land excised.

Application states Private Car Park but presumably villagers are paying for the facility? These operations should be registered and subject to tax assessment.

No mention of EV charging facilities.

Members questions please.

Mary Mulvihill

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**From:**  
**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Date:** Wednesday, 13 September 2017 1:37 AM HKT  
**Subject:** A/NE-SSH/109Tseng Tau Village CPA

A/NE-SSH/109

Lots in D.D. 165, and Adjoining Government Land, Tseng Tau Village, Sai Sha Road, Shap Sz Heung, Sai Kung

Site area : 2,080m<sup>2</sup> Includes Government Land of about 244m<sup>2</sup>

Zoning : "VTD", "Green Belt", "CDA" and "Coastal Protection Area"

Applied Use : 54 Parking

Dear TPB Members,

This is the same plan as Application 108 that was withdrawn minus 2,000sqmts of government land.

This is still appalling, over 2,000 sqmts on a scenic coastal site zoned VTD, GB, Recreation and Coastal Protection to be turned into a brownfield site to provide 'parking for villagers'. The administration has a duty to preserve our coast line for the enjoyment of the community at large.

Not only is this a most inefficient land use, car parks should be accommodated in high rise buildings, underground or in stacked facilities, see attached, the villagers own 2,100 sqft homes. If they want to keep a car then they should convert a portion of the ground floor of their spacious residences into a car port. This is common practice all over the world.

The parking of vehicles on coasal and GBI sites where oil and toxins can leach into the soil and be washed into the water is totally unacceptable.

Moreover evidence of illegal land use has been provided by objectors to the previous plan.

I trust that members will reject this application in no uncertain terms as approval would set an undesirable precedent and encourage further abuse of land designated for other purposes..

Mary Mulvihill

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**From:**

**To:** "tpbpd" <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Sent:** Friday, July 14, 2017 3:11:26 AM

**Subject:** A/NE-SSH/108Tseng Tau Village CPA

A/NE-SSH/108

Lots in D.D. 165, and Adjoining Government Land, Tseng Tau Village, Sai Sha Road, Shap Sz Heung, Sai Kung

Site area 4,280 Includes Government Land of about 2,244 m<sup>2</sup>

Zoning : "VTD", "Green Belt", "Recreation", "CDA" and "Coastal Protection Area"

Applied Use : 127 Parking

Dear TPB Members,

This is absolutely appalling, over 4,000 sqmts, more than 50% government land, on a scenic coastal site zoned GB, Recreation and Coastal Protection to be turned into a brownfield site to provide 'parking for villagers'. The administration has a duty to preserve our coast line for the enjoyment of the community at large.

Not only is this a most inefficient land use, car parks should be accommodated in high rise buildings, underground or in stacked facilities, see attached, the villagers own 2,100 sqft homes. If they want to keep a car then they should convert a portion of the ground floor of their spacious residences into a car port. This is common practice all over the world.

The parking of vehicles on coastal sites where oil and toxins can leach into the soil and be washed into the water is totally unacceptable.

I trust that members will reject this application in no uncertain terms.

Mary Mulvihill