

This document is received on 11 APR 2025  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

- # “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
  - & Please attach documentary proof 請夾附證明文件
  - ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

7500678

27/3

By Courier

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-SSH/164
	Date Received 收到日期	11 APR 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

INSTINCT INVESTMENT LIMITED

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

Aikon Development Consultancy Limited (毅勤發展顧問有限公司)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 92 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 N.A. sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N.A. sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Coastal Protection Area"
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☒ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。
- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at .....4/3/2025..... (DD/MM/YYYY), this application involves a total of .....2..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)



- ☒ has notified .....<sup>1</sup> "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)
1	Lot 579 in D.D. 209	04/03/2025

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

---



---



---



---

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / Utility installation for private project  
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數	Number of units involved 涉及單位數目		
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 □About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 □About 約
	Total 總計 .....		sq.m 平方米 □About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道  <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約  <input checked="" type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... 92 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of excavation 挖土深度 Not more than 1.2 m 米 <input type="checkbox"/> About 約  (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)
(b) Intended use/development 有意進行的用途/發展	Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)

**(iii) For Type (iii) application 供第(iii)類申請**

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input checked="" type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置		
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度		
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)

(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)

**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- ☐ Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由 .....% to 至 .....
- ☐ Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由 .....m to 至 ..... m
- ☐ Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development  
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

- Proposed gross floor area (GFA) 擬議總樓面面積 ..... sq.m 平方米 ☒ About 約
- Proposed plot ratio 擬議地積比率 ..... ☒ About 約
- Proposed site coverage 擬議上蓋面積 ..... % ☒ About 約
- Proposed no. of blocks 擬議座數 .....
- Proposed no. of storeys of each block 每座建築物的擬議層數 ..... storeys 層  
☐ include 包括 .....storeys of basements 層地庫  
☐ exclude 不包括 .....storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 ..... mPD 米(主水平基準上) ☐ About 約  
..... m 米 ☐ About 約



☐ Domestic part 住用部分GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約

number of Units 單位數目 .....

average unit size 單位平均面積 .....sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目 .....

☐ Non-domestic part 非住用部分GFA 總樓面面積☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約☐ Government, institution or community facilities  
政府、機構或社區設施 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積).....  
.....  
.....☐ other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積).....  
.....  
.....☐ Open space 休憩用地 (please specify land area(s) 請註明地面面積)☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....

.....

.....

.....

.....

### 7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Aug 2025 (Subject to Town Planning Board's Approval)

### 8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>

## 9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<p>No 否</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>N/A</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																														



**10. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the attached Planning Statement.


**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署



Thomas LUK

Name in Block Letters  
姓名（請以正楷填寫）


☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

N.A.

Position (if applicable)  
職位（如適用）

Professional Qualification(s)

專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of

代表

Aikon Development Consultancy Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

24/3/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means --

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。



## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories		
Site area 地盤面積	92	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N/A	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11		
Zoning 地帶	"Coastal Protection Area"		
Applied use/ development 申請用途/發展	Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約	
(v) No. of units 單位數目		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/>	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/>	

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location plan, Lot Index Plan extract, Outline Zoning Plan extract, Indicative Layout Plan, Indicative Section</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號



Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

此為空白頁。  
This is a blank page.



## **Section 16 Planning Application**

Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)

Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

### *Planning Statement*

Address:  
Unit 1702, 17/F, Loon Kee Building,  
Nos. 267-275 Des Voeux Road Central,  
Hong Kong

Tel : (852) 3180 7811  
Fax : (852) 3180 7611  
Email: info@aikon.hk

Prepared by  
*Aikon Development Consultancy Ltd.*

March 2025

## EXECUTIVE SUMMARY

*(In case of discrepancy between English and Chinese versions, English shall prevail)*

This Planning Statement is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)** (hereinafter referred to as “the proposed excavation of land”) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories (hereinafter referred to “the application site”). The Planning Statement serves to provide background information and planning justifications in support of the proposed excavation of land in order to facilitate consideration by the Board.

The application site falls within area zoned “Coastal Protection Area” on the approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11 which was gazetted on 16.10.2015. According to the Notes of the Current OZP, ‘Utility Installation for Private Project’ is a Column 2 use and any excavation of land within “CPA” zone would require planning permission from the Town Planning Board.

The proposed excavation of land involves an area of about 92m<sup>2</sup> and a depth of not more than 1.2m to facilitate the installation of the underground cable trench for the permitted agricultural use. CLP Power Hong Kong Limited (CLP) will be responsible for the construction of the underground cable trench and the related maintenance works, whereas the four cable ducts will be provided by the applicant according to CLP’s standards. As detailed throughout this Planning Statement, the proposed excavation of land is well justified on the grounds that:-

- (a) The proposed excavation of land is necessary for installing the underground cable trench to facilitate power supply to the permitted agricultural use;*
- (b) Given the small scale of the proposed excavation of land, it would not result in adverse visual and environmental impact. Mitigation measures would be implemented during construction phase to minimize the impacts of wastewater and to collect runoff generated on the application site so as to ensure no direct impact on the Kei Ling Ha Mangal Site of Specific Interest (SSSI).*

In view of the above and the list of detailed planning justifications in the Planning Statement, it is sincerely hoped that members of the Board will give favorable consideration to the current application for the proposed excavation of land.

## 行政摘要

(如內文與其英文版本有差異，則以英文版本為準)

此規劃報告書旨在支持一宗遞交予城市規劃委員會（以下簡稱「城規會」）的規劃申請（以下簡稱「該申請」）作擬議挖土工程（安裝地底電纜坑道以作准許的農業用途）（以下簡稱「擬議挖土工程」）。該申請所涉及地點位於新界十四鄉企嶺下老圍丈量約份第 209 約地段第 572 號（部分）、576 號（部分）、578 號（部分）、579 號（部分）及 580 號（部分）。（以下簡稱「申請地點」）。此規劃報告書提供該申請的背景資料及規劃理據以支持擬議挖土工程供城規會考慮。

申請地點於 2015 年 10 月 16 日刊憲的十四鄉分區計劃大綱核准圖（編號 S/NE-SSH/11）中被劃定為「海岸保護區」。根據現行分區計劃大綱圖的註釋，「私人發展計劃的公用設施裝置」屬第二欄用途，而在「海岸保護區」地帶內進行任何挖土工程須取得城市規劃委員會的規劃許可。

擬議挖土工程的土地面積約 92 平方米，深度不超過 1.2 米，以便敷設地下電纜管道，作准許的農業用途。中華電力有限公司（下稱「中電」）會負責建造地下電纜坑道和相關的維修保養工程，而申請人則會按照中電的標準鋪設四條電纜管道。此規劃報告書內詳細闡述擬議用途的規劃理據，當中包括：-

- （一） 擬議挖土工程是為了安裝地下電纜管道，以便為獲准的農業用途提供電力供應；
- （二） 由於擬議挖土工程的規模不大，因此不會對景觀和環境造成不良影響。申請人會在施工期間實施緩解措施，盡量減少廢水的影響，並收集申請地點產生的徑流，以確保不會直接影響企嶺下老圍徑具特殊價值地點。

鑑於以上及此規劃報告書所提供的詳細規劃理據，懇請城規會各委員酌情考慮批准該申請作擬議挖土工程。

### **List of Figures**

Figure 1	Extract of Lot Index Plan (No. ags_S000001392329_0001)
Figure 2	Extract of approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11
Figure 3	Indicative Layout Plan
Figure 4	Indicative Section
Figure 5	Permitted Agricultural Use

### **List of Appendix**

Appendix I	Letter from CLP
Appendix II	Letter From the Lands Department
Appendix III	Approval Letter for Related Planning Application (A/NE-SSH/146) and Supporting Drawings

# 1 INTRODUCTION

## 1.1 Purpose

- 1.1.1 Pursuant to section 16 of the Town Planning Ordinance (TPO) (Cap. 131), this Planning Statement is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)** (hereinafter referred to as “the proposed excavation of land”) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories (hereinafter referred to “the application site”). The Planning Statement serves to provide background information and planning justifications in support of the proposed excavation of land in order to facilitate the consideration by the Board. Its location and relevant private lots which the application site involves are presented in **Figure 1**.
- 1.1.2 The application site falls within area zoned “Coastal Protection Area” on the approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11 which was gazetted on 16.10.2015 (hereinafter referred to as “the Current OZP”) (please refer to **Figure 3**). According to the Notes of the Current OZP, ‘Utility Installation for Private Project’ is a Column 2 use and any excavation of land within “CPA” zone would require planning permission from the Board. In this connection, the Applicant wishes to seek planning permission from the Board.
- 1.1.3 Prepared on behalf of *Instinct Investment Limited* (hereafter referred to as “the Applicant”), *Aikon Development Consultancy Limited* have been commissioned to prepare and submit the current application.

## 1.2 Background

- 1.2.1 The Applicant has sought planning permission for the proposed excavation of land (installation of pole with switchgear for permitted agricultural use) under Planning Application No. A/NE-SSH/146), which was approved by the Board on 3.2.2023. Following this approval, the applicant approached CLP regarding the necessary works, which involve the provision of cable ducts and excavation of land at the application site (**Appendix I** refers) to provide electricity supply to the permitted use.
- 1.2.2 CLP has approached the Lands Department to obtain an excavation permit for the trenches required for the proposed works, which received no objections from the Lands Department (**Appendix II** refers). To proceed with the proposed excavation of land in compliance with the Town Planning Ordinance, the Applicant is now seeking planning approval to support CLP in subsequent installation works, facilitating the implementation of the project.
- 1.2.3 The approval letter for Planning Application No. A/NE-SSH/146 and related drawings are presented in **Appendix III**.



### 1.3 Objectives

1.3.1 The current application strives to achieve the following objectives:-

- (a) To facilitate the implementation of underground cable trench for the permitted use;*
- (b) To induce no adverse infrastructural or visual impacts on its surroundings.*

### 1.4 Structure of the Planning Statement

1.4.1 This Planning Statement is divided into 6 chapters. **Chapter 1** is the above introduction outlining the purpose and background of the current application. **Chapter 2** gives background details of the application site in terms of the current land-use characteristics. Planning context of the application site is reviewed in **Chapter 3** whilst **Chapter 4** provides details of the proposed excavation of land. A full list of planning justifications is given in **Chapter 5** whilst **Chapter 6** summarises the concluding remarks for the proposed excavation of land.

## 2 SITE PROFILE

### 2.1 Location and Current Condition of the Application Site and Surrounding Land-use Characteristics

- 2.1.1 As shown on **Figure 1**, the application site is situated at Kei Ling Ha Lo Wai, Shap Sz Heung. The application site is vacant and covered with vegetation. The location of the application site is shown in **Figure 1**. The surrounding areas are predominantly rural in character predominated by a mix of tree groups, active and fallow agricultural land and village houses.

## 3 PLANNING CONTEXT

### 3.1 The Current OZP

- 3.1.1 The application site currently falls within an area zoned “CPA” on the Current OZP (please refer to **Figure 3**). The planning intention of “CPA” zone is to “*conserve, protect and retain the natural coastlines and the sensitive coastal natural environment, including attractive geological features, physical landform or area of high landscape, scenic or ecological value, with a minimum of built development. It may also cover areas which serve as natural protection areas sheltering nearby developments against the effects of coastal erosion. There is a general presumption against development in this zone. In general, only developments that are needed to support the conservation of the existing natural landscape or scenic quality of the area or the development is an essential infrastructure project with overriding public interest may be permitted*”.
- 3.1.2 According to the Notes of the Current OZP, ‘Utility Installation for Private Project’ is a Column 2 use and any excavation of land within “CPA” zone would require planning permission from the Town Planning Board.

### 3.2 Previous Planning Application

- 3.2.1 A minor portion of the application site is subject to a previously approved planning application (No. A/NE-SSH/146) for Proposed Excavation of Land (Installation of Pole with Switchgear for Permitted Agricultural Use). The application was approved by TPB on 3.2.2023.

## 4 THE DEVELOPMENT PROPOSAL

### 4.1 Site Configuration, Layout and Operation

- 4.1.1 The application site occupied an area of 92m<sup>2</sup> of private land. The proposed excavation of land would be essential for the cable trench for installation and accommodation of four cable ducts in serving the permitted agricultural use. CLP will be responsible for construction and related maintenance works. The Indicative Layout Plan and Section are presented in **Figure 3** and **Figure 4** and the details are presented in **Appendix I**. **Figure 5** presents the location of the permitted agricultural use, and the approved planning application no. A/NE-SSH/146 associated with the current application. Key development parameters for the proposed excavation of land are detailed in **Table 1**.

*Table 3: Development Proposal*

	Design Parameter(s) (About)
<b>Proposed Use</b>	Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)
<b>Application Site</b>	92m <sup>2</sup>
<b>Excavation of Land</b> - Area - Depth	92m <sup>2</sup> Not more than 1.2m
<b>Proposed Installation</b>	4 cable ducts (about 58m, 150 dia)

## 5 PLANNING JUSTIFICATIONS

### 5.1 Essential Works for the Permitted Agricultural Use

- 5.1.1 The proposed excavation of land is essential for the permitted agricultural use and the materialise the use under approved planning application (No. A/NE-SSH/146) works. The Applicant has sought relevant approval from the Lands Department (**Appendix II** refers).

### 5.2 No Adverse Impact

- 5.2.1 Given the small scale of the proposed excavation of land, the proposed excavation of land would not result in adverse visual and environmental impact. Mitigation measures would be implemented during construction phase to minimize the impacts of wastewater and to collect runoff generated on the application site so as to ensure no direct impact on the Kei Ling Ha Mangal Site of Specific Interest (SSSI).

## 6 CONCLUSION

- 6.1.1 This Planning Statement is submitted to the Board in support of a planning application for **Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use)** at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579(Part) and 580(Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories. The Planning Statement serves to provide background information and planning justifications in support of the proposed excavation of land in order to facilitate consideration by the Board.
- 6.1.2 The proposed excavation of land involves an area of about 92m<sup>2</sup> and a depth of not more than 1.2m to facilitate the installation of the underground cable trench. CLP will be responsible for the construction of the underground cable trench and the related maintenance works, whereas the four cable ducts will be provided by the applicant according to CLP's standards. As detailed throughout this Planning Statement, the proposed excavation of land is well justified on the grounds that: -
- (a) The proposed excavation of land is necessary for installing the underground cable trench to facilitate power supply to the permitted agricultural use;*
  - (b) Given the small scale of the proposed excavation of land, it would not result in adverse visual and environmental impact. Mitigation measures would be implemented during construction phase to minimize the impacts of wastewater and to collect runoff generated on the application site so as to ensure no direct impact on the Kei Ling Ha Mangal Site of Specific Interest (SSSI).*
- 6.1.3 In view of the above and the list of detailed planning justifications in the Planning Statement, it is sincerely hoped that members of the Board will give favourable consideration to approve the current application for the proposed excavation of land.

## List of Figures

---

Figure 1	Extract of Lot Index Plan (No. ags_S000001392329_0001
Figure 2	Extract of approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11
Figure 3	Indicative Layout Plan
Figure 4	Indicative Section
Figure 5	Permitted Agricultural Use



**LEGEND:**



Application Site

(For Identification Only)

**Project:**

Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

**Title:**

Extract of Lot Index Plan  
No.ags\_S00000139239\_0  
001

Ref.: ADCL/PLG-10308-R001/F001

**Figure:**

1

**Scale:**

Not to Scale

**Date:**

Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.



**LEGEND:**



Application Site

*(For Identification Only)*

**Project:**

Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

**Title:**

Extract of approved Shap Sz Heung Outline Zoning Plan No. S/NE-SSH/11

Ref.: ADCL/PLG-10308-R001/F002

**Figure:**

2

**Scale:**

Not to Scale

**Date:**

Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.








**APPLICATION SITE**

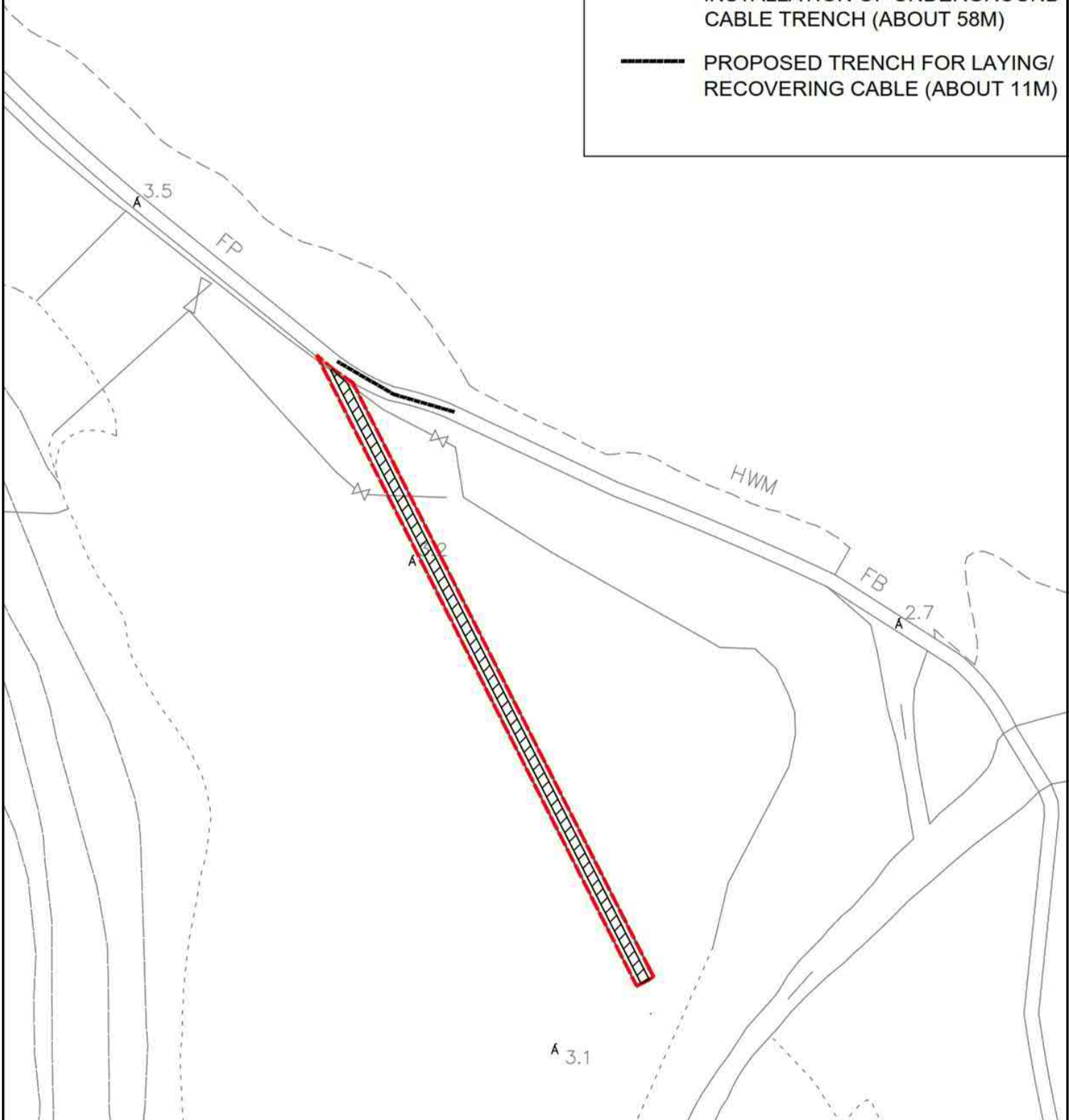
SITE AREA : 92 SQ.M. (ABOUT)

**DETAILS OF THE PROPOSED EXCAVATION**

DEPTH : NOT MORE THAN 1.2M

**LEGEND**

-  APPLICATION SITE
-  PROPOSED TRENCH FOR INSTALLATION OF UNDERGROUND CABLE TRENCH (ABOUT 58M)
-  PROPOSED TRENCH FOR LAYING/RECOVERING CABLE (ABOUT 11M)



**Project:**

Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

**Title:**

Indicative Layout Plan

Ref.: ADCL/PLG-10308-R001/F003

**Figure:**

3

**Scale:**

Not to Scale

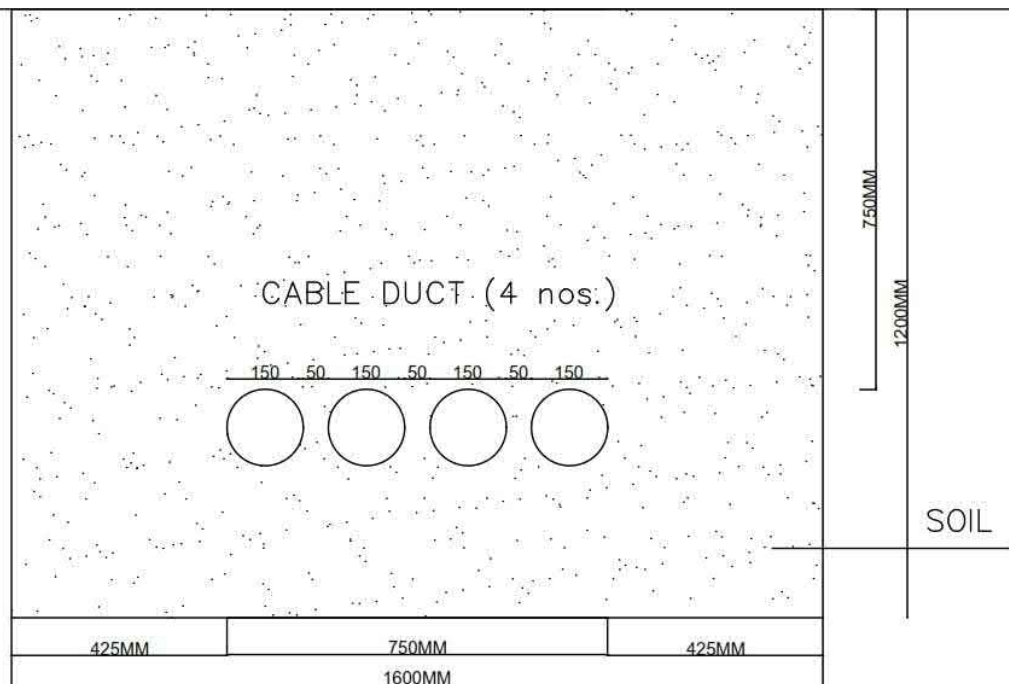
**Date:**

Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.

AT GRADE LEVEL



INDICATIVE SECTION OF UNDERGROUND CABLE TRENCH

**Project:**

Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

**Title:**

Indicative Section

Ref.: ADCL/PLG-10308-R001/F004

**Figure:**

4

**Scale:**

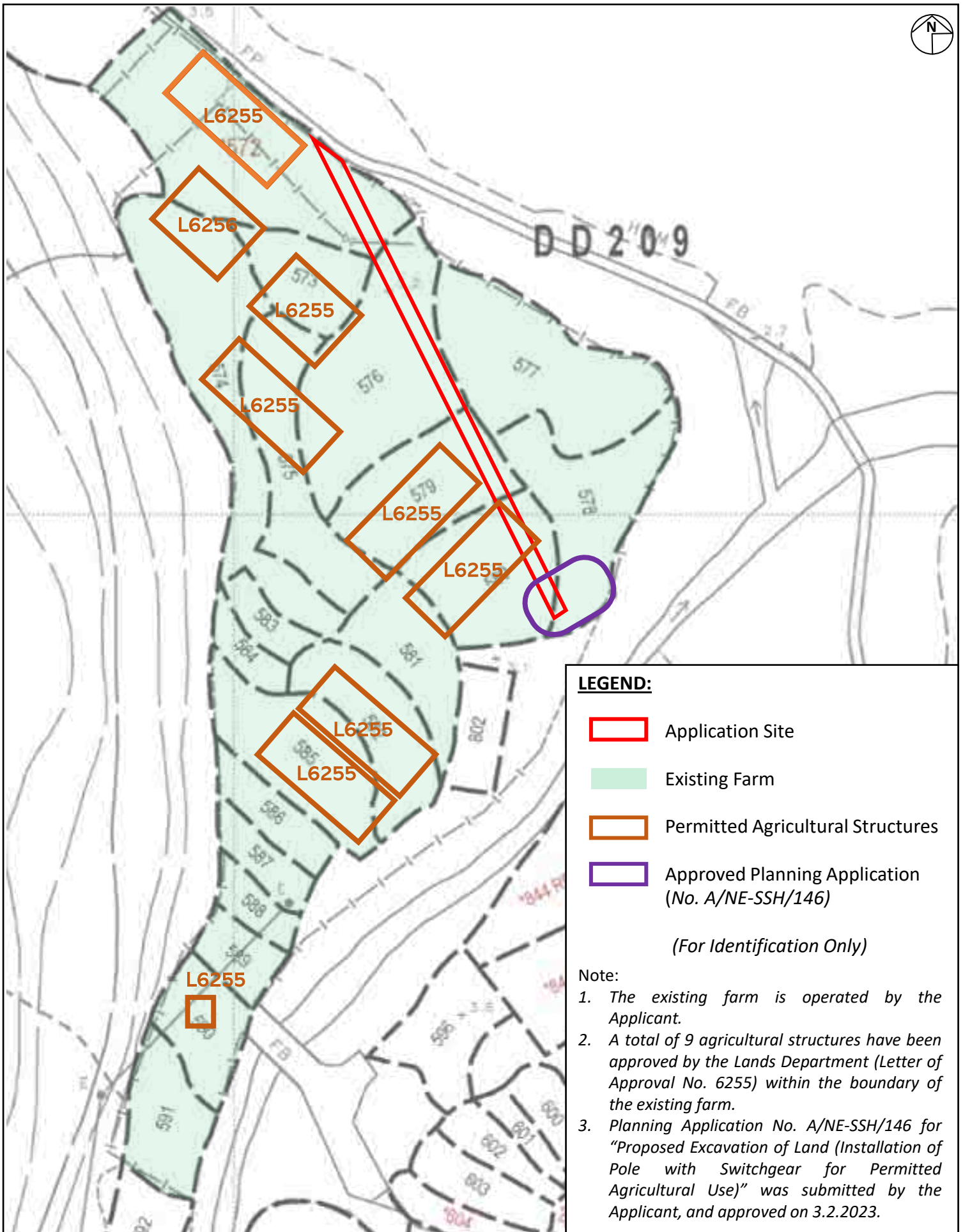
Not to Scale

**Date:**





Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.



**LEGEND:**

-  Application Site
-  Existing Farm
-  Permitted Agricultural Structures
-  Approved Planning Application (No. A/NE-SSH/146)

(For Identification Only)

**Note:**

1. The existing farm is operated by the Applicant.
2. A total of 9 agricultural structures have been approved by the Lands Department (Letter of Approval No. 6255) within the boundary of the existing farm.
3. Planning Application No. A/NE-SSH/146 for "Proposed Excavation of Land (Installation of Pole with Switchgear for Permitted Agricultural Use)" was submitted by the Applicant, and approved on 3.2.2023.

**Project:**

Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories

**Title:**

Permitted Agricultural Use

Ref.: ADCL/PLG-10308-R001/F005

**Figure:**

5

**Scale:**

Not to Scale

**Date:**

Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.

## List of Appendices

---

Appendix 1	Letter from CLP
Appendix 2	Letter From the Lands Department
Appendix 3	Approval Letter for Related Planning Application (A/NE-SSH/146) and Supporting Drawings

## Appendix 1

---

Letter from CLP



22 April 2024

中華電力有限公司  
CLP Power Hong Kong Limited

東西區  
East & West Region

香港九龍佐敦道華路一號百周年大樓  
Centenary Building, 1 To Wah Road  
Jordan, Kowloon, Hong Kong

電話 Tel (852) 2678 3838  
傳真 Fax (852) 2678 3737  
電郵 Email [we@clp.com.hk](mailto:we@clp.com.hk)  
網址 Website [www.clpgroup.com](http://www.clpgroup.com)

Our ref.: WE/L/243049/24-04/MKL/SL/WFF  
(Scheme No.: SK-220499)  
Please quote our scheme number in response to this letter

Dear Sir/Madam,

**Electricity Supply Condition Letter**  
**DD 209 LOT 571-591, Kei Ling Ha Lo Wai, Sai Kung (the Development)**  
**Order #2004885863 A/C #082857514432**

We refer to your application for electricity supply to the Premises/Development and are pleased to inform you that we will carry out all necessary works to afford a 380/220 volts three-phase four-wire 50-hertz electricity supply to the Development subject to and in accordance with our Supply Rules as amended, revised or re-issued by us from time to time ("CLP Supply Rules", a copy of which can be downloaded from CLP website ([www.clp.com.hk](http://www.clp.com.hk))) and the following terms and conditions: -

1. All relevant permission(s) and approval(s) from the Government and/or consent(s) from relevant owners of any neighbouring private property(ies) concerned is/are obtained for CLP Power Hong Kong Limited ("CLP") to lay the underground cables and/or to install overhead lines along the designated route for electricity supply to the development. You may be required to assist in obtaining such permission(s) and approval(s).

In particular and in relation to the necessary works to be carried out inside the development, you are required to obtain and provide CLP with copies of permission(s) and approval(s) from relevant government departments, such as the Planning Department, Lands Department, Buildings Department and Agriculture, Fisheries and Conservation Department etc. (where applicable) for installation of your meter box and our laying of cables via the cable ducts and draw pits to be provided by you at the location and alignment as shown on the enclosed Drawing No. T/GEN/25500/D/E33/3045/01/B/A.

2. All materials and equipment provided by CLP will at all times remain the ownership and property of CLP and will be so maintained by CLP.

2/.....

Cont. Page 2 of 2

Our ref.: WE/L/243049/24-04/MKL/SL/WFF  
(Scheme No.: SK-220499)

3. You are required to provide and install, at no cost to CLP, 4 x 150mm diameter PVC ducts, draw-pit(s) and meter kiosk inside your lot(s) and in the position as shown on the enclosed Drawing No. SK-220499-ML. You shall maintain the same in good order and repair at no cost to CLP. The cable ducts are required to be sealed up and the draw-pit(s) is are/required to be fully filled up with sand/shifted soil or sand bags at all times after the supply cable(s) is/are installed. Our typical Drawing No. T/GEN/25500/D/E33/0245/01/-/A showing the general requirement of cable lead-in is enclosed for your reference.
4. You shall grant to and shall also procure the relevant owners to grant to CLP and its employees, agents and contractors, a free and unobstructed right of way to go pass and repossess the Premises and the adjoining lots at all times for all purpose connected with the installation, connection, operation, inspection, maintenance, repair and/or replacement of CLP's equipment and/or facilities inside the Premises.
5. You shall at your own cost carry out all necessary reinstatement works within the site boundaries of the development in connection with the provision of electricity supply to the development.
6. Under the Electricity Supply Regulation, you are required to submit the work completion certificate on completion of your works.
7. You are required to complete and submit an 'Application-for-Electricity-Supply Form' for the owner's installation to CLP at least three (3) months before the target date of electricity supply. As we require such notification to ensure that relevant plant materials are available and that the project relating to the development is included in our forward work programming system, failure to comply with this particular condition may result in delay in electricity supply to the development and CLP shall not be responsible for such delay whatsoever.
8. Notwithstanding any other provisions of this letter, a person who is not a party to this letter shall not have any right under the Contracts (Right of Third Parties) Ordinance (Cap.623) to enforce any provisions of this letter and this letter may be varied from time to time or rescinded or cancelled without the consent of any third party who is not a party to this letter. This provision does not affect any right or remedy of such third party which exists or is available apart from that Ordinance.
9. The terms and conditions contained in this letter, once accepted, shall bind the owner(s) for the time being of the Premises/Development and its/their respective successors and assigns and any person deriving title under or through it/them.

3/.....



Cont. Page 3 of 2

Our ref.: WE/L/243049/24-04/MKL/SL/WFF  
(Scheme No.: SK-220499)

The terms and conditions contained in this letter are open for your acceptance in writing within three (3) months from the date of this letter. If the terms and conditions contained in this letter are acceptable to you, please sign this letter and return to us within the time period stipulated above. If we do not receive your acceptance by the expiry of the stipulated time period, your application will be deemed to have been cancelled.

If you require any clarification on the above terms and conditions, please contact our Mr. Eric Fung on telephone number \_\_\_\_\_ or e-mail him at \_\_\_\_\_ or Stephen Li on telephone number \_\_\_\_\_ or e-mail him at \_\_\_\_\_

If you have any queries regarding the progress of our construction works or want to make an appointment for us to inspect the builder's works to be provided to us, please contact our Mr. Eric Cheng on telephone number \_\_\_\_\_ or email to \_\_\_\_\_

Yours faithfully,  
for and on behalf of  
CLP Power Hong Kong Limited



M. K. Lam  
Principal Manager - Planning & Design  
(East & West Region)

Encl. as stated

W  
sl:wff:at  

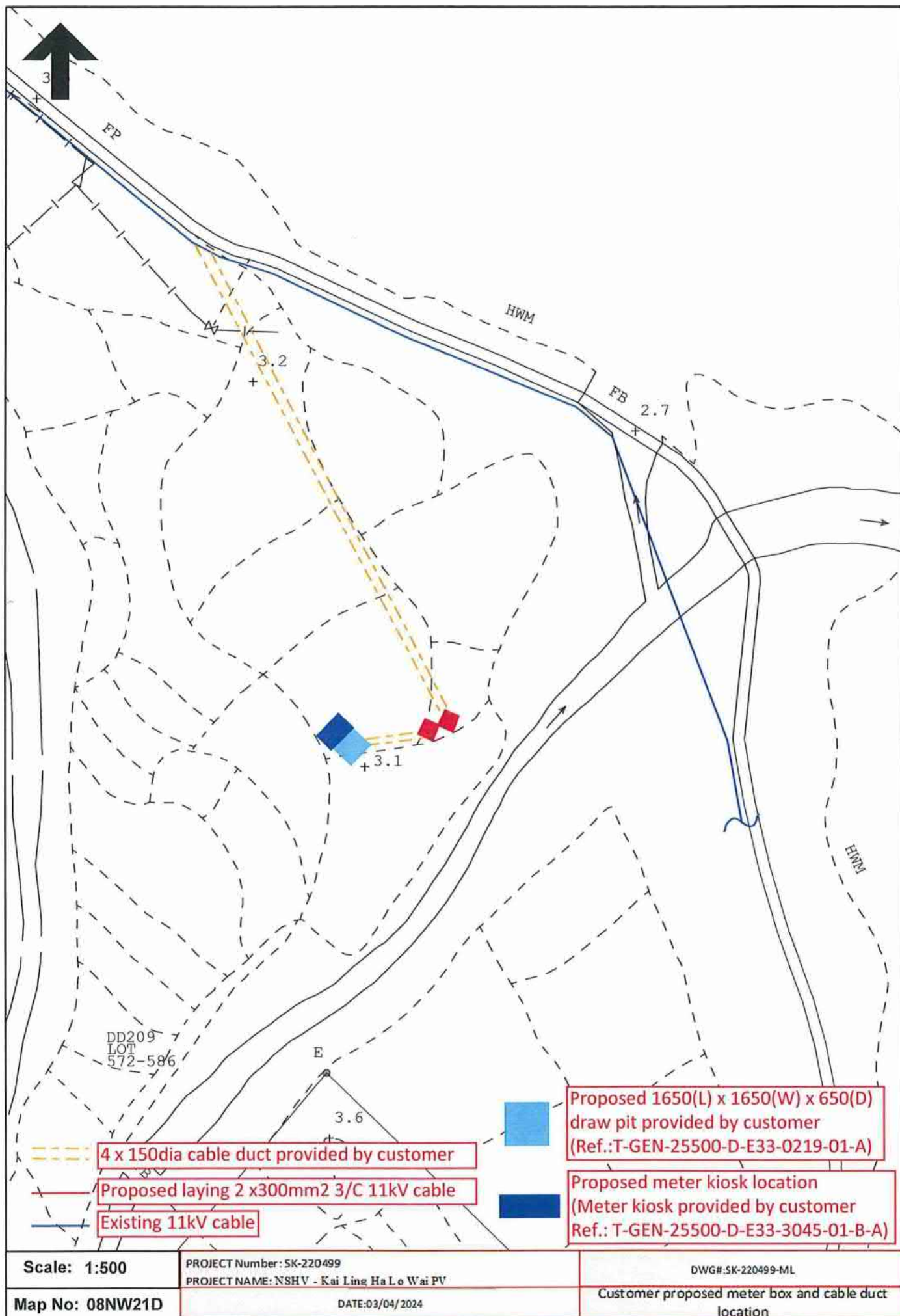

**Reply**

I/we accept the Terms and Conditions contained in the electricity supply condition letter issued by CLP Power Hong Kong Limited dated 22 April 2024. (Ref.: WE/L/243049/24-4/MKL/SL/WFF).

Signature and Company Chop : .....

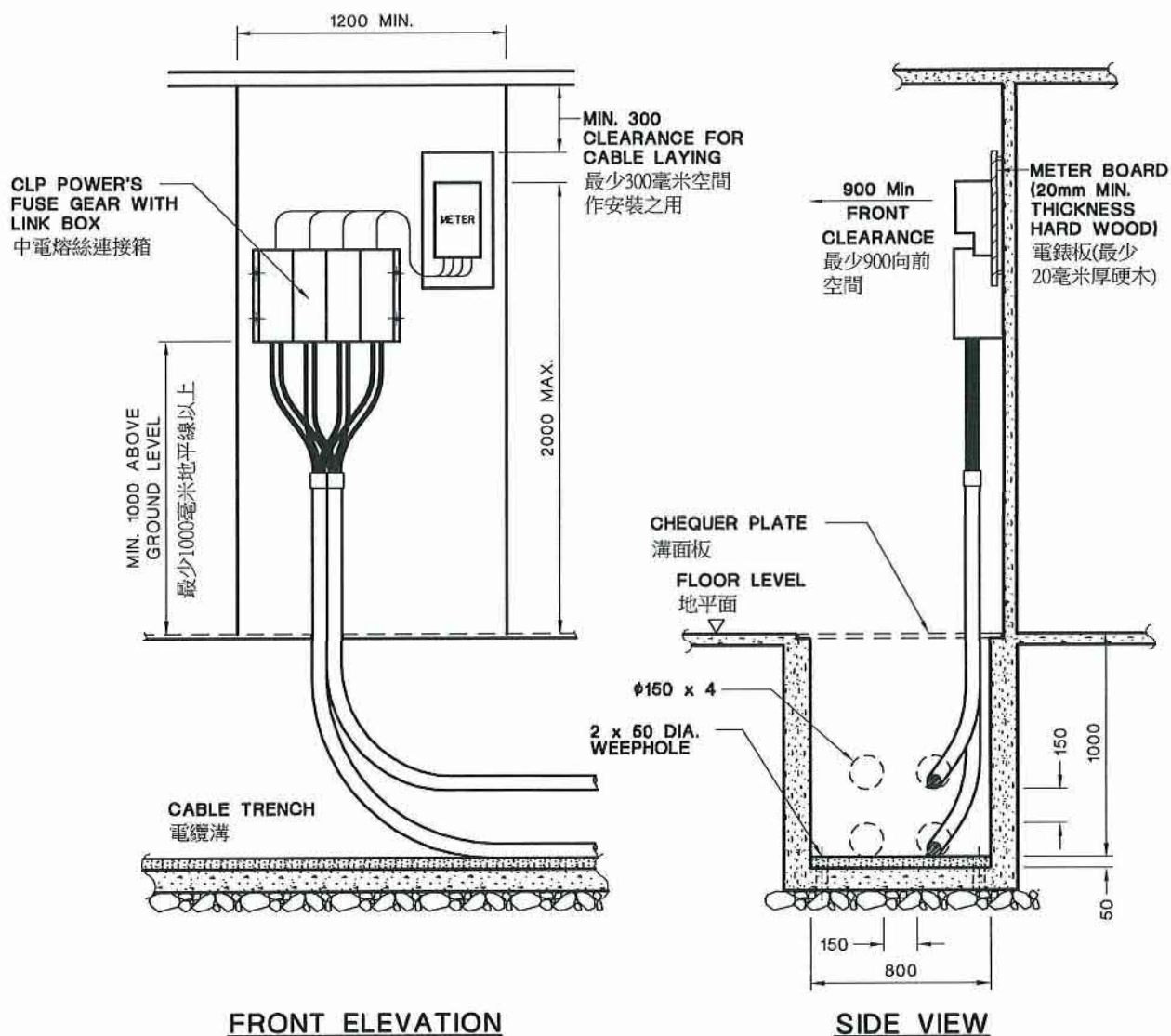
Name : .....  
(IN BLOCK LETTERS)

Date : .....









**NOTES (備註):**

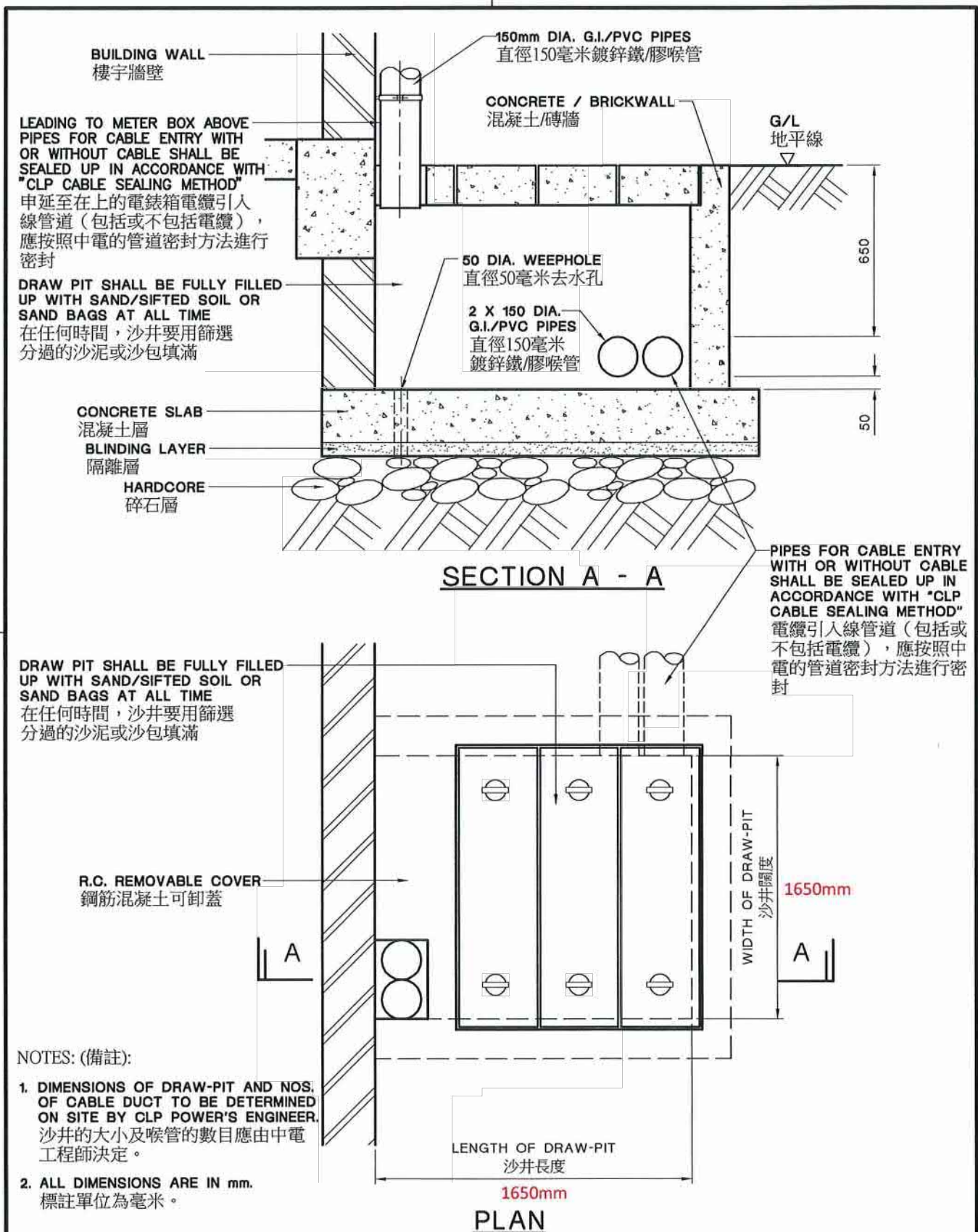
1. THE MINIMUM INTERNAL DIMENSIONS FOR ACCOMMODATING ELECTRICAL SERVICES ONLY SHALL BE 2.1m (HEADROOM); 1.2m (WIDTH); 1.2m (DEPTH). THE ACCESS DOOR(S) SHALL BE NOT LESS THAN 0.8m WIDE AND 2.1m HIGH AND THE INCOMING TERMINALS OF THE CUSTOMER'S SWITCH SHALL BE AT LEAST 0.6m ABOVE THE FINISHED FLOOR LEVEL.  
安置供電設備，內部尺寸至少應為2.1米（淨空高度）、1.2米（闊）、1.2米（深）。通路門尺寸至少應為0.8米闊，2.1米高，而客戶開關的人線終端至少距離地板0.6米。
2. METERING EQUIPMENT SHOULD BE ENCLOSED IN METER ROOM, CLEARANCE AND THE HEIGHT OF METER BOARD SHOULD BE PROVIDED AS SHOWN ON THE ABOVE DRAWING.  
電錶儀器應裝設於電錶房內，電錶板的淨距及高度須符合上圖規定。
3. METER POSITION SHALL BE LOCATED NEXT TO THE SERVICE CUTOUT.  
電錶要靠近供電熔絲座。
4. THE POSITION MUST BE READILY ACCESSIBLE FROM COMMUNAL AREA AT ALL TIME AND PROVIDED WITH ADEQUATE ILLUMINATION TO FACILITATE METER READING AND INSTALLATION WORK.  
電錶位須可隨時從公用地方進入，照明充足，以便抄讀及安裝。
5. ALL METER BOARDS AND LOOPS ARE TO BE PROVIDED BY DEVELOPER.  
所有電錶板及環路均由發展商提供。
6. 6mm THICK STEEL CHEQUER PLATE TO BE CUT TO SIZE AND FITTED IN POSITION UNDER THE DIRECTION OF CLP POWER'S ENGINEER ON SITE.  
6毫米厚的棋格鋼板，應在中華電力工程師的指引下，切割成適當尺寸嵌入。
7. ALL DIMENSIONS IN mm  
標註單位為毫米。

**CLP 中電**

DRAWN: C W WONG DATE: 11 NOV., 2008  
CHECKED: TOMMY HOI APPROVED: TOMMY HOI  
SCALE: 1 : 30 SHEET(S) IN SET: 1

**ASSET MANAGEMENT**

REVS.	A	B	C	D	E	F	G	H	J	K	L										
INITIAL																					
TITLE :																					
GENERAL REQUIREMENT OF LV LOOPING																					
低壓環迴線路一般要求																					
PROJECT NO.						CONTRACT NO.															
DRG. NO.	T	G	E	N	2	5	5	0	0	D	E	3	3	0	2	4	5	0	1	-	A



**CLP 中電**

REVS. A B C D E F G H J K L

INITIAL

TITLE: TYPICAL DETAILS OF 1-WAY CABLE DRAW-PIT

FOR VILLAGE HOUSES (RIGHT ANGLE)

村屋單向電纜沙井的標準詳圖(右角視圖)

DRAWN: C W WONG

DATE: 20 MAR., 2008

CHECKED: TOMMY HOI

APPROVED: W B LEE

SCALE: 1 : 20

SHEET(S) IN SET: 1

PROJECT NO.

CONTRACT NO.

ASSET MANAGEMENT

DRG. NO. T GEN 25500 DE 33 0219 01 - A

ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY CLP POWER



### **Specification for manhole/draw pit backfilling**

#### **沙井或拉線井的規格**

All manholes or draw pits which do not require routine access for maintenance shall be filled up with sifted soil/sand or sand bags. The soil/sand shall be thoroughly sifted through a wire mesh of 12.5mm holes to ensure no hard particles or stones are contained therein. Backfilled soil/sand shall be hand rammed, watered and consolidated thoroughly to the top of all manholes/draw pits.

If a manhole/draw pit is filled up with sand bags, the same type of sifted soil/sand shall be utilised.

所有非定期進入維修的沙井或拉線井定要用沙子/篩過的泥土或砂袋徹底填滿，泥土須要經過 12.5mm 鐵網篩過而沒有細石或堅硬物体，填滿的沙子/泥土要壓實及淋水，如果沙井或拉線井用砂袋填滿，沙子/泥土亦要同樣處理。

#### ***Photo of backfilled manhole / draw pit [insert Chinese version]***



### 電纜管密封方法 (Cable Duct Sealing Methods)

電纜管或過路電纜管會受到地下水的滲入或害蟲攻擊。例如：水會通過電纜管和累積在地下設備裡如沙井及拉線井；這樣會產生衛生問題及對操作人員構成不便，所以電纜管端必須適當地密封以防止上述情況發生。

電纜管密封方法對處理電纜管是否附有或無電纜都是同樣的，建議應分別使用水泥-沙方法或標準管塞方法。以下簡介這兩種方法：-

#### **(1) 水泥-沙方法(cement-sand method)**



在水泥-沙混合物中，水泥和沙的份量是 1 比 3。此方法適用於密封已有電纜的電纜管

#### **(2) 使用標準管塞密封空電纜管。**





使用標準管塞密封空電纜管。

當電纜管連接到沙井、拉線井、電纜隧道、橋、支站及電纜槽時，電纜管端必須密封。



As a standard practice for installation, all cable duct entries including those leading to any manhole, draw pit, tunnel, bridge, substation or cable trough shall be sealed up as soon as the ducts have been installed. Duct plug shall be utilized for empty ducts while cement / sand method shall be applied for ducts with cable.

<i>Cement Sand Sealing</i>	<i>Duct Plug Sealing</i>
<p>Cement and sand is mixed at a ratio of 1:3 to seal a duct entry with cable running through it.</p> 	<p>An example of sealing cap adopted in sealing of empty ducts:</p> 

Our ref.: WE/L/243049/24-04/MKL/SL/WFF  
(Scheme No.: SK-220499)

## Appendix 2

---

### Letter From the Lands Department



地政總署  
大埔地政處  
DISTRICT LANDS OFFICE/  
TAI PO  
LANDS DEPARTMENT

電話 Tel: 2654 1214  
圖文傳真 Fax: 2650 9896  
電郵地址 Email: gendlotp@landsd.gov.hk  
本署檔號 Our Ref: ( 5 ) in DLO/TP 186/122/24  
來函檔號 Your Ref: WESK2022-0499-01H

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.

新界大埔汀角路一號大埔政府合署一樓  
1/F., TAI PO GOVERNMENT OFFICES BUILDING,  
1 TING KOK ROAD, TAI PO, NEW TERRITORIES.

網址 Website : www.landsd.gov.hk

來函請註明本署檔號

Please quote our reference in your reply

CLP Power Hong Kong Limited  
3/F, East & West Region Office  
1 To Wah Road, Jordan,  
Kowloon, Hong Kong.



- 1 NOV 2024

Dear Sirs,

**Excavation Permit in D.D. 209**  
**Kei Ling Ha Lo Wai, Sai Kung North, Tai Po**

Thank you for your application of **14.5.2024** requesting permission to excavate trenches for the proposed works, as indicated on the plan attached therewith, for a period of **6 months** from the commencement date of the Excavation Permit. Further extension will be considered only on a need basis.

The office has no objection to your proceeding with the works as proposed in so far as it affects unleased land (other than streets maintained by Highways Department), subject to the works being effected in satisfactory manner and the following conditions :-

- (i) This consent is given subject to the terms and conditions of the Block Licence and to the payment of the administrative fee referred to in the last but one paragraph hereof;
- (ii) You are required to remove, relocate or divert the installation, at no cost to the Government of the Hong Kong Special Administrative Region ("the Government") and within 3 months notice, if so requested;
- (iii) You will accept full responsibility to indemnify the Government against all claims whatsoever arising from or in connection with the installation;
- (iv) No material should be dumped or stored nor shall any work commence within the boundaries of a public road without the prior written consent from Highways Department. If excavation is necessary, a separate application should be forwarded to Highways Department for the issue of an Excavation Permit;
- (v) You are required to pay the Government, on demand, the cost of making good any damage done to public roads or Government drains in the vicinity; and
- (vi) You should take all and adequate precautions at all times to prevent damage to existing services of whatsoever nature, roads, installations etc.



- 2 -

- (vii) You should also provide a set of coloured photos (size 4R in hardcopy) showing the site/alignment in full from different angles :
- (a) before commencement of works (within one month); and
  - (b) after completion of works (within one month).

You are required to report the actual commencement date of the excavation works with submission of site photos showing that the excavation works had been commenced and submit subsequent site photos every two months after the commencement date to show the progress of the excavation works.

The relevant Excavation Permit, fully endorsed, is returned herewith. Your attention is also drawn to the attached General and Additional Conditions to Excavation Permit for your compliance.

The relevant lot index plan(s) is/are attached for your reference. If the proposed sites encroach on private land, it is necessary for your Company to approach the lessee(s) for his/her consent/agreement before the commencement of the proposed works.

Please consult Planning Department and seek their agreement/permission before the commencement of the proposed works if those works are in conservation zones including "Green Belt", "Coastal Protection Area", "Conservation Area" and "SSSI".

Should you fail to make prior consultation with the relevant bodies as quoted in the previous paragraphs, consideration will be given to revoke this permission.

Please note that this permission is made without prior circulation to other Government departments and is subject to your satisfying the requirements of any other necessary departments, if any. If any other department raises an objection to your proposed works, this permission will be suspended pending the settlement of such objection or query and may be withdrawn if any objection is upheld or may be amended as appropriate.

Please note that the attached plan(s) should be only for your internal use in respect of the said application. It should in no way be released or inspected or seen by any other parties not directly involved in the subject matter.

- 3 -

As a fee of \_\_\_\_\_ per Excavation Permit is charged, Demand Note No. \_\_\_\_\_ is enclosed for your settlement within 4 weeks from the date of the Demand Note.

Please amend your record plan accordingly.

Yours faithfully,



( TUNG Wai-lam )  
for District Lands Officer, Tai Po

Encl.

c.c. Planning Department

N.B. PLEASE COMPLETE 2 COPIES AND SUBMIT BOTH WITH PLANS\* TO THE DISTRICT LANDS OFFICE

OFFICIAL USE

Ref. : DLO/TP 186 /122/ 24  
Permit No. 19641

EXCAVATION PERMIT

Section I

Application is hereby made to excavate trenches for the purpose of 11KV Cable Laying & Pole Erection at the location as indicated on the A3 size survey plan\* of 1:1 000 scale attached herewith. It is certified that the routes shown on the attached plan are of one scheme and if rural villages are affected, the attached plan does not cover more than one rural village.

\* only one A3 size survey plan shall be submitted for each application

The proposed duration and approximate size(s) of the excavation(s) are as follows :-

Item	Commencement Date	Duration of excavation	Size of excavation			Underground / above ground installation or both (See Note below)	Remarks
			Length	Width	Depth		
1	22/08/2024	<u>6 months</u>	11m	1m	1m	Underground	footpath
2			2m	1m	1.8m	Underground	footpath
3							
4							
5							

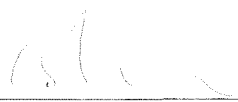
Note : If above ground installation is involved, its dimensions, materials, elevation and cross-section plans shall be provided for reference.

I / We undertake to observe the conditions accompanying the permit and all the provisions of the Land (Miscellaneous Provisions) Ordinance (Cap. 28) and all the subsidiary legislation made thereunder; and I / we agree to observe that the area affected shall on completion of the work be reinstated in all respects to the satisfaction of the District Lands Officer Sai Kung within a period of 30.0 days from date of completion of the work, and that such reinstatement shall be subject to a maintenance period of 12 months after completion of reinstatement.

I / We hereby authorize the Lands Department to disclose any personal data provided in the application form to other Government Bureaux / Departments or agents of them and other public / private organizations for considering and processing my / our application for excavation permit and related purposes (including but not limited to enforcement actions to be taken against any breach of the terms and conditions contained in the said permit, if issued).

I / We agree that the Lands Department may, in processing my / our application, collect my / our personal data from other relevant Government Bureaux / Departments or agents of them, public / private organizations and / or any other third party possessing my / our personal data for verification. In this connection, I / We authorize, and undertake to provide separate consent(s), if necessary, to these Government Bureaux / Departments or agents of them, public / private organizations and / or any other third party possessing my / our personal data to furnish the Lands Department with my / our personal data for processing this application.

I / We acknowledge that I / we have read and understood the "Note on Use of Personal Information" in this application form.

*Applicant's Reference :* WESK2022-0499-01H *Signed :* 

*Name in block letters :* Leung Chi Shing

*Name of Utility* CLP Power Hong Kong Limited  
*Undertaking :* \_\_\_\_\_

*Date :* 14/05/2024 *Tel. No. :* \_\_\_\_\_

**Note on Use of Personal Information**

Purpose of Collection	The personal data provided in your application will be used by the Lands Department for the purpose of considering and processing your application for excavation permit and related purposes (including but not limited to enforcement actions to be taken against any breach of the terms and conditions contained in the said permit, if issued). The provision of your name, telephone number and signature is obligatory. If you do not provide such information, the Lands Department may refuse to process your application.
Class of Transferees	The personal data provided may be disclosed to other Government Bureaux / Departments or agents of them and other public / private organizations for the purposes mentioned above.
Access to Personal Data	The individual who is the subject of the personal data has a right of access and correction with respect to personal data as provided for in Sections 18 and 22 and Principle 6 of Schedule 1 of the Personal Data (Privacy) Ordinance (Cap. 486). Such right of access includes the right to obtain a copy of the personal data provided in this application upon payment of the applicable charge.
Enquiries	Enquiries concerning the personal data collected, including the request for access and corrections, should be addressed to:  Departmental Personal Data Controlling Officer of the Lands Department 20/F North Point Government Offices 333 Java Road Hong Kong



OFFICIAL USE

Section II

To Applicant

In exercise of the authority vested in me, permission is hereby given for you to make the excavation(s) on Government land described above subject to the conditions accompanying this permit and all the provisions of the Land (Miscellaneous Provisions) Ordinance (Cap. 28) and all the subsidiary legislation made thereunder. This permit expires on - 1 MAY 2025.

Signed : 

**for District Lands Officer, Tai Po**

Date : - 1 NOV 2024

Name of Officer : **TUNG Wai-lam**

28.10.2021

Supplementary of EXCAVATION PERMIT

District Lands Officer : Sai Kung

Applicant's Reference : WESK2022-0499-01H

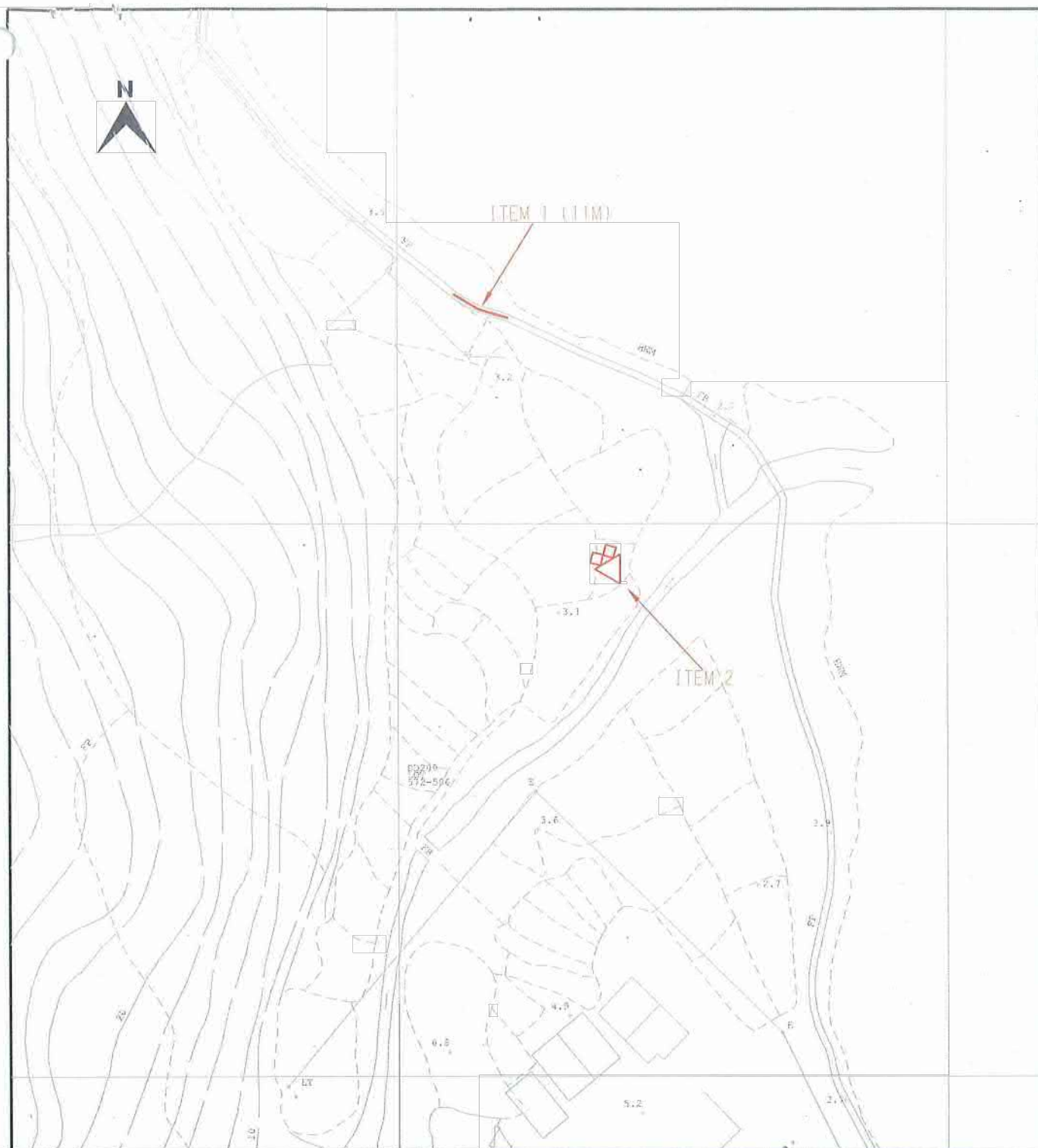
Site Location : Near Kai Ling Ha Lo Wai Sai Kung

Site Contact Person : Sze Kin Ning

Site Contact Phone Number : \_\_\_\_\_

☐ Over 5 items, please fill-in below table.

Item	Commencement Date	Duration of excavation	Size of excavation			Underground / above ground installation or both (See Note below)	Remarks
			Length	Width	Depth		
1							
2							
3							
4							
5							
6							
7							
8							
9							
10							



CLP 中電

LEGEND

- PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
- PROPOSED TRENCH FOR LAYING DUCTS
- PROPOSED CABLE THROUGH EXISTING DUCTS
- EXISTING PILLAR
- PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOUT BOX
- EXCAVATION FOR JOINTING / REPAIRING / INSPECTION CABLE
- EXISTING OVERHEAD LINE & POLE
- PROPOSED 11kV, LV, OHL, OF STEEL / WOODEN POLE
- OVERHEAD LINE & POLE TO BE REMOVED
- PROPOSED TREE TRIMMING / CUTTING
- EXISTING POLE MOUNTED TRANSFORMER
- PROPOSED POLE MOUNTED TRANSFORMER
- PROPOSED STAY / STAY POLE
- PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR

TITLE : 11kV CABLE LAYING & POLE ERECTION  
NEAR KAI LING HA LO WAI  
SAI KUNG

MAP NO : 08NW21D

DRAWN : H.Y. WONG

E/O NO :

CHECKED : K.N. SZE

REGION : WE

O.C. : SK

DATE : 06-05-2024

PROJECT REF. : SK2022-0499

SCALE : 1:1000

PLAN REF. : WESK2022-0499-01H

## CONDITIONS OF EXCAVATION PERMIT

1. In addition to the conditions set out in this permit, the permittee shall comply with all the relevant provisions of the Land (Miscellaneous Provisions) Ordinance, Cap. 28 ("the Ordinance"), and the provisions of any other legislation relating to the work covered by this permit.
2. Any or all pipes, cables, ducts, manhole covers, valve boxes or any other constructions or installations necessary for the use of the said pipes etc. installed in connection with the work in this excavation permit shall be adjusted, realigned or removed, at no expense to Government, whenever required by the Authority.
3. No structures shall be erected within the area covered by this permit.
4. The permittee shall prevent obstruction or damage to or interference with any public roads or recognised rights of way, telephone or telegraph lines or cables, electric cables and lines, dams or irrigation channels, watermains, conduits or waterworks. For this purpose, trial holes shall be made by the permittee to locate any utility plant before major excavation takes place.
5. The permittee shall, if he requires to fell any trees, seek the prior approval of the District Lands Officer, Tai Po.
6. The permittee shall ensure that no watercourse within the boundaries of the permit area is in any way disturbed by excavations and shall take adequate steps, where necessary by provision of retaining walls, to prevent the deposition of spoil or debris or silt in any such watercourse and, in the event of any accidental deposition occurring, shall forthwith remove the material from the affected watercourse.
7. All excavations shall be carried out in a careful and controlled manner so that no inconvenience or danger is caused to members of the public as a result of such excavation works.
8. During the whole time the area is occupied by him, the permittee shall keep the area in a tidy and clean condition and free of litter and rubbish as required by the Public Health and Municipal Services Ordinance, Cap. 132, and to the satisfaction of the Authority who has the right to enter such area and remove any excavation material or other materials at the cost of the permittee when deemed necessary.

9. The permittee shall dump spoil or debris in such manner and at such place as the District Lands Officer, Tai Po may direct and to his satisfaction, failing which the Authority may cause such materials to be removed at the permittee's expense.
10. In the event of spoil or debris from the permit area or from other areas affected by the excavation of the site being eroded and washed down onto public lanes or roads or into road-culverts, sewers, stormwater drains or nullahs or other Government properties, the permittee shall be held responsible and shall pay to the Government on demand the cost of removal of the spoil and debris from or for damage to the public lanes or roads or road-culverts, sewers, storm-water drains or nullahs or other Government properties.
11. The permittee shall indemnify and keep indemnified Government against all losses and claims for injury or damage to any person or property, nuisance, disruption or interference whatsoever which may arise out of or in consequence of the work of the permittee, and against all claims, demands, proceedings, damages, costs, charges or expenses whatsoever in respect thereof or in relation thereto.
12. Every excavation and obstruction on a public thoroughfare, access, track or footpath shall be adequately enclosed by barriers and warning lights and traffic signals shall be provided where necessary for the safety of vehicular traffic and pedestrians and the area shall be clearly marked by night with efficient red lights.
13. On the expiration of the permit, the permittee shall reinstate the ground and leave the permit areas in a clean and tidy condition to the satisfaction of the District Lands Officer, Tai Po.
14. The permittee shall notify the District Lands Office, Tai Po upon completion of the reinstatement work or in case of any cancellation of the excavation work.
15.
  - (a) Should the permittee fail to backfill or reinstate and make good the permit area to the satisfaction of the Authority, Government can cause such works to be carried out and shall recover from the permittee all expenses incurred which may include administrative charges.
  - (b) The permittee shall maintain the permit area for a period of 12 months from the date of completion of the reinstatement works to the satisfaction of the Authority.

16. Work must be carried out as expeditiously as possible. This permit expires on the date specified in Section II of this permit and unless extended by the Authority, the excavation must be backfilled by that time. Excavation made without a valid permit may result in prosecution under section 10(2)(b) of the Ordinance under which a fine at level 5 and six months' imprisonment may be imposed. It should be noted that extensions of permits are not granted automatically by the Authority and that the permittee must give adequate reasons.
17. The permittee shall be responsible for seeing that any one or more of the bodies listed below receives prior notification of his intention to open up any Government land including such public roads and paths whether or not maintained by the Highways Authority should they provide such service or services or installations within the vicinity of the permit area :-

\* The Hong Kong Electric Co. Ltd. / CLP Power Hong Kong Ltd.

PCCW - HKT Telephone Ltd.

Hong Kong & China Gas Co. Ltd.

Wharf T&T Ltd.

Hutchison Globe Communications Ltd.

Towngas Telecommunications Fixed Networks Ltd.

Hong Kong Broadband Network Ltd.

Hong Kong Cable Television Ltd.

Hong Kong Tramways Ltd.

New World Telecommunications Ltd.

HKC Network Ltd.

Rediffusion (H.K.) Ltd.

SmarTone Communications Ltd.

Divisional Commander/ (# Insert appropriate Division, e.g. Hong Kong Central), Fire Services Department

Chief Engineer/ \* HK / KLN / NTE / NTW, Water Supplies Department

Director of Drainage Services

Director of Agriculture, Fisheries and Conservation

Chief Highway Engineer/ \* HK / KLN / NTE / NTW, Highways Department (*Only if public highways and paths, etc. maintained by Highways Department are affected*)

\* Select as appropriate

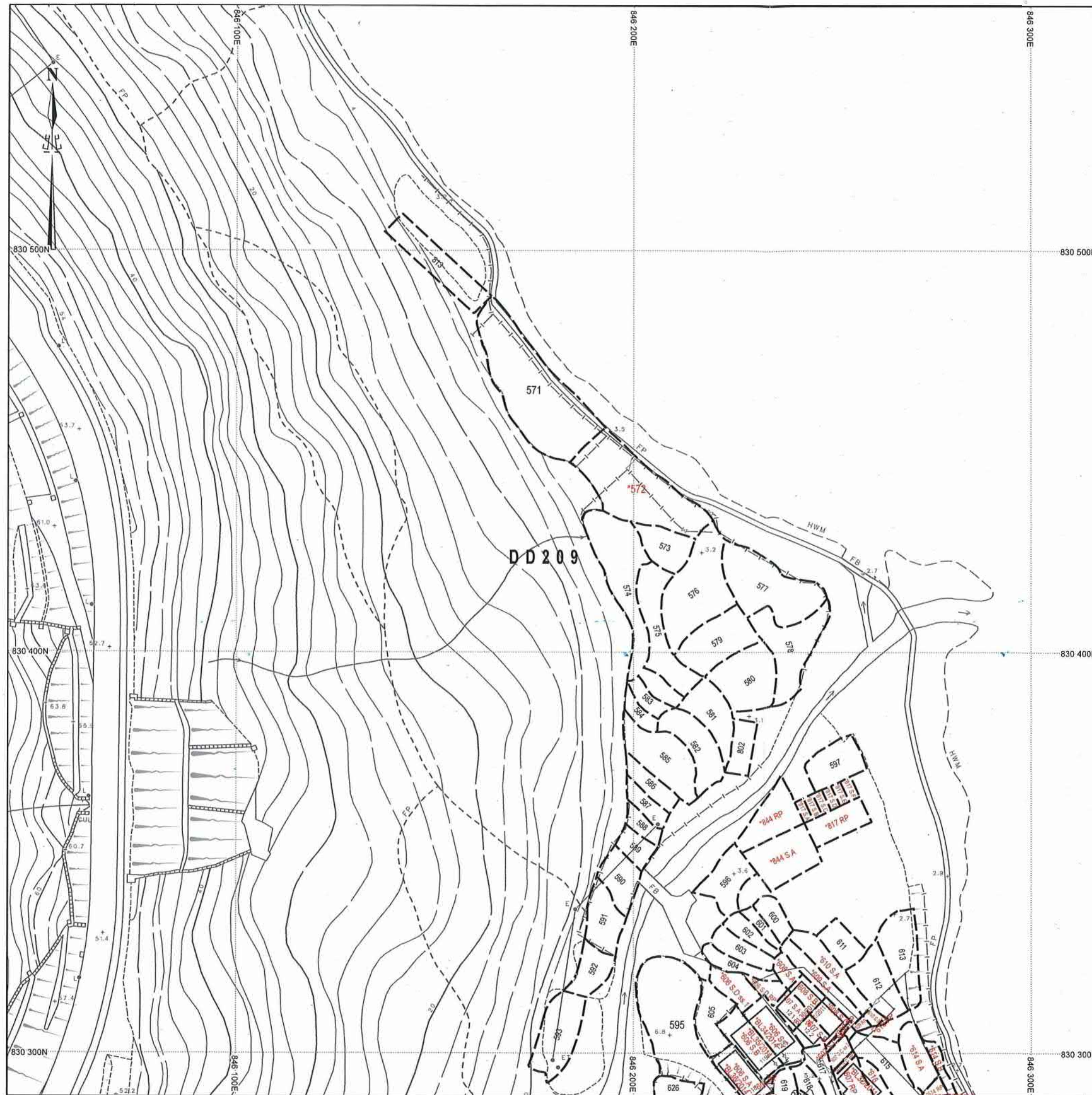
# Insert as appropriate

18. The Authority may impose in writing at any time any additional requirements which he deems necessary and these should be complied with by the permittee.
19. In the event of contravention of any of these conditions or additional conditions, this permit may be cancelled forthwith without compensation.

#### ADDITIONAL CONDITIONS

1. The pipes, cables, ducts etc. shall be laid at such a depth as to give a minimum cover of 450 mm beneath the surface of footpaths, but in main traffic arteries or bus routes, the minimum cover will be 900 mm or such other depth as may be approved in writing by the Authority. In special circumstances, where in the opinion of the Authority damage to or a fault in the service is likely to cause damage to the road or adjoining property, the Authority may require special precaution to be taken at the time the service is laid. All such pipes, cables, ducts etc. are laid entirely at the risk of the permittee.





# 地段索引圖 LOT INDEX PLAN

摘要說明：本地段索引圖在其背景的地形圖上標示了各種永久和短期持有的土地的圖像界線。這些土地包括私人地段、政府撥地、短期租約批地，以及其他作核准用途的土地。請注意：(1)本索引圖上的資料會被不時更新而不作事先通知；(2)索引圖的更新或會延後於有關資料的實際變更；以及(3)本索引圖中顯示的界線僅供識別之用，資料是否準確可靠，應徵詢專業土地測量師的意見。  
免責說明：如因使用本地段索引圖，或因所依據的本索引圖資料出錯、遺漏、過時或有誤差而引致任何損失或損害，政府概不承擔任何法律責任。

**Explanatory notes :** This plan shows the graphical boundaries of different kinds of permanent and temporary land holdings with the topographic map in the backdrop. The land holdings as shown may include private lots, government land allocations, short term tenancies and other permitted uses of land. It must be noted that: (1) the information shown on this plan is subject to update without prior notification; (2) there may be time lag between an update and the related changes taken place; and (3) the graphical boundaries as shown are for identification purpose only and interpretation of their accuracy and reliability requires the advice from professional land surveyor.  
**Disclaimer:** The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.



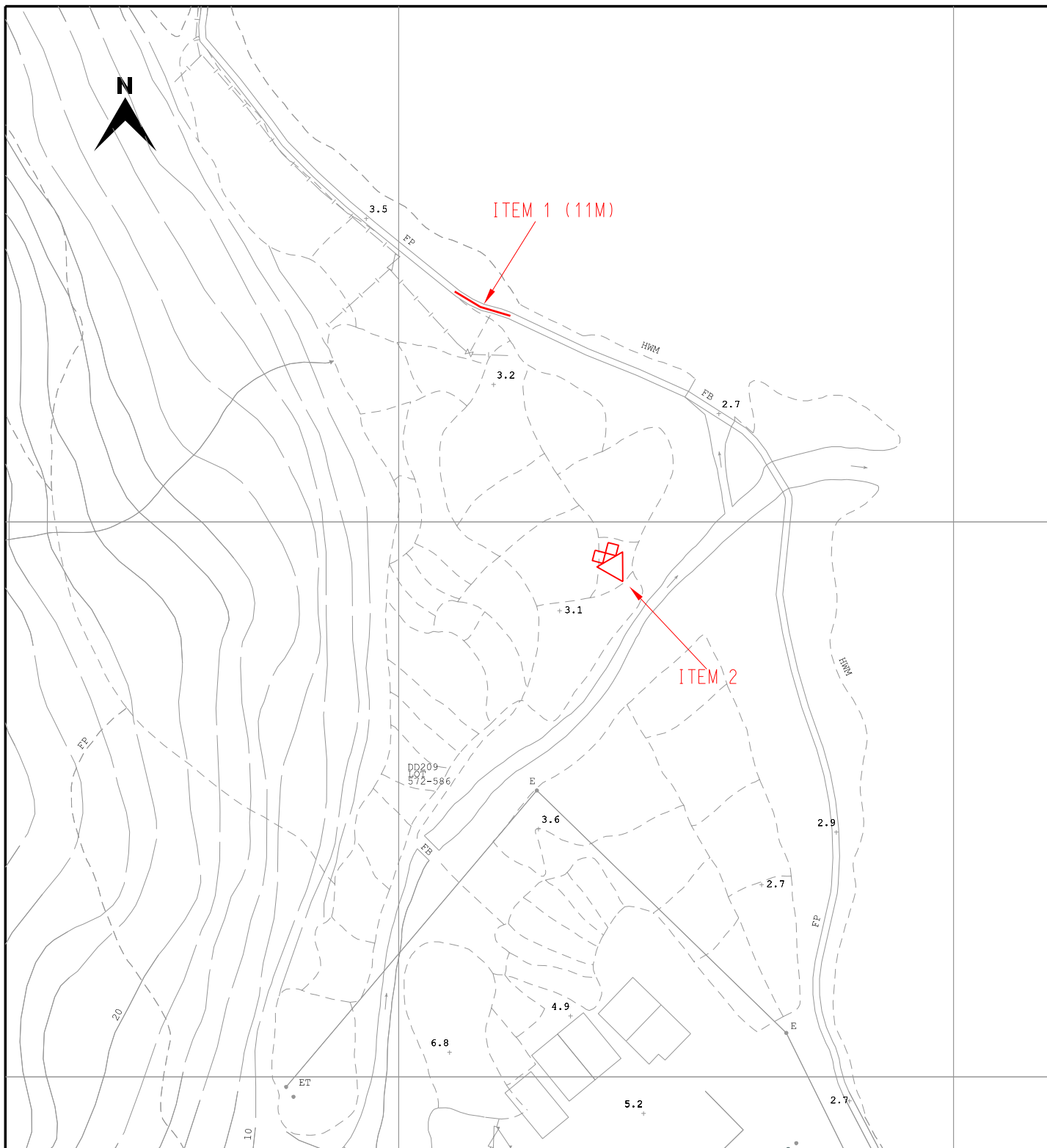
地政總署測繪處  
Survey and Mapping Office  
Lands Department

香港特別行政區政府 — 版權所有  
© Copyright reserved — Hong Kong SAR Government

比例尺 SCALE 1:1 000  
米 metres 10 0 10 20 30 40 50 metres

Locality :
Lot Index Plan No. : LC20240606085206
District Survey Office : Tai Po
Date : 06-Jun-2024
Reference No. : 8-NW-21D





TITLE : 11kV CABLE LAYING & POLE ERECTION  
NEAR KAI LING HA LO WAI  
SAI KUNG

MAP NO : 08NW21D

LEGEND

- PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
- PROPOSED TRENCH FOR LAYING DUCTS
- PROPOSED CABLE THROUGH EXISTING DUCTS
- EXISTING PILLAR
- PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOFF BOX
- EXCAVATION FOR JOINTING / REPAIRING / INSPECTION CABLE
- EXISTING OVERHEAD LINE & POLE
- PROPOSED 11kV, LV, OHL, OF STEEL / WOODEN POLE
- OVERHEAD LINE & POLE TO BE REMOVED
- PROPOSED TREE TRIMMING / CUTTING
- EXISTING POLE MOUNTED TRANSFORMER
- PROPOSED POLE MOUNTED TRANSFORMER
- PROPOSED STAY / STAY POLE
- PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR

DRAWN : H.Y. WONG

E/O NO :

CHECKED : K.N. SZE

REGION : WE

O.C. : SK

DATE : 06-05-2024

PROJECT REF. : SK2022-0499

SCALE : 1:1000

PLAN REF. : WESK2022-0499-01H

## Appendix 3

---

### Approval Letter for Related Planning Application (A/NE-SSH/146) and Supporting Drawings

城市規劃委員會

香港北角渣華道三百三十三號  
北角政府合署十五樓

TOWN PLANNING BOARD

15/F., North Point Government Offices  
333 Java Road, North Point,  
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

電 話 Tel: 2231 4810

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/NE-SSH/146

By Post & Fax (2323 3662)

17 February 2023

R-riches Property Consultants Ltd.  
208F, Kat Hing Wai  
Kam Tin  
Yuen Long, New Territories  
(Attn.: Matthew Ng / Orpheus Lee)

Dear Sir/Madam,

**Proposed Excavation of Land (Installation of Pole with Switchgear for Permitted Agricultural Use) in “Coastal Protection Area” Zone, Lots 578 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, Sai Kung**

I refer to my letter to you dated 31.1.2023.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid until 3.2.2027, and after the said date, the permission shall cease to have effect unless before the said date, the development permitted is commenced or the permission is renewed.

The TPB also agreed to advise you to note the advisory clauses as set out at Appendix III of the TPB Paper.

Regarding the determination on commencement of an approved development, please refer to TPB Guidelines No. 35D for details. If you wish to seek an extension of the validity of this permission, you may submit an application under 16A of the Town Planning Ordinance to the TPB no less than six weeks before its expiry. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider the application if the time limit for commencement of development specified in the permission has already expired at the time of consideration by the TPB. Please refer to the TPB Guidelines No. 35D and 36B for details. The Guidelines and application forms are available at the TPB's website ([www.info.gov.hk/tpb/](http://www.info.gov.hk/tpb/)), the Planning Enquiry Counters of the Planning Department (Hotline : 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

For amendments to the approved development that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36B for details.

The TPB Paper in respect of the application (except the supplementary planning statement/technical report(s), if any) is available at this link ([https://www.info.gov.hk/tpb/en/meetings/RNTPC/Agenda/712\\_rnt\\_agenda.html](https://www.info.gov.hk/tpb/en/meetings/RNTPC/Agenda/712_rnt_agenda.html)) and the relevant extract of minutes of the TPB meeting held on 3.2.2023 is enclosed herewith for your reference.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform me within 21 days from the date of this letter (on or before 10.3.2023). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

This permission by the TPB under section 16 of the Town Planning Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Mr. Harris Liu of Sha Tin, Tai Po & North District Planning Office at 2158 6372.

Yours faithfully,



( Leticia LEUNG )  
for Secretary, Town Planning Board

LL/CC/cl

Extracted from Confirmed Minutes of 712<sup>th</sup> Meeting of RNTPC held on 3.2.2023

Agenda Item 14

Section 16 Application

[Open Meeting (Presentation and Question Sessions Only)]

A/NE-SSH/146      Proposed Excavation of Land (Installation of Pole with Switchgear for Permitted Agricultural Use) in “Coastal Protection Area” Zone, Lots 578 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, Sai Kung  
(RNTPC Paper No. A/NE-SSH/146)

---

Presentation and Question Sessions

42.      With the aid of some plans, Mr Harris K.C. Liu, STP/STN, briefed Members on the background of the application, the proposed development, departmental and public comments, and the planning considerations and assessments as detailed in the Paper. The Planning Department had no objection to the application.

43.      In response to a Member’s question on the relationship between the proposed excavation area of 0.35m<sup>2</sup> and the delineation of the application site (the Site) boundary with an area of 58m<sup>2</sup>, Mr Harris K.C. Liu, STP/STN, said that according to the applicant, the application was for the proposed excavation of land with a total area of 0.35m<sup>2</sup> only and the Site with an area of 58m<sup>2</sup> covered an extended area for a safety clearance zone and a works area which would be subject to vegetation clearance during construction.

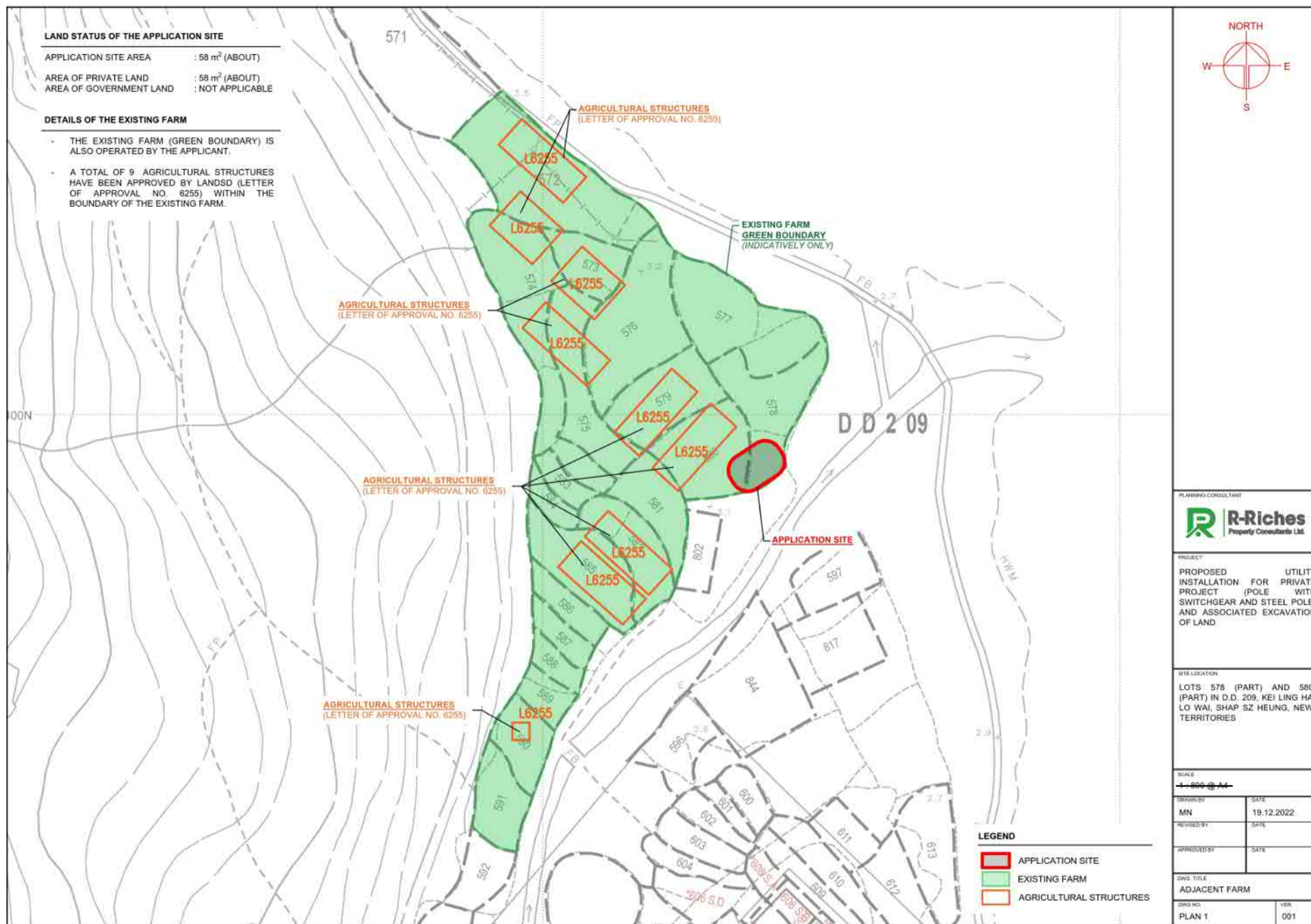
Deliberation Session

44.      The Chairman remarked that the proposed development would serve an active farm and was small in scale, and there was no adverse comment from relevant government departments on the application.

45.      After deliberation, the Committee decided to approve the application, on the terms of the application as submitted to the Town Planning Board (TPB). The permission should be valid until 3.2.2027, and after the said date, the permission should cease to have

effect unless before the said date, the development permitted was commenced or the permission was renewed.

46. The Committee also agreed to advise the applicant to note the advisory clauses as set out at Appendix III of the Paper.

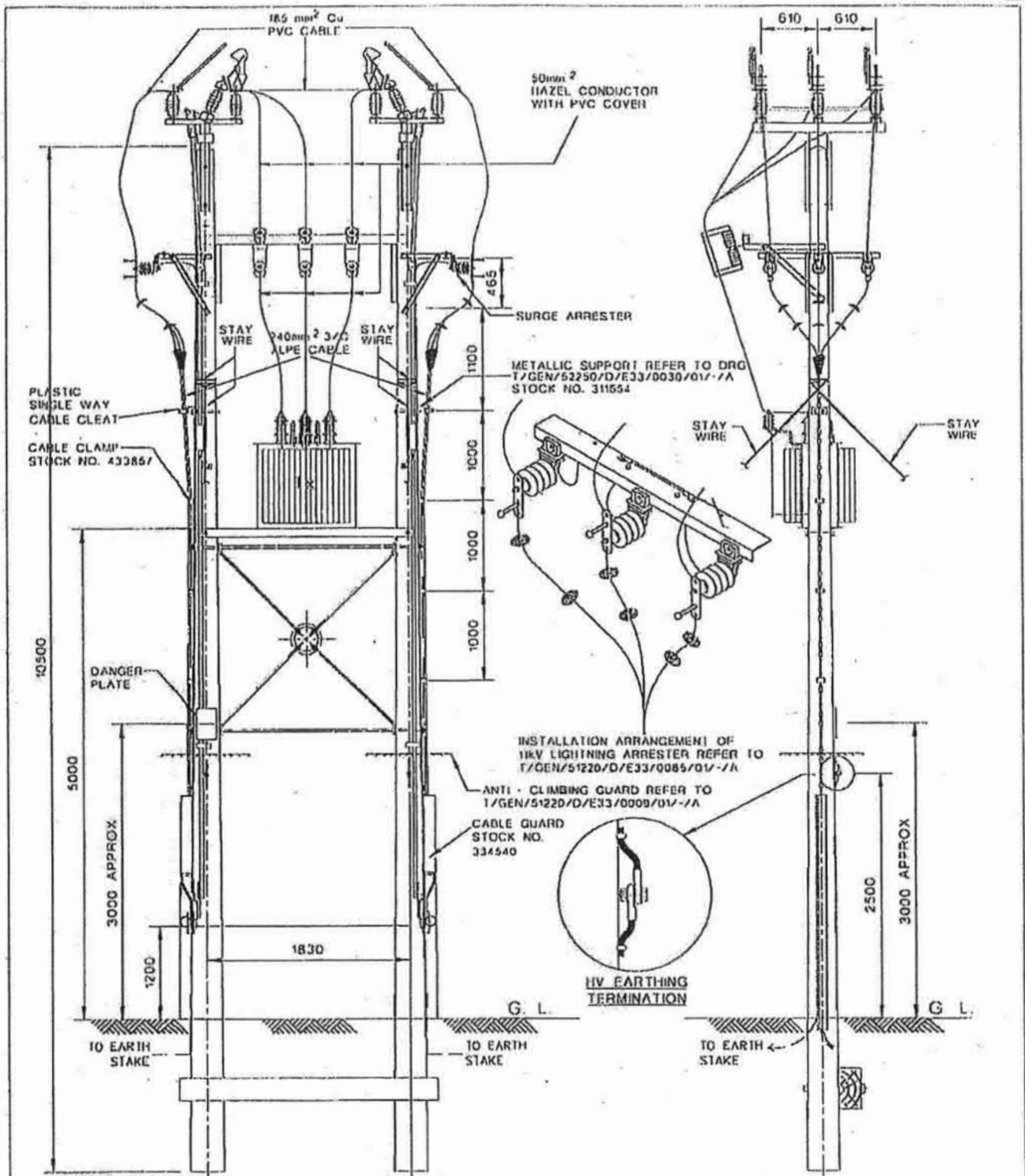


參考編號  
 REFERENCE No. A/NE-SSH/146

繪圖 DRAWING A-1

(來源：申請人建議書)  
 (SOURCE: APPLICANT'S SUBMISSION PLAN)





## NOTES:

1. THIS CONFIGURATION WAS A REPLICA OF EXISTING INSTALLATIONS PRIOR TO YEAR 2000 AS REQUESTED BY QC-OIL
2. PLEASE REFER TO THE MEMO REF: M/06510/02-06/JC/JC DATED 24/6/02 AND STRUCTURAL ENGINEER'S REPORT (MEINHARDT) ON 21/5/2002.
3. FOR OPERATION ON EQUIPMENT PLEASE REFER TO RELEVANT DSM CHAPTER.
4. FOR DETAILS OF INDIVIDUAL CONSTRUCTION PLEASE REFER TO RELEVANT STANDARD DRAWING.
5. ALL DIMENSIONS ARE IN mm.

CLP 中電

DRAWN: S.C.TO

DATE: 5-5-2000

CHECKED: C.Y.M / F.CHIOY

APPROVED: K.S.YEUNG

SCALE: NTS

SHEET(S) IN SET: 1

ASSET MANAGEMENT

REVS.	26.2.02	21.3.03											
	A	B	C	D	E	F	G	H	J	K	L		
INITIAL	H.C.C.	H.C.C.											
TITLE : TYPICAL LAYOUT FOR DOUBLE POLES INSTALLATION WITH TWO ISOLATORS AND FUSED TRANSFORMER FED BY CABLES													
PROJECT NO							CONTRACT NO.						
DRG. NO. T GEN 51220 D E33 0084 01 B A													

ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY CLP POWER

參考編號

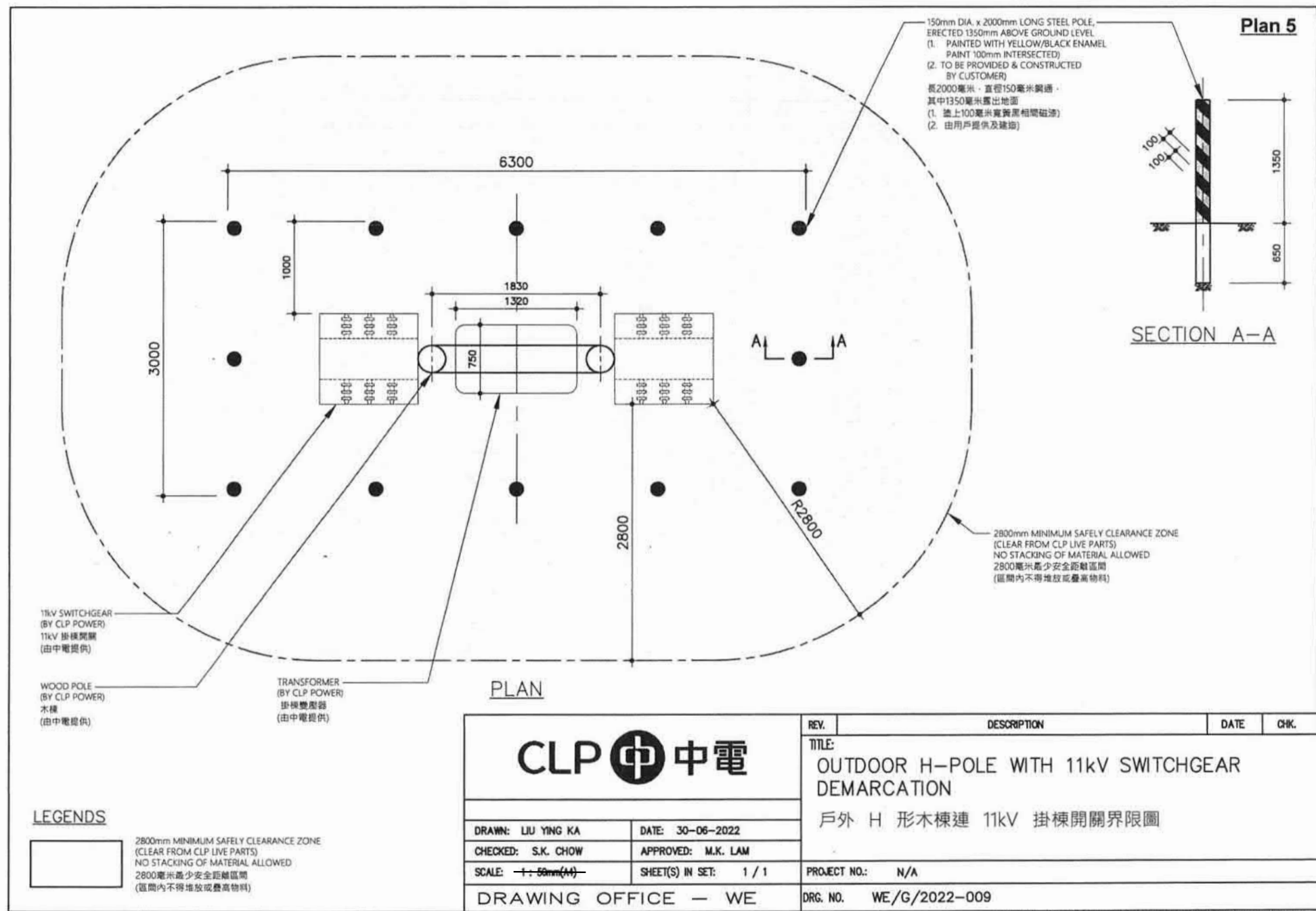
REFERENCE No.

A/NE-SSH/146

繪圖 DRAWING A-2

(來源: 申請人建議書)

(SOURCE: APPLICANT'S SUBMISSION PLAN)



參考編號

REFERENCE No. A/NE-SSH/146

繪圖 DRAWING A-3

(來源：申請人建議書)  
(SOURCE: APPLICANT'S SUBMISSION PLAN)



Aikon Development Consultancy Ltd.  
毅勤發展顧問有限公司

Tel 電話 : (852) 3180 7811  
Fax 傳真 : (852) 3180 7611  
Email 電郵 : info@aikon.hk  
Web 網址 : www.aikon.hk

Date : 15<sup>th</sup> May, 2025  
Our Ref. : ADCL/PLG-10308/L003

The Secretary  
Town Planning Board  
15/F., North Point Government Offices  
333 Java Road, North Point, Hong Kong

**By Email**

Dear Sir/Madam,

**Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories**  
**(Planning Application No. A/NE-SSH/164)**

We refer to the captioned application and our submission dated 26.03.2025 (Ref.: ADCL\_PLG\_10308\_L001). We would like to provide the following clarifications to facilitate considerations by relevant departments and the Town Planning Board.

- The current application seeks to provide the necessary installation for electricity supply that was overlooked in the previous application (No. A/NE-SSH/146).
- The meter kiosk and draw pit as shown in Appendix 1 will not be erected at the subject location. Instead, these ancillary facilities will be provided within the permitted agricultural structures, as shown in Figure 5. Only the permitted agricultural structures and the approved pole with switch gear will be erected to serve the agricultural purpose.
- The pole with switch gear, approved under planning application no. A/NE-SSH/146, will be constructed within 2 months upon approval of the current application. It is proposed that excavation of the land will be carried out in one go to install the underground cable trench and the pole with switch gear, in order to enhance efficiency and minimize any potential impact.
- The permitted agricultural structures have not yet been constructed. The applicant will remove existing materials left by previous users from the existing farm. The existing farm area will be vacant and ready for construction of the permitted agricultural structures once the current application is approved. The applicant will strictly adhere to the approval conditions and relevant guidelines to utilize the site for the approved/permitted purposes.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact the undersigned at

Yours faithfully,  
For and on behalf of  
Aikon Development Consultancy Limited



---

Thomas LUK

Encl.  
c.c. Client



Date : 29<sup>th</sup> May, 2025  
Our Ref. : ADCL/PLG-10308/L004

The Secretary,  
Town Planning Board,  
15/F., North Point Government Offices,  
333 Java Road, North Point, Hong Kong

**By Email**

Dear Sir/Madam,


**Section 16 Planning Application for Proposed Excavation of Land (Installation of Underground Cable Trench for Permitted Agricultural Use) at Lot Nos. 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, New Territories**  
**(Planning Application No. A/NE-SSH/164)**

We refer to the captioned application, we would like to clarify that approval was granted by the Lands Department for erection of the permitted agricultural structures on 25.10.2019. Enclosed is the letter of approval to facilitate consideration by the Town Planning Board.

It is also clarified that the alignment of the proposed excavation of land is considered the most viable option for providing the underground cable trench within private lots, with due consideration of technical viability.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact the undersigned at ..

Yours faithfully,  
For and on behalf of  
Aikon Development Consultancy Limited

  
\_\_\_\_\_  
Thomas LUK

Encl.  
c.c. Client



電話 Tel: 2654 1188  
 圖文傳真 Fax: 2650 9896  
 電郵地址 Email: gendlotp@landsd.gov.hk  
 本署檔號 Our Ref: (14) in DLO/TP 1/130/19  
 來函檔號 Your Ref:



地政總署  
 大埔地政處  
 DISTRICT LANDS OFFICE/  
 TAI PO  
 LANDS DEPARTMENT

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
 We strive to achieve excellence in land administration.

新界大埔汀角路一號大埔政府合署一樓  
 1/F., TAI PO GOVERNMENT OFFICES BUILDING,  
 1 TING KOK ROAD, TAI PO, NEW TERRITORIES.  
 網址 Website : www.landsd.gov.hk

來函請註明本署檔號

Please quote our reference in your reply

**By Registered Service**

25 OCT 2019

Dear Mr. TANG,

**Letter of Approval No. 6255**

**D.D. 209 Lot Nos. 572, 573, 574, 575, 576, 579, 580, 581, 582, 585 and 590**

Approval is given for the erection of agricultural structures, as shown on the attached schedule, on the above lots subject to the following conditions:

- (a) This approval may be withdrawn at any time by my giving to you three months' notice of withdrawal.
- (b) The structures covered by this approval shall be used only for agricultural purposes and shall not be used for domestic, commercial, godown or industrial purposes.
- (c) Any building when constructed will be of single storey with a height of not more than 4.57 metres.
- (d) Certificates of Exemption in respect of building works, site formation and drainage work must be obtained from the District Lands Officer prior to the commencement of any building work. For structure comprising a gross floor area of exceeding 92.9 square metres (1,000 square feet), plans have to be submitted and approval granted prior to construction. Furthermore, no structural alterations or improvements to existing structures may be carried out without the further approval in writing from the District Lands Officer who may require plans showing the proposed alterations and improvements.

This approval will be withdrawn in the event of any contravention of any of the above conditions. Meanwhile, I would advise that this approval is granted without prejudice to the provisions of the Waste Disposal Ordinance and the Waste Disposal (Livestock Waste) Regulations pertaining to the control, collection, storage, treatment, transportation and disposal of livestock waste. Also, pursuant to Regulation 8(1)(b) of the Waste Disposal (Livestock Waste) Regulations, if the livestock waste arising from the livestock keeping structures is disposed of into a soakaway-pit, this soakaway-pit shall be situated not less than 30 metres from any reservoir, saline waters, spring, watercourse or well for potable use.

Furthermore, you are required to observe the following general comments from the Environmental Protection Department and Planning Department on your proposal:-

- a. If fertilizer will be used in the operation phase, measures should be implemented to reduce fertilizer entering nearby watercourse by surface runoff, e.g. following manufacturers' instruction on fertilizer application and applying fertilizer in dry season as far as practicable;
- b. To observe and comply with the relevant legislation and prevailing guidelines on proper handling and/or disposal of waste generated from the construction and operation phases; and
- c. Planning permission is required for any filling or excavation of land within an area zoned "Coastal Protection Area" in the Shap Sz Heung Outline Zoning Plan.

Notwithstanding any other provisions of this letter including any provision which purports to confer a benefit on a person who is not a party to this letter, this letter is not intended to and does not give any person who is not a party to this letter any right to enforce any provisions of this letter under the Contracts (Rights of Third Parties) Ordinance, and a person who is not a party to this letter shall not have any right under the Contracts (Rights of Third Parties) Ordinance to enforce any provisions of this letter.

Yours faithfully,

( Ms Karen MY LEUNG )  
District Lands Officer, Tai Po

c.c. LACO, Tai Po and North  
SC/NTE(1)  
CRV  
AFCD  
EPD  
DPO/ST, TP & N

## SCHEDULE

The following structures only are included in this approval :

1.	Storeroom	Length	3m	Width	3m	Height	4.5m
2.	Greenhouse	Length	6m	Width	15m	Height	4.5m
3.	Greenhouse	Length	6m	Width	15m	Height	4.5m
4.	Greenhouse	Length	6m	Width	15m	Height	4.5m
5.	Greenhouse	Length	6m	Width	15m	Height	4.5m
6.	Greenhouse	Length	6m	Width	15m	Height	4.5m
7.	Greenhouse	Length	6m	Width	15m	Height	4.5m
8.	Greenhouse	Length	8m	Width	10m	Height	4.5m
9.	Greenhouse	Length	8m	Width	10m	Height	4.5m

**Previous Application**

**Approved Application**

<b>Application No.</b>	<b>Proposed Use(s) / Development(s)</b>	<b>Date of Consideration</b>
A/NE-SSH/146	Proposed Excavation of Land (Installation of Pole with Switchgear for Permitted Agricultural Use)	3.2.2023

**Recommended Advisory Clauses**

- (a) to resolve any land issue relating to the development with the concerned owner(s) of the Site;
- (b) to note the comments of District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that:
  - (i) a temporary structure not covered by Modification of Tenancy, Letter of Approval, Short Term Waiver and Squatter Control Surveyed Record straddling on Lots 576 and 579 in D.D. 209 (subject to survey) is detected. The Government reserves the right to take appropriate actions if the registered owner(s) of Lots 576 and 579 in D.D. 209 fail to compile the conditions of the land lease; and
  - (ii) there is no guarantee to the grant of a right of access to the private lots under lease;
- (c) to note the comments of the Director of Environmental Protection (DEP) that applicant should follow the Recommended Pollution Control Clauses for Construction Contracts to minimise any potential environmental impacts during construction, in view that the Kei Ling Ha Mangal Site of Special Scientific Interest is located in close proximity to the Site;
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
  - (i) the proposed work should not affect/damage DSD's assets in the vicinity. Should such damage occur, the applicant is requested to inform DSD immediately and carry out remedial works so required to DSD's satisfaction; and
  - (ii) the applicant shall ensure that there will be no adverse drainage impact to the adjoining area and drainage facilities in the vicinity; and
- (e) to note the comments of the Director of Fire Services (D of FS) that any excavation/construction works shall under no circumstances cause obstruction to nearby fire hydrants and their control valves in-situ. Should any relocation/blanking-off of fire hydrants be necessary, prior consent from his department has to be sought.



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

---

**From:**  
**Sent:** 2025-05-07 星期三 03:32:28  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/NE-SSH/164 DD 209 Kei Ling Ha Lo Wai CPA CLP

A/NE-SSH/164 CLP

Lots 572 (Part), 576 (Part), 578 (Part), 579 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung

Site area: About 92sq.m

Zoning: "Coastal Protection Area"

Applied development: f Underground Cable Trench / **Excavation of Land**

Dear TPB Members,

Strongest Objections. When approving 146 members did not question what this 'agriculture' operation constitutes. According to the plan there are already nine structures in place. While they are tagged as having letters of approval, there is no record that their construction was approved through the planning process, as is mandated under the zoning.

Having a power supply cutting through the entire site indicates that the intention is in fact to develop some form of accommodation.

No images are provided of the structures.

Members have a duty to inquire in matters and should request proof as to whether there is in fact genuine agricultural activity taking place, and if so why it requires so many structures.

Mary Mulvihill

---

**From:**  
**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Date:** Sunday, 15 January 2023 3:40 AM CST  
**Subject:** A/NE-SSH/146 DD 209 Kei Ling Ha Lo Wai CPA CLP

A/NE-SSH/146 CLP

Lots 578 (Part) and 580 (Part) in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung

Site area : About 58sq.m

Zoning: "Coastal Protection Area"

Applied development: Utility Installation / Excavation of Land

Dear TPB Members,

**STRONGEST OBJECTIONS.** The application is to **support unapproved development for which there is a history of withdrawn applications**, 126 is the most recent.

CLP continues to collude with developers to encroach on ecological sensitive areas, in this instance adjacent to SSSI zoning. This is effectively a form of Joint Enterprise

*Joint enterprise adopts the fundamental principle of criminal law that **a secondary party is guilty of the same offence as the principal**. It is not dependent on proving that the principal committed the main offence and that the secondary party assisted or encouraged its commission.*

TPB is currently reviewing its ordinance under the excuse of streamlining the process. Certainly a clause prohibiting applications for the provision of services to unapproved development should be included as they are both time wasting and unethical.

Mary Mulvihill

---

**From:**

**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Date:** Sunday, 17 February 2019 3:28 AM CST

**Subject:** A/NE-SSH/126 DD 209 Kei Ling Ha Lo Wai CPA

A/NE-SSH/126

Lots 572, 573, 576, 577, 578, 579 and 580 in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung

Site area : 1,840.5m<sup>2</sup>

Zoning : "Coastal Protection Area"

Applied Use : Hobby Farm

Dear TPB Members,

Application 117 presumably did not cut it as it was deferred twice.

Now operator is back with a smaller version of the plan to legitimize what is obviously an on going unapproved operation, see Google Maps for indication of browfield use.

Bigger or smaller, the proposed use is obviously a Destroy to Build plan for what should be a stretch of protected and managed Coastal Protection Area.

Recent changes in weather patterns should convince even the most climate change sceptics that Hong Kong must protect what is left of CPA in order to mitigate the inevitable rising sea levels and increase in violent storms.

Members must question Ag and Fish with regard to existing illegal activities and what steps are being taken to ensure that the site reverts to its intended land use.

Previous objections upheld.

Mary Mulvihill

---

**From:**

**To:** "tpbpd" <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Sent:** Monday, May 14, 2018 3:43:36 AM

**Subject:** Re: A/NE-SSH/117 DD 209 Kei Ling Ha Lo Wai CPA

Note previous Application 110 was for a camping ground.

In view of recent reports of coach parties from the mainland descending on sensitive beaches in Sai Kung, this application must definitely be rejected.

Mary Mulvihill

---

**From:**

**To:** "tpbpd" <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Sent:** Monday, May 14, 2018 3:39:20 AM

**Subject:** A/NE-SSH/117 DD 209 Kei Ling Ha Lo Wai CPA

A/NE-SSH/117

Lots 572 to 591 in D.D. 209, Kei Ling Ha Lo Wai, Shap Sz Heung, Sai Kung

Site area 3,536 m<sup>2</sup>

Zoning : "Coastal Protection Area"

Applied Use : Hobby Farm

Dear TPB Members,

I strongly object to this application.

The Planning Intention of CPA is :

*This zoning is intended to conserve, protect and retain the natural coastlines and the sensitive coastal natural environment, including attractive geological features, physical landform or area of high landscape, scenic or ecological value, with a minimum of built development. It may also cover areas which serve as natural protection areas sheltering nearby developments against the effects of coastal erosion.*

*There is a general presumption against development in this zone. In general, only developments that are needed to support the conservation of the existing natural landscape or scenic quality of the area or are essential infrastructure projects with overriding public interest may be permitted.*

The proposed development would in no way conserve the natural landscape, on the contrary it would introduce foreign elements. Neither is it essential in nature.

A 'hobby farm' would introduce plants that are not indigenous to the area and upset the delicate ecological balance. It would also encourage run off and use of pesticides that would impact insects, birds, and small animals. Then there is also the issue of toilet facilities and grey water to cater for the 'farmers'.

Members must reject the application as approval would encourage similar activities to proliferate leading to severe degradation of the natural environment.

Mary Mulvihill