

This document is received on: 2025-05-19  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

e-form No. S16-III  
電子表格第 S16-III 號

**APPLICATION FOR PERMISSION**  
**A/YL-TYST/1315 UNDER SECTION 16 OF**  
**THE TOWN PLANNING ORDINANCE**  
**(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of  
Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated  
Areas, or Renewal of Permission for such Temporary Use or Development\*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\*

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

EPASS

20250504VEL

2025.5.6

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/PL-TTST/1315
	Date Received 收到日期	2025-05-19

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

鑲世紀工程顧問有限公司 (Company 公司)

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	新界元朗白沙村丈量約份第 119 約地段第 1314 號、第 1315 號、第 1316 號及第 1317 號 (部分)
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 3190 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 2724 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	sq.m 平方米 <input type="checkbox"/> About 約

<p>(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號</p>	<p>唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14</p>
<p>(e) Land use zone(s) involved 涉及的土地用途地帶</p>	<p>「住宅(丙類)」</p>
<p>(f) Current use(s) 現時用途</p>	<p>空置</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>
<p>(g) Additional Information (if applicable) 附加資料 (如適用)</p>	

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

**5. Statement on Owner's Consent/Notification**  
**就土地擁有人的同意/通知土地擁有人的陳述**

- (a) According to the record(s) of the Land Registry as at \_\_\_\_\_ (DD/MM/YYYY), this application involves a total of "current land owner(s)"#. 根據土地註冊處截至 \_\_\_\_\_ (日/月/年) 的記錄，這宗申請共牽涉 \_\_\_\_\_ 名「現行土地擁有人」#。

- (b) The applicant 申請人 –

- ☐ has obtained consent(s) of \_\_\_\_\_ "current land owner(s)"#.

已取得 \_\_\_\_\_ 名「現行土地擁有人」#的同意。

Details of consent of "current land owner(s)"# obtained 取得「現行土地擁有人」#同意的詳情

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified \_\_\_\_\_ "current land owner(s)"#

已通知 \_\_\_\_\_ 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)



- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)"<sup>#&</sup> on \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers<sup>&</sup> on \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises<sup>&</sup> on  
12/03/2025 (DD/MM/YYYY)  
於 12/03/2025 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee<sup>&</sup> on 02/04/2025 (DD/MM/YYYY)  
於 02/04/2025 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

**6. Type(s) of Application 申請類別**

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

<p>(a) Proposed use(s)/development 擬議用途/發展</p>	<p>擬議臨時貨倉存放食品</p> <p>(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)</p>
<p>(b) Effective period of permission applied for 申請的許可有效期</p>	<p><input checked="" type="checkbox"/> year(s) 年 3</p> <p><input type="checkbox"/> month(s) 個月</p>

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	1266	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	1924	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	5		
Proposed domestic floor area 擬議住用樓面面積		sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	2724	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	2724	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)  
詳情請見附頁

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	
Motorcycle Parking Spaces 電單車車位	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	
Others (Please Specify) 其他 (請列明)	

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	
Coach Spaces 旅遊巴車位	
Light Goods Vehicle Spaces 輕型貨車車位	3
Medium Goods Vehicle Spaces 中型貨車車位	
Heavy Goods Vehicle Spaces 重型貨車車位	
Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間

星期一至星期六，上午八時至晚上八時，星期日及公眾假期休息。

(d) Any vehicular access to the site/subject building?  
是否有車路通往地盤／有關建築物？

Yes 是

☒ There is an existing access. (please indicate the street name, where appropriate)  
有一條現有車路。(請註明車路名稱(如適用))

可由公庵路經一條地區小徑前往

☐ There is a proposed access. (please illustrate on plan and specify the width)  
有一條擬議車路。(請在圖則顯示，並註明車路的闊度)

No 否

☐

<p>(e) Impacts of Development Proposal 擬議發展計劃的影響</p> <p>(If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)</p>																																	
<p>(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>No 否 <input checked="" type="checkbox"/></p>																																
<p>(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?</p>	<p>Yes 是</p> <p>No 否 <input checked="" type="checkbox"/></p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘  Area of filling 填塘面積 _____ sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填塘深度 _____ m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土  Area of filling 填土面積 _____ sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填土厚度 _____ m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土  Area of excavation 挖土面積 _____ sq.m 平方米 <input type="checkbox"/> About 約  Depth of excavation 挖土深度 _____ m 米 <input type="checkbox"/> About 約</p>																															
<p>(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <hr/>
--	---

(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ /
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	

<p>(e) Approval conditions 附帶條件</p>	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>_____</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>_____</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
<p>(f) Renewal period sought 要求的續期期間</p>	<p><input type="checkbox"/> year(s) 年 _____</p> <p><input type="checkbox"/> month(s) 個月 _____</p>

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

可參閱附頁申請理由

## 8. Declaration 聲明 (Applicant 申請人 #1)

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

Signed with recognised  
e-signature  
Signer: HUI HANG YU

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

文員 .....

Name  
姓名

Position (if applicable)  
職位 (如適用)

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員  
專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會 /

☐ RPP 註冊專業規劃師

Others 其他

On behalf of 代表

鑄世紀工程顧問有限公司 .....

### Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

### Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

### Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:  
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
  - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
  - facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.  
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

<b>Gist of Application 申請摘要</b> (Please provide details in both English and Chinese <u>as far as possible</u> . This part will also be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	新界元朗白沙村丈量約份第 119 約地段第 1314 號、第 1315 號、第 1316 號及第 1317 號 (部分)		
Site area 地盤面積	3190 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地                      sq. m 平方米 <input type="checkbox"/> About 約)		
Plan 圖則	唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14		
Zoning 地帶	「住宅(丙類)」		
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 <input type="checkbox"/> Month(s) 月		
Applied use/ development 申請用途/發展	擬議臨時貨倉存放食品		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	2724 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.85 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不 多於



(ii) No. of blocks 幢數	Domestic 住用	
	Non-domestic 非住用	5
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	9 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
		2 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積	60.31 % <input checked="" type="checkbox"/> About 約	
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 _____  Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 <u>3</u>  Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 <u>3</u> Medium Goods Vehicle Spaces 中型貨車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
場地大綱圖、場地位置圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Air Ventilation Assessment 空氣流通評估	<input type="checkbox"/>	<input type="checkbox"/>
Management Plan 管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Social Impact Assessment 社會影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Heritage Impact Assessment	<input type="checkbox"/>	<input type="checkbox"/>
Ecological Impact Assessment 生態影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Conservation Management Plan 保育管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
渠務建議	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

## 申請理由

申請由鑛世紀工程顧問有限公司提出，申請地點總面積約 3190 平方米，總樓面面積為 2724 平方米，位於新界元朗白沙村丈量約份第119約地段第1314號、第1315號、第1316號及第1317號（部分），發展作擬議臨時貨倉存放食品（為期 3 年）。（可參閱：場地大綱圖及場地位置圖）

申請地點位於唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14 內的「住宅(丙類)」地帶內，申請地點涉及四幅私人土地，不涉及政府土地。申請地點地型不規則，地勢平坦並已平整，擬議發展屬臨時性質，設施簡單容易還完。場地共設 5 個構築物，編號 TS1- 5。5 個構築物合供佔上蓋面積約 1924 平方米，以下是詳細資料：

構築物序號	上蓋面積 (平方米)	樓面面積 (平方米)	高度 (米)	層數	建築物料	用途
TS1	1835	2635	9	2	金屬搭建	食品儲存
TS2	57	57	4	1	金屬搭建	辦公室及洗手間
TS3	22	22	4	1	金屬搭建	消防泵房
TS4	5	5	3	1	金屬搭建	機械設施
TS5	5	5	3	1	金屬搭建	機械設施

餘下面積約 1266 平方米的土地，佔申請地點約 39.69% 土地會用作流動空間。流動空間可作緩衝及車輛迴旋處，以便車輛有足夠空間供轉動及進行車流管制。即場地設計圖內所示，申請地點內未有註明的空白部份。

此申請獲通過後，申請人會依足規定，就申請地點上搭建構築物，進行上蓋牌照（STW）申請。申請發展屬臨時性質，從事工作整齊，設施簡單容易還完，不會有任何損害環境設施。擬議發展地點基本設施齊備（水電供應），無須進行任何斬樹、填池、鑽土及隔斷水源等損害環境的開闢工作。申請地點不會有員工留宿、不會安裝霓虹燈光管招牌、不會有晚間照明裝置、不會產生光害滋擾。發展項目不含有害廢料或污染物，對生態及環境不會帶來任何影響。

申請人會委託專業管理公司進行管理，對附帶條件工程設備提供維修及保養，包括渠道系統、消防裝置及現有的邊界圍欄等。管理公司亦會負責環境衛生並按時派專員收集和清理垃圾，噴灑防蚊藥水，確保環境衛生及美觀，相信場地發展後亦能繼續與社

區保持和諧。申請人會遵從環保署署長最新發出的《處理臨時用途及露天貯存用地的環境問題作業指引》，盡量減低可能對附近易受影響地方所造成的環境影響。

場地出入口（閘門）設於場地南邊，出入口位置寬敞明確，闊度約 8 米，可供消防車之類的緊急車輛進入，並連接行車通道接駁公庵路，透過公庵路貫通新界道路網絡，方便往來各處。行車通道平坦寬廣且沒有彎位，可供駕駛者安全使用。行車通道地段屬私人物業，由場地使用者管理，並非由運輸署。申請前已取得業主同意。行車通道已使用多年，管理、維修及保養等工作由場地使用者與業主共同負責。

行車通道實況照片



公庵路實況照片



申請地點開放時間，為星期一至星期六，每日早上八時至下午八時，星期日及公眾假期休息。必要運輸工作，會安排在日間非繁忙時間進行，晚上不會進行任何運輸工作，夜間並不會產生噪音。申請地點設有 3 個輕型貨車上落貨車位，每個面積 7 米 x 3.5 米，作運送貨物之用。由於儲存貨物涉及貴重物品，基於保安考慮，申請地點不歡迎閒雜車輛進入，進入申請地點的車輛都會在進場前由職員預約通知，故不會出現排隊輪候或阻塞公共道路的情況。申請地點有足夠空間供車輛迴轉，可避免車輛以倒車

方式進出場地，加上申請地點可以完全控制貨物交收時間。在良好的管理下，不會出現任何交通問題，不會對附近交通構成壓力。

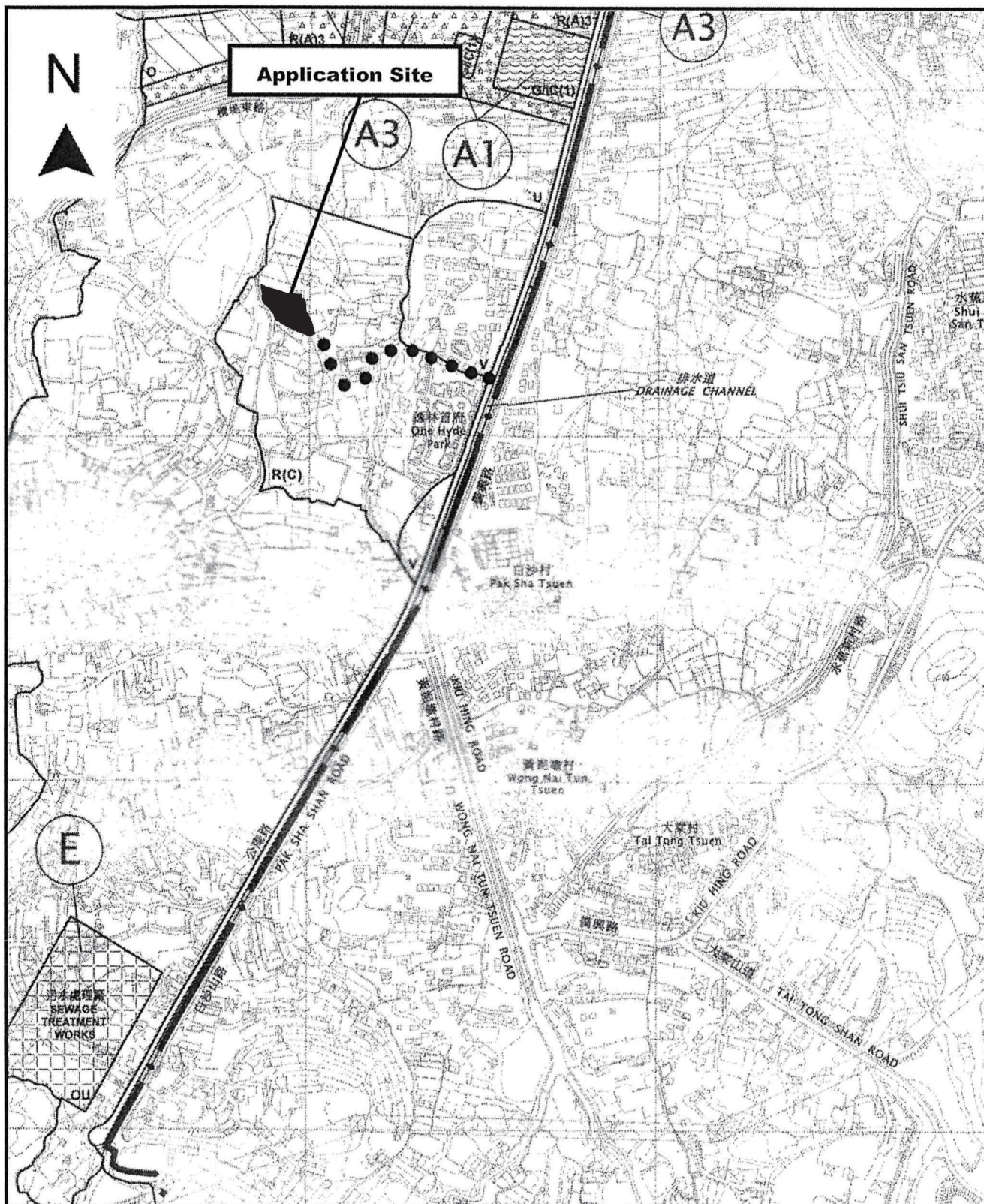
總括而言，申請地點的運輸工作並無迫切性，運輸工作可按交通情況靈活調配，車輛流量極為穩定。除標題發展所涉及的交通活動外，不會有其他運輸工作。由於進出申請地點的車輛數目極為穩定，故此車輛流量都可在預計之內。以下是申請地點的交通流量預算，詳細如下：

	星期一至六		
	輕型貨車上落貨		
	入	出	每小時車輛出入次數
08:00 - 09:00	0	0	0
09:00 - 10:00	0	0	0
10:00 - 11:00	1	1	2
11:00 - 12:00	2	2	4
12:00 - 13:00	0	0	0
13:00 - 14:00	0	0	0
14:00 - 15:00	2	0	2
15:00 - 16:00	1	3	4
16:00 - 17:00	0	0	0
17:00 - 18:00	0	0	0
18:00 - 19:00	0	0	0
19:00 - 20:00	0	0	0
以上數字為預算車輛進出場地記錄， 假設當天附近地區沒有交通事故，進出場地車輛數量正常。			

申請地點內不會存放易燃物品，從事工作整齊而簡單，容易還完，能與周圍環境配合。發展項目不含有害廢料或污染物，不會發出氣味，對生態及環境不會帶來任何負面影響。此申請發展能提高地區治安警覺性，從而改善環境衛生。在完善管理下，可避免土地荒廢或被人胡亂傾倒泥頭或廢物，減少細菌及蚊蟲滋生的可能。於提交申請前，申請人已徵詢過區內人士，並沒收到任何反對意見。

申請人承諾會以友善的態度，積極與各政府部門溝通，遵從各方面守則並努力進行多樣紓緩環境影響工程，務求令場地獲得發展後仍不會對周圍環境帶來顯著影響。此申請能有意義及靈活地善用地點資源。此乃屬過渡性質，為政府日後開闢土地帶來方便，發展項目簡單，容易還原，能與周圍環境配合，不存在任何永久建築，與未來規劃方向沒有抵觸。倘若政府有意發展此區或有工程展開，此申請亦會告一段落。敬希城規會能接受這份合乎情理的申請，並予以批准。





Drawing Title 圖目:  
場地大綱圖

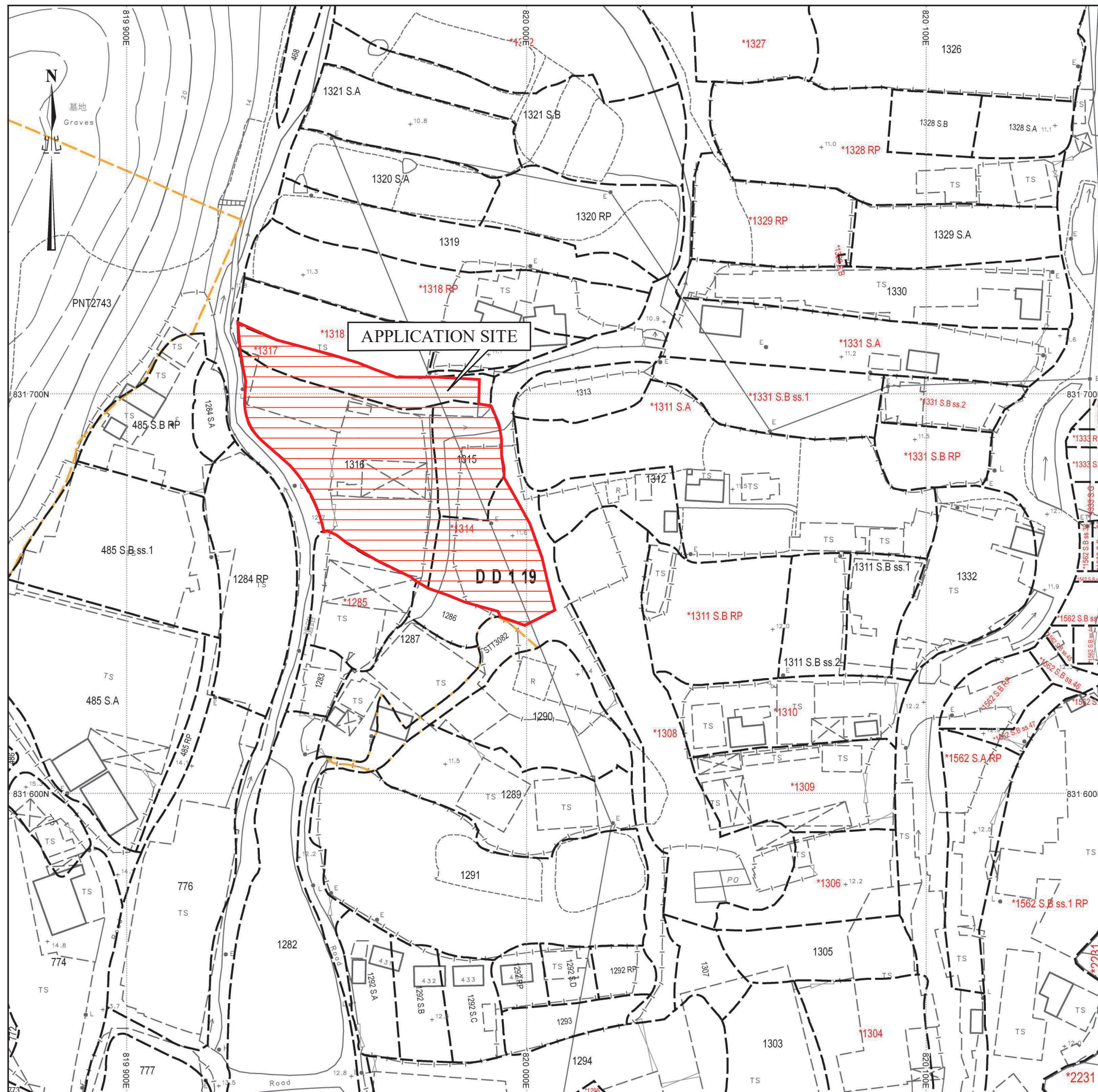
Remarks 備註:

●●● Vehicular access leading to Kung Um Road

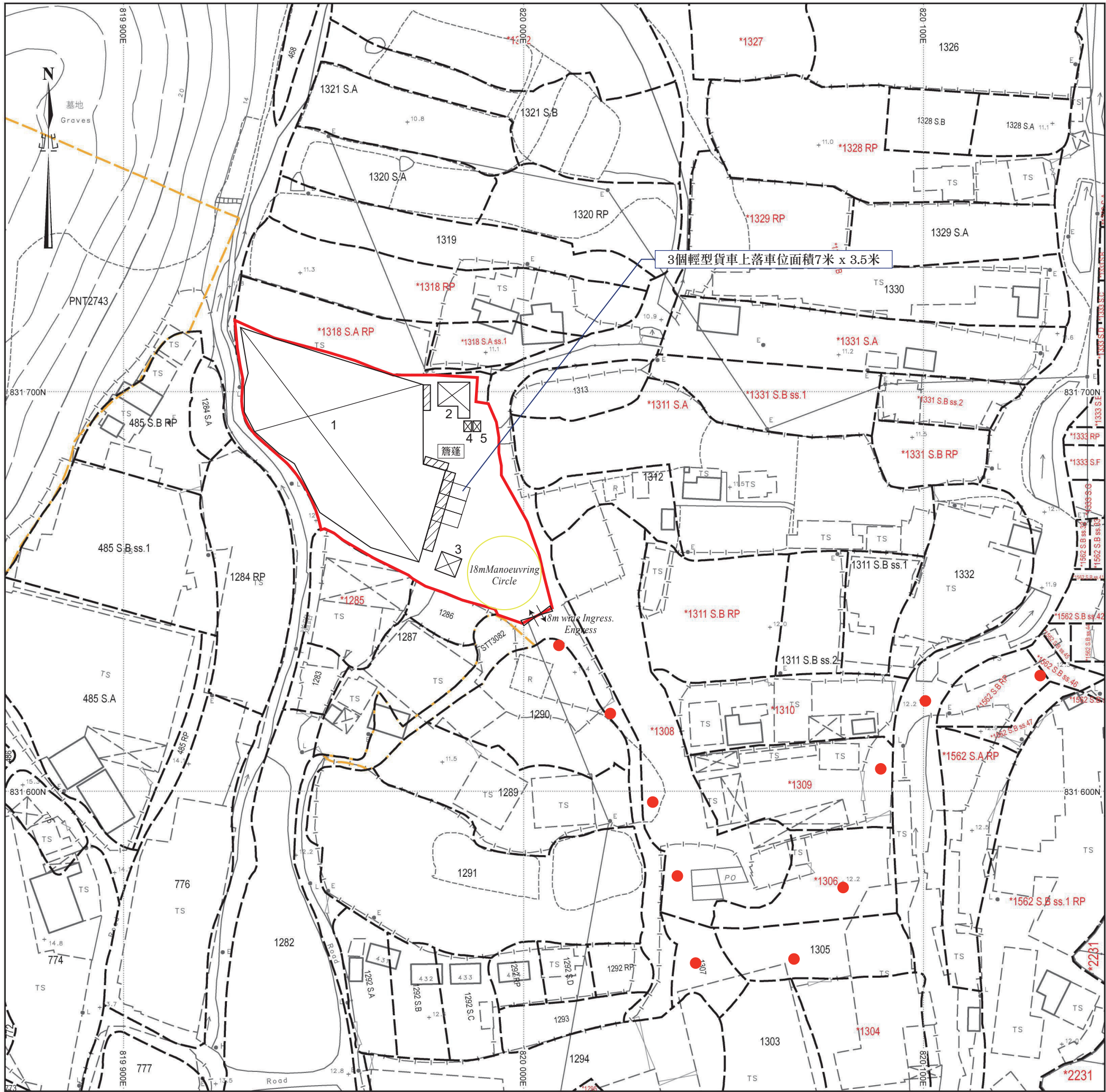
Scale 比例:

SCALE 1 : 7500









場地設計圖

構築物(1)  
用途：食品儲存  
建築物料：以金屬搭建  
高度：約9米  
層數：2層  
上蓋面積：約1835平方米  
總樓面面積：約2635平方米

構築物(2)  
用途：辦公室及洗手間  
建築物料：以金屬搭建  
高度：約4米  
層數：1層  
上蓋面積：約57平方米  
總樓面面積：約57平方米

構築物(3)  
用途：消防泵房  
建築物料：以金屬搭建  
高度：約4米  
層數：1層  
上蓋面積：約22平方米  
總樓面面積：約22平方米

構築物(4)  
用途：機械設施  
建築物料：以金屬搭建  
高度：約3米  
層數：1層  
上蓋面積：約5平方米  
總樓面面積：約5平方米

構築物(5)  
用途：機械設施  
建築物料：以金屬搭建  
高度：約3米  
層數：1層  
上蓋面積：約5平方米  
總樓面面積：約5平方米

● ● ● 行車路線  
SCALE 1 : 1000

SUBMISSION REPORT  
FOR  
DRAINAGE PROPOSAL DESIGN  
FOR PROPOSED DEVELOPMENT  
ON  
LOT 1314, 1315, 1316 ANDF 1317 IN D.D.119

Report no. SPDD19-001B

## **TABLE OF CONTENTS**

1. Introduction
2. Existing Drainage Condition
3. Design parameters & assumptions
4. Proposed Stormwater Drainage
5. Effect on Drainage Characteristics and potential Drainage Impacts
6. Conclusions

## **APPENDIX**

Appendix A	Stormwater Drainage Proposal Plan
Appendix B	Surface Drainage Design
Appendix C	Photo of Existing Stream and Watercourse

## **REFERENCES**

1. Stormwater Drainage Manual, Planning Design and Management by DSD
2. Geotechnical Manual for Slopes by GEO
3. Standard Drawings by DSD

## 1. Introduction

This proposal is prepared for the proposed stormwater drainage works for the NTEH development at lot 1314, 1315, 1316 and 1317 in D.D.119.

## 2. Existing Drainage Condition

A plan showing the existing catchments is enclosed in **Appendix B**. Currently, the surface runoff collected from the site is discharging to the existing stream and watercourse located at the west and east of the site respectively as shown in **Appendix A**. As per the existing site condition, an additional peripheral U-channels area is considered necessary for the proposed development. A drainage proposal is required to be carried out for the proposed development.

## 3. Design Parameters & Assumptions

The design criteria to be used for the modeling assessment are based on the standards set out in the Stormwater Drainage Manual, Third Edition (SDM). According to Section 6.6.1 of the SDM, the existing village drainage system in the vicinity of the development is classified as main rural catchment drainage system. Table 10 of the SDM recommends to be adopted a 50 year design return period storm event for the urban drainage branch system.

### Stormwater Runoff (Q)

The rate of stormwater runoff used in this assessment report is estimated by the “Rational method” in which the peak runoff is calculated from the formula:

$$Q = K \times i \times A / 3600$$

where	Q	=	maximum runoff (L/s)
	i	=	design mean intensity of rainfall (mm/hr)
	A	=	area of catchment (m <sup>2</sup> )
	K	=	runoff coefficient

#### Time of Concentration (tc)

The time of concentration is defined as the time required for stormwater runoff to flow from the most remote part of the catchment area to the point in the drainage system under consideration. Based on the assumptions adopted in the Rational Method, this is the time taken for the peak runoff to become established at the considered section.

The time of concentration comprises the time for water flowing within natural catchments and along the man-made drainage pipes/channels. For natural catchments, the time of concentration is estimated by the modified form of the Brandsby William's equation.

$$t_o = \frac{0.14465L}{H^{0.2} A^{0.1}}$$

Where  $t_o$  = time of concentration of a natural catchment (min.)

$A$  = catchment area ( $m^2$ )

$H$  = average slope (m per 100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration

$L$  = distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m)

#### Mean Rainfall Intensity (i)

Mean rainfall intensity-duration curves attached in this report are based on the Statistical analysis of long term rainfall records from the Hong Kong Observatory. A return period of 50 years is adopted.

#### Runoff Coefficient (K)

The value of  $K$  is taken as 1 for developed area. For vegetated ground, the value of  $K$  is taken as 0.3.

#### **4. Proposed Stormwater Drainage**

The proposed stormwater drainage works include surface U-channels at the peripheral of the site collecting the runoff from catchments within the site. The U-channels will connect and discharge the surface runoff to the existing stream and watercourse located at the west and east of the site respectively. Catchpits with 300mm sump are proposed at the discharged points of the proposed U-Channel to desilt the surface water before discharging to the drainage outside. The proposed stormwater drainage layout plan is shown in **Appendix A**.

#### **5. Effect on Drainage Characteristics and Potential Drainage Impact**

The drainage design of the proposed U-channel is presented in **Appendix B**. Since no wall or hoarding would be erected in this development, it is considered that the existing overland flow passing through the site would not be affected.

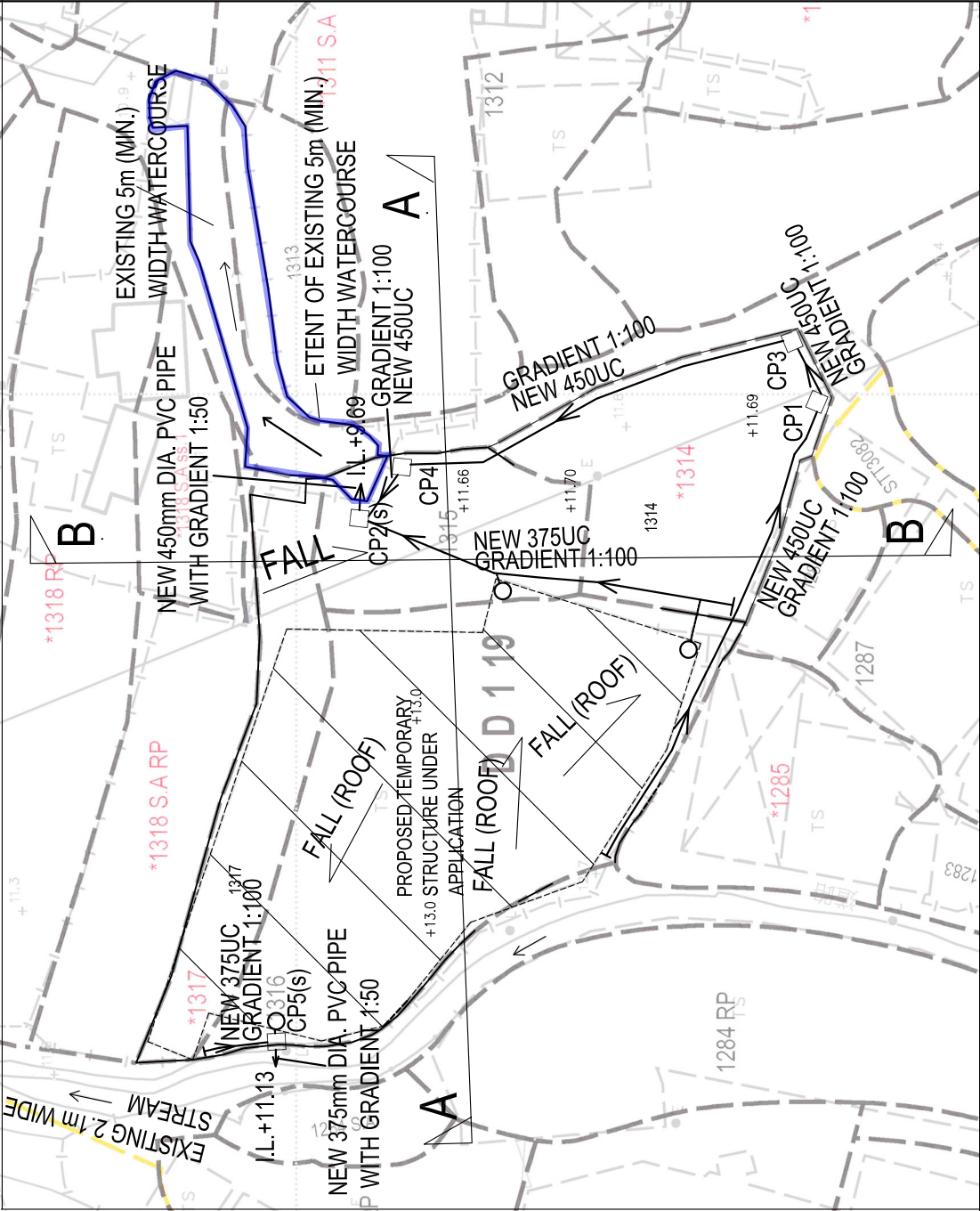
#### **6. Conclusion**

Peripheral channels are to be provided along the site boundary where necessary to intercept runoff from crossing the site. The drainage conditions of adjacent areas will not be adversely affected.

**Appendix A**

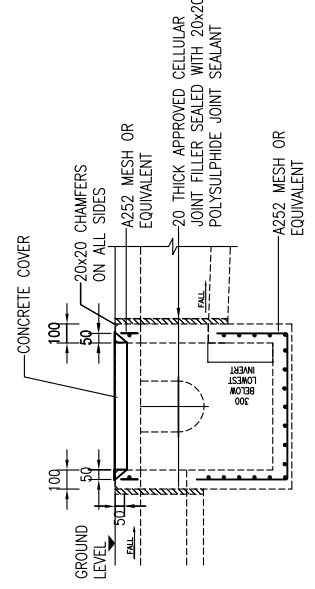
**Stormwater Drainage Proposal Plan**





LEGEND:

- +13.0 EXISTING GROUND LEVEL AT +13.0mPD
- GRADIENT 1:100 NEW 450UC  $\Rightarrow$  PROPOSED 450mm U-CHANNEL WITH GRATING AT FALL 1: 100 (MIN)
- GRADIENT 1:100 NEW 375UC  $\Rightarrow$  PROPOSED 375mm U-CHANNEL WITH GRATING AT FALL 1: 100 (MIN)
- CP5(s)  $\square$  PROPOSED COVERED DESILTED CATCHPIT NO. CP5
- CP1  $\square$  PROPOSED COVERED CATCHPIT NO. CP1
- $\circ$  50mm DIA. PVC DOWNPIPE FROM ROOF TO GROUND TO DISCHARGE RUNOFF FROM ROOF



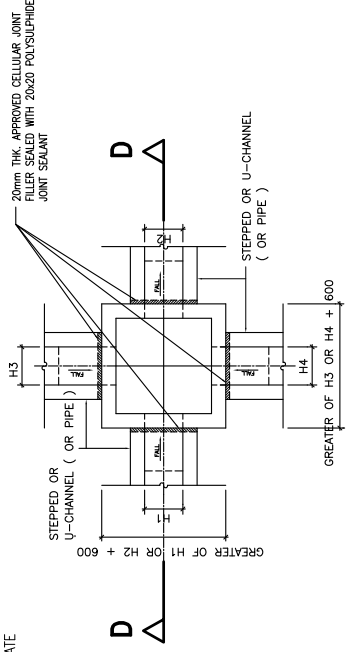
SECTION D – D WITH DESILTED TRAP  
COMPLY WITH CEDD'S DRAWING NO. DS C2405 AND C2406I

CATCHPITS

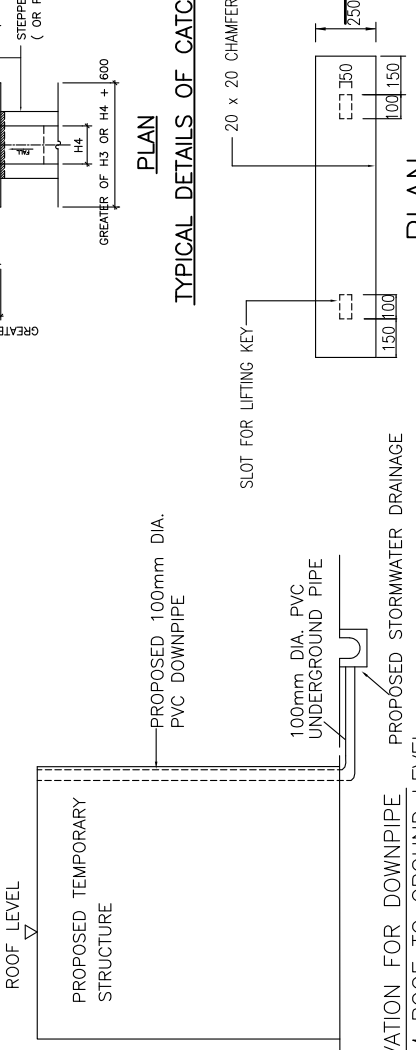
- 1 ALL DIMENSIONS ARE IN MILLIMETRES
- 2 CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F3 AS APPROPRIATE

PROPOSED CATCHPIT SCHEDULE

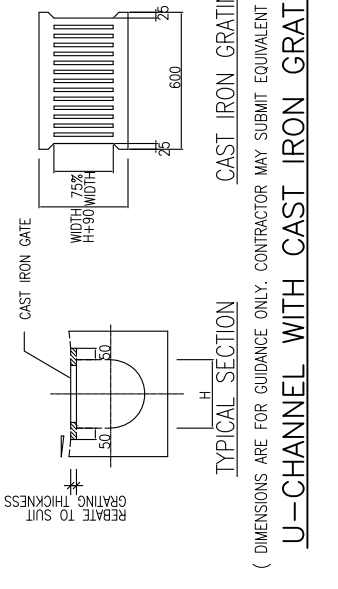
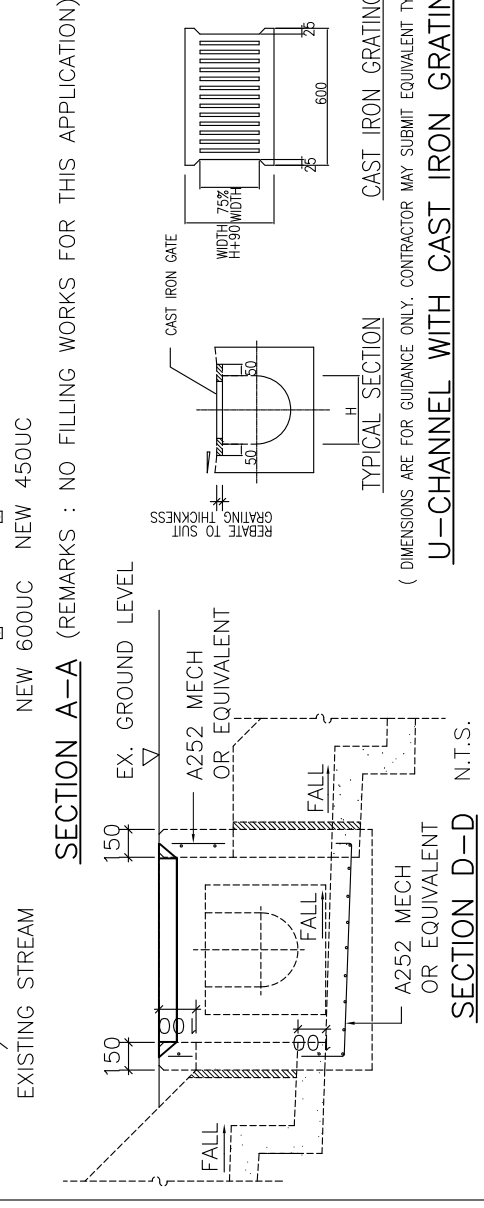
CATCHPIT NO.	C.L. (mPD)	I.L. (mPD)
CP1	11.69	10.69
CP2(s)	11.66	10.00
CP3	11.69	10.64
CP4	11.66	10.20
CP5(s)	13.00	12.00



TYPICAL DETAILS OF CATCHPIT

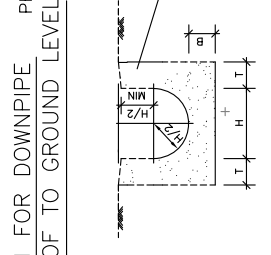


SECTION A–A (REMARKS : NO FILLING WORKS FOR THIS APPLICATION)



U-CHANNEL WITH CAST IRON GRATING  
( DIMENSIONS ARE FOR GUIDANCE ONLY. CONTRACTOR MAY SUBMIT EQUIVALENT TYPE )

SECTION D–D N.T.S.



U-CHANNEL  
COMPLY WITH FIG 8.11  
OF GEOTECHNICAL MANUAL FOR SLOPES

NOTES:

- 1. H = NOMINAL CHANNEL SIZE.

PRECAST CONCRETE COVERS FOR CATCHPIT

N.T.S.

GENERAL NOTE

- 1. THE PROPOSED DRAINAGE WORK, WHETHER WITHIN OR OUTSIDE THE LOT BOUNDARY, SHOULD BE CONSTRUCTED AND MAINTAINED BY THE LOT OWNER AT HIS OWN EXPENSE. FOR WORKS TO BE UNDERTAKEN OUTSIDE THE LOT BOUNDARY, PRIOR CONSENT AND AGREEMENT FROM DLO AND/OR RELEVANT PRIVATE LOT OWNER SHOULD BE SOUGHT.
- CONCRETE STRENGTH AND STEEL REINFORCEMENT SPECIFICATION FOR DRAINAGE DETAILS
  - 1. CONCRETE GRADE FOR CATCHPITS AND U-CHANNEL SHALL BE 30D DESIGN IN COMPLIANCE WITH CS1 : 2010
  - FOR BUNDLING LAYER SHALL BE 15D, DESIGN COMPLY WITH CS1-2010.
  - ALL MAIN BARS TO BE HOT ROLLED HIGH YIELD STEEL DEFORMED BAR COMPLY WITH CS2 : 2012
  - Y – HIGH YIELD BAR 500 MPa
  - M – MILD STEEL BAR 250 MPa
- 3. CONCRETE COVER TO MAIN REINFORCEMENT TO BE 50mm.
- 4. LAP LENGTH FOR ALL BARS TO BE 46x DIAMETER OF LARGER BAR TO BE LAPPED.
- 5. REACTIVE ALKALI CONTENT EXPRESSED IN SODIUM OXIDE PER CUBIC METER OF CONCRETE SHOULD NOT EXCEED 3KG AS PER PNAP APP-74.

HALF ROUND, U- AND STEPPED – CHANNELS

- 1 ALL DIMENSIONS ARE IN MILLIMETERS
- 2 CONCRETE SURFACE FINISHING SHALL BE CLASS U2 OR F2 AS APPROPRIATE
- 3 FOR HALF ROUND AND U – CHANNEL, SPACING OF EXPANSION JOINT IN CHANNELS, BERMS AND APRON TO BE 10m MAXIMUM. FOR STEPPED CHANNELS, EXPANSION JOINTS TO BE PROVIDED AT A MAXIMUM SPACING OF 10m.
- 4 DIMENSIONS FOR HALF ROUND AND U-CHANNELS SEE TABLE 1:
- 5 THE COVER FOR U-CHANNELS AND CATCHPIT SHALL COMPLY WITH CEDD'S STANDARD DRAWINGS NO. C2405 TO C2407 AND C2412.
- 6 ALL PROPOSED U-CHANNELS SHALL BE COVERED WITH GRATING

TABLE 1 : DIMENSION OF U-CHANNEL AND HALF-ROUND CHANNEL

NORMAL SIZE	H	T	B	REINFORCING
<300	100	100	100	NIL
375 – 675	150	150	150	NIL
750 – 900	175	175	175	A252 MESH PLACED CENTRALLY

PROPOSED CATCHPIT SCHEDULE

CATCHPIT NO.	C.L. (mPD)	I.L. (mPD)
CP1	11.69	10.69
CP2(s)	11.66	10.00
CP3	11.69	10.64
CP4	11.66	10.20
CP5(s)	13.00	12.00

B	RESUBMISSION NO.2	RC	AY	RY	NOV 24
A	RESUBMISSION NO.1	RC	AY	RY	JULY 24
REV	PLANNING DEPARTMENT SUBMISSION	RC	AY	RY	APRIL 24
	DESCRIPTION	CHECKED	APPROVED	DWN	DATE

PROJECT TITLE:

STORMWATER DRAINAGE PROPOSAL  
LOT 1314, 1315, 1316 & 1317 IN D.D. 119

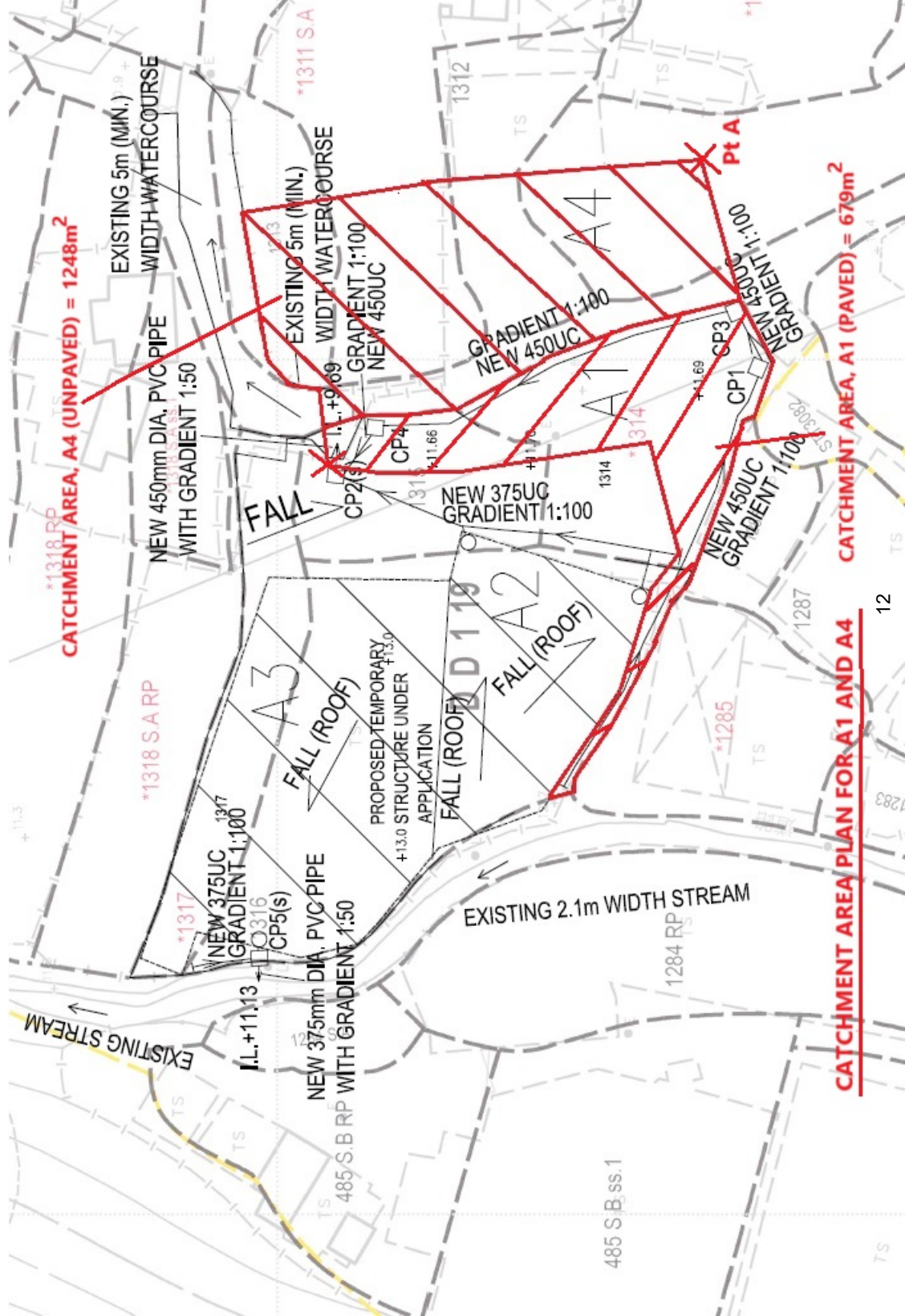
DRAWING TITLE:  
DRAINAGE PROPOSAL PLAN  
AND TYPICAL DETAILS

SCALE :	N.T.S.	CAD FILE :	CAD_REF
DRAWN	KELLY CHENG	DRAWING NO.	
S.D	RY		
DESIGNED	RC		SDP001B
CHECKED	AY		
		B.D. REF. NO.:	



## **Appendix B**

### **Surface Drainage Design**



**CATCHMENT AREA PLAN FOR A1 AND A4**

**CATCHMENT AREA, A1 (PAVED) = 679m<sup>2</sup>**

**CATCHMENT AREA, A4 (UNPAVED) = 1248m<sup>2</sup>**

Drainage Design at lot 1314, 1315, 1316

Project No.: and 1317 D.D.119

Date: 16-Nov-24

Prepared by: Ray Cheng

Check for the drainage capacity of proposed 450UC

Catchment area,	A1	=	679	m <sup>2</sup>	Assume k = 1.0 for paved surface
	A4	=	1248	m <sup>2</sup>	0.3 for unpaved surface
Total Catchment Area =	A1 + 0.3xA4 =		<b>1053.4</b>	m <sup>2</sup>	

Use Rational Method from Geo-Manual

$$Q = kiA/3600$$

where,

Q = Maximum runoff (lit/sec)

k = Runoff coefficient

i = Design mean intensity of rainfall (mm/hr)

A = Total catchment area (m<sup>2</sup>)

Longest distance from summit point to outlet, CP2(s) (Ld) = 78.00 m

Shortest distance from summit point to outlet, CP2(s) (Ls) = 58.00 m

Elevation of remote point (Pt A) = 11.60 mPD

Elevation of outlet point, CP2(s) = 10.00 mPD

Average fall, H =  $(z_1 - z_2)/L_s \times 100$   
= 2.76 m per 100m

From TGN30

$$T_c = 0.14465 \times L_d / (H^{0.2} \times A^{0.1})$$

$$= 4.59 \text{ min}$$

Assume a 1 in 50 year design rainfall return period for rural area

From Geo-Manual (Fig 8.2)

$$i = 330 \text{ mm/hr}$$

$$Q = \frac{kiA}{60} \times 1.138$$

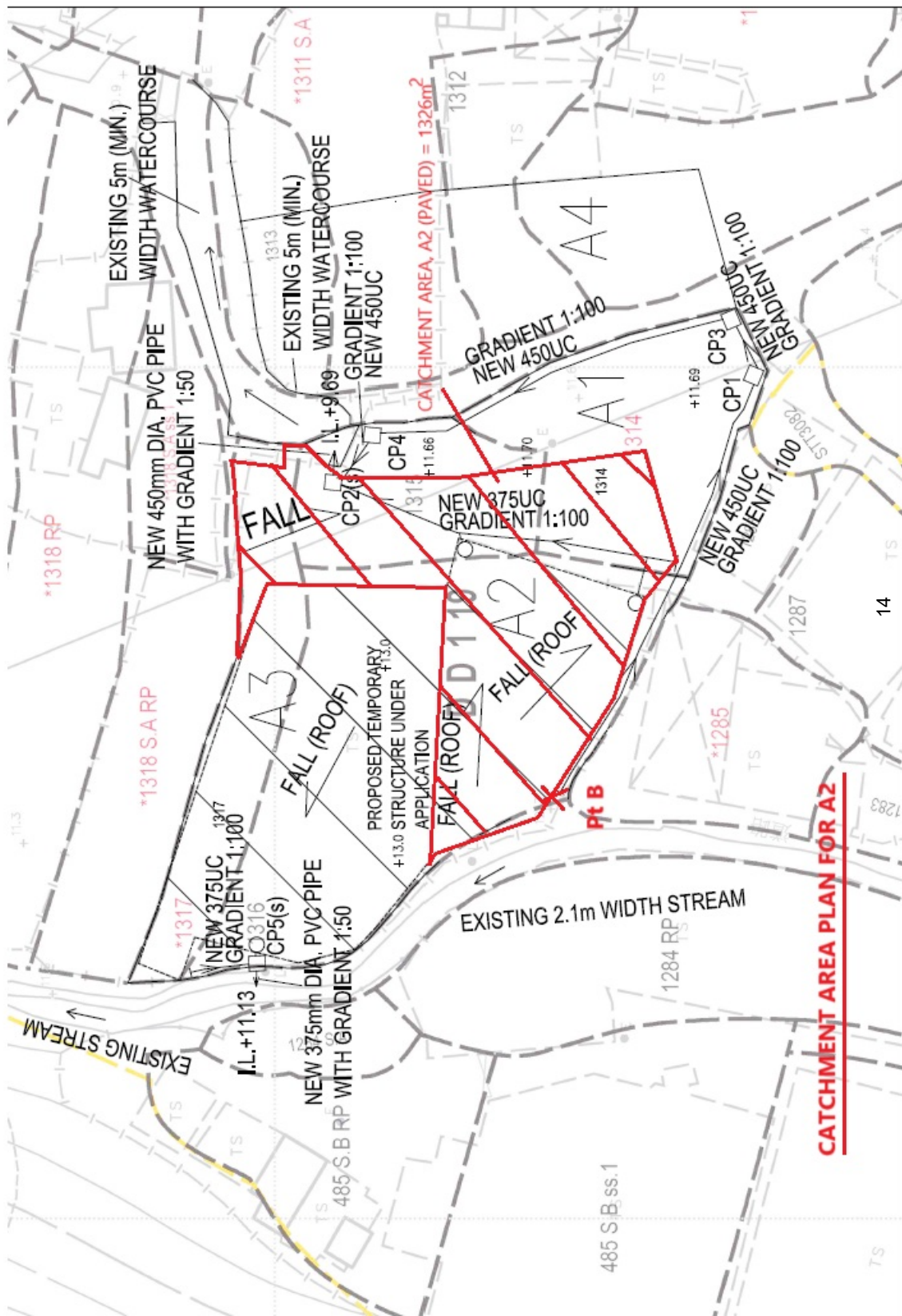
$$= 6593 \text{ lit/min}$$

From TGN 43A1

For proposed 450 UC with 1 in 100 gradient

Maximum capacity = 22500 lit/min > 6593 o.k.

The corresponding velocity = 2.25 m/s < 4 o.k.



Drainage Design at lot 1314, 1315,  
 Project No.: 1316 and 1317 D.D.119  
 Prepared by: Ray Cheng

Date: 13-Jul-24

Check for the drainage capacity of proposed 375UC

Catchment area, A2 = 1326 m<sup>2</sup> Assume k = 1.0 for paved surface

Use Rational Method from Geo-Manual

$$Q = kiA/3600$$

where,

Q = Maximum runoff (lit/sec)

k = Runoff coefficient

i = Design mean intensity of rainfall (mm/hr)

A = Total catchment area (m<sup>2</sup>)

Longest distance from summit point to outlet, CP2(s) (Ld) = 78.00 m  
 Shortest distance from summit point to outlet, CP2(s) (Ls) = 48.00 m

Elevation of remote point (Pt B) = 13.00 mPD  
 Elevation of outlet point, CP2(s) = 10.00 mPD

Average fall, H =  $(z_1 - z_2)/L_s \times 100$   
 = 6.25 m per 100m

From TGN30

$T_c = 0.14465 \times L_d / (H^{0.2} \times A^{0.1})$   
 = 3.81 min

Assume a 1 in 50 year design rainfall return period for rural area  
 From Geo-Manual (Fig 8.2)

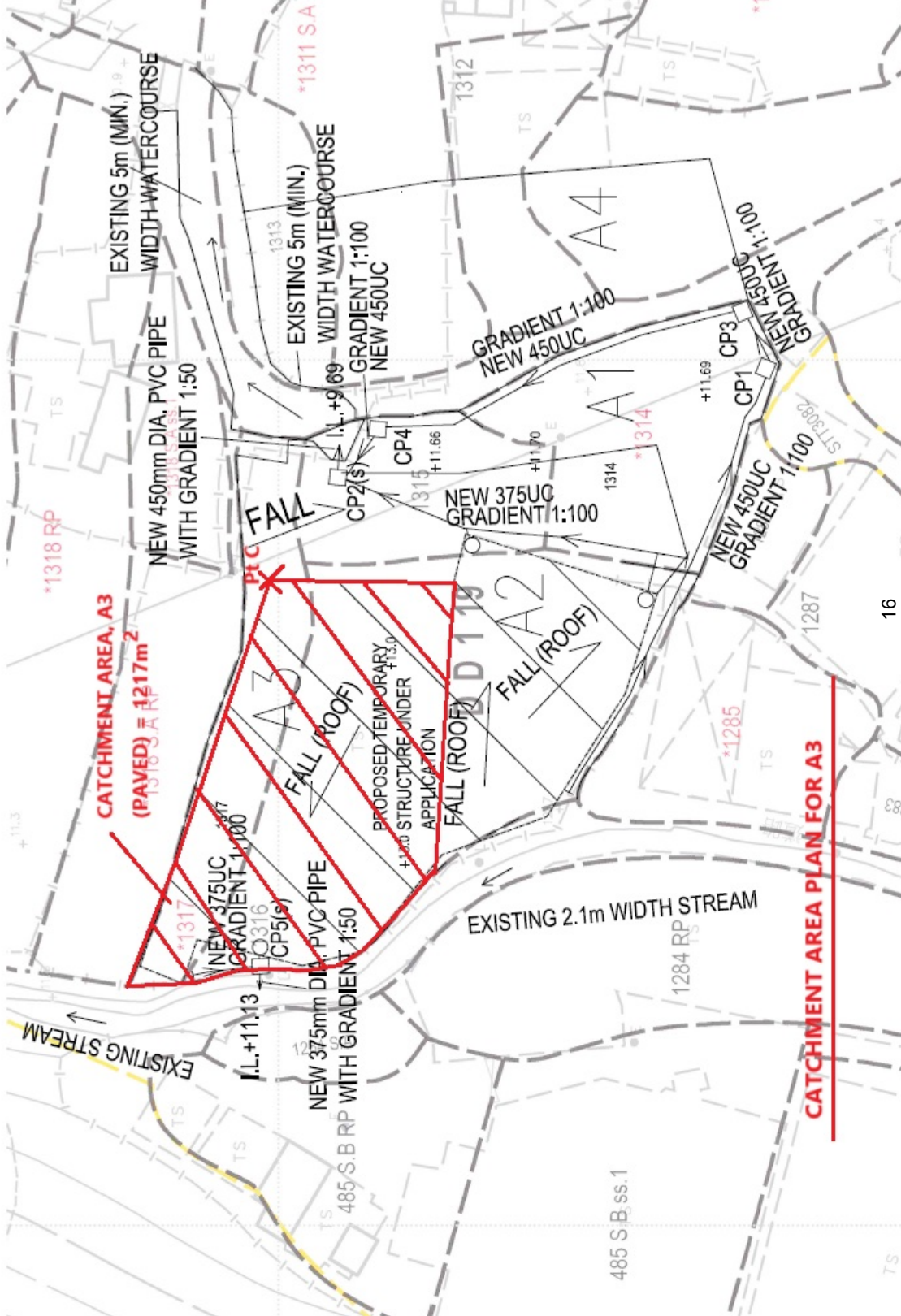
i = 345 mm/hr  
 $Q = kiA/60 \times 1.138$   
 = 8677 lit/min

From TGN 43A1

For proposed 375 UC with 1 in 100 gradient

Maximum capacity = 13500 lit/min > 8677 o.k.  
 The corresponding velocity = 1.95 m/s < 4 o.k.





**CATCHMENT AREA PLAN FOR A3**

Drainage Design at lot 1314, 1315,  
 Project No.: 1316 and 1317 D.D.119  
 Prepared by: Ray Cheng

Date: 13-Jul-24

Check for the drainage capacity of proposed 375UC

Catchment area, A3 = 1217 m<sup>2</sup> Assume k = 1.0 for paved surface

Use Rational Method from Geo-Manual

$$Q = kiA/3600$$

where,

Q = Maximum runoff (lit/sec)

k = Runoff coefficient

i = Design mean intensity of rainfall (mm/hr)

A = Total catchment area (m<sup>2</sup>)

Longest distance from summit point to outlet, CP5(s) (Ld) = 85.00 m  
 Shortest distance from summit point to outlet, CP5(s) (Ls) = 48.00 m

Elevation of remote point (Pt C) = 13.00 mPD  
 Elevation of outlet point, CP5(s) = 12.00 mPD

Average fall, H =  $(z_1 - z_2)/L_s \times 100$   
 = 2.08 m per 100m

From TGN30

$T_c = 0.14465 \times L_d / (H^{0.2} \times A^{0.1})$   
 = 5.22 min

Assume a 1 in 50 year design rainfall return period for rural area  
 From Geo-Manual (Fig 8.2)

i = 320 mm/hr  
 $Q = kiA/60 \times 1.138$   
 = 7386 lit/min

From TGN 43A1

For proposed 375 UC with 1 in 100 gradient

Maximum capacity = 13500 lit/min > 7386 o.k.  
 The corresponding velocity = 1.90 m/s < 4 o.k.

**GEO Technical Guidance Note No. 30 (TGN 30)**  
**Updated Intensity-Duration-Frequency Curves with Provision for**  
**Climate Change for Slope Drainage Design**

Issue No.: 2	Revision: -	Date: 23.10.2018	Page: 3 of 4
--------------	-------------	------------------	--------------

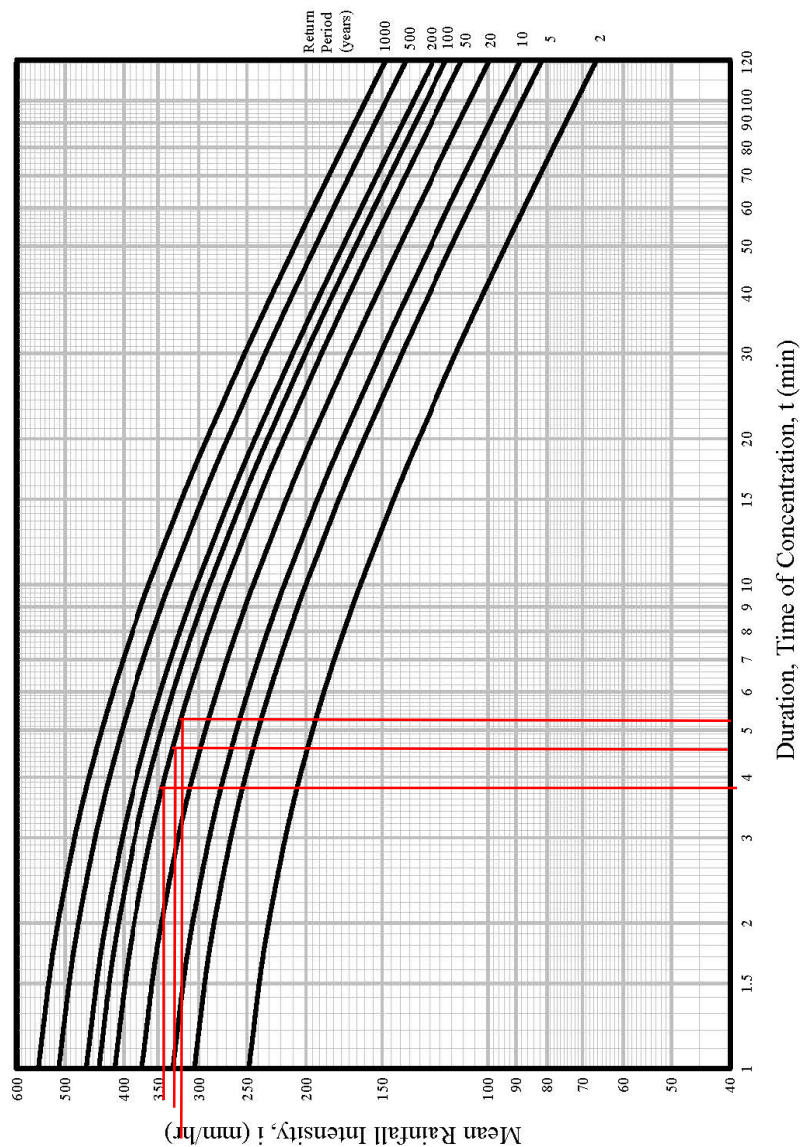


Figure 1 – Updated Intensity-Duration-Frequency Curves

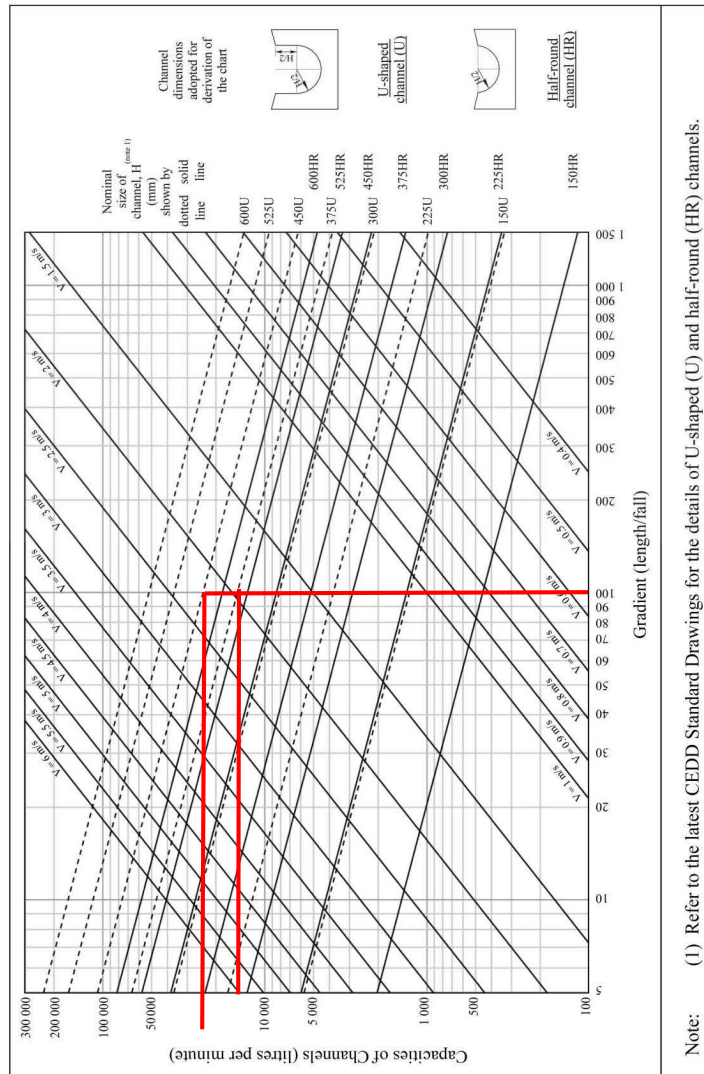
- Notes:
1. These IDF curves are to supersede those given in Figure 8.2 of the Geotechnical Manual for Slopes (GCO, 1984).
  2. These IDF curves have not incorporated any projected climate change effects. Except for temporary slope drainage design, the mean rainfall intensity given by these IDF curves shall be increased by 13.8% for incorporating climate change effects.
  3. The mathematical formulae of these IDF curves are shown in Table 1 of Annex TGN 30 A1.



**GEO Technical Guidance Note No. 43 (TGN 43)**  
**Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes**

Issue No.: 1    Revision: -    Date: 05.06.2014    Page: 3 of 3

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



Since 10% reduction would be considered for deposition of sediment, the capacity of the proposed

1) 450UC should be 25000 x 0.9 = 22500 lit/min,

2) 375UC should be 15000 x 0.9 = 13500 lit/min,

# CHECKING CAPACITY OF PROPOSED 375mm DIA. PIPE

The flow of A3 = 7386 l/min = 0.1231 m<sup>3</sup>/s

$$< 0.283 \text{ m}^3/\text{s} \times 0.9 = 0.254 \text{ m}^3/\text{s}$$

ks = 0.600mm  
i = 0.004 to 0.1

ie hydraulic gradient =  
1 in 250 to 1 in 10

Water (or sewage) at 15°C  
full bore conditions.

velocities in m/s  
discharges in m<sup>3</sup>/s

18

continued

Gradient	Pipe diameters in mm :											
	350	375	400	450	500	525	600	675	700	750	800	825
0.02000 1/ 50	2.456	2.566	2.673	2.879	3.076	3.171	3.448	3.710	3.795	3.962	4.123	4.203
	0.236	0.283	0.336	0.458	0.604	0.687	0.975	1.328	1.461	1.750	2.073	2.247
0.02200 1/ 45	2.577	2.692	2.804	3.020	3.227	3.327	3.617	3.892	3.981	4.156	4.325	4.409
	0.248	0.297	0.352	0.480	0.634	0.720	1.023	1.393	1.532	1.836	2.174	2.357
0.02400 1/ 42	2.692	2.812	2.929	3.153	3.371	3.476	3.778	4.066	4.159	4.341	4.518	4.605
	0.259	0.311	0.368	0.502	0.662	0.752	1.068	1.455	1.601	1.918	2.271	2.462
0.02600 1/ 38	2.803	2.928	3.050	3.284	3.509	3.618	3.933	4.233	4.329	4.519	4.703	4.794
	0.270	0.323	0.383	0.522	0.689	0.783	1.112	1.515	1.666	1.996	2.364	2.563
0.02800 1/ 36	2.909	3.039	3.165	3.409	3.642	3.755	4.082	4.393	4.493	4.690	4.882	4.975
	0.280	0.336	0.398	0.542	0.715	0.813	1.154	1.572	1.729	2.072	2.454	2.660
0.03000 1/ 33	3.012	3.146	3.277	3.529	3.770	3.888	4.226	4.548	4.652	4.855	5.053	5.151
	0.290	0.347	0.412	0.561	0.740	0.842	1.195	1.627	1.790	2.145	2.540	2.753

## 81

$$= 0.25 \text{ m}^3/\text{s}$$

discharges in  $m^3/s$

continued

21

Drainage Design and Checking

Page no.

Project No.:

Date: 14-Jul-24

Prepared by:

Ray Cheng

Check for the drainage capacity

(Existing 2.1m width Stream course)

From Manning Equation, for existing 2.1m width and 1m depth rectangular streamcourse

Max. capacity of streamcourse,  $Q = \frac{k(R^{2/3})(S^{1/2})}{n} \cdot A$

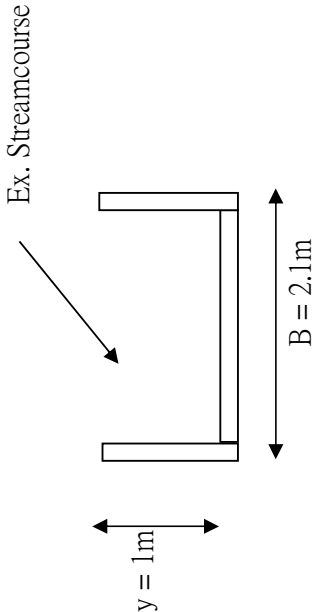
$R = A/P$  and  $P = 2y + B$

$R = 0.51$        $k = 1.49$   
 $S = 0.01$        $n = 0.04$

$Q = 475069$

lit/min

> 7386 lit/min for Catchment area A3



Drainage Design and Checking

Page no.

Project No.:  
Prepared by: Ray Cheng

Date: 16-Nov-24

Check for the drainage capacity

(Existing 5.0m width Watercourse)

From Manning Equation, for existing 5m width and 0.3m depth rectangular watercourse

Max. capacity of streamcourse,  $Q = \frac{k(R^{2/3})(S^{1/2})}{n} A$

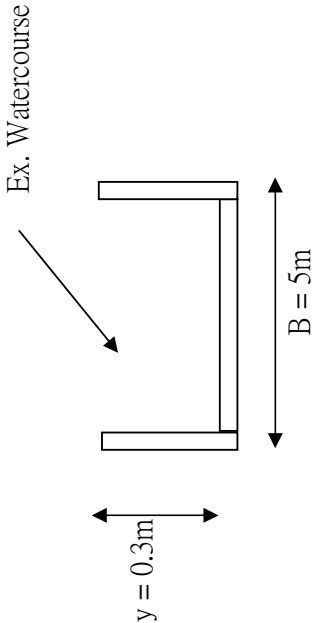
$R = A/P$  and  $P = 2y + B$

$R = 0.27$        $k = 1.49$   
 $S = 0.01$        $n = 0.04$

$Q = 220263$

lit/min

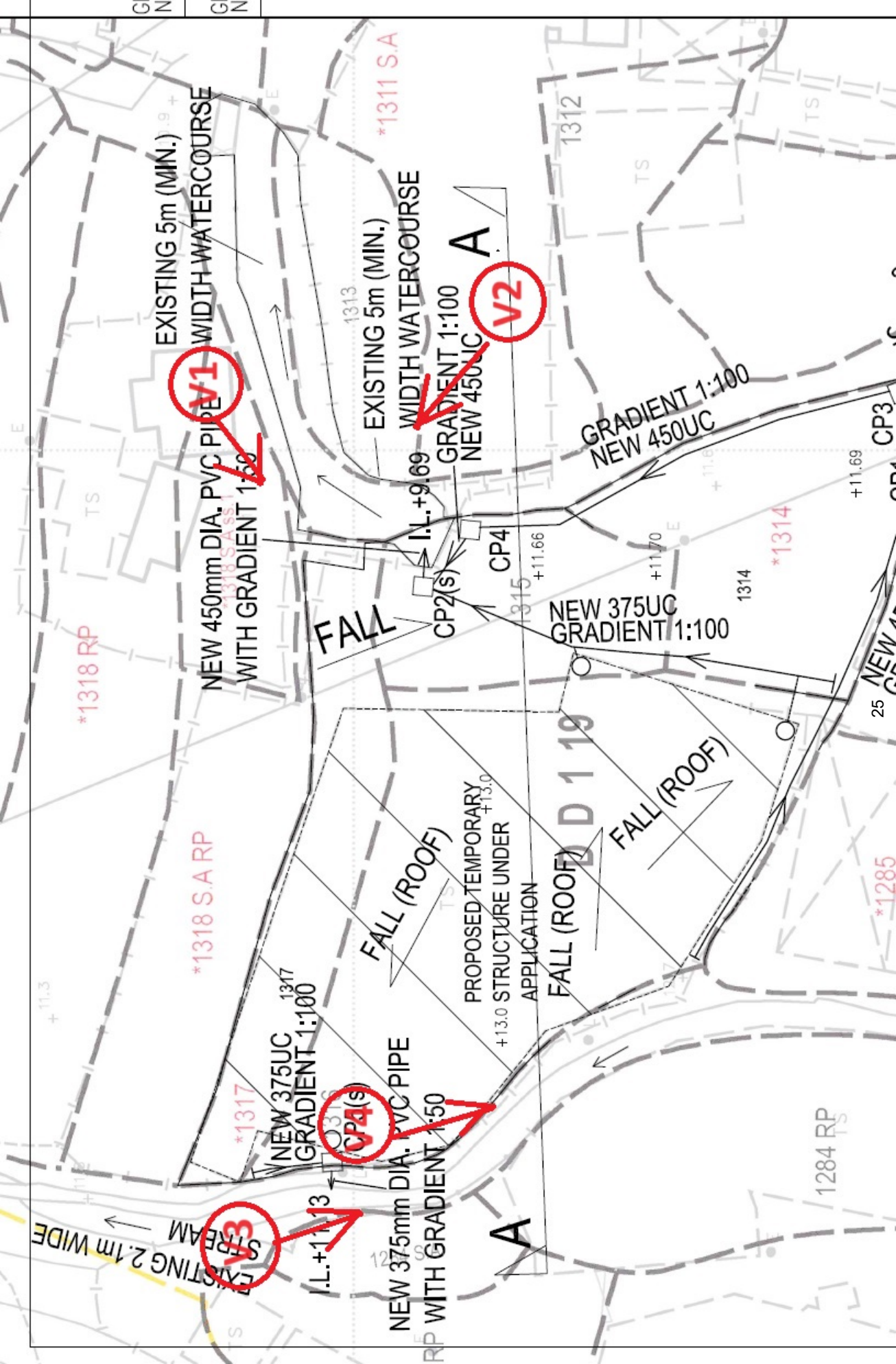
$> 6593 + 8677 = 15,270$  l/min for for Catchment area A1, A4 and A2



## **Appendix C**

### **Photo of Existing Stream and Watercourse**









**Photo of existing watercourse, V1**





**Photo of existing watercourse, V2**





**Photo of existing stream, V3**





**Photo of existing watercourse, V4**

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Edwin Wai Shing YEUNG/PLAND

---

寄件者: 陳灝然 <[REDACTED]>  
寄件日期: 2025年06月27日星期五 4:57  
收件者: tpbpd/PLAND  
副本: Edwin Wai Shing YEUNG/PLAND; Spencer Ka Tsun LEUNG/PLAND  
主旨: A/YL-TYST/1315進一步資料  
附件: 消防裝置建議計劃圖.pdf  
  
類別: Internet Email

敬啟者

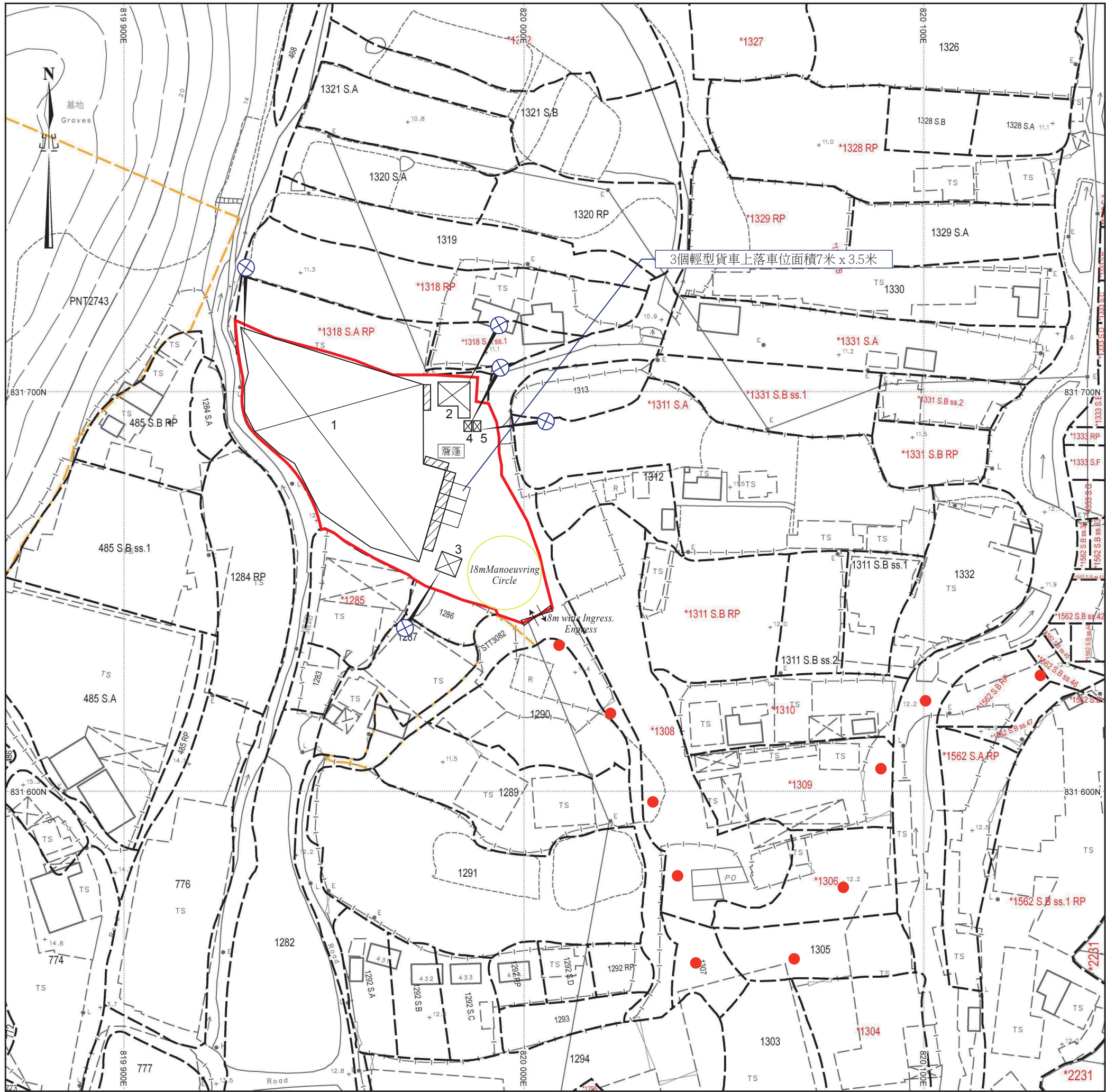
就上述檔案，申請人現提交進一步資料以回應部門意見。

申請地點作臨時貨倉存放食品，在場地營運方面，場地不會存放肉類，不論是凍肉或新鮮肉類皆不會儲存。場地主要儲存罐頭及生果，所有食品皆為獨立包裝，因此食品方面不會衍生任何污水問題。場地不會進行食品加工、洗滌或烹調工作，場地用途只作存放食品的臨時貨倉。

洗手間排污方面，場地洗手間是臨時式廁所，會有便槽，便槽底部空間供儲存糞便，儲存容量為600升。作業者會定期聘請專業技術人員進行吸糞工作，所有污水皆獨立儲存在流動洗手間內。洗手間污水不會排放到場內排水系統，故場地不需設置化糞池。

此外，附件為消防裝置建議計劃圖。





消防裝置建議計劃圖

⊗ 四公斤乾粉滅火筒

共安裝五支四公斤乾粉滅火筒，位置分別於場地四周及構築物附近，每隔約40米安裝一支四公斤乾粉滅火筒。場地共有五個構築物，基於以上條件，申請人建議在申請範圍內安裝五支四公斤乾粉滅火筒。

構築物(1)  
用途：食品儲存  
建築物料：以金屬搭建  
高度：約9米  
層數：2層  
上蓋面積：約1835平方米  
總樓面面積：約2635平方米

構築物(2)  
用途：辦公室及洗手間  
建築物料：以金屬搭建  
高度：約4米  
層數：1層  
上蓋面積：約57平方米  
總樓面面積：約57平方米

構築物(3)  
用途：消防泵房  
建築物料：以金屬搭建  
高度：約4米  
層數：1層  
上蓋面積：約22平方米  
總樓面面積：約22平方米

構築物(4)  
用途：機械設施  
建築物料：以金屬搭建  
高度：約3米  
層數：1層  
上蓋面積：約5平方米  
總樓面面積：約5平方米

構築物(5)  
用途：機械設施  
建築物料：以金屬搭建  
高度：約3米  
層數：1層  
上蓋面積：約5平方米  
總樓面面積：約5平方米

● ● ● 行車路線

SCALE 1 : 1000

**Previous Applications covering the Application Site**

**Approved Applications**

	<b><u>Application No.</u></b>	<b><u>Proposed Use(s)</u></b>	<b><u>Date of Consideration (RNTPC)</u></b>
1	A/YL-TYST/764	Temporary Public Vehicle Park for Private Cars and Light Goods Vehicles for a Period of 3 Years	4.12.2015 [revoked on 4.9.2016]
2	A/YL-TYST/1178	Proposed Temporary Place of Recreation, Sports or Culture (Indoor Recreation Centre) for a Period of 3 Years	23.9.2022 [revoked on 23.12.2023]
3	A/YL-TYST/1233	Temporary Warehouse for Storage of Food Provisions for a Period of 3 Years	11.9.2023 [revoked on 11.3.2025]

**Rejected Application**

	<b><u>Application No.</u></b>	<b><u>Proposed Use(s)/Development(s)</u></b>	<b><u>Date of Consideration (RNTPC/TPB)</u></b>	<b><u>Rejection Reason(s)</u></b>
1	A/YL-TYST/28	Temporary Open Storage of Construction Materials for a Period of 12 Months	24.7.1998 [upon review]	(1), (2), (3), (4), (5)

**Rejection Reason(s):**

- (1) Not compatible with the surrounding areas.
- (2) The proposed development would encircle a number of existing domestic structures which would be adversely affected by the noise generated by the proposed development. The access to these domestic structures would also be denied by the proposed development.
- (3) No information in the submission to demonstrate that the vehicular access arrangement between Kung Um Road and the site is satisfactory.
- (4) Adverse drainage impacts on the surrounding areas.
- (5) Setting undesirable precedent.



**Similar Applications within/straddling the “R(C)” Zone  
on the Tong Yan San Tsuen OZP since 2020**

**Approved Applications**

	<b><u>Application No.</u></b>	<b><u>Proposed Use(s)/Development(s)</u></b>	<b><u>Date of Consideration (RNTPC)</u></b>
1	A/YL-TYST/1232	Temporary Warehouse for Storage of Electronic Goods and Construction Materials for a Period of 3 Years	25.8.2023 [revoked on 25.2.2025]
2	A/YL-TYST/1235	Proposed Temporary Warehouse for Storage of Food Provisions for a Period of 3 Years	22.9.2023 [revoked on 22.3.2025]
3	A/YL-TYST/1236	Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	22.9.2023
4	A/YL-TYST/1259*	Proposed Temporary Warehouse and Open Storage of Recyclable Materials, Mobile Toilets and Construction Materials for a Period of 3 Years	5.4.2024
5	A/YL-TYST/1276	Proposed Temporary Warehouse for Storage of Electronic Goods and Construction Materials for a Period of 3 Years	20.9.2024
6	A/YL-TYST/1305	Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	2.5.2025
7	A/YL-TYST/1311	Proposed Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	6.6.2025
8	A/YL-TYST/1313	Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Office for a Period of 3 Years	4.7.2025

Remarks:

\* Straddling the adjacent “Undetermined” (“U”) zone.

**Government Departments' General Comments**

**1. Traffic**

(a) Comments of the Commissioner for Transport (C for T):

- no adverse comment on the application from traffic engineering perspective; and
- the local track and footpath leading to the application site (the Site) is not under her purview.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

No adverse comment on the application.

**2. Environment**

Comments of the Director of Environmental Protection (DEP):

- no objection to the application; and
- no substantiated environmental complaint concerning the Site received in the past three years.

**3. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the development from a drainage point of view; and
- should the application be approved by the Town Planning Board (the Board), approval conditions requiring the submission, implementation and maintenance of a revised drainage proposal to the satisfaction of the Director of Drainage Services or of the Board should be stipulated.

**4. Fire Safety**

Comments of the Director of Fire Services (D of FS):

No in-principle objection to the application subject to fire service installations (FSIs) being provided to his satisfaction.

**5. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;

- as there is no record of approval granted by the Building Authority (BA) for the existing structures at the Site, he is not in a position to offer comments on their suitability for the use proposed in the application; and
- it is noted that five structures are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works under the Buildings Ordinance (BO). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO.

## **6. Food and Environmental Hygiene**

Comments of the Director of Food and Environmental Hygiene (DFEH):

No adverse comment on the application.

## **7. Long Term Development**

(a) Comments of the Chief Engineer/Cross-Boundary Infrastructure and Development, Planning Department (CE/CID, PlanD):

- the Site has been included in the possible expansion of Yuen Long South (YLS) Development Area. The Civil Engineering and Development Department (CEDD) and PlanD are currently undertaking an Intensification Review on Third Phase Development (the Review) which would also explore the possibility to expand the Development Area by covering the adjacent rural land occupied by haphazard open storages, rural workshops and warehouses, which are mostly operating in temporary structures. Depending on the results of the Review and the timetable for the implementation of the YLS Development, the applicant should be aware of the possible implication on land clearance; and
- it is noted that the application is for temporary use for a period of three years. In considering the application for temporary use, due consideration should be given on the possible implication on land clearance which would affect the future implementation of YLS.

(b) Comments of the Project Manager (West) (PM(W)), CEDD:

No objection to the application.

## **8. District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any comment from the village representatives in the vicinity regarding the application.

**9. Other Department**

The following departments have no comment on/no objection to the application:

- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Director of Electrical and Mechanical Engineering (DEMS); and
- Commissioner of Police (C of P).

**Recommended Advisory Clauses**

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (c) should you fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
  - (i) the lot owner(s) shall apply to his office for a Short Term Waiver (STW) to permit the structure(s) erected within the said private lot(s). The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by his department. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered; and
  - (ii) the programme of Yuen Long South (YLS) Development should be taken into account when drawing up the STW boundary and layout of structures to be built on site. All STWs affected will have to be terminated upon land resumption and the Site will be cleared in accordance with the Civil Engineering and Development Department's (CEDD) scheduled programme;
- (e) to note the comments of the Commissioner for Transport (C for T) that:
  - (i) consent of the owners/managing departments of the local track and footpath should be obtained for using it as the access to the Site; and
  - (ii) sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
  - (i) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
  - (ii) the access road connecting the Site with Kung Um Road is not and will not be maintained by his office;
- (g) to note the comments of the Director of Environmental Protection (DEP) that:
  - (i) the relevant mitigation measures and requirements in the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" should be followed to minimise any potential environmental nuisances on the surrounding areas; and
  - (ii) appropriate pollution control measures outlined in the Professional Persons Environmental Consultative Committee (ProPECC) Practice Notes 2/24 'Construction

Site Drainage' should be implemented to minimise any potential environmental impacts on nearby water bodies during the construction of the project; and

- (iii) licensed collectors should be arranged to collect the sewage and waste from the Site for disposal;
- (h) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
  - (i) no facilities of his department will be affected;
  - (ii) proper licence/permit issued by his department is required if there is any catering service/activities regulated by him under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. Under the Food Business Regulation, Cap. 132X, a food business licence is required for the operation of the relevant type of food businesses listed in the Regulation. For example, if a food business involves the storage of articles of food under refrigeration in any warehouse in the territory, a cold store licence must be obtained from him before commencement of such business. For the operation of other types of food business, relevant food licences should also be obtained from his department in accordance with Cap. 132;
  - (iii) when choosing a premises, the applicant must ensure that the operation of food business at the subject premises is in compliance with the requirements imposed under the legislation administered by his department, other government departments and the relevant authorities. Applicants are strongly advised to check well in advance the following documents: (a) the Government Lease, (b) the Occupation Permit of the building, and (c) the statutory plan. No part of a food premises shall be located in, under or over any structures built without the approval and consent of the Building Authority (BA); and
  - (iv) the operation must not cause any environmental nuisance to the surrounding. The refuse generated by the development are regarded as trade refuse. The management or owner of the Site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity;
- (i) to note the general comments of the Director of Fire Services (D of FS) and his technical comments on the submitted fire service installations (FSIs) proposal that:
  - (i) sprinkler system, wheeled type dry chemical fire extinguisher, stand-alone fire detector, emergency lighting and directional and exit sign shall be provided to enclosed structure with gross floor area exceeding 230m<sup>2</sup>;
  - (ii) smoke extraction system shall be provided to structure with compartment volume exceeding 7,000m<sup>3</sup> unless the aggregate area of openable windows of the compartment exceeds 6.25% of the floor area of the compartment;
  - (iii) all accessible areas on 1/F are GFA accountable. In this regard, detailed layout plans and section drawings shall be provided for our further consideration; and
  - (iv) if the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;

- (j) to note the general comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) and his technical comments on the submitted drainage proposal that:
- (i) the applicant should ensure that all existing channels should not be affected/damaged/ blocked due to the applied use/development;
  - (ii) peripheral surface channels shall be provided along the site boundary (i.e. outside the proposed temporary structure, the northern side of the Site, etc.) to collect the surface runoff accrued on the Site and to intercept the overland flow from the adjacent lands;
  - (iii) the applicant should provide the connection details of the proposed drainage facilities a) from CP2(s) to the existing 5m watercourse and b) from CP5(s) to the existing 2.1m stream;
  - (iv) referring to Section A-A in Drawing No. SDP001B, the applicant should check whether the proposed 600mm u-channel should be 375mm one to match with the drainage plan;
  - (v) referring to the topographic photos in web, most of the catchment area A4 should be paved area. More site photos at different locations and views should be provided for his further review. The calculation should also be reviewed accordingly;
  - (vi) referring to Photos 1 and 2, the existing 5m width watercourse is just a ditch and does not have 0.3m depth. More justification should be provided for review. Otherwise, the discharge path and/or the hydraulic calculation for this watercourse should be reviewed;
  - (vii) the existing stream and watercourse, to which the applicant proposed to discharge the stormwater from the Site was not maintained by his office. The applicant shall resolve any conflict/disagreement arisen for discharging the runoff from the Site to the proposed discharge point(s). In the case that it is a local village drains, District Officer (Yuen Long) of Home Affairs Department should be consulted. Moreover, the applicant should ensure that this drainage system and the existing downstream drains/channels/streams have adequate capacity to convey the additional runoff from the Site. Regular maintenance should be carried out by the applicant to avoid blockage of the system;
  - (viii) the applicant should confirm if any walls or hoarding are/to be erected or laid along the site boundary. If affirmative, adequate opening should be provided to intercept the existing overland flow passing through the Site and its details should be provided for comments;
  - (ix) the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.;
  - (x) the applicant should resolve any conflict/disagreement with relevant lot owner(s) and seek permission from DLO/YL, LandsD for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land, where required, outside the Site; and
  - (xi) for any change of existing ground level and associated works proposed by the applicant that could affect adjacent land and cause other impacts and/or other issues to public, the applicant is required to submit technical assessment(s) in other aspect(s) and seek comment from relevant departments as necessary;



(k) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
- (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- (iii) if the existing structures are erected on leased land without the approval of the BA, they are unauthorised building works (UBW) under the BO and should not be designated for any proposed use under the application;
- (iv) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- (v) any temporary shelters or converted containers for office, storage, washroom or other uses considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- (vi) detailed checking under the BO will be carried out at building plan submission stage;

(l) to note the comments of the Director of Electrical and Mechanical Services (DEMS) that:

in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable or overhead line should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans and overhead line alignment drawings, where applicable to find out whether there is any underground cable or overhead line within or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and

(m) to note the comments of the Project Manager (West) (PM(W)), CEDD that:

based on the preliminary project boundary of the proposed YLS Development Area, the Site falls within the possible expansion of YLS Development Area which is being reviewed together with YLS Third Phase Development. As the YLS Third Phase Development is subject to further review, the applicant should be aware of the possible implication on land clearance in relation to the implementation of YLS Development. Detailed implementation programme with phasing and packaging of works for YLS Third Phase Development is being formulated.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

---

**From:**  
**Sent:** 2025-06-15 星期日 03:38:50  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-TYST/1315 Pak Sha Tsuen

Dear TPB Members,

1233 Approved 11 Sept 2023 despite the duplicity involved in the process.

And of course the applicant fully aware that the application process is a farce has taken full advantage and failed to fulfill conditions.

But the is NT, rules are made to be broken, so back with a fresh applicaiton and good to go for another two years.

No mention in the Planning Statement with regard to the conditions.

But members are bound "to promote the *health, safety, convenience and general welfare* of the community". The operation involves FOOD STORAGE.

There is no justification to approve this application as it is not and does not propose to align with the regulations.

Mary Mulvihill

---

**From:**  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Cc:**  
**Date:** Thursday, 10 August 2023 3:00 AM HKT  
**Subject:** A/YL-TYST/1233 Pak Sha Tsuen

A/YL-TYST/1233

Lots 1314, 1315, 1316 and 1317 (Part) in D.D. 119, Pak Sha Tsuen, Yuen Long

Site area : About 3,190sq.m

Zoning: "Res (Group C)"

Applied use: Warehouse / 3 Vehicle Parking

Dear TPB Members,

Yet another example of the step by step process to gain approval for brownfield use that is encouraged by Pland D and which TPB members endorse by not doing their duty in questing the legitimacy of the proposed use.

PlanD supports application 1178 despite the fact that the description sounds very much like a ware house.

file:///C:/Users/MacBook/Downloads/A\_YL-TYST\_1178\_MainPaper.pdf

*The proposed indoor recreation centre would be provided within a 9m-high structure, in which the high headroom is to comply with the relevant operational standards for badminton courts under the Hong Kong Planning Standards and Guidelines. Given the nature and scale of the proposal, the proposed indoor recreation centre is considered not incompatible with the intended low-rise, lowdensity residential uses in the "R(C)" zone, which is subject to a maximum building height of 3 storeys (9m).*

And now the structure is in place, the applicant makes a fresh application for approval. The complicity display in the process belies both planning guidelines re land use and the many pledges on the part of the administration to phase out brownfield. In actual fact the unstated policy is to encourage further brownfield.

The Ombudsman should investigate the process as part of its current investigation into Unauthorized Developments.

Mary Mulvihill

---

**From:**

**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Date:** Thursday, 1 September 2022 2:09 AM CST

**Subject:** A/YL-TYST/1178 Pak Sha Tsuen

A/YL-TYST/1178

Lots 1314, 1315, 1316 and 1317 (Part) in D.D. 119, Pak Sha Tsuen, Yuen Long

Site area : About 3,120sq.m

Zoning: "Res (Group C)"

Applied use: Indoor Recreation Centre / 7 Vehicle Parking

Dear TPB Members,

Some of the lots were included in :

Part of the site 764 Vehicle Park

REVOKED ON 4.9.2016:

As the applicant had failed to comply with conditions (h), (i), (k) & (n) satisfactorily by 4.9.2016, the planning permission for the subject application had already been revoked on the same date.

1085 was withdrawn

2 structures with a total floor area of not more than 1,615m<sup>2</sup> and heights of 3-9m (1 storey) within the Site. Sounds like a warehouse operation.

Members should ask what the current use of the lots is as there appears to be no current approval but the lots are under brownfield operation.

Mary Mulvihill

---

**From:**

**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Date:** Tuesday, 23 March 2021 3:36 AM CST

**Subject:** A/YL-TYST/1085 Pak Sha Tsuen

A/YL-TYST/1085

Lots 1290 (Part), 1308 (Part), 1310 (Part), 1311S.B RP (Part), 1312 (Part), 1314 (Part) and 1315 (Part) in D.D. 119 and Adjoining Government Land, Pak Sha Tsuen, Yuen Long

Site area : About 3,060 m<sup>2</sup> Includes Government Land of about 370 m<sup>2</sup>

Zoning : "Res (Group C)"

Applied Use : Shop and Services / 4 Vehicle Parking

Dear TPB Members,

Application 764 was revoked for failure to comply with multiple conditions. This application should be considered in tandem with 2083. (should read 1083)

It is not clear what brownfield operation is being carried out but certainly not grocery shopping as the location is some distance from the One Hyde Park development but the site is larger than Great at Pacific Place.

Members should ask PlanD to provide some background information on the operation. This district is part of the grand plan for the transformation of the Tong Yan area into a cluster of residential and supporting GIC/OS facilities. Approval should not be given to plans that could stand in the way of the transformation.

Mary Mulvihill

---

**From:**

**To:** "tpbpd" <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>

**Sent:** Sunday, November 1, 2015 12:33:58 AM

**Subject:** A/YL-TYST/764 Pak Sha Tsuen

A/YL-TYST/764

Lots in D.D. 119 and Adjoining Government Land, Pak Sha Tsuen, Yuen Long ( Lots 1308 (Part), 1312 (Part), 1314 (Part) and 1315)

Site area : About 2,026 m<sup>2</sup> Includes Government Land of about 232 m<sup>2</sup>

Zoning : "Residential (Group C)"

Applied Use : Temporary Public Vehicle Park (23 Vehicles)

Dear TPB Members,

Am I missing something? We are constantly told that there is not enough land for RESIDENTIAL yet there are numerous applications for car parking on Res zoning.

If rural dwellers have vehicles they should convert a room on the ground floor of their homes into a covered parking space, or provide a parking space in front or alongside their units. That is how parking is catered for in the rest of the world.

The site could house at least 10 private residences and is zoned for such.

Approval of this type of application sets an undesirable precedent and does nothing to encourage the development of land in line with the planning intention.

Mary Mulvihill