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The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
  - & Please attach documentary proof 請夾附證明文件
  - ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號



25015/5 15/7 By hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NZ-TKL/80P
	Date Received 收到日期	2025-07-17

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

Uncle Chu Carpentry Accessories Engineering Limited (朱伯木作配料工程有限公司)  
Yee Hing Fat Timber Trading Company (義興發木業公司)

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 5,993 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 5,387 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	55 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture ("AGR") and Industrial (Group D) ("I(D)")
(f) Current use(s) 現時用途	Vacant Land  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。
- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。
- (b) The applicant 申請人 –
- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)"<sup>#</sup> obtained 取得「現行土地擁有人」<sup>#</sup>同意的詳情

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)



- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☒ published notices in local newspapers on 10/7/2025 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises on 20/6/2025 - 3/7/2025 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 years

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☒ year(s) 年 ..... 3 .....☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積 ..... 3,279 .....sq.m ☒ About 約Proposed covered land area 擬議有上蓋土地面積 ..... 2,714 .....sq.m ☒ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 ..... 8 .....

Proposed domestic floor area 擬議住用樓面面積 ..... NA .....sq.m ☐ About 約Proposed non-domestic floor area 擬議非住用樓面面積 ..... 5,387 .....sq.m ☒ About 約Proposed gross floor area 擬議總樓面面積 ..... 5,387 .....sq.m ☒ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Two 2-storey warehouses for storage of construction materials (Height: not exceeding 13m) .....

Two 1-storey toilets (Height: about 3m) .....

One 1-storey site office; One 1-storey meter room; One 1-storey F.S. pump room and One 1-storey guard room (Height: about 3m) .....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 ..... 3 (2.5m x 5m) .....

Motorcycle Parking Spaces 電單車車位 ..... NA .....

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 ..... NA .....

Medium Goods Vehicle Parking Spaces 中型貨車泊車位 ..... NA .....

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 ..... NA .....

Others (Please Specify) 其他 (請列明) ..... NA .....

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位 ..... NA .....

Coach Spaces 旅遊巴車位 ..... NA .....

Light Goods Vehicle Spaces 輕型貨車車位 ..... NA .....

Medium Goods Vehicle Spaces 中型貨車車位 ..... 4 (3.5m x 11m) .....

Heavy Goods Vehicle Spaces 重型貨車車位 ..... NA .....

Others (Please Specify) 其他 (請列明) ..... NA .....

Proposed operating hours 擬議營運時間 8:30am - 6:00pm from Mondays to Saturdays No operation on Sundays and Public Holidays																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))  Ng Chau South Road.																															
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)  <input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)  <input type="checkbox"/> Diversion of stream 河道改道  <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約  <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... 5,993 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 ..... 0.2 ..... m 米 <input checked="" type="checkbox"/> About 約  <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約																															
	No 否	<input type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															



	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>NA</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
**位於鄉郊地區或受規管地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>



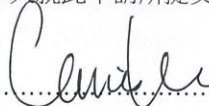


**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Cannis Lee

Associate Director (Planning)

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....MPIA

on behalf of  
代表

Lawson David & Sung Surveyors Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

15/7/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

<b>Gist of Application 申請摘要</b> (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T.
Site area 地盤面積	5,993 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 55 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14
Zoning 地帶	Agriculture ("AGR") and Industrial (Group D) ("I(D)")
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____  <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	5,387 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.9 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	8	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	<input type="checkbox"/> (Not more than 不多於) m 米
		NA	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	3 - 13	<input checked="" type="checkbox"/> (Not more than 不多於) m 米
		1 - 2	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	45.3 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		3
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (2.5m x 5m) NA NA NA NA NA
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle loading/unloading bays/lays 上落客貨車位／停車處總數		4
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		NA NA NA 4 (3.5m x 11m) NA NA

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Lot Index Plan, Plan showing Vehicular Access to the Application Site, Land Filling Plan and Site Photos		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b><u>Swept Path Analysis, Drainage Proposal and Fire Service Installations Proposal</u></b>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。





羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328

Ref: LDS/PLAN/7092

## **Section 16 Planning Application**

**Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years at Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T.**

## **Planning Statement**

Applicants

**Uncle Chu Carpentry Accessories Engineering Limited (朱伯木作配料工程有限公司)**

**Yee Hing Fat Timber Trading Company (義興發木業公司)**

Prepared by

**Lawson David & Sung Surveyors Limited**

July 2025

## Executive Summary

This planning statement is submitted to the Town Planning Board (the “Board”) in support of a planning application for Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years (“the Proposed Development”) at Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T. (“the Application Site”).

The Application Site, covering an area of about 5,993 sq.m. (including Government Land of about 55 sq.m.), falls largely within an area zoned “Agriculture” (“AGR”) (about 5,983 sq.m., 99.8%) with a minor portion zoned “Industrial (Group D)” (“I(D)”) (about 10 sq.m., 0.2%) on the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan (OZP) No. S/NE-TKL/14 gazetted on 12.3.2010. According to the Notes of the OZP, ‘Warehouse’ and ‘Open Storage’ are neither Column 1 nor Column 2 use of the “AGR” zone, and temporary use or development of any land or building not exceeding a period of three years requires planning permission from the Board.

The application is to facilitate the relocation of the Applicants’ former warehouses on various lots in D.D.96, Ma Tso Lung, Kwu Tung North, N.T., which was affected by the land resumption for First Phase Development of Kwu Tung North New Development Area. They had been operating their timber business in Ma Tso Lung for over 30 years and are still active in the timber business to supply timber to hardware stores and construction companies in the local market. As their storage yards/warehouses in Ma Tso Lung (2 affected sites) had been resumed by the Government, the Applicants are required to identify other storage yards to continue their business. After the site clearance in 2022, the Applicants had conducted a thorough site searching exercise but could only find storage yards with short rental tenancies before identifying the Application Site as a possible site for relocation.

The Application Site is currently vacant. Two 2-storey (height: about 13m) warehouses for storage of construction materials with a floor area of about 2,572 sq.m. and 2,774 sq.m. will be proposed at the northern portion of the Application Site for respective Applicant’s usage. The open area of about 475 sq.m. at the western portion of the Application Site will be used for open storage of construction materials (timber). A toilet, a meter room and F.S. Pump Room, all 1-storey (height: about 3m) with a floor area of 7 sq.m. each, will be placed within the proposed warehouse. Ancillary facilities, including a guard room, a site office and a toilet will be provided near the site entrance.

The Applicants will maintain the existing ingress/egress point and the pedestrian access at the southern boundary connecting Ng Chow South Road with about 8m and 1m in width respectively. The proposed development will provide 4 loading/unloading spaces (3.5m x 11m) for medium goods vehicle and 3 private car parking spaces for staff/visitors (2.5m x 5m). The operation hours of the Application Site are between 8:30am to 6pm from Mondays to Saturdays. There will be no operation on Sundays and public holidays. To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

The justifications of this application are:

1. The proposed development helps support the construction industry in Hong Kong;
2. The proposed development will not hinder future development of New Territories North New Town;
3. The Application Site is unsuitable for agricultural rehabilitation;
4. Similar approvals for warehouse use have been given in the same “AGR” and “I(D)” zones;
5. The proposed development will encourage optimization of valuable land resource;
6. The proposed development is considered not incompatible with surrounding land uses;
7. The proposed development will not generate adverse traffic, environmental and drainage impacts on the surrounding areas;
8. The proposed development is in compliance with TPB PG-No.13G; and
9. The proposed development will not create undesirable precedent.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.



## 行政摘要

此規劃報告書向城市規劃委員會(“城規會”)呈交,旨在支持在新界坪輦丈量約份第 77 約地段第 539 號餘段(部分)、第 540 號餘段、第 543 號、第 544 號 A 分段、第 544 號 B 分段、第 544 號 C 分段、第 544 號餘段、第 545 號、第 551 號餘段及第 553 號及毗連政府土地(“申請地點”),作為期三年的擬議臨時貨倉及露天存放建築材料及相關填土工程(“擬議發展”)的規劃申請。

申請地點的面積約 5,993 平方米(包括政府土地約 55 平方米),大部分面積座落於在 2010 年 3 月 12 日刊憲的坪輦及打鼓嶺分區計劃大綱核准圖(圖則編號:S/NE-TKL/14)上的「農業」地帶(約 5,983 平方米,99.8%),小部分座落「工業(丁類)」地帶(約 10 平方米,0.2%)。根據該大綱圖的註釋,「貨倉」和「露天貯物」皆不屬「農業」地帶內的第一欄或第二欄用途,然而不超過三年土地或建築物的臨時用途或發展,須先向城規會提出申請。

此申請是為協助申請人重置早前受古洞北新發展區第一期發展計劃收地影響,位於古洞北馬草壟丈量約份第 96 約多個地段的貨倉。申請人於馬草壟經營木廠接近 30 年,至今仍活躍於經營木材生意,主要業務為建築公司及供應商供應建築材料(木材)。鑑於政府已收回申請人位於馬草壟兩個倉庫的土地以發展古洞北新發展區,申請人必須重置木廠以繼續經營業務。於 2022 年清場後,申請人只找到可供短期租賃的貨倉暫時營運。經尋找可重置地點後,申請人認為申請地點適合作為重置木廠地點,以繼續經營其木材業務。

申請地點現時為空置土地。擬議發展將於申請地點北面興建兩座樓面面積約 2,572 平方米及 2,774 平方米以及其高度不超過 13 米的兩層高貨倉,用作存放建築材料。申請地點西面約 475 平方米的露天位置將會用作露天存放建築材料(木材)。貨倉內設有洗手間、電錶房以及消防泵房(面積各約 7 平方米,高度約 3 米)。同時,申請地點出入口附近將提供附屬設施,包括保安室、地盤辦公室及洗手間。

申請人會沿用現時申請地點南面連接五洲南路的出入口(約 8 米闊)以及行人通道(約 1 米闊)。申請地點亦設有 4 個中型貨車上落貨位 (3.5 米 x 11 米)和 3 個供職員/訪客使用的私家車停車位 (2.5 米 x 5 米)。擬議發展的營運時間為星期一至星期六上午 8 時 30 分至下午 6 時,星期日及公眾假期不會運作。為減少擬議發展對附近地方的潛在噪音及環境影響,申請地點內不會進行任何工場活動。

本規劃申請的理據為:

1. 擬議發展有助支持本港的建築業;
2. 擬議發展不會妨礙未來的新界北新市鎮發展;
3. 申請地點不適合用作農業復耕;
4. 申請地點座落的「農業」及「工業(丁類)」地帶有類近貨倉用途申請獲得規劃許可;
5. 擬議發展可有效利用寶貴的土地資源;
6. 擬議發展與周邊土地用途兼容;
7. 擬議發展不會對附近地方構成不良的交通、環境及排水影響;
8. 擬議發展符合城規會指引編號 13G; 及
9. 擬議發展不會造成不良的先例。

基於本規劃報告書所述的理據,敬希 各城規會委員及有關政府部門能批准此項申請,作為期三年的臨時用途。

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## 1. Introduction

### 1.1 Purpose

Pursuant to Section 16 of the Town Planning Ordinance, this Planning Statement Report is submitted to the Town Planning Board ("the Board") in support of a planning application for Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a period of 3 years (the "proposed development") at Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and adjoining Government Land, Ping Che, N.T. (hereafter referred to as "the Application Site"). **Figure 1** shows the location of the Application Site and the Lot Index Plan indicating the concerned lots is shown per **Figure 2**.

The application is submitted to facilitate the relocation of the Applicants' affected operations in Ma Tso Lung, Kwu Tung North by land resumption for First Phase development of Kwu Tung North New Development Area (NDA). The Application Site, covering an area of about 5,993 sq.m. (including Government Land of about 55 sq.m.), falls largely within an area zoned "Agriculture" ("AGR") (about 5,983 sq.m., 99.8%) with a minor portion zoned "Industrial (Group D)" ("I(D)") (about 10 sq.m., 0.2%) on the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan (OZP) No. S/NE-TKL/14 gazetted on 12.3.2010. According to the Notes of the OZP, 'Warehouse' and 'Open Storage' are neither Column 1 nor Column 2 use of the "AGR" zone, and temporary use or development of any land or building not exceeding a period of three years requires planning permission from the Board.

### 1.2 Background of the Application

#### Background of the Applicants

The Applicants, **Uncle Chu Carpentry Accessories Engineering Limited** and **Yee Hing Fat Timber Trading Company** (hereafter "the Applicants"), have been operating their timber business in Ma Tso Lung, Kwu Tung North, N.T. for 30 years, in which they supply assorted timber products to different hardware stores and construction companies in the local market.

The Applicants were previously operating at two respective affected sites in Ma Tso Lung, Kwu Tung North, N.T. (see **Appendix 1**) as summarized below:-

Site	Applicant	Affected Site	Site Area (sq.m.) (about)	Floor Area (sq.m.) (about)	Use
1	Uncle Chu Carpentry Accessories Engineering Limited	Lot No. 2240 S.B (Part) in D.D.96	5,200*	1,500	Warehouse and Open Storage of Construction Materials (Timber)
2	Yee Hing Fat Timber Trading Company	Lot No. 2240 S.E ss.3 in D.D. 96	584	584.2	Warehouse for Storage of Construction Materials (Timber)
<b>Total:</b>			5,784.2	2,084.2	/

\*About 2,800 sq.m. of operation area shared with adjoining operator

The Applicants had received letters from the Lands Department on the resumption of their operations in Ma Tso Lung (see **Appendix 2**), in which both sites were resumed by the Government for the First Phase Development of Kwu Tung North NDA in 2019. Both operations in Ma Tso Lung had ceased after the site clearance in 2022.

The Applicants intend to continue their businesses and are required to identify a suitable site to relocate their operation to sustain their business. Due to lack of available storage yards / warehouses of similar size in the market, the Applicants could only relocate to a storage yard in Chau Tau in 2022 with a smaller site area that was available to move in instantly.

Nevertheless, the temporarily relocated storage yards were only available for a relatively short tenancy period. After the tenancy of the storage yard in Chau Tau ended, the Applicants had to shift their operations to other storage sites in Lau Fau Shan and Sheung Shui that are also only available for relatively short tenancy periods. These temporary relocation sites all had smaller operation areas and not available for long term operations, in which the Applicants had to downsize their operations until they could identify a larger site to fit in their entire operations.

#### Relocation Need of the Applicants

With the continuous land resumption in the locality of Kwu Tung North NDA, the Applicants will probably become one of the few remaining active timber suppliers in Hong Kong with numbers of timber suppliers terminating their business after land resumption. Therefore, to sustain and continue their business, it is necessary for the Applicants to be able to relocate their business and continue to contribute to the construction industry in Hong Kong. While relocation itself will not only impact the operation of the business and the employees, more importantly it will affect the supply of construction materials in the industry and subsequently might cause delay in construction projects in Hong Kong.

Various discussions were made between the Development Bureau and the Applicants regarding the relocation of the Applicants' warehouse/storage yard. Most importantly, the Applicants are required to identify a suitable site that can fulfill their operational needs at full capacity. The Applicants noted that the existing storage/warehouse land within the Categories 1 and 2 areas under TPB PG-No. 13G was either over their price consideration or occupied by other open storage/storage uses already. Taken into consideration that the storage materials are bulky in nature which involves considerable land requirements i.e. site with considerable size, appropriate access road for long vehicles, etc., the Applicants struggled to identify possible sites for relocation.

The Applicants have conducted a thorough site search exercise before identifying the Application Site as the best available option for relocation. Most are yet considered not suitable because of various reasons as below:

	Possible Site Location	Zoning	Reasons for unsuitable for relocation
(a)	DD79 Lots 1341 S.A, 1341 RP and 1342 (Wo Keng Shan, Ta Kwu Ling)	"AGR" / "GB"	Site required extensive clearance of vegetation; access to the site is too narrow for goods vehicles and required to bypass private lots
(b)	DD81 Lot 91 RP (Man Uk Pin, Sha Tau Kok)	"AGR"	Site too small and located very close to existing village settlements and temple; site access too narrow for goods vehicles
(c)	DD129 Lot 1862 (Lau Fau Shan)	"REC"	Access to site too narrow for goods vehicles; Site is subject to future land resumption
(d)	DD104 Lots 1836, 1837, 1838, 1839, 1840, 1846, 1847, 1848, 1849, 1850, 1852, 1854 and 1855 (Ngau Tam Mei)	"V" / "CDA" / "OU (Railway Reserve)"	Site required clearance of vegetation with access road bypassing various private lots; site located very close to nearby village developments; site might be subject to future land resumption
(e)	DD100 Lot 1596 S.G RP (Kwu Tung South)	"AGR"	Site required clearance of vegetation; site located very close to nearby village and residential developments; site too small for operations



As a result, the Applicants have identified the Application Site as the best available option for a number of reasons. Firstly, the Application Site is directly accessible from Ng Chow South Road, which provides good accessibility for the staff to commute to work, and allow the sizable goods vehicles to access to the site with ease. Secondly, the vehicular access to the Application Site does not encroach onto any private lot, potential right of way disputes can therefore be avoided. Next, the Application Site is generally flat and currently vacant. A swift transformation into a warehouse / open storage for the Applicants' imminent usage is thus feasible. Last but not least, the size of the Application Site could meet the immediate need of the Applicants to accommodate their business operation with ample space to separate the operation of respective Applicant. The Applicants have decided choosing the Application Site for relocation taking into account that the availability of similar site in the market is limited.

As the basic settings of Application Site meet the operational needs of the Applicants, the Applicants seek the Board's permission to use the Application Site as a temporary warehouse and open storage of construction materials for relocation of their business and providing various construction materials for the construction projects in Hong Kong. The proposed development will also allow better utilization of scarce land resources so that the land can be under better use.

### 1.3 Organization of the Planning Statement

This planning statement is divided into 6 chapters. Chapter 1 is an introduction outlining the above background of the planning application. Chapter 2 will then illustrate the site context and land status followed by Chapter 3 which describes the planning context in details. Chapter 4 gives the particulars of the proposed development. Detailed accounts of planning justifications of the proposed development are presented in Chapter 5. The planning statement finally concludes with a summary in Chapter 6.

## 2. Site Context

### 2.1 The Application Site and Its Existing Condition

The Application Site, with an area of about 5,993 sq.m. (including government land of about 55 sq.m.), abuts Ng Chow South Road in Ping Che, N.T. (see **Figure 1**). The Application Site is generally flat and currently vacant. The Application Site has been partially fenced off by corrugated metal sheets of about 2.5m high (see **Site Photos**).

### 2.2 Surrounding Land Uses

The surrounding area of the Application Site is rural in nature and consists of open storage/storage yards, temporary structures, workshops, vacant land and village settlements. To the west is a warehouse for storage of metal (Application No. A/NE-TKL/767) within the same "AGR" and "I(D)" zones approved by the Board on 16.8.2024, as well as several warehouses and workshops situated within the adjacent "I(D)" zone. To the further east are Ping Che Mini-soccer pitch and the village settlements of Ping Che village. Ta Kwu Ling Rural Centre Government Offices and Ping Che New Village Sitting Out Area locate at the south across Ng Chow South Road. To the north are vacant land and Ping Yuen River.

### 2.3 Accessibility

The Application Site is directly accessible from Ng Chow South Road, which connects to Ping Che Road. The entrance to the Application Site is about 8m wide which located to the south. A plan showing the vehicular access to the Application Site is provided at **Figure 3**.

## 2.4 Land Status

According to the records of Land Registry, the subject lots are held under Block Government Lease and demised for agricultural use with a lease term for 75 years, commenced from 1.7.1898, and are renewable for a further term of 24 years.

The subject lots are old schedule agricultural lots. The Applicants will apply for a Short Term Waiver (STW) for the proposed structures and a Short Term Tenancy (STT) for the use of the government land to the Lands Department upon obtaining planning approval for this application.

## 3. Planning Context

### 3.1 Outline Zoning Plan

The Application Site falls largely within an area zoned "Agriculture" ("AGR") (about 5,983 sq.m., 99.8%) with a minor portion zoned "Industrial (Group D)" ("I(D)") (about 10 sq.m., 0.2%) on the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan (OZP) No. S/NE-TKL/14 gazetted on 12.3.2010 (see **Figure 1**).

The planning intention of "AGR" zone is "primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes."

The planning intention of "I(D)" zone is "primarily for industrial uses that cannot be accommodated in conventional flatted factories due to extensive land and/or high ceiling requirements. It is also intended for the redevelopment of existing informal industrial uses, which are operated in workshop premises in rural area, to properly designed permanent industrial buildings."

While the proposed development ('Warehouse (other than Dangerous Goods Godown)' and 'Open Storage') is Column 1 uses under the Schedule of Uses for the subject "I(D)" zone, it is neither one of the Column 1 or Column 2 uses of the subject "AGR" zone, the Board may grant planning permission (with or without conditions) for a maximum period of three years under section 16 of the Town Planning Ordinance.

### 3.2 Previous Application

The Application Site is not involved in any previous planning application.

### 3.3 Similar Applications within the same "AGR" and "I(D)" Zones

2 applications for similar warehouse uses were approved by the Board in the last three years within the same "AGR" and "I(D)" zones of the Ping Che and Ta Kwu Ling OZP. These approved applications are summarized as below:

Application No.	Applied Use	Site Area (m <sup>2</sup> )	Decision (Date of Approval)
A/NE-TKL/702*	Proposed Temporary Warehouse for Storage of Metal for a Period of 3 Years and Associated Filling of Land	980	Approved with Conditions (26.8.2022)
A/NE-TKL/767*	Temporary Warehouse for Storage of Metal for a Period of 3 Years and Associated Filling of Land	980	Approved with Conditions (16.8.2024)

\*Both applications involve the same site.

### 3.4 Town Planning Board Guidelines No. 13G (TPB PG-No.13G)

According to TPB PG-No.13G, the Application Site falls within a “Category 3” area. The guidelines stipulate that sympathetic consideration may be given for applications for open storage and port back-up uses in “Category 3” area if relevant technical assessments/proposals have been included in the fresh application to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. Subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions, planning permission could be granted on a temporary basis up to a maximum period of 3 years.

## 4. Development Proposal

### 4.1 Site Configuration and Layout

The Applicants seek planning permission to use the Application Site for temporary warehouse and open storage of construction materials and associated filling of land for a period of 3 years. The proposed development is to facilitate the relocation and continuation of the Applicants’ business affected by First Phase Development of the Kwu Tung North NDA.

The Application Site has a site area of about 5,993 sq.m. Two 2-storey (height: about 13m) warehouses for storage of construction materials (timber and other building materials) with floor area of about 2,572 sq.m. and 2,774 sq.m. will be proposed at the northern portion of the Application Site for respective Applicant’s usage. The open area of about 475 sq.m. at the western portion of the Application Site will be used for open storage of construction materials (timber). A toilet, a meter room and F.S. Pump Room, all 1-storey (height: about 3m) with a floor area of 7 sq.m., will be placed within the proposed warehouse at the eastern portion. Ancillary facilities including a guard room, a site office and a toilet will be provided near the site entrance. To avoid any disturbance to the existing stream to the north of the Application Site, a 3m set back from the existing stream has been provided (see Layout Plan at **Figure 4**).

While the proposed development has a larger floor area in comparison with the Applicants’ former operation sites in Ma Tso Lung, it should be noted that the site area of Application Site (about 5,993 sq.m.) is in fact similar to the total site area of the former operation sites (about 5,784.2 sq.m.). To meet the operation requirement of the Applicants, a larger floor space is required for the Applicants to store their stocks and operate at full capacity to continue their timber supply to the local construction industry.

The proposed development involves associated filling of land of about 5,993 sq.m. for site formation and a depth of not exceeding 0.2m to a level of not more +14.6mPD. A plan showing the proposed land filling area of the Application Site is shown in **Figure 5**.

The key development parameters of the application are shown below:-

Applied Use	Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years
Site Area	About 5,993 sq.m. (including 55 sq.m. of Government land)
Total Floor Area (Non-domestic)	About 5,387 sq.m.
No. of Structures	8 <ul style="list-style-type: none"> <li>- 2 proposed warehouses</li> <li>- 1 proposed site office</li> <li>- 2 proposed toilets (1 within the proposed warehouse)</li> <li>- 1 proposed meter room (within the proposed warehouse)</li> <li>- 1 proposed F.S. pump room (within the proposed warehouse)</li> </ul>



	- 1 guard room
Height of Structures	3 – 13m (1-2 storeys)
No. of Parking Spaces	3 nos. (private cars for staff/visitors) (2.5m x 5m)
Loading/unloading Spaces	4 nos. for medium goods vehicle (3.5m x 11m)

#### 4.2 Vehicular Access and Parking Arrangement

The Applicants will maintain the existing vehicular ingress/egress point (about 8m) and pedestrian access (about 1m) located at the southern side of the Application Site connecting to Ng Chow South Road. The run-in/out will be constructed by the Applicants in accordance with the latest version of Highways Department's standard drawings Nos. H1113C and H1114B or H5133, H5134 and H5135, whichever set is appropriate to match with the existing adjacent pavement. The Applicants will provide 4 loading/unloading spaces (3.5m x 11m) for medium goods vehicles and 3 private car parking spaces (2.5m x 5m) for staff/visitors.

A swept path analysis (see **Appendix 3**) is prepared to demonstrate that satisfactory manoeuvring of vehicles entering to and exiting from the Application Site and manoeuvring within the Application Site. There will be no difficulties in internal traffic circulation sense as sufficient space for manoeuvring of vehicles is reserved at the middle portion such that no waiting or queuing of goods vehicles along Ng Chow South Road will arise under any circumstances.

The Applicants will also implement the following traffic management measures to ensure no queuing of vehicles outside the Application Site and pedestrian safety:

- (i) Prior appointment will be arranged for the goods vehicles to deliver the storage materials;
- (ii) All goods vehicles will leave the Application Site after loading/unloading activities;
- (iii) No storage materials will be placed at the manoeuvring space to avoid blocking of loading/unloading spaces and manoeuvring of vehicles;
- (iv) On-site staff will be deployed to manage the in and out traffic flow during the operation hours. Vehicles entering the site would be directed to the loading/unloading spaces to prevent the blocking of the ingress/egress;
- (v) The Applicants will maintain the existing pedestrian route to ensure pedestrian safety; and
- (vi) Revolving warning lights will be added at the site access to warn the staff and nearby pedestrian when there are vehicles getting in/out of the site to ensure pedestrian safety.

In addition, according to the Applicants, trips for transporting the storage materials to/from the Application Site made by the goods vehicles will not be more than 4 round trips daily at non-peak hours (between 10am – 4pm). There will be no more than 8 working staff on-site. Considering the business nature and operational needs, only 3 daily round trips for private vehicles to the Application Site are expected.

The estimated traffic arising from the proposed development is as follows:

Time	No. of Trips (Medium Goods Vehicles)		No. of Trips (Private Cars)	
	In	Out	In	Out
08:00-09:00 (peak hour)	0	0	3	0
09:00-10:00 (peak hour)	0	0	0	0
10:00-11:00	2	0	0	0
11:00-12:00	0	1	0	0
12:00-13:00	1	1	0	0
13:00-14:00	0	0	0	0
15:00-16:00	1	2	0	0
16:00-17:00	0	0	0	0
17:00-18:00 (peak hour)	0	0	0	3

#### 4.3 Site Operations

The operation hours of the Application Site are between 8:30am to 6pm from Mondays to Saturdays. There will be no operation on Sundays and public holidays. The main use of the Application Site will be storage purpose of construction materials (timber and other building materials). To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

#### 4.4 Drainage Proposal

Drainage facilities including 450mm peripheral U-channels and catchpits with sand trap are proposed to collect the surface runoff and divert them to the existing stream to the north of the Application Site. No surface runoff will be running from the Application Site to the nearby public road and drains. A drainage proposal is submitted (see **Appendix 4**) to show the proposed drainage design. The Applicants will provide the drainage facilities to the satisfaction of Drainage Services Department.

#### 4.5 Landscape

The Application Site is partly covered with weeds along the northern, western and eastern boundaries. There are no existing trees within the Application Site. Meanwhile, existing trees of various species are found immediate outside the northern boundary of the Application Site. These existing trees will not be disturbed by the Applicant and would act as the natural hedges bounding the edge of the development and thus soften the building footprint of the proposed development.

Meanwhile, the Application Site is located in an area of rural fringe landscape character predominated by storage / open storage yards, warehouses, workshops and vacant land, which are not in conflict with the proposed temporary structures. The proposed development is therefore considered not incompatible to the landscape character of the surrounding area.

#### 4.6 Fire Service Installations Proposal

To minimize the fire hazard, a Fire Service Installations (FSIs) proposal (see **Appendix 5**) is submitted together with this application. The Applicants will provide the FSIs to the satisfaction of Fire Services Department.

#### 4.7 Environmental Considerations

The nature of the proposed development will merely involve the storage of construction materials (timber and other building materials). To minimize the possible environmental nuisance, the Applicants will follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and undertake to provide the following mitigation measures:

- (a) No workshop activities will be conducted at the Application Site;
- (b) The entire site boundary will be fenced off by 2.5m high corrugated metal fencing;
- (c) The loading / unloading activities will be located away from the residential dwellings;
- (d) The operating hours will be restricted from 8:30 am to 6 pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays;
- (e) No more than 4 round trips by goods vehicles daily to minimize the traffic and noise impact; and
- (f) 2 toilets will be provided onsite for staff. The waste generated will be removed on a regular basis by contractor to avoid any hygienic nuisance to the surroundings.

Additionally, it is noted that the Ping Che Egretty is located to the southwest of the Application Site across the adjacent "I(D)" zones. The Applicants will also adopt the following measures to avoid disturbance to the nearby Ping Che Egretty:-

- (a) Minimize noisy construction works during the ardeid breeding period (i.e. March to August);
- (b) All noise generating activities will be confined within the enclosed structures to minimize any potential noise impact;
- (c) The existing trees immediate outside the Application Site will not be disturbed;
- (d) No disturbance to the breeding birds and their nests and eggs; and
- (e) No directing lighting to the concerned trees of the egretty.

## **5. Planning Justifications**

### **5.1 Support the Construction Industry in Hong Kong**

With the ongoing resumption projects in the Northern Metropolis area, a significant number of warehouse and open storage sites in Northern New Territories and North East New Territories have been / will be resumed by the Government for development of New Development Areas/public works in the near future. Due to stiff competition for warehouse/open storage land in Hong Kong, a significant number of local timber suppliers could not find a suitable relocation site and had to terminate their business. The Applicants, being the few remaining operating timber suppliers in Hong Kong, play a significant role in the construction industry in supplying timber to hardware stores and construction companies in the local market, and thus in turn influence the progress of construction projects in the city of both public and private sectors.

In view of the much more stringent control on land usage coupled with shrinking supply of land for warehouse and open storage uses and increasing difficulty in acquiring planning permission, the shortage of warehouse and open storage sites has already become a key economic and logistics issue concerning the whole Territory. Despite currently operating at a temporary warehouse site, they are not available for long-term operations and the Applicants had to downsize their operations with a smaller site area.

With the increasing construction projects for the Northern Metropolis in the coming decade, granting approval to this application will enable the Applicants to return to their full operational capacity to support and maintain the timber supply in the construction industry in Hong Kong. It will also maintain the supply of land for such use and provide a temporary solution to meet the pressing market demand of warehouse and open storage facilities in the Northern New Territories.

### **5.2 Will not Hinder Future Development of New Territories North New Town**

The Application Site falls within the project boundary of the recently announced New Territories North New Town. The Applicants understand that the proposed development will only be temporary and agree to move out when the Application Site is resumed by the government for development of the New Town in the future. Due to the temporary nature of the Application, the proposed development will not hinder the future New Town development at the Application Site.

### **5.3 The Application Site is Unsuitable for Agricultural Rehabilitation**

Notwithstanding the Application Site falls within an area zoned "AGR", the Application Site is unsuitable for agricultural rehabilitation. The Application Site was occupied by temporary domestic structures in the past which has altered the natural landscape of the area. Having considered the surrounding areas of the Application Site are being used for open storage / storage yard, workshops and warehouse use, the planning intention of "AGR" zone is hardly materialized at the current capacity until the surrounding characteristics are entirely required to be reverted back to agricultural uses. The utilization of the not fully developed agricultural land would allow more efficient use of scarce land resource in Hong Kong and continuation of the Applicants' timber business. In contrast, the proposed development in the interim at the Application Site is deemed not incompatible and is able to flexibly meet the demand and operational needs of the Applicants.



#### 5.4 Similar Approvals for Warehouse Use in the Same “AGR” and “I(D)” Zones

As mentioned in Para. 3.3, 2 similar applications for warehouse use have been approved by the Board in the same “AGR” and “I(D)” zones of the Ping Che and Ta Kwu Ling OZP in the last three years. With the proximity of these planning approvals for similar warehouse uses, approval of this application is considered acceptable within the subject “AGR” zone and in line with previous decisions of the Board.

#### 5.5 Optimization of Valuable Land Resources

The Application Site is currently vacant. Instead of leaving the Application Site idle and deteriorating at its current status, the proposed development provides an interim solution to maximum land utilization on the site with upkeeping and maintenance from the Applicants. Additionally, the proposed development would take full advantage of the location and the exceptional physical state of the Application Site i.e. direct access to Ng Chow South Road for transportation of construction materials with flat land. The proposed development is considered fully commensurate with its local geographical setting and ideal to attain utmost land use maximization without inflicting undesirable impacts on the environment.

#### 5.6 Not Incompatible with Surrounding Land Uses

The proposed development is considered not incompatible with the surrounding land uses. The surrounding of the Application Site mainly consists of open storage/storage yards, temporary structures, workshops, vacant land and village settlements, with approved applications of similar uses in vicinity. Taking into consideration that the Applicants have proposed proper mitigation measures, including no workshop activities within the Application Site and restriction of operation hours, the proposed development could co-exist well with all these surrounding land uses without posing any adverse environmental impacts. As the proposed development is considered not incompatible with other developments/facilities in the adjacent areas in terms of nature and scale of use, approval of the application would therefore not result in any interface problems with the surrounding areas.

#### 5.7 No Adverse Impacts on the Surrounding Areas

Owing to the nature and size of the proposed development, no adverse impacts are anticipated on the surrounding areas, as discussed below:

##### Traffic

The Application Site is accessible Ng Chow South Road and no more than 4 round trips daily will be made by goods vehicles to/from the Application Site. Most of the vehicles will enter to/get out of the Application Site at non-peak hours (between 10am – 4pm). As such, it is anticipated that traffic generated by the proposed development to Ng Chow South Road will be very minimal and not be overloaded should the application be approved. In addition, as demonstrated in the swept path analysis (see **Appendix 3**), sufficient spaces will be reserved at the middle portion of the Application Site for loading/unloading and vehicle manoeuvring. It is further envisaged and unlikely that the foregoing minimal volume of traffic generated from the proposed development would adversely affect the existing and/or planned road networks. There will also be no need for goods vehicles queuing up outside the Application Site under any circumstances. As such, no adverse traffic impact is anticipated.

##### Environment

The Application Site will only be used as warehouse and open storage of construction materials (timber and other building materials). No workshop activities will be undergone within the Application Site and relevant mitigation measures will be conducted to minimize all the potential environmental impacts on the surrounding areas. All generated waste will be removed regularly by

contractor. In addition, the operating hours will be restricted from 8:30am to 6pm, the proposed development will unlikely create significant adverse environmental impact to the surrounding areas.

#### Drainage

Drainage facilities will be provided within the Application Site for this application, in which surface runoff will be effectively collected from and discharged out of the Application Site. The Applicants have accordingly submitted a drainage proposal (see **Appendix 4**) to elaborate. Therefore, no adverse drainage impact would be generated from the Application Site.

#### 5.8 Compliance with TPB PG-No.13G

The Application Site currently falls within a “Category 3” area under TPB PG-No.13G. The Applicants have submitted respective technical assessments to support the application with no anticipated adverse traffic, environmental and drainage impacts on the surrounding areas. The concerns of relevant Government departments can also be addressed through implementation of approval conditions. In addition, similar applications for warehouse uses have been approved in the same “AGR” zone and “Category 3” area in the last three years. Given the unique condition and relocation need of the Applicants, the proposed development could be considered in line with the TPB PG-No. 13G under sympathetic consideration of the Board.

#### 5.9 No Creation of Undesirable Precedent

Having realized the Board is entitled to consider planning applications, there may be little concern about setting an undesirable precedent by approving the current application. The proposed development is an exceptional case which is justified on the demand for relocation of warehouse and storage yards due to land resumption to support the construction industry in Hong Kong. The proposed development at the Application Site would be able to support the construction industry, especially with the increasing development projects in Hong Kong in the coming years. Therefore, it is proposed that the permission is only given to the development under this application.

As the Board will consider each planning application on its individual merits, which in a sense, physical states of and surrounding the Application Site are always assessed individually and differently even if they are of similar nature. Approving the current application should therefore not entail to the approval of other similar applications under any circumstances.

## 6. Conclusion

The Application Site falls within “AGR” and “I(D)” zones on the approved Ping Che and Ta Kwu Ling OZP No. S/NE-TKL/14. The Applicants are operators affected by land resumption for the First Phase Development of Kwu Tung North NDA and this application is to facilitate the relocation of the Applicants’ business. In facing difficulties in identifying a suitable site for relocation of their business, the Applicants could only relocate to temporary storage yards with smaller floor area and short tenancies before identifying the Application Site. In view of the site location, surrounding land uses and the nature of the proposed development, the Application Site is considered the best location choice for continuation of the Applicants’ operations as proposed temporary warehouse and open storage of construction materials.

Despite the fact that the Application Site falls within the “AGR” zone, the planning intention of “AGR” is hardly to be materialized in short term until the surrounding characteristics are entirely and compulsorily required to be reverted to agricultural activities. In contrast, the proposed development in the interim at the Application Site is deemed not unsuitable for temporary uses as the surrounding areas are currently characterized by a variety of rural storage / warehouse uses, in which no interface problems will be arisen out of the proposed development. It will actually encourage optimization of the valuable land resources due to its locational and geographical advantages, and also allow the Applicants continue contributing to the construction industry at full capacity.

Since no adverse impacts on the surrounding are anticipated and technical concerns of relevant Government departments could be addressed through implementation of approval conditions, the proposed development is considered in line with TPB PG-No.13G and will not create any undesirable precedent.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.

Lawson David & Sung Surveyors Limited  
July 2025

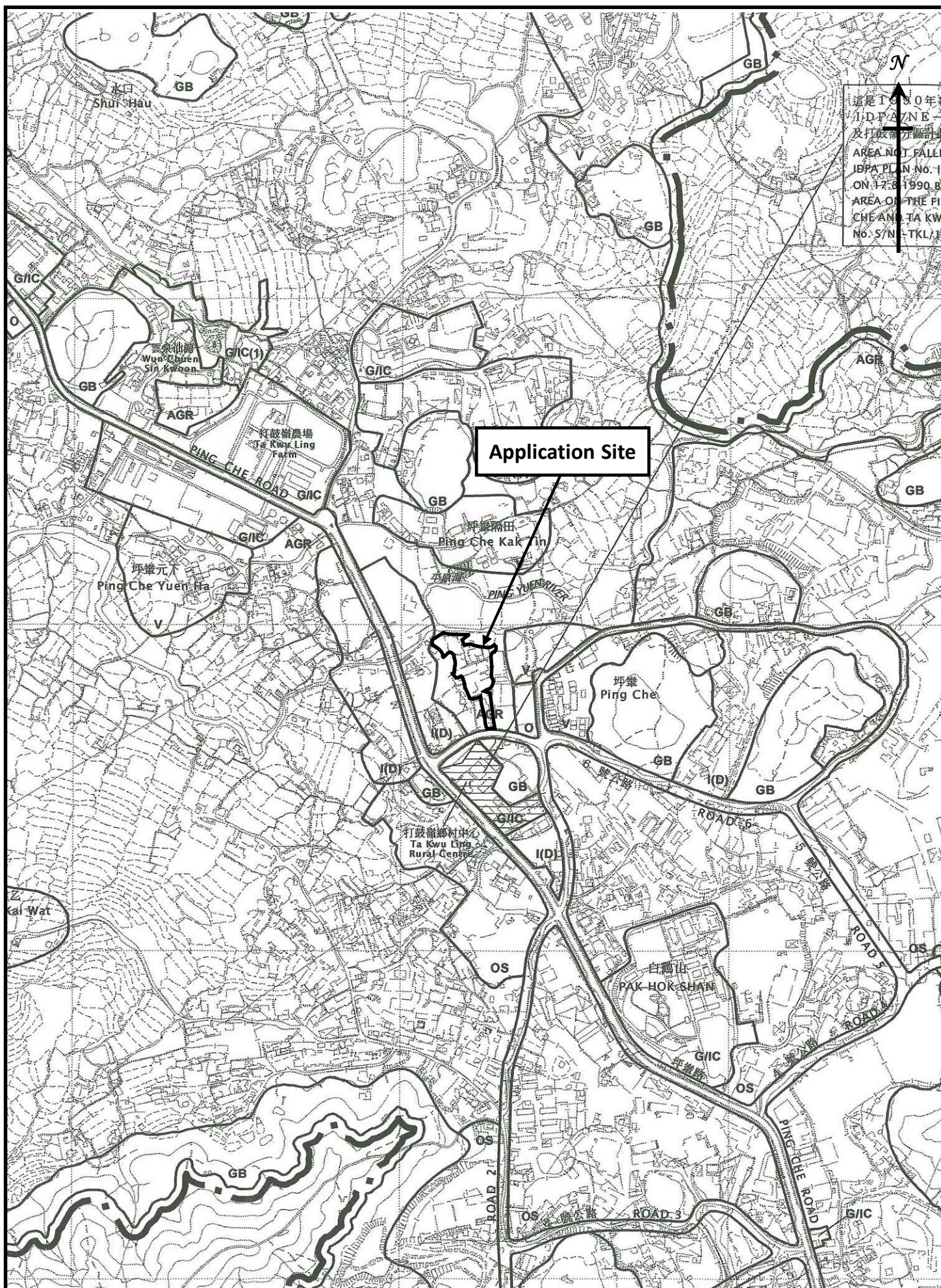


## Figures

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- Figure 1 Location Plan
- Figure 2 Lot Index Plan
- Figure 3 Vehicular Access to the Site
- Figure 4 Indicative Layout Plan
- Figure 5 Land Filling Plan





Location Plan  
(Extract from Approved Ping Che and Ta Kwu Ling  
Outline Zoning Plan No. S/NE-TKL/14)

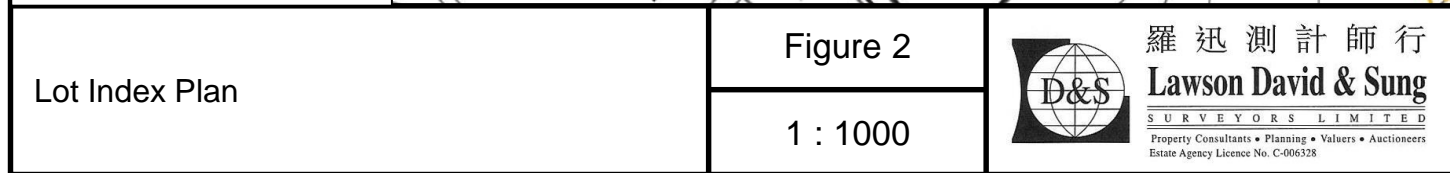
Figure 1

1 : 7500

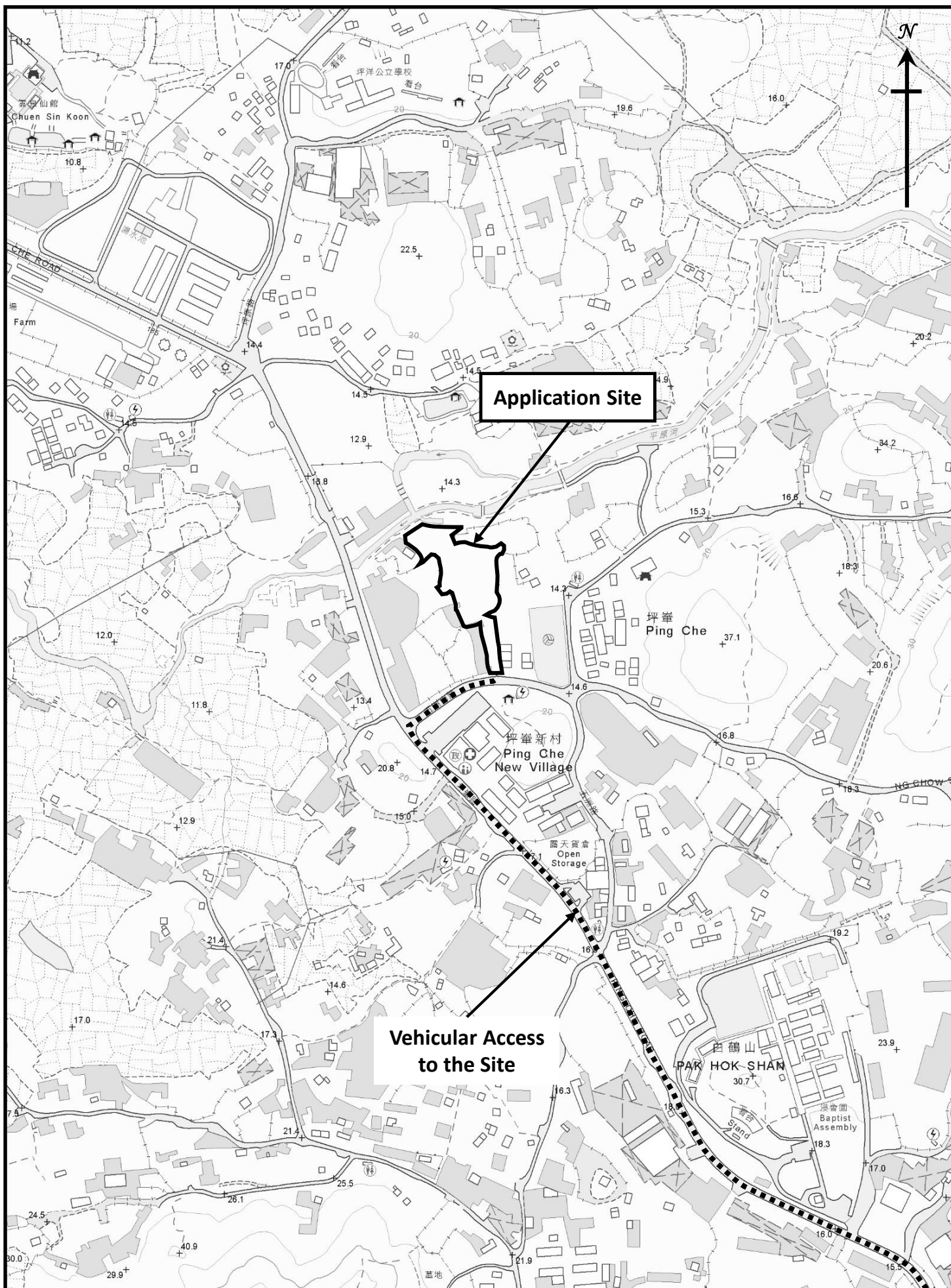


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Estate Agency Licence No. C-006328









Vehicular Access to the Application Site

Figure 3

1 : 5000

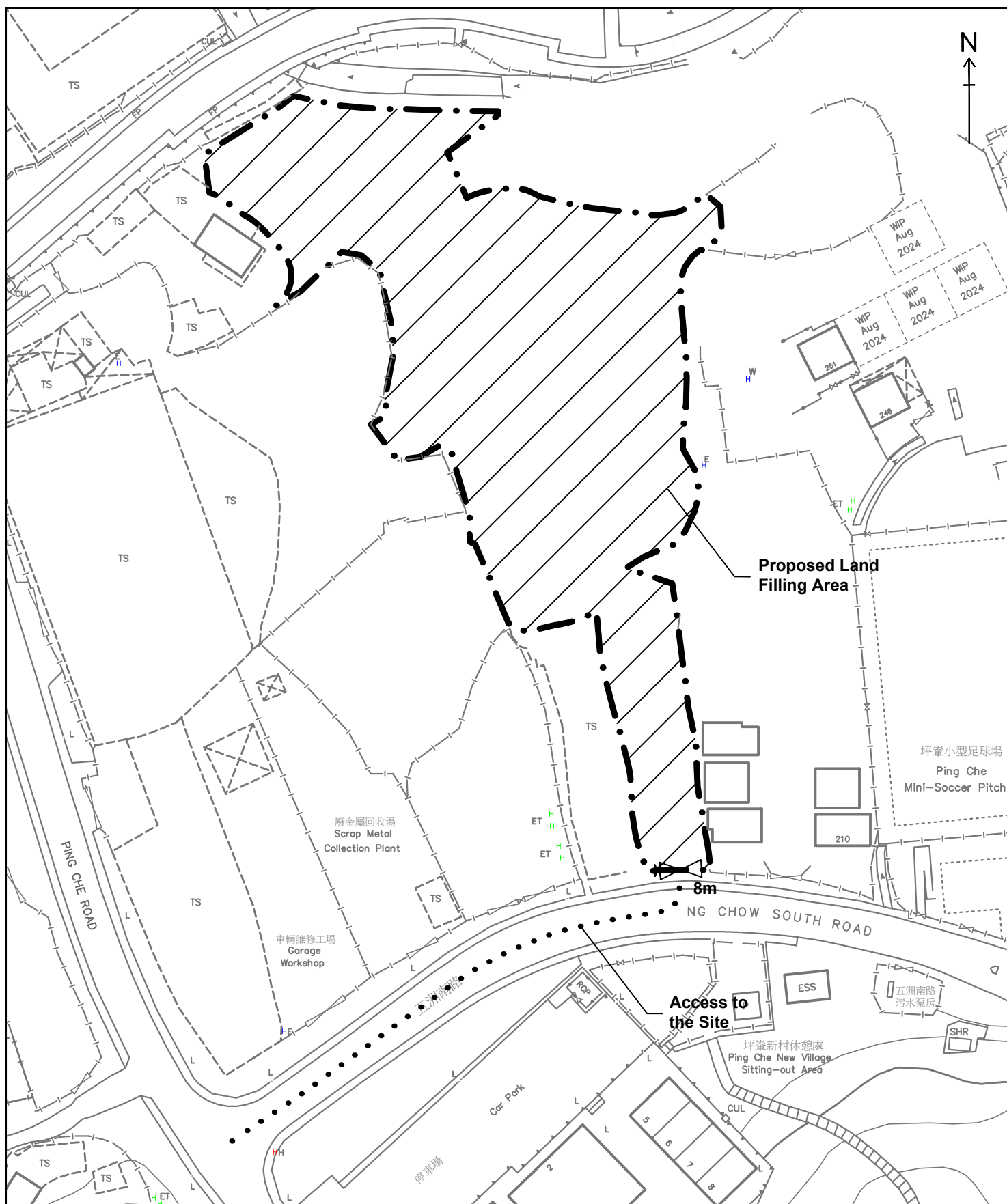


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#### Legend:

- Application Site (about 5,993 sq.m.)
- Proposed Land Filling Area (Area: about 5,993 sq.m., Depth: not more than 0.2m (about +14.6mPD))  
Filling Materials: Concrete

Land Filling Plan

Figure 5

Scale 1:1000

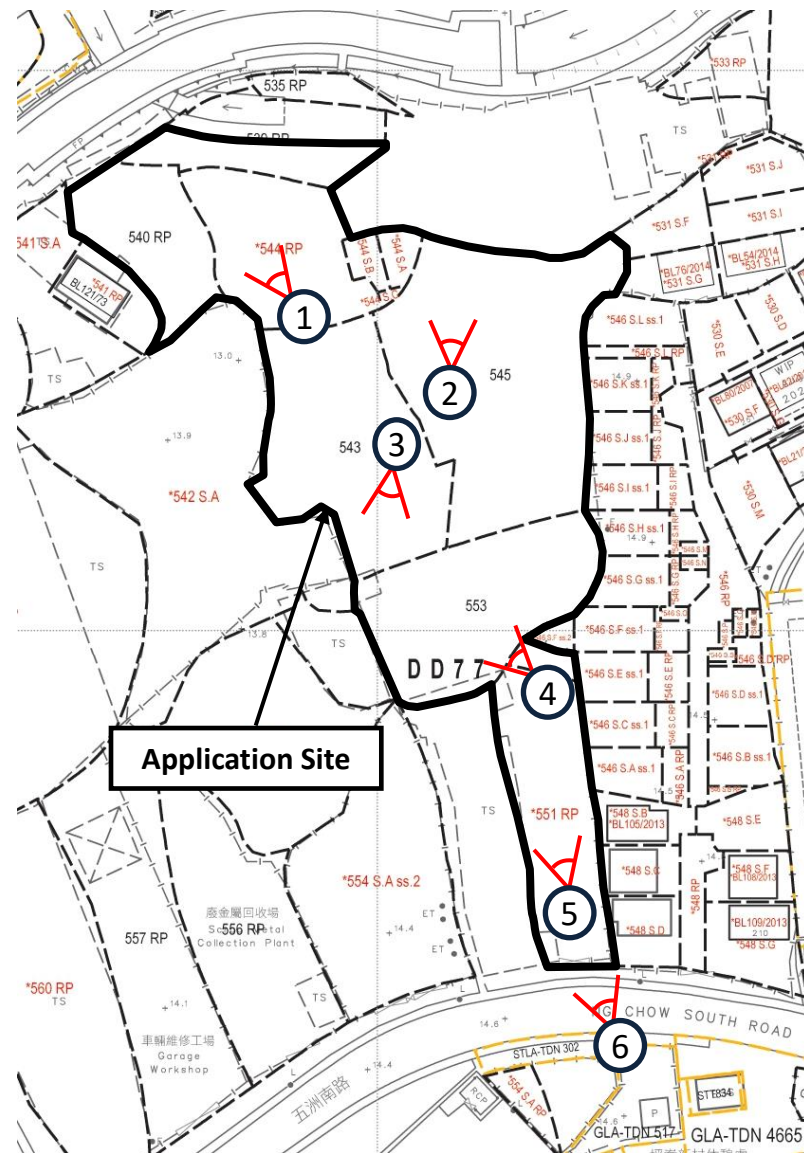


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## Site Photos

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#### Legend:

-  Viewpoint of the Photo
-  Photo No.



Existing Condition of the Application Site

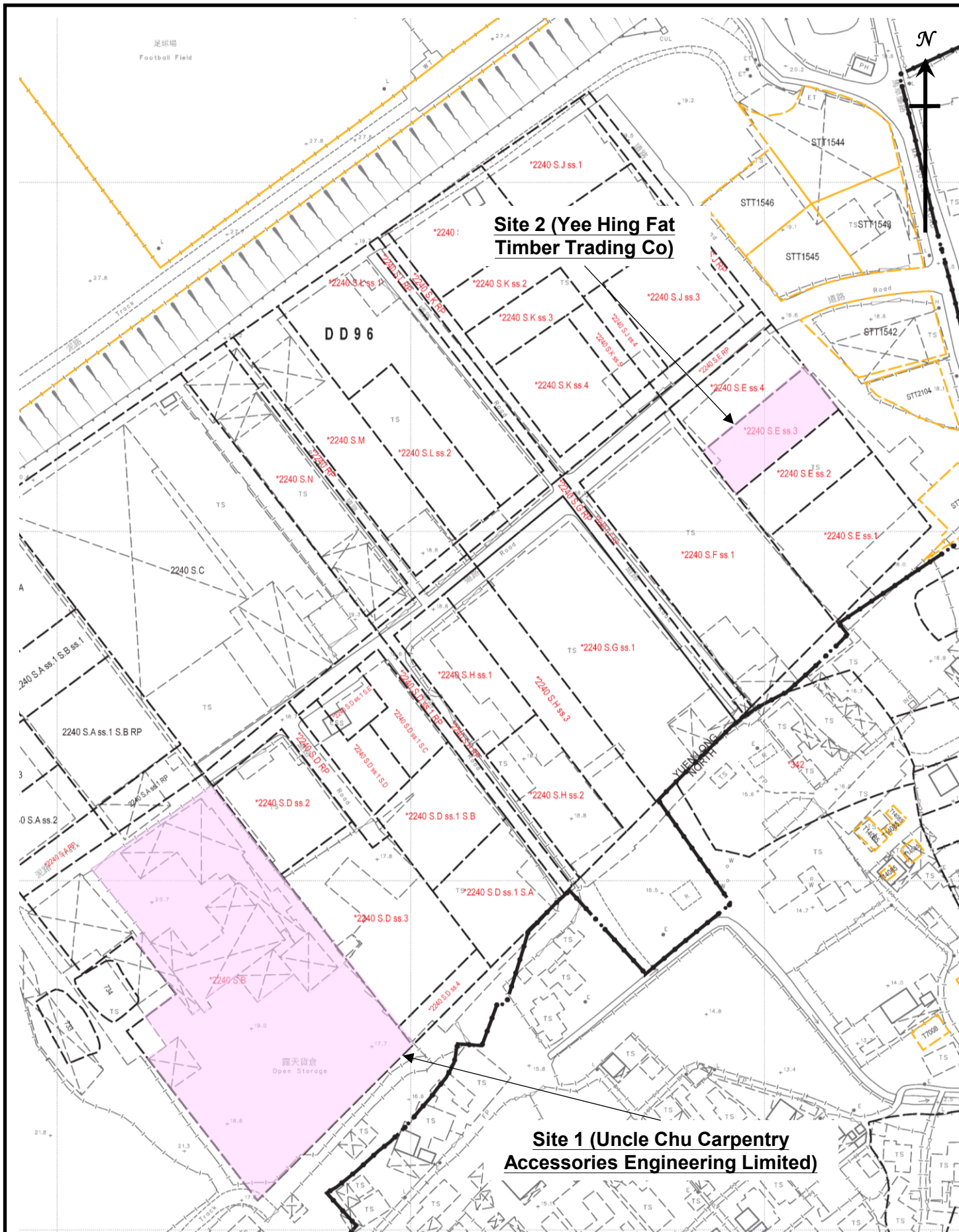
Site Photos



# Appendix 1

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Conditions of the Applicants' Previous Operation Sites in  
Ma Tso Lung, Kwu Tung North, N.T.



Location Plan

Condition of the Applicants' Previous  
Operation Sites in Ma Tso Lung,  
Kwu Tung North, N.T.

Appendix 1

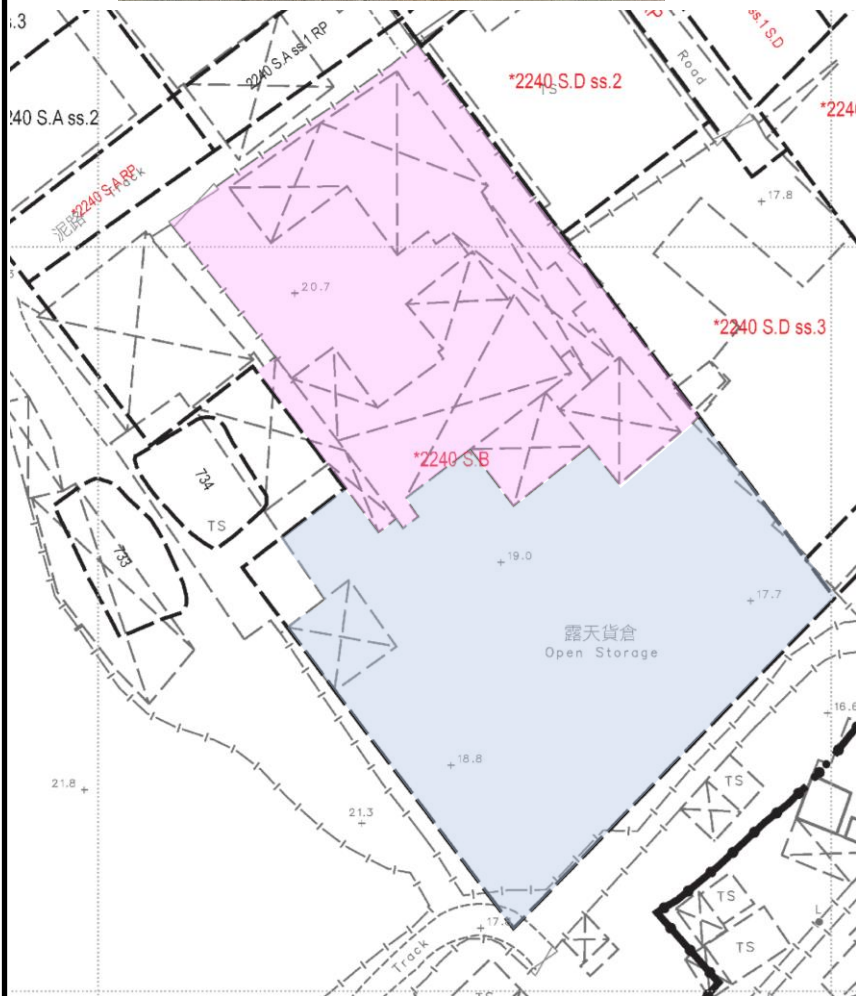
Not to Scale



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**Applicants' Previous Operation Site**  
**Site 1 - Uncle Chu Carpentry**  
**Accessories Engineering Limited**



**Legend**

- Operation area sole used by the Applicant  
(about 2,400 sq.m.)
- Operation Area shared with adjoining operator  
(about 2,800 sq.m.)

Lot No.: Lot No. 2240 S.B (Part) in D.D. 96, Kwu Tung North, N.T.  
 Site Area: About 5,200 sq.m. (subject to survey)

Condition of the Applicants' Previous  
 Operation Site (Site 1) in Ma Tso Lung,  
 Kwu Tung North, N.T.

Appendix 1

Not to Scale



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**Applicants' Previous Operation Site**  
**Site 2 - Yee Hing Fat Timber Trading Co.**



Lot No.: Lot No. 2240 S.E ss.2 in D.D. 96, Kwu Tung North, N.T.  
 Site Area: About 584 sq.m.

Condition of the Applicants' Previous  
 Operation Site (Site 2) in Ma Tso Lung,  
 Kwu Tung North, N.T.

Appendix 1

Not to Scale



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 Estate Agency Licence No. C-006328

## Appendix 2

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Letters from Lands Department on Land Resumption

電話 Tel: 3547 0710

圖文傳真 Fax: 3547 0755 / 3547 0756

電郵地址 Email: lee2p@lands.gov.hk

本署檔號 Our Ref: ( ) in LD NDA/POL/8/1/472

來函檔號 Your Ref:

來函請註明本署檔號

Please quote our reference in your reply

B/U no.: 96b



地政總署  
工程項目組  
PROJECTS SECTION  
LANDS DEPARTMENT

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.

新界上水龍琛路 39 號上水廣場 15 樓 1501 至 1510 室  
UNITS 1501-10, LEVEL 15, LANDMARK NORTH,  
39 LUNG SUM AVENUE, SHEUNG SHUI, NEW  
TERRITORIES.

網址 Website: www.landsd.gov.hk

掛號郵遞

朱伯木作配料工程有限公司  
朱潤昌先生

朱潤昌先生：

### 古洞北及粉嶺北新發展區第一階段工程項目

閣下於新界古洞北丈量約份第 96 約地段第 2240 號 B 分段的業務受古洞北及粉嶺北新發展區（下稱「新發展區」）第一階段工程影響。

地政總署（下稱“本署”）曾於 2019 年 2 月 20 日與閣下會面及於 2019 年 7 月 24 日與閣下公司的朱先生電話通話，簡介業務經營者的特惠津貼安排及申請處理流程。現特函通知閣下的業務經營的遷出限期，以及閣下業務經營的特惠津貼申請狀況。

#### **遷出限期**

本署在 2019 年 9 月 26 日於新發展區第一階段工程範圍內的私人土地張貼收地通告，列明 2019 年 12 月 27 日為該等私人土地歸還政府的日期（下稱「歸還日期」）。正如政府多次強調，該歸還日期只是土地業權歸還政府的日期，**並不是土地佔用人（包括業務經營者）須遷出的限期。**

為了讓受影響的業務經營者有更多緩衝時間，經參考工程的施工時序，本署將安排工程範圍內的土地佔用人分階段遷離所處地點。就閣下的業務經營而言，**遷出限期約為 2021 年第 4 季。**

**Letter from Lands Department dated 21.11.2019 confirming that  
Uncle Chu Carpentry Accessories Engineering Limited was affected  
by the First Phase Development of Kwu Tung North NDA**



管制登記／牌照紀錄或清拆前登記中所記錄的面積計算，以較小者為準。

本署職員雖然多次與閣下聯絡和發信給閣下，但至今閣下仍未提交相關證明文件。故此，本署現階段無法進一步處理閣下業務經營的特惠津貼申請。如果閣下希望提交相關證明文件以繼續申請業務經營的特惠津貼，請盡快聯絡本署職員，以便跟進。

如受影響的業務經營者不合資格申領或不接受特惠津貼，而其業務運作無違反地契條款，可以就土地被收回而蒙受的損失，根據有關條例向政府提出法定補償申索。

#### 查詢

如有查詢，請於辦公時間聯絡本署工程項目組李振星先生（電話：3547 0710）。

35470722 (伍)

地政總署

總產業測量師／工程項目組  
(李振星 代行)



2019 年 11 月 21 日

**Letter from Lands Department dated 21.11.2019 confirming that  
Uncle Chu Carpentry Accessories Engineering Limited was affected  
by the First Phase Development of Kwu Tung North NDA**



## 彌償書

受文人：地政總署署長

特惠補償：露天／戶外業務經營者的特惠津貼

工程項目：收回土地條例(第 124 章) 收回土地以便進行古洞北新發展區及粉嶺北新發展區計劃 — 前期及第一期

本人 林文發 [香港身份證號碼 [REDACTED]] 及 林潤發 [香港身份證號碼 [REDACTED]]，為 YEE HING FAT TIMBER TRADING CO. (義興發木業公司) (下稱「本公司」) 的授權人仕。

地政總署現擬向本公司發放為數港幣 [REDACTED] 元的特惠津貼，以清理本公司位於丈量約份第 96 約地段第 2240S.E ss.2, 2240S.E ss.3 號(下稱「該土地」)上所作業務經營的土地及構築物(下稱「須清理項目」)。本公司同意以上述特惠津貼為代價，並同意政府在該日後可在不通知本公司的情況下清理須清理項目，並就清理須清理項目所引起或與之有關連的一切法律行動、訴訟、費用、申索及要求等等，向香港特別行政區政府作出彌償。

本公司已停止經營位於該土地上的業務及遷離該土地，並同意及接受地政總署的露天／戶外業務經營者的特惠津貼。

我們獲授權代表本公司已收到地政總署發放給本公司的露天／戶外業務經營者的特惠津貼支票港幣 [REDACTED] 元，以此作為完全及最終解決本公司就政府收回該土地的業務經營所提出的一切及任何申索。

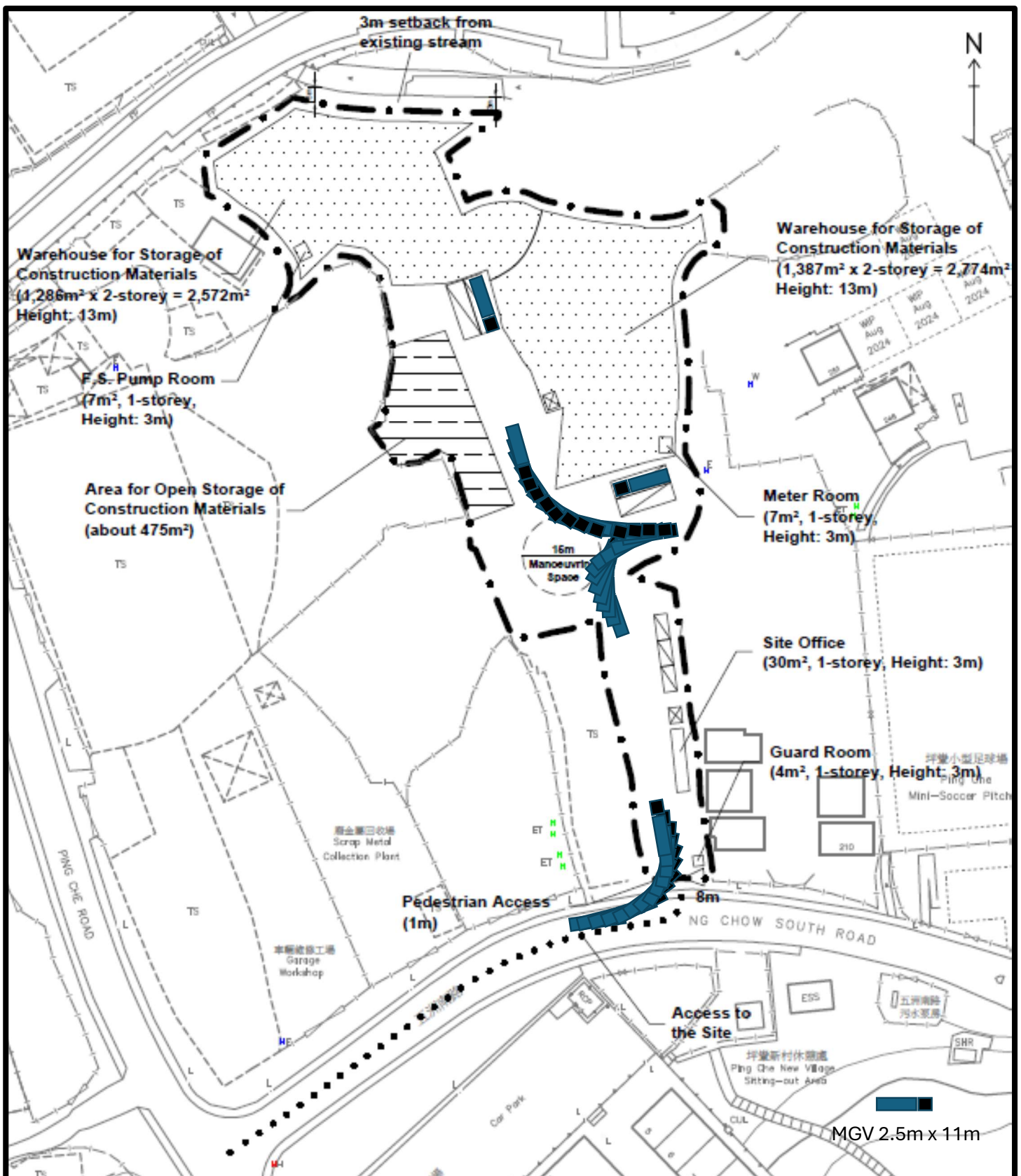
本公司亦謹此保證，倘於上述特惠津貼發放後，有關本公司的特惠津貼申請經證實致令地政總署署長信納有欺詐和不誠實成分或本公司為支持申請而提供的資料失實，本公司會在當局要求下立即向香港特別行政區政府償還上述特惠津貼，另加整筆款項的利息，由本公司收取上述特惠津貼當日計至本公司償還該筆款項當日；利率則由地政總署署長經參考香港三家發鈔銀行不時就 24 小時通知存款所給予的最低利率而決定；否則，香港特別行政區政府可將本公司須償還的款項作為民事債項追討。

**Indemnity Letter by Lands Department for Acceptance of Ex-gratia Allowance of Yee Hing Fat Timber Trading Co.**

# Appendix 3

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## Swept Path Analysis



#### Legend:

- Application Site (about 5,993 sq.m.)
- Warehouse for Storage of Construction Materials
- Toilet (7m<sup>2</sup> each, 1-storey, Height: 3m)
- Loading/Unloading Spaces for Medium Goods Vehicle (3.5m x 11m) (4 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

For Identification Purpose

Swept Path Analysis

Appendix 3

Not to Scale



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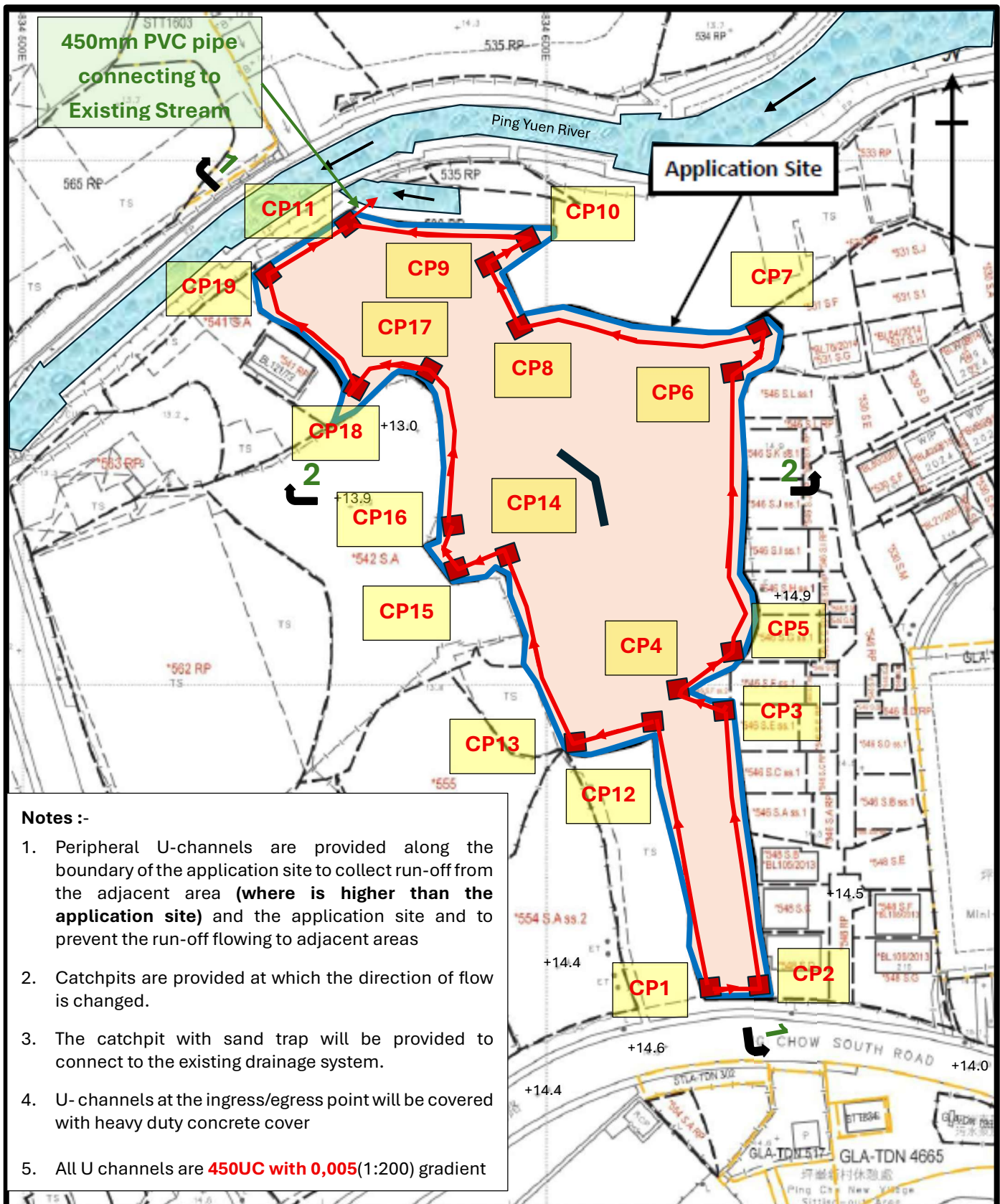


# Appendix 4

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Drainage Proposal



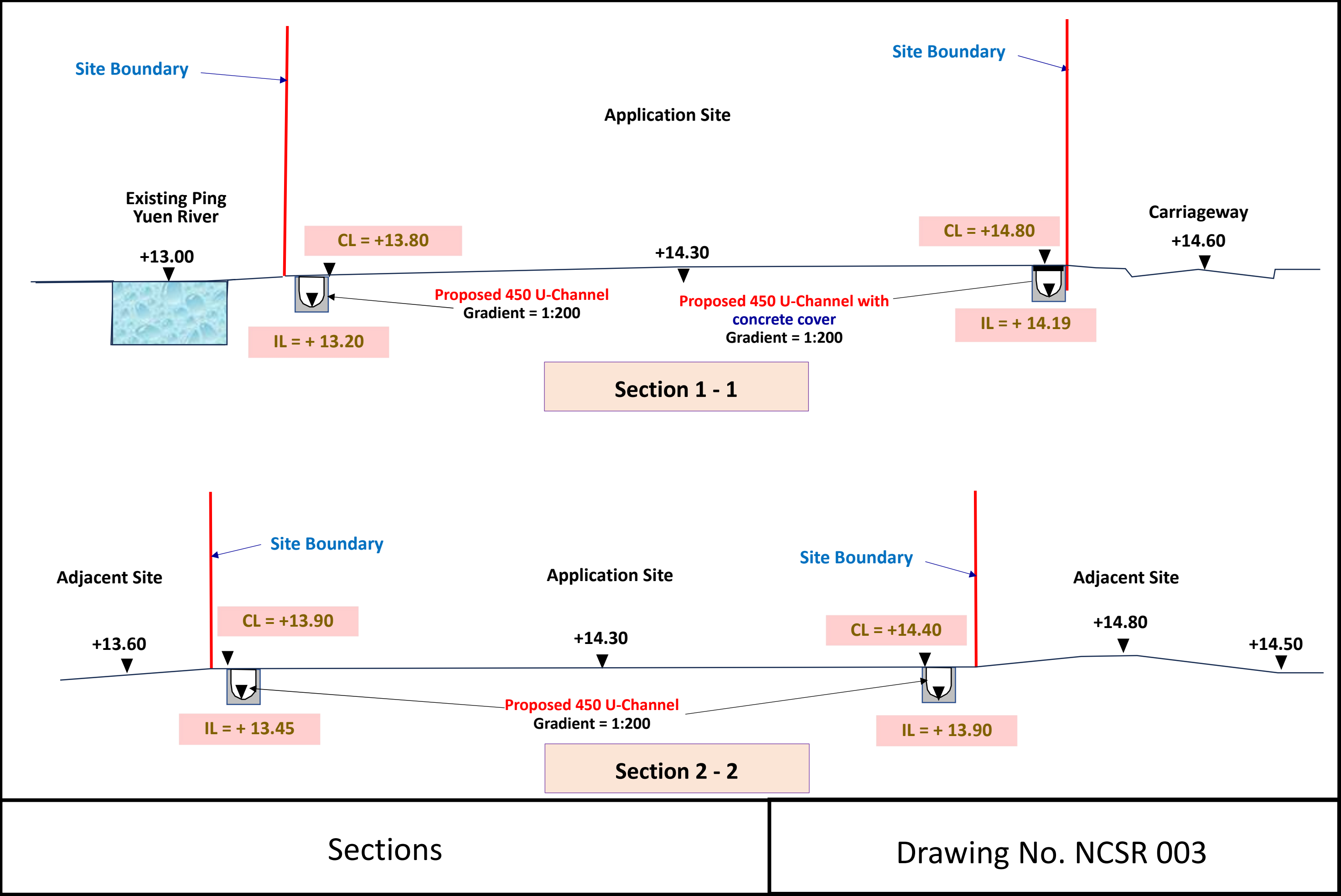


	CP1	CP2	CP3	CP4	CP5	CP6	CP7	CP8	CP9	CP10	CP11 (with Sand Trap)	CP12	CP13	CP14	CP15	CP16	CP17	CP18	CP19
CL	14.80	14.70	14.70	14.70	14.70	14.30	14.30	14.20	14.10	14.00	13.70	14.70	14.70	14.30	14.30	14.30	13.80	13.80	13.70
IL1	14.20	14.18	14.02	14.00	13.99	13.82	13.81	13.71	13.67	13.55	13.25	14.03	13.99	13.89	13.88	13.87	13.35	13.34	13.25
IL2											13.18								
IL out											13.18								

**Drainage Plan**

**Drawing No. NCSR 002**





## Drainage Design for the site near Ng Chow South Road

(10/6/2025)

# DSD - STORMWATER DRAINAGE MANUAL

### 7.5.2 Rational Method

$$Q_p = 0.278 C_i A$$

where  $Q_p$  = peak runoff in  $m^3/s$

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in km<sup>2</sup>

In Hong Kong, a value of  $C = 1.0$  is commonly used in developed urban areas. In less developed areas, appropriate  $C$  values in order to ensure that the design would be fully cost-effective.

Surface Characteristics	Runoff coefficient, C*
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The surface of the site is to be covered by Asphalt, the C value should be 0.85 (mid Point)  
The surface of the adjacent site is covered by Grassland (sandy soil), the C value should be 0.15.

### 6.6.1 Village Drainage and Main Rural Catchment Drainage Channels

‘Village Drainage’ refers to the local stormwater drainage system within a village. A stormwater drain conveying stormwater runoff from an upstream catchment but happens to pass through a village may need to be considered as either a ‘Main Rural Catchment Drainage Channel’ or ‘Village Drainage’, depending on the nature and size of the upstream catchment. In any case, the impact of a 50-year event should be assessed in the planning and design of village drainage system to check whether a higher standard than 10 years is justified. **50 Years is used.**

Table 2d – Intensity-Duration-Frequency (IDF) Relationship of North District Area  
for durations not exceeding 240 minutes

Duration (min)	Extreme Intensity (mm/h) for various Return Periods T (year)						
	2	5	10	20	50	100	200
240	29.0	38.2	44.5	50.7	59.1	65.6	72.3
120	42.4	54.9	63.2	71.2	81.8	89.8	97.8
60	62.0	77.1	86.1	94.3	104	111	118
30	85.7	103	113	122	133	141	148
15	108	129	141	151	164	173	182
10	120	141	155	168	187	203	219
5	139	162	177	192	214	231	251

Notes:

1. based on continuous rainfall recorded at GEO rain gauges N05 (40 years), N34 (24 years), N46 (24 years), N33 (24 years), N35 (24 years), N36 (24 years), N45 (24 years) and HKO rain gauges EPC (31 years), SSH (20 years), TKL (38 years), R24 (40 years), R29 (39 years), R30\_KAT (34 years), SEK (27 years) up to 2023.
2. rainfall IDF relationships are derived from regional frequency analysis of extreme rainfall of local rain gauges.
3. the trends of the extreme rainfalls observed at HKO Headquarters are used to infer the trends at other locations.

i (rainfall intensity) = 133mm/hr ( Duration of 30min is used)

## Calculations of U-channel

$$Q_p = 0.278 C_i A$$

C1 = 0.85 (Asphalt) (Application Site)

C2 = 0.15 (Grassland (sandy soil) (Adjacent Site)

$$i = 133 \text{ mm/hr}$$

A1 = 5,993m<sup>2</sup> (0.005993km<sup>2</sup>) (Application Site)

A2 = 800m<sup>2</sup> (0.000800km<sup>2</sup>) (Adjacent Site,)

$$Q_p = 0.278 \times 133 \times ((0.85 \times 0.005993) + (0.15 \times 0.0008)) \times 1.1$$

(Allow 10% extra Flow for the deficiency of channel size)

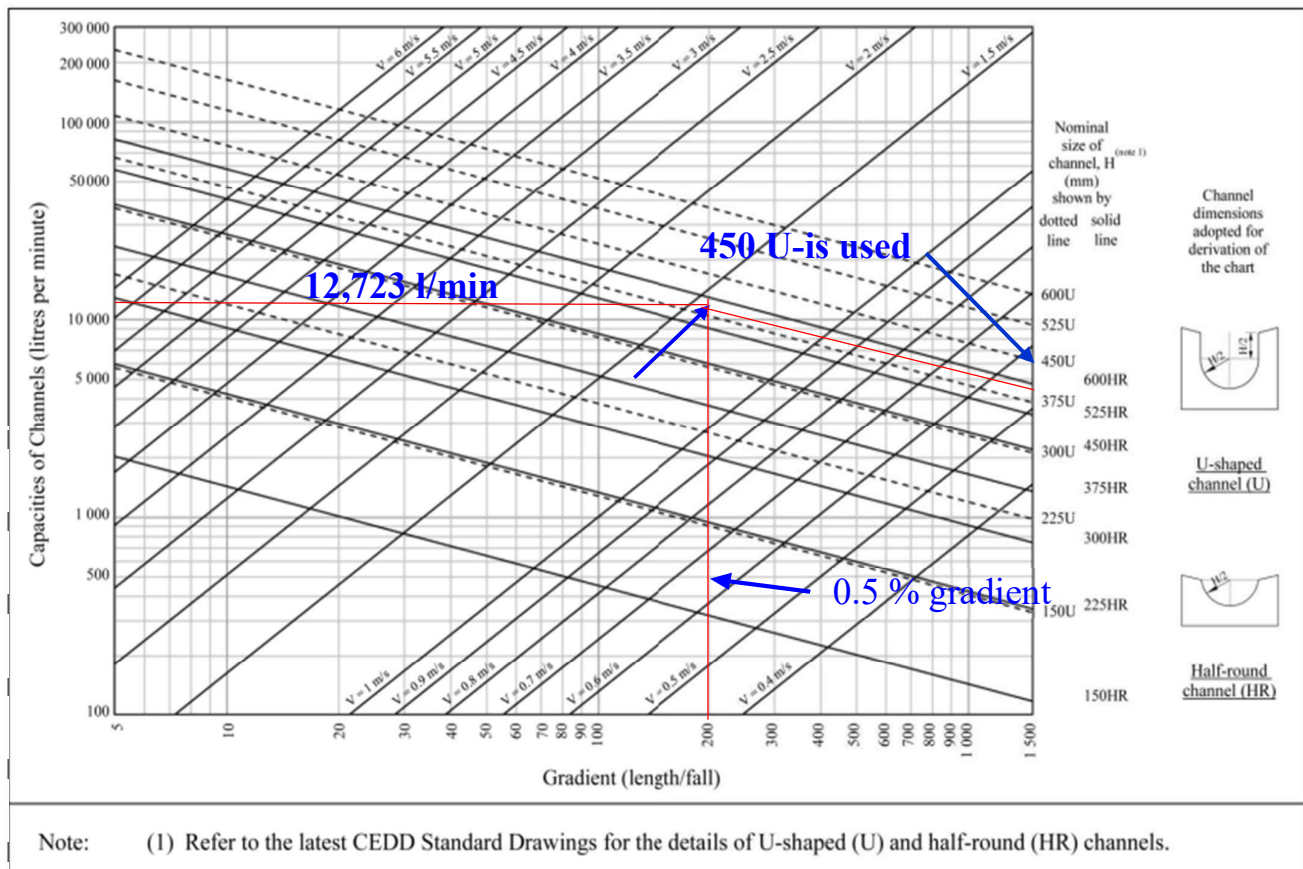
$$Q_p = 0.212 \text{ m}^3/\text{s} \text{ or } 12,723 \text{ l/min}$$

For conservative calculations, all catchment areas are combined for calculation of all U-Channels.



# GEO Technical Guidance Note No. 43 (TGN 43) Guidelines on Hydraulic Design of U-shaped

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



For 12,723 l/min, 450 U-channel with 0.5% gradient is used.

# Appendix 5

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Fire Service Installations Proposal

FIRE SERVICES NOTES

1. HOSE REEL SYSTEM
- 1.1 MODIFIED HOSE REEL SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICE INSTALLATIONS & EQUIPMENT 2022.
- 1.2 WATER SUPPLY FOR THE MODIFIED HOSE REEL SYSTEM TO BE SINGLE END FEED FROM THE GOVERNMENT TOWN MAIN.
- 1.3 NO FIRE SERVICES INLET TO BE PROVIDED FOR THE MODIFIED HOSE REEL SYSTEM.
- 1.4 A MODIFIED HOSE REEL SYSTEM OF 2,000 LITRES WATER TANK TO BE PROVIDED FOR THE PREMISES AS INDICATED ON PLAN.
- 1.5 TWO HOSE REEL PUMPS (ONE DUTY & ONE STANDBY) SHALL TO BE PROVIDED IN FS PUMP ROOM AS INDICATED ON PLAN.
- 1.6 SUFFICIENT HOSE REELS SHALL BE PROVIDED TO THE PREMISES AS INDICATED ON PLANS. HOSE REELS SHALL BE PROVIDED TO ENSURE THAT EVERY PART AND EVERY LEVEL OF THOSE STRUCTURES CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30 M OF HOSE REEL TUBING. ONE ACTUATING POINT AND ONE AUDIO WARNING DEVICE TO BE LOCATED AT EACH HR POINT.

2. SPRINKLER SYSTEM
- 2.1 THE CLASSIFICATION OF THE AUTOMATIC SPRINKLER INSTALLATION TO BE ORDINARY HAZARD GROUP 3.
- 2.2 AUTOMATIC SPRINKLER SYSTEM SHALL SUPPLIED BY AN UNDERGROUND 135,000L SPRINKLER WATER TANK AS INDICATED ON PLAN.
- 2.3 SPRINKLER SHALL BE COVERED TO EVERY PART AND EVERY LEVEL OF THOSE STRUCTURES IN ACCORDANCE WITH LPC RULES INCORPORATING BS EN12845 : 2015 AND FSD CIRCULAR LETTER 5/2020.
- 2.4 SPRINKLER INLET AND SPRINKLER CONTROL VALVE GROUP SHALL BE LOCATED AS INDICATED ON PLANS.
- 2.5 ALL INSTALLED SPRINKLER SHOULD BE CONVENTIONAL TYPE AND THE TEMPERATURE RATING OF SPRINKLER HEAD SHALL BE 68°C UNLESS OTHERWISE SPECIFIED.
- 2.6 ALL SPRINKLER PIPE SIZE SHOULD BE ø32MM UNLESS SPECIFY.
- 2.7 STORAGE BLOCK SHOULD BE SEPARATED BY AISLES NO LESS THAN 2.4M WIDE.
- 2.8 THE MAXIMUM STORAGE AREA SHALL BE 50m² FOR ANY SINGLE BLOCK.
- 2.9 TYPE OF STORAGE METHOD FOR THE BUILDING IS AS FOLLOWS:

i) STORAGE CATEGORY : CATEGORY (III)

ii) STORAGE HEIGHT : NOT EXCEEDING 2.1M

iii) STORAGE : ST1

3. FIRE ALARM SYSTEM
- 3.1 FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT THE ENTIRE COVERED AREA OF WAREHOUSE IN ACCORDANCE WITH BS 5839-1 : 2017 AND FSD CIRCULAR LETTER 6/2021. ONE ACTUATING POINT AND ONE AUDIO WARNING DEVICE SHOULD BE LOCATED AT EACH HOSE REEL POINT. THE ACTUATION POINT SHOULD INCLUDE FACILITIES FOR HOSE REEL PUMP START AND AUDIO / VISUAL WARNING DEVICE INITIATION.
- 3.2 AN ADDRESSABLE TYPE FIRE ALARM PANEL TO BE PROVIDED AND LOCATED INSIDE THE GUARD ROOM NEAR THE MAIN ENTRANCE.
4. EMERGENCY LIGHTING
- 4.1 SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE COVERED AREA OF STRUCTURES IN ACCORDANCE WITH BS 5266-1:2016 AND BS EN 1838:2013 AND FSD CIRCULAR LETTER 4/2021.
- 4.2 EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE WAREHOUSE AND ALL EXIT ROUTES LEADING TO EXIT OF BUILDING.

5. EXIT SIGN
- 5.1 SUFFICIENT DIRECTIONAL & EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 & THE FSD CIRCULAR LETTER NO. 5/2018.
- 5.2 SELF-CONTAINED TYPE DIRECTIONAL AND EXIT SIGNS TO ENSURE THAT ALL EXIT ROUTES FROM ANYWHERE WITHIN THE PREMISES ARE CLEARLY INDICATED AS REQUIRED BY THE CONFIGURATION OF EXIT ROUTE SERVING THE BUILDING.


6. EMERGENCY GENERATOR
- 6.1 NO EMERGENCY GENERATOR TO BE PROVIDED FOR SERVING THE EMERGENCY POWER. A.C. SUPPLY SOURCE WITH SECONDARY SUPPLY SHALL FEED BEFORE MAIN SWITCH.
- 6.2 DUPLICATED POWER SUPPLIES FOR ALL FIRE SERVICES INSTALLATIONS COMPRISING A CABLE CONNECTED FROM ELECTRICITY MAINS DIRECTLY BEFORE THE MAIN SWITCH.


- 7 PORTABLE HAND-OPERATED APPROVED APPLIANCE
- 7.1 PORTABLE FIRE EXTINGUISHER WITH SPECIFIED TYPE AND CAPACITY TO BE PROVIDED AT LOCATIONS AS INDICATED ON PLANS.


- 8 STATIC OR DYNAMIC SMOKE EXTRACTION SYSTEM
- 8.1 SMOKE EXTRACTION SYSTEM SHALL NOT BE PROVIDED AS THE AGGREGATE AREA OF OPENABLE WINDOWS OF THE COMPARTMENT SHALL PROVIDE MORE THAN 6.25% OF THE FLOOR AREA OF THOSE STRUCTURES COMPARTMENTS.


- 9 VENTILATION/AIR CONDITIONING CONTROL SYSTEM
- 9.1 WHEN A VENTILATION/ AIR CONDITIONING CONTROL SYSTEM TO A BUILDING IS PROVIDED, IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN A DESIGNATED FIRE COMPARTMENT.


LEGEND (FOR LAYOUT PLAN)


- 

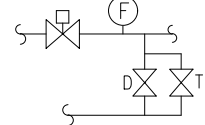
UPRIGHT SPRINKLER HEAD
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PENTENT SPRINKLER HEAD
- 

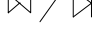
150mm FIRE ALARM BELL
- 


BREAK GLASS UNIT
- 

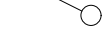
FLOW SWITCH
- 


SUBSIDIARY CONTROL VALVE
- 


SPRINKLER ZONE SUBSIDIARY CONTROL VALVE ASSEMBLY  
INCLUDES ZONE SUBSIDIARY CONTROL VALVE,  
FLOW SWITCH, TEST GATE VALVE AND DRAIN VALVE
- 

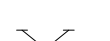
GATE VALVE
- 


NON RETURN VALVE
- 


VORTEX INHIBITOR
- 


BALL FLOAT VALVE
- 


PRESSURE SWITCH
- 


SPRINKLER CONTROL VALVE SET
- 


CHECK METER POSITION
- 


SPRINKLER / F.S. INLET
- 


5Kg CO2 TYPE FIRE EXTINGUISHER
- 


4Kg DRY POWDER TYPE FIRE EXTINGUISHER
- 


PUMP
- 


150mm WATER ALARM GONG
- 

EMERGENCY LIGHTING
- 

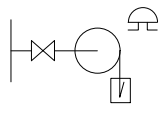
EXIT SIGN
- 


FIRE ALARM PANEL
- 


PUMP CONTROL PANEL
- 

SELF-CONTAINED EMERGENCY  
FLUORESCENT LIGHTING UNIT
- 

FLASH LIGHT

- 

HOSE REEL W/ LOCKABLE GLASS FRONTED NOZZLE  
BOX, STRIKER, C/W FIRE ALARM BELL & BREAK GLASS UNIT  
(SCHEMATIC DIAGRAM)
- 


HOSE REEL W/ LOCKABLE GLASS FRONTED NOZZLE  
BOX, STRIKER, C/W FIRE ALARM BELL &  
BREAK GLASS UNIT
- 


MONITORED GATE VALVE
- 

SPRINKLER HEAD (SCHEMATIC DIAGRAM)
- 

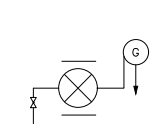
GLOBE VALVE
- 


FLOW METER
- 

VORTEX INHIBITOR
- 


PRESSURE GAUGE WITH COCK
- 


AUTOMATIC AIR VENT WITH COCK
- 


SPRINKLER / HOSE REEL PIPE
- 

SPRINKLER CONTROL VALVE SET (SCHEMATIC DIAGRAM)
- 

LEVEL SWITCH (HIGH LEVEL SIGNAL & LOW LEVEL SIGNAL)
- 

FLEXIBLE CONNECTOR
- 

CHECK METER POSITION
- 

PLUG
- 

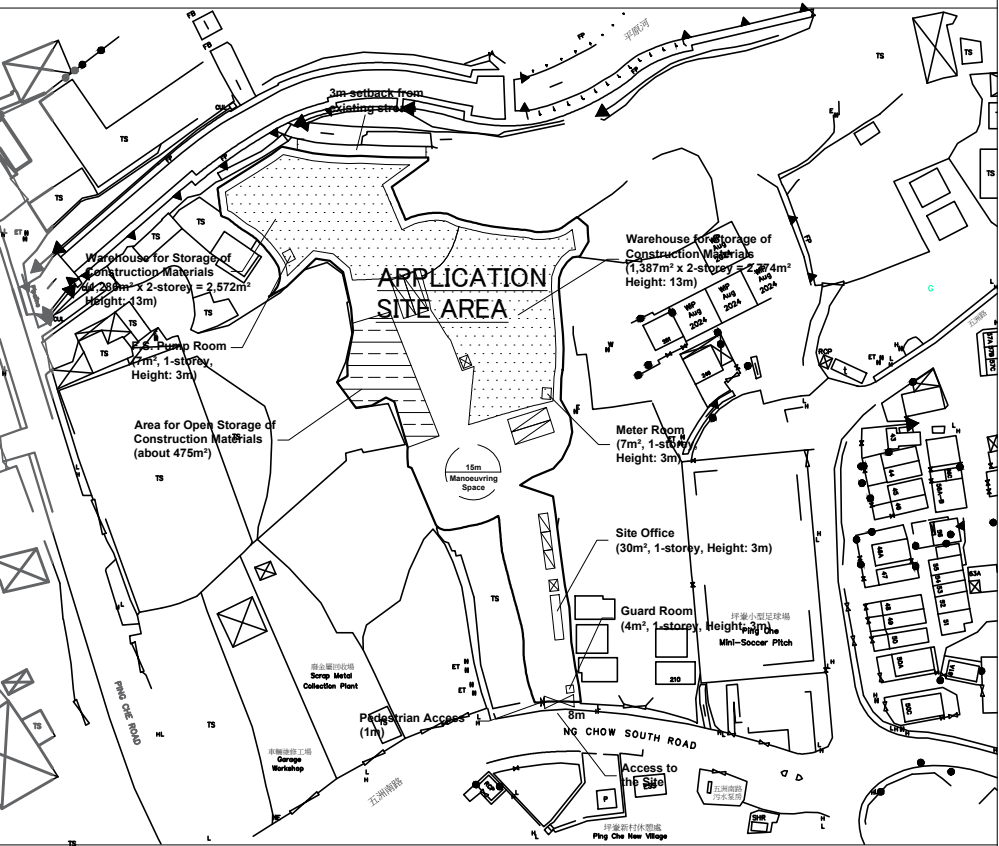
Y-STRAINER
- 

SPRINKLER / F.S. INLET
- 

SPRINKLER PROVING PIPE
- 

SPRINKLER PIPE
- 

F.S. / HOSE REEL PIPE

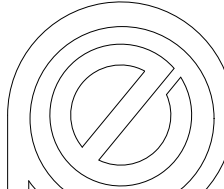


BLOCK PLAN

0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited

 Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

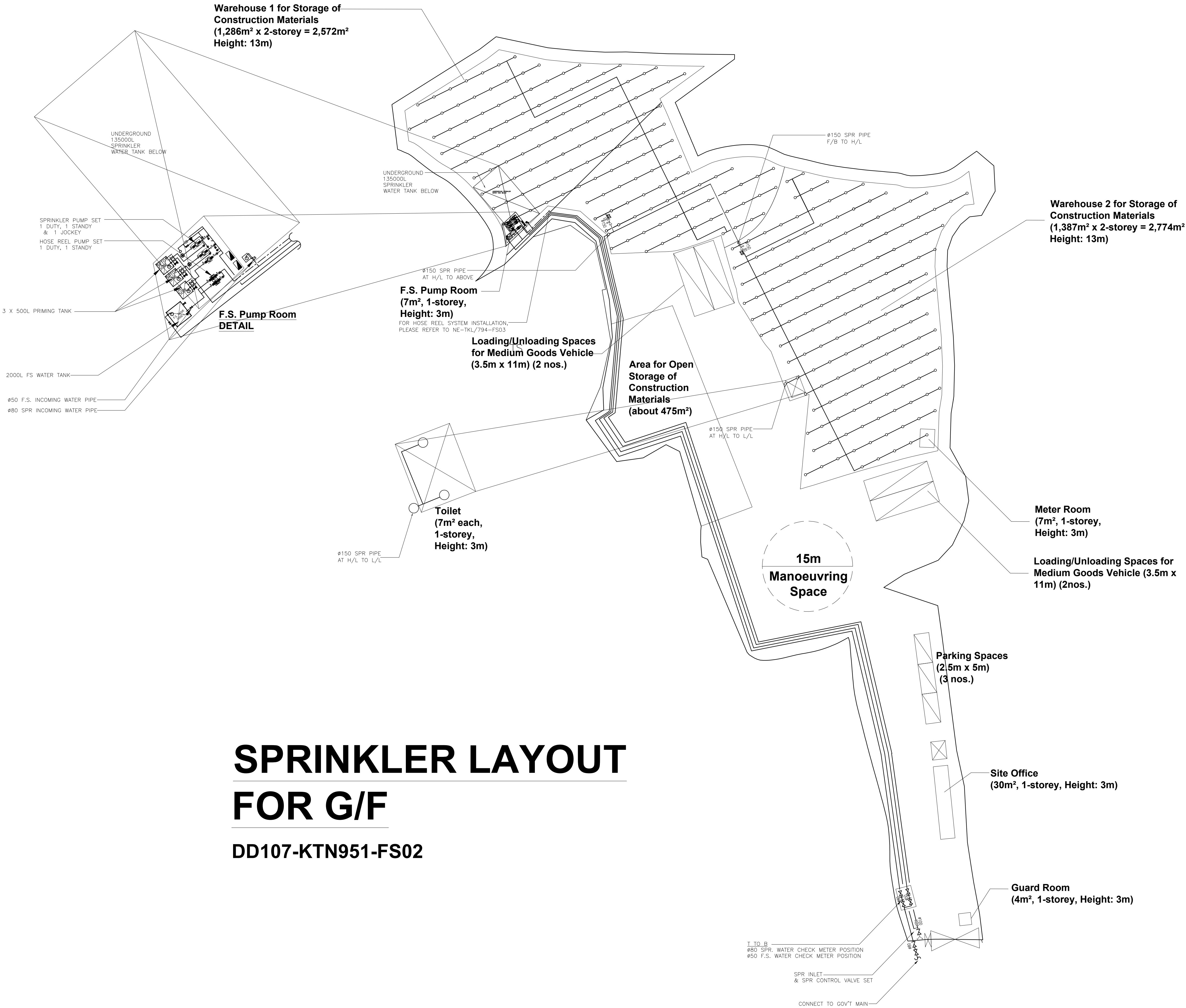
PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS  
LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

DRAWING TITLE

FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

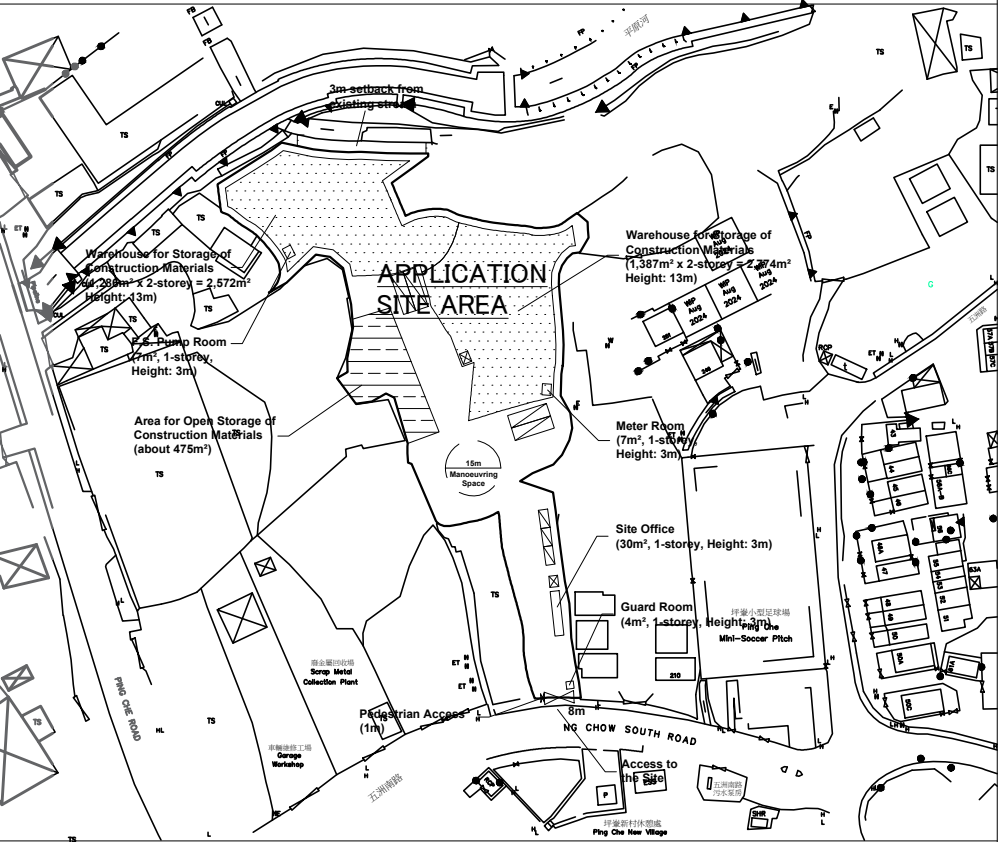
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DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	—	—	—
PROJECT NO.	A/NE-TKL/794		
PAPER SIZE	A1		
DRAWING NO. NE-TKL/794-FS01			
SCALE	NTS	REVISION	0





# SPRINKLER LAYOUT FOR G/F

DD107-KTN951-FS02



BLOCK PLAN

0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited

Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax : 2394-3772 Tel. : 2397-3238

PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS

LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

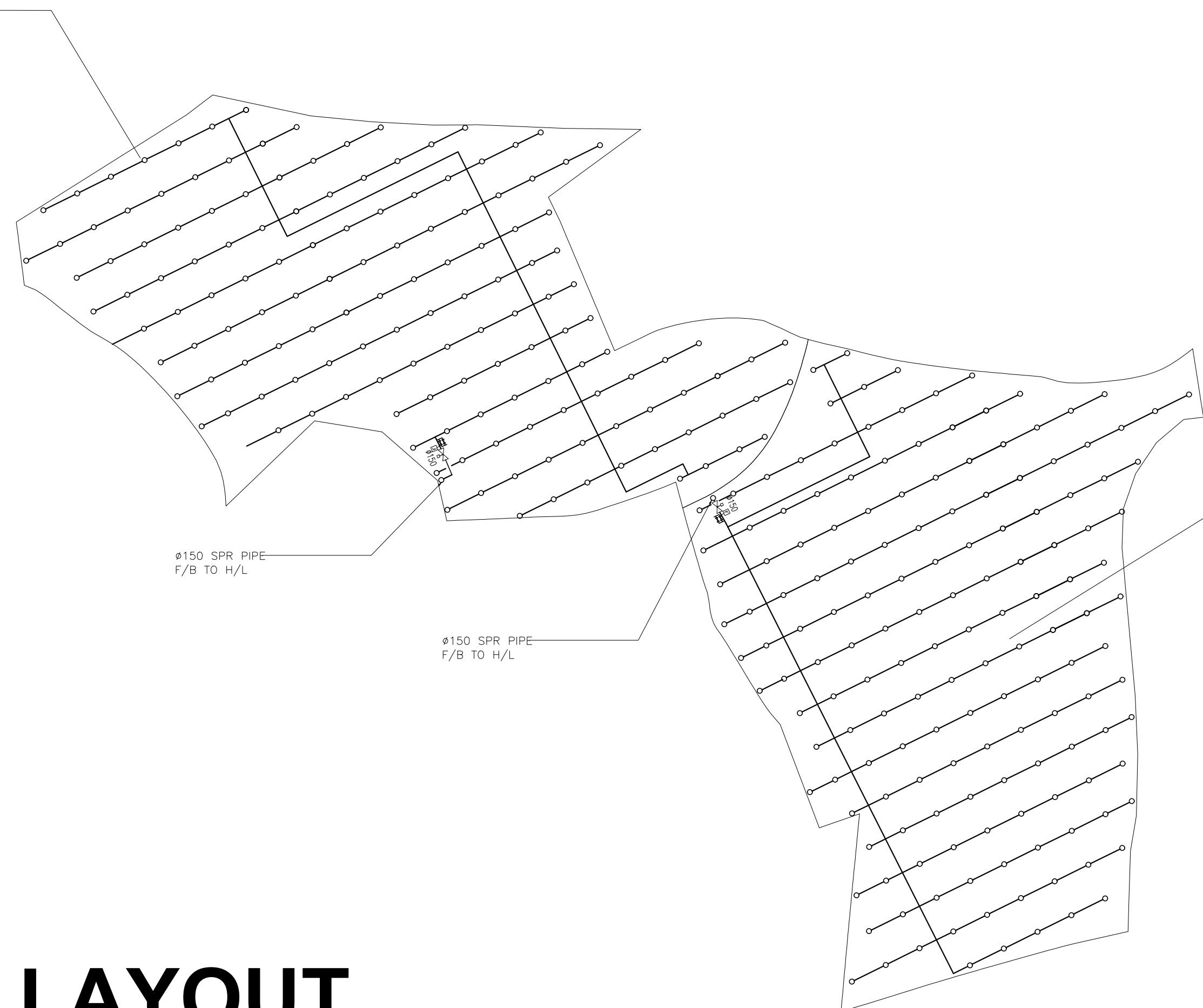
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SPRINKLER WATER SYSTEM FOR G/F

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DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-
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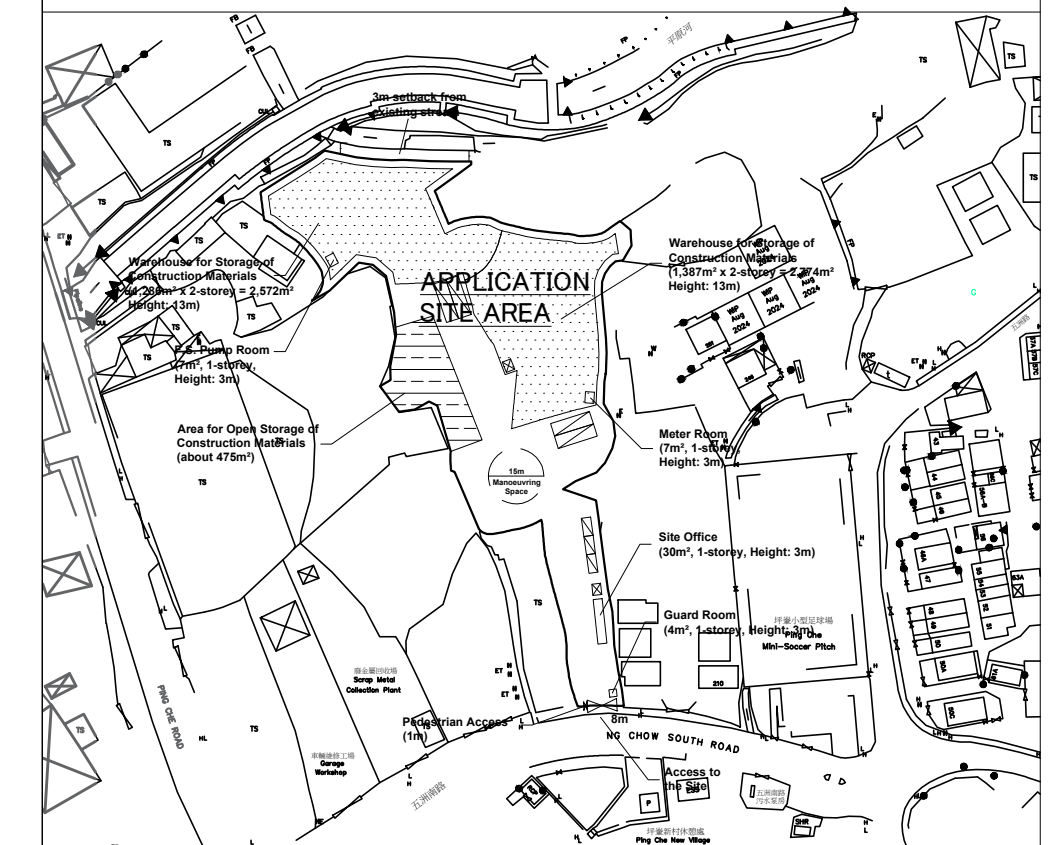






**Warehouse 2 for Storage of Construction Materials**  
(1,387m<sup>2</sup> x 2-storey = 2,774m<sup>2</sup>  
Height: 13m)

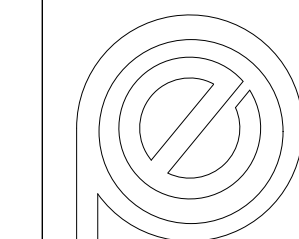
**DD107-KTN951-FS04**

BLOCK PLAN

0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT
---------

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATED FILING OF LAND FOR A PERIOD OF 3 YEARS  
LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

DRAWING TITLE

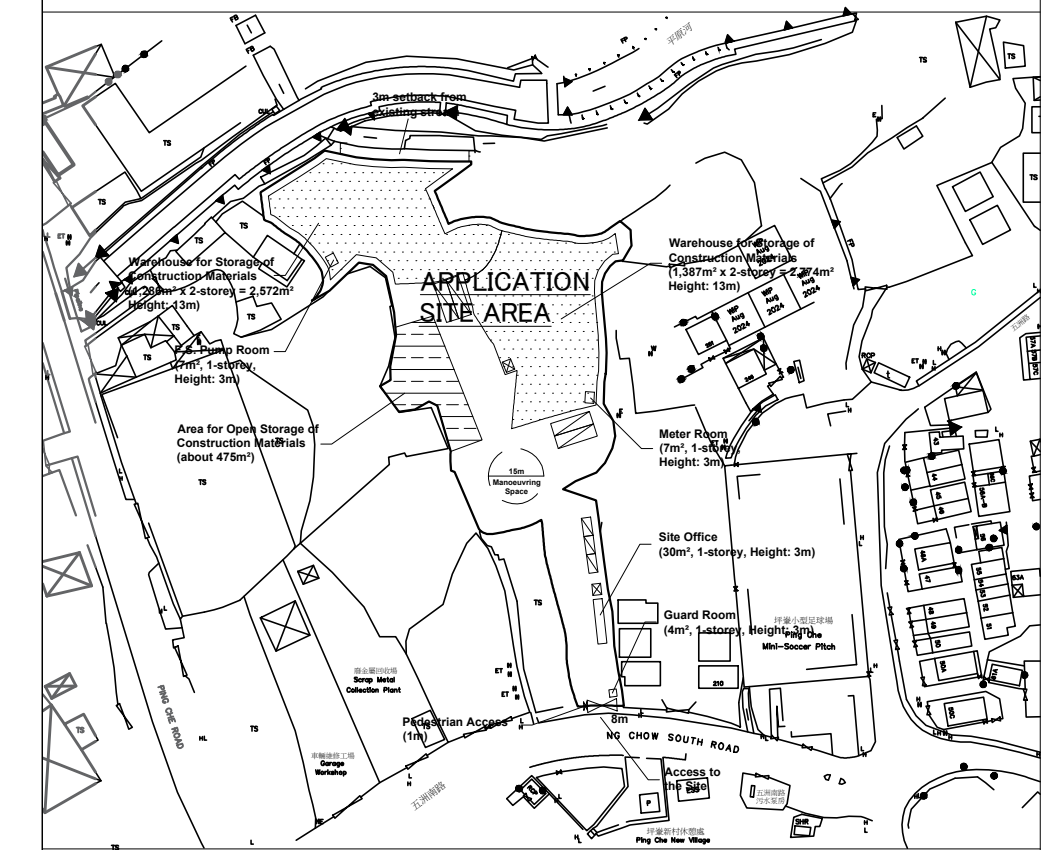
SPRINKLER WATER SYSTEM FOR 1/F

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DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
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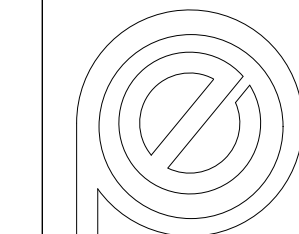
**DD107-KTN951-FS05**

BLOCK PLAN

0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

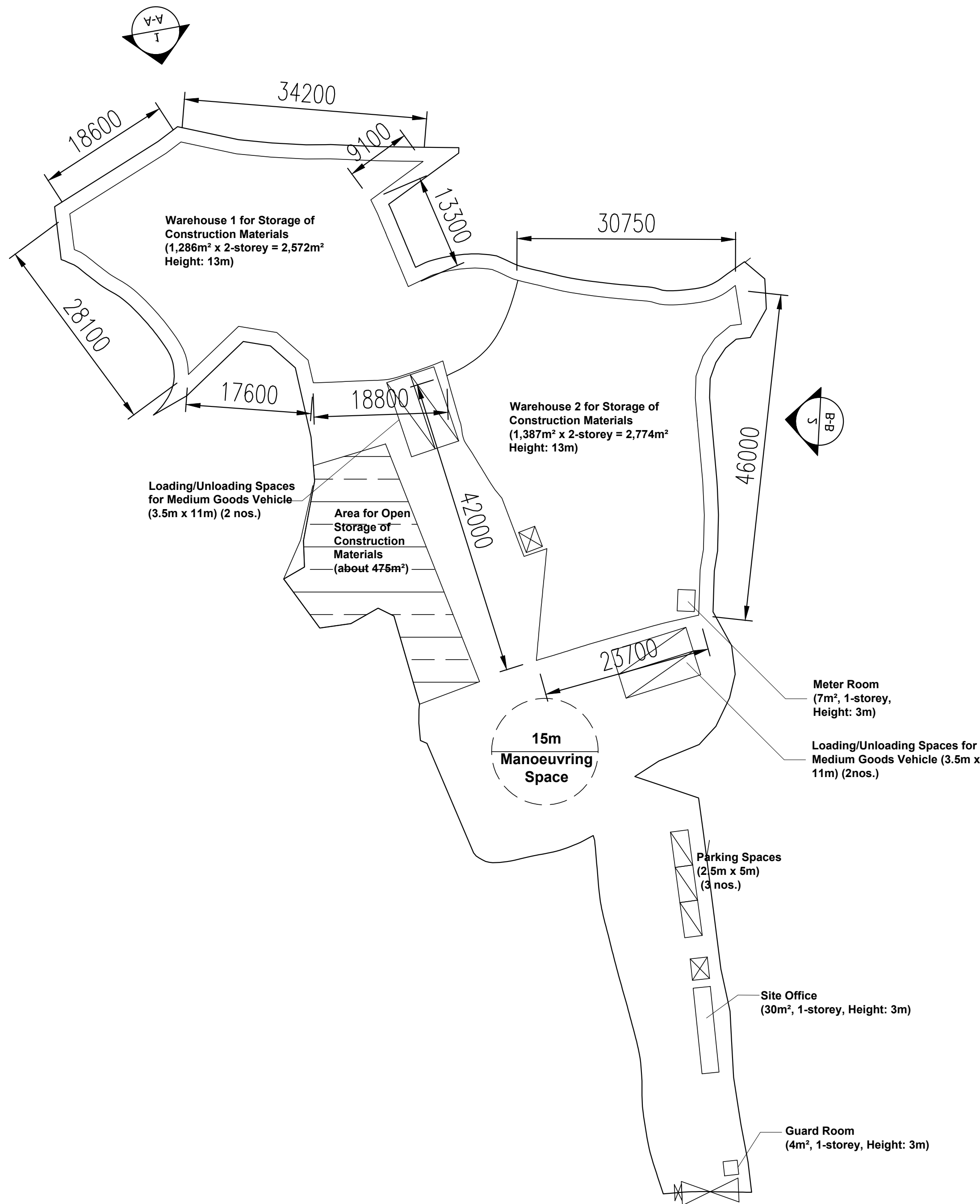
PROJECT
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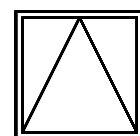
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LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

DRAWING TITLE

FS SYSTEM FOR 1/F

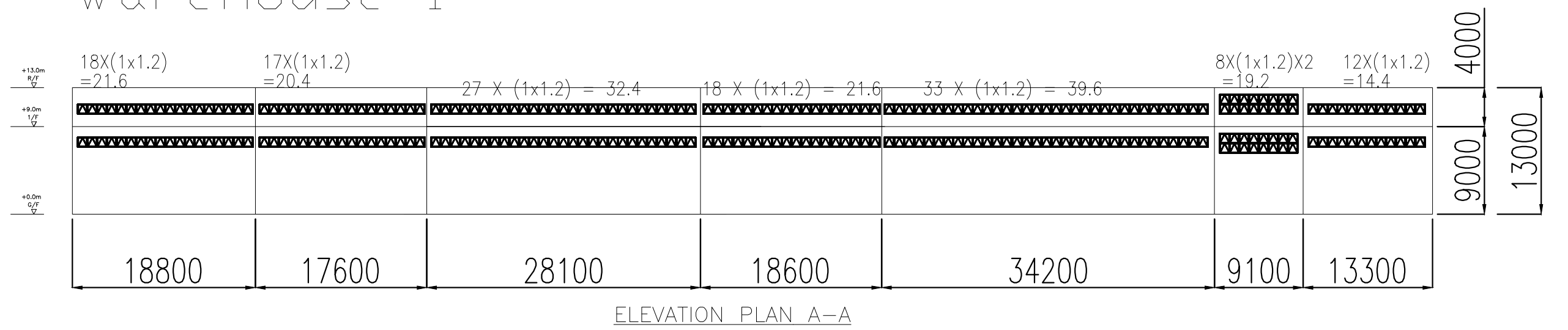
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CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-
PROJECT NO.	A/NE-TKL/794		
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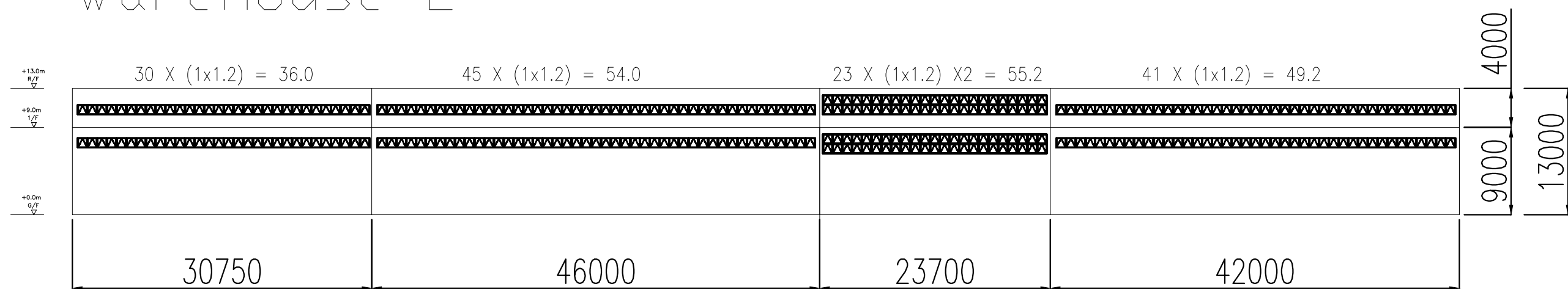
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DETAIL FOR  
OPENABLE WINDOW

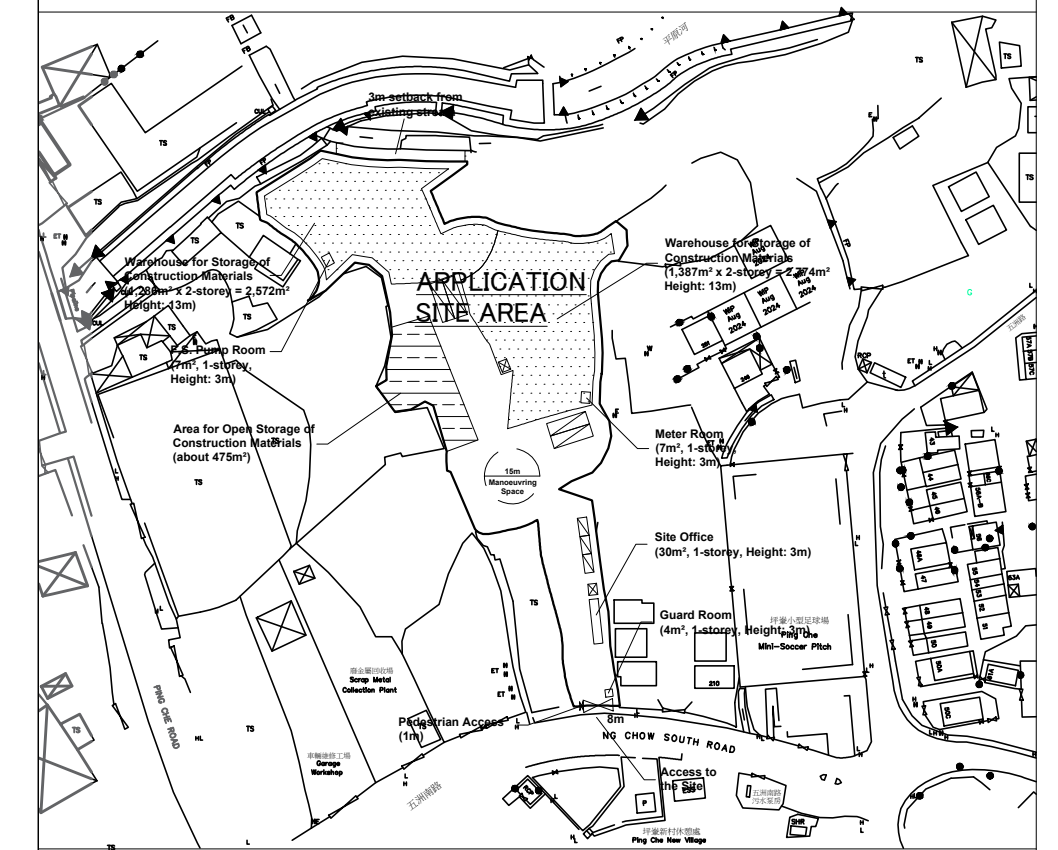
## Warehouse 1



## Warehouse 2



OPENABLE WINDOW AREA CALCULATION UNDER F.S.D. REQUIREMENT FOR COMPARTMENT EXCEEDING 7000 m²				
LOCATION	USABLE FL. AREA FOR EACH FLOOR (m²)	OPENABLE WINDOW AREA REQUIRED FOR EACH FLOOR (m²)	OPENABLE WINDOW AREA PROVIDED FOR EACH FLOOR (m²)	
WAREHOUSE 1	<u>2572</u>	<u>2572</u> X 6.25% = <u>160.75</u>	REFER TO ELEVATION=141 X 1.2 = 169.2	TOTAL = <u>169.2</u> > <u>160.75</u>
WAREHOUSE 2	<u>2774</u>	<u>2774</u> X 6.25% = <u>173.38</u>	REFER TO ELEVATION=162 X 1.2 = 194.4	TOTAL = <u>194.4</u> > <u>173.38</u>



BLOCK PLAN

0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited

Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax : 2394-3772 Tel : 2397-3238

PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS

LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

DRAWING TITLE

OPENABLE WINDOW AREA CALCULATION FOR STRUCTURE

	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-
PROJECT NO.	A/NE-TKL/794		
PAPER SIZE	A1		
DRAWING NO.	NE-TKL/794-W001		
SCALE	1:150	REVISION	0



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**Lawson David & Sung**  
SURVEYORS LIMITED



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**Appendix Ia of RNTPC**  
**Paper No. A/NE-TKL/809**



**宋梓華**  
**Sung Tze Wah**  
FRICS FHKIS MSISV MCIREA ACI Arb RPS (GP)

**李霧儀**  
**Lee Mo Yi**  
MPIA RPP MUDD BA (Hons)

**吳恆廣**  
**Ng Hang Kwong, BBS**  
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Honorary World Valuer (WAVO)

**林桂金**  
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MRICS MHKIS MCIREA RPS(GP) BSc

**宋樹鴻**  
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**Chiu Wai Chi**  
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**Consultant :**

**陳志凌**  
**Elwyn C. Chan**  
RPE PMgr CEnv FIHE FCI OB MICE  
MHKIE MSOE FCI MI MCIArb MSc

**劉志光**  
**Lau Chi Kwong**  
FHKIS FRICS ALS MHKIS RPS(LS) MSc

**潘孝維**  
**Pun How Wai**  
MRIBA

**By Email and Post**

Date : 25 August 2025  
Your Ref.: TPB/A/NE-TKL/809  
Our Ref. : LDS/PLAN/7092

Secretary  
Town Planning Board  
15/F, North Point Government Offices  
333 Java Road  
North Point, Hong Kong

Dear Sir/Madam,

**Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years at Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T.**

**(Application No. A/NE-TKL/809)**

We refer to the comments from various Government departments on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee at [REDACTED]

Yours faithfully,  
For and on behalf of  
**Lawson David & Sung Surveyors Limited**


Encl.

c.c. DPO/STN (Attn.: Ms. Sheren Lee) – By Email  
Client

*Your Assets for Growth*



**Table 1: Responses to Comments from Government Departments on Planning Application No. A/NE-TKL/809 (25 August, 2025)**

COMMENTS	RESPONSES								
<b>1. Development Bureau (DevB)</b>									
<p>(a) The applicant should provide more information to demonstrate its original size in KTN NDA, and how it is comparable with the size of the application site.</p>	<p>(a) Please note that one of the Applicants, Uncle Chu Carpentry Accessories, had been using the open storage area of Lot 2240 S.B (Part) in D.D.96, in Kwu Tung North (KTN) with other occupiers. The extent of their usage varied based on the seasonal fluctuation of their business demand, in which they had shared the previous operation site with other occupiers in the same lot to split the cost and fully utilize the site.</p> <p>Nevertheless, it should be highlighted that while the Applicants' former operation sites in KTN could use the adjoining Government land for vehicular manoeuvring and loading/unloading spaces, it is not feasible at the Application Site. As such, the larger site area and floor space at the Application Site is required for vehicular manoeuvring and loading/unloading space to allow the Applicants to operate at full capacity.</p> <p>The site area of their former operation sites is as below:-</p> <table data-bbox="1182 1023 2132 1350"> <tr> <th data-bbox="1182 1023 1641 1114">Applicants</th><th data-bbox="1641 1023 2132 1114">Site Area of Former Operation Site (About)</th></tr> <tr> <td data-bbox="1182 1114 1641 1204">Uncle Chu Carpentry Accessories Engineering Limited</td><td data-bbox="1641 1114 2132 1204">2,400 sq.m. + 2,800 sq.m. (shared) = 5,200 sq.m.</td></tr> <tr> <td data-bbox="1182 1204 1641 1295">Yee Hing Fat Timber Trading Company</td><td data-bbox="1641 1204 2132 1295">584.2 sq.m.</td></tr> <tr> <td data-bbox="1182 1295 1641 1350"><b>Total</b></td><td data-bbox="1641 1295 2132 1350"><b>5,784.2 sq.m.</b></td></tr> </table> <p>The total area of their former operation sites (about 5,784.2 sq.m.) is therefore considered at a comparable size with the Application Site (about</p>	Applicants	Site Area of Former Operation Site (About)	Uncle Chu Carpentry Accessories Engineering Limited	2,400 sq.m. + 2,800 sq.m. (shared) = 5,200 sq.m.	Yee Hing Fat Timber Trading Company	584.2 sq.m.	<b>Total</b>	<b>5,784.2 sq.m.</b>
Applicants	Site Area of Former Operation Site (About)								
Uncle Chu Carpentry Accessories Engineering Limited	2,400 sq.m. + 2,800 sq.m. (shared) = 5,200 sq.m.								
Yee Hing Fat Timber Trading Company	584.2 sq.m.								
<b>Total</b>	<b>5,784.2 sq.m.</b>								

COMMENTS	RESPONSES
	5,993 sq.m.).
<b>2. Environmental Protection Department (EPD)</b>	
(a) It is noted that toilets are proposed within the site. Please ask the applicant to provide information on sewage treatment of the effluent produced from the site.	(a) We would like to clarify that septic tanks will be provided on-site to treat the sewage from the proposed toilets. The septic tanks will be designed and constructed in accordance with the ProPECC PN 1/23. Therefore, no adverse sewerage impact is expected from the proposed development.
<b>3. Sha Tin, Tai Po and North District Planning Office, Planning Department (STN DPO)</b>	
(a) Please clarify if the subject site has already been filled partially and if any regularisation of filling of land is required.	(a) We would like to clarify that part of the Application Site has been filled by the previous users and regularization of filling of land is required. To ensure an even flat surface for site formation, parking, loading/unloading and vehicle manoeuvring of the entire site, the proposed development will involve associated filling of land of about 5,993 sq.m. and a depth of not exceeding 0.2m to a level of not more than +14.6mPD.
(b) Along the eastern boundary of the subject site are a number of built Small Houses and sites of approved planning applications for Small House. Please explain how the applicant will mitigate the interface issues.	(b) To minimize any potential interface issues, the Applicants will undertake the following mitigation measures: (i) No workshop activities will be conducted at the Application Site; (ii) The entire site boundary will be fenced off by 2.5m high corrugated metal fencing; (iii) The Application Site will be hard-paved to avoid dust nuisance from vehicle manoeuvring. (iv) The open storage activities will be located at the western part of the site and away from the residential dwellings; (v) There will be no night-time operation. The operating hours will be restricted from 8:30am to 6pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays; and

COMMENTS	RESPONSES
	<p>(vi) Trips for transporting the storage materials to/from the Application Site made by goods vehicles will not be more than 4 round trips daily at non-peak hours (between 10am – 4pm).</p> <p>(vii) The Applicants will follow the environmental measures recommended in the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” issued by EPD. Good site practice will be implemented to further minimize environmental nuisance to the surrounding areas.</p>
<b>4. Drainage Services Department (DSD)</b>	
(a) The submitted drainage proposal does not provide sufficient information as required in DSD’s “Technical Note to Prepare a Drainage Submission”. Hence, should the application be approved, the applicant should submit a revised drainage proposal for her review.	(a) Noted. A revised drainage proposal will be submitted upon approval of the subject application.
<b>5. Fire Services Department (FSD)</b>	
Based on the submitted fire service installations (FSIs) proposal, our comments are as follows:	
(i) The revised Fire Safety Requirements (FSRs) for temporary storage and structures under Planning Application <u>took effect on 2.7.2025</u> and have been published on the FSD website ( <a href="https://www.hkfsd.gov.hk/eng/fire_protection/fs_tss/">https://www.hkfsd.gov.hk/eng/fire_protection/fs_tss/</a> ).	(i) Noted. A revised FSIs proposal is submitted (see <b>Annex 1</b> ).
(ii) Please demarcate the Warehouse 1, Warehouse 2 & 1/F of the structure clearly for appraising their respective FSI provisions;	(ii) Noted. The Warehouse 1, Warehouse 2 & 1/F of the structure have been marked clearly on the drawings.



COMMENTS	RESPONSES
(iii) For any enclosed structures with gross floor area exceeding 230m <sup>2</sup> , Sprinkler System, Stand-alone Fire Detector, Wheeled Type Dry Chemical Fire Extinguisher, Emergency Lighting, Exit Sign shall be installed;	(iii) Noted. Respective FSI provisions shall be installed within enclosed structures with gross floor area exceeding 230m <sup>2</sup> .
(iv) In relation to (iii) above, where two or more stand-alone fire detectors are installed in an enclosed structure, all detectors shall be interconnected (either wired or wirelessly) such that when one of the detectors is triggered, all connected detectors shall sound an alarm simultaneously;	(iv) Noted. See FS Notes 3.6 and 3.7.
(v) Stand-alone fire detectors shall be provided in accordance with the “Stand-alone Fire Detector General Guidelines on Purchase, Installation & Maintenance [Sep 2021]”;	(v) Noted. See FS Notes 3.6.
(vi) Sufficient directional and exit signs shall be provided in accordance with BS 5266-1:2016 and the FSD Circular Letter No. 5/2008;	(vi) Noted. See FS Notes 4.1 and 5.1.
(vii) For power supply to Emergency Lighting (EL) and Exit Sign (ES), please specify the means of backup power supply in the FS notes. If the EL/ES is backed up by self-contained battery, please also specify the duration that the battery could sustain; and	(vii) Noted. See FS Notes 4.1 and 5.1.
(viii) If the applicant self-initiates the provision of Fire Alarm System & Modified Hose Reel System, the standards and specification shall be in accordance with <i>Code of Practice for Minimum Fire Service Installations &amp; Equipment</i> .	(viii) Noted. See FS Notes 1.1 and 3.1.

COMMENTS	RESPONSES
<b>6. Transport Department (TD)</b>	
(a) The applicant shall provide a proposal on the vehicular access arrangement including the run-in / out design for the vehicles leaving / entering the development and shall illustrate the proposal on the layout plan; and	(a) The vehicular access arrangement including the run-in/out design for vehicles leaving/entering the Application Site is shown in <b>Annex 2</b> .
(b) The applicant shall advise the measures for preventing illegal parking of visitors' vehicles outside the subject sites.	(b) The following measures will be adopted by the Applicants to prevent illegal parking of visitors' vehicles outside the Application Site: (i) Sufficient spaces are reserved within the Application Site for parking of visitors' vehicles; (ii) Prior appointment will be arranged for the goods vehicles to deliver the storage materials and for visitors entering the site; (iii) The on-site staff will divert the visitor's vehicles to the designated parking area to avoid queuing outside the Application Site; (iv) No storage materials will be placed at the manoeuvring space to avoid blocking of manoeuvring space within the Application Site.

FIRE SERVICES NOTES

1. HOSE REEL SYSTEM
- 1.1MODIFIED HOSE REEL SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICE INSTALLATIONS & EQUIPMENT 2022.
- 1.2 WATER SUPPLY FOR THE MODIFIED HOSE REEL SYSTEM TO BE SINGLE END FEED FROM THE GOVERNMENT TOWN MAIN.
- 1.3 NO FIRE SERVICES INLET TO BE PROVIDED FOR THE MODIFIED HOSE REEL SYSTEM.
- 1.4 A MODIFIED HOSE REEL SYSTEM OF 2,000 LITRES WATER TANK TO BE PROVIDED FOR THE PREMISES AS INDICATED ON PLAN.
- 1.5 TWO HOSE REEL PUMPS (ONE DUTY & ONE STANDBY) SHALL TO BE PROVIDED IN FS PUMP ROOM AT WAREHOUSE 1 AS INDICATED ON PLAN.
- 1.6 SUFFICIENT HOSE REELS SHALL BE PROVIDED TO THE PREMISES AS INDICATED ON PLANS. HOSE REELS SHALL BE PROVIDED TO ENSURE THAT EVERY PART OF THOSE STRUCTURES CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30 M OF HOSE REEL TUBING. ONE ACTUATING POINT AND ONE AUDIO WARNING DEVICE TO BE LOCATED AT EACH HR POINT.

2. SPRINKLER SYSTEM
- 2.1 THE CLASSIFICATION OF THE AUTOMATIC SPRINKLER INSTALLATION TO BE ORDINARY HAZARD GROUP 3.
- 2.2 AUTOMATIC SPRINKLER SYSTEM SHALL SUPPLIED BY A 135,000L SPRINKLER WATER TANK IN FS PUMP ROOM AT WAREHOUSE 1 AS INDICATED ON PLAN.
- 2.3 SPRINKLER SHALL BE COVERED ALL FLOOR LEVEL FOR WAREHOUSE 1 & 2 WHICH THE GFA EXCEEDING 230m<sup>2</sup> IN ACCORDANCE WITH LPC RULES INCORPORATING BS EN12845 : 2015 AND FSD CIRCULAR LETTER 5/2020.
- 2.4 THE SPRINKLER WATER TANK, SPRINKLER PUMP ROOM, SPRINKLER INLET AND SPRINKLER CONTROL VALVE GROUP SHALL BE AS INDICATED ON PLANS.
- 2.5 ALL INSTALLED SPRINKLER SHOULD BE CONVENTIONAL TYPE AND THE TEMPERATURE RATING OF SPRINKLER HEAD SHALL BE 68°C UNLESS OTHERWISE SPECIFIED.
- 2.6 ALL SPRINKLER PIPE SIZE SHOULD BE Ø32MM UNLESS SPECIFY.
- 2.7 STORAGE BLOCK SHOULD BE SEPARATED BY AISLES NO LESS THAN 2.4M WIDE.
- 2.8 THE MAXIMUM STORAGE AREA SHALL BE 50m² FOR ANY SINGLE BLOCK.
- 2.9 TYPE OF STORAGE METHOD FOR THE BUILDING IS AS FOLLOWS:

▷ STORAGE CATEGORY : CATEGORY (III)

▷ STORAGE HEIGHT : NOT EXCEEDING 2.1M

▷STORAGE : ST1

3. FIRE ALARM SYSTEM
- 3.1 FIREALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICE INSTALLATIONS & EQUIPMENT 2022
- 3.2 A FIRE CONTROL CENTRE WILL BE LOCATED INSIDE GUARD HOUSE ON G/F AT G/F AS INDICATED ON PLAN.
- 3.3 A MAIN FIRE CONTROL PANEL, WHICH RECEIVE FIRE ALARM SIGNALS FROM THE SPRINKLER SYSTEM, MANUAL FIRE ALARM SYSTEM SHALL BE LOCATED AT FIRE CONTROL CENTRE.
- 3.4 ONCE ACTUATION OF FIRE ALARM BELL, ALL THE ALARM BELL OF THE ENTIRE DEVELOPMENT WILL BE SOUNDED.
- 3.5 FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT THE ENTIRE COVERED AREA OF WAREHOUSE IN ACCORDANCE WITH BS 5839-1 : 2017 AND FSD CIRCULAR LETTER 6/2021. ONE ACTUATING POINT AND ONE AUDIO WARNING DEVICE SHOULD BE LOCATED AT EACH HOSE REEL POINT. THE ACTUATION POINT SHOULD INCLUDE FACILITIES FOR HOSE REEL PUMP START AND AUDIO / VISUAL WARNING DEVICE INITIATION.
- 3.6 STAND-ALONE FIRE DETECTION SYSTEM SHALL TO BE PROVIDED IN ACCORDANCE WITH “STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE (SEPT 2021)” AND INSTALLED AS INDICATED ON PLAN.
- 3.7 IN RELATION TO CLASUE 3.5, WHERE TWO OR MORE STAND-ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE DETECTORS IS TRIGGERED, ALL CONNECTED DETECTORS SHALL SOUND AN ALARM SIMULTANEUSLY.

4. EMERGENCY LIGHTING
- 4.1 SUFFICIENT EMERGENCY LIGHTING WITH SELF-CONTAINED 2 HOURS BATTERY BACKUP SHALL BE PROVIDED THROUGHOUT THE COVERED AREA OF STRUCTURES AND ALL EXIT ROUTES LEADING TO EXIT OF BUILDING IN ACCORDANCE WITH BS 5266-1:2016 AND BS EN 1838:2013 AND FSD CIRCULAR LETTER 4/2021.

5. EXIT SIGN
- 5.1 SUFFICIENT DIRECTIONAL & EXIT SIGNS WITH SELF-CONTAINED 2 HOURS BATTERY BACKUP SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 & THE FSD CIRCULAR LETTER NO. 5/2018.
- 5.2 SELF-CONTAINED TYPE DIRECTIONAL AND EXIT SIGNS TO ENSURE THAT ALL EXIT ROUTES FROM ANYWHERE WITHIN THE WAREHOUSE ARE CLEARLY INDICATED AS REQUIRED BY THE CONFIGURATION OF EXIT ROUTE SERVING THE BUILDING.

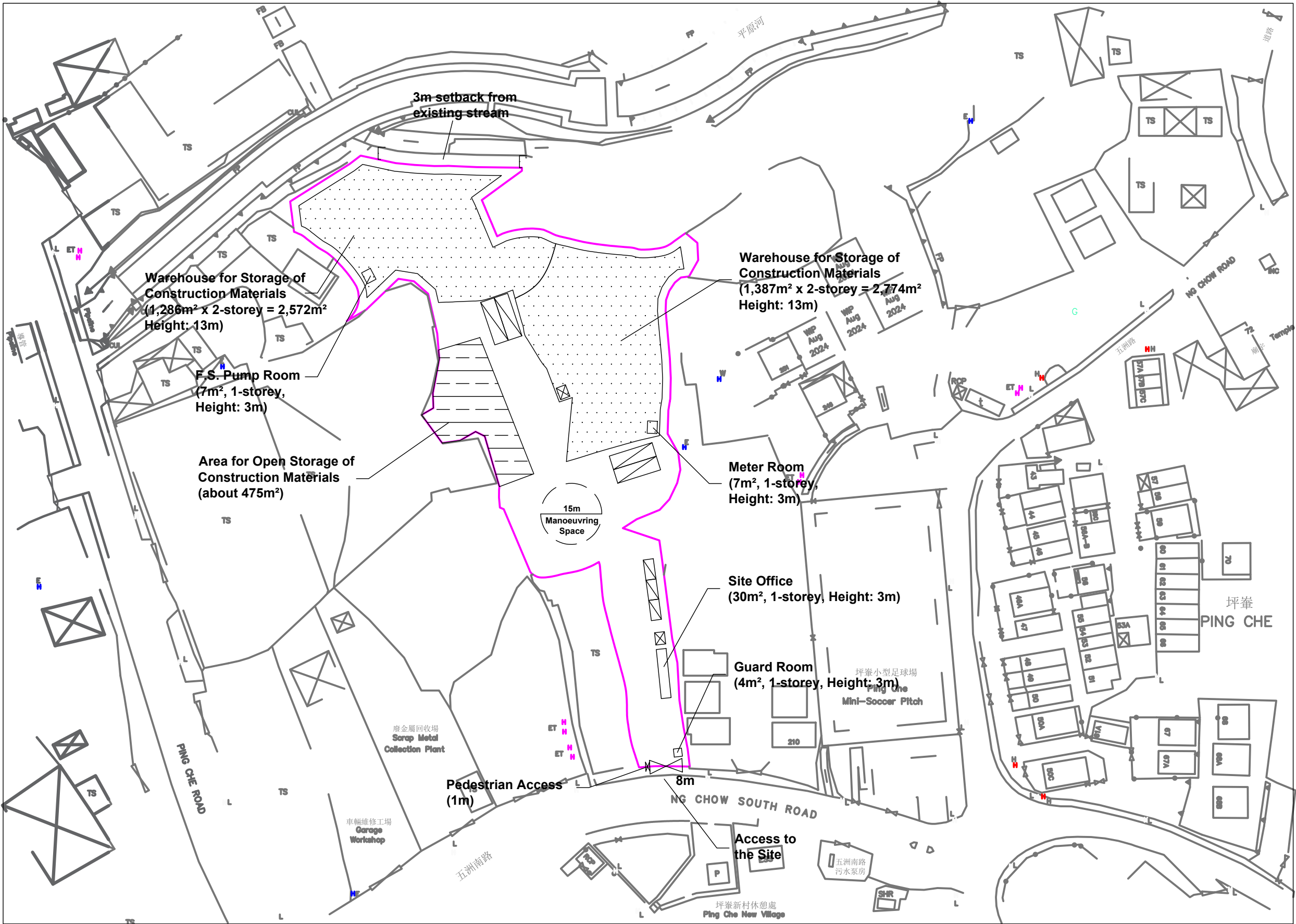
6. EMERGENCY GENERATOR
- 6.1 NO EMERGENCY GENERATOR TO BE PROVIDED FOR SERVING THE EMERGENCY POWER. A.C. SUPPLY SOURCE WITH SECONDARY SUPPLY SHALL FEED BEFORE MAIN SWITCH.
- 6.2 DUPLICATED POWER SUPPLIES FOR ALL FIRE SERVICES INSTALLATIONS COMPRISING A CABLE CONNECTED FROM ELECTRICITY MAINS DIRECTLY BEFORE THE MAIN SWITCH.

- 7 PORTABLE HAND-OPERATED APPROVED APPLIANCE
- 7.1 A SUITABLE TYPE OF PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED IN LOCATIONS WHERE EASILY ACCESSIBLE BY PERSON IN CHARGE WHERE THE F.E. SHALL BE PROVIDED AS INDICATED ON PLAN.
- 7.2 A 20KG WHEELED TYPE DRY CHEMICAL FIRE EXTINGUISHER SHALL BE PROVIDED ON EVERY FLOOR OF WAREHOUSE 1 & 2 AND SHALL BE PROVIDED TO ENSURE THAT EVERY PART OF THE PREMISES CAN BE REACHED BY WHEELED TYPE DRY CHEMICAL FIRE EXTINGUISHER FROM A DISTANCE OF NOT MORE THAN 30M AS INDICATED ON PLAN.
- 8 STATIC OR DYNAMIC SMOKE EXTRACTION SYSTEM
- 8.1 SMOKE EXTRACTION SYSTEM SHALL NOT BE PROVIDED AS THE AGGREGATE AREA OF OPENABLE WINDOWS OF THE COMPARTMENT SHALL PROVIDE MORE THAN 6.25% OF THE FLOOR AREA OF THOSE STRUCTURES COMPARTMENTS.

- 9 VENTILATION/AIR CONDITIONING CONTROL SYSTEM
- 9.1 WHEN A VENTILATION/ AIR CONDITIONING CONTROL SYSTEM TO A BUILDING IS PROVIDED, IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN A DESIGNATED FIRE COMPARTMENT.

ABBREVIATION

SPR.	SPRINKLER	F/A	FROM ABOVE
F.H.	FIRE HYDRANT	F/B	FROM BELOW
H.R.	HOSE REEL	T/A	TO ABOVE
F.E.	FIRE EXTINGUISHER	T/B	TO BELOW
CO <sub>2</sub>	CARBON DIOXIDE	U/G	UNDERGROUND
L.P.C.	LOSS PREVENTION COUNCIL	F.S.	FIRE SERVICES
F.S.I.	FIRE SERVICES INSTALLATION		
H/L	HIGH LEVEL		
M/L	MID LEVEL		
L/L	LOW LEVEL		



DRAWING LIST

DRAWING NO DESCRIPTION

- NE-TKL/794-FS01 FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST
- NE-TKL/794-FS02 SPRINKLER WATER SYSTEM FOR G/F
- NE-TKL/794-FS03 FS SYSTEM FOR G/F
- NE-TKL/794-FS04 SPRINKLER WATER SYSTEM FOR 1/F
- NE-TKL/794-FS05 FS SYSTEM FOR 1/F
- NE-TKL/794-WO01 OPENABLE WINDOW AREA CALCULATION FOR STRUCTURE

LEGEND (FOR LAYOUT PLAN)

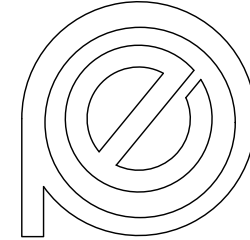
- UPRIGHT SPRINKLER HEAD
- ⊙ PENTENT SPRINKLER HEAD
- ⊘ 150mm FIRE ALARM BELL
- BREAK GLASS UNIT
- ⊕ FLOW SWITCH
- ⊗ SUBSIDIARY CONTROL VALVE
- SPRINKLER ZONE SUBSIDIARY CONTROL VALVE ASSEMBLY INCLUDES ZONE SUBSIDIARY CONTROL VALVE, FLOW SWITCH, TEST GATE VALVE AND DRAIN VALVE
- ⋈ GATE VALVE
- ↯ NON RETURN VALVE
- ⊙ VORTEX INHIBITOR
- ⊕ BALL FLOAT VALVE
- PRESSURE SWITCH
- ⊗ SPRINKLER CONTROL VALVE SET
- |— CHECK METER POSITION
- Y SPRINKLER / F.S. INLET
- ⊕ Co<sub>2</sub> 5Kg CO2 TYPE FIRE EXTINGUISHER
- ⊕ D.P. 4Kg DRY POWDER TYPE FIRE EXTINGUISHER
- WHEEL ⊕ 20KG WHEEL TYPE DRY CHEMICAL FIRE EXTINGUISHER

- PUMP
- ⊕ 150mm WATER ALARM GONG
- ⊕ EMERGENCY LIGHTING
- EXIT EXIT SIGN
- FAP FIRE ALARM PANEL
- PUMP CONTROL PANEL
- |— SELF-CONTAINED EMERGENCY FLUORESCENT LIGHTING UNIT
- ⊗ FLASH LIGHT
- HOSE REEL W/ LOCKABLE GLASS FRONTED NOZZLE BOX, STRIKER, C/W FIRE ALARM BELL & BREAK GLASS UNIT (SCHEMATIC DIAGRAM)
- H.R. HOSE REEL W/ LOCKABLE GLASS FRONTED NOZZLE BOX, STRIKER, C/W FIRE ALARM BELL & BREAK GLASS UNIT
- ⊕ MONITORED GATE VALVE
- ⊕ SPRINKLER HEAD (SCHEMATIC DIAGRAM)
- ⊕ GLOBE VALVE
- FM FLOW METER
- ⊕ VORTEX INHIBITOR
- ⊕ PRESSURE GAUGE WITH COCK
- ⊕ AA.V. AUTOMATIC AIR VENT WITH COCK
- SPRINKLER / HOSE REEL PIPE
- ⊕ SPRINKLER CONTROL VALVE SET (SCHEMATIC DIAGRAM)
- ⊕ LEVEL SWITCH (HIGH LEVEL SIGNAL & LOW LEVEL SIGNAL)
- ⊕ FLEXIBLE CONNECTOR
- |— CHECK METER POSITION
- ⊕ PLUG
- Y Y-STRAINER
- ⊕ SPRINKLER / F.S. INLET
- ⊕ SPRINKLER PROVING PIPE
- ⊕ STAND-ALONE FIRE DETECTOR

1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

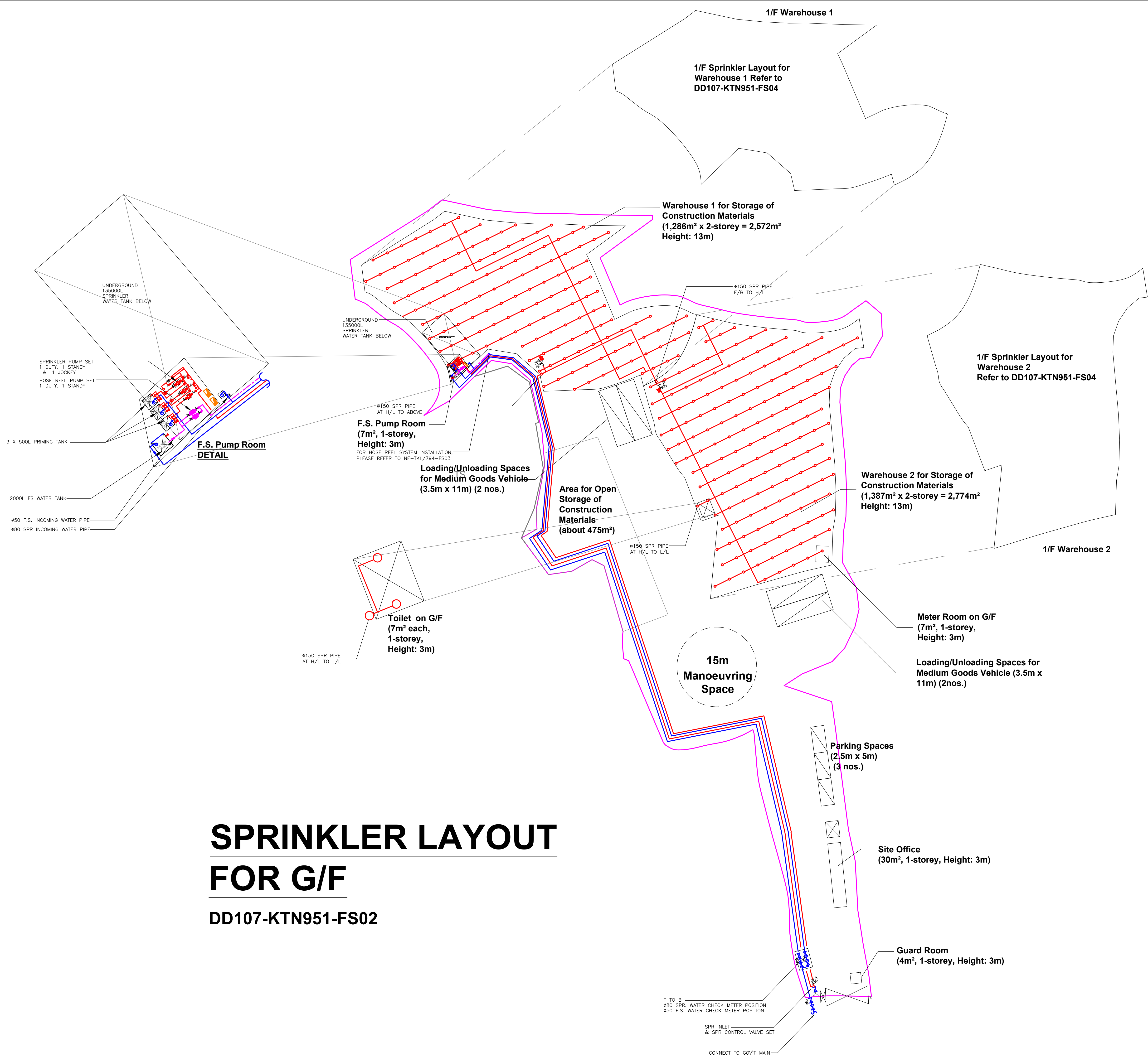
PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS  
LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE			
FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST			
	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	—	—	—
PROJECT NO.	A/NE-TKL/794		
PAPER SIZE	A1		
DRAWING NO.			
NE-TKL/794-FS01			
SCALE	NTS	REVISION	1





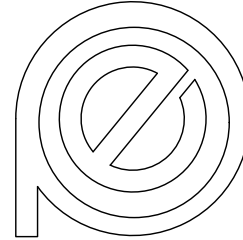
# SPRINKLER LAYOUT FOR G/F

DD107-KTN951-FS02

1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS

LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE

SPRINKLER WATER SYSTEM FOR G/F

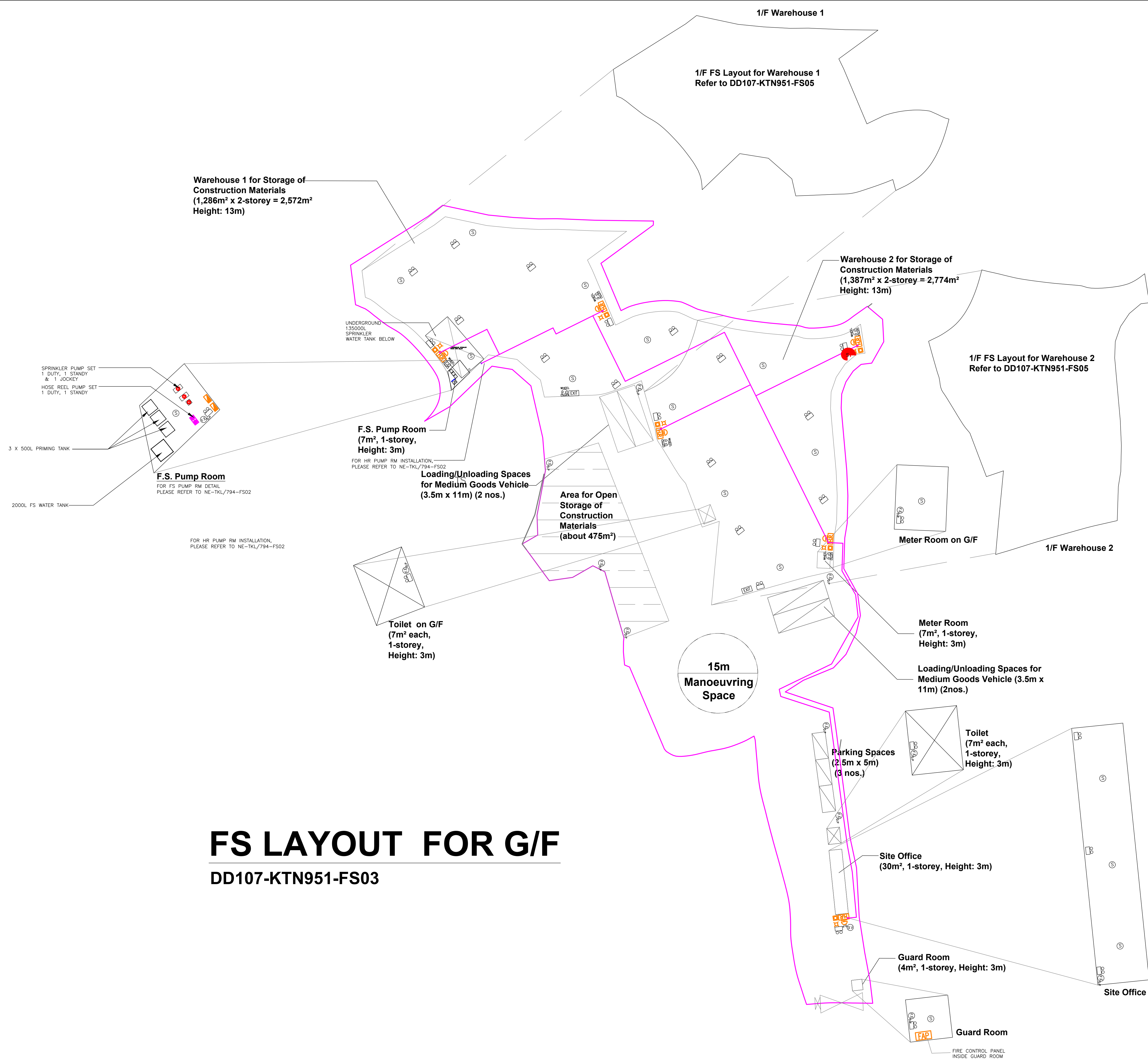
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DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-

PROJECT NO.	A/NE-TKL/794
PAPER SIZE	A1

DRAWING NO.

NE-TKL/794-FS02

SCALE	1:150	REVISION	1
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# FS LAYOUT FOR G/F

## DD107-KTN951-FS03

1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS

LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE

FS SYSTEM FOR G/F

	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-

PROJECT NO.	A/NE-TKL/794
PAPER SIZE	A1

DRAWING NO.

NE-TKL/794-FS03

SCALE	1:150	REVISION	1
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# SPRINKLER LAYOUT FOR 1/F

DD107-KTN951-FS04

1/F OF Warehouse 1 (1,286m² )



ø150 SPR PIPE  
F/B TO H/L

ø150 SPR PIPE  
F/B TO H/L

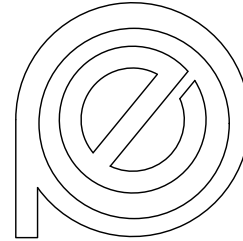
1/F OF Warehouse 2 (1,387m² )



1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS

LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE

SPRINKLER WATER SYSTEM FOR 1/F

	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-

PROJECT NO.	A/NE-TKL/794
PAPER SIZE	A1

DRAWING NO.

NE-TKL/794-FS04

SCALE	1:150	REVISION	1
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1/F OF Warehouse 1 (1,286m² )



1/F OF Warehouse 2 (1,387m² )

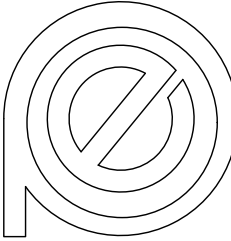
# FS LAYOUT FOR 1/F

DD107-KTN951-FS05


1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

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LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE

FS SYSTEM FOR 1/F

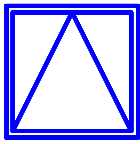
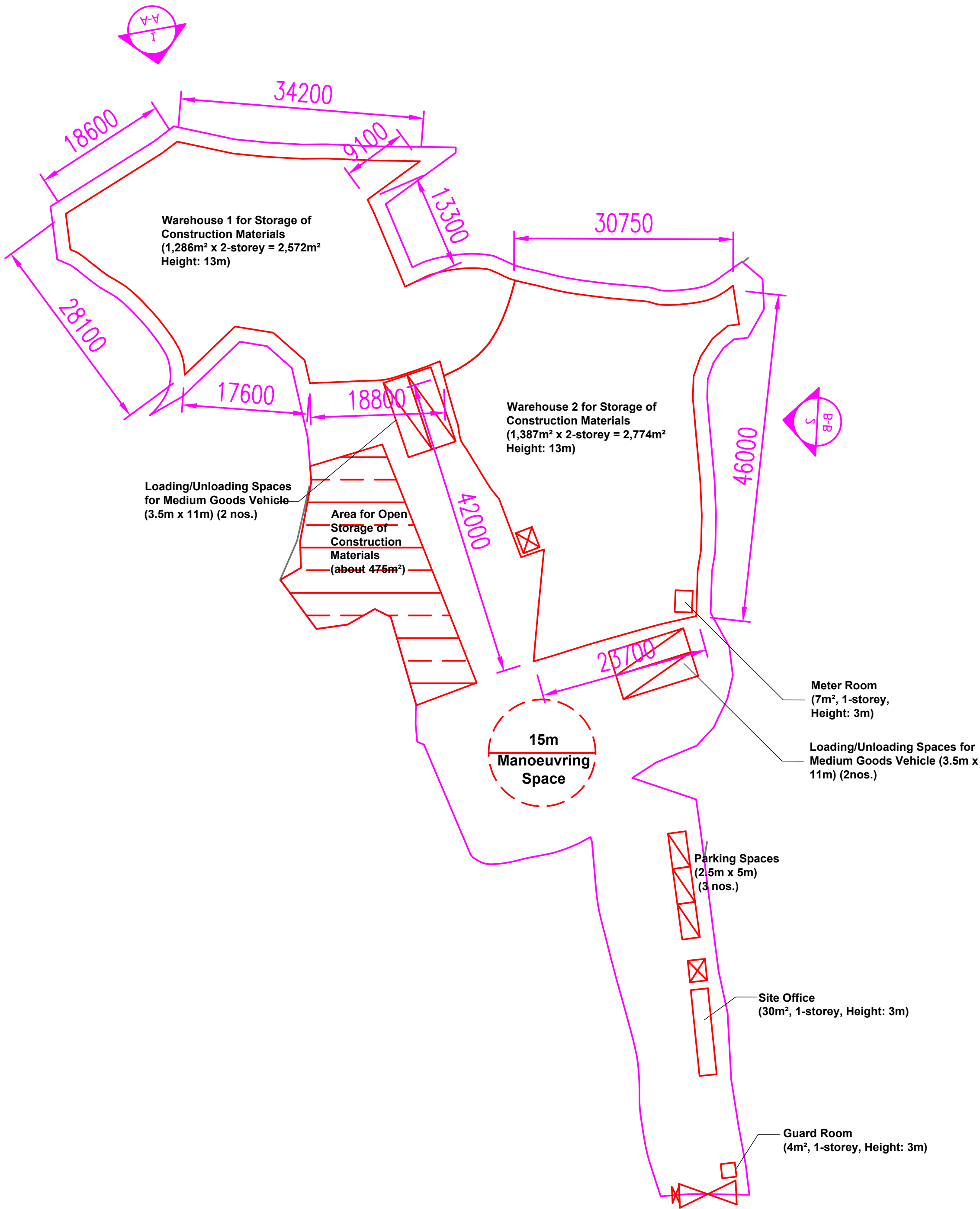
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DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
APPROVED BY	-	-	-

PROJECT NO.	A/NE-TKL/794
PAPER SIZE	A1

DRAWING NO.

NE-TKL/794-FS06

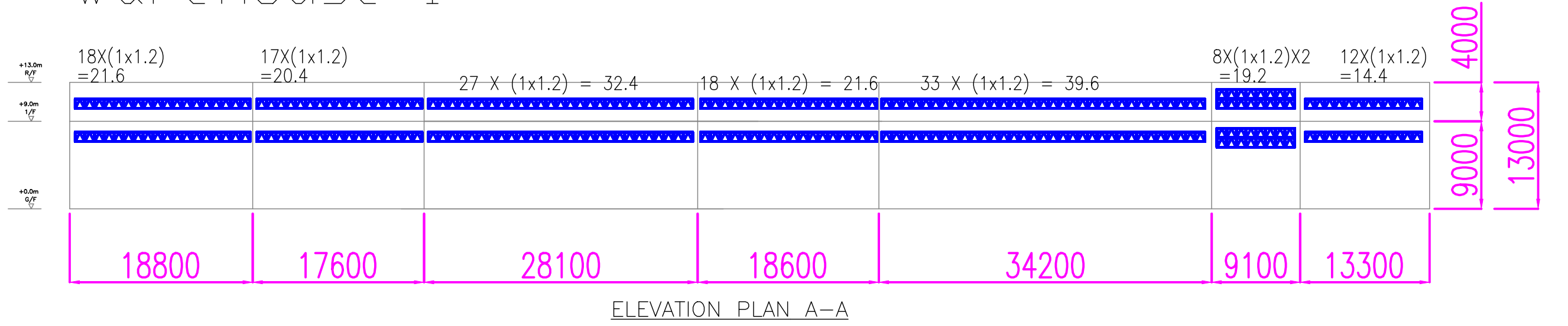
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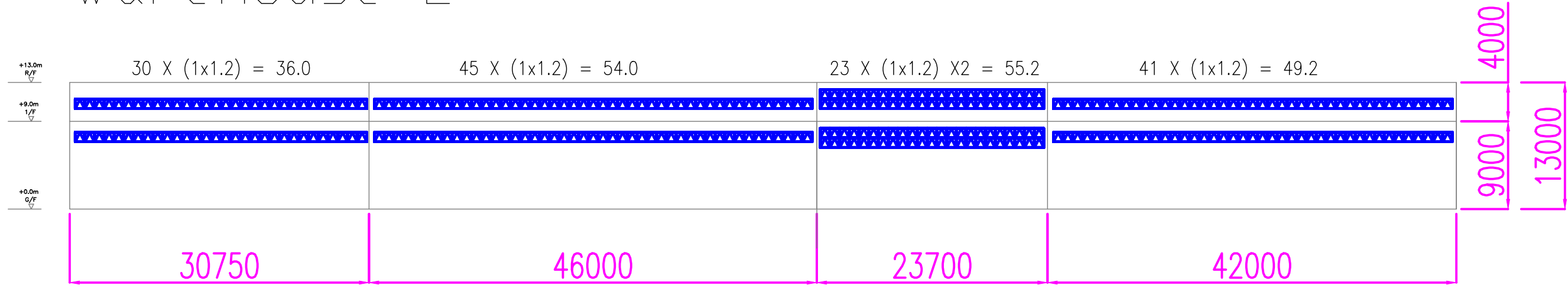
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DETAIL FOR  
OPENABLE WINDOW

### Warehouse 1



### Warehouse 2



OPENABLE WINDOW AREA CALCULATION UNDER F.S.D. REQUIREMENT FOR COMPARTMENT EXCEEDING 7000 m²				
LOCATION	USABLE FL. AREA FOR EACH FLOOR (m²)	OPENABLE WINDOW AREA REQUIRED FOR EACH FLOOR (m²)	OPENABLE WINDOW AREA PROVIDED FOR EACH FLOOR (m²)	
WAREHOUSE 1	<u>2572</u>	<u>2572 X 6.25% = 160.75</u>	REFER TO ELEVATION=141 X 1,2 = 169.2	TOTAL = <u>169.2</u> > <u>160.75</u>
WAREHOUSE 2	<u>2774</u>	<u>2774 X 6.25% = 173.38</u>	REFER TO ELEVATION=162 X 1,2 = 194.4	TOTAL = <u>194.4</u> > <u>173.38</u>

1	TPB RESUBMISSION	23-08-2025	LH
0	TPB SUBMISSION	13-07-2025	LH
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited

Flat A, 7/F., Hop Shing Commercial Building  
41 Chi Kiang Street, Tokwawan, Kowloon  
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

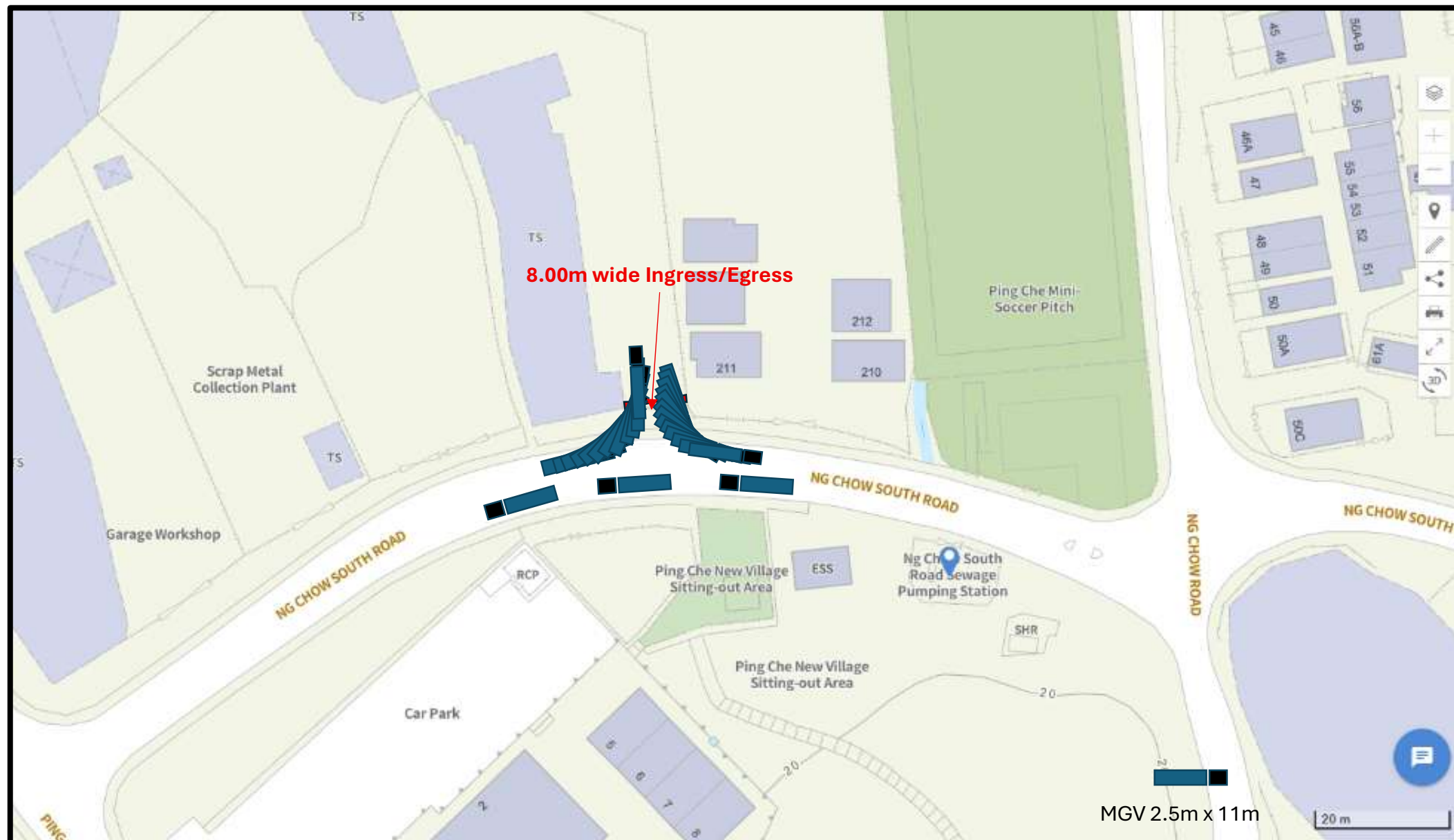
PROPOSED TEMPORARY WAREHOUSE AND OPEN STORAGE OF CONSTRUCTION MATERIALS AND ASSOCIATEED FILING OF LAND FOR A PERIOD OF 3 YEARS  
LOTS 543, 545, 551 RP, 553 AND 555 IN D.D. 77 AND ADJOINING GOVERNMENT LAND, TA KWU LING, NEW TERRITORIES

REFERENCE NO.: A/NE-TKL/794

DRAWING TITLE

OPENABLE WINDOW AREA CALCULATION FOR STRUCTURE

	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	13-07-2025
DESIGNED BY	HY	Eng.T	13-07-2025
CHECKED BY	CM	PM	13-07-2025
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PROJECT NO.	A/NE-TKL/794		
PAPER SIZE	A1		
DRAWING NO.	NE-TKL/794-W001		
SCALE	1:150	REVISION	1



Swept Path Analysis for Ingress/Egress





羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED



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Appendix Ib of RNTPC  
**Paper No. A/NE-TKL/809**



宋梓華  
**Sung Tze Wah**  
FRICS FHKIS MSISV MCIREA ACI Arb RPS (GP)

李霧儀  
**Lee Mo Yi**  
MPIA RPP MUDD BA (Hons)

吳恆廣  
**Ng Hang Kwong, BBS**  
FRICS FHKIS RPS (GP)  
Honorary World Valuer (WAVO)

林桂金  
**Daniel K.K. Lam**  
MRICS MHKIS MCIREA RPS(GP) BSc

宋樹鴻  
**Sung Shu Hung**  
FRICS MHKIS RPS (GP) MCIREA  
MHIREA BSc (Hons)

趙慧姿  
**Chiu Wai Chi**  
MRICS MSc BBus (MK1g)

Consultant :

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**Elwyn C. Chan**  
RPE PMgr CEnv FIHE FCIOB MICE  
MHKIE MSOE FCMI MCI Arb MSc

劉志光  
**Lau Chi Kwong**  
FHKIS FRICS ALS MHKIS RPS(LS) MSc

潘孝維  
**Pun How Wai**  
MRIBA

**By Email and Post**

Date : 29 August 2025  
Your Ref.: TPB/A/NE-TKL/809  
Our Ref. : LDS/PLAN/7092

Secretary  
Town Planning Board  
15/F, North Point Government Offices  
333 Java Road  
North Point, Hong Kong

Dear Sir/Madam,

**Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years at Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in D.D. 77 and Adjoining Government Land, Ping Che, N.T.**

**(Application No. A/NE-TKL/809)**

As a follow-up to our response of 25.8.2025, we would like to submit the further information in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee at [REDACTED]

Yours faithfully,  
For and on behalf of  
**Lawson David & Sung Surveyors Limited**


Encl.

c.c. DPO/STN (Attn.: Ms. Sheren Lee) – By Email  
Client

*Your Assets for Growth*

**Table 1: Responses to Comments from Government Departments on Planning Application No. A/NE-TKL/809 (29 August, 2025)**

COMMENTS	RESPONSES
<b>1. Development Bureau (DevB)</b>	
<p>(a) The applicant should provide more information to demonstrate its original size in KTN NDA, and how it is comparable with the size of the application site.</p>	<p>(a) As a follow-up to our response of 25.8.2025, we would like to provide the following additional information for your consideration:</p> <p>While the Applicants' former operation sites in Kwu Tung North could use the adjoining Government land for vehicular manoeuvring and loading/unloading, this is not feasible at the Application Site. Therefore, a larger site area and floor space are required at the Application Site for vehicular manoeuvring and loading/unloading so that the Applicants can operate at full capacity. Of the current application, the Applicants intends to reserve a substantial amount of circulation space within the Application Site to increase its overall efficiency and minimize the potential adverse traffic impact on the surrounding road network. In light of this, approximately 2,166 m<sup>2</sup> of land has been reserved for internal access, parking for goods and private vehicles, and for loading/unloading and manoeuvring vehicles. This reserved space fulfills the Transport Department's requirement to provide sufficient space within the Application Site for vehicle manoeuvring with a smooth swept path and to prevent the queuing and illegal parking of vehicles outside the Application Site.</p> <p>The additional space is also intended to enable the Applicants to enhance operational efficiency by providing more space for storing, sorting and packaging timber and other building materials which are bulky in nature. Ultimately, this could positively impact efficiency, competitiveness and support the construction industry in Hong Kong, particularly contributing to the future development of the Northern Metropolis.</p>

COMMENTS	RESPONSES
<b>2. Sha Tin, Tai Po and North District Planning Office, Planning Department (STN DPO)</b>	
(a) Please clarify if the subject site has already been filled partially and if any regularisation of filling of land is required.	(a) We would like to clarify that part of the Application Site has been filled by the previous users with bituminous materials and regularization of filling of land is required. The existing site level is approximately +14.4mPD. Further land filling (with concrete on top) of not exceeding 0.2m for the whole site to a level of not more than +14.6mPD for site formation, parking, loading/unloading and vehicle manoeuvring is required.
(b) Please clarify the applied use of the application.	(b) As the proposed open storage use at the Application Site is an ancillary use to the proposed warehouse use, the applied use will be changed to “Proposed Temporary Warehouse and Ancillary Open Storage of Construction Materials and Associated Filling of Land for a Period of 3 Years”.
<b>3. Planning Statement</b>	
(a) Paragraph 4.7 Environmental Consideration The location of the egretry	(a) We would like to clarify that the Ping Che Egretry is located about 85m to the east of the Application Site. A replacement page of the Planning Statement (Page 7) is attached for your reference.



#### 4.3 Site Operations

The operation hours of the Application Site are between 8:30am to 6pm from Mondays to Saturdays. There will be no operation on Sundays and public holidays. The main use of the Application Site will be storage purpose of construction materials (timber and other building materials). To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

#### 4.4 Drainage Proposal

Drainage facilities including 450mm peripheral U-channels and catchpits with sand trap are proposed to collect the surface runoff and divert them to the existing stream to the north of the Application Site. No surface runoff will be running from the Application Site to the nearby public road and drains. A drainage proposal is submitted (see **Appendix 4**) to show the proposed drainage design. The Applicants will provide the drainage facilities to the satisfaction of Drainage Services Department.

#### 4.5 Landscape

The Application Site is partly covered with weeds along the northern, western and eastern boundaries. There are no existing trees within the Application Site. Meanwhile, existing trees of various species are found immediate outside the northern boundary of the Application Site. These existing trees will not be disturbed by the Applicant and would act as the natural hedges bounding the edge of the development and thus soften the building footprint of the proposed development.

Meanwhile, the Application Site is located in an area of rural fringe landscape character predominated by storage / open storage yards, warehouses, workshops and vacant land, which are not in conflict with the proposed temporary structures. The proposed development is therefore considered not incompatible to the landscape character of the surrounding area.

#### 4.6 Fire Service Installations Proposal

To minimize the fire hazard, a Fire Service Installations (FSIs) proposal (see **Appendix 5**) is submitted together with this application. The Applicants will provide the FSIs to the satisfaction of Fire Services Department.

#### 4.7 Environmental Considerations

The nature of the proposed development will merely involve the storage of construction materials (timber and other building materials). To minimize the possible environmental nuisance, the Applicants will follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and undertake to provide the following mitigation measures:

- (a) No workshop activities will be conducted at the Application Site;
- (b) The entire site boundary will be fenced off by 2.5m high corrugated metal fencing;
- (c) The loading / unloading activities will be located away from the residential dwellings;
- (d) The operating hours will be restricted from 8:30 am to 6 pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays;
- (e) No more than 4 round trips by goods vehicles daily to minimize the traffic and noise impact; and
- (f) 2 toilets will be provided onsite for staff. The waste generated will be removed on a regular basis by contractor to avoid any hygienic nuisance to the surroundings.

Additionally, it is noted that the Ping Che Egretty is located **about 85m to the east** of the Application Site. The Applicants will also adopt the following measures to avoid disturbance to the nearby Ping Che Egretty:-

**Similar S.16 Applications for Temporary Warehouse  
in the Vicinity of the Application Site within the “Agriculture” Zone in the Past Five Years**

**Approved Applications**

	<b>Application No.</b>	<b>Uses/Developments</b>	<b>Date of Consideration</b>
1.	A/NE-TKL/702 <sup>1</sup>	Proposed Temporary Warehouse for Storage of Metal for a Period of 3 Years and Filling of Land	26.8.2022
2.	A/NE-TKL/767 <sup>1</sup>	Proposed Temporary Warehouse for Storage of Metal for a Period of 3 Years and Associated Filling of Land	16.8.2024

**Remarks**

<sup>1</sup> : Applications No. A/NE-TKL/702 and A/NE-TKL/767 involve the same site.

**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- no comment on the application;
- the application site (the Site) comprises Government land (GL) and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through GL but no right of access via GL is granted to the Site;
- no consent is given for inclusion of GL (about 55m<sup>2</sup> as mentioned in the Application Form) in the Site. For direct grant of Short Term Tenancy (STT) of the adjoining GL to the applicant for temporary use, prior policy support from the relevant Bureau has to be obtained. As the application does not provide any details on the policy support, comments from the relevant Bureau should be sought, especially the application highlights the existing business operation is affected by the First Phase Development of Kwu Tung North New Development Area;
- the following irregularities covered by the planning application have been detected by his office:

unauthorised structures within Lots 551 RP and 553 in DD. 77 covered by the planning application

there are unauthorised structures within Lots 551 RP and 553 in DD. 77. The lot owners should immediately rectify the lease breaches and his office reserves the rights to take necessary lease enforcement action against the breaches without further notice;

GL adjoining the said private lots covered by the planning application

the GL within the Site has been sandwiched between private lots. Any occupation of GL without Government's prior approval is an offence under Cap. 28. His office reserves the rights to take necessary land control action against the illegal occupation of GL;

- if the planning application is approved and subject to the availability of the policy support as mentioned above, the lot owners shall apply to his office for Short Term Waiver (STW) and STT to permit the structures erected/ to be erected within the said private lots and the occupation of the GL. The applications for STW/ STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW/ STT, if approved, will be on whole lot basis and subject to such terms and conditions including the payment of back-dated waiver fee/ rent from the first date the unauthorised structures were erected and the occupation of the GL, as well as administrative fee as considered appropriate to be imposed by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered; and
- his advisory comments are at **Appendix IV**.



## 2. **Traffic**

Comments of the Commissioner for Transport (C for T):

- no comment on the application;
- after taking into consideration the context of the Site including its location, existing adjacent developments, existing adjacent pedestrian footway, traffic conditions, requirement for vehicular access etc., she and the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) suggest the following approval conditions:
  - (i) the implementation of traffic management measures, as proposed by the applicant, within 9 months from the date of planning approval to the satisfaction of the C for T or of the Town Planning Board (TPB), and shall be maintained at all times during the planning approval period;
  - (ii) the submission of the design of vehicular run-in/run-out to the Site within 6 months from the date of planning approval to the satisfaction of the Director of Highways (D of Hy) or of the TPB;
  - (iii) the provision of vehicular run-in/run-out to the Site within 9 months from the date of planning approval to the satisfaction of the D of Hy or of the TPB; and
- her advisory comments are at **Appendix IV**.

Comments of CHE/NTE, HyD:

- no comment on the application from highways maintenance point of view; and
- his advisory comment are at **Appendix IV**.

## 3. **Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from the public drainage viewpoint;
- the submitted drainage proposal does not provide sufficient information as required in DSD's "Technical Notes to Prepare a Drainage Submission". Hence, should the application be approved, a condition should be included to request the applicants to submit and implement a drainage proposal to ensure that it will not cause adverse drainage impact on the adjacent areas. The drainage facilities should be properly maintained at all times and rectified if they are found inadequate/ ineffective during operation;
- the Site is in an area where public sewerage connection is not available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the proposed uses; and
- her advisory comment are at **Appendix IV**.

#### 4. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no adverse comments on the application from landscape planning perspective;
- based on the aerial photo of 2024, the Site is located in an area of miscellaneous rural fringe landscapes character comprising temporary structures, scattered tree groups, vegetated areas, and small houses within the “Village Type Development” zone to the east of the Site. The proposed use is considered not entirely incompatible with the existing landscape character of the Site;
- with reference to the site photos dated 4.8.2025, the Site is generally vacant without existing trees and significant landscape resources. According to the Application Form, no tree felling is anticipated. With reference to paragraph 4.5 of the Planning Statement, “there are no existing trees within the Site”. Significant adverse impact on existing resources arising from the proposed use is not anticipated; and
- her advisory comment are at **Appendix IV**.

#### 5. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations and water supplies for firefighting being provided to his satisfaction; and
- his advisory comment are at **Appendix IV**.

#### 6. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- it is noted that eight structures are proposed in the application. Before any new building works (including containers / open sheds as temporary buildings, demolition, site formation and land filling, etc.) are to be carried out on site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBW) under the Buildings Ordinance (BO). An Authorised Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
- site formation works, i.e. land filling works, are building works under the control of the BO. Before the proposed filling of land is to be carried out on site, the prior approval and consent of the BA should be obtained, otherwise they are UBW. An AP should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and
- his advisory comment are at **Appendix IV**.

## **7. Other Departments**

The following government departments have no objection to/no comment on the application:

- (a) Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD);
- (b) Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD);
- (c) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD); and
- (d) District Officer (North), Home Affairs Department (DO(N), HAD).



**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the proposed use with the concerned owner(s) of the application site (the Site);
- (b) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (c) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that:
  - (i) the Site comprises Government land (GL) and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through GL but no right of access via GL is granted to the Site;
  - (ii) no consent is given for inclusion of GL (about 55m<sup>2</sup> as mentioned in the Application Form) in the Site. For direct grant of Short Term Tenancy (STT) of the adjoining GL to the applicant for temporary use, prior policy support from the relevant Bureau has to be obtained. As the application does not provide any details on the policy support, comments from the relevant Bureau should be sought, especially the application highlights the existing business operation is affected by the First Phase Development of Kwu Tung North New Development Area;
  - (iii) the following irregularities covered by the planning application have been detected by his office:

unauthorised structures within Lots 551 RP and 553 in DD. 77 covered by the planning application

there are unauthorised structures within Lots 551 RP and 553 in DD. 77. The lot owners should immediately rectify the lease breaches and his office reserves the rights to take necessary lease enforcement action against the breaches without further notice;

GL adjoining the said private lots covered by the planning application

the GL within the Site has been sandwiched between private lots. Any occupation of GL without Government's prior approval is an offence under Cap. 28. His office reserves the rights to take necessary land control action against the illegal occupation of GL;

- (iv) subject to the availability of the policy support as mentioned above, the lot owners shall apply to his office for Short Term Waiver (STW) and STT to permit the structures erected/ to be erected within the said private lots and the occupation of the GL. The applications for STW/ STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW/ STT, if approved, will be on whole lot basis and subject to such terms and conditions including the payment of back-dated waiver fee/ rent from the first date the unauthorised structures were erected and the occupation of the GL, as well as administrative fee as considered appropriate to be imposed by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered; and
- (v) the applicant should comply with all the land filling requirements imposed by relevant Government departments. GL should not be disturbed unless with prior approval;
- (d) to note the comments of the Director of Environmental Protection (DEP) that:
  - (i) the applicants should follow the requirements of the 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites';
  - (ii) the applicants should implement relevant mitigation measures listed in the Recommended Pollution Control Clauses for Construction Contracts during land filling; and
  - (iii) the proposed septic tank and soakaway pit system shall meet the requirements of Professional Persons Environmental Consultative Committee Practice Notes 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department, Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations (Cap. 123I) Section 40(1), 40(2), 41(1) and 90';
- (e) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
  - (i) the proposed access arrangement and swept path analysis should be commented by Transport Department (TD);
  - (ii) HyD is not/shall not be responsible for the maintenance of any access connecting the Site and Ng Chow South Road;
  - (iii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
  - (iv) the applicants should take adequate precautionary measures to avoid damaging roads, street furniture, drainage and slopes etc. maintained by his office. Damage caused to roads, street furniture, drainage and slopes etc. maintained by his office due to the proposed work shall be repaired to his satisfaction at the applicants' own costs;
- (f) to note the comments of the Commissioner for Transport (C for T) that sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse

onto/from public road at any time during the planning approval period;

- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
- (i) the drainage facilities should be properly maintained at all times and rectified if they are found inadequate/ ineffective during operation;
  - (ii) the applicants should construct and maintain the proposed drainage facilities whether within or outside the Site at their own expense;
  - (iii) the Site is in an area where public sewerage connection is not available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the proposed use; and
  - (iv) the submitted drainage proposal does not provide sufficient information as required in DSD's "Technical Note to Prepare a Drainage Submission". Hence, the applicants should submit a revised drainage proposal for her review;
- (h) to note the comments of the Director of Agriculture, Fisheries and Conservation (DAFC) that the Ping Che Egretty is located 70m away from the site boundary. Any construction works within 100m distance from the Ping Che Egretty should be carried out outside the breeding season of egrets (i.e. March to August) to avoid any disturbance and / or adverse impact to the breeding egrets;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicants are advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval;
  - (ii) the applicants should be advised that the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy and the location of where the proposed FSIs to be installed should be clearly marked on the layout plans;
  - (iii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
  - (iv) his comments on the submitted FSIs proposal are as follows:
    - Clause 1 in FS Notes – HOSE REEL SYSTEM (*SELF-INITIATIVE ENHANCEMENT*);
    - Clause 3 in FS Notes – FIRE ALARM SYSTEM (*SELF-INITIATIVE ENHANCEMENT*);
    - Clause 3.7 in FS Notes - In relation to *clause 3.6...*;



- Clause 5.1 in FS Notes - ...“BS 5266-1:2016 and the FSD Circular Letter No. 5/2008”;
  - Clause 7.2 in FS Notes - The wheeled type dry chemical fire extinguisher shall be provided *in every 500 m<sup>2</sup>* on every floor....; and
  - in addition, the revised Fire Safety Requirements for temporary storage and structures under Planning Application took effect on 2.7.2025 and have been published on the Fire Services Department website. In this regard, the hose reel system and fire alarm system will be considered as self-initiated by the applicant, with the standards and specifications to be in accordance with Code of Practice for Minimum Fire Service Installations & Equipment, if provided;
- (j) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the application does not imply approval of tree works such as pruning, transplanting, felling and compensatory/ new tree planting. The applicants are reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works; and
- (k) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) it is noted that eight structures are proposed in the application. Before any new building works (including containers / open sheds as temporary buildings, demolition, site formation and land filling, etc.) are to be carried out on site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBW) under the BO. An Authorised Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
  - (ii) site formation works, i.e. land filling works, are building works under the control of the BO. Before the proposed filling of land is to be carried out on site, the prior approval and consent of the BA should be obtained, otherwise they are UBW. An AP should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and
  - (iii) the applicants’ attention is drawn to the following points:
    - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
    - if the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
    - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the application;

- for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- the applicants' attention is also drawn to the provision under Regulations 40 and 41 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of foul water and surface water respectively;
- the headroom (13m) of the two-storey structures (i.e. warehouses) is considered excessive. It should be justified upon formal plan submission to BD;
- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- detailed checking under the BO will be carried out at building plan submission stage; and

(l) to note the comments of the Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD) that the proposed use is located within the proposed New Territories North (NTN) New Town under the Planning and Engineering (P&E) Study for NTN New Town and Man Kam To. The preliminary development proposal for NTN New Town was released in December 2024. While the implementation programme of NTN New Town is being formulated under the P&E Study, the site formation works will likely commence soon after the completion of detailed design in next stage. Hence, subject to the land use planning in the P&E Study, the proposed use may need to be vacated for the site formation works.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

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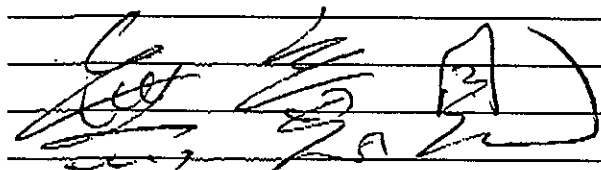
有關的規劃申請編號 The application no. to which the comment relates

A/NE-TKL/809

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

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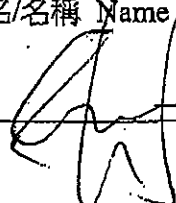
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「提意見人」姓名/名稱 Name of person/company making this comment 侯志強議員

簽署 Signature



日期 Date

2025.7.30



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**From:**  
**Sent:** 2025-08-14 星期四 04:29:26  
**To:** tpbbpd/PLAND <tpbbpd@pland.gov.hk>  
**Subject:** A/NE-TKL/809 DD 77 Ping Che

A/NE-TKL/809

Lots 539 RP (Part), 540 RP, 543, 544 S.A, 544 S.B, 544 S.C, 544 RP, 545, 551 RP and 553 in DD 77 and Adjoining Government Land, Ping Che, Ta Kwu Ling

Site area: About 5,993sq.m includes Government Land of about 288sq.m

Zoning: "Agriculture" and "Industrial (Group D)"

Applied use: Warehouse / Open Storage of Construction Materials / 7 Vehicle Parking /  
**Filling of Land**

Dear TPB Members,

794 withdrawn, some tweaking to the boundaries.

Previous objections relevant and upheld.

Mary Mulvihill

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**From:**  
**To:** tpbbpd <tpbbpd@pland.gov.hk>  
**Date:** Friday, 4 April 2025 4:22 AM HKT

A/NE-TKL/794

Lots 543, 545, 551 RP, 553 and 555 in D.D. 77 and Adjoining Government Land, Ta Kwu Ling

Site area: About 5,692sq.m includes Government Land of about 288sq.m

Zoning: "Agriculture" and "Industrial (Group D)"

Applied use: Warehouse / Open Storage of Construction Materials / 5 Vehicle Parking /  
**Filling of Land**

Dear TPB Members,

Applications have been approved for a line of NET houses running along the east side of the site.

This site is Cat 3. Within these areas, **“existing” and approved open storage and port back-up uses are to be contained and further proliferation of such uses is not acceptable.”**

The board cannot approve a number of residential units and a few months later then approve brownfield operations next door that would create environmental, health and safety issues for future residents.

The administration has created problems for these operators, it is its duty to ensure they are accommodated on suitably zoned lots.

Mary Mulvihill