

2025年 5月 1 5日

Appendix I for RNTPC
Paper No. A/YL-KTS/1076

此文件在 _____ 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on 2025-05-15.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;
興建「新界豁免管制屋宇」;**
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in
rural areas or Regulated Areas; and
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時
用途/發展;及**
- (iii) **Renewal of permission for temporary use or development in rural areas or
Regulated Areas
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board’s requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2500951

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by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	AYL-KTS/1076
	Date Received 收到日期	2025-05-15

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.tpb.gov.hk/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

HK Hakka Cultural Association Limited 香港客家人文化協會有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 2063 and 2064 in D.D. 106 and adjoining Government Land, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,940 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 389 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有) 1,714 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No.: S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	"Village Type Development" Zone
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]

- posted notice in a prominent position on or near application site/premises on
06/03/2025 - 20/03/2025 (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]

- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 30/04/2025 (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Non-domestic part 非住用部分.....	sq.m 平方米	<input type="checkbox"/> About 約
	Total 總計	sq.m 平方米	<input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><small>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</small></p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

(iii) For Type (iii) application 供第(iii)類申請

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量，包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 33%;">Name/type of installation 裝置名稱/種類</th> <th style="width: 17%;">Number of provision 數量</th> <th style="width: 50%;">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td style="height: 40px;"></td> <td></td> <td></td> </tr> <tr> <td style="height: 40px;"></td> <td></td> <td></td> </tr> <tr> <td style="height: 40px;"></td> <td></td> <td></td> </tr> </tbody> </table> <p><small>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</small></p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											

(iv) For Type (iv) application 供第(iv)類申請

(a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- Plot ratio restriction From 由 to 至
- 地積比率限制
- Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
- 總樓面面積限制
- Site coverage restriction From 由% to 至
- 上蓋面積限制
- Building height restriction From 由m 米 to 至 m 米
- 建築物高度限制
- From 由 mPD 米 (主水平基準上) to 至
-mPD 米 (主水平基準上)
- From 由 storeys 層 to 至 storeys 層
- Non-building area restriction From 由m to 至 m
- 非建築用地限制
- Others (please specify)
- 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

<p>(a) Proposed use(s)/development 擬議用途/發展</p>	<p>Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities for a Period of 5 Years</p> <p>(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)</p>
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(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	389	sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	0.2		<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	20	%	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	6		
Proposed no. of storeys of each block 每座建築物的擬議層數	1	storeys 層	
			<input type="checkbox"/> include 包括.....storeys of basements 層地庫
			<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫
Proposed building height of each block 每座建築物的擬議高度	3 - 6	mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	3 - 6	m 米	<input checked="" type="checkbox"/> About 約

Domestic part 住用部分

GFA 總樓面面積 sq. m 平方米 About 約
 number of Units 單位數目
 average unit size 單位平均面積sq. m 平方米 About 約
 estimated number of residents 估計住客數目

Non-domestic part 非住用部分

eating place 食肆 sq. m 平方米 About 約
 hotel 酒店 sq. m 平方米 About 約
 (please specify the number of rooms 請註明房間數目)

office 辦公室 sq. m 平方米 About 約
 shop and services 商店及服務行業 sq. m 平方米 About 約

Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)
 政府、機構或社區設施

other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WASHROOM AND STORE ROOM	12m ² (ABOUT)	12 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B2	YOUTH ACTIVITY CENTRE	121 m ² (ABOUT)	121 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B3	ELDERLY ACTIVITY CENTRE, OFFICE	146 m ² (ABOUT)	146 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B4	COVERED CORRIDOR	17 m ² (ABOUT)	17 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B5	COVERED CORRIDOR	43 m ² (ABOUT)	43 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B6	WASHROOM AND REFRESHMENT KIOSK	50 m ² (ABOUT)	50 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
TOTAL		389 m² (ABOUT)	389 m² (ABOUT)	

Open space 休憩用地 (please specify land area(s) 請註明地面面積)
 private open space 私人休憩用地 sq. m 平方米 Not less than 不少於
 public open space 公眾休憩用地 sq. m 平方米 Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]		
STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WASHROOM AND STORE ROOM	12m ² (ABOUT)	12 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B2	YOUTH ACTIVITY CENTRE	121 m ² (ABOUT)	121 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B3	ELDERLY ACTIVITY CENTRE, OFFICE	146 m ² (ABOUT)	146 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B4	COVERED CORRIDOR	17 m ² (ABOUT)	17 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B5	COVERED CORRIDOR	43 m ² (ABOUT)	43 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B6	WASHROOM AND REFRESHMENT KIOSK	50 m ² (ABOUT)	50 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
TOTAL		389 m² (ABOUT)	389 m² (ABOUT)	

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途
 Parking Space, Circulation area and Outdoor Activities Area

.....

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)
(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))
(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

December 2025

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行车通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible From Kam Sheung Road via a local access</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p>																
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0" style="width: 100%;"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td style="text-align: right;">2</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table>	Private Car Parking Spaces 私家車車位	2	Motorcycle Parking Spaces 電單車車位	N/A	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A	Others (Please Specify) 其他 (請列明)	_____	_____	_____	_____	_____
Private Car Parking Spaces 私家車車位	2																	
Motorcycle Parking Spaces 電單車車位	N/A																	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A																	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A																	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A																	
Others (Please Specify) 其他 (請列明)	_____																	
_____	_____																	
_____	_____																	
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0" style="width: 100%;"> <tr> <td>Taxi Spaces 的士車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>Light Bus</td> <td style="text-align: right;">1</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table>	Taxi Spaces 的士車位	N/A	Coach Spaces 旅遊巴車位	N/A	Light Goods Vehicle Spaces 輕型貨車車位	1	Medium Goods Vehicle Spaces 中型貨車車位	N/A	Heavy Goods Vehicle Spaces 重型貨車車位	N/A	Others (Please Specify) 其他 (請列明)	_____	Light Bus	1	_____	_____
Taxi Spaces 的士車位	N/A																	
Coach Spaces 旅遊巴車位	N/A																	
Light Goods Vehicle Spaces 輕型貨車車位	1																	
Medium Goods Vehicle Spaces 中型貨車車位	N/A																	
Heavy Goods Vehicle Spaces 重型貨車車位	N/A																	
Others (Please Specify) 其他 (請列明)	_____																	
Light Bus	1																	
_____	_____																	
	<p>No 否</p>	<p><input type="checkbox"/></p>																

9. Impacts of Development Proposal 擬議發展計劃的影響		
If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。		
Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情
Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)	Yes 是 No 否	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約
Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明) _____ _____	Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input checked="" type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)		

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the supplementary statement.....

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11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署


.....
.....

Applicant 申請人 / Authorised Agent 獲授權代理人

Michael WONG
.....
Name in Block Letters
姓名 (請以正楷填寫)

.....
Position (if applicable)
職位 (如適用)

Professional Qualification(s) 專業資格
 Member 會員 / Fellow of 資深會員
 HKIP 香港規劃師學會 / HKIA 香港建築師學會 /
 HKIS 香港測量師學會 / HKIE 香港工程師學會 /
 HKILA 香港園境師學會 / HKIUD 香港城市設計學會
 RPP 註冊專業規劃師
Others 其他

on behalf of
代表

..... R-riches Property Consultants Limited 盈卓物業顧問有限公司

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

02/05/2025

..... (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots 2063 and 2064 in D.D. 106 and adjoining Government Land, Kam Tin, Yuen Long, New Territories		
Site area 地盤面積	1,940	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	1,714	sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No.: S/YL-KTS/15		
Zoning 地帶	"Village Type Development" Zone		
Applied use/ development 申請用途/發展	Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	389	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	6	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	3 - 6 (about)	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	20	% <input checked="" type="checkbox"/> About 約	
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	2
	Private Car Parking Spaces 私家車車位	2
	Motorcycle Parking Spaces 電單車車位	N/A
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A
	Others (Please Specify) 其他 (請列明)	

	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數	2
	Taxi Spaces 的士車位	N/A
	Coach Spaces 旅遊巴車位	N/A
	Light Goods Vehicle Spaces 輕型貨車車位	1
	Medium Goods Vehicle Spaces 中型貨車位	N/A
	Heavy Goods Vehicle Spaces 重型貨車車位	N/A
	Others (Please Specify) 其他 (請列明)	
	Light Bus	1

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location plan, Plan showing the zoning and land status of the application site,</u>		
<u>Swept Path Analysis, Drainage Proposal, Fire Service Installations Proposal</u>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及/或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 2063 and 2064 in D.D.106 and Adjoining Government Land (GL), *Kam Tin, Yuen Long, New Territories*) (Former Shek Wu School) (the Site) for '**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities for a Period of 5 Years**' (proposed development) (**Plan 1**).
- 1.2 The applicant is a charitable institution under Section 88 of the Inland Revenues Ordinance (**Appendix I**). They intend to operate a place of recreation, sports or culture (i.e. Hakka Cultural Association) to preserve and promote Hakka culture to serve nearby locals living in Kam Tin, Pat Heung and Shek Kong area. As the Hakka tribes¹ is the largest of the indigenous tribes in Hong Kong, the Hakka have been a potent driving force in shaping the history, values, and cultural landscape of Hong Kong. In order to cope with the Hakka population in Hong Kong, the proposed development would act as a hub for bringing the youth and elderly from different backgrounds together through organizing various recreational, cultural and entertainment activities at the Site with the aim to build strong community bonds, as well as reducing social isolation among the community (**Appendix II**).
- 1.3 In order to maintain the diversity and richness of Hakka culture, a variety of activities (i.e. language courses, unicorn dance teams, music and dance performances, cuisine cooking class and cultural visit) would be organized by the association regularly (**Appendix III**). The Hakka Cultural Association, through these diverse activities, aims to protect and preserve the long history and culture of the Hakka people, while also promoting the development of Hakka culture in contemporary society. A set of supporting letters from District Councilors, Rural Committee and village representatives are provided to support the current application (**Appendix IV**).

2) Planning Context

- 2.1 The Site falls within an area zoned as "Village Type Development" ("V") on the Approved Kam Tin South Outline Zoning Plan No.: S/YL-KTS/15 (**Plan 2**). According to the Notes of the OZP,

¹ Hakka Dialect, Hakka Cuisine, Unicorn Dance, Hakka Folk Song, Funeral Laments and Hakka Wedding Ceremonies are the intangible cultural heritage (ICH) listed on the First ICH Inventory of Hong Kong

'place of creation, sports or culture' use is a column two use within the "V" zone, which requires planning permission from the Board.

2.2 Although the proposed development is considered not entirely in line with the planning intention of the "V" zone, the applicant intends to adaptive reuse the Former Shek Wu School to serve the nearby community. As the Site has been left vacant since 2014, approval of the application on a temporary basis would better utilize vacant school premises and would not frustrate the long-term planning intention of the "V" zone. In addition, the Former Shek Wu School has been categorized as Category 1 sites under the 'Vacant School Premises Sites Reviewed under the Central Clearing House Mechanism' by the Planning Department (PlanD) for Government, Institution or Community (G/IC), the proposed use is considered in line with PlanD's recommendation.

2.3 The proposed development is also considered not incompatible with the surrounding areas, which is dominated by residential, agricultural and commercial uses. Furthermore, the Site is the subject of several S.16 planning applications for the same use, which the latest application No. A/YL-KTS/897 (was submitted by a different applicant) for '*Proposed Temporary Social Welfare Facility (Elderly and Youth Centre)*' was approved by the Board on a temporary basis of 3 years in 2021. Therefore, approval of the current application is considered in line with the Board's previous decisions.

3) Development Proposal

3.1 The area of the Site is 1,940 m² (about), including 1,714 m² (about) of GL (**Plan 3**). The operation hours of the Site are from 09:00 to 21:00 daily, including public holidays. A total of 6 single-storey structures are provided at the Site for youth activity centre, elderly activity centre, office, covered corridor, washroom, store room and refreshment kiosk with total GFA of 389 m² (about) (**Plan 4**). The ancillary site office is intended to provide indoor workspace for administrative staff to support the operation of the proposed development. It is estimated that 6 staff will work at the Site. It is estimated that the Site would be able to accommodate 30 visitors per day. Details of development parameters are shown at **Table 1** below:

Table 1 – Major Development Parameters

Application Site Area	1,940 m ² (about), including 1,714 m ² (about) of GL
Covered Area	389 m ² (about)
Uncovered Area	1,551 m ² (about)
Plot Ratio	
	0.2 (about)
Site Coverage	
	20% (about)
Number of Structure	
	6
Total GFA	
- Domestic GFA	389 m ² (about)
- Non-Domestic GFA	Not applicable
	389 m ² (about)
Building Height	
	3 m – 6 m (about)
No. of Storey	
	1

3.2 The Site is accessible from Kam Sheung Road via and a local access (**Plan 1**). A total of 4 parking and loading/unloading (L/UL) spaces are provided at the Site for staff and visitor. Details of parking and L/UL spaces are shown at **Table 2** below:

Table 2 – Parking and L/UL Provisions

Type of Space	No. of Space
Private Car (PC) Parking Space for Staff - 2.5 m (W) x 5 m (L)	2
L/UL Space for Light Goods Vehicle (LGV) - 3.5m (W) x 7m (L)	1
L/UL Space for Light Bus (LB) - 3 m (W) x 8 m (L)	1

3.3 As the Site is well-served by public transportation services provided at Kam Sheung Road, no parking space is provided for visitors. One L/UL space for light bus is provided at the Site for easy access of elderly and the youth by light bus, while L/UL space for LGV is provided for transportation of goods by 5.5 tonnes lorry. Sufficient space is provided for vehicles to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 5**). No medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers, as defined in the Road Traffic Ordinance are allowed to be parked/stored on or enter/exit the Site at any time during the planning approval period.

3.4 As the Site is intended to serve the local community with infrequent trips as shown at **Table 3**

below, therefore, adverse traffic impact to the surrounding road network should not be anticipated.

Table 3 – Trip Generation and Attraction of the Site

Time Period	PC		LGV		LB		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (i.e. 09:00 – 10:00)	2	0	1	0	1	0	4
Trips at <u>PM peak</u> per hour (i.e. 18:00 – 19:00)	1	1	0	1	0	1	4
Traffic trip per hour (i.e. 10:00 – 17:00)	0	0	0	0	1	1	2

3.5 According to the tree survey conducted by the applicant on 25/10/2024, a total of 22 trees are recorded within the Site (**Appendix V**). No old and valuable tree or protected species has been identified in accordance with DEVB TC(W) No. 5/2020 – Registration and Preservation of Old and Valuable Trees and the Forest and Countryside Ordinance (Cap. 96). Due to the proposed hard-paving works for site formation of structures and circulation purposes, 13 out of 22 nos. of identified existing trees are proposed to be felled while the remaining 9 nos. of trees are proposed to be preserved. A landscape proposal is provided by the applicant to provide landscape mitigation measures for the proposed development (**Appendix VI**). A total of 13 new trees are proposed to be planted along the northwest periphery boundary of the Site with a compensation ratio of 1:1. All the existing/new trees within the Site will be maintained by the applicant during the planning approval period.

3.6 The applicant will strictly follow the ‘Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites’ by the EPD to minimize all possible environmental impacts on the nearby sensitive receivers. The applicant will implement good practices under the Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs) when designing on-site drainage system with the Site.

4) Conclusion

4.1 The proposed development will not create significant nuisance to the surrounding area. Adequate mitigation measures are provided by the applicant (i.e. submission of a drainage

proposal and a fire service installations (FSIs) proposal in order to mitigate any adverse impact arising from the proposed development (**Appendices VII to VIII**).

- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for ‘**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities for a Period of 5 Years**’.

R-riches Property Consultants Limited

April 2025

APPENDICES

Appendix I	Charitable Institution under Section 88 of the Inland Revenue Ordinance
Appendix II	Memorandum and Articles of Association
Appendix III	Activities Organized by the Applicant
Appendix IV	Supporting Letter
Appendix V	Tree Survey
Appendix VI	Landscape Proposal
Appendix VII	Drainage Proposal
Appendix VIII	Fire Service Installations Proposal

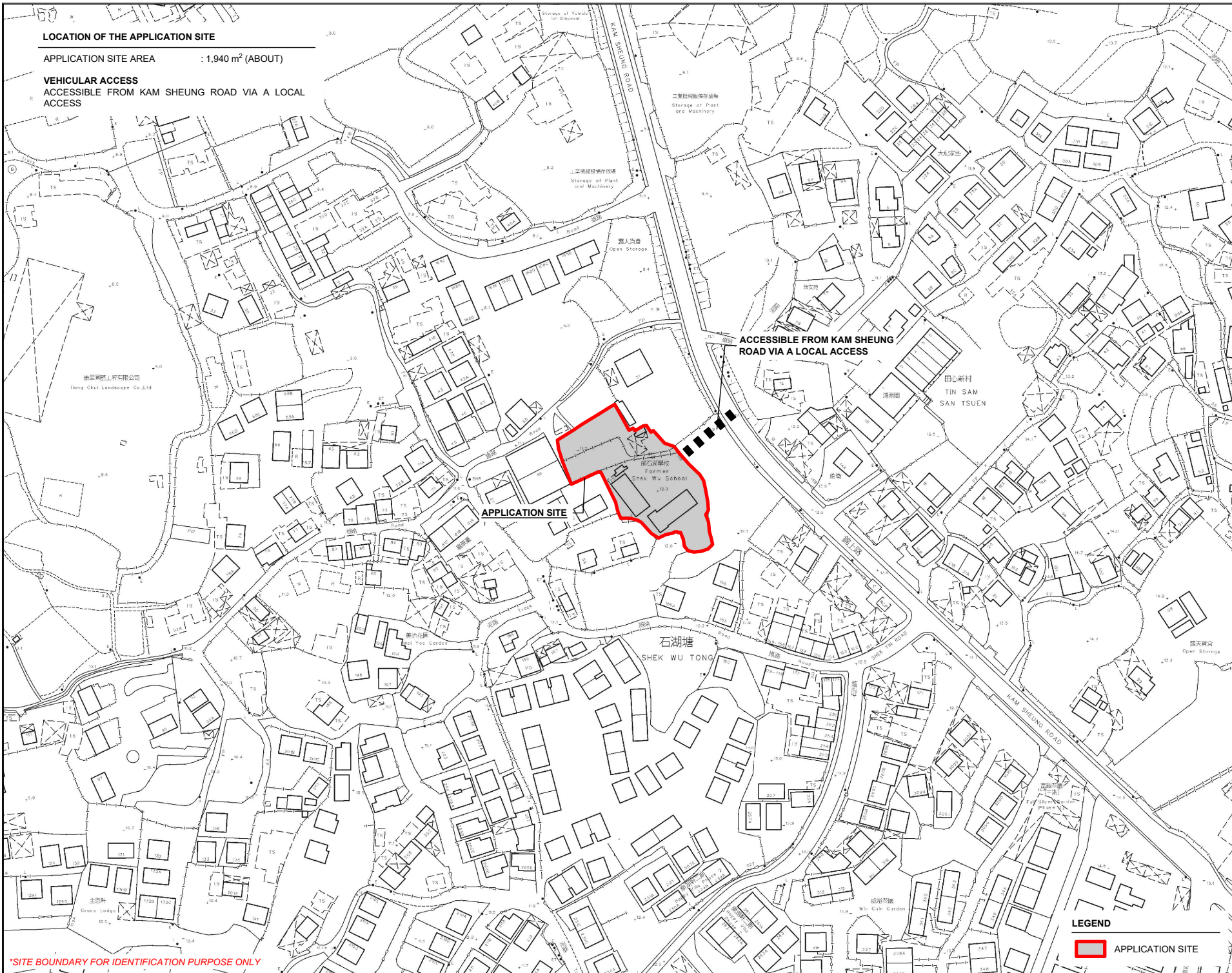
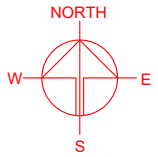
LIST OF PLANS

Plan 1	Location Plan
Plan 2	Plan Showing the Zoning of the Application Site
Plan 3	Plan Showing the Land Status of the Application Site
Plan 4	Layout Plan
Plan 5	Swept Path Analysis

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 1,940 m² (ABOUT)

VEHICULAR ACCESS
ACCESSIBLE FROM KAM SHEUNG ROAD VIA A LOCAL ACCESS



*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

(FORMER SHEK WU SCHOOL)

SCALE

1 : 2000 @ A4

DRAWN BY

MN

DATE

20.6.2024

REVISED BY

DATE

APPROVED BY

DATE

LEGEND



APPLICATION SITE

DWG. TITLE

LOCATION PLAN

DWG. NO.

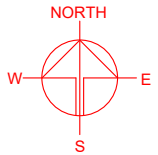
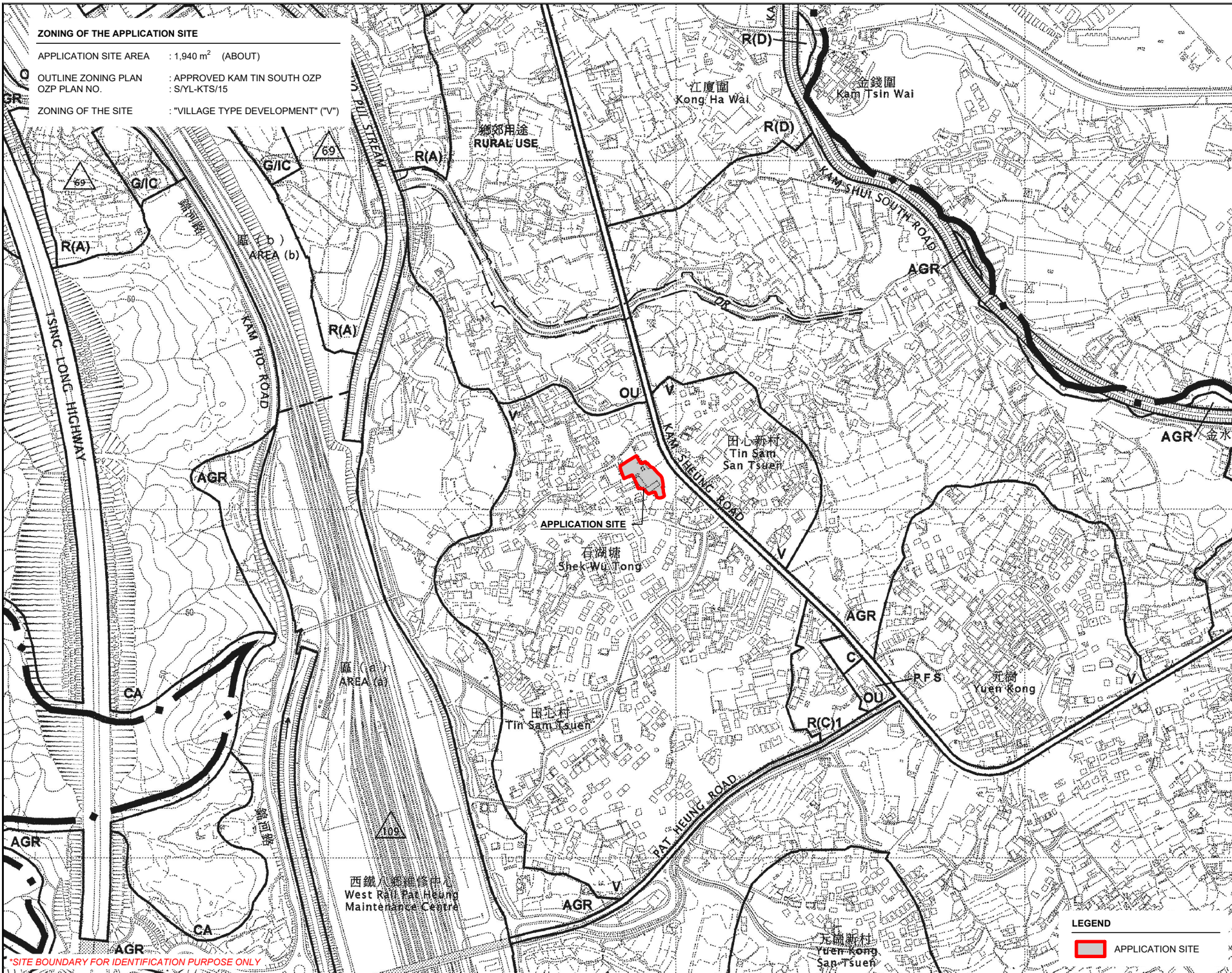
PLAN 1

VER.

001

ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA : 1,940 m² (ABOUT)
 OUTLINE ZONING PLAN : APPROVED KAM TIN SOUTH OZP
 OZP PLAN NO. : S/YL-KTS/15
 ZONING OF THE SITE : "VILLAGE TYPE DEVELOPMENT" ("V")



PLANNING CONSULTANT
R-Riches
 Property Consultants Ltd.

PROJECT
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION
 LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES
 (FORMER SHEK WU SCHOOL)

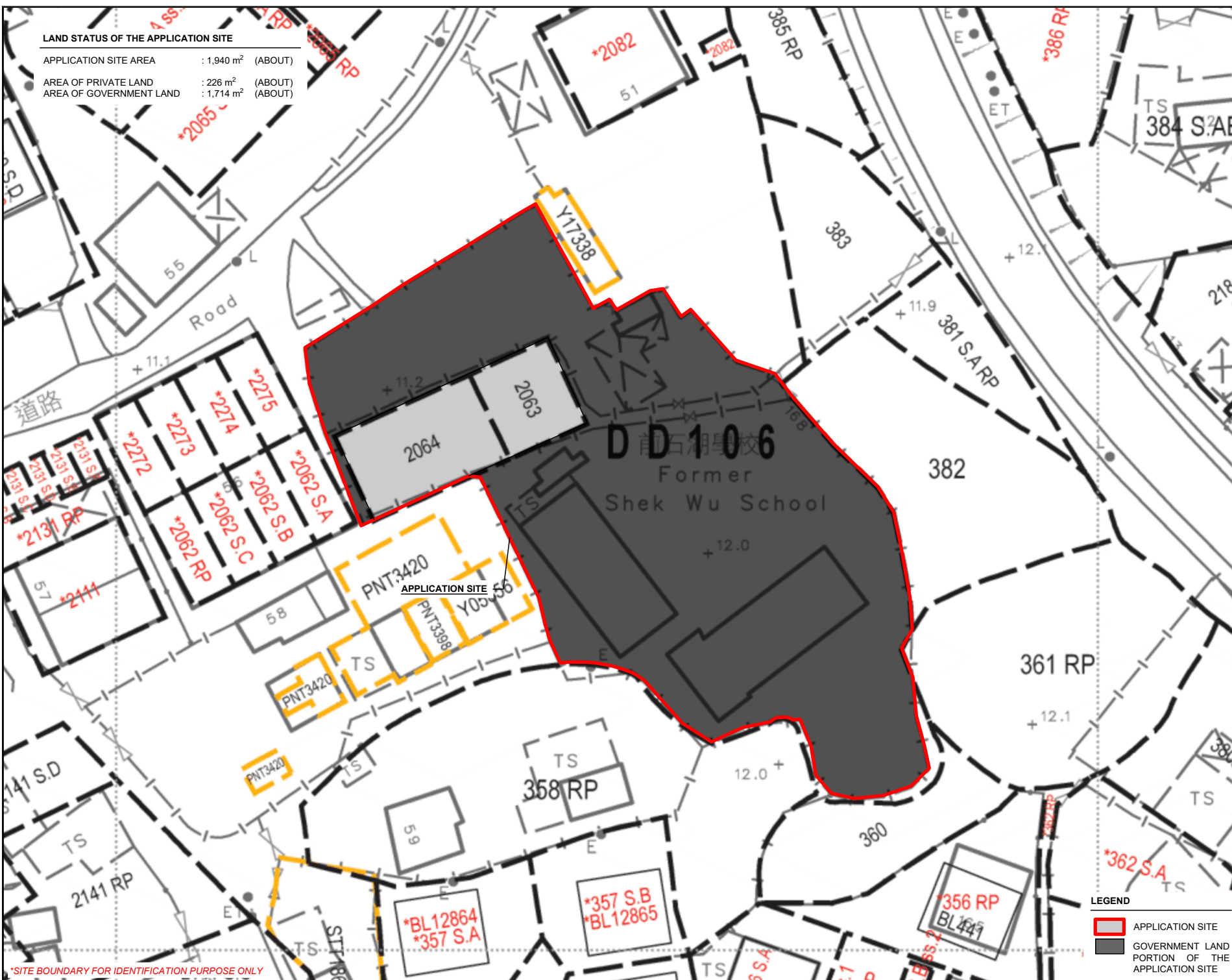
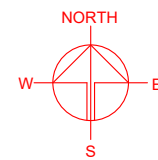
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REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE ZONING OF THE SITE	
DWG. NO. PLAN 2	VER. 001

LEGEND
 APPLICATION SITE

*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 1,940 m² (ABOUT)
AREA OF PRIVATE LAND : 226 m² (ABOUT)
AREA OF GOVERNMENT LAND : 1,714 m² (ABOUT)



PLANNING CONSULTANT	
PROJECT	
PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS	
SITE LOCATION	
LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES (FORMER SHEK WU SCHOOL)	
SCALE	
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DRAWN BY	DATE
MN	11.6.2024
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
LAND STATUS OF THE SITE	
DWG. NO.	VER.
PLAN 3	001

LEGEND

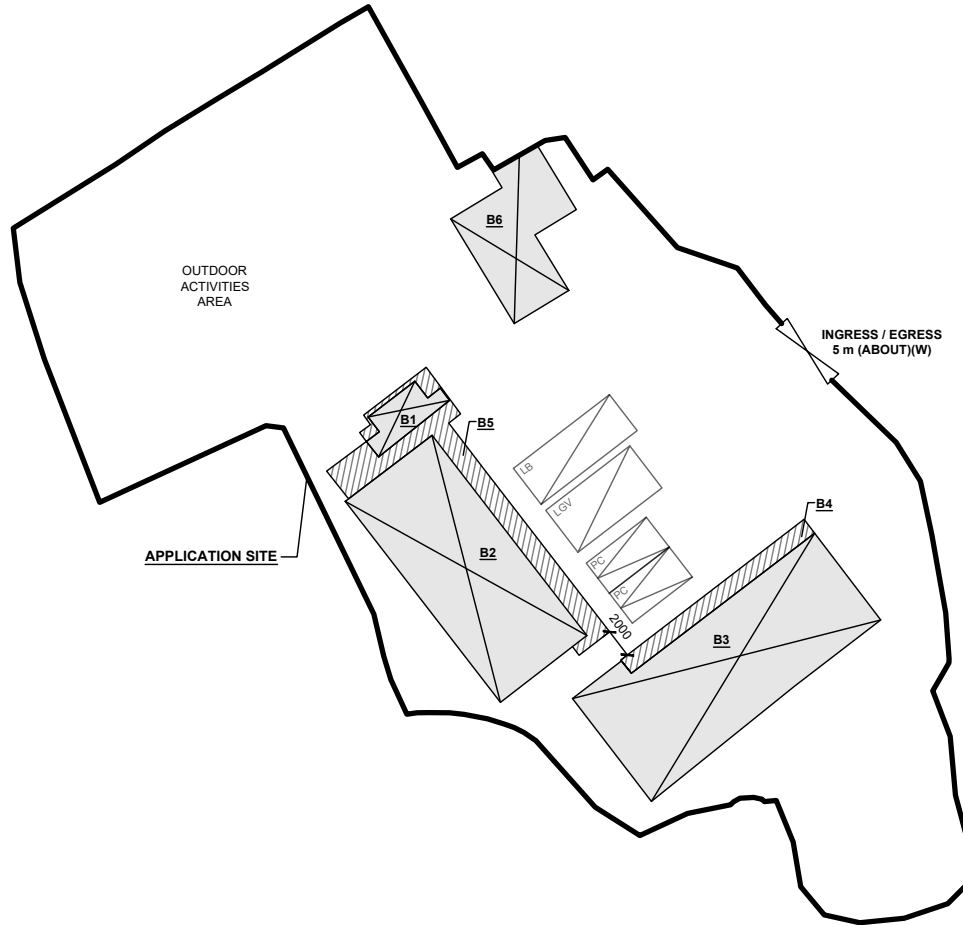
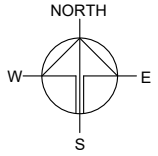
- APPLICATION SITE
- GOVERNMENT LAND PORTION OF THE APPLICATION SITE

*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,940 m ²	(ABOUT)
COVERED AREA	: 389 m ²	(ABOUT)
UNCOVERED AREA	: 1,551 m ²	(ABOUT)
PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 20 %	(ABOUT)
NO. OF STRUCTURE	: 6	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 389 m ²	(ABOUT)
TOTAL GFA	: 389 m ²	(ABOUT)
BUILDING HEIGHT	: 3 m - 6 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WASHROOM AND STORE ROOM	12m ² (ABOUT)	12 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B2	YOUTH ACTIVITY CENTRE	121 m ² (ABOUT)	121 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B3	ELDERLY ACTIVITY CENTRE, OFFICE	146 m ² (ABOUT)	146 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B4	COVERED CORRIDOR	17 m ² (ABOUT)	17 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B5	COVERED CORRIDOR	43 m ² (ABOUT)	43 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B6	WASHROOM AND REFRESHMENT KIOSK	50 m ² (ABOUT)	50 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
TOTAL		389 m² (ABOUT)	389 m² (ABOUT)	



PARKING AND LOADING / UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) x 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7 m (L) x 3.5 m (W)
NO. OF L/UL SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/UL SPACE	: 8 m (L) x 3 m (W)

LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (NOT ENCLOSED)
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (LGV)
- LOADING / UNLOADING SPACE (LB)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

(FORMER SHEK WU SCHOOL)

SCALE

1 : 500 @ A4

DRAWN BY: MN DATE: 7.10.2024

REVISED BY: DATE:

APPROVED BY: DATE:

DWG. TITLE

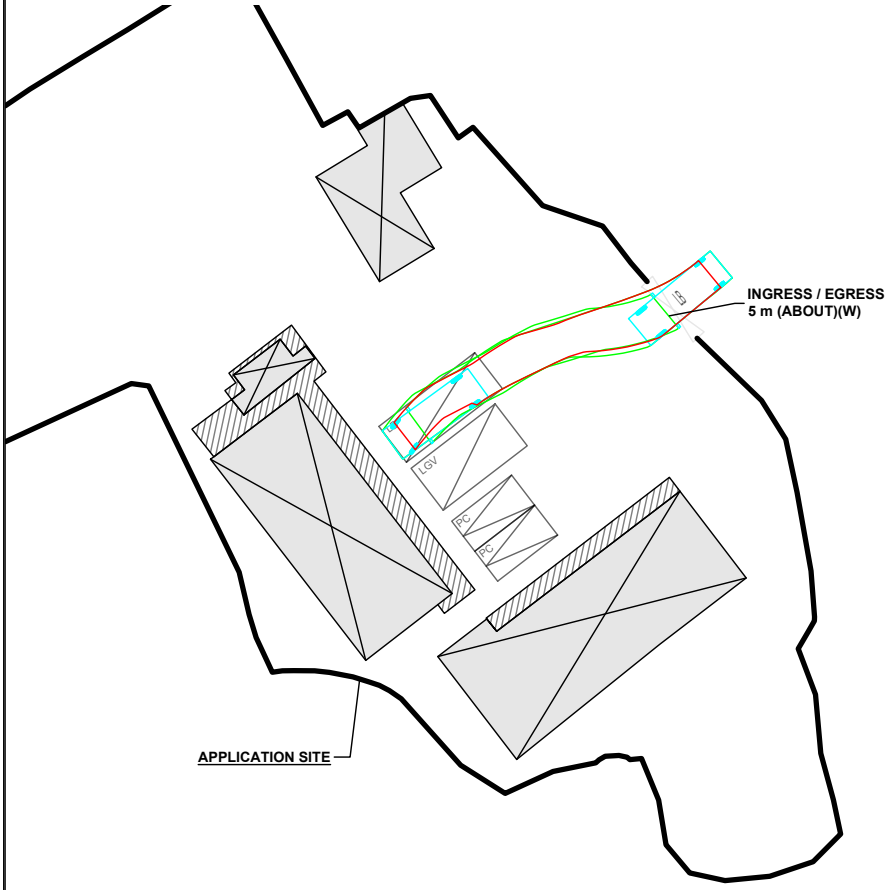
LAYOUT PLAN

DWG NO. VER.
PLAN 4 002

SWEPT PATH ANALYSIS

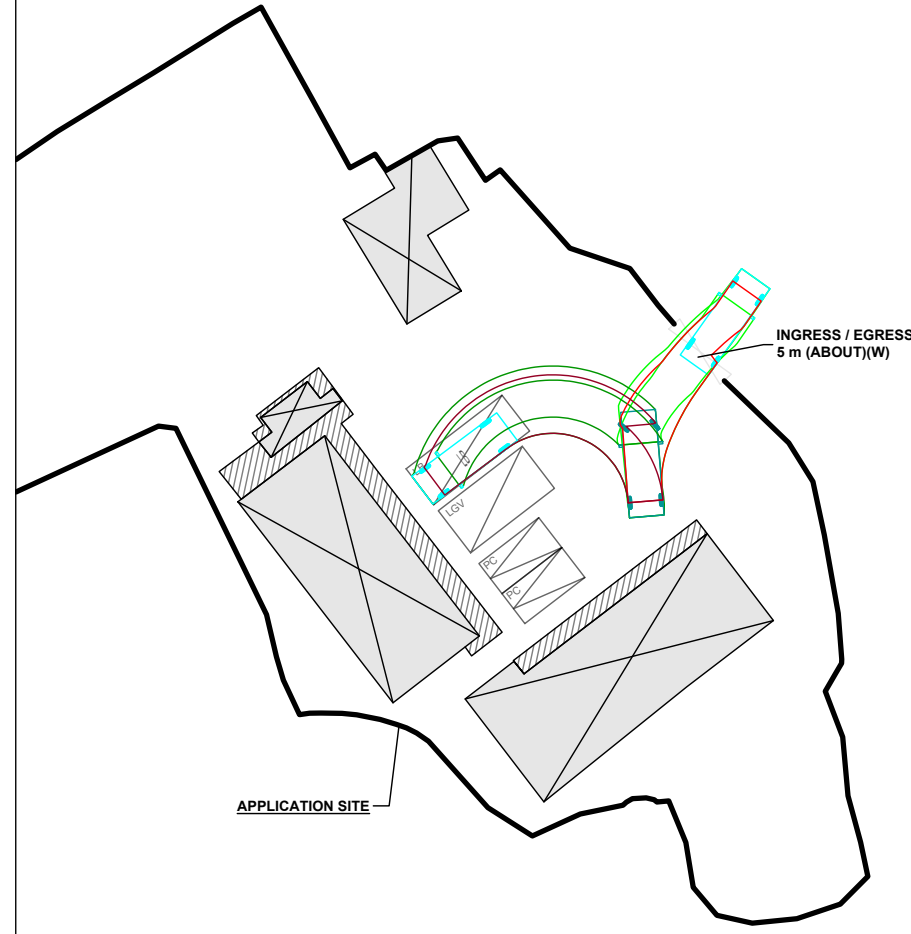
TYPE OF VEHICLE : LIGHT BUS
 DIMENSION OF VEHICLE : 2.3 m (W) X 7 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING



FROM THE LOCAL ACCESS TO THE APPLICATION SITE

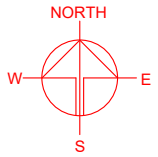
*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY



FROM THE APPLICATION SITE TO THE LOCAL ACCESS

LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (NOT ENCLOSED)
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (LGV)
- LOADING / UNLOADING SPACE (LB)
- INGRESS / EGRESS
- LIGHT BUS
- SWEPT PATH OF LIGHT BUS



PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

(FORMER SHEK WU SCHOOL)

SCALE

1 : 500 @ A4

DRAWN BY	DATE
MN	7.10.2024

CHECKED BY	DATE

APPROVED BY	DATE

DWG. TITLE
SWEPT PATH ANALYSIS

DWG NO.	VER.
PLAN 5	002

LIST OF APPENDICES

- Appendix I** Charitable Institution under Section 88 of the Inland Revenue Ordinance
- Appendix II** Memorandum and Articles of Association
- Appendix III** Activities Organized by the Applicant
- Appendix IV** Supporting Letter
- Appendix V** Tree Survey
- Appendix VI** Landscape Proposal
- Appendix VII** Drainage Proposal
- Appendix VIII** Fire Service Installations Proposal

Appendix I

Charitable Institution under Section 88 of the Inland Revenue Ordinance





稅務局
香港灣仔告士打道5號
稅務大樓

INLAND REVENUE DEPARTMENT
REVENUE TOWER
5 GLOUCESTER ROAD, WAN CHAI,
HONG KONG.

網址 Web site: (<http://www.ird.gov.hk>)

來函請寄「香港郵政總局信箱132號稅務局局長收」
ALL CORRESPONDENCE SHOULD BE ADDRESSED TO-
COMMISSIONER OF INLAND REVENUE
G.P.O. BOX 132, HONG KONG.

來函編號:

Your Ref.:

來函請註明本局檔案號碼

IN ANY COMMUNICATION PLEASE QUOTE OUR FILE NO.

檔案號碼: 91/16611

IR File No.:

HK Hakka Cultural Association
Limited
No.174 Shek Wu Tong Tsuen
Kam Sheung Road
Yuen Long N.T.

電話 :
Tel. No. : 2594 5300
傳真號碼 :
Fax No. : 2180 7446
電郵 :
E-mail : taxinfo@ird.gov.hk

先生/女士:

Dear Sir/Madam,

現 證 實 由 2 0 1 9 年 1 0 月 1 5 日 起
This is to confirm that with effect from 15 October 2019

香港客家人文化協會有限公司

HK HAKKA CULTURAL ASSOCIATION LIMITED

因 屬 公 共 性 質 的 慈 善 機 構 或 慈 善 信 託 團 體 ,
being a charitable institution or trust of a public character,

故 可 根 據 《 稅 務 條 例 》 第 8 8 條 獲 豁 免 繳 稅 。
is exempt from tax under Section 88 of the Inland Revenue Ordinance.

稅務局局長 (李鳳玲代行)

(Miss LEE Fung-ling)

for Commissioner of Inland Revenue

2019年11月21日

附註 本獲豁免繳稅證明書純粹是確認貴機構的免稅地位，而不是為符合非稅務用途的要求而發出，包括申請校舍、建校用地或空置公共屋邨非住宅單位；申請於活化計劃下使用政府歷史建築；申請種子基金成立社會企業及申請文娛活動的場租資助。

Note This tax exemption certificate solely serves as a confirmation of the tax exemption status of your organisation. It is not issued for fulfilling requirements of non-tax related purposes, including applications for school premises, school sites or vacant non-domestic premises in public housing estates, applications for the use of government-owned historic buildings under the revitalization scheme, applications for seed grants to set up social enterprises and applications for rental subsidy in respect of cultural activities.

Appendix II

Memorandum and Articles of Association



香港客家人文化中心章程

- 一. 名稱：本中心名為「香港客家人文化中心」，以下簡稱「本中心」。
- 二. 本中心設於香港新界八鄉元朗八鄉石湖塘前石湖學校舊址。
- 三. 宗旨：本中心成立的目的是「以老帶嫩」的承傳信念，積極推廣香港傳統及固有的客家人文化，讓元朗區及其他區域的居民(尤其是青少年)認識及欣賞香港的傳統客家人文化，同心協力用正能量建設香港。
- 四. 成員：凡持有香港出生證明文件的人士(18歲或以下人士須獲家長/監護人同意)，均可向本中心申辦組織「香港客家人文化協會有限公司」任何一位註冊成員登記成為本中心會員，並可擔任「香港客家人文化中心」委員會的職務(18歲或以下人士除外)。
- 五. 組織：
 - (1) 本中心設有管理委員會，成員包括有主席一名、副主席二人、秘書一名、財政一名、總務一名、稽核一名及其他無指定職務的成員若干名，而申辦組織「香港客家人文化協會有限公司」任何一位註冊成員均為當然成員。
 - (2) 所有委員會成員任期都是終身制，違反本中心章程而遭革除成員身份者除外。
 - (3) 各成員於產生後的首次會議上互選出任本章第(1)項

所述的職務。其後經委員會會議出席者超過三分之二通過，可以增加、減少或變動部分或全體成員的職務。

- (4) 委員會每三個月開例會一次。如有特殊事故，可在兩位正副主席或不少於四分之一委員要求下，召開特別會議。特別會議只討論及處理會議通知上列明的議程事項。例會及特別會議均以全體委員的五分之一作為法定會議人數。
- (5) 例會的開會通知期為會議前一星期，特別會議的通知期為兩個工作天。開會通告以電郵或 whatsapp 通知各成員。
- (6) 除本節第(3)項，或本港有關法例所規定的事項外，所有議決經出席委員簡單多數通過後，即時生效。
- (7) 委員如連續三次缺席會議而無合理解釋者，自動失去委員資格，委員會會公告有關詳情與全體成員。
- (8) 如有委員因迎逝世、辭職或其原因令致委員會出現空缺，委員會會因應當時情況和需要，決定是否需要增補人選。

六. 修章：本章程在兩位正副主席及委員會簡單多數通過後，得予修改。

Appendix III
Activities Organized by the Applicant



香港客家人文化協會
支持規劃申請的理據

選址原因

- 八鄉是元朗六鄉中最多客家圍村的地方，亦是最多客家人聚居之地；
- 公立石湖學校是八鄉投票站之一，地址容易令人知道在那裏；
- 公立石湖學校門口大空地方便停車或接送行動不便人士，不會阻塞交通。

活動制定

- 分享客家節日活動，例如賞月殺柚 - 寓意驅邪消災；拜月光 - 寓意驅邪消災；吃五仁月餅 - 寓意祈求祈禱五穀豐收、五彩繽紛的收穫和生活等。一些客家地區客在中秋節則有唱山歌、鬥山歌的活動。
- 客家人進行交流活動，如邀請不同地方（省份）客家人進行交流，或參觀其他客家村，加深新一代對客家文化了解。
- 介紹客家菜 - 包括介紹客家盤菜，小菜，米餅，客家粽子，鷄屎滕的傳統做法，邀請不同人仕參與同時，也能深入了解客家文化。
- 客家話宣傳 - 組織客家話班，以老帶幼，傳承客家話，促進保留地方語言。
- 籌組青少年舞麒麟訓練班客家有舞麒麟，也能深入了解客家文化。
- 舉辦客家歌舞表演、客家服飾秀等活動，讓大家全方位感受客家文化的魅力。

活動室使用方向

- 客家展覽館 - 分享客家文化，活動，食物及麒麟
- 客家話宣傳班，靜態交流活動
- 配合博愛醫院中醫流動醫療車停泊，為八鄉區老人提供義診，量血壓及物理治療等
- 配合政府部門，提供不同講座，如防火意識，行山注意，提防小偷，防電騙，垃圾分類，環保等等

空地使用方向

- 客家節日活動 - 例如賞月殺柚，拜月光
- 青少年舞麒麟訓練班
- 舉辦客家歌舞表演、客家服飾秀等活動
- 分類回收箱

Appendix IV
Supporting Letter



八鄉鄉事委員會



PAT HEUNG RURAL COMMITTEE

新界元朗八鄉上村4號V 電話：2488 6633 2488 6409 傳真：2488 8056 電郵：office@patheung.com
4V, SHEUNG TSUEN, PAT HEUNG, YUEN LONG, N.T. TEL: 2488 6633 2488 6409 FAX: 2488 8056 E-mail: office@patheung.com

敬啟者：

本會檔號：076/PHRC/2024/27/02

本會獲悉慈善機構，香港客家人文化協會有限公司（註冊號碼：2882514）想以八鄉公立石湖學校作為會址及服務中心，以作客家文化活動（包括客家話班、客家菜烹飪班、客家歌舞表演等）、客家展覽館、中醫流動義診及配合政府作講助場地和設立分類回收箱之用。本會十分支持該構思。

再者，公立石湖學校廢置已久，將其活化為服務中心，推動後可以成為社區活動的核心，舉辦各類文化活動，如客家音樂演出、傳統舞蹈表演和美食節等，吸引更多居民參加。這樣的活動不僅提升了社區凝聚力，也促進了當地經濟的發展。

客家文化是中國多元文化的重要組成部分，擁有獨特的語言、習俗、藝術和飲食。支持客家文化保育，不僅是對歷史的尊重，也能促進社會的多樣性和和諧。隨著現代化進程的加快，許多客家傳統逐漸被遺忘，這使得保護和傳承變得尤為迫切。舉辦客家文化活動，如節慶慶典、藝術展覽和美食節，能夠吸引更多人了解和參與。社區的力量也不容忽視，鼓勵地方居民積極參與保育工作。

石湖學校門口大片空地，方便停車及接送行動不便人士，相信不會阻塞交通或阻礙鄰近居民的日常生活。

政府和社會應共同努力，提供資源和支持，確保客家文化的持續發展。透過這些措施，我們能夠讓客家文化在現代社會中煥發新的活力，真正實現文化的傳承與創新。感激萬分！

八鄉鄉事委員會主席：郭永昌

副主席：鄧志光

黎永添

2024年9月19日





元朗區議會
YUEN LONG DISTRICT COUNCIL

郭永昌當然議員

KWOK WING CHEONG OF EX OFFIC
MEMBER

電話：2488 9917

傳真：2488 9519

電郵：yldcalankwok@gmail.com

辦事處地址：新界元朗八鄉上村 4V

Office Address : 4V SHEUNG TSUEN, PAT HEUNG, YUEN
LONG, N.T.

本處檔號：KWC-2024-0409

本辦獲悉慈善機構 香港客家人文化協會有限公司（註冊號碼：2882514）想以八鄉公立石湖學校作為會址及服務中心，以作客家文化活動（包括客家話班、客家菜烹飪班、客家歌舞表演等）、客家展覽館、中醫流動義診及配合政府作講助場地和設立分類回收箱之用。本辦十分支持該構思。

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元朗區議會郭永昌議員 謹啟

2024年9月19日





鄧鎔耀區議員辦事處

通訊地址：新界元朗八鄉橫台山永寧里 200 號地下
電話：2483 3008 傳真：2483 3638 電郵地址：patheung8@gmail.com

檔案編號：2024-110043TKP_JC

支持八鄉石湖塘學校作客家文化活動中心

本人得悉八鄉石湖塘學校擬將作客家文化活動中心用途，對此本人非常支持相關建議。

客家人是中華民族的一個分支，早在宋代時期，客家先民由中原南遷到香港，構成了當時香港主要人口組成部份，後經多年繁衍生息，墾闢荒地聚居成村，加上不同時期的人口遷移，讓香港不斷向前發展。現在全港七百多萬人口中，就有二百來萬是客家人，其中客家人更是構成新界地區的主要族群。

但是根據香港 2011 年人口普查報告，通曉客家語的人只佔香港人口的 4.7%，而以客家語作為母語的人更是只佔香港人口的 0.9%，情況不容樂觀。加上現代科技產品高速迭代，年青人對於香港傳統客家文化的興趣已經被大量的電子遊戲和各類短片所消磨殆盡，客家文化面臨著消失在現代新文化衝擊下的風險。

客家文化是中國南方文化的重要組成部分，亦是構成香港本土文化主要根脈，因此提供場地作客家文化活動中心可以有效地以透過地標模式來突顯客家文化存在，同時也能夠有一個場所給予市民大眾近距離接觸客家文化，因此本人對於石湖塘學校擬將作客家文化活動中心的發展用途，抱持支持態度，亦希望相關發展可以推動香港客家文化復興，壯大客家文化的軟實力。

元朗區區議員



鄧鎔耀 謹啟

日期：2024 年 11 月 29 日



元朗區議會

李靜儀區議員辦事處

李我一心 城鄉共榮
靜心聆聽 用心服務
儀法有道 德政為民

敬啓者：

本辦獲悉慈善機構 香港客家人文化協會有限公司（註冊號碼：2882514）想以八鄉公立石湖學校作為會址及服務中心，以作客家文化活動（包括客家話班、客家菜烹飪班、客家歌舞表演等）、客家展覽館、中醫流動義診及配合政府作講助場地和設立分類回收箱之用。本辦十分支持該構思，特別是八鄉石湖學校是上兩輩客家藉善心長者，為後輩教育事業，作無私奉獻，出錢出力開辦成立，自殺校後一直荒廢至今，若此申請獲批准，能夠活化校址，變相可保留長輩的心血和傳承先輩無私奉獻的初心。

再者，公立石湖學校廢置已久，作為慈善機構的服務中心令社區多一個公共空間，於市民政府皆有好處。對鄰近居民而言，多一個公共空間及眾多有關客家文化的興趣班，無疑令居民之間可以透過活動互相認識、交流，廣結朋友。同時，八鄉有眾多客家圍村，透過客家文化的慈善組織將可以吸引不同圍村居民參加活動，傳承客家文化之餘亦增加社區凝聚力，有助建設「關愛社區」，豐富居民生活。於政府而言，亦可以多一個地方舉辦各部門的講座，向八鄉居民宣傳如垃圾分類、環保政策等，使政令可以更深入鄉郊，有利「上情下達」。

其次，建設服務中心有助保育客家文化。客家文化一直是本港十分重要的一部分，而香港想成為「文化之都」，自然要着重保育本港的文化。機構以服務中心推廣客家文化，如客家話、客家菜、服飾、客家舞麒麟等，以及邀請內地不同省份的客家人赴港交流、設立客家展覽館等，能夠讓市民體驗客家文化，建設一個客家文化中心，保育本土客家文化並推動香港「文化之都」的發展。





元朗區議會

李靜儀區議員辦事處

李我一心 城鄉共榮
靜心聆聽 用心服務
儀法有道 德政為民

最後，有關選址妥善，相信不會有交通問題。公立石湖學校門口大片空地，方便停車及接送行動不便人士，不會阻塞交通或阻礙鄰近居民的日常生活。

綜合上述原因，本辦懇請政府可以仔細考慮有關機構的申請，並且批准建設服務中心，重新賦予公立石湖學校意義，不用再閒置荒廢。感激萬分！

元朗區議員
李靜儀 謹啟

2024年6月



致

城市規劃委員會

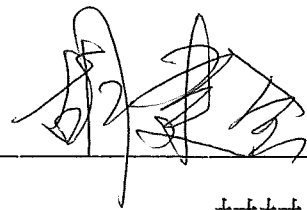
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 胡建全 是八鄉 田心村
村村代表，知悉上述機構向貴委員會，申請該慈善機構
的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此
類慈善組織為客籍人士服務，承傳客家文化，十分合
適。

本人代表本村，全力支持上述申請。

此致



村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 胡毓才 是八鄉 田心村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致

胡毓才

村村代表謹啟

日期: 30-11-2024

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城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 曾嘉耀 是八鄉 甲龍村
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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本人代表本村，全力支持上述申請。

此致

曾嘉耀 

村村代表謹啟

日期: 1-DEC-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 蔡金榮 是八鄉 石湖塘 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

蔡金榮

村村代表謹啟

日期: 2024.11.29

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 梁志輝 是八鄉 元崗村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

梁志輝

村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 張鳳如 是八鄉 元崗
村村代表，知悉上述機構向貴委員會，申請該慈善機構
的臨時會址，作為服務中心，宣揚客家文化。

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此致

張鳳如
村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

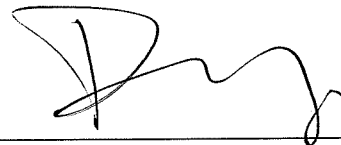
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本人 蔡智偉 是八鄉 石湖塘
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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此致



村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

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此致

梁耀興

村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 曾慶光 是八鄉 石湖塘村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致

曾慶光

村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司

申請八鄉石湖學校作為會址及服務中心

本人 蔡運彬 是八鄉 大窩
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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村村代表謹啟

日期: _____

致

城市規劃委員會

全力支持香港客家人文化協會有限公司

申請八鄉石湖學校作為會址及服務中心

本人 蔡運祺 是八鄉 大窩村
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此致

蔡運祺

村村代表謹啟

日期: _____



鄧鎔耀區議員辦事處

通訊地址：新界元朗八鄉橫台山永寧里 200 號地下
電話：2483 3008 傳真：2483 3638 電郵地址：patheung8@gmail.com

檔案編號：2024-110043TKP_JC

支持八鄉石湖塘學校作客家文化活動中心

本人得悉八鄉石湖塘學校擬將作客家文化活動中心用途，對此本人非常支持相關建議。

客家人是中華民族的一個分支，早在宋代時期，客家先民由中原南遷到香港，構成了當時香港主要人口組成部份，後經多年繁衍生息，墾闢荒地聚居成村，加上不同時期的人口遷移，讓香港不斷向前發展。現在全港七百多萬人口中，就有二百來萬是客家人，其中客家人更是構成新界地區的主要族群。

但是根據香港 2011 年人口普查報告，通曉客家語的人只佔香港人口的 4.7%，而以客家語作為母語的人更是只佔香港人口的 0.9%，情況不容樂觀。加上現代科技產品高速迭代，年青人對於香港傳統客家文化的興趣已經被大量的電子遊戲和各類短片所消磨殆盡，客家文化面臨著消失在現代新文化衝擊下的風險。

客家文化是中國南方文化的重要組成部分，亦是構成香港本土文化主要根脈，因此提供場地作客家文化活動中心可以有效地以透過地標模式來突顯客家文化存在，同時也能夠有一個場所給予市民大眾近距離接觸客家文化，因此本人對於石湖塘學校擬將作客家文化活動中心的發展用途，抱持支持態度，亦希望相關發展可以推動香港客家文化復興，壯大客家文化的軟實力。

元朗區區議員



鄧鎔耀 謹啟

日期：2024 年 11 月 29 日



鄧鎔耀區議員辦事處

通訊地址：新界元朗八鄉橫台山永寧里 200 號地下
電話：2483 3008 傳真：2483 3638 電郵地址：patheung8@gmail.com

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元朗區區議員



鄧鎔耀 謹啟

日期：2024 年 11 月 29 日

致

城市規劃委員會


全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 張展立 是八鄉 長莆村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致



長莆 村村代表謹啟

日期: 2024年11月30日

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 張日華 是八鄉 雷公田村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

張日華

雷公田 村村代表謹啟

日期: 30/11/2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 李連新 是八鄉 中徑 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

李連新

村村代表謹啟

日期: 2024-11-30

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 鄧瑞強 是八鄉 橫台山下新屋 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

鄧瑞強
橫台山下新屋村村代表謹啟

日期: 2024年11月30日

致

城市規劃委員會

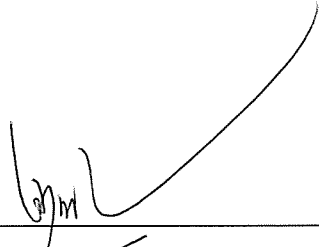
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 范國豪 是八鄉 河背 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致


八鄉河背村村代表謹啟

日期: 20-11-2024

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城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 張少聲 是八鄉 打石湖
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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此致

張少聲

打石湖

村村代表謹啟

日期: 2024-11-30

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 謝榮耀 是八鄉 金錢圍 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致

謝榮耀
金錢圍 村村代表謹啟

日期: 30/11/2024.

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 黎玉勝 是八鄉 上村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致

黎玉勝

上村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 梁榮光 是八鄉 長江村
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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此致



長江

村村代表謹啟

日期: 30-11-2024

致

城市規劃委員會

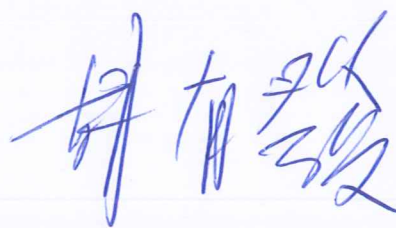
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 胡有發 是八鄉 馬鞍崗 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致



馬鞍崗 村村代表謹啟

日期: 2024 - 11 - 30

致

城市規劃委員會

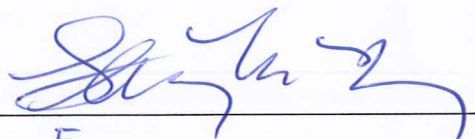
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

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長江 村村代表謹啟

日期: 30-11-2024

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城市規劃委員會

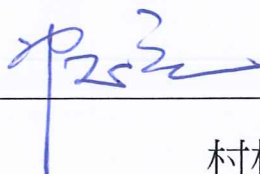
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 鄧志光 是八鄉 竹坑村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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此致



村村代表謹啟

日期: 30-11-2024

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城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 簡成木票 是八鄉 下嶺
村村代表，知悉上述機構向貴委員會，申請該慈善機構
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此致

下嶺 村村代表謹啟

日期: 2024-11-30

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 郭惠新 是八鄉 蓮花地 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

郭惠新

蓮花地村村代表謹啟

日期: 2-12-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 鄭偉康 是八鄉 金錢圍 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

鄭偉康

金錢圍 村村代表謹啟

日期: 2024年12月2日

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 胡偉德 是八鄉 河背 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致



河背 村村代表謹啟

日期: 2024年12月2日

致

城市規劃委員會

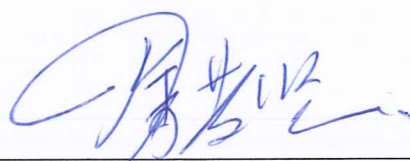
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 徐敬堅 是八鄉 吳家 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致



吳家 村村代表謹啟

日期: 2024-12-02

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 張達球 是八鄉 水盞田村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致



水盞田村村代表謹啟

日期: 2024-12-21

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 鄧觀新 是八鄉 橫台山 下新屋 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致



橫台山 下新屋 村村代表謹啟

日期: 2-12-2024

致

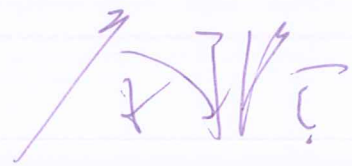
城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 黎永添 是八鄉 上村
村村代表，知悉上述機構向貴委員會，申請該慈善機構
的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此
類慈善組織為客籍人士服務，承傳客家文化，十分合
適。

本人代表本村，全力支持上述申請。



上村村代表謹啟

日期: 2/12/2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 鄧少榮 是八鄉 橫台山永寧里 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

鄧少榮

橫台山永寧里村村代表謹啟

日期: 2024年12月2日

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 江元嬌 是八鄉 大江埔 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致

江元嬌 大江埔

村村代表謹啟

日期: 2-12-2024

致

城市規劃委員會

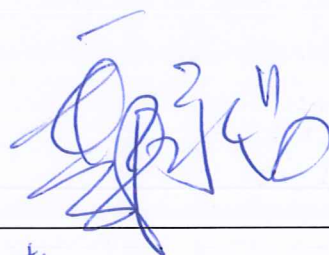
全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 郭永昌 是八鄉 蓮花地 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致



蓮花地 村村代表謹啟

日期: 2-12-2024

致

城市規劃委員會


全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 彭柏威 是八鄉 彭家村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

八鄉是全港客家籍人士聚居最多人數的地區之一，有此類慈善組織為客籍人士服務，承傳客家文化，十分合適。

本人代表本村，全力支持上述申請。

此致


彭家村代表謹啟

日期: 02-12-2024

致

城市規劃委員會

全力支持香港客家人文化協會有限公司
申請八鄉石湖學校作為會址及服務中心

本人 羅顯宗 是八鄉 橫白山羅屋村 村村代表，知悉上述機構向貴委員會，申請該慈善機構的臨時會址，作為服務中心，宣揚客家文化。

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本人代表本村，全力支持上述申請。

此致



羅屋

村村代表謹啟

日期: 2024年12月2日

Appendix V
Tree Survey



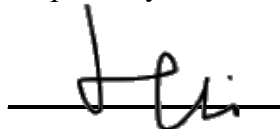
Tree Survey Report

Date of Survey: 25th October 2024

Location:

Lots 2063 And 2064 In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories (Former Shek Wu School)

Prepared by:



Mak Ka Hei

Registered Arborist

Date: 28th October 2024

Table of contents

1. Introduction	3
2. Summary of Existing Trees	4

Appendix:

- I. Tree Survey Plan
- II. Tree Survey Schedule
- III. Photo Records

Disclaimer:

The tree survey conducted indicates the condition of the surveyed trees at the time of inspection only. The assessments of amenity value, form, health and structural condition of the trees surveyed are based on visual inspection from the ground only. No aerial inspection, root digging or mapping, or diagnostic testing has been conducted as part of this survey. Wing Ho Yuen Landscaping Company Limited cannot accept responsibility for future failure or defects detected after the time of inspection of the trees surveyed in this report.

1. Introduction

The survey conducted is to record all the existing trees in the tree survey boundary. The survey include tree species identification, tree tagging with durable labels, the measurements of overall tree height, Diameter at Breast Height (DBH), average crown spread, the evaluation on amenity value, form, health and structural conditions.

The tree survey was conducted on 25th October 2024. Plants with DBH less than 95mm were not recorded in the survey.

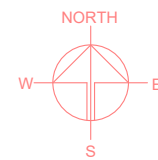
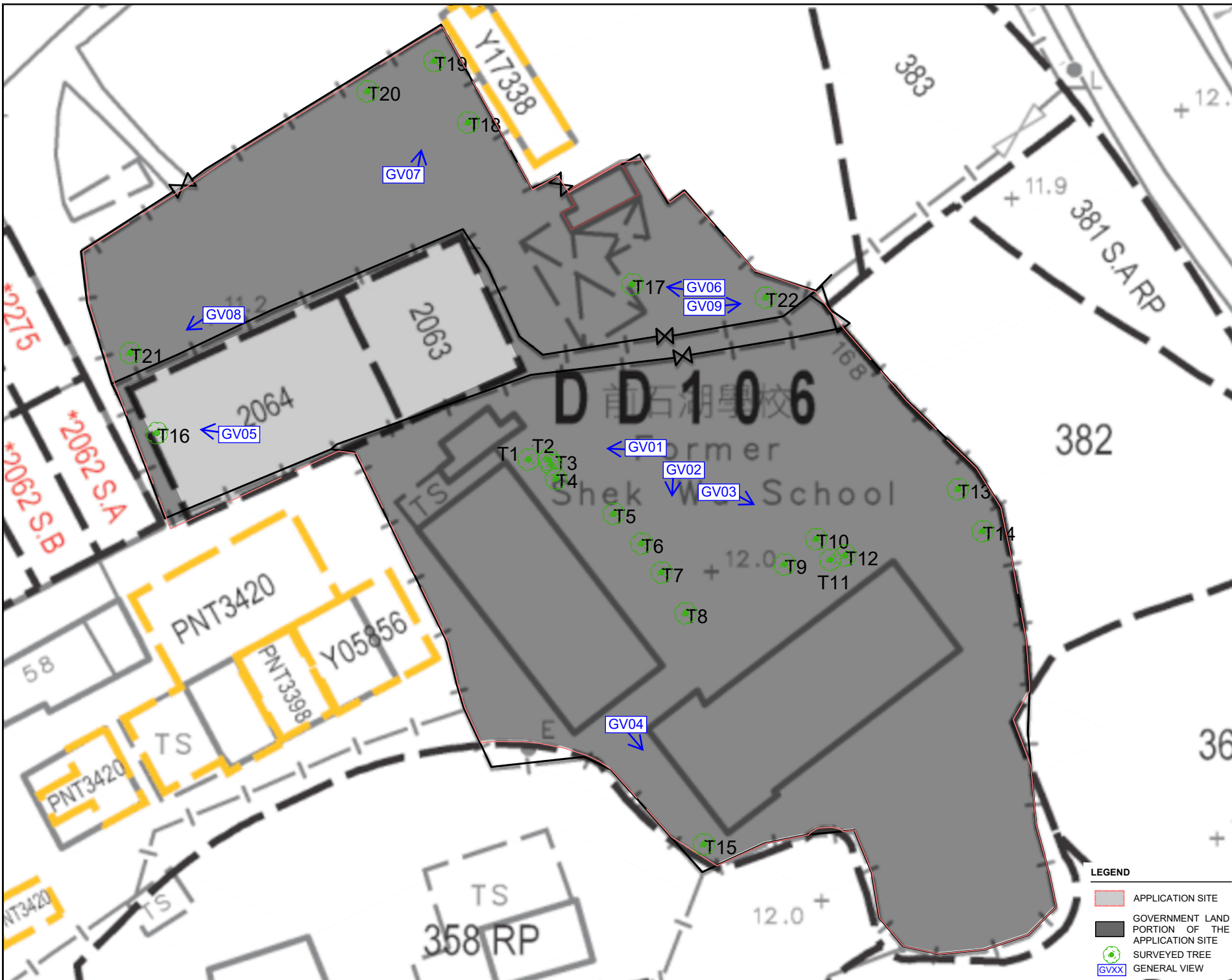
2. Summary of Existing Trees

The surveyed site is located at Lots 2063 And 2064 In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories (Former Shek Wu School).

At the time of inspection on 25th October 2024, **22 nos.** trees were found within the Site. **No** dead tree was recorded in the surveyed area. Location of individual tree refers to Appendix I.

Details of tree conditions and photo records for individual tree are recorded in the Appendix II and Appendix III respectively.

Appendix I – Tree Survey Plan



PLANNING CONSULTANT
R-Riches
 Property Consultants Ltd.

PROJECT
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION
 LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES
 (FORMER SHEK WU SCHOOL)

SCALE
 1 : 500 @ A4

DRAWN BY KYU	DATE 28.10.2024
REVISED BY	DATE
APPROVED BY	DATE

DWG. TITLE TREE SURVEY PLAN	
DWG NO. TSP	VER. 000

- LEGEND**
- APPLICATION SITE
 - GOVERNMENT LAND PORTION OF THE APPLICATION SITE
 - SURVEYED TREE
 - GVXX GENERAL VIEW

Appendix II –Tree Survey Schedule

Tree Survey Schedule

Location:

Lots 2063 And 2064 In D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories (Former Shek Wu School)



Tree surveyor(s):

Mak Ka Hei

Field Survey was conducted on:

25 October 2024

Tree No.	Tree Species		Tree Size Measurements			Amenity Value	Form	Health Condition	Structural Condition	Suitability for Transplanting	Remarks
	Botanical Name	Chinese Name	Overall Height (m)	DBH (mm)	Average Crown Spread (m)	High /Med /Low	Good /Fair /Poor	Good /Fair /Poor /Dead	Good /Fair /Poor	High /Med /Low	
T1	<i>Bougainvillea spectabilis</i>	光葉子花 (簕杜鵑)	5.5	310	4.0	Low	Fair	Fair	Poor	Low	multi-trunks
T2	<i>Macaranga tanarius var. tomentosa</i>	血桐	7.0	130	5.0	Low	Fair	Fair	Poor	Low	topped trunk, restricted root, decay at trunk
T3	<i>Macaranga tanarius var. tomentosa</i>	血桐	6.0	191	5.0	Low	Fair	Fair	Poor	Low	co-dominant trunks, restricted root
T4	<i>Bougainvillea spectabilis</i>	光葉子花 (簕杜鵑)	6.0	300	4.0	Low	Fair	Fair	Poor	Low	multi-trunks
T5	<i>Cinnamomum camphora</i>	樟	6.0	135	4.0	Low	Fair	Fair	Poor	Low	multi-trunks
T6	<i>Celtis sinensis</i>	朴樹	7.0	95	4.0	Low	Fair	Fair	Fair	Low	-
T7	<i>Ilex rotunda</i>	鐵冬青	7.0	206	4.0	Low	Fair	Fair	Poor	Low	co-dominant trunks, included bark
T8	<i>Celtis sinensis</i>	朴樹	7.0	95	4.0	Low	Fair	Fair	Fair	Low	
T9	<i>Cinnamomum camphora</i>	樟	7.0	109	4.0	Low	Fair	Fair	Poor	Low	multi-trunks
T10	<i>Delonix regia</i>	鳳凰木	8.0	100	4.5	Low	Fair	Fair	Fair	Low	
T11	<i>Delonix regia</i>	鳳凰木	7.0	120	4.0	Low	Fair	Fair	Fair	Low	
T12	<i>Celtis sinensis</i>	朴樹	7.0	100	4.0	Low	Fair	Fair	Poor	Low	co-dominant trunks, included bark
T13	<i>Cinnamomum camphora</i>	樟	15.0	1500	16.0	Low	Fair	Poor	Poor	Low	dieback twigs, co-dominant trunks, wound on trunk, decay at trunk, trunk conflict with fence
T14	<i>Delonix regia</i>	鳳凰木	12.0	1400	18.0	Low	Poor	Poor	Poor	Low	crown conflict with building, wound on branch, trunk conflict with fence, uprooted, decay at root
T15	<i>Lophostemon confertus</i>	紅膠木	10.0	380	6.0	Low	Fair	Poor	Fair	Low	cavity at trunk, dieback twigs
T16	<i>Ficus microcarpa</i>	榕樹(細葉榕)	7.0	164	4.0	Low	Fair	Poor	Poor	Low	co-dominant trunks, cavity at trunk
T17	<i>Ilex rotunda</i>	鐵冬青	11.0	540	9.0	Low	Fair	Poor	Poor	Low	split wound at branch, splited and decay at branch, decay at trunk, restricted root, cavity at branch
T18	<i>Dimocarpus longan</i>	龍眼	13.0	320	8.0	Med	Fair	Poor	Fair	Low	hanger, dead branch, decay at trunk
T19	<i>Dimocarpus longan</i>	龍眼	14.0	1100	8.0	Med	Fair	Poor	Poor	Low	decay at trunk, wound on trunk, trunk conflict with fence
T20	<i>Dimocarpus longan</i>	龍眼	13.0	600	8.0	Med	Fair	Poor	Poor	Low	co-dominant trunks with included bark, decay at branch, cavity at trunk, exposed root
T21	<i>Ficus microcarpa</i>	榕樹(細葉榕)	7.0	170	6.0	Low	Fair	Poor	Poor	Low	multi-trunks, trunk girdling, dead stub, bulge, cross branches, pruning wound with epicormics, drooping branches, wound on trunk, wire embedded in trunk
T22	<i>Ligustrum sinense</i>	山指甲	5.5	112	4.0	Low	Fair	Fair	Poor	Low	co-dominant trunks

Notes: Amenity Value, Form, Health Condition and Structural Condition of trees were obtained by Visual Assessment Only.

Appendix III – Photo Records

General View



General view 01



General view 02

General View



General view 03



General view 04

General View



General view 05



General view 06

General View



General view 07



General view 08

General View



General view 09

Photo Records



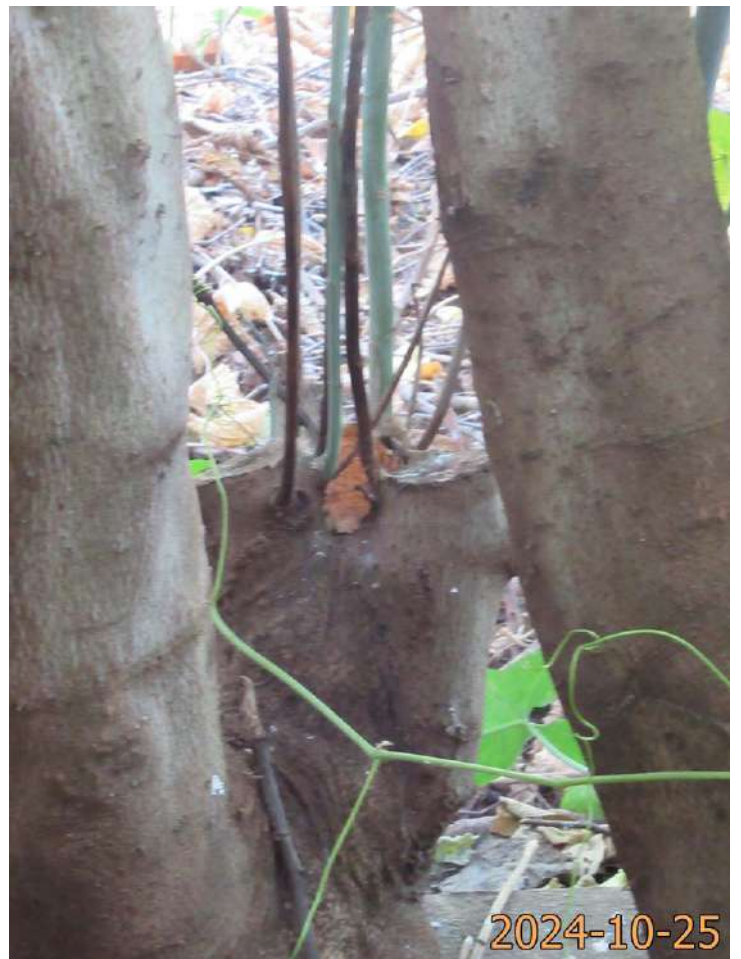
T1 (Overview)



T2 (Overview)



T2 Restricted root (Decay at trunk)



T2 Topped trunk

Photo Records



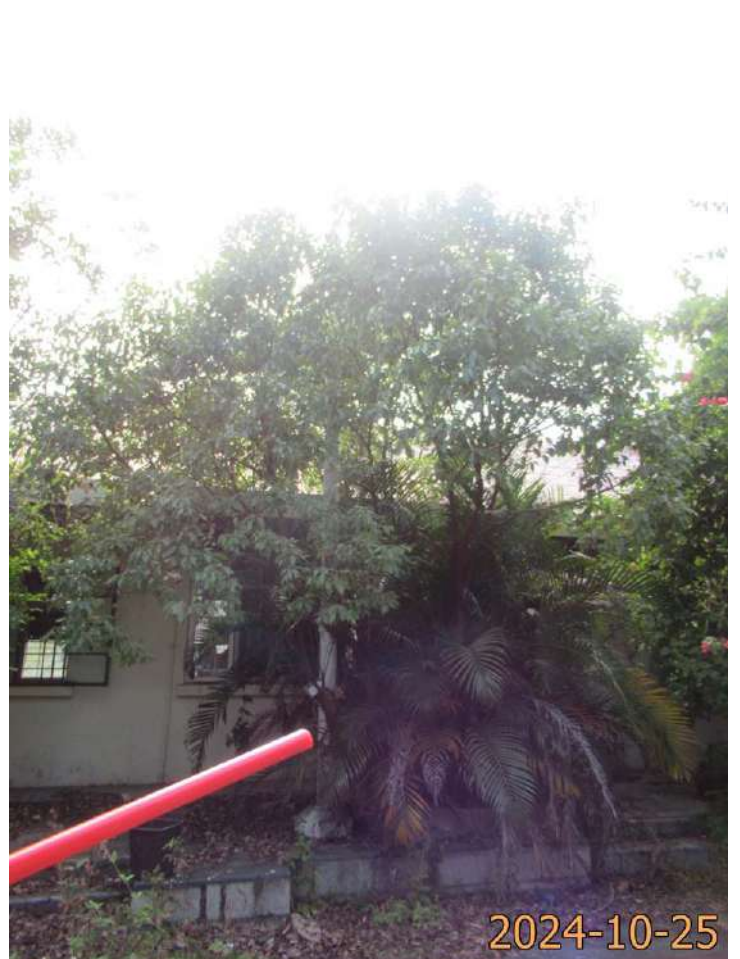
T3 (Overview)



T3 Restricted root



T4 (Overview)



T5 (Overview)

Photo Records



T6 (Overview)



T7 (Overview)



T7 Included bark



T8 (Overview)

Photo Records



T9 (Overview)



T10 (Overview)



T11 (Overview)



T12 (Overview)

Photo Records



T12 Co-dominant trunks with included bark



T13 (Overview)



T13 Co-dominant trunks



T13 Decay at trunk_1

Photo Records



T13 Decay at trunk_2



T13 Dieback twigs



T13 Trunk conflict with fence



T13 Wound on trunk

Photo Records



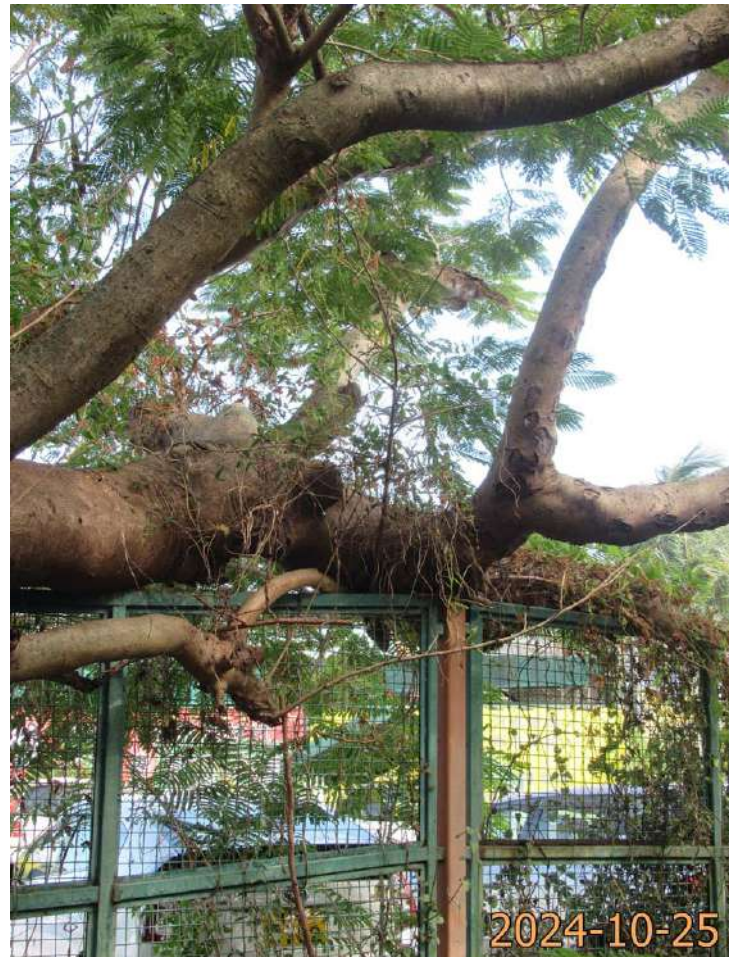
T14 (Overview)



T14 Crown conflict with building



T14 Decay at root



T14 Trunk conflict with fence

Photo Records



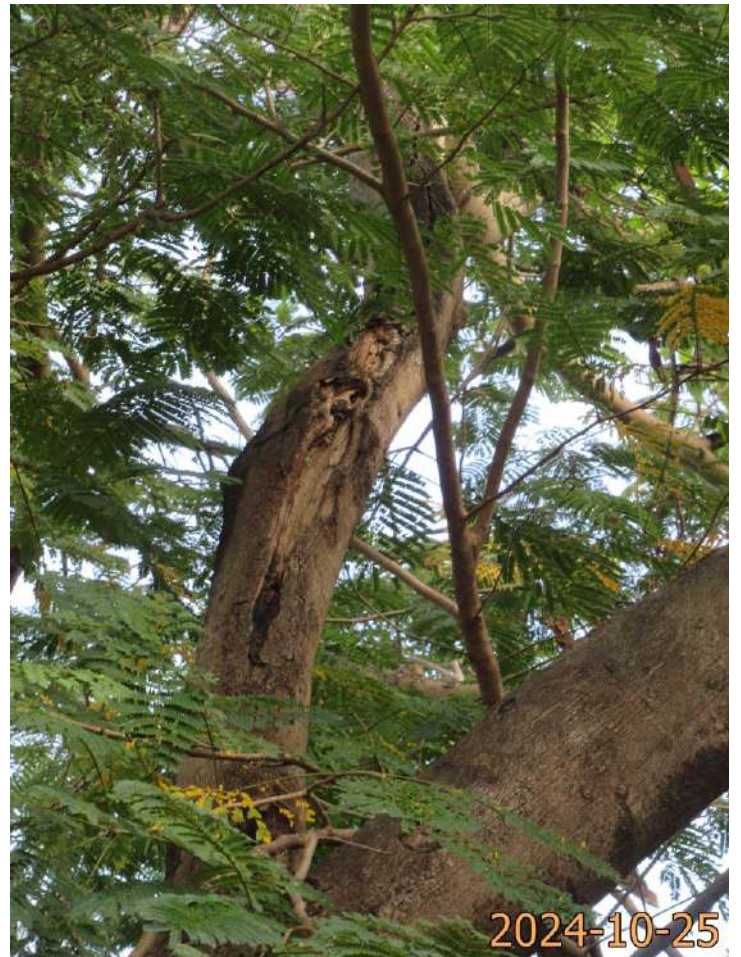
T14 Uprooted_1



T14 Uprooted_2



T14 Uprooted_3



T14 Wound on branch_1

Photo Records



2024-10-25

T14 Wound on branch_2



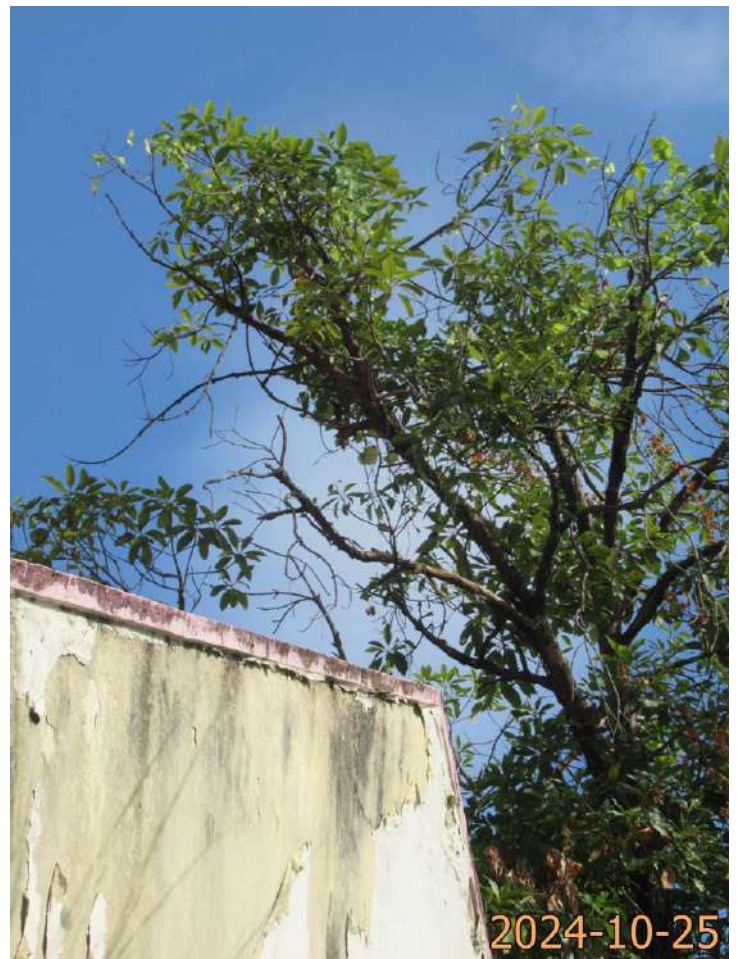
2024-10-25

T15 (Overview)



2024-10-25

T15 Cavity at trunk



2024-10-25

T15 Dieback twigs

Photo Records



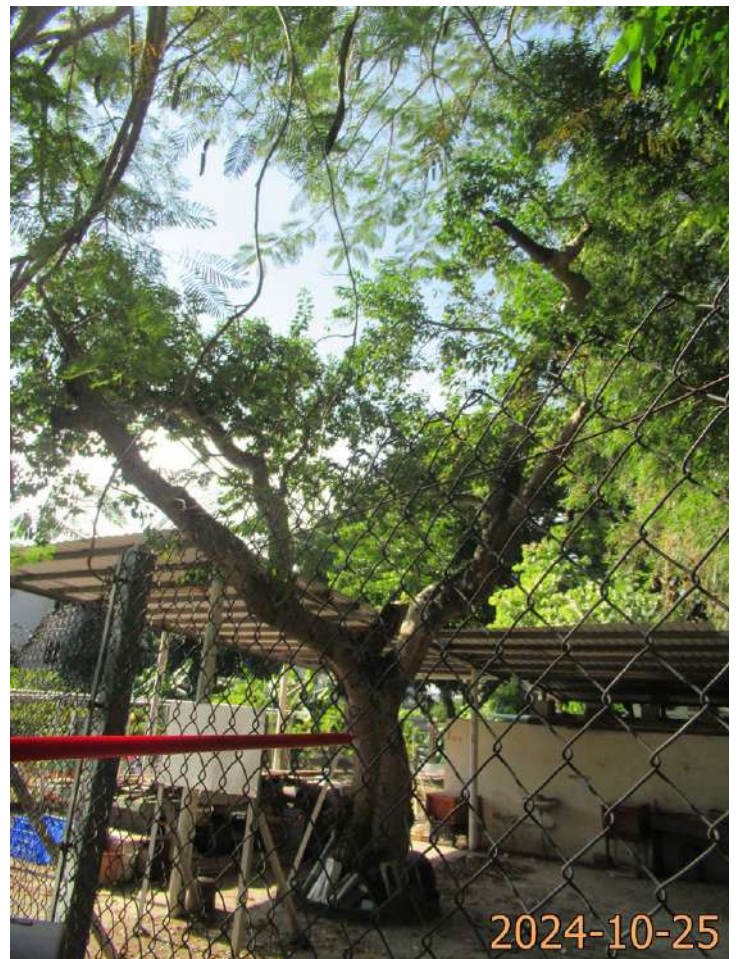
T16 (Overview)



T16 Cavity at trunk



T16 Co-dominant trunks

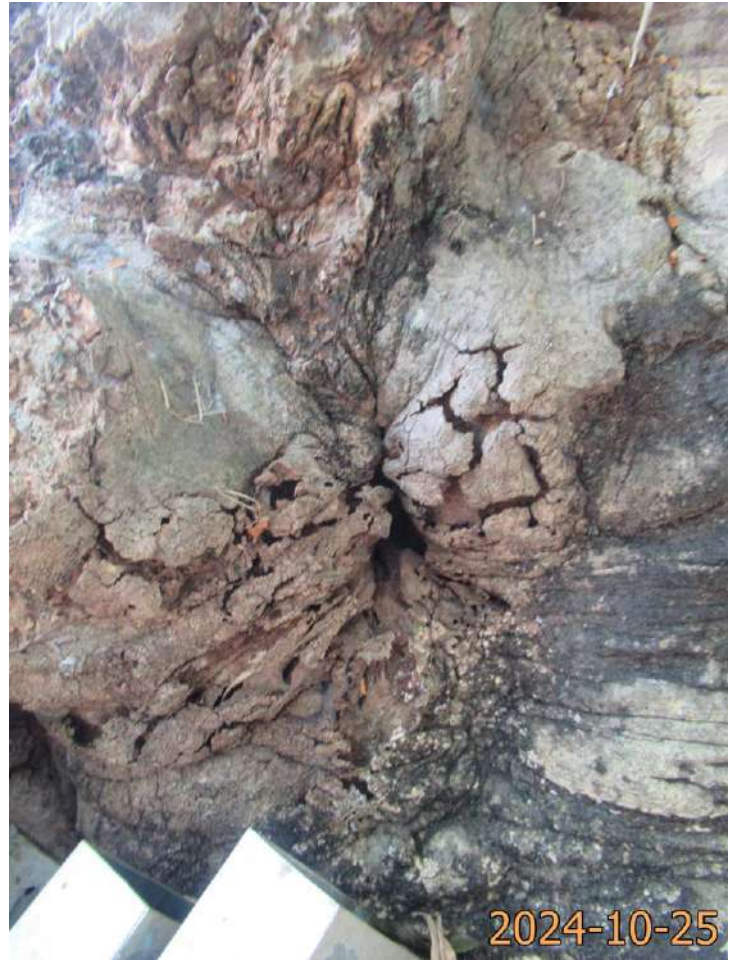


T17 (Overview)

Photo Records



T17 Cavity at branch



T17 Decay at trunk



T17 Restricted root



T17 Split wound at branch

Photo Records



2024-10-25

T17 Splited and decay at branch



2024-10-25

T18 (Overview)



2024-10-25

T18 Dead branch



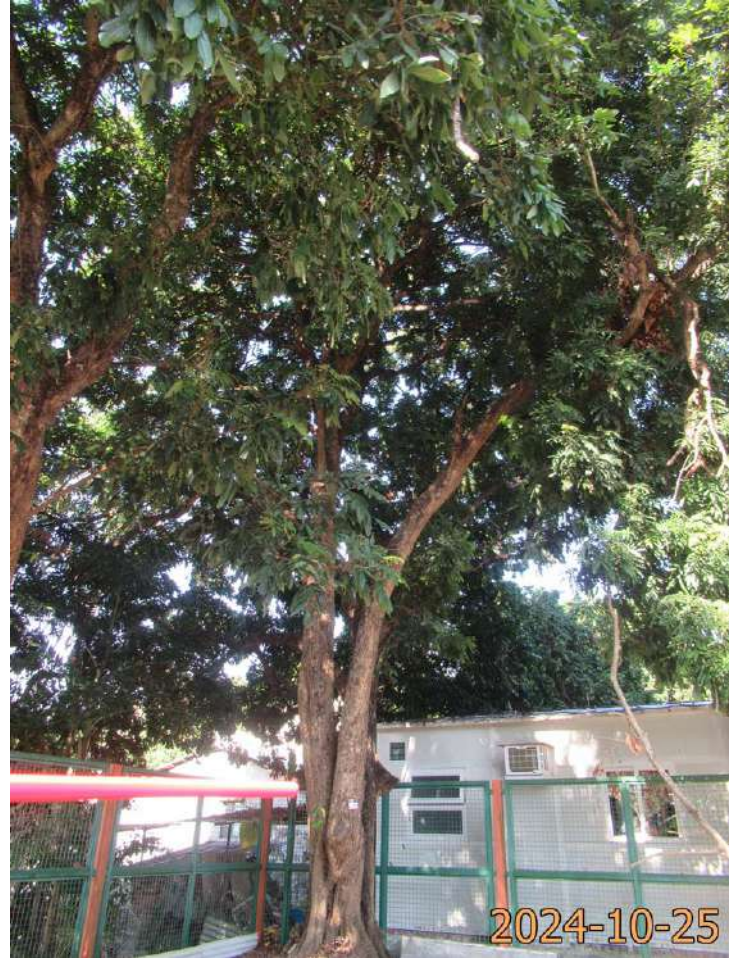
2024-10-25

T18 Decay at trunk

Photo Records



T18 Hanger



T19 (Overview)



T19 Dead branch

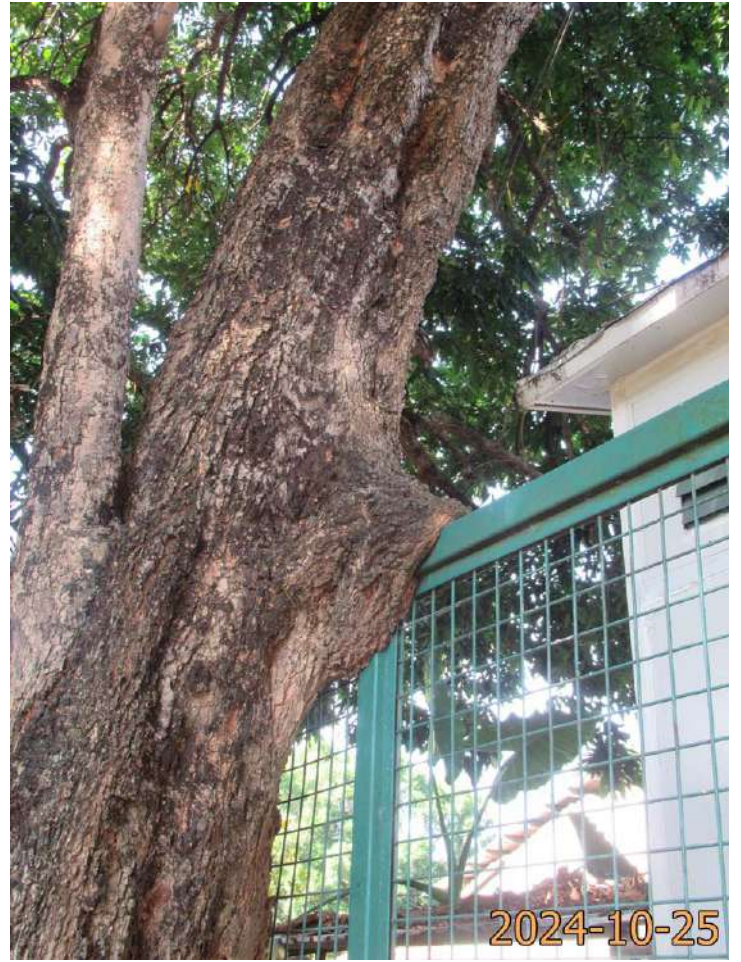


T19 Decay at trunk_1

Photo Records



T19 Decay at trunk_2



T19 Trunk conflict with fence



T19 Wound on trunk



T20 (Overview)

Photo Records



T20 Cavity at trunk



T20 Co-dominant trunks with included bark



T20 Decay at branch



T20 Exposed root

Photo Records



T21 (Overview)



T21 Bulge



T21 Cross branches

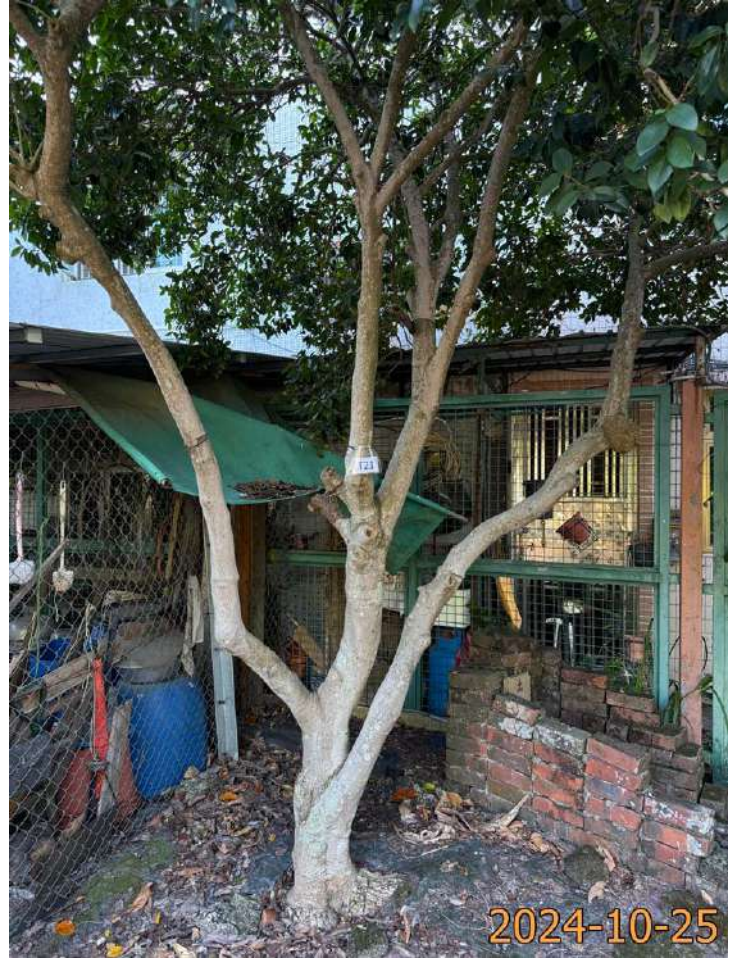


T21 Dead stub

Photo Records



T21 Drooping branches



T21 Multi-trunks



T21 Pruning wound with epicormics



T21 Trunk girdling

Photo Records



2024-10-25

T21 Wire embedded in trunk



2024-10-25

T21 Wound on trunk



2024-10-25

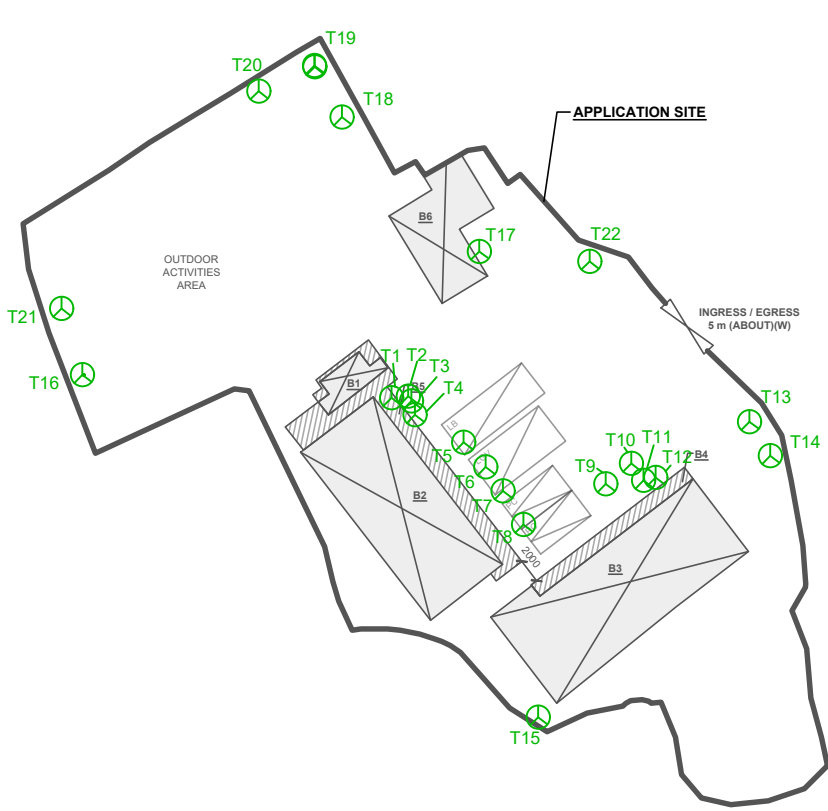
T22 (Overview)

Appendix VI
Landscape Proposal



LANDSCAPE PROPOSAL

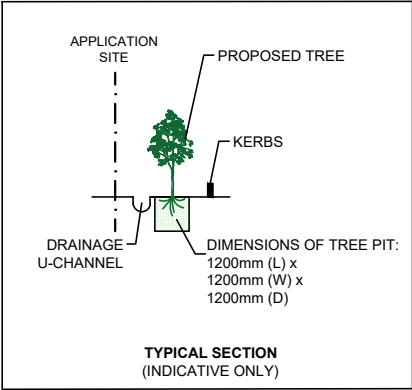
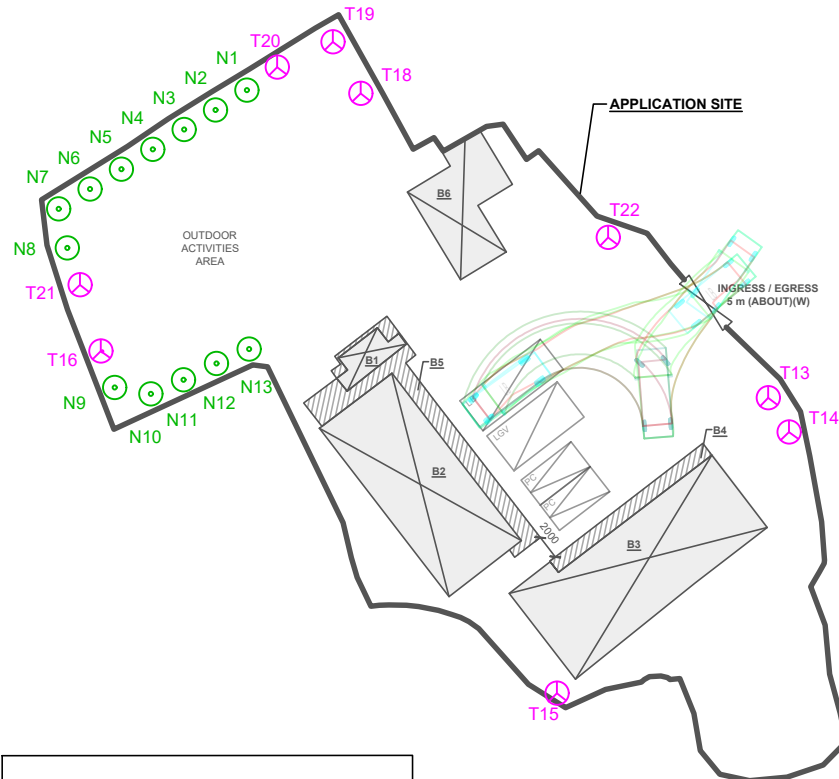
APPLICATION SITE AREA : 1,940 m² (ABOUT)
 NO. OF EXISTING TREES : 22 (T1 TO T22)
 TREE SPECIES : BOUGAINVILLEA SPECTABILIS (T1, T4)
 : MACARANGA TANARIUS VAR. TOMENTOSA (T2, T3)
 : CINNAMOMUM CAMPHORA. (T5, T9, T13)
 : CELTIS SINENSIS (T6, T8, T12)
 : ILEX ROTUNDA (T7, T17)
 : DELONIX REGIA (T10, T11, T14)
 : LOPHOSTEMON CONFERTUS (T15)
 : FICUS MICROCARPA (T16, T21)
 : DIMOCARPUS LONGAN (T18 TO T20)
 : LIGUSTRUM SINENSE (T22)
 NO. OF TREES TO BE FELLED : 13 (T1 TO T12, T17)



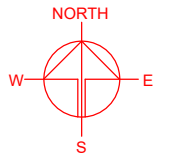
LEGEND
 APPLICATION SITE
 EXISTING TREES

LANDSCAPE PROPOSAL

APPLICATION SITE AREA : 1,940 m² (ABOUT)
 COVERED AREA : 1,635 m² (ABOUT)
 UNCOVERED AREA : 953 m² (ABOUT)
 NO. OF TREES WILL BE PRESERVED : 9 (T13 TO T16, T18 TO T22)
 NO. OF NEW TREES WILL BE PLANTED : 13 (N1 TO N13)
 SPECIES OF NEW TREES : POLYSPORA AXILLARIS
 HEIGHT OF NEW TREES : NO LESS THAN 2.75 m
 SPACING OF NEW TREES : NOT LESS THAN 3 m
 DIMENSION OF TREE PIT : 1.2 m (W) 1.2 m X (L) X 1.2 m (D)



NOTES:
 1) THE APPLICANT WILL MAINTAIN TREES IN GOOD CONDITION DURING THE PLANNING APPROVAL PERIOD.
 2) THE APPLICANT WILL REPLACE TREES WHICH ARE DYING OR DEAD DURING THE PLANNING APPROVAL PERIOD.
 3) THE APPLICANT WILL PROVIDE ADEQUATE IRRIGATION FOR TREES.



LEGEND
 APPLICATION SITE
 STRUCTURE
 PARKING SPACE (PC)
 L/UL SPACE (LGV)
 INGRESS / EGRESS
 LGV / PC
 SWEEPED PATH OF VEHICLE
 PROPOSED NEW TREES
 EXISTING TREES TO BE PRESERVED

PLANNING CONSULTANT

 PROJECT
 PROPOSED WAREHOUSE WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND
 TEMPORARY (EXCLUDING DANGEROUS GOODS GODOWN)
 SITE LOCATION
 VARIOUS LOTS IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 600 @ A4
 DRAWN BY
 LT
 DATE
 12.8.2024
 REVISED BY
 DATE
 APPROVED BY
 DATE
 DWG. TITLE
 LANDSCAPE PROPOSAL
 DWG. NO.
 APPENDIX VI
 VER.
 001

Appendix VII
Drainage Proposal



PROPOSED TEMPORARY PLACE OF RECREATION,
SPORTS OR CULTURE WITH ANCILLARY FACILITIES
FOR A PERIOD OF 5 YEARS, LOTS 2063 AND 2064 IN
D.D. 106 AND ADJOINING GOVERNMENT LAND,
KAM TIN, YUEN LONG, NEW TERRITORIES (FORMER
SHEK WU SCHOOL)

Drainage Appraisal

September 2024

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1. Introduction

1.1 Background

- 1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use the Former Shek Wu School (Government Land (GL) in D.D. 106, Kam Tin, Yuen Long, New Territories) (the Site) for 'Proposed Temporary Social Welfare Facility with Ancillary Facilities for a Period of 5 Years' (Proposed Development).
- 1.1.2 This Drainage Proposal is to support the planning application for the proposed use.

1.2 The Site

- 1.2.1 The Application Site was former Shek Wu School located beside Kam Sheung Road. It has an area of about 1,940 m². The site is currently occupied by old school buildings with some greenery. The site location plan is shown in **Figure 1**.
- 1.2.2 The existing ground level of the site is approx. +12 mPD and it is intended to keep it unchanged. The site and the surrounding area are generally flat.
- 1.2.3 There is an existing approx. 1.2m width channel beside Kam Sheung Road. Existing Drainage Plan and Site Photo of existing channel are shown in **Figure 2** for reference.
- 1.2.4 Proposed Development Layout plan is shown in **Appendix B** for reference.

2. Development Proposal

2.1 The Proposed Development

2.1.1 The total site area is approximately 1,940 m². The indicative development schedule is summarized in **Table 1** below for technical assessment purpose. Catchment Plan is shown in Figure 4.

Proposed Development	
Total Site Area (m ²)	1,940
Paved Area (m ²)	1,940
Assume all proposed site area as paved area for assessment purpose	

Table 1 - Key Development Parameters

3. Assessment Criteria

3.1.1 The Recommended Design Return Period based on Flood Level from SDM (Table 10) is adopted for this DIA. The recommendation is summarized in **Table 2** below.

Description	Design Return Periods
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage Including Internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 2– Design Return Periods under SDM

3.1.2 The proposed village drainage system intended to collect runoff from the internal site and discharge to existing approx. 1m width channel at the south of the site. 1 in 10 years return period is adopted for the drainage design.

3.1.3 Stormwater drainage design will be carried out in accordance with the criteria set out in the Stormwater Drainage Manual published by DSD. The proposed design criteria to be adopted for design of this stormwater drainage system and factors which have been considered are summarised below.

1. Intensity-Duration-Frequency Relationship – The Recommended Intensity-Duration-Frequency relationship is used to estimate the intensity of rainfall. It can be expressed by the following algebraic equation.

$$i = \frac{a}{(t_d + b)^c}$$

The site is located within the HKO Headquarters Rainfall Zone. Therefore, for 10 years return period, the following values are adopted.

a	=	485
b	=	3.11
c	=	0.397

(Corrigendum_No.1/2024)

2. The peak runoff is calculated by the Rational Method
i.e. $Q_p = 0.278CiA$

where	Q_p	=	peak runoff in m^3/s
	C	=	runoff coefficient (dimensionless)
	i	=	rainfall intensity in mm/hr
	A	=	catchment area in km^2

3. The run-off coefficient (C) of surface runoff are taken as follows:

- Paved Area: C = 0.95
- Unpaved Area: C = 0.35

4. Manning's Equation is used for calculation of velocity of flow inside the channels:

$$\text{Manning's Equation: } v = \frac{R^{2/3}}{n} S_f^{1/2}$$

Where,

V = velocity of the pipe flow (m/s)

S_f = hydraulic gradient

n = manning's coefficient

R = hydraulic radius (m)

5. Colebrook-White Equation is used for calculation of velocity of flow inside the pipes:

$$\text{Colebrook-White Equation: } \underline{v} = -\sqrt{32gRS} \log \log \left(\frac{k_s}{14.8R} + \frac{1.255v}{R\sqrt{32gRS}} \right)$$

where,

V	=	velocity of the pipe flow (m/s)
S _f	=	hydraulic gradient
k _f	=	roughness value (m)
v	=	kinematics viscosity of fluid
D	=	pipe diameter (m)
R	=	hydraulic radius (m)

4. Proposed Drainage System

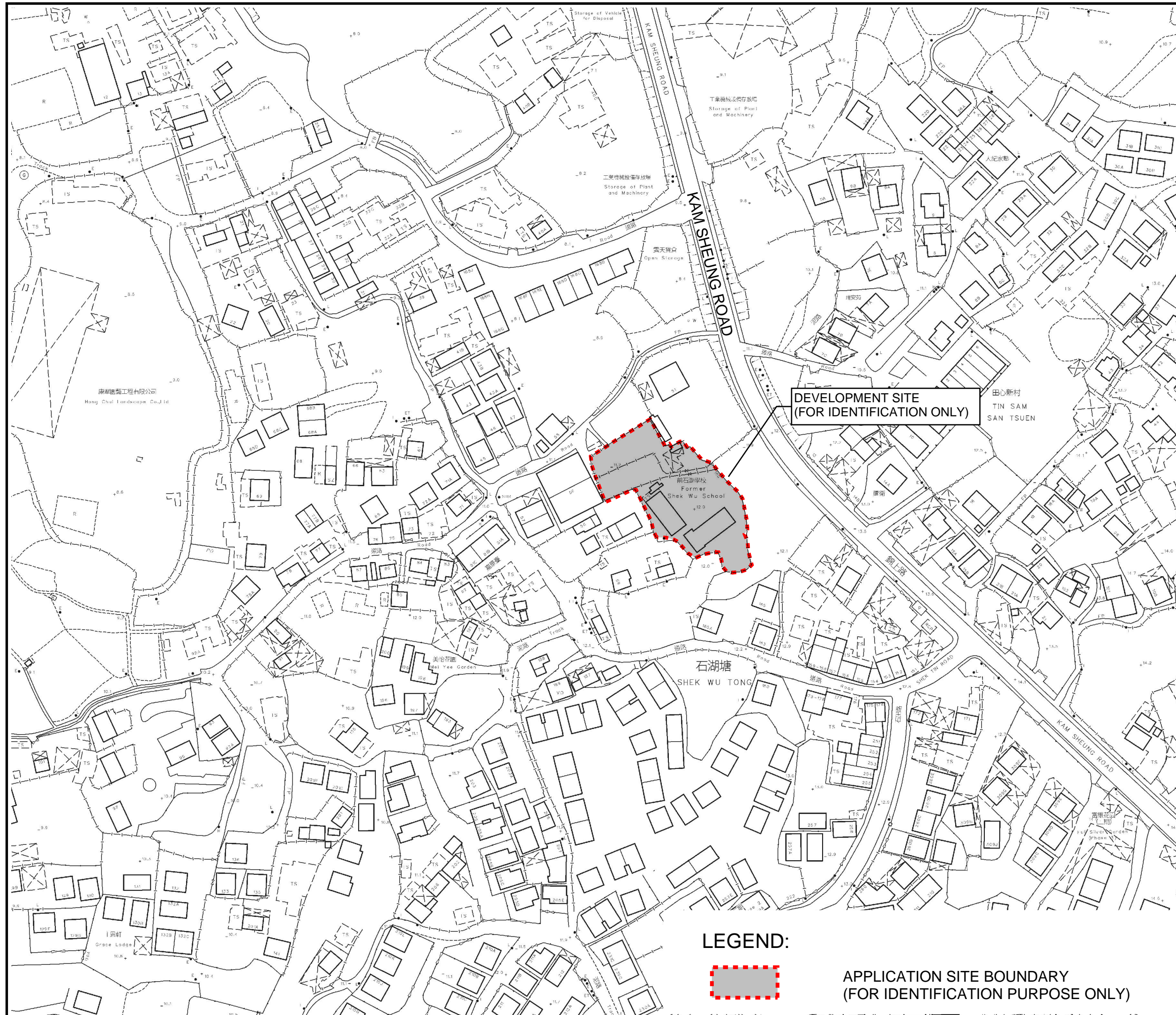
- 4.1.1 Proposed drainage system are designed for collection of runoff from the application site and to discharge to existing approx. 1.2m width channel beside Kam Sheung Road. The alignment, size and gradient of the proposed drains are shown in **Figure 3**. The catchment plan is shown in **Figure 4**.
- 4.1.2 The design calculations of proposed drains and checking of existing 1.2m channel are shown in **Appendix A**.
- 4.1.3 The reference standard drawings of drains are shown in **Appendix C**.

5. Conclusion

- 5.1.1 A drainage appraisal has been conducted for the Proposed Development. The surface runoff from the Application Site will be collected by the proposed drains and discharged to the existing channel beside Kam Sheung Road.
- 5.1.2 With the proposed drainage system, it is anticipated that there will be no significant drainage impact to the area after the implementation of the development.

- End of Text -

FIGURES



PROJECT:
 PROPOSED TEMPORARY
 PLACE OF RECREATION,
 SPORTS OR CULTURE
 WITH ANCILLARY
 FACILITIES FOR A PERIOD
 OF 5 YEARS, LOTS 2063
 AND 2064 IN D.D. 106 AND
 ADJOINING GOVERNMENT
 LAND, KAM TIN, YUEN
 LONG, NEW TERRITORIES (
 FORMER SHEK WU
 SCHOOL)

DEVELOPMENT SITE
 (FOR IDENTIFICATION ONLY)

LEGEND:

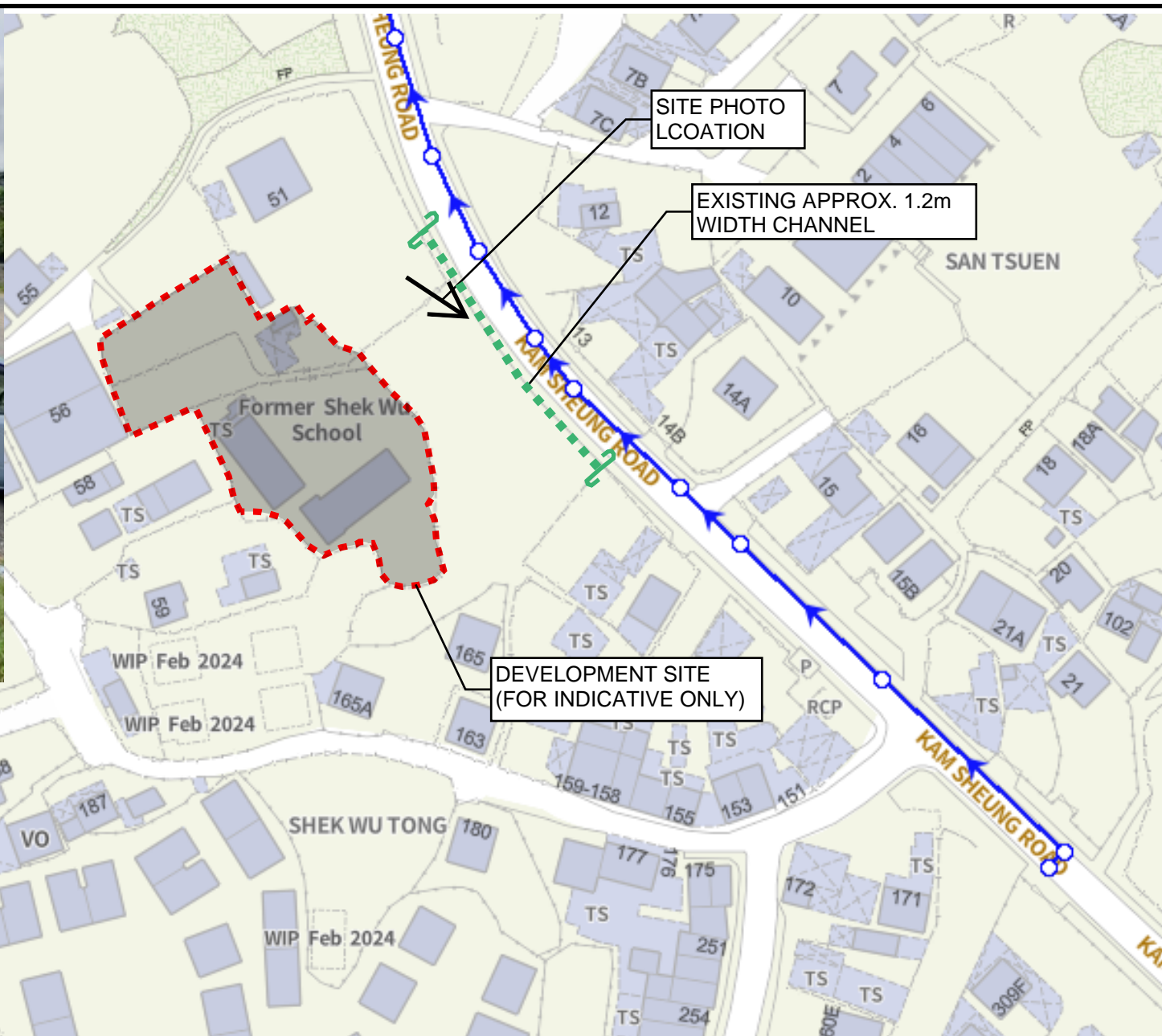


APPLICATION SITE BOUNDARY
 (FOR IDENTIFICATION PURPOSE ONLY)

REV	DESCRIPTION	DATE

DRAWING TITLE
SITE LOCATION PLAN

DRAWING NUMBER
FIGURE 1



PROJECT:
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS, LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES (FORMER SHEK WU SCHOOL)

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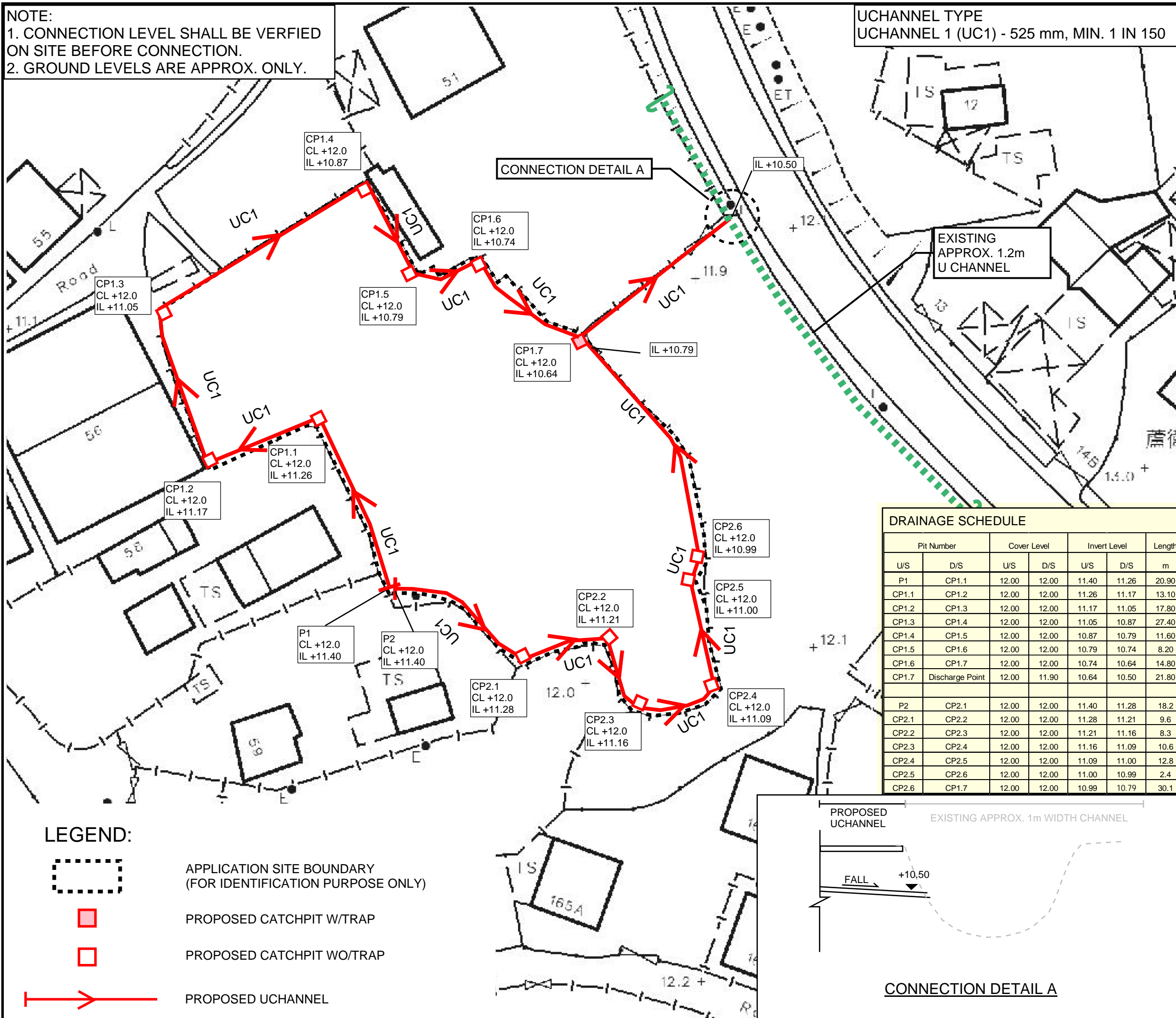
- | | | | | | |
|--|--------------------------|--|------------------------|--|--|
| | Combined Manhole | | Tapping Point (Sewer) | | Tapping Point (Storm) |
| | Overflow (Combined) | | Sewer Terminal Manhole | | Storm Water Terminal Manhole |
| | Pipe (Combined) | | Catchpit | | Tunnel Protection Zone (100m / 200m) |
| | Interface Valve Chamber | | Inlet | | Tunnel Protection Zone (General Range) |
| | Sewer Manhole | | Storm Water Manhole | | Tunnel / Box Culvert (Sewer) |
| | Oil / Petrol Interceptor | | Outlet | | Tunnel / Box Culvert (Storm) |
| | Overflow (Sewer) | | Pipe (Storm) | | EXISTING CHANNEL |
| | Pipe (Sewer) | | Sand Trap | | |

REV	DESCRIPTION	DATE
DRAWING TITLE EXISTING DRAINAGE PLAN		
DRAWING NUMBER FIGURE 2		

NOTE:
 1. CONNECTION LEVEL SHALL BE VERIFIED ON SITE BEFORE CONNECTION.
 2. GROUND LEVELS ARE APPROX. ONLY.

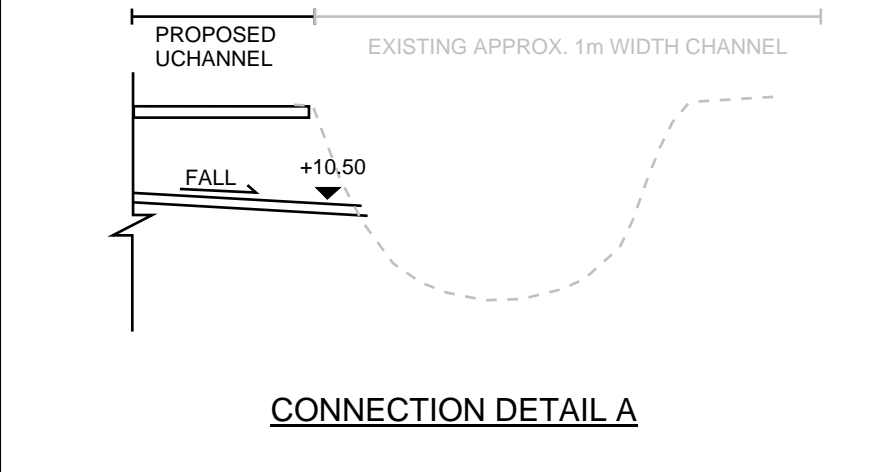
UCHANNEL TYPE
 UCHANNEL 1 (UC1) - 525 mm, MIN. 1 IN 150

PROJECT:
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DRAINAGE SCHEDULE

Pit Number		Cover Level		Invert Level		Length
U/S	D/S	U/S	D/S	U/S	D/S	m
P1	CP1.1	12.00	12.00	11.40	11.26	20.90
CP1.1	CP1.2	12.00	12.00	11.26	11.17	13.10
CP1.2	CP1.3	12.00	12.00	11.17	11.05	17.80
CP1.3	CP1.4	12.00	12.00	11.05	10.87	27.40
CP1.4	CP1.5	12.00	12.00	10.87	10.79	11.60
CP1.5	CP1.6	12.00	12.00	10.79	10.74	8.20
CP1.6	CP1.7	12.00	12.00	10.74	10.64	14.80
CP1.7	Discharge Point	12.00	11.90	10.64	10.50	21.80
P2	CP2.1	12.00	12.00	11.40	11.28	18.2
CP2.1	CP2.2	12.00	12.00	11.28	11.21	9.6
CP2.2	CP2.3	12.00	12.00	11.21	11.16	8.3
CP2.3	CP2.4	12.00	12.00	11.16	11.09	10.6
CP2.4	CP2.5	12.00	12.00	11.09	11.00	12.8
CP2.5	CP2.6	12.00	12.00	11.00	10.99	2.4
CP2.6	CP1.7	12.00	12.00	10.99	10.79	30.1



- LEGEND:**
- APPLICATION SITE BOUNDARY (FOR IDENTIFICATION PURPOSE ONLY)
 - PROPOSED CATCHPIT W/TRAP
 - PROPOSED CATCHPIT WO/TRAP
 - PROPOSED UCHANNEL

REV	DESCRIPTION	DATE
DRAWING TITLE PROPOSED DRAINAGE SYSTEM		
DRAWING NUMBER FIGURE 3B		

APPROX. 1.2m
WIDTH CHANNEL

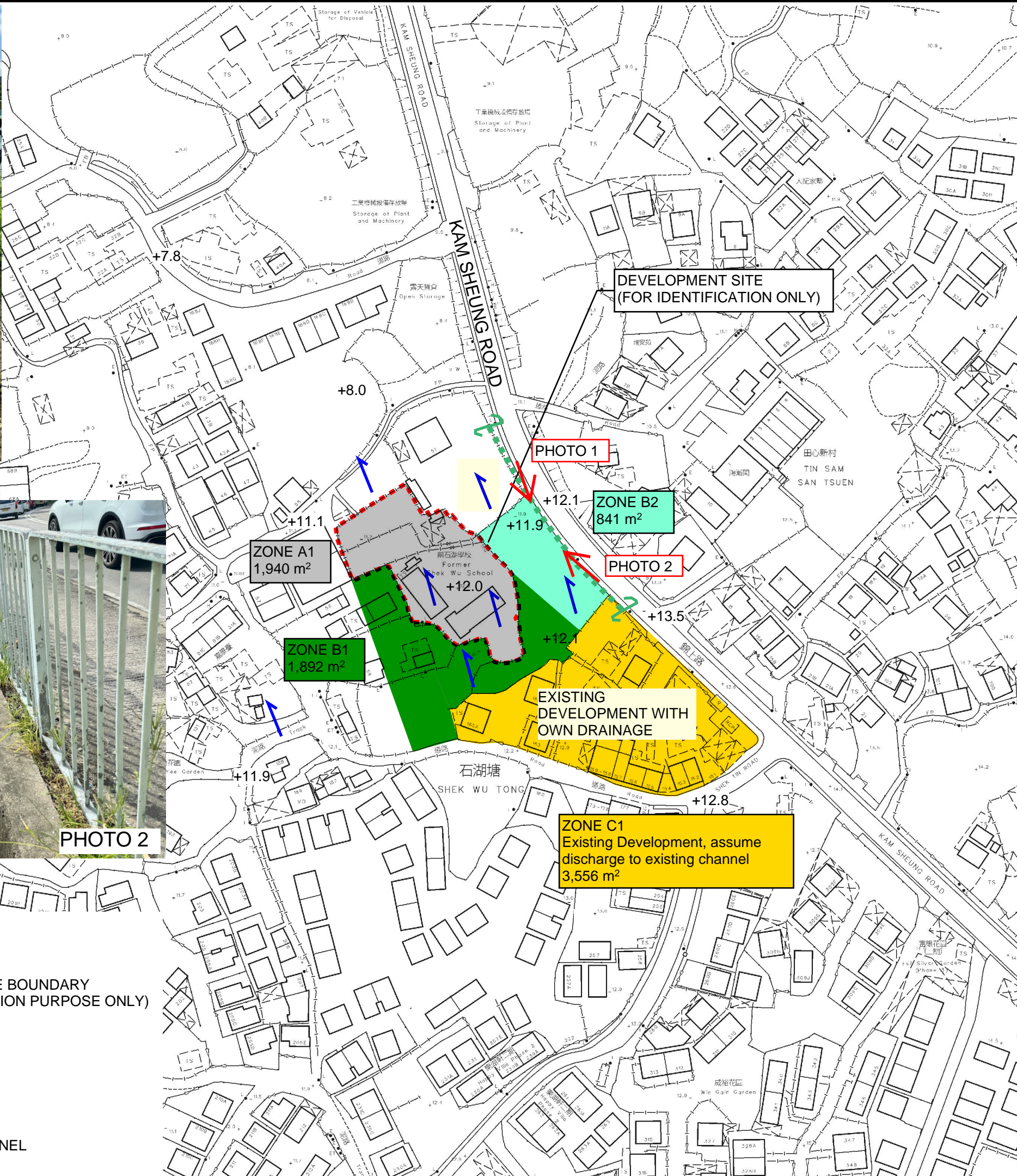


PHOTO 1

APPROX. 1.2m
WIDTH CHANNEL



PHOTO 2



DEVELOPMENT SITE
(FOR IDENTIFICATION ONLY)

PHOTO 1

PHOTO 2

ZONE A1
1,940 m²

ZONE B1
1,892 m²





ZONE B2
841 m²

EXISTING
DEVELOPMENT WITH
OWN DRAINAGE

ZONE C1
Existing Development, assume
discharge to existing channel
3,556 m²

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LAND, KAM TIN, YUEN
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FORMER SHEK WU
SCHOOL)

LEGEND:

-  APPLICATION SITE BOUNDARY
(FOR IDENTIFICATION PURPOSE ONLY)
-  EXISTING LEVELS
-  FALL
-  EXISTING U CHANNEL

REV	DESCRIPTION	DATE

DRAWING TITLE
CATCHMENT PLAN

DRAWING NUMBER
FIGURE 4B

Appendix

Appendix A - Design Calculation

U Channel 1 (ZONE A1 + B1 + B2)

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	1940 + 1892 + 841 =		4673	(m2)
Unpaved Area			0	(m2)
Total Equivalent Area	2898 x 0.95 + 0 x 0.35 =		4439	(m2)
Rainfall Intensity, I *			240	mm/hr
Design Discharge Rate, Q	0.278 x 4439 x 240 / 1000000 =		0.296	m3/s

$$i = \frac{a}{(t_d + b)^c}$$

U Channel

Channel Size		1 in	525	(mm)
Gradient			150	
Area	$\pi \times 0.53^2 / 8 + 0.53 \times 0.53 / 2 =$		0.246	(m2)
Wetted Perimeter	$\pi \times 0.53 / 2 + 0.53 / 2 \times 2 =$		1.350	(m)
R	$0.246 / 1.35 =$		0.182	(m)
Velocity	$v = \frac{R^{2/3}}{n} R^{1/2} S^{1/2}$		1.64	m/s
Capacity			0.404	m3/s

where n = 0.016 (Concrete Channel in Fair Conditions)

Utilization $0.296 / 0.404 = 73.24$ % OK (less than 90%, for 10% siltation allowance)

Checking for Existing 1.2m Channel (Zone [A1 + B1 + B2] + C1)

Runoff Estimation

Design Return Period		1 in	10	years
Paved Area	4673 + 3556 x 1 =		8229	(m2)
Unpaved Area			0	(m2)
Total Equivalent Area	8229 x 0.95 + 0 x 0.35 =		7818	(m2)
Rainfall Intensity, I *			240	mm/hr
Design Discharge Rate, Q	0.278 x 0 x 240 / 1000000 =		0.521	m3/s

$$i = \frac{a}{(t_d + b)^c}$$

U Channel

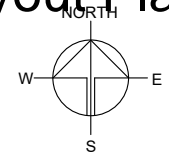
Channel Size		1 in	1200	(mm)
Gradient			200	
Velocity			2.47	m/s
Capacity			3.169	m3/s

Utilization $0.521 / 3.169 = 16.43$ % OK (less than 90%, for 10% siltation allowance)

Time of Concentration for Catchment from B1 to the Site

Catchment	Flow Distance	Highest Level	Lowest Level	Gradient (per 100m) = (H1-H2)/L x 100	to (min) = $0.14465L / (H^{0.2}A^{0.1})$	tc = to + tf
A	L	(mPD)	(mPD)	H	(min)	(min)
1892	32.5	12.1	12	0.308	2.80	2.80

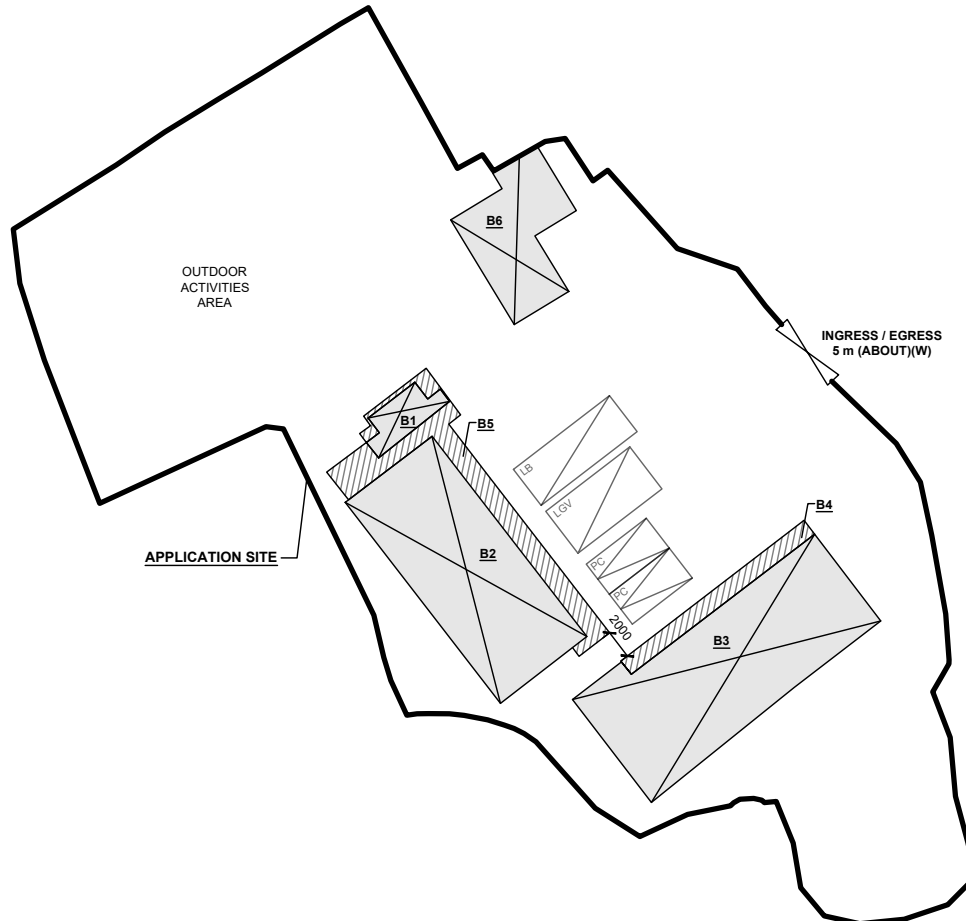
Appendix B - Proposed Development Layout Plan



DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,940 m ²	(ABOUT)
COVERED AREA	: 389 m ²	(ABOUT)
UNCOVERED AREA	: 1,551 m ²	(ABOUT)
PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 20 %	(ABOUT)
NO. OF STRUCTURE	: 6	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 389 m ²	(ABOUT)
TOTAL GFA	: 389 m ²	(ABOUT)
BUILDING HEIGHT	: 3 m - 6 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WASHROOM AND STORE ROOM	12m ² (ABOUT)	12 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B2	YOUTH ACTIVITY CENTRE	121 m ² (ABOUT)	121 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B3	ELDERLY ACTIVITY CENTRE, OFFICE	146 m ² (ABOUT)	146 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B4	COVERED CORRIDOR	17 m ² (ABOUT)	17 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B5	COVERED CORRIDOR	43 m ² (ABOUT)	43 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B6	WASHROOM AND REFRESHMENT KIOSK	50 m ² (ABOUT)	50 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
TOTAL		389 m² (ABOUT)	389 m² (ABOUT)	



PARKING AND LOADING / UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) x 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7 m (L) x 3.5 m (W)
NO. OF L/UL SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/UL SPACE	: 8 m (L) x 3 m (W)

LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (NOT ENCLOSED)
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (LGV)
- LOADING / UNLOADING SPACE (LB)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

(FORMER SHEK WU SCHOOL)

SCALE

1 : 500 @ A4

DRAWN BY: MN DATE: 7.10.2024

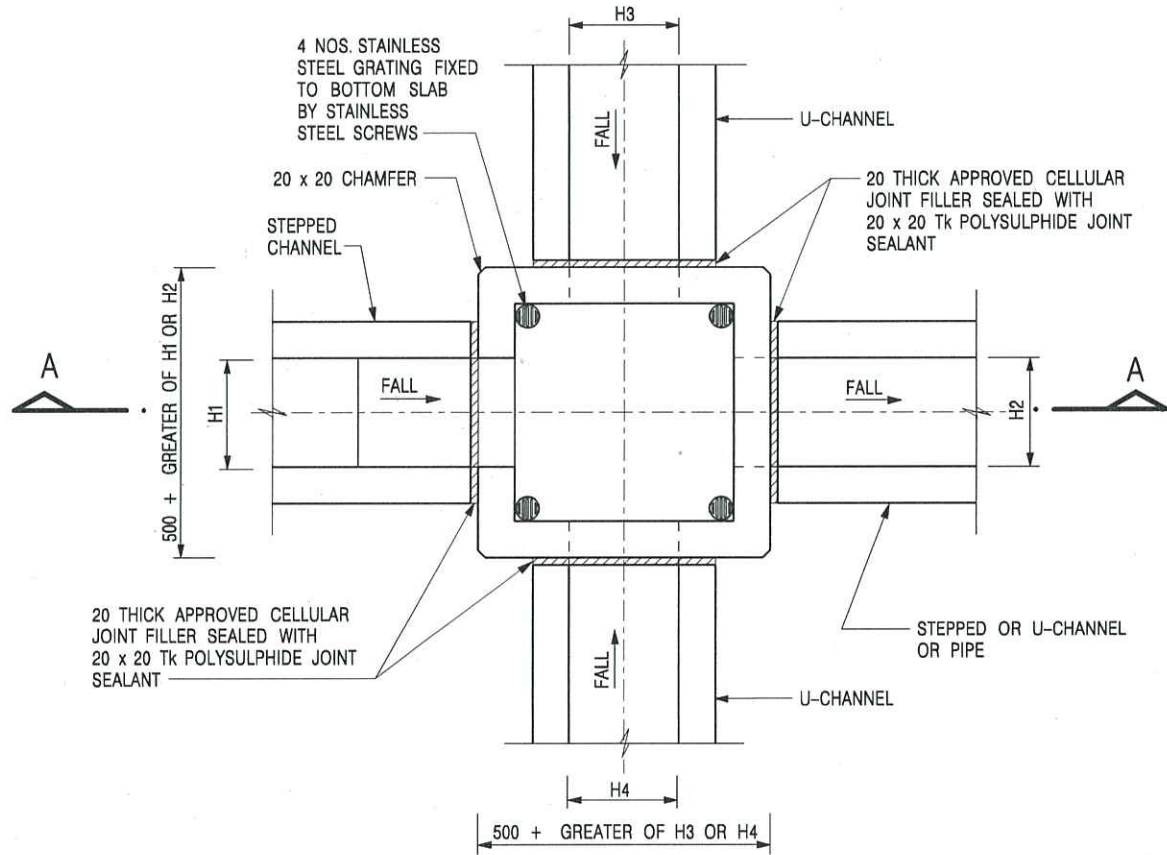
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APPROVED BY: DATE:

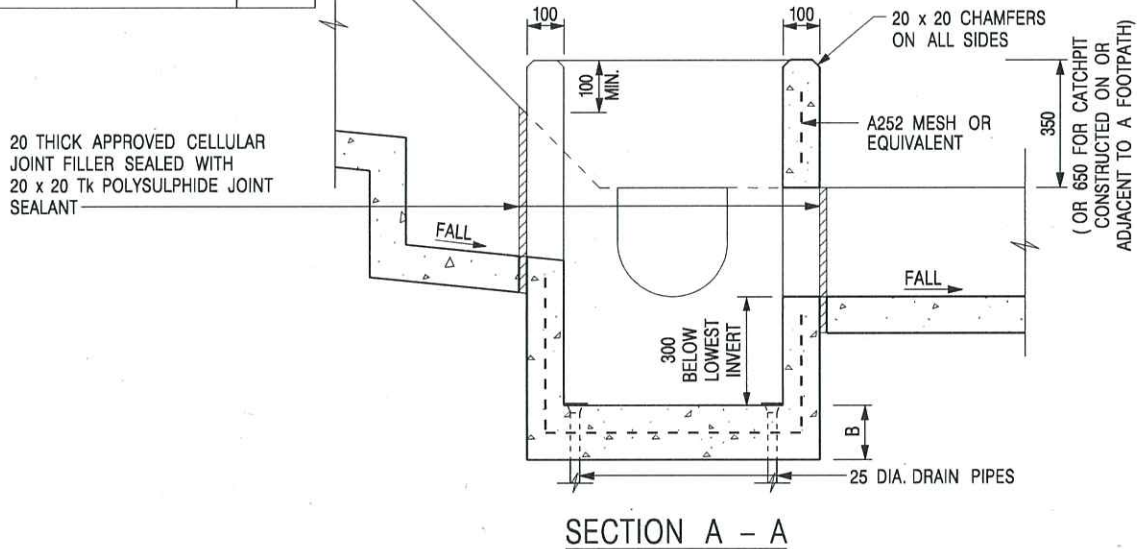
DWG. TITLE
LAYOUT PLAN

DWG NO.: PLAN 4 VER.: 002

Appendix C - Reference Drawings



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 1 OF 2)



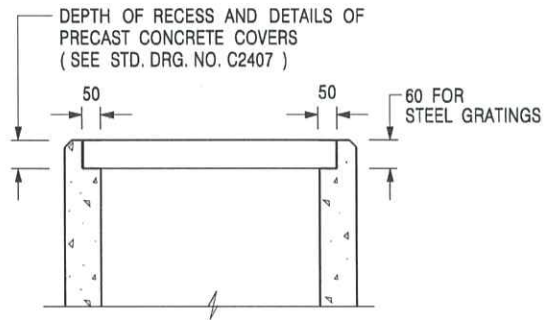
CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /1



ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



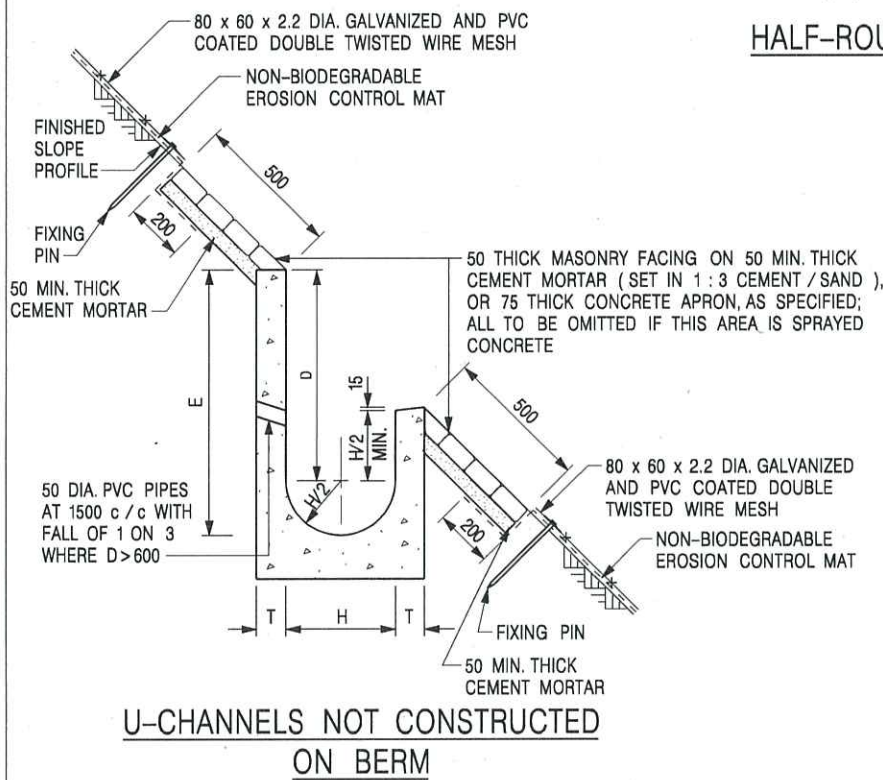
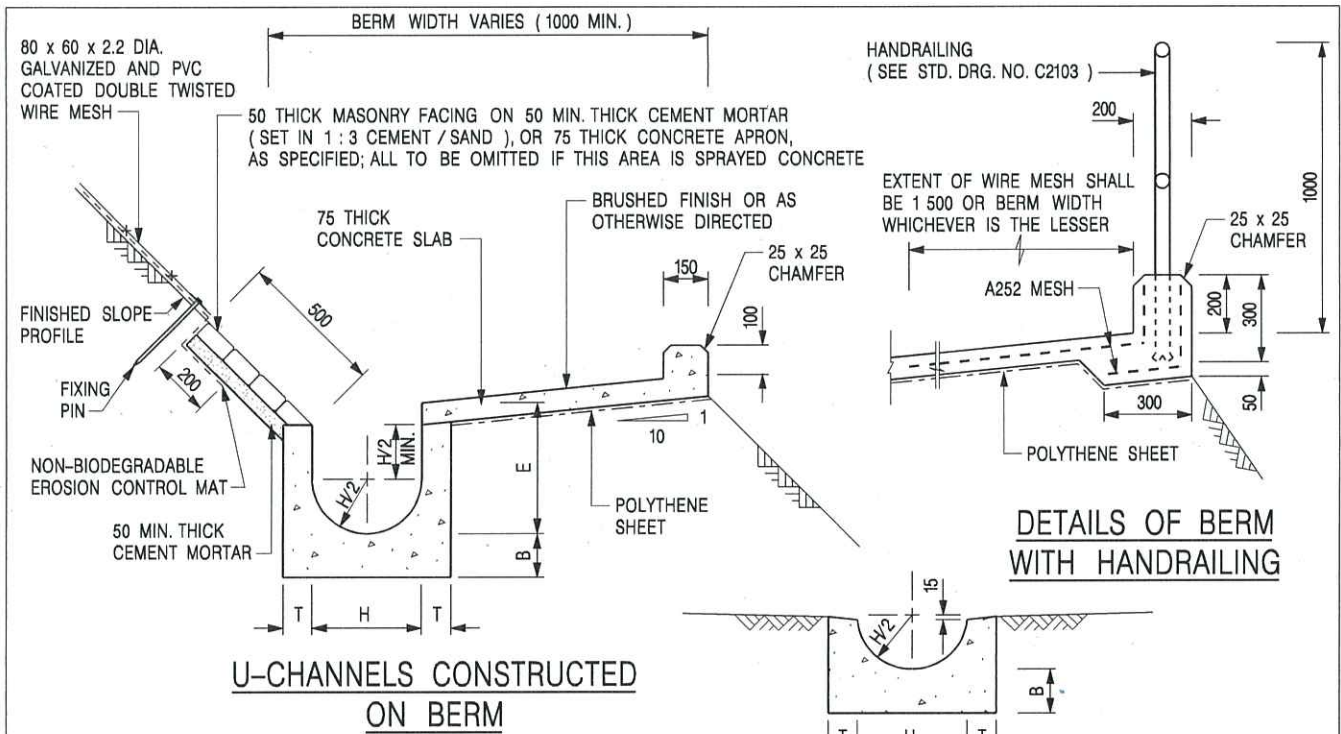
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /2A



NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A WITH MASONRY APRON)



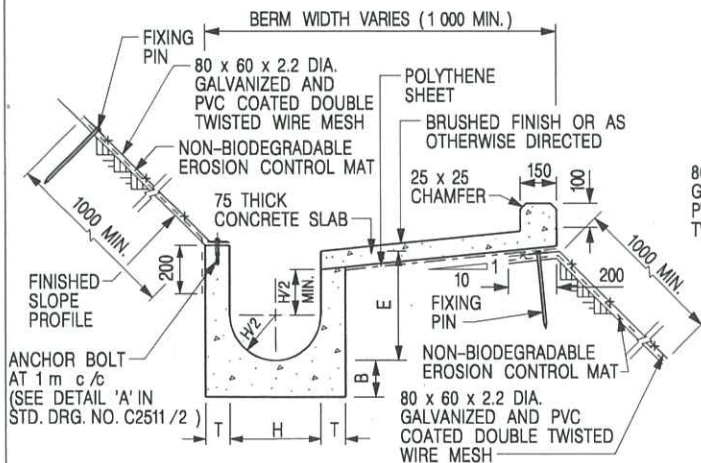
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 25

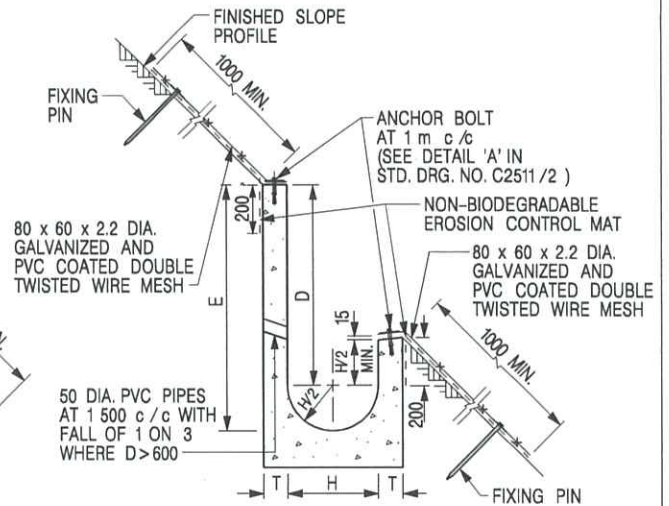
DRAWING NO.

DATE JAN 1991

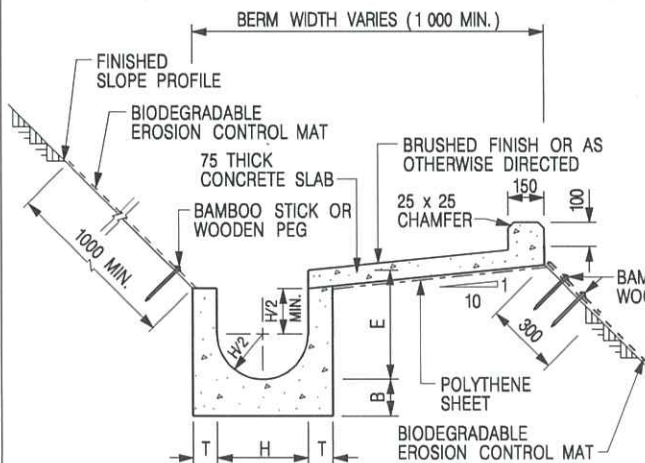
C24091



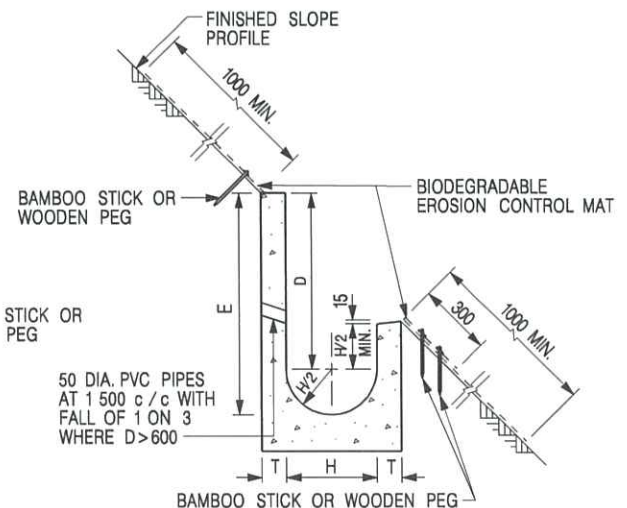
U-CHANNELS CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS NOT CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT



U-CHANNELS NOT CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL CONCRETE TO BE GRADE 20 /20.
- CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
- SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
- JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
- FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
- FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
- MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
- MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
- THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE B - WITH EROSION CONTROL MAT APRON)



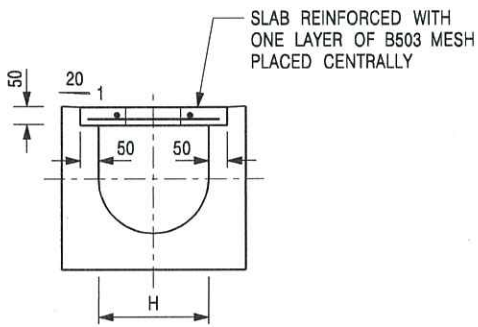
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE DIAGRAMMATIC

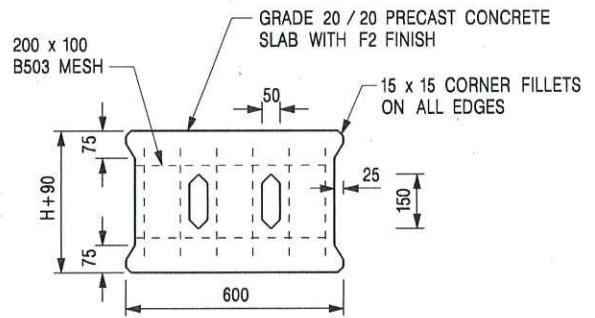
DRAWING NO.

DATE JAN 1991

C24101



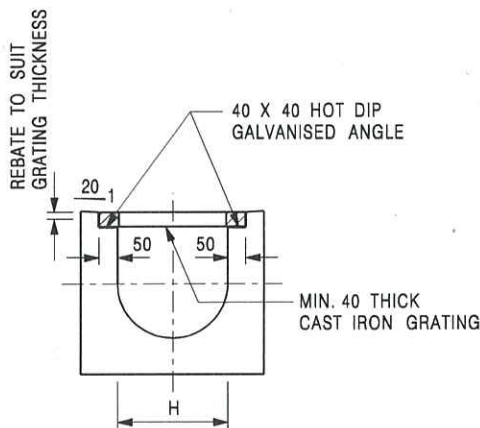
TYPICAL SECTION



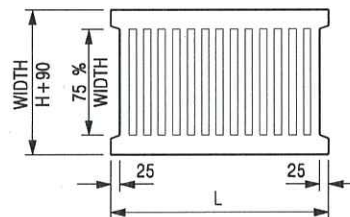
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

REF.	REVISION	SIGNATURE	DATE
E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002

COVER SLAB AND CAST IRON
GRATING FOR CHANNELS



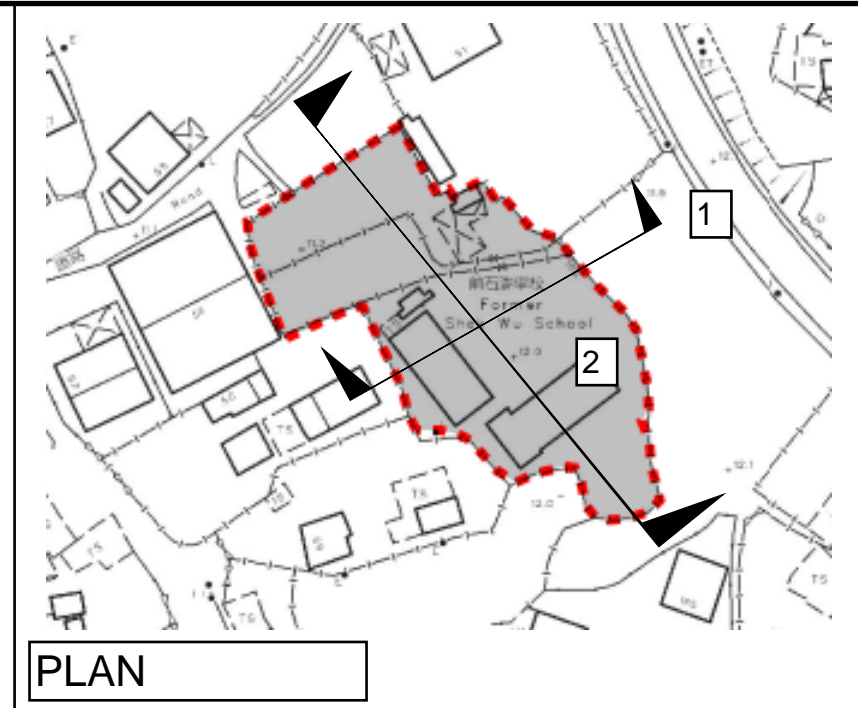
CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

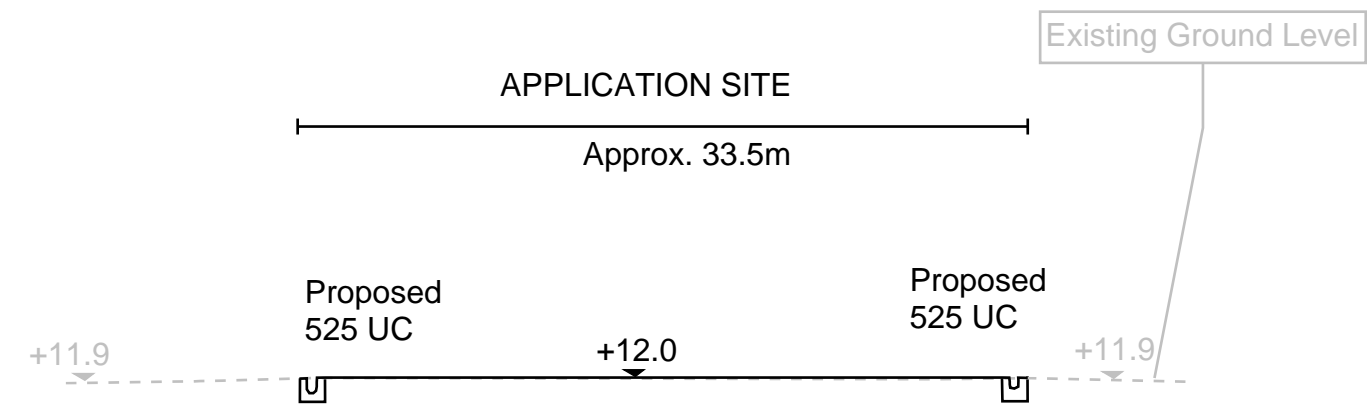
DRAWING NO.

DATE JAN 1991

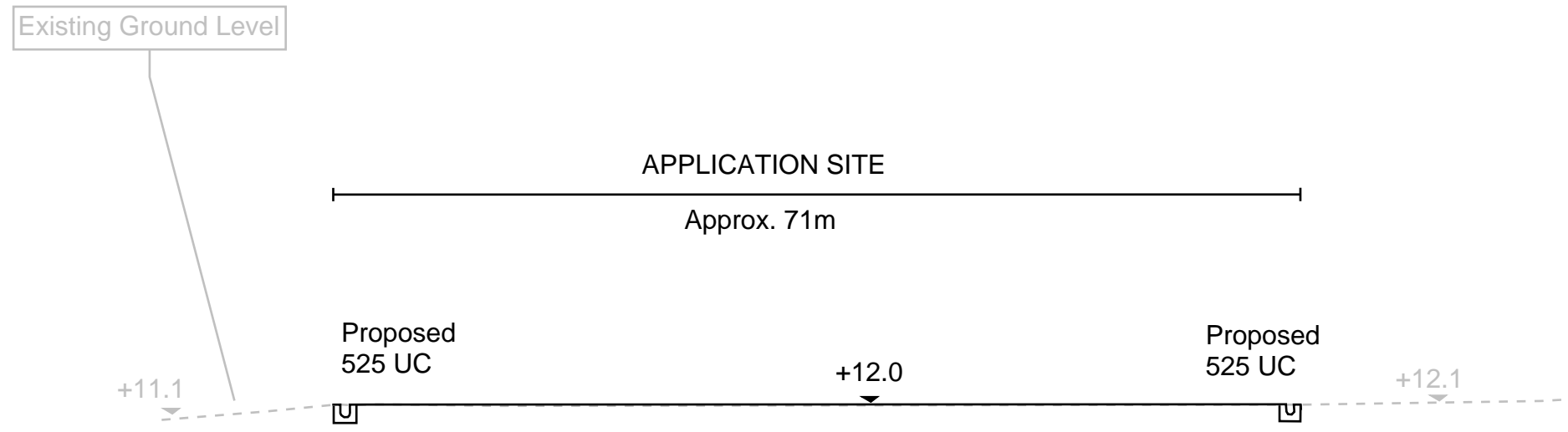
C2412E



PROJECT:
 PROPOSED TEMPORARY
 PLACE OF RECREATION,
 SPORTS OR CULTURE
 WITH ANCILLARY
 FACILITIES FOR A PERIOD
 OF 5 YEARS, LOTS 2063
 AND 2064 IN D.D. 106 AND
 ADJOINING GOVERNMENT
 LAND, KAM TIN, YUEN
 LONG, NEW TERRITORIES ((FORMER SHEK WU SCHOOL)



**SECTION 1
 NTS**



**SECTION 2
 NTS**

SECTIONS

Appendix D

Appendix VIII
Fire Service Installations Proposal






DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,940 m ²	(ABOUT)
COVERED AREA	: 389 m ²	(ABOUT)
UNCOVERED AREA	: 1,551 m ²	(ABOUT)
PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 20 %	(ABOUT)
NO. OF STRUCTURE	: 6	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 389 m ²	(ABOUT)
TOTAL GFA	: 389 m ²	(ABOUT)
BUILDING HEIGHT	: 3 m - 6 m	(ABOUT)
NO. OF STOREY	: 1	

PARKING AND LOADING / UNLOADING PROVISIONS

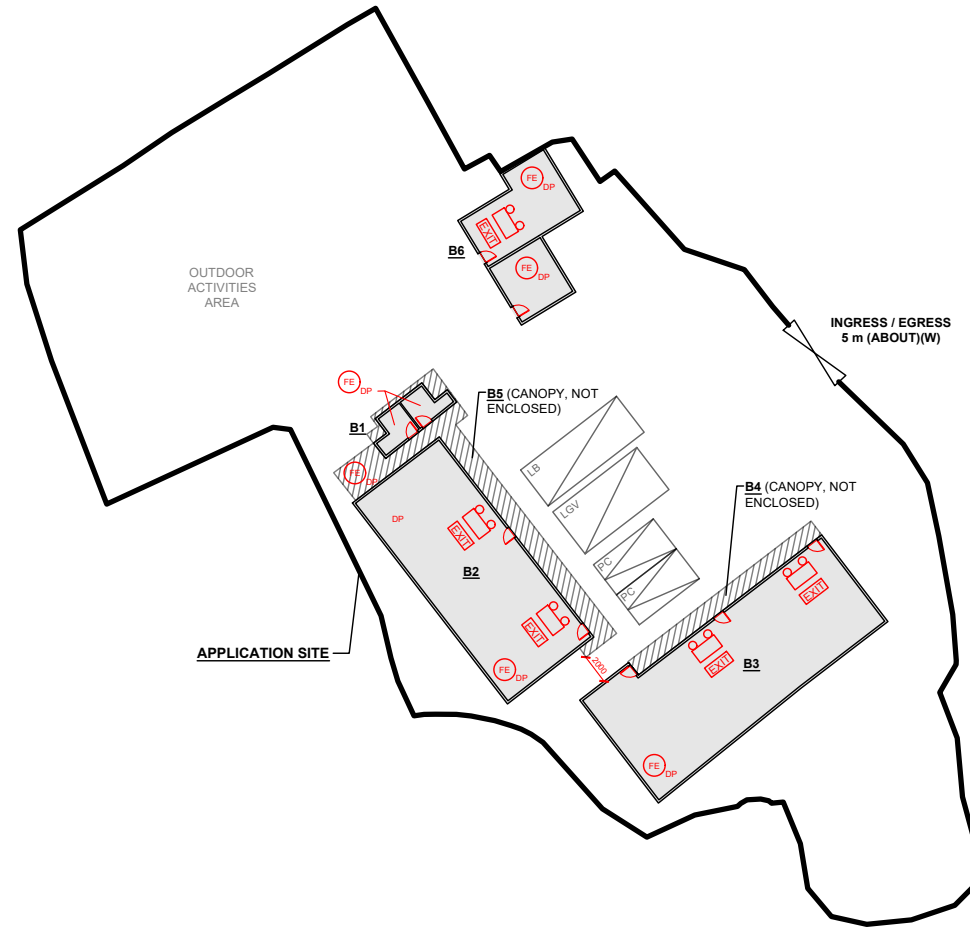
NO. OF PRIVATE CAR PARKING SPACE	: 2
DIMENSION OF PARKING SPACE	: 5 m (L) x 2.5 m (W)
NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/U/L SPACE	: 7 m (L) x 3.5 m (W)
NO. OF L/U/L SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/U/L SPACE	: 8 m (L) x 3 m (W)

FIRE SERVICE INSTALLATIONS

-  EXIT SIGN
-  EMERGENCY LIGHT
-  4 KG DRY POWDER FIRE EXTINGUISHER








FS NOTES:

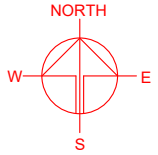
- 1) SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016, BS EN 1838:2013 AND THE FSD CIRCULAR LETTER NO. 4/2021.
- 2) SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 AND THE FSD CIRCULAR LETTER 5/2008.
- 3) PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- 4) ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.



STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WASHROOM AND STORE ROOM	12m ² (ABOUT)	12 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B2	YOUTH ACTIVITY CENTRE	121 m ² (ABOUT)	121 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B3	ELDERLY ACTIVITY CENTRE, OFFICE	146 m ² (ABOUT)	146 m ² (ABOUT)	6 m (ABOUT)(1-STOREY)
B4	COVERED CORRIDOR	17 m ² (ABOUT)	17 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B5	COVERED CORRIDOR	43 m ² (ABOUT)	43 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
B6	WASHROOM AND REFRESHMENT KIOSK	50 m ² (ABOUT)	50 m ² (ABOUT)	3 m (ABOUT)(1-STOREY)
TOTAL		389 m² (ABOUT)	389 m² (ABOUT)	

LEGEND

-  APPLICATION SITE
-  STRUCTURE (ENCLOSED)
-  STRUCTURE (NOT ENCLOSED)
-  PARKING SPACE (PC)
-  LOADING / UNLOADING SPACE (LGV)
-  LOADING / UNLOADING SPACE (LB)
-  INGRESS / EGRESS



PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

(FORMER SHEK WU SCHOOL)

SCALE

1 : 500 @ A4

DRAWN BY: MN DATE: 7.10.2024

REVISED BY: DATE:

APPROVED BY: DATE:

DWG. TITLE: FSIs PROPOSAL

DWG. NO.: APPENDIX VIII

VER.: 002



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Our Ref. : DD106 Lot 2063, 2064 & GL
Your Ref. : TPB/A/YL-KTS/1076

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

9 July 2025

Dear Sir,

1st Further Information

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTS/1076)

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Louis TSE
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Woody LIN
(Attn.: Mr. Michael SO

email: wkwin@pland.gov.hk)
email: mckso@pland.gov.hk)



Responses-to-Comments

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTS/1076)

(i) A RtoC Table:

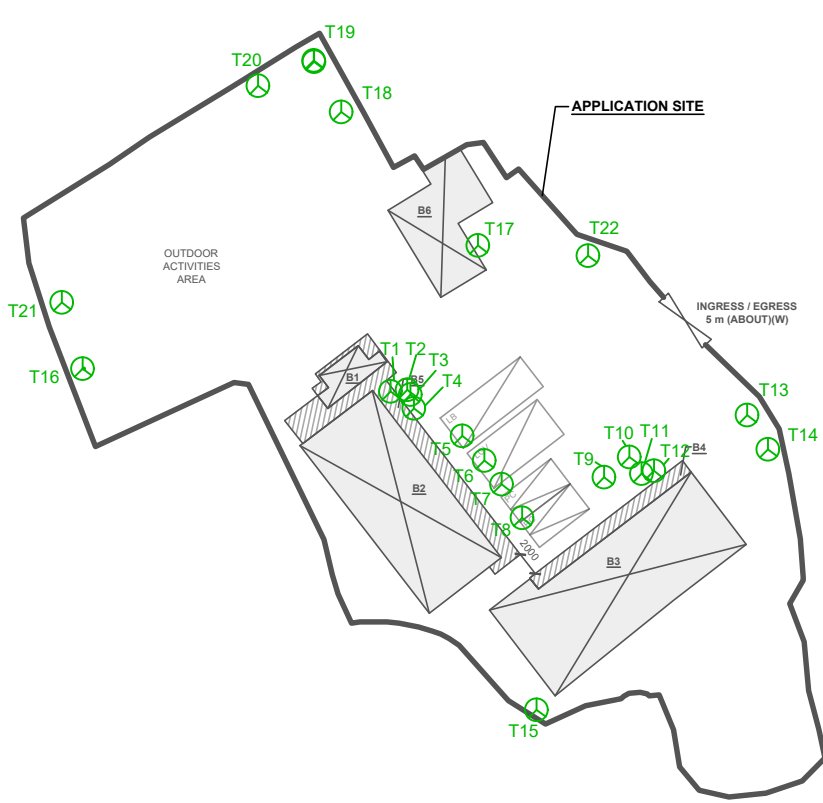
Departmental Comments		Applicant’s Responses
1. Comments of the District Planning Officer/Fanling, Sheung Shui and Yuen Long East, Planning Department (DPO/FSYLE, PlanD) (Contact Person: Mr. Woody LIN; Tel: 3168 4040)		
(a)	Please supplement the details (e.g. venue, manpower and logistics arrangement etc.) of the activities and/or events currently organised by the Hakka Cultural Association to illustrate the operation of the proposed use under the captioned application.	Due to the lack of suitable operational venues, the Hakka Cultural Association is not currently hosting any activities or events.
2. Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) (Contact Person: Mr. Samuel HUI; Tel: 3565 3957)		
(a)	Please review the spacing of the new tree planting to “NOT LESS THAN 4m” to ensure sufficient space for tree growth.	Not less than 4 m spacing will be provided for the proposed new trees. Please refer to the revised landscape proposal (Annex I).
(b)	Instead of proposing individual tree pits, a continuous planting strip with min. 1.5m width is recommended for healthy tree growth of new tree planting.	1.5m width of continuous planting strip will be provided for healthy tree growth.
(c)	T14 has been uprooted with serious structural problem damaging the existing fence. The applicant should ensure the health and safety of all existing trees within Site and take necessary maintenance measures in a timely manner.	Noted. Maintenance measures will be taken by the applicant after planning approval has been granted from the Town Planning Board.
3. Comments of the Director of Environmental Protection (DEP) (Contact Person: Mr. Kelvin WONG; Tel: 2835 1117)		
(a)	Please advise whether the proposed use would involve use of public announcement	No public announcement system, portable loud speaker, or any form of audio

S.16 Planning Application No. A/YL-KTS/1076

	system, portable loud speaker, or any form of audio amplification system.	amplification system will be allowed to use within the application site at any time during the planning approval period.
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LANDSCAPE PROPOSAL

APPLICATION SITE AREA : 1,940 m² (ABOUT)
 NO. OF EXISTING TREES : 22 (T1 TO T22)
 TREE SPECIES : *BOUGAINVILLEA SPECTABILIS* (T1, T4)
 : *MACARANGA TANARIUS VAR. TOMENTOSA* (T2, T3)
 : *CINNAMOMUM CAMPHORA* (T5, T9, T13)
 : *CELTIS SINENSIS* (T6, T8, T12)
 : *ILEX ROTUNDA* (T7, T17)
 : *DELONIX REGIA* (T10, T11, T14)
 : *LOPHOSTEMON CONFERTUS* (T15)
 : *FICUS MICROCARPA* (T16, T21)
 : *DIMOCARPUS LONGAN* (T18 TO T20)
 : *LIGUSTRUM SINENSE* (T22)
 NO. OF TREES TO BE FELLED : 13 (T1 TO T12, T17)

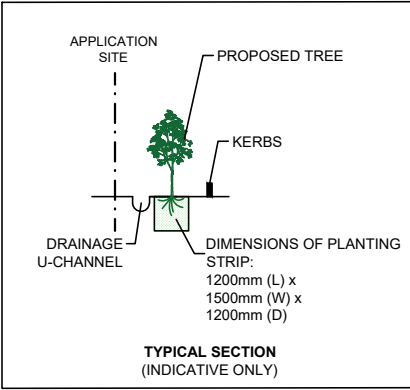
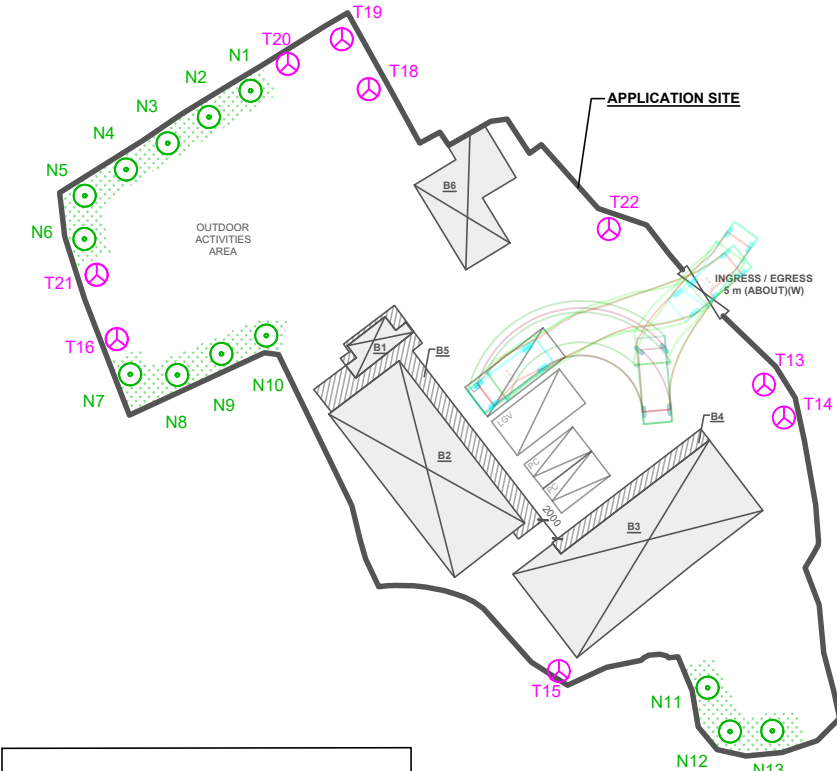


LEGEND

- APPLICATION SITE
- EXISTING TREES

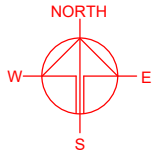
LANDSCAPE PROPOSAL

APPLICATION SITE AREA : 1,940 m² (ABOUT)
 COVERED AREA : 1,635 m² (ABOUT)
 UNCOVERED AREA : 953 m² (ABOUT)
 NO. OF TREES WILL BE PRESERVED : 9 (T13 TO T16, T18 TO T22)
 NO. OF NEW TREES WILL BE PLANTED : 13 (N1 TO N13)
 SPECIES OF NEW TREES : *POLYSPORA AXILLARIS*
 HEIGHT OF NEW TREES : NO LESS THAN 2.75 m
 SPACING OF NEW TREES : NOT LESS THAN 4 m
 DIMENSION OF PLANTING STRIP : 1.5 m (W) 1.2 m X (L) X 1.2 m (D)



NOTES:

- 1) THE APPLICANT WILL MAINTAIN TREES IN GOOD CONDITION DURING THE PLANNING APPROVAL PERIOD.
- 2) THE APPLICANT WILL REPLACE TREES WHICH ARE DYING OR DEAD DURING THE PLANNING APPROVAL PERIOD.
- 3) THE APPLICANT WILL PROVIDE ADEQUATE IRRIGATION FOR TREES.



PLANNING CONSULTANT

PROJECT
 PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION
 LOTS 2063 AND 2064 IN D.D. 106 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 600 @ A4

DRAWN BY LT	DATE 3.7.2025
REVISED BY	DATE
APPROVED BY	DATE

DWG. TITLE
 LANDSCAPE PROPOSAL

DWG NO. ANNEX I	VER. 001
--------------------	-------------



問有限公司
卓物業

Our Ref. : DD106 Lot 2063, 2064 & GL
Your Ref. : TPB/A/YL-KTS/1076

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

11 August 2025

Dear Sir,

2nd Further Information

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTS/1076)

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our [REDACTED] at your convenience.
Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Louis TSE
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Woody LIN
(Attn.: Mr. Michael SO

email: wkwlin@pland.gov.hk)
email: mckso@pland.gov.hk)



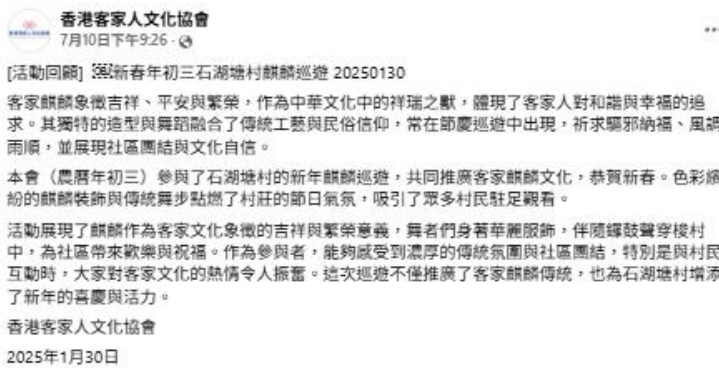
Responses-to-Comments

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**


(S.16 Planning Application No. A/YL-KTS/1076)

(i) The applicant, i.e., HK Hakka Cultural Association Limited has organised/co-organised a series of recreational, cultural and entertainment activities to build strong community bonds. The types of activities are shown below:

1. Unicorn Dance



2. Seminar

 **香港客家人文化協會**
7月10日下午9:17 · 🌐

[活動回顧] 香港客屬青年專題分享會20250120

本會有幸參加了由香港客屬總會主辦的「香港客屬青年專題分享會2025」。這次分享會邀請了香港特區政府商務及經濟發展局局長、客屬總會榮譽顧問丘應樺太平紳士擔任主講嘉賓，以「當代客家青年與香港經濟的關係及發展機遇」為主題，帶來了一場啟發人心的演講。


丘局長以深入淺出的方式，剖析了當前經濟形勢下客家青年面臨的機遇與挑戰。他不僅分享了香港經濟的最新動態，還結合客家人勤奮進取的精神，鼓勵我們把握時代機遇，為香港的繁榮貢獻力量。現場氣氛熱烈，青年們積極提問，與丘局長的互動交流讓我受益匪淺。特別是聽到如何將客家文化的堅韌精神融入職場與創業的分享，讓我對未來充滿信心與動力。

這次活動不僅加深了我對香港經濟發展的理解，也讓我感受到客家青年團結向上的力量。感謝香港客屬總會讓本會有機會與業界領袖近距離交流。作為客家青年，我將以此次活動為契機，繼續傳承客家精神，努力為香港的未來貢獻一份力量！

香港客家人文化協會 參與者
2025年1月20日



3. Publicity Service on Mental Wellness

 **香港客家人文化協會**
7月10日下午8:46 · 🌐

[活動回顧] 身心靈健康流動宣傳車 石湖塘村服務 20241109

本會聯同李靜儀議員及新生精神康復會，在石湖塘村成功舉辦「身心靈健康流動宣傳車」推廣活動，為社區注入一股關注身心靈健康的正能量。此次活動以「靜享身心靈」為主題，旨在通過創新的流動宣傳車，將精神健康資源帶入客家社區，提升居民的心理健康意識。

身心靈健康流動宣傳車成為石湖塘村的一道亮麗風景線。宣傳車不僅提供豐富的心理健康資訊冊及專業諮詢服務，還特別設置了DIY花園工作坊，讓村民以天然植物材料親手創作，於輕鬆愉快的氛圍中抒發情感、釋放壓力。參與者通過互動交流，分享彼此的想法與感受，感受到社區的溫暖與支持。


這次活動標誌著客家社區在精神健康推廣方面的全新一步。宣傳車的流動設計確保心理健康資源能觸及更多社區熱點，讓每一位居民都能輕鬆獲得支持與知識。感謝李靜儀議員及新生精神康復會的共同努力，以及石湖塘村居民的熱情參與，讓活動得以圓滿成功。

香港客家人文化協會將繼續秉持關愛社區的精神，與各方攜手推廣心理健康，傳承客家人團結互助的傳統，為建設更健康、幸福的香港而努力！

香港客家人文化協會
2024年11月9日
[#新生精神康復會](#) [#社區共融](#) [#靜享身心靈](#)



4. The National Security Exhibition

 **香港客家人文化協會**
7月10日下午8:01 · 🌐

[活動回顧] 國家安全展參觀 20241001

正值中華人民共和國成立75周年，本會帶領會員及社區朋友參觀國家安全展覽。這次活動旨在加深大家對國家安全的理解，傳遞「國家安全，人人有責」的核心理念，展現客家人熱愛祖國、團結向上的精神風貌。

在國家安全展覽中，參加者通過豐富的展品、互動展示及專業講解，深入了解國家安全的多個面向，包括政治安全、經濟安全、文化安全及社會穩定等方面。展覽內容生動展示了祖國在維護國家安全方面的堅定決心與輝煌成就，令人深受啟發。活動中，協會還融入客家文化元素，通過分享客家人堅韌團結的傳統，與國家安全的理念相呼應，激發了參與者的愛國熱情。


此次參觀不僅讓大家感受到祖國75年來的繁榮強盛，也強化了我們對國家安全重要性的認識。香港客家人文化協會將繼續以文化為橋樑，凝聚社區力量，為香港的長期繁榮穩定和祖國的偉大復興貢獻力量。

感謝所有參與者的熱情支持！讓我們銘記這次充實的體驗，攜手為守護國家安全、傳承客家精神而努力！

香港客家人文化協會
2024年10月1日



5. Visit to the Shek Kong Army Camp

 **香港客家人文化協會**
7月10日下午7:55 · 🌐

[活動回顧] 慶祝中華人民共和國成立75周年 石崗軍營參觀20241005

本會參與了一場別具意義的活動，帶領會員及社區朋友參觀中國人民解放軍駐香港部隊石崗軍營，共同慶祝中華人民共和國成立75周年。這次參觀不僅讓我們感受到祖國的強盛，更深刻體會到「強國必須強軍，軍強才能國安」的真諦。

在駐港部隊的熱情接待下，近距離了解軍營生活、國防裝備及部隊的日常訓練。從整齊劃一的軍姿到先進的軍事設施，無不展現出解放軍的紀律與力量，令人振奮！

感謝所有參與者及駐港部隊的支持！讓我們銘記這次難忘的經歷，繼續傳揚「強國強軍」的信念，共同迎接更美好的未來！

香港客家人文化協會
2024年10月5日



6. Community Visit

 **香港客家人文化協會**
6月30日 · 🌐

[活動回顧] 20240901

去年九月，本會聯同李靜儀議員滿懷熱情，聯同各位街坊村友共慶中秋，親手派送美味月餅🥮，溫暖社區每一個角落！

Ps特別鳴謝煤氣公司慷慨贊助月餅，以及各位義工無私奉獻，齊心協力讓活動圓滿成功！

香港客家人文化協會
2024年9月1日





問
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Our Ref. : DD106 Lot 2063, 2064 & GL
Your Ref. : TPB/A/YL-KTS/1076

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

28 August 2025

Dear Sir,

3rd Further Information

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTS/1076)

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Louis TSE
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Woody LIN
(Attn.: Mr. Michael SO

email: wkwl@pland.gov.hk)
email: mckso@pland.gov.hk)



Responses-to-Comments

**Proposed Temporary Place of Recreation, Sports or Culture with Ancillary Facilities
for a Period of 5 Years in “Village Type Development” Zone, Lots 2063 and 2064 in
D.D. 106 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

(Application No. A/YL-KTS/1076)

(i) A RtoC Table:

Departmental Comments		Applicant’s Responses
1. Comments of the District Planning Officer/Fanling, Sheung Shui and Yuen Long East, Planning Department (DPO/FSYLE, PlanD)) (Contact Person: Mr. Woody LIN; Tel: 3168 4040)		
(a)	Compared to the previous application A/YL-KTS/897, the height of existing structures is <u>6m</u> but not <u>5m</u> . Please review;	The height of existing structures (i.e. 6m) is reflecting the existing condition of the application site (the Site).
(b)	Please explain the purpose of the tree felling in the development proposal;	Since a large portion of the Site is designated for parking, loading/unloading and circulation areas to support the operation of the Site. The proposed parking spaces are close to the elderly activity centre to minimize walking distances for elderly visitors. The proposed tree felling is therefore considered necessary to facilitate the proposed development. A total of 13 new trees are proposed to be planted along the periphery boundary of the Site with a compensation ratio of 1:1 to mitigate the landscape impact.
(c)	Regarding the Further Information (1) received on 9.7.2025 Item 2(b), please provide the treatment of the proposed planting strip; and	A continuous soil trench with a depth of 1.2 m will be provided for healthy tree growth. Regular maintenance will be carried out by the applicant during the planning approval period.
(d)	Regarding the proposed outdoor activities, please provide operation details and whether mitigation measures would be taken to reduce the volume level.	The operation hours of the proposed development will be restricted from 09:00 to 21:00 daily, including public holidays. No operation or any outdoor activities will take place beyond the operation hours.

		<p>The recreational activities, i.e. unicorn dance, etc. are seasonal scheduled, which are conducted during specific dates, such as festivals and ceremonies in the local communities. The performances are held over a limited number of sessions within the season, reducing the overall frequency and potential noise impact on the surrounding community. The applicant will consult the nearby villagers regarding the use of public announcement system, portable loud speaker, or any form of audio amplification which would be only on seasonal basis, as well as the unicorn training and performance times in order to minimise the potential noise impact on the nearby locals.</p> <p>The proposed preservation and direct plantation of trees will also act as sound buffers between the Site and nearby residents.</p>
(e)	<p>Regarding the previously approved applications A/YL-KTS/897&792, please briefly explain why the approval conditions could not be implemented.</p>	<p>The previous applicant failed to obtain the Short Term Tenancy from the Land Department due to land administrative matters. The previous applicant also failed to implement the accepted fire service installations and drainage proposals within the specified period of time, which led to revocation of the previous application on 10/06/2023.</p>

Previous 16 Applications covering the Application Site

Approved Applications

	Application No.	Proposed Use(s)	Date of Consideration (Rural and New Town Planning Committee)
1.	A/YL-KTS/270	Extension of Shek Wu School	15.3.2002
2.	A/YL-KTS/756	Proposed Temporary Place of Recreation, Sports or Culture for a Period of 3 Years	16.3.2018 [Revoked on 16.9.2018]
3.	A/YL-KTS/792	Proposed Temporary Social Welfare Facilities (Elderly and Youth Centre) for a Period of 3 Years	3.8.2018 [Revoked on 3.1.2021]
4.	A/YL-KTS/862	Temporary Social Welfare Facilities (Youth Centre) for a Period of 3 Years	4.12.2020 [Revoked on 4.12.2021]
5.	A/YL-KTS/897	Proposed Temporary Social Welfare Facility (Elderly and Youth Centre) for a Period of 3 Years	10.9.2021 [Revoked on 10.6.2023]

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

- no adverse comment on the application;
- the application site (the Site) falls within 2 private lots, i.e. Lots 2063 and 2064 both in D.D. 106 and adjoining Government land (GL) with existing structures (i.e. Former Shek Wu School) in D.D. 106. No structure is proposed to be erected within the private lots;
- lots 2063 and 2064 both in D.D. 106 are building lots subject to Government Notification No. 365 of 1906 and the Special Condition No. 5 published in Government Notification No. 278 of 1911;
- the Site has an area of about 1,940m² which should be subject to further verification and survey upon receipt of formal short term tenancy application;
- the Site falls within the “V” zone, which is primarily reserved for development of New Territories Exempted Houses by indigenous villagers under the New Territories Small House policy. If the Town Planning Board (the Board) decide to approve the planning application, the lot owner shall apply to his office for a short term tenancy (STT) to the occupation of the Government land (GL). The application for STT will be by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STT, if approved, will be subject to such terms and conditions including payment of rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- There is no outstanding/approved Small House application within the Site; and
- advisory comments are in **Appendix IV**.

2. Traffic

Comments of the Commissioner for Transport:

- no adverse comment from traffic engineering perspective; and
- advisory comments are in **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application; and
- advisory comments are in **Appendix IV**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no comment on the submitted drainage proposal;
- no objection in principle to the application from the public drainage point of view; and
- should the application be approved, approval conditions should be stipulated in the approval letter requiring the applicant to implement and maintain the drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board.

4. **Fire Safety**

Comments of the Director of Fire Services:

- no objection in principle to the application subject to the fire service installations (FSIs) being provided to his satisfaction;
- the submitted FSIs proposal is considered acceptable; and
- advisory comments are in **Appendix IV**.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application;
- there is no record of approval granted by the Building Authority for the existing structures at the Site;
- it is noted that six structures are proposed in the application; and
- advisory comments are in **Appendix IV**.

6. **Environment**

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- there was no environmental complaint concerning the Site received in the past three years; and
- advisory comments are in **Appendix IV**.

7. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comments the application from landscape planning perspective;

- according to applicant's submission, it is noted that 22 existing trees are identified within the Site. Trees with diameter of tree trunk over 1000mm i.e. T13, T14 and T19 are proposed to be retained. 13 trees are proposed to be felled and 13 new trees are proposed along the within the Site to mitigate the loss of existing trees. Significant adverse landscape impact on existing landscape resources arising from the proposed development is not anticipated; and
- advisory comments are in **Appendix IV**.

8. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment on the application; and
- his office has not received comment from locals upon close of consultation.

9. Other Departments

The following government departments have no objection to/no adverse comment/no comment on the application and their advisory comments, if any, are in **Appendix IV**:

- Project Manager (West), Civil Engineering and Development Department;
- Director of Agriculture, Fisheries and Conservation;
- Director of Electrical and Mechanical Services;
- Director of Food and Environmental Hygiene;
- Director of Leisure and Culture Services;
- Director of Social Welfare;
- Chief Engineer/Railway Development 1-1, Highways Department;
- Chief Engineer/Construction, Water Supplies Department; and
- Commissioner of Police.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the proposed use with the concerned owner(s) and/or occupants;
- (b) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that:
- the lot owner shall apply to his office for a short term tenancy (STT) for the occupation of the Government land (GL). The application for STT will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STT, if approved, will be subject to such terms and conditions including payment of rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
 - the applicant should be reminded that pursuant to the “Guidelines for Application for Use of Vacant Government Land for Community, Institutional or Non-Profit Making Purposes on Short Term Basis” issued by his department, the applicant is required to be a non-government organization/social enterprise and necessary policy support from the relevant bureau or department would be required to implement the proposal. Upon receipt of the STT application with policy support being given, his department would consider the application in accordance with applicable policy and practice while there is no guarantee that the application will be approved;
 - the applicant should provide information to demonstrate compliance with the lease restriction for Lots 2063 and 2064 in D.D. 106. In the event the applicant wishes to carry out activities or erect structures for temporary period which do not comply with lease conditions, the applicant should apply for a Temporary Waiver (TW) to temporarily relax the restriction(s) under the lease. There is no guarantee that the TW application will eventually be approved by LandsD. If the TW application is approved, it will be subject to such terms and conditions as may be imposed by LandsD at its absolute discretion, including payment of waiver fee and administrative fee; and
 - the application site (the Site) is accessible to/from Kam Sheung Road via private lots and GL. However, there is no guarantee that any right of way for pedestrians or vehicles would be available;
- (c) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (PlanD) that:
- the approval of the application does not imply approval of tree works, if any, such as pruning, transplanting and felling. The applicant shall seek comments and approval for any proposed tree works from the relevant department prior to the commencement of the works;
- (d) to note the comments of the Commissioner for Transport that:
- the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department (TD). The land status of the local

access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;

- sufficient manoeuvring space shall be provided within the Site; and
 - no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
- HyD shall not be responsible for the maintenance of any access between the Site and Kam Sheung Road; and
 - adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (f) to note the comments of the Director of Fire Services that:
- the installation/maintenance/modification/repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to the Director of Fire Services; and
 - if the proposed structure is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;
- (g) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
- before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the Building Authority, they are unauthorised building works (UBW) under the BO and should not be designated for any proposed use under the application;

- for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - detailed checking under the BO will be carried out at building plan submission stage;
- (h) to note the comments of the Director of Environmental Protection that:
- the applicant should ensure that public announcement system, portable loud speaker, or any form of audio amplification system will only be allowed to be used within the Site, in consultation with nearby locals, during seasonally held recreational activities;
 - the applicant shall follow the revised “Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites”;
 - the applicant shall follow the ”Noise Control Guidelines for Music, Singing and Instrument Performing Activities” issued by Environmental Protection Department (EPD) to minimise noise emission from the proposed outdoor activities;
 - the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECC PNs), in particular the ProPECC PN 1/23 “Drainage Plans subject to Comment by EPD”;
 - the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - the proposed use at the Site shall meet the statutory requirements under relevant environmental legislation, in particular the Cap. 400 Noise Control Ordinance;
- (i) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
- no Food and Environmental Hygiene Department’s (FEHD) facilities shall be affected;
 - proper licence/permit issued by his Department is required if there is any food business/catering service/activities regulated by DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. Under the Food Business Regulation (Cap. 132X) (FBR), a food business licence is required for the operation of the relevant type of food business listed in the FBR (e.g. a restaurant, a refreshment kiosk etc.). The application for licence, if acceptable by FEHD, will be referred to relevant government departments such as BD, Fire Services Department and PlanD for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
 - depending on the mode of operation, generally there are several types of food business licence/permits that the operator of a shop/store may apply for under the FBR:

- (i) if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
 - (ii) if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained;
 - (iii) if fresh, chilled or frozen beef, mutton, pork, reptiles (including live snake), fish (including live fish) and poultry is sold, a fresh provision shop licence should be obtained; and
 - (iv) if milk, frozen confections, non-bottled drinks, cut fruit etc. are to be sold, relevant restricted food permits should be obtained.
- proper licence issued by FEHD is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public entertainment (PPE) Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement ride and mechanical device which is designed for amusement, a PPE Licence (or Temporary PPE Licence) should be obtained from FEHD whatever the general public is admitted with or without payment;
 - there should be no encroachment on the public place and no environmental nuisance should be generated to the surroundings. The proposed use should not be a nuisance or be injurious or dangerous to health and surrounding environment. Also, the applicant shall properly handle any waste generated from the proposed use on their own/at their own expenses.

Urgent Return receipt Expand Group Restricted Prevent Copy

From: [REDACTED]
Sent: 2025-06-13 星期五 03:15:26
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/YL-KTS/1076 DD 106 Kam Tin Former Shek Wu School

Dear TPB Members,

1016 withdrawn. Back again with an acknowledgement of tree felling.

Strong objections to the felling of the original trees.

The purpose of allowing adaptive reuse of the old school buildings is to preserve culture and heritage. The parking can be achieved without destroying the character of the school.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Sunday, 1 December 2024 3:21 AM HKT
Subject: Re: A/YL-KTS/1016 DD 106 Kam Tin Former Shek Wu School

Dear TPB Members,

So the Applicant failed to mention felling of 13 trees in the original documents.

Strong objections to the removal of all the trees in front of the building just to accommodate the convenience of the drivers and parking. This detracts from the character of the old school building.

Many of these applications for use of school premises fail to deliver the promised services. The integrity of the site should be preserved.

Moreover expectations would be that features such as existing trees would be appreciated and incorporated into an operation of this nature.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 3 September 2024 3:38 AM HKT
Subject: A/YL-KTS/1016 DD 106 Kam Tin Former Shek Wu School

A/YL-KTS/1016 HK Hakka Cultural Ass

Lots 2063 and 2064 in D.D. 106 and Adjoining Government Land in D.D. 106, Kam Tin, Yuen Long (Former Shek Wu School)

Site area: About 1,940sq.m Includes Government Land of about 1,714sq.m

Zoning: "VTD"

Applied use: Place of Recreation, Sports or Culture / 4 Vehicle Parking

Dear TPB Members,

Fire and Drainage conditions, essential when it comes to facilities catering for youngsters and the elderly were not fulfilled and 897 was revoked. A subsequent application 994 was withdrawn.

This proposal purports to be from a different applicant and extends the footprint of the facility.

While the intention appears to be laudable, members have a duty to question what steps are being taken to ensure that the facility is safe enough to accommodate some dozens of visitors.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 13 August 2021 3:55 AM HKT
Subject: AYL-KTS/897 DD 106 Kam Tin Former Shek Wu School

AYL-KTS/897
Government Land in D.D. 106, Kam Tin, Yuen Long (Former Shek Wu School)
Site area : About 1,155sq.m
Zoning : "VTD"
Applied use : Social Welfare Facilities (Elderly and Youth Centre / 2 Vehicle Parking

Dear TPB Members,

Unfortunately the fate of this school is like a game of Musical Chairs.

Application 756 – members approved a a 'Place of Recreation' for the African community but the locals were obviously not happy about this and approval was revoked in record time for failure to comply with drainage and fire conditions

Application 791 – Locals took it over as an elderly/community centre but also failed to comply with conditions but in this instance it look almost the full term of the approval before it was revoked

Application 862 – An NGO 'Bridge to China' applied to set up a youth centre. Again the locals not happy and it is not clear if the operation every commenced, is still there????

So now it appears to be back to the locals with this application.

Urgent Return receipt Expand Group Restricted Prevent Copy

Members should advise the related government departments to be more hands on, knock some heads together and ensure that the old school is used for some meaningful community purpose. While the local community may have set up the school originally, for sure the tax payer at some point had to fork out for maintenance, teachers salaries, etc so the school in essence belongs to the community in general.

Mary Mulvihill