

2025年 7月 15日

此文件在 收到・城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 2025-07-15  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:  
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501068 16/5 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YC-SK/423
	Date Received 收到日期	2025-07-15

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

Senior Buddy Charity Farm Limited 老友記慈善農莊有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

R-riches Property Consultants Limited 盈卓物業顧問有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1626 RP (Part), 1627 RP (Part), 1628 S.A ss.1 (Part), 1628 S.B RP (Part), 1628 S.C ss.1 (Part), 1628 S.D, 1644 S.B (Part), 1644 RP (Part), 1645 RP (Part) and 1646 RP (Part) in D.D. 112 and Adjoining Government Land, Shek Kong, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 4,474 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 273 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 90 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Shek Kong OZP No.: S/YL-SK/9
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" Zone
(f) Current use(s) 現時用途	Place of Recreation, Sports or Culture (Hobby Farm)  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises on  
06/03/2025 - 20/03/2025 (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 25/04/2025 (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project  
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

**(i) For Type (i) application 供第(i)類申請**

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計 .....		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘  Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土  Area of filling 填土面積 ..... <b>228</b> ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約  Depth of filling 填土厚度 <b>not more than 0.2</b> m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土  Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	<p>Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of 5 Years</p>

**(iii) For Type (iii) application 供第(iii)類申請**

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate  請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" data-bbox="507 1373 1458 1868"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											



**(iv) For Type (iv) application 供第(iv)類申請**

(a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –

請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- ☐ Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由 .....% to 至 ..... %
- ☐ Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由 .....m to 至 ..... m
- ☐ Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development  
擬議用途/發展

Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

Proposed gross floor area (GFA) 擬議總樓面面積	.....273..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	.....0.06.....	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	.....6..... %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	.....3.....	
Proposed no. of storeys of each block 每座建築物的擬議層數	.....1..... storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	.....3 to 3.5..... m 米	<input checked="" type="checkbox"/> About 約

☐ Domestic part 住用部分

GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約  
 number of Units 單位數目 .....  
 average unit size 單位平均面積 .....sq. m 平方米 ☐ About 約  
 estimated number of residents 估計住客數目 .....

☒ Non-domestic part 非住用部分

## GFA 總樓面面積

☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約  
☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約  
☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities (please specify the use(s) and concerned land  
 政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總  
 樓面面積)

.....  
 .....  
 .....

☒ other(s) 其他

(please specify the use(s) and concerned land  
 area(s)/GFA(s) 請註明用途及有關的地面面積／總  
 樓面面積)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	RAIN SHELTER	108m <sup>2</sup> (ABOUT)	108m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B2	RECEPTION, WASHROOM, RAIN SHELTER, WATER TANK STORAGE OF FARM TOOLS	120m <sup>2</sup> (ABOUT)	120m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B3	GREENHOUSE	45m <sup>2</sup> (ABOUT)	45m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		273m <sup>2</sup> (ABOUT)	273m <sup>2</sup> (ABOUT)	

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於  
☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]		
STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	RAIN SHELTER	108m <sup>2</sup> (ABOUT)	108m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B2	RECEPTION, WASHROOM, RAIN SHELTER, WATER TANK STORAGE OF FARM TOOLS	120m <sup>2</sup> (ABOUT)	120m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B3	GREENHOUSE	45m <sup>2</sup> (ABOUT)	45m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		273m <sup>2</sup> (ABOUT)	273m <sup>2</sup> (ABOUT)	

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Farming and circulation areas

.....  
 .....  
 .....  
 .....  
 .....



## 7. Anticipated Completion Time of the Development Proposal

### 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Existing .....

.....

.....

.....

.....

## 8. Vehicular Access Arrangement of the Development Proposal

## 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building?          是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate)          有一條現有車路。(請註明車路名稱(如適用))</p> <p><u>Accessible from Kam Sheung Road via a local access</u>.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width)          有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																
<p>Any provision of parking space for the proposed use(s)?          是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan)          請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>N/A</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>N/A</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> </table> <p><input checked="" type="checkbox"/></p>	Private Car Parking Spaces 私家車車位	N/A	Motorcycle Parking Spaces 電單車車位	N/A	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A	Others (Please Specify) 其他 (請列明)		_____	_____	_____	_____
Private Car Parking Spaces 私家車車位	N/A																	
Motorcycle Parking Spaces 電單車車位	N/A																	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A																	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A																	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A																	
Others (Please Specify) 其他 (請列明)																		
_____	_____																	
_____	_____																	
<p>Any provision of loading/unloading space for the proposed use(s)?          是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan)          請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td>N/A</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td>N/A</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td>N/A</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td>N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td>N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> </table> <p><input checked="" type="checkbox"/></p>	Taxi Spaces 的士車位	N/A	Coach Spaces 旅遊巴車位	N/A	Light Goods Vehicle Spaces 輕型貨車車位	N/A	Medium Goods Vehicle Spaces 中型貨車車位	N/A	Heavy Goods Vehicle Spaces 重型貨車車位	N/A	Others (Please Specify) 其他 (請列明)		_____	_____	_____	_____
Taxi Spaces 的士車位	N/A																	
Coach Spaces 旅遊巴車位	N/A																	
Light Goods Vehicle Spaces 輕型貨車車位	N/A																	
Medium Goods Vehicle Spaces 中型貨車車位	N/A																	
Heavy Goods Vehicle Spaces 重型貨車車位	N/A																	
Others (Please Specify) 其他 (請列明)																		
_____	_____																	
_____	_____																	

## 9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>		<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														



**10. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

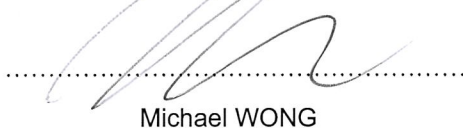
Please refer to the supplementary statement.

**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

R-riches Property Consultants Limited 盈卓物業顧問有限公司

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）



Date 日期

02/05/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

**Ash interment capacity 骨灰安放容量<sup>@</sup>**

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

**Total number of niches 龕位總數**

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

**Proposed operating hours 擬議營運時間**

<sup>@</sup> Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。



## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots 1626 RP (Part), 1627 RP (Part), 1628 S.A ss.1 (Part), 1628 S.B RP (Part), 1628 S.C ss.1 (Part), 1628 S.D, 1644 S.B (Part), 1644 RP (Part), 1645 RP (Part) and 1646 RP (Part) in D.D. 112 and Adjoining Government Land, Shek Kong, Yuen Long, New Territories		
Site area 地盤面積	4,474	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	90	sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Shek Kong OZP No.: S/YL-SK/9		
Zoning 地帶	"Agriculture" Zone		
Applied use/ development 申請用途/發展	Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	273 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.06 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	3	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	3 to 3.5	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	6 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	N/A
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)	N/A N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lays 上落客貨車位／停車處總數	N/A
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	N/A N/A N/A N/A N/A

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plan showing the location/zoning/land status of the Site; Plan showing the filling of land at the Site; Accepted drainage & FSIs proposals under the previous application and Photographic Record of the Existing Drainage Facilities within the Site		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號



Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

此為空白頁。  
This is a blank page.

## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Various Lots in D.D. 112, Shek Kong, Yuen Long, New Territories* (the Site) for '**Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of 5 Years**' (the proposed development) (**Plans 1 to 3**).
- 1.2 The applicant intends to continue operating the hobby farm to promote sustainable and organic farming in Shek Kong area. The proposed passive recreation outlet also serves as an eco-education farm to enhance the public awareness about the importance of agricultural development in Hong Kong.

### **2) Planning Context**

- 2.1 The Site is currently falls within an area zoned "Agriculture" ("AGR") on the Approved Shek Kong Outline Zoning Plan (OZP) No.: S/YL-SK/9. According to the Notes of the OZP, '*Place of Recreation, Sports or Culture (Hobby Farm)*' is a Column 2 use within the "AGR" zone, which requires planning permission from the Board (**Plan 2**).
- 2.2 The Site mainly surrounded by hobby farm, plant nursery, cultivated land, unused/vacant land and some residential dwellings within the adjoining "Village Type Development" zone. Given the scale and nature of the proposed development, it is considered not incompatible with the surrounding area. Approval of the current application on a temporary basis would not frustrate the long-term planning intention of the "AGR" zone and would better utilise fallow agricultural land in the New Territories.
- 2.3 The Site is the subject of two previous S.16 planning applications (Nos. A/YL-SK/229 and 261) for the same applied use submitted by the same applicant, which was approved by the Board on a temporary basis for a period of 3/5 years on 10.11.2017 and 4.10.2019 respectively. Despite the latest planning approval (No. A/YL-SK/261) lapsed on 4.10.2024, the applicant has complied with all approval conditions, details are shown at **Table 1** below:

**Table 1** – Details of Compliance with Approval Conditions of the Previous Application

<b>Approval Conditions of Application No. A/YL-SK/261</b>		<b>Date of Compliance</b>
(c)	The submission of a revised drainage proposal	3.1.2022



(d)	The implementation of revised drainage proposal	7.4.2022
(g)	The implementation of proposal for fire service installations and water supplies for fire-fighting	8.2.2021

2.4 When compared with the previous S.16 planning application (No. A/YL-SK/261), all major development parameters and operation mode remain unchanged. In support of the application, the applicant submitted the accepted drainage and fire service installations (FSIs) proposals of the previous application and photographic records showing the existing drainage facilities within the Site for the proposed development (**Appendices I to III**).

2.5 Apart from the previous application, within the same "AGR" zone on the OZP, several applications for 'Place of Recreation, Sports or Culture (Hobby Farm)' were approved by the Board between 2017 and 2021, within which the latest application (No. A/YL-SK/313), which located approximately 220m southwest of the Site, was approved by the Board on a temporary basis in 2021. All similar applications were approved on a temporary basis for a period of 3 or 5 years. Hence, approval of the current application is in line with the Board's previous decisions and would not set an undesirable precedent within the "AGR" zone.

### 3) Development Proposal

3.1 The Site occupies an area of 4,474 m<sup>2</sup> (about), including 90m<sup>2</sup> of GL (**Plan 3**). A total of 3 structures are proposed for reception, rain shelter, greenhouse, washroom, water tank and storage of farm tools with total gross floor area (GFA) of 273 m<sup>2</sup> (about) (**Plan 4**). The remaining uncovered area will be reserved for farm area and circulation space. The operation hours of the proposed development are from 09:00 to 19:00 daily, including public holidays. It is anticipated that the applied use would attract not more than 20 visitors. It is estimated that 5 staff members will station at the Site to support the daily operation. Details of the development parameters are provided at **Table 2** below:

**Table 2 – Major Development Parameters**

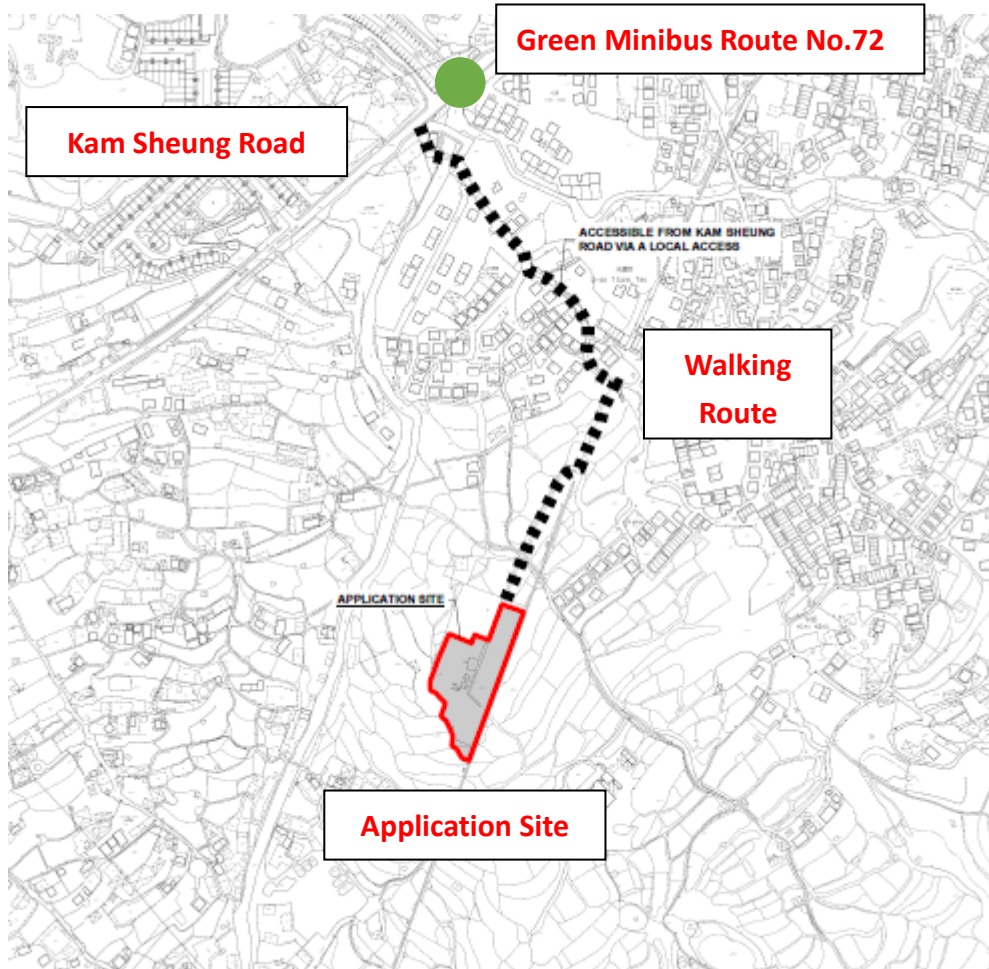
<b>Application Site Area</b>	4,474 m <sup>2</sup> (about), including 90m <sup>2</sup> of GL
<b>Covered Area</b>	273 m <sup>2</sup> (about)
<b>Uncovered Area</b>	4,201 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.06 (about)
<b>Site Coverage</b>	6% (about)

<b>No. of Structure</b>	3
<b>Total GFA</b>	273 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	273 m <sup>2</sup> (about)
<b>Building Height</b>	3m to 3.5m (about)
<b>No. of Storey</b>	1

- 3.2 A portion of the Site has already been paved with concrete of not more than 0.2 m in depth (about 228 m<sup>2</sup>/ 5% of the Site) for site formation of structures (**Plan 5**). The current application serves to regularize the existing filling of land. Concrete site formation is required to meet the operational needs, and the extent of paving has been kept to minimal. The remaining area of the Site will remain as soil ground for the provision of farm area (about 3,557 m<sup>2</sup>/ 79.5% of the Site) and circulation area (about 689 m<sup>2</sup>/ 15.4% of the Site). The applicant will strictly follow the proposed scheme, and no further filling of land will be carried out during the planning approval period. The applicant will reinstate the Site to an amenity area upon expiry of the planning permission.
- 3.3 A significant portion of the Site will be reserved for farming area (i.e. 3,557 m<sup>2</sup>, 79.5% of the Site) (**Plan 5**). The farming practice is similar to the always permitted agricultural use. Visitors will be allowed to grow a selection of crops, including edible seasonal fruits/vegetables, and will be free to carry the crops away for personal consumption. The use of pesticides will be strictly prohibited at the Site.
- 3.4 The Site is accessible from Kam Sheung Road via a local access (**Plan 1**). Given that there is no vehicular access connecting the Site, no parking and loading/unloading (L/UL) spaces will be provided at the Site. Goods supporting the daily operation of the proposed development will be delivered by staff with trolleys, hence, no L/UL space will be required.
- 3.5 Prior booking will be required for visitors to access the Site. Visitors and staff will gain access to the Site by public transport services at Fung Kat Heung Road (Green Minibus Route No. 72) and walk to the Site via Kam Sheung Road (about 600 m from the Site) and a local access. Staff will meet visitors at the designated meeting point at Kam Sheung Road and lead visitors to the Site via the local access (**Figure 1**). Visitors will be reminded to refrain from driving to the Site as there will be no parking space available. Should there be any illegal parking

observed at Kam Sheung Road, the applicant will report to respective government departments.

**Figure 1** – Nearest public transport services are provided at Kam Sheung Road



- 3.6 To avoid causing noise nuisance to the surrounding area, no public announcement system, whistle blowing, portable loud speaker, or any form of audio amplification system will be allowed at the Site at any time during the planning approval period.
- 3.7 The applicant will strictly comply with all environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. at all times during the planning approval period. The applicant will also follow relevant mitigation measures and requirements in the latest the '*Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites*' issued by the Environmental Protection Department to minimise adverse any potential environmental impacts and nuisance to the surrounding area.



3.8 As there is no existing public sewer in the vicinity of the Site, septic tank and soakaway system is proposed for sewage treatment at the Site. The applicant will strictly follow the *Professional Persons Environmental Consultative Committee Practice Notes 1/23* when designing the on-site sewage system within the Site. Licensed collectors will be employed by the applicant to collect and dispose of sewage regularly to ensure no overflowing of sewage at the Site.

#### **4) Conclusion**

4.1 The proposed development will not create significant nuisance to the surrounding area. Adequate mitigation measures are provided by the applicant, i.e. submission of the accepted drainage and FSIs proposals under the previous application, as well as the photographic record of the existing drainage facilities within the Site, to alleviate any potential adverse impact that would have arisen from the proposed development (**Appendices I to III**).

4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of 5 Years**'.

**R-riches Property Consultants Limited**

**May 2025**

## **LIST OF APPENDICES**

<b>Appendix I</b>	Accepted FSIs proposal under previous application No. A/YL-SK/261
<b>Appendix II</b>	Accepted drainage proposal under previous application No. A/YL-SK/261
<b>Appendix III</b>	Photographic Record of the Existing Drainage Facilities within the Site

## **LIST OF PLANS**

<b>Plan 1</b>	Location plan
<b>Plan 2</b>	Plan showing the zoning of the Site
<b>Plan 3</b>	Plan showing the land status of the Site
<b>Plan 4</b>	Layout plan
<b>Plan 5</b>	Plan showing the filling of land at the Site

## **Appendix I**

Accepted FSIs Proposal under Previous Application No. A/YL-SK/261

# 規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中環大廈 22 樓 2202 室



## Planning Department

Fanling, Sheung Shui & Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :  
本署檔號 Our Reference : TPB/A/YL-SK/261  
電話號碼 Tel. No. : 3168 4072  
傳真機號碼 Fax No. : 3168 4074/3168 4075

**By Post & Fax**

3 January 2022

Dear Sir/ Madam,

### Submission for Compliance with Approval Condition (c) - the Submission of a Revised Drainage Proposal

Temporary Place of Recreation, Sports or Culture (Hobby Farm)  
for a Period of 5 Years and Filling of Land in "Agriculture" Zone,  
Lots 1626 RP (Part), 1627 RP (Part), 1628 S.A ss.1 (Part), 1628 S.B RP (Part),  
1628 S.C ss.1 (Part), 1628 S.D, 1644 S.B (Part), 1644 RP (Part), 1645 RP (Part) and 1646 RP  
(Part) in D.D. 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long  
(Application No. A/YL-SK/261)

I refer to your submission dated 14.12.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in *Appendix*.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**. Please find detailed departmental comments in *Appendix*.

Should you have any queries on the departmental comments, please contact Mr. Bill CHAN (Tel: 2781 4107) of Drainage Services Department directly.

Yours faithfully,

Anthony LUK  
District Planning Officer/  
Fanling Sheung Shui & Yuen Long East  
Planning Department



- 2 -

C.C.  
CE/MN, DSD

(Attn.: Mr. Bill CHAN)

Internal  
CTP/TPB

AL/LC/cc

Appendix

*Comments from Chief Engineer/Mainland North, Drainage Services Department:*

The applicant is reminded to note the following:

- (i) The applicant should implement the drainage facilities on site in accordance with the agreed drainage proposal.
- (ii) The applicant is required to rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system.
- (iii) The proposed development would neither obstruct overland flow nor adversely affected any existing natural streams, village drains, ditches and the adjacent areas.
- (iv) The applicant should consult District Lands Officer/Yuen Long, Lands Department and seek consent from relevant lot owners for any works to be carried out outside his lot boundary before commencement of the drainage works.

Our Ref.: DD112lots1626RP(Part)&VL  
Your ref.: TPB/A/YL-SK/261

The Secretary  
Town Planning Board  
15/F, North Point Government office  
333 Java Road  
North Point, Hong Kong

By Email

14 December 2021

Dear Sir,

**Compliance with Approval Condition (c)**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm)  
For a Period of 5 Years with Filling of Land by 0.2m in "Agriculture" Zone,  
Lots 1626 RP (Part), 1627 RP (Part), 1628 S.A ss.1 (Part), 1628 S.B RP (Part), 1628 S.C  
ss.1 (Part), 1628 S.D, 1644 S.B (Part), 1644 RP (Part), 1645 RP (Part) and 1646 RP (Part)  
in D.D 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long**

**(Application No. A/YL-SK/261)**

We are writing to submit a revised drainage proposal (**Appendix I**) for compliance with approval condition (c) of the subject application, i.e. the submission of drainage proposal. Your kind attention to the matter is much appreciated.

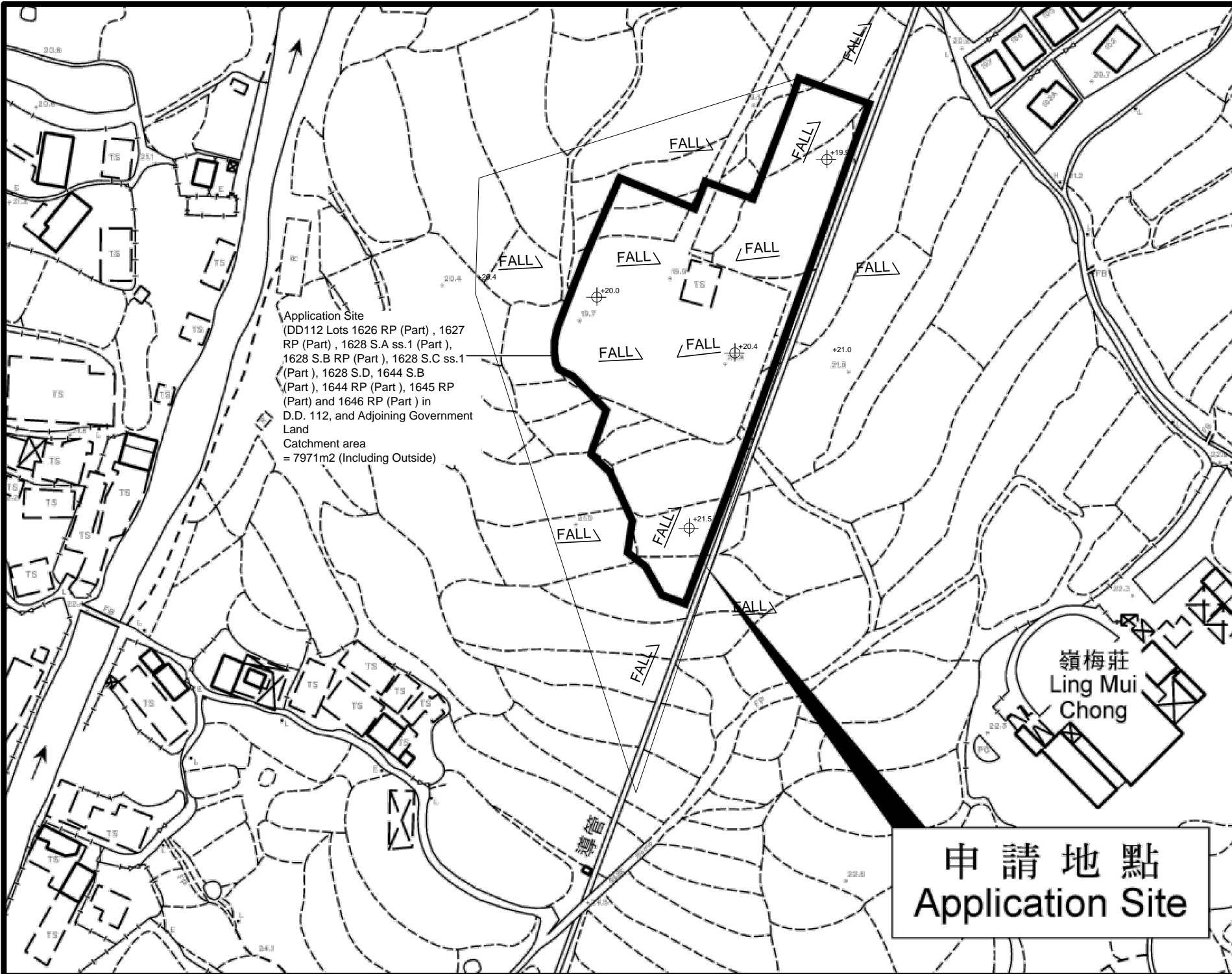
Should you require more information regarding the application, please contact our [REDACTED]  
[REDACTED] or the undersigned at your convenience.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**



Orpheus LEE  
**Planning and Development Consultant**



Legend:

- Proposed 375 UC (1:100) with cast iron cover
- Existing Stream
- Proposed Catchpit with iron cover
- Existing Level

Company:

恆協工程有限公司  
HANDSHIP  
ENGINEERING  
COMPANY LIMITED

Project :

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) at Lots 1626 RP (Part) , 1627 RP (Part) , 1628 S.A ss.1 (Part ),1628 S.B RP (Part ), 1628 S.C ss.1 (Part ), 1628 S.D, 1644 S.B (Part ), 1644 RP (Part ), 1645 RP (Part) and 1646 RP (Part) in D.D. 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long

APPLICATION NO.:

A/YL-SK/261

Title:

Drainage Proposal-  
Application Boundary  
Catchment Zone and  
area

Date:

24th Nov  
2020

Dwg No.

Fig.1

申請地點  
Application Site



- Note:**
- Catchpit (CP4) with desilting facility shall follow CEDD standard drawing No. C2406I.
  - Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.

3. No fence wall ,solid wall and hoarding shall be proposed

4. The invert level of the connection point shall be verified on site before commencement of works

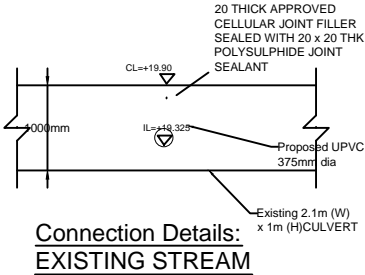
**Legend:**

- Proposed 375 UC (1:100) with cast iron cover
- Existing Stream
- Proposed Catchpit with iron cover
- Existing Level

**Company:**  
恆協工程有限公司  
HANDSHIP  
ENGINEERING  
COMPANY LIMITED

**Project :**  
Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) at Lots 1626 RP (Part) , 1627 RP (Part) , 1628 S.A ss.1 (Part) ,1628 S.B RP (Part ) , 1628 S.C ss.1 (Part ) , 1628 S.D, 1644 S.B (Part ) , 1644 RP (Part ) , 1645 RP (Part) and 1646 RP (Part ) in D.D. 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long

**APPLICATION NO.:**  
A/YL-SK/261



**Title:**  
Drainage Proposal-Layout

<b>Date:</b> 12th Dec 2021	<b>Dwg No.</b> Fig.2
-------------------------------	-------------------------



**Company:** HANDSHIP ENGINEERING COMPANY LIMITED  
**Project :** Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm)  
 at Lot 11626 RP (Part) , 1627 RP (Part) , 1628 S.A ss.1 (Part ) ,  
 1628 S.B RP (Part ) , 1628 S.C ss.1 (Part ) , 1628 S.D, 1644 S.B  
**Date:** 2019/7/19

**Calculation for channels:**

Catchment Area of site

Soil-paved Catchment Area	=	7698	m <sup>2</sup>
	=	0.007698	km <sup>2</sup>

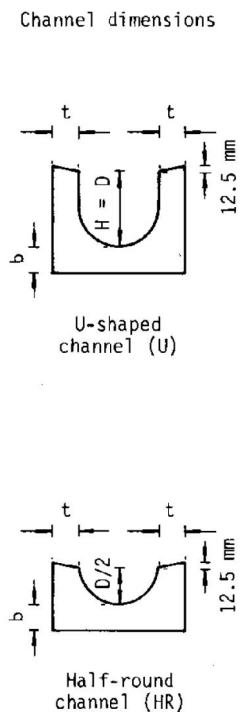
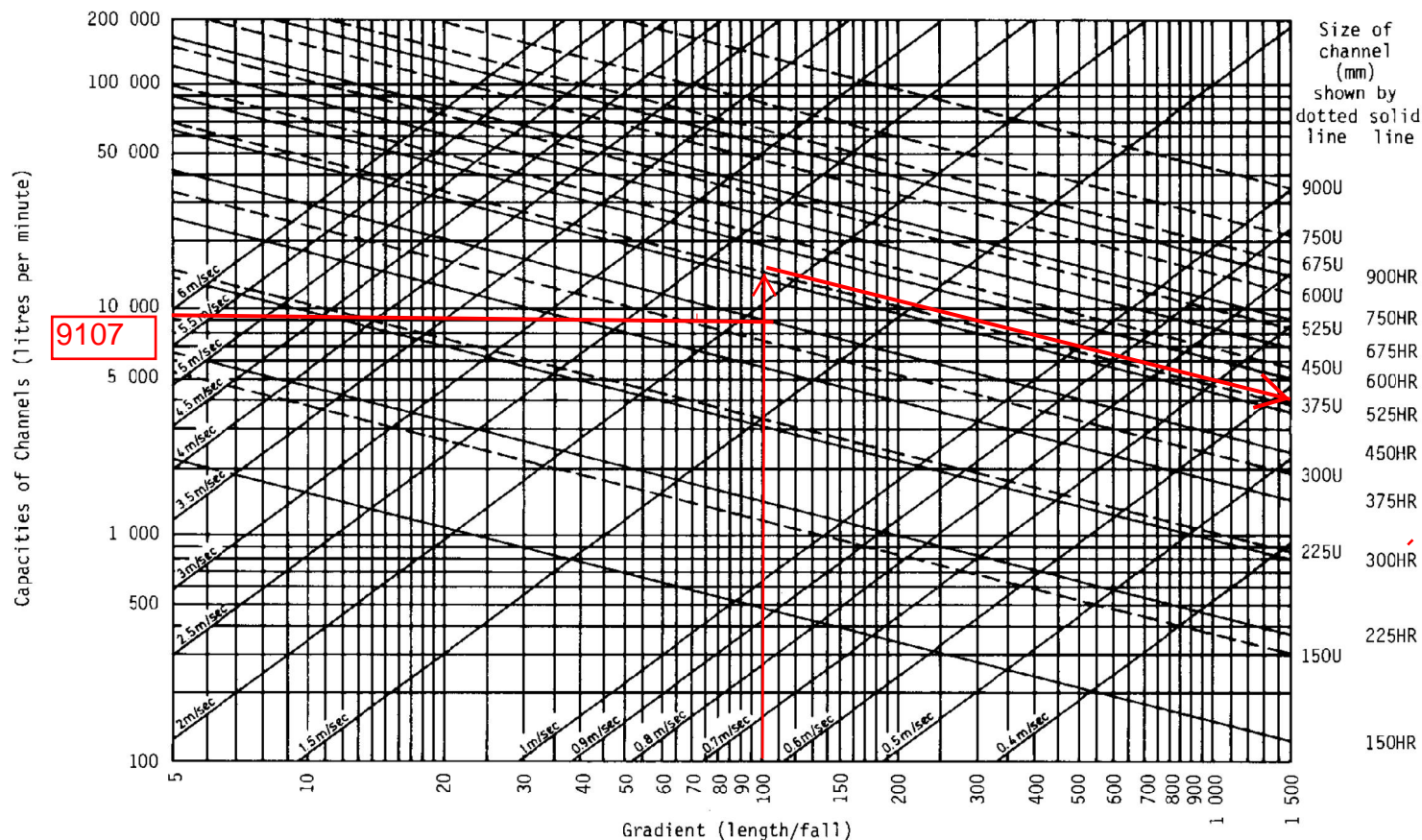
Peak runoff in m <sup>3</sup> /s	=	0.278	x	0.25	x	250	mm/hr	x	0.007698	km <sup>2</sup>
	=	0.133753	m <sup>3</sup> /s							
	=	8025	liter/min							

Hard-paved Catchment Area	=	273	m <sup>2</sup>
	=	0.000273	km <sup>2</sup>

Peak runoff in m <sup>3</sup> /s	=	0.278	x	0.95	x	250	mm/hr	x	0.000273	km <sup>2</sup>
	=	0.018025	m <sup>3</sup> /s							
	=	1081	liter/min							

Total peak runoff in m <sup>3</sup> /s	=	0.151778	m <sup>3</sup> /s
	=	9107	liter/min

According to (Figure 8.7 - Chart for the Rapid Design of Channels),  
 For gradient 1:100, 375UC will be suitable for site



#### DESIGN METHOD USING CHART

##### (a) Normal channel Solution

1. Runoff
2. Gradient
3. Channel size
4. Velocity

##### Example :

1. Enter Runoff = 4 000 litre/min.
2. Enter Gradient = 1 in 40
3. Read channel required = 225 U or 300HR
4. Read velocity = 2.2 m/sec. (<4 m/sec. ∴ OK)

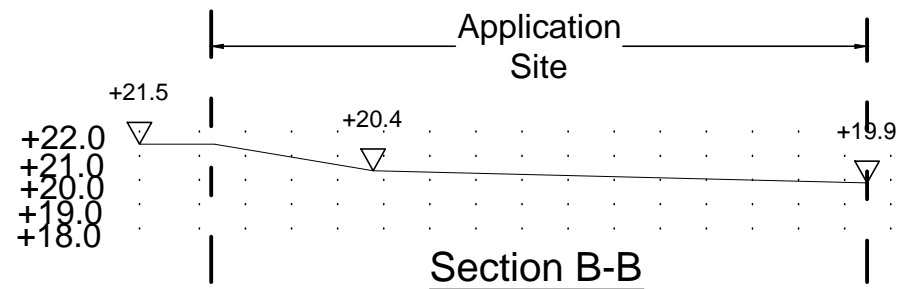
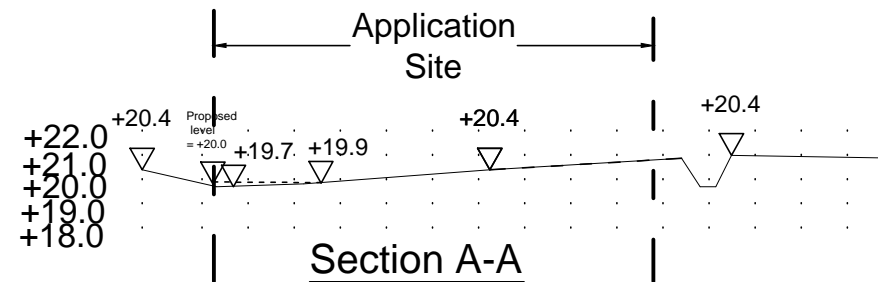
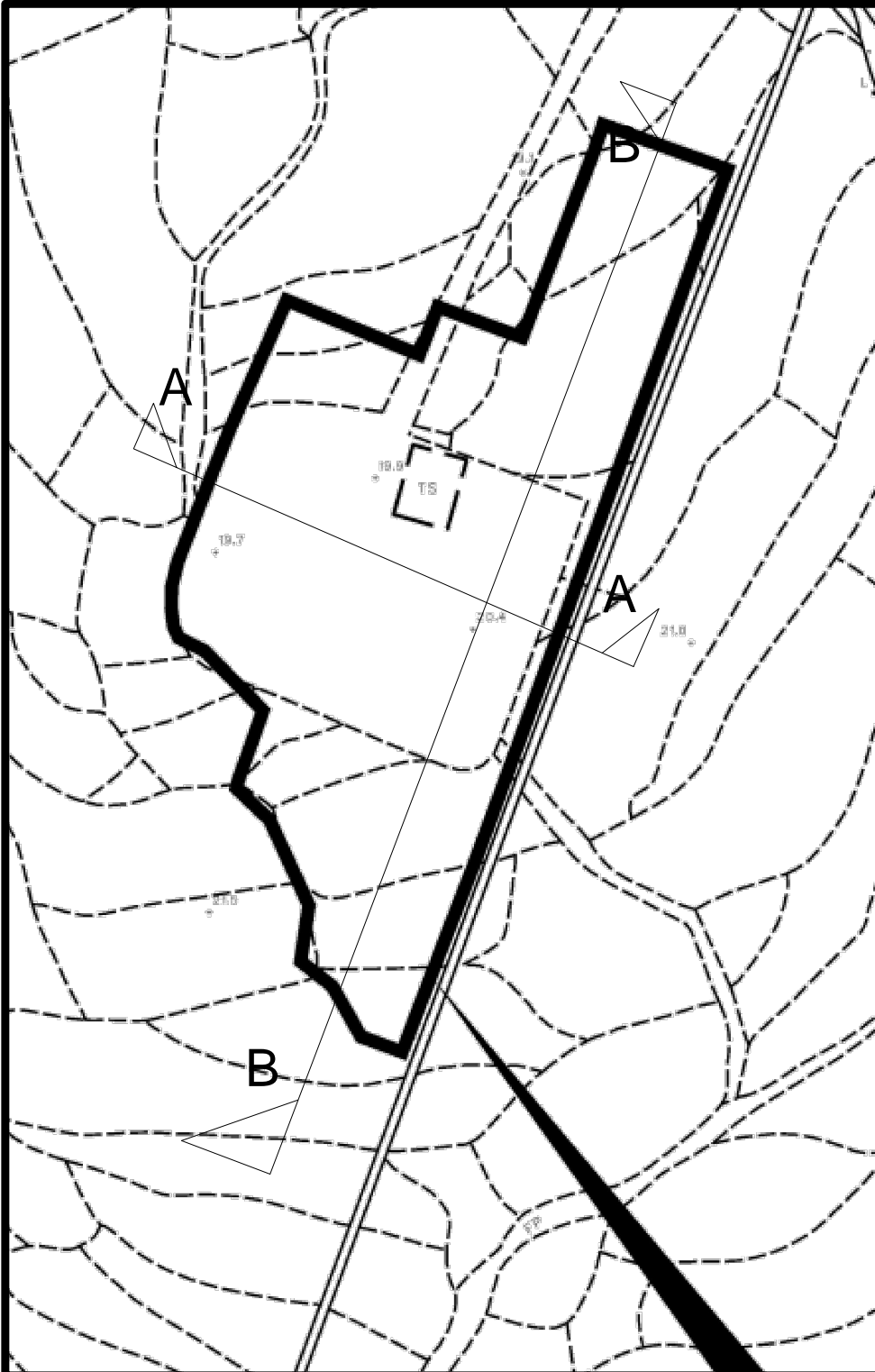
##### (b) Stepped channel Solution

2. Runoff
3. Channel size
4. Gradient
1. Velocity

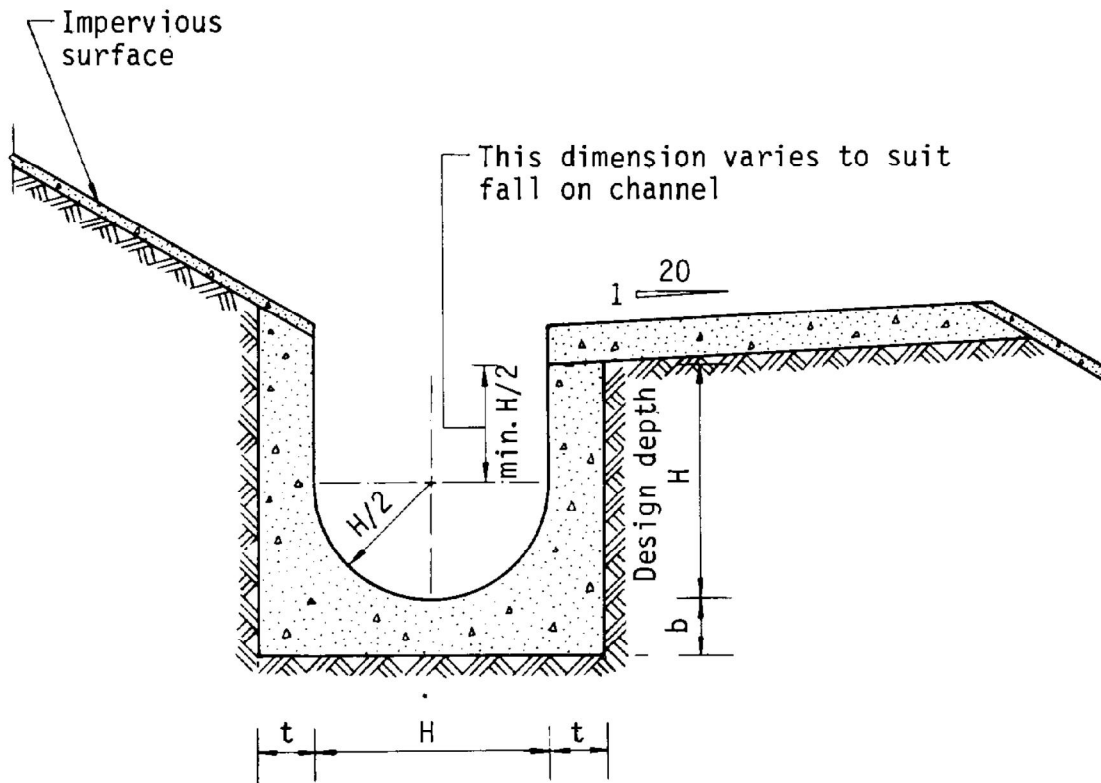
##### Example :

1. Enter Velocity = 5 m/sec.
2. Enter Runoff = 20 000 litre/min.
3. Read required channel size = 300U
4. Read required gradient = 1 in 14

Figure 8.7 - Chart for the Rapid Design of Channels



<b>Legend:</b> <ul style="list-style-type: none"><li>→ Proposed 375 UC (1:100) with cast iron cover</li><li>⇌ Existing Stream</li><li>□ Proposed Catchpit with iron cover</li><li>⊕<sup>+5.5</sup> Existing Level</li></ul>	
<b>Company:</b> 恆協工程有限公司 HANDSHIP ENGINEERING COMPANY LIMITED	
<b>Project :</b> Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) at Lots 1626 RP (Part) , 1627 RP (Part) , 1628 S.A ss.1 (Part ),1628 S.B RP (Part ) , 1628 S.C ss.1 (Part ) , 1628 S.D, 1644 S.B (Part ) , 1644 RP (Part ) , 1645 RP (Part) and 1646 RP (Part ) in D.D. 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long	
APPLICATION NO.: A/YL-SK/261	
<b>Title:</b> Section	
<b>Date:</b> 27th Oct 2020	<b>Dwg No.</b> Fig.3



Dimensions of U - channel

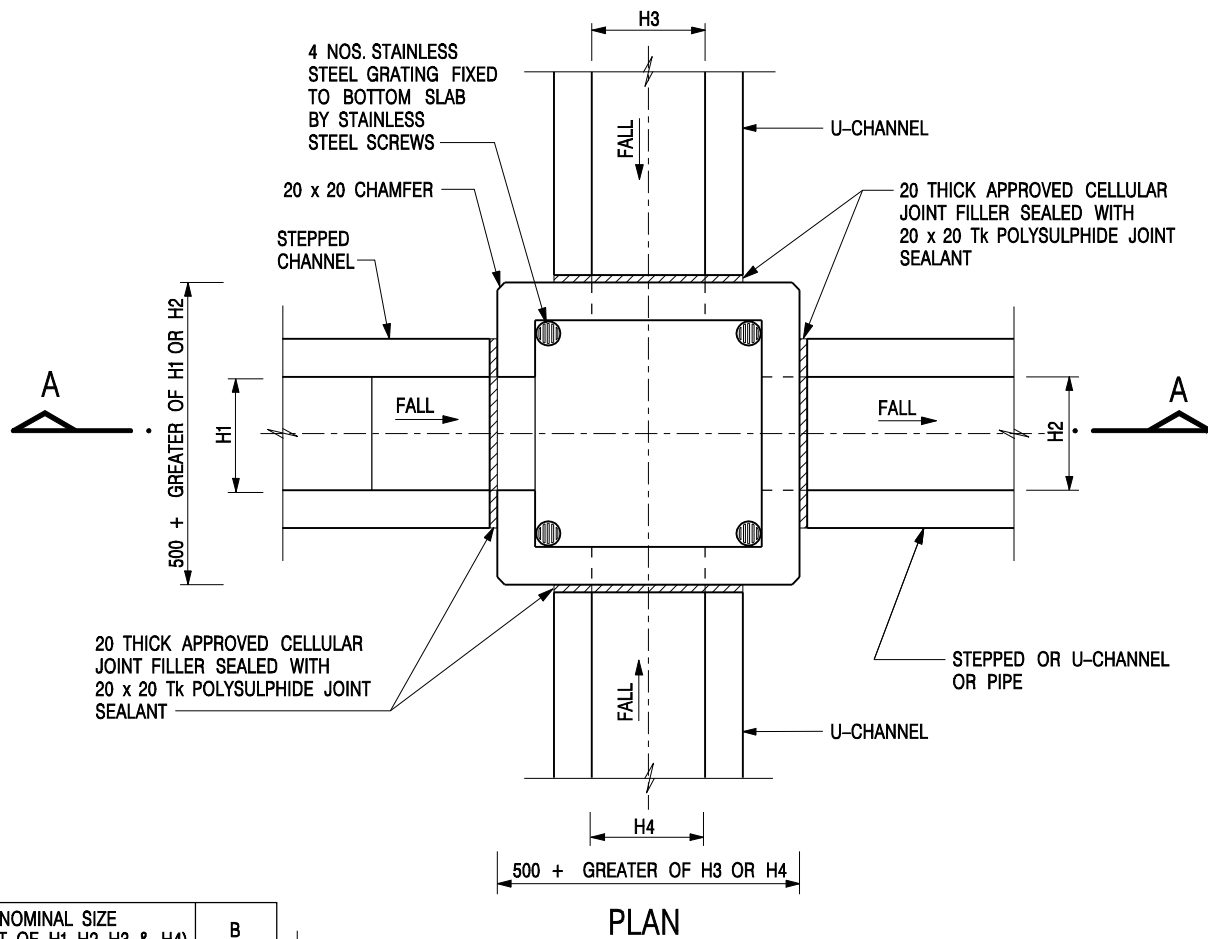
Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details



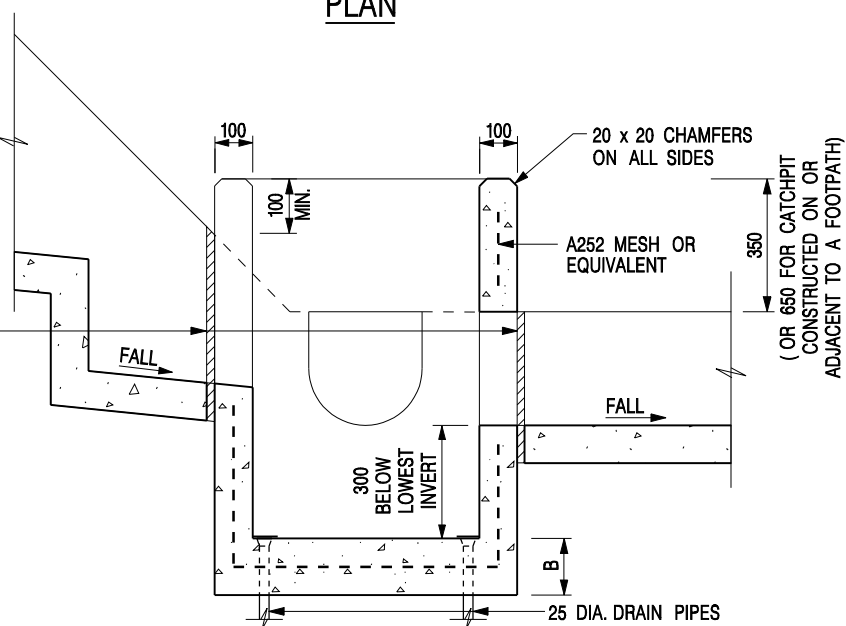


Figure 8.10 - Typical Details of Catchpits



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



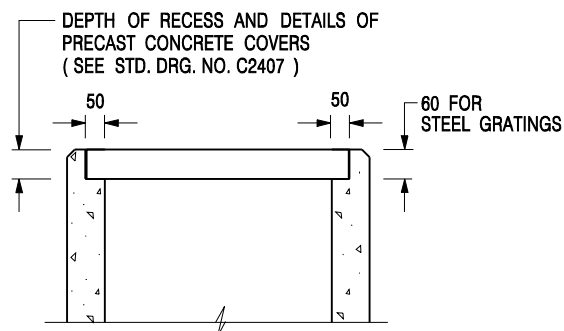
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /1**



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

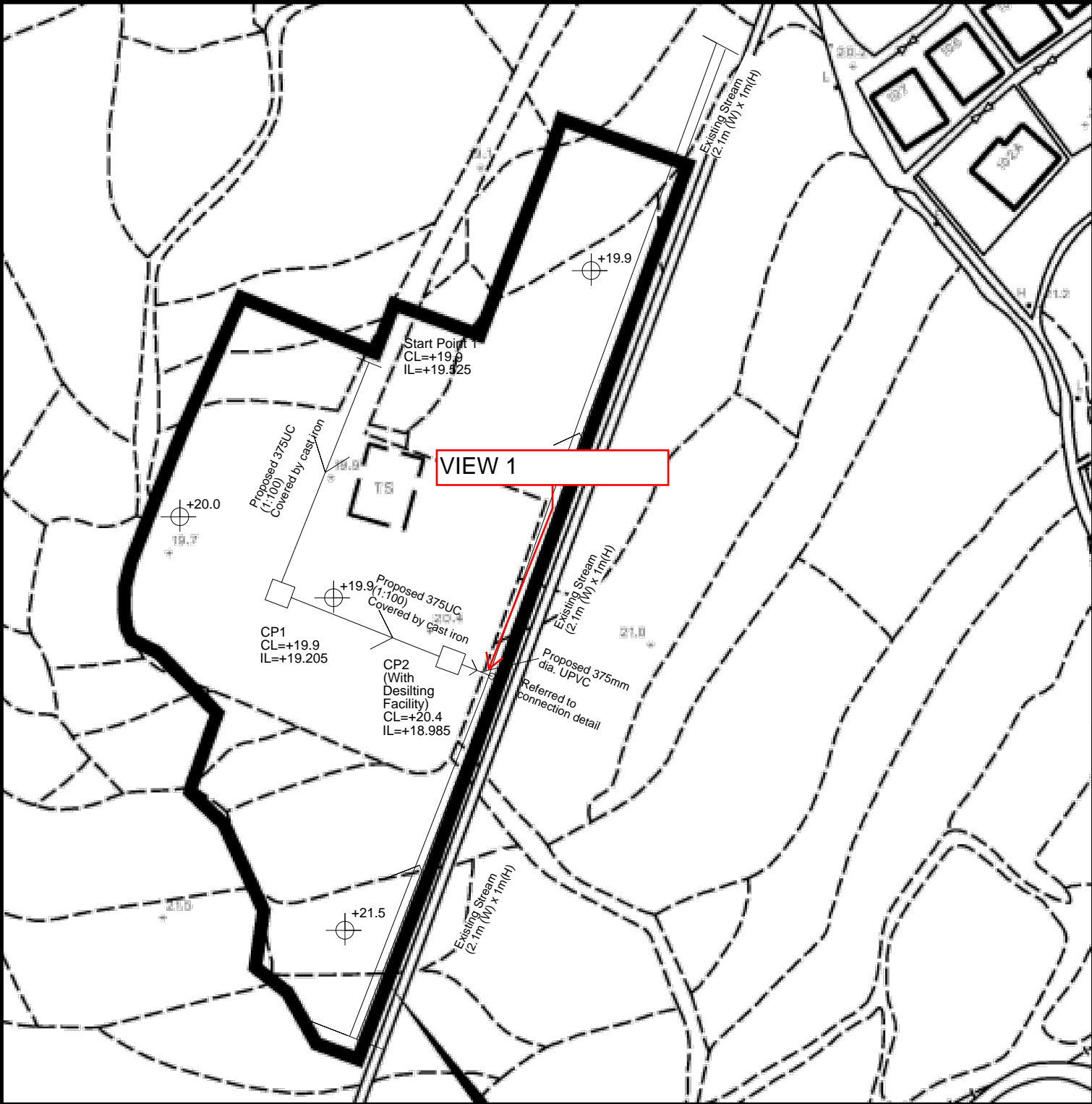
**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2**

# APPENDIX: SITE PHOTO





- Note:**
- 1. Catchpit (CP4) with desilting facility shall follow CEDD standard drawing No. C2406I.
  - 2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.

3. No fence wall ,solid wall and hoarding shall be proposed

4. The invert level of the connection point shall be verified on site before commencement of works

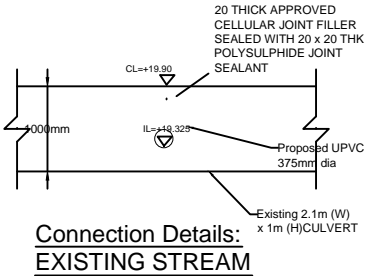
**Legend:**

- Proposed 375 UC (1:100) with cast iron cover
- Existing Stream
- Proposed Catchpit with iron cover
- Existing Level

**Company:**  
恆協工程有限公司  
HANDSHIP  
ENGINEERING  
COMPANY LIMITED

**Project :**  
Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) at Lots 1626 RP (Part) , 1627 RP (Part) , 1628 S.A ss.1 (Part) ,1628 S.B RP (Part ) , 1628 S.C ss.1 (Part ) , 1628 S.D, 1644 S.B (Part ) , 1644 RP (Part ) , 1645 RP (Part) and 1646 RP (Part ) in D.D. 112, and Adjoining Government Land, Shui Tsan Tin, Shek Kong, Yuen Long

**APPLICATION NO.:**  
A/YL-SK/261



**Title:**  
EYE LOCATION  
PLAN

<b>Date:</b> 12th Dec 2021	<b>Dwg No.</b> Fig.4
-------------------------------	-------------------------



VIEW1 EXISTING STREAM 2.1m (Width) x 1m depth

## **Appendix II**

Accepted Drainage Proposal under Previous Application No. A/YL-SK/261

DEVELOPMENT PARAMETERS		
APPLICATION SITE AREA	: 4,474m <sup>2</sup>	(ABOUT)
COVERED AREA	: 273 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,201 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.06	(ABOUT)
SITE COVERAGE	: 6 %	(ABOUT)
NO. OF STRUCTURE	: 3	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 273 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 273 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3 m - 3.5 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	RAIN SHELTER RECEPTION, WASHROOM, RAIN SHELTER, WATER TANK STORAGE OF FARM TOOLS GREENHOUSE	108m <sup>2</sup> (ABOUT)	108m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B2		120m <sup>2</sup> (ABOUT)	120m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B3		45m <sup>2</sup> (ABOUT)	45m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		273m <sup>2</sup> (ABOUT)	273m <sup>2</sup> (ABOUT)	



#### FIRE SERVICE INSTALLATIONS

	EXIT SIGN
	EMERGENCY LIGHT
	4 KG DRY POWDER TYPE FIRE EXTINGUISHER

#### FS NOTES:

- 1) SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016, BS EN 1838:2013 AND THE FSD CIRCULAR LETTER NO. 4/2021.
- 2) SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 AND THE FSD CIRCULAR LETTER 5/2008.
- 3) PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- 4) ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

NO PARKING NOR LOADING/UNLOADING SPACE IS PROVIDED AT THE APPLICATION SITE.

#### LEGEND

	APPLICATION SITE
	STRUCTURE
	STRUCTURE (GREENHOUSE)
	FARM AREA

PLANNING CONSULTANT



PROJECT

TEMPORARY PLACE OF RECREATION,  
SPORTS OR CULTURE (HOBBY FARM) WITH  
ANCILLARY FACILITIES AND ASSOCIATED  
FILLING OF LAND FOR A PERIOD OF 5 YEARS

ADDRESS

VARIOUS LOTS IN D.D. 112 AND ADJOINING  
GOVERNMENT LAND, SHEK KONG, YUEN  
LONG, NEW TERRITORIES

SCALE

1 : 750 @ A4

DRAWN BY

MN

DATE

22.4.2025

REVISED BY

DATE

TITLE

FSIS PROPOSAL

DWG NO.

APPENDIX II

VER.

001





### **Appendix III**

#### **Photographic Record of the Existing Drainage Facilities within the Site**

**Appendix III - Photographic Record of the Existing Drainage Facilities**

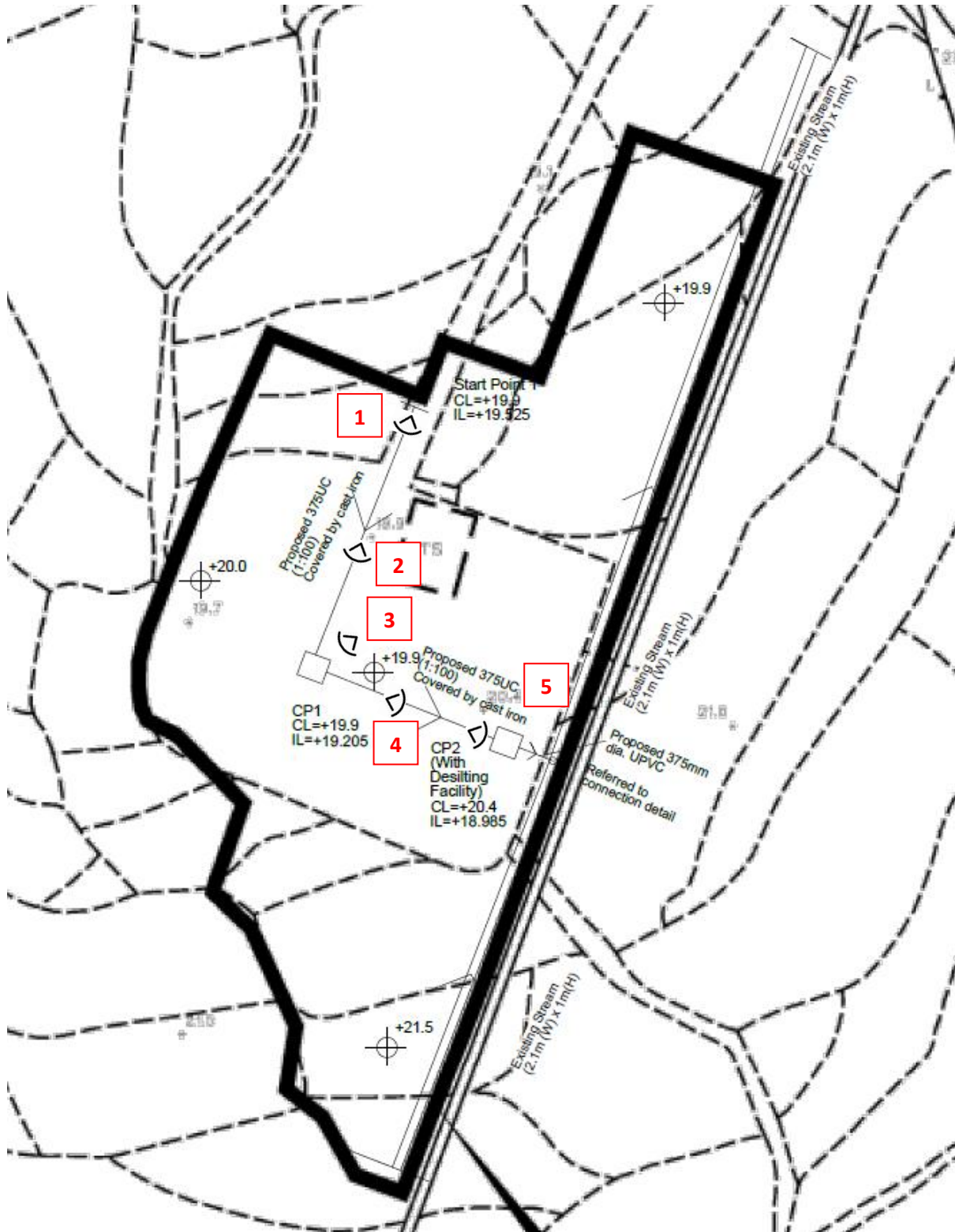


Fig. 1 - Drainage proposal accepted under previous application No. A/YL-SK/261





**Viewpoint 1**



**Viewpoint 2**





**Viewpoint 3**



**Viewpoint 4**





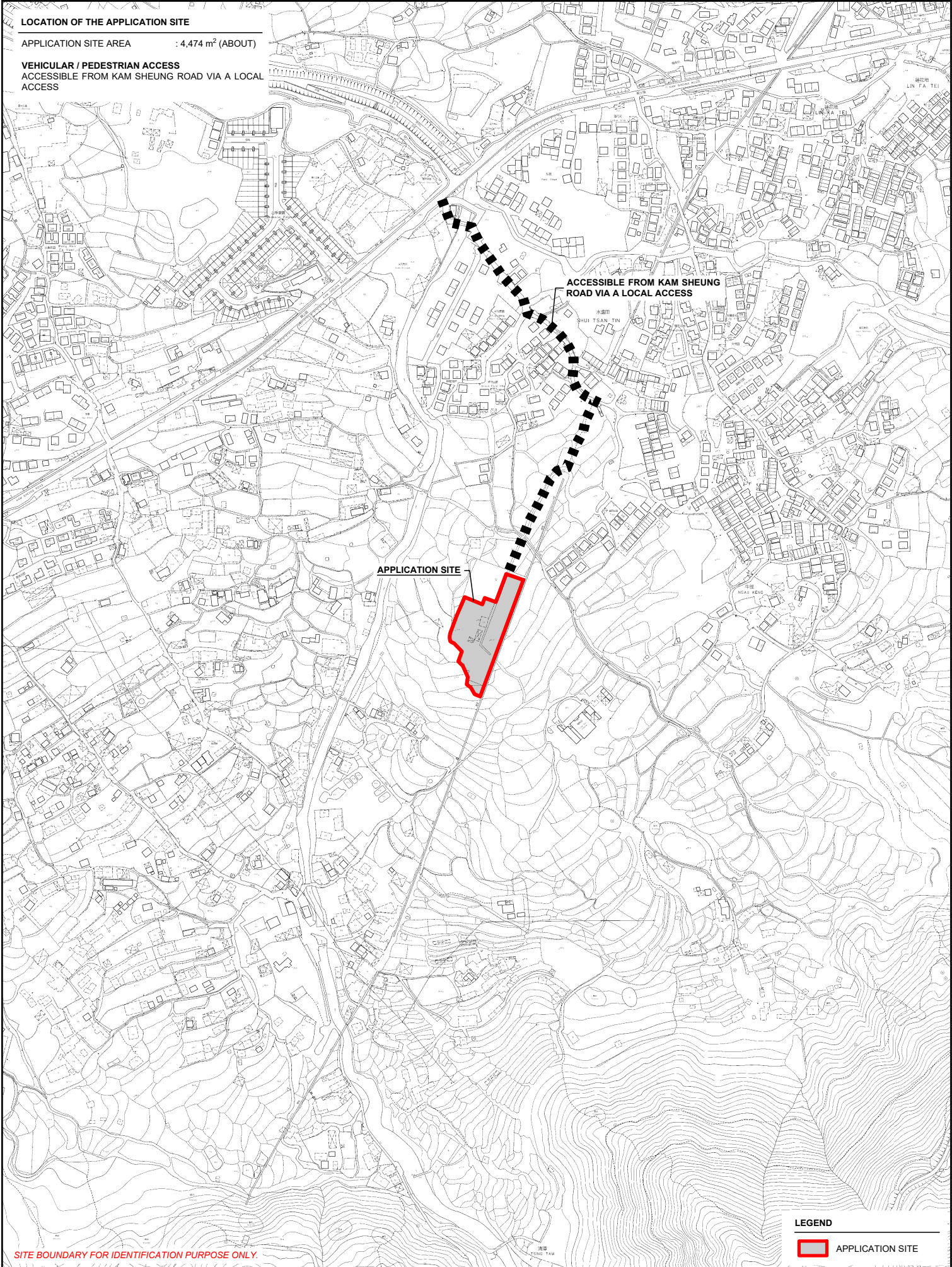
**Viewpoint 5**



LOCATION OF THE APPLICATION SITE



APPLICATION SITE AREA : 4,474 m<sup>2</sup> (ABOUT)

VEHICULAR / PEDESTRIAN ACCESS  
ACCESSIBLE FROM KAM SHEUNG ROAD VIA A LOCAL  
ACCESS



LEGEND

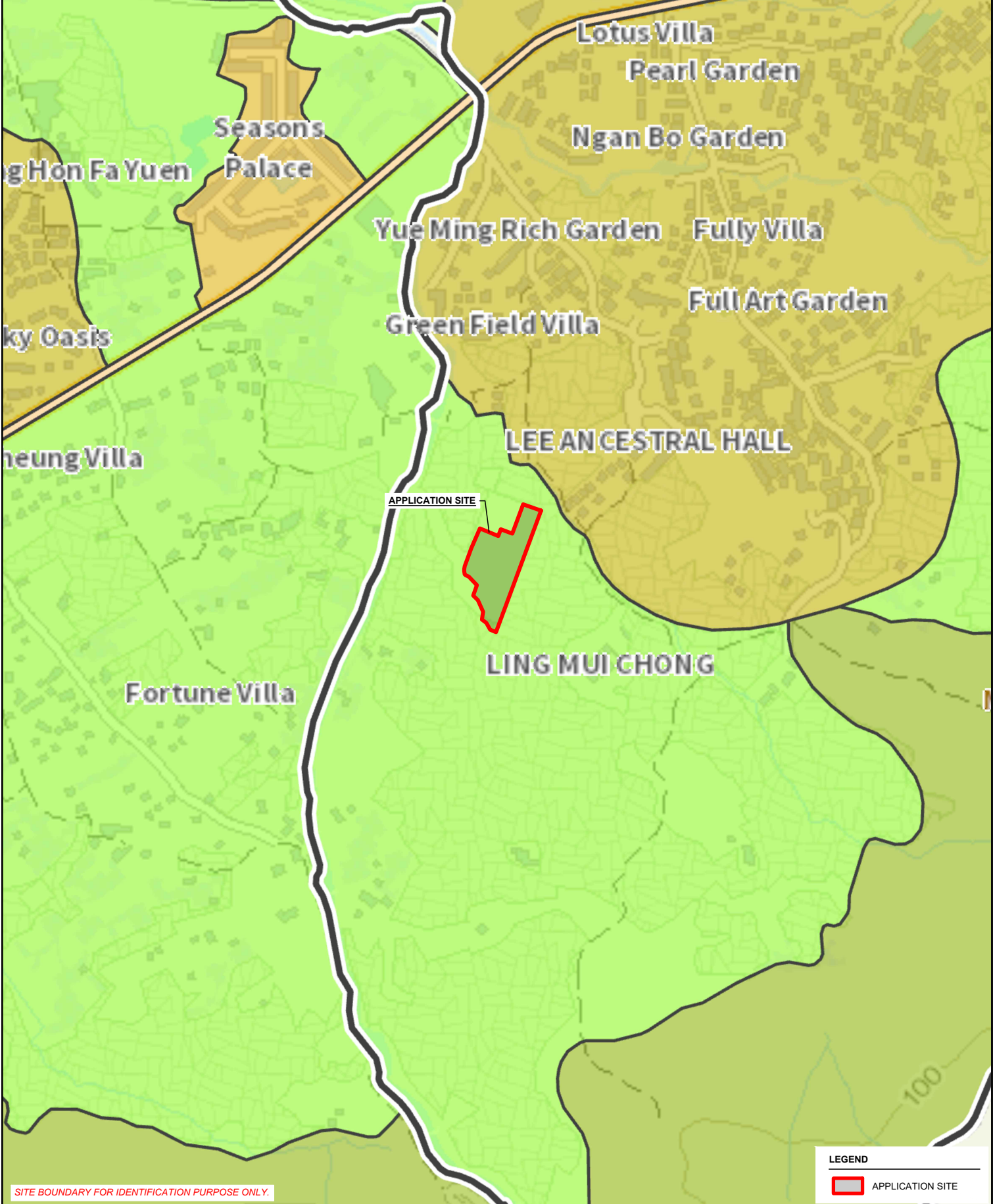
 APPLICATION SITE

PLANNING CONSULTANT  	PROJECT TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS	ADDRESS VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES	SCALE 1 : 5000 @ A4		TITLE LOCATION PLAN		
			DRAWN BY MN	DATE 17.4.2025	DWG NO. PLAN 1	VER. 001	
			REVISED BY	DATE			



ZONING OF THE APPLICATION SITE



APPLICATION SITE AREA : 4,474 m<sup>2</sup> (ABOUT)  
OUTLINE ZONING PLAN : APPROVED SHEK KONG OZP  
PLAN NO. : S/YL-SK/9  
ZONING OF THE SITE : "AGRICULTURE" ("AGR")



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

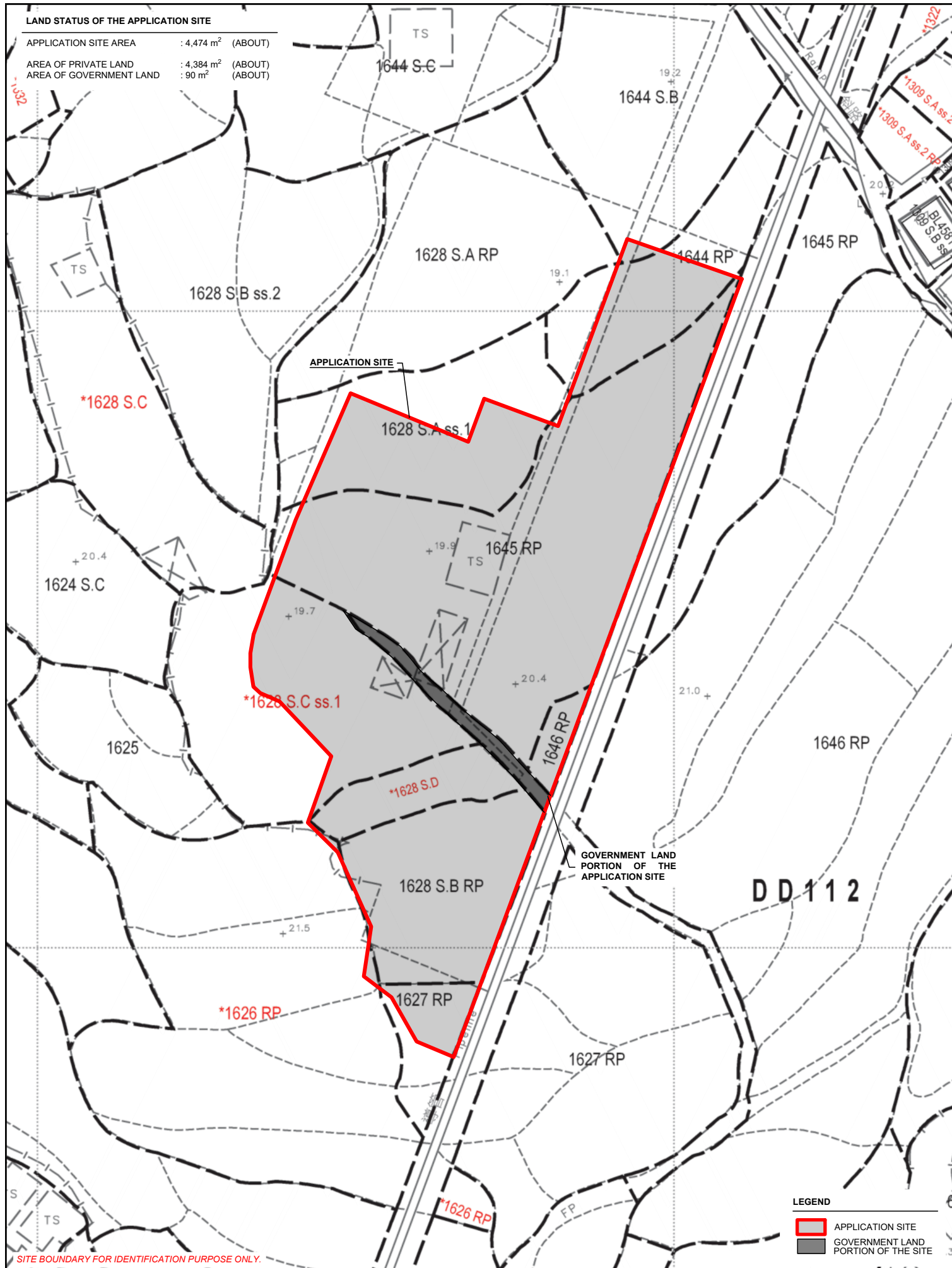
LEGEND

APPLICATION SITE

<div>PLANNING CONSULTANT</div> <div></div>	<div>PROJECT</div> <div>TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS</div>	<div>ADDRESS</div> <div>VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES</div>	<div>SCALE</div> <div>1 : 5000 @ A4</div>		<div>TITLE</div> <div>ZONING PLAN</div>		<div></div>	
			<div>DRAWN BY</div> <div>MN</div>	<div>DATE</div> <div>17.4.2025</div>	<div>DWG NO.</div> <div>PLAN 2</div>			<div>VER.</div> <div>001</div>
			<div>REVISED BY</div> <div></div>		<div>DATE</div> <div></div>			

LAND STATUS OF THE APPLICATION SITE



APPLICATION SITE AREA : 4,474 m<sup>2</sup> (ABOUT)  
 AREA OF PRIVATE LAND : 4,384 m<sup>2</sup> (ABOUT)  
 AREA OF GOVERNMENT LAND : 90 m<sup>2</sup> (ABOUT)



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

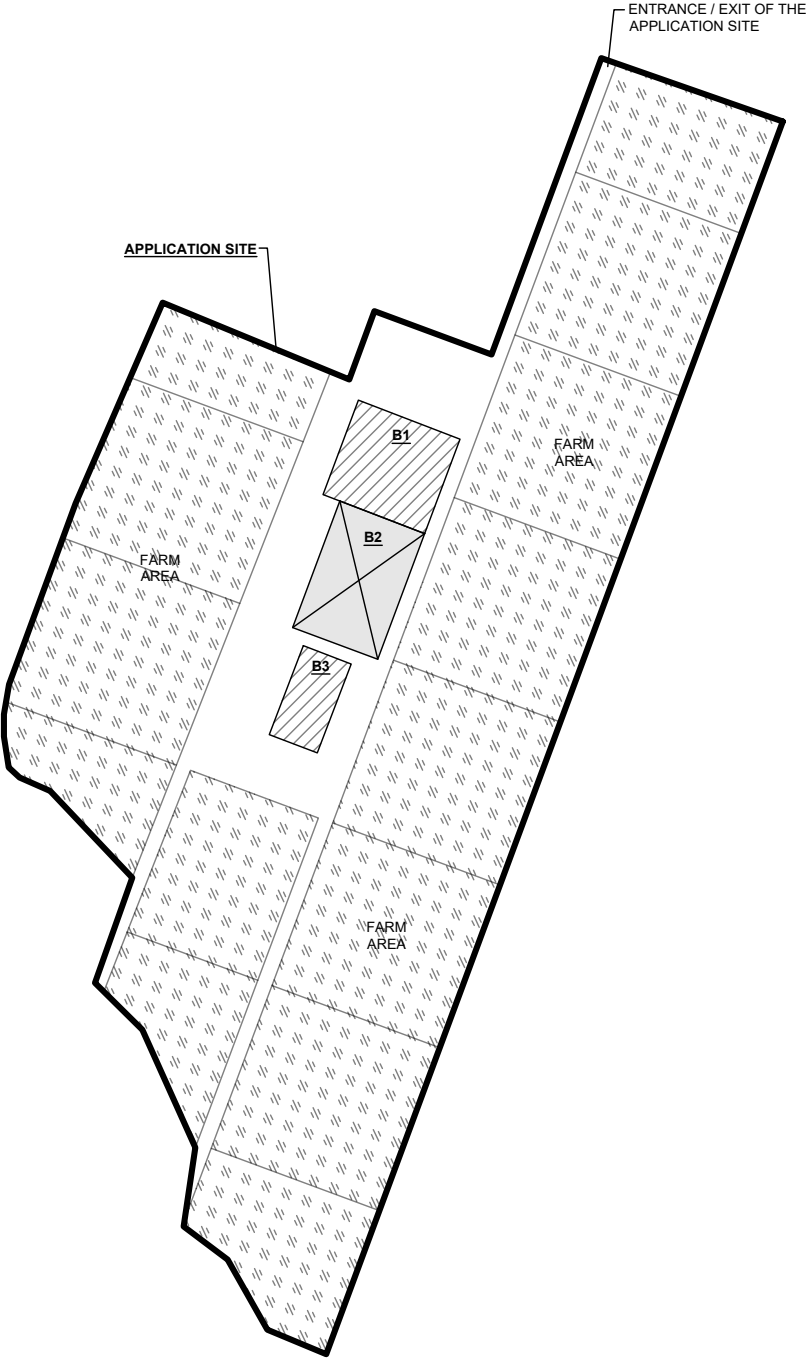
LEGEND

- APPLICATION SITE
- GOVERNMENT LAND PORTION OF THE SITE

<p>PLANNING CONSULTANT</p> 	<p>PROJECT</p> <p>TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS</p>	<p>ADDRESS</p> <p>VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES</p>	<p>SCALE</p> <p>1 : 750 @ A4</p> <p>DRAWN BY</p> <p>MN</p> <p>DATE</p> <p>17.4.2025</p> <p>REVISED BY</p> <p>DATE</p>	<p>TITLE</p> <p>LAND STATUS</p> <p>DWG NO.</p> <p>PLAN 3</p> <p>VER.</p> <p>001</p>	<p>NORTH</p> 
---	--	---	---	---	--

DEVELOPMENT PARAMETERS		
APPLICATION SITE AREA	: 4,474m <sup>2</sup>	(ABOUT)
COVERED AREA	: 273 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,201 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.06	(ABOUT)
SITE COVERAGE	: 6 %	(ABOUT)
NO. OF STRUCTURE	: 3	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 273 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 273 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3 m - 3.5 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	RAIN SHELTER RECEPTION, WASHROOM, RAIN SHELTER, WATER TANK STORAGE OF FARM TOOLS GREENHOUSE	108m <sup>2</sup> (ABOUT)	108m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B2		120m <sup>2</sup> (ABOUT)	120m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B3		45m <sup>2</sup> (ABOUT)	45m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		273m <sup>2</sup> (ABOUT)	273m <sup>2</sup> (ABOUT)	



LEGEND	
	APPLICATION SITE
	STRUCTURE
	STRUCTURE (GREENHOUSE)
	FARM AREA

NO PARKING NOR LOADING/UNLOADING SPACE IS PROVIDED AT THE APPLICATION SITE.

PLANNING CONSULTANT 	PROJECT TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS	ADDRESS VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES	SCALE 1 : 750 @ A4		TITLE LAYOUT PLAN		
			DRAWN BY MN	DATE 17.4.2025	DWG NO. PLAN 4	VER. 001	



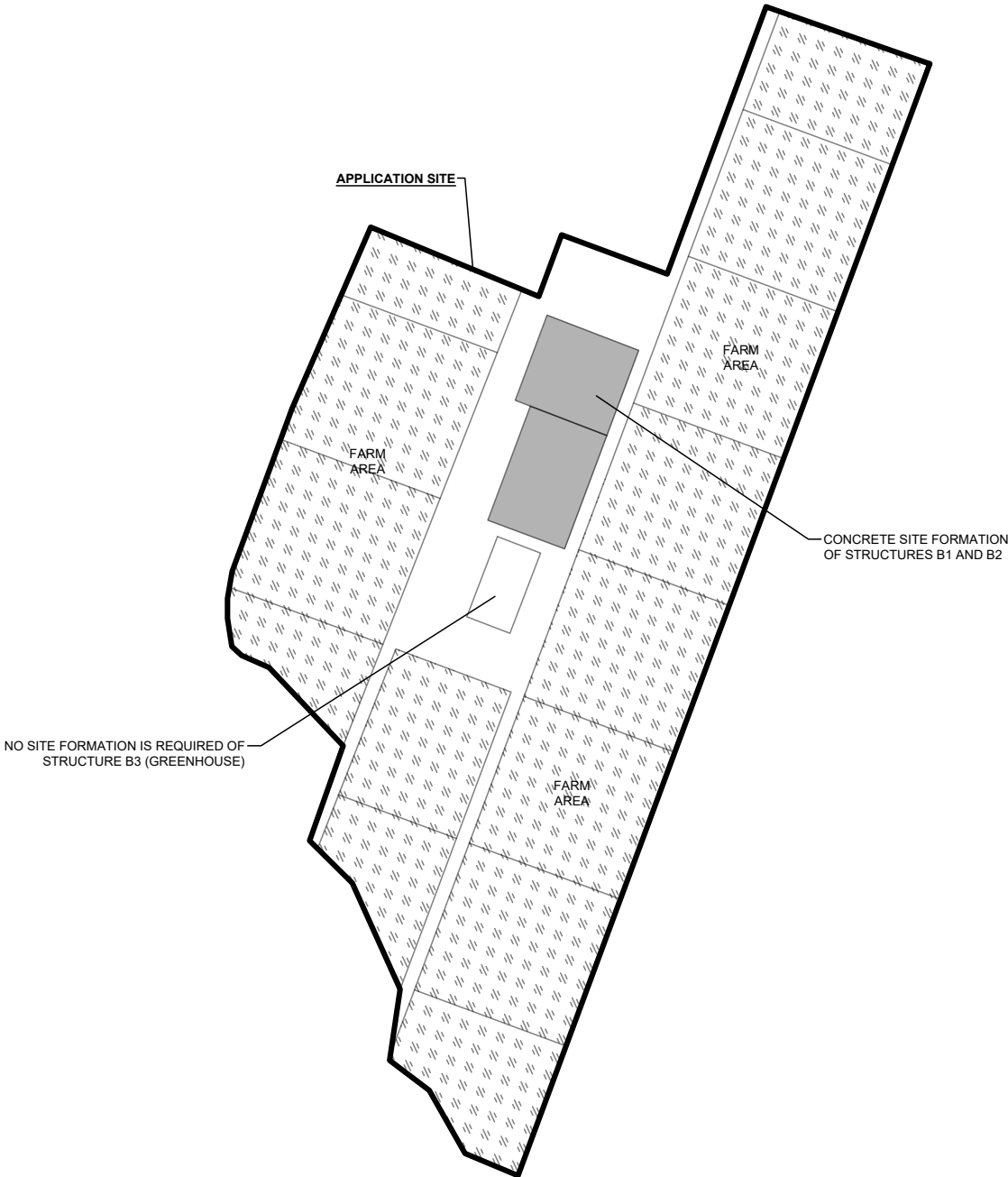
FILLING OF LAND AT THE APPLICATION SITE

APPLICATION SITE AREA	: 4,474 m <sup>2</sup> (ABOUT)
FILLING OF LAND AREA	: 228 m <sup>2</sup> (ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2m
MATERIAL OF FILLING	: CONCRETE
PURPOSE OF FILLING	: SITE FORMATION OF STRUCTURES



THE APPLICATION SITE HAS ALREADY BEEN HARD-PAVED SINCE THE APPROVAL OF THE PREVIOUS APPLICATION NO. A/YL-SK/261. NO FURTHER FILLING OF LAND WILL BE CARRIED OUT AT THE SITE DURING THE PLANNING APPROVAL PERIOD.

REMAINING AREA OF THE APPLICATION SITE

FARM AREA	: 3,557 m <sup>2</sup> (ABOUT)
USE	: HOBBY FARMING AREA
SOIL SURFACE AREA	: 689 m <sup>2</sup> (ABOUT)
USE	: CIRCULATION AREA



LEGEND	
	APPLICATION SITE
	HARD PAVED AREA
	SOIL SURFACE AREA
	FARM AREA

<div>PLANNING CONSULTANT</div> <div></div>	<div>PROJECT</div> <div>TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS</div>	<div>ADDRESS</div> <div>VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES</div>	<div>SCALE</div> <div>1 : 750 @ A4</div>		<div>TITLE</div> <div>FILLING OF LAND</div>		<div>NORTH</div> <div></div>
			<div>DRAWN BY</div> <div>MN</div>	<div>DATE</div> <div>17.4.2025</div>			
			<div>REVISED BY</div>	<div>DATE</div>	<div>DWG NO.</div> <div>PLAN 5</div>	<div>VER.</div> <div>001</div>	



Our Ref. : DD112 Lot 1626 RP & VL  
Your Ref. : TPB/A/YL-SK/423

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

17 July 2025

Dear Sir,

**Supplementary Information**

**Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities  
and Associated Filling of Land for a Period of 5 Years in "Agriculture" Zone,  
Various Lots in D.D.112 and Adjoining Government Land, Shek Kong, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-SK/423)**

We are writing to submit supplementary information for the subject application, details are as follows:

- (i) Replacement pages of supplementary statement and appendices are provided (**Annex I**).

Should you require more information regarding the application, please contact our Mr. [REDACTED] or the undersigned at your convenience.  
Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

## LIST OF APPENDICES

<b>Appendix I</b>	Accepted drainage proposal under previous application No. A/YL-SK/261
<b>Appendix II</b>	Accepted FSIs proposal under previous application No. A/YL-SK/261
<b>Appendix III</b>	Photographic Record of the Existing Drainage Facilities within the Site

## LIST OF PLANS

<b>Plan 1</b>	Location plan
<b>Plan 2</b>	Plan showing the zoning of the Site
<b>Plan 3</b>	Plan showing the land status of the Site
<b>Plan 4</b>	Layout plan
<b>Plan 5</b>	Plan showing the filling of land at the Site

## **Appendix I**

Accepted Drainage Proposal under Previous Application No. A/YL-SK/261

## **Appendix II**

Accepted FSIs Proposal under Previous Application No. A/YL-SK/261

Our Ref. : DD112 Lot 1626 RP & VL  
Your Ref. : TPB/A/YL-SK/423

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

26 August 2025

Dear Sir,

**1<sup>st</sup> Further Information**

**Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities  
and Associated Filling of Land for a Period of 5 Years in “Agriculture” Zone,  
Various Lots in D.D.112 and Adjoining Government Land, Shek Kong, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-SK/423)**

We are writing to submit further information to address departmental comments on the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. [REDACTED])  
(Attn.: Ms. [REDACTED])

[REDACTED]



## Responses-to-Comments

**Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities  
and Associated Filling of Land for a Period of 5 Years in “Agriculture” Zone,  
Various Lots in D.D.112 and Adjoining Government Land, Shek Kong, Yuen Long, New Territories**

**(Application No. A/YL-SK/423)**

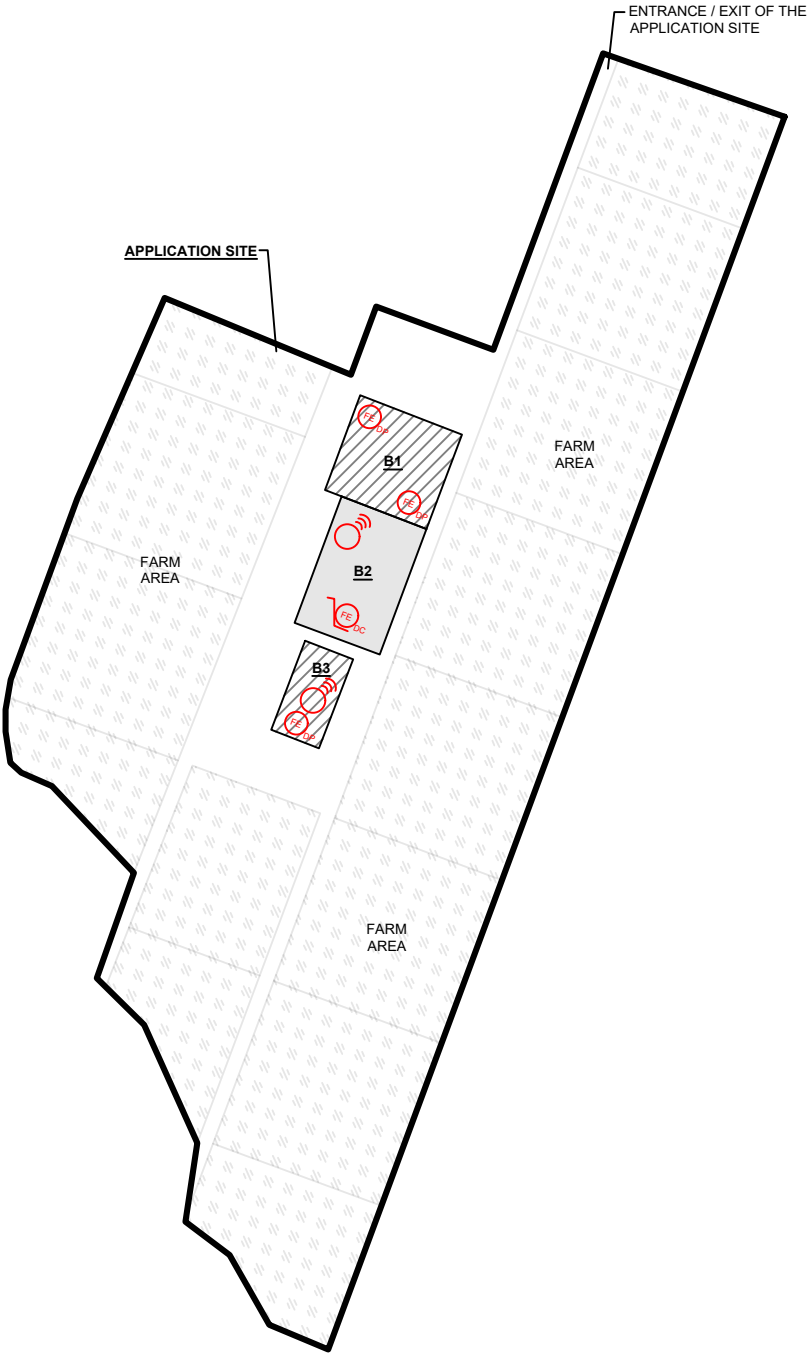
- (i) Septic tank will be provided near structure B2 for sewage treatment at the application site.
- (ii) A RtoC Table:

Departmental Comments		Applicant's Responses
<b>1. Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) (Contact Person: Mr. Y.C. WONG; Tel: 2443 3474 )</b>		
(a)	<p><u>Unauthorised structure(s) within the said private lot(s) covered by the planning application</u></p> <p>LandsD has reservation on the planning application since there is/are unauthorized structure(s) and uses on Lot No. 1645 RP in D.D. 112 which is/are already subject to lease enforcement actions according to case priority. The lot owner(s) should rectify/apply for regularization on the lease breaches as demanded by LandsD.</p> <p>If the planning application is approved, the lot owner(s) shall apply to this office for a Short Term Waiver (STW) and/or Short Term Tenancy (STT) to permit the structure(s) erected within the said private lot(s) and the occupation of the Government land. The application(s) for STW and/or STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and/or STT holder(s), if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.</p>	<p>The applicant has applied the Short Term Waiver (STW) and Short Term Tenancy applications to rectify the applied use erected on the concern lot in November 2019. The applicant will submit modifications of the STW and STT conditions after planning permission has been granted by the Board. No structure is proposed for domestic use.</p>




<b>2. Comments of the Director of Fire Services (D of FS)</b> <b>(Contact Person: Mr. CHEUNG Wing Hei; Tel: 2733 7737)</b>		
(a)	For enclosed structure with gross floor area not exceeding 230m <sup>2</sup> and the vehicular access road is not available within 30m from the site, only fire extinguisher and Stand-alone Fire Detector shall be provided;	Noted and revised accordingly. Please refer to the revised fire service installations proposal ( <b>Annex I</b> ).
(b)	In relation to i. above, where two or more Stand-alone Fire Detectors are installed in an enclosed structure, all Stand-alone Fire Detectors shall be interconnected (either wired or wirelessly) such that when one of the Stand-alone Fire Detector is triggered, all connected Stand-alone Fire Detectors shall sound an alarm simultaneously;	
(c)	The Stand-alone Fire Detector shall be provided in accordance with the "Stand-alone Fire Detector General Guidelines on Purchase, Installation & Maintenance [Sep 2021]";	
(d)	As the vehicular access is not available within 30m from the application site, an additional wheeled type dry chemical fire extinguisher shall be provided; and	
(e)	Emergency lighting, directional and exit signs are considered as self-upgrade and not a mandatory requirement by this Department.	

DEVELOPMENT PARAMETERS		
APPLICATION SITE AREA	: 4,474m <sup>2</sup>	(ABOUT)
COVERED AREA	: 273 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,201 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.06	(ABOUT)
SITE COVERAGE	: 6 %	(ABOUT)
NO. OF STRUCTURE	: 3	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 273 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 273 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3 m - 3.5 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	RAIN SHELTER RECEPTION, WASHROOM, RAIN SHELTER, WATER TANK STORAGE OF FARM TOOLS GREENHOUSE	108m <sup>2</sup> (ABOUT)	108m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B2		120m <sup>2</sup> (ABOUT)	120m <sup>2</sup> (ABOUT)	3.5m (ABOUT)(1-STOREY)
B3		45m <sup>2</sup> (ABOUT)	45m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		273m <sup>2</sup> (ABOUT)	273m <sup>2</sup> (ABOUT)	







**FIRE SERVICE INSTALLATIONS**

-  STAND-ALONE FIRE DETECTOR
-  4 KG DRY POWDER TYPE FIRE EXTINGUISHER
-  10 KG WHEELED TYPE DRY CHEMICAL FIRE EXTINGUISHER



**FS NOTES:**

- 1) SUFFICIENT STAND-ALONE FIRE DETECTOR SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH "STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE [SEP 2021]".
- 2) IN RELATION TO 1) ABOVE, WHERE TWO OR MORE STAND-ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL STAND-ALONE DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE STAND-ALONE FIRE DETECTOR IS TRIGGERED, ALL CONNECTED STAND-ALONE FIRE DETECTORS SHALL SOUND AN ALARM SIMULTANEOUSLY.
- 3) PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- 4) ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

**LEGEND**

-  APPLICATION SITE
-  STRUCTURE
-  STRUCTURE (GREENHOUSE)
-  FARM AREA

NO PARKING NOR LOADING/UNLOADING SPACE IS PROVIDED AT THE APPLICATION SITE.

PLANNING CONSULTANT 	PROJECT TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS	ADDRESS VARIOUS LOTS IN D.D. 112 AND ADJOINING GOVERNMENT LAND, SHEK KONG, YUEN LONG, NEW TERRITORIES	SCALE 1 : 750 @ A4		TITLE FSis PROPOSAL		
			DRAWN BY MN	DATE 22.4.2025	DWG NO. ANNEX I	VER. 001	
			REVISED BY LT	DATE 26.8.2025			

**Previous s.16 Applications covering the Application Site**

Approved Applications

<b>No.</b>	<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (RNTPC)</b>
1.	A/YL-SK/229	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years	10.11.2017 (Revoked on 10.2.2019)
2.	A/YL-SK/261	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 5 Years and Filling of Land	4.10.2019

**Similar Application within the same “Agriculture” Zone in the Vicinity of the Site in the Past Five Years**

**Approved Application**

<b>No.</b>	<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (RNTPC)</b>
1.	A/YL-SK/313	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years	10.9.2021



**Government Departments' General Comments**

**1. Traffic**

Comments of the Commissioner for Transport:

- no adverse comment on the application from traffic engineering perspective; and
- advisory comments are at **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view;
- the Site involves Government Land which is not under HyD's maintenance purview; and
- advisory comments are at **Appendix IV**.

**2. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no in-principle objection to the application from public drainage point of view;
- the record provided by the applicant showing the existing drainage facilities was found satisfactory by his office; and
- advisory comments are at **Appendix IV**.

**3. Environment**

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- the applied use would not generate traffic of heavy vehicles and not involve dusty operation. According to desktop review, there are residential structures in the vicinity of the Site;
- there was no environmental complaint received against the Site in the past three years; and
- advisory comments are at **Appendix IV**.

**4. Fire Safety**

Comments of the Director of Fire Services:

- no in-principle objection to the application subject to fire service installations being provided to his satisfaction; and

- advisory comments are at **Appendix IV**.

## 5. **Water Supply**

Comments of the Chief Engineer/Construction, Water Supplies Department:

- no objection to the application;
- part of the Site falls within the water works reserve of the Dongjiang Water Main; and
- advisory comments are at **Appendix IV**.

## 6. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective;
- based on the aerial photo, the Site is located in a rural inland plains landscape character comprising vacant lands, village houses, temporary structures and scattered tree groups. The applied use is not incompatible with the surrounding landscape setting of the area;
- based on the site photos, the Site is partly hard paved with some temporary structures and farming is in operation. No significant landscape resources is observed within the Site. Significant adverse landscape impact on existing landscape resources arising from the proposed development is not anticipated; and
- advisory comments are at **Appendix IV**.

## 7. **Agriculture and Nature Conservation**

Comments of Director of Agriculture, Fisheries and Conservation:

- no strong view against the application from agricultural perspective on the understanding that agricultural activities are involved in the applied use;
- the Site falls within the “Agriculture” zone with part of the Site under active cultivation and abandoned land with potential for agricultural rehabilitation; and
- no comment from nature conservation perspective.

## 8. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application;
- there is no record of approval granted by the Building Authority for the existing structures at the Site; and

- advisory comments are at **Appendix IV**.

**9. District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no particular comment on the application and no comment received from the locals upon close of consultation.

**10. Other Departments**

The following government departments have no objection to/no comment on the application and their advisory comments, if any, are at **Appendix IV**:

- Project Manager (West), Civil Engineering and Development Department;
- Chief Engineer/Railway Development 1-1, HyD;
- Director of Electrical and Mechanical Services; and
- Commissioner of Police.

**Recommended Advisory Clauses**

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorised development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (c) to resolve any land issues relating to the applied use with the concerned owner(s) of the Site;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that the lot owner(s) shall apply to his office for a Short Term Waiver (STW) and/or Short Term Tenancy (STT) to permit the structure(s) erected within the said private lot(s) and the occupation of the Government Land. The application(s) for STW and/or STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and/or STT, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
  - (i) the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
  - (ii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period; and
  - (iii) the applicant shall request all visitors and staff to use public transport and walk to the Site as the Site does not have vehicular access;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
  - (i) HyD shall not be responsible for the maintenance of proposed access connecting the Site and Kam Sheung Road, including the local track; and
  - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that:
  - (i) the applicant shall be reminded to maintain all the drainage facilities in good condition and ensure that the applied use would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent

areas etc.; and

- (ii) the applicant shall be required to rectify the drainage system at their own expenses to the satisfaction of government parties concerned if they are found inadequate or ineffective during operation;
- (h) to note the comments of the Director of Environmental Protection that:
- (i) the applicant shall ensure that no public announcement system, portable loudspeaker, or audio amplification system will be used at the Site at any time during the planning approval period;
  - (ii) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
  - (iii) the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECCPN 1/23 'Drainage Plans subject to comment by the Environmental Protection Department' including completion of percolation test and certification by Authorized Person;
  - (iv) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the applied use; and
  - (v) the applicant shall meet the statutory requirements under relevant environmental legislation;
- (i) to note the comments of the Director of Fire Services that:
- (i) the detailed comments on the fire service installations proposal previously provided to the applicant shall be taken into account in the revised fire service installations proposal; and
  - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Engineer/Construction, Water Supplies Department (WSD) that;
- (i) the existing water works reserve (WWR) of Dongjiang Water Main will be affected (**Plan A-2** of the **RNTPC Paper**). A WWR within five meters from the centreline of the Dongjiang Water Main shall be provided to WSD. No structure shall be erected over the WWR and such area shall not be used for storage or car-parking purpose;
  - (ii) the Water Authority and his officer and contractors, his or their workmen shall have free access at all times to the said area with necessary plant and vehicles for the purpose of construction, inspection, operation, maintenance and repair works. All other services across, through or under the WWR are required to seek authorisation from the Water Authority;

- (iii) no trees or shrubs with penetrating roots may be planted within the WWR or in the vicinity of the water main;
  - (iv) no vehicle shall cross or run on the existing raw water main; and
  - (v) the Government shall not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site;
- (k) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department that approval of the application does not imply approval of tree works, if any, such as pruning, transplanting and felling. The applicant shall seek comments and approval of any proposed tree works from the relevant department prior to the commencement of the works; and
- (l) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
- (i) it is noted that three structures and associated filling of land are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
  - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
  - (iv) if the existing structures are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any applied use under the application;
  - (v) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
  - (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
  - (vii) detailed checking under the BO will be carried out at building plan submission stage.