

2025年 8月 1 3日

此文件在 收到・城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 2025-08-13  
The Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501725 1/8 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/7C-NTM/985
	Date Received 收到日期	2025-08-13

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Sinotek Cross Limited 凱提有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Planning Limited 盈卓規劃有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 256 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 126 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... N/A ..... sq.m 平方米 <input type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ngau Tam Mei OZP No.: S/YL-NTM/14
(e) Land use zone(s) involved 涉及的土地用途地帶	"Recreation" Zone
(f) Current use(s) 現時用途	Shop and Services  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。
- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project  
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

**(i) For Type (i) application 供第(i)類申請**

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計 .....		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約 <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
(b) Intended use/development 有意進行的用途/發展	

**(iii) For Type (iii) application 供第(iii)類申請**

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置											
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量，包括每座建築物/構築物(倘有)的長度、高度和闊度											
	<table border="1"> <thead> <tr> <th data-bbox="518 1355 805 1467">Name/type of installation 裝置名稱/種類</th> <th data-bbox="805 1355 965 1467">Number of provision 數量</th> <th data-bbox="965 1355 1476 1467">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td data-bbox="518 1467 805 1601"></td> <td data-bbox="805 1467 965 1601"></td> <td data-bbox="965 1467 1476 1601"></td> </tr> <tr> <td data-bbox="518 1601 805 1736"></td> <td data-bbox="805 1601 965 1736"></td> <td data-bbox="965 1601 1476 1736"></td> </tr> <tr> <td data-bbox="518 1736 805 1848"></td> <td data-bbox="805 1736 965 1848"></td> <td data-bbox="965 1736 1476 1848"></td> </tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)								
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)										
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)												



**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below –**  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- ☐ Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由 .....% to 至 .....
- ☐ Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由 .....m to 至 ..... m
- ☐ Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development 擬議用途/發展	<p>Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years</p> <p>(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)</p>
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**(b) Development Schedule 發展細節表**

Proposed gross floor area (GFA) 擬議總樓面面積	.....126..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	.....0.49.....	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	.....49..... %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	.....1.....	
Proposed no. of storeys of each block 每座建築物的擬議層數	.....1..... storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	.....4..... m 米	<input checked="" type="checkbox"/> About 約

☐ Domestic part 住用部分GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約

number of Units 單位數目 .....

average unit size 單位平均面積 .....sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目 .....

☒ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約☐ Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

政府、機構或社區設施

☒ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES ANCILLARY OFFICE	126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	4 m (ABOUT)(1-STOREY)
TOTAL		126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]		
.....				.....
.....		STRUCTURE	USE	COVERED AREA
.....				GROSS FLOOR AREA
.....				BUILDING HEIGHT
.....	B1	SHOP AND SERVICES ANCILLARY OFFICE	126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)
.....				4 m (ABOUT)(1-STOREY)
.....	TOTAL		126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)
.....				.....

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Circulation space and loading/unloading space .....

.....

.....

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## 7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Existing .....

.....  
.....  
.....  
.....  
.....

## 8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible from Ngau Tam Mei Road via a local access .....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>N/A</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>N/A</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td>N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> </table> <p><input checked="" type="checkbox"/></p>	Private Car Parking Spaces 私家車車位	N/A	Motorcycle Parking Spaces 電單車車位	N/A	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A	Others (Please Specify) 其他 (請列明)		_____	_____	_____	_____
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Others (Please Specify) 其他 (請列明)																		
_____	_____																	
_____	_____																	
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td>N/A</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td>N/A</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td>1</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td>N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td>N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> <tr> <td>_____</td> <td>_____</td> </tr> </table> <p><input type="checkbox"/></p>	Taxi Spaces 的士車位	N/A	Coach Spaces 旅遊巴車位	N/A	Light Goods Vehicle Spaces 輕型貨車車位	1	Medium Goods Vehicle Spaces 中型貨車車位	N/A	Heavy Goods Vehicle Spaces 重型貨車車位	N/A	Others (Please Specify) 其他 (請列明)		_____	_____	_____	_____
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Others (Please Specify) 其他 (請列明)																		
_____	_____																	
_____	_____																	

## 9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 .....m 米 <input type="checkbox"/> About 約</p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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**10. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the supplementary statement. ....



**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

R-riches Planning Limited 盈卓規劃有限公司

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

28/07/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。



**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該靈灰安置所內，總共最多可安放多少份骨灰。

<b>Gist of Application 申請摘要</b>			
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories		
Site area 地盤面積	256	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N/A	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ngau Tam Mei OZP No.: S/YL-NTM/14		
Zoning 地帶	"Recreation" Zone		
Applied use/ development 申請用途／發展	Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	126 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.49 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	1	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	4 (about)	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	49 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於



(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)  _____ _____	N/A  N/A N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)  _____ _____	1  N/A N/A 1 N/A N/A

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Plans showing location/zoning/land status at the Site; Drainage proposal; FSIs proposal and Swept path analysis.</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____ _____		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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### **Supplementary Statement**

#### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories* (the Site) for **‘Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years’** (the development) (**Plans 1 to 3**).
- 1.2 The applicant would like to continue to use the Site to operate the applied use (i.e. convenience store selling food, drinks, personal care products etc.) serving the nearby residents and coping with such demand in the area.

#### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned as “Recreation” (“REC”) on the Approved Ngau Tam Mei Outline Zoning Plan (OZP) No.: S/YL-NTM/14. According to the Notes of the OZP, the applied use is a Column 2 use within the “REC” zone, which requires planning permission from the Board (**Plan 2**).
- 2.2 Although the Site falls within the “REC” zone, as there is no known long-term programme to develop the Site for recreational use, approval of the current application on a temporary basis would not frustrate the long-term planning intention of the “REC” zone and would better utilise deserted land in the New Territories.
- 2.3 Similar applications for ‘*Shop and Services*’ use have been approved by the Board within the same “REC” zone on the same OZP; of which the latest approved application (No. A/YL-NTM/456) was approved by the Board in 2023. Therefore, approval of the current application is in line with the Board’s previous decisions and would not set an undesirable precedent within the same “REC” zone. Besides, the Site is surrounded by structures for residential use, temporary structures for warehouses and shrubland. The applied use is considered not incompatible with surrounding land uses.
- 2.4 The Site is the subject of a previous S.16 planning application submitted by the same applicant (No. A/YL-NTM/417) for ‘*proposed temporary shop and services*’ use, which was approved by the Board in 2021. Comparing with the previous application (No. A/YL-NTM/417), the site area, plot ratio (PR) and layout was amended by the applicant in order to meet the applicant’s

current business operation. The applicant has made effort to comply with approval conditions of the previous application which, details are shown at **Table 1** below:

**Table 1** - Details of Compliance with Approval Conditions of the Previous Application

Approval Conditions of Application No. A/YL-NTM/417		Date of Compliance
(c)	The submission of a drainage proposal	15.11.2021
(d)	The implementation of the drainage proposal	Not complied with
(f)	The submission of a fire service installations (FSIs) proposal	09.04.2024
(g)	The implementation of the FSIs proposal	08.08.2024

2.5 During the approval period of the previous application, the applicant has made efforts in complying with approval conditions in regard to drainage and fire safety aspects. All fire service-related conditions have been complied with by the applicant. The applicant made multiple submissions of photographic records of the implemented drainage system within the Site for compliance with condition (d) on 07.10.2022, 15.01.2024, 27.05.2024, 10.09.2024 and 20.11.2024; whilst all submissions were considered not acceptable by the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on 10.01.2024, 13.05.2024, 09.07.2024, 09.10.2024 and 20.12.2024. The applicant did not have sufficient time to rectify the drainage system within the Site according to the comments from CE/MN, DSD within the planning approval period, which led to the revocation of the application on 17.03.2025.

2.6 The applicant wishes to continue to implement the rectification work of the drainage system within the Site during the planning approval period of the current application. In support of the application, the applicant has submitted a drainage proposal and the accepted FSIs proposal under the previous application to minimise potential impact(s) to the surrounding areas (**Appendices I and II**).

### 3) Development Proposal

3.1 The site occupies an area of 256 m<sup>2</sup> (about) (**Plan 3**). One structure is provided at the Site for shop and services and ancillary office uses with total GFA of 126 m<sup>2</sup> (about) (**Plan 4**). No domestic structure is proposed at the Site. Ancillary facilities (i.e. Office) is intended to provide indoor workspaces for administrative staff to support the daily operation of the Site. The operation hours of the Site are Mondays to Sundays from 09:00 to 19:00 daily, including

public holidays. The number of staff working at the Site is 2. It is anticipated that the Site would be able to attract about 10 visitors per day. Details of development parameters are shown at **Table 2** below:

**Table 2 - Major Development Parameters**

<b>Application Site Area</b>	256 m <sup>2</sup> (about)
<b>Covered Area</b>	126 m <sup>2</sup> (about)
<b>Uncovered Area</b>	130 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.49 (about)
<b>Site Coverage</b>	49 % (about)
<b>Number of Structure</b>	1
<b>Total GFA</b>	126 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	126 m <sup>2</sup> (about)
<b>Building Height</b>	4 m (about)
<b>No. of Storey</b>	1

3.2 The Site is accessible from Ngau Tam Mei Road via a local access (**Plan 1**). 1 loading/unloading (L/UL) space for light goods vehicles (LGV) is provided at the Site for transportation of goods use. As the proposed development is intended to serve nearby locals, no parking space is provided for customers. Staff will be deployed by the applicant to direct vehicles entering/exiting the Site to ensure pedestrian safety to/from the Site. Sufficient space is provided for vehicles to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 5**). Details of parking and L/UL spaces provision are shown at **Table 3** below:

**Table 3 - L/UL Provisions**

<b>Type of Space(s)</b>	<b>No. of Space(s)</b>
L/UL space for LGV - 3.5 m (W) x 7 m (L)	1

3.3 Only LGVs are allowed to enter/exit the Site at any time during the planning approval period. No medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers are allowed to enter/exit the Site. The applicant will ensure no queuing and/or waiting of motor vehicles from the Site onto Ngau Tam Mei Road and no motor vehicles will be permitted



to reverse into and out of the Site onto Ngau Tam Mei Road. The trip generation and attraction rates are as shown at **Table 4** below.

**Table 4 - Trip Generation and Attraction of the Development**

Time Period	LGV		2-Way Total
	In	Out	
Trips at <u>AM peak</u> per hour (09:00 - 10:00)	1	1	2
Trips at <u>PM peak</u> per hour (18:00 - 19:00)	1	1	2
Traffic trip per hour (10:00 - 18:00)	0	0	0

- 3.4 Relevant environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. will be strictly complied with at all times during the planning approval period. The applicant will also follow relevant mitigation measures and requirements in the latest '*Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites*' issued by the Environmental Protection Department to minimise adverse environmental impacts and nuisance to the surrounding area.

#### **4) Conclusion**

- 4.1 The development has not been creating significant nuisance to the surrounding areas. Adequate mitigation measures are provided by the applicant, i.e. the submission of drainage and FSIs proposal to mitigate any adverse impact arising from the development (**Appendices I to II**).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years**'.

**R-riches Planning Limited**

**July 2025**

## **LIST OF PLANS**

<b>Plan 1</b>	Location Plan
<b>Plan 2</b>	Plan Showing the Zoning of the Site
<b>Plan 3</b>	Plan Showing the Land Status of the Site
<b>Plan 4</b>	Layout Plan
<b>Plan 5</b>	Swept Path Analysis

## **APPENDICES**

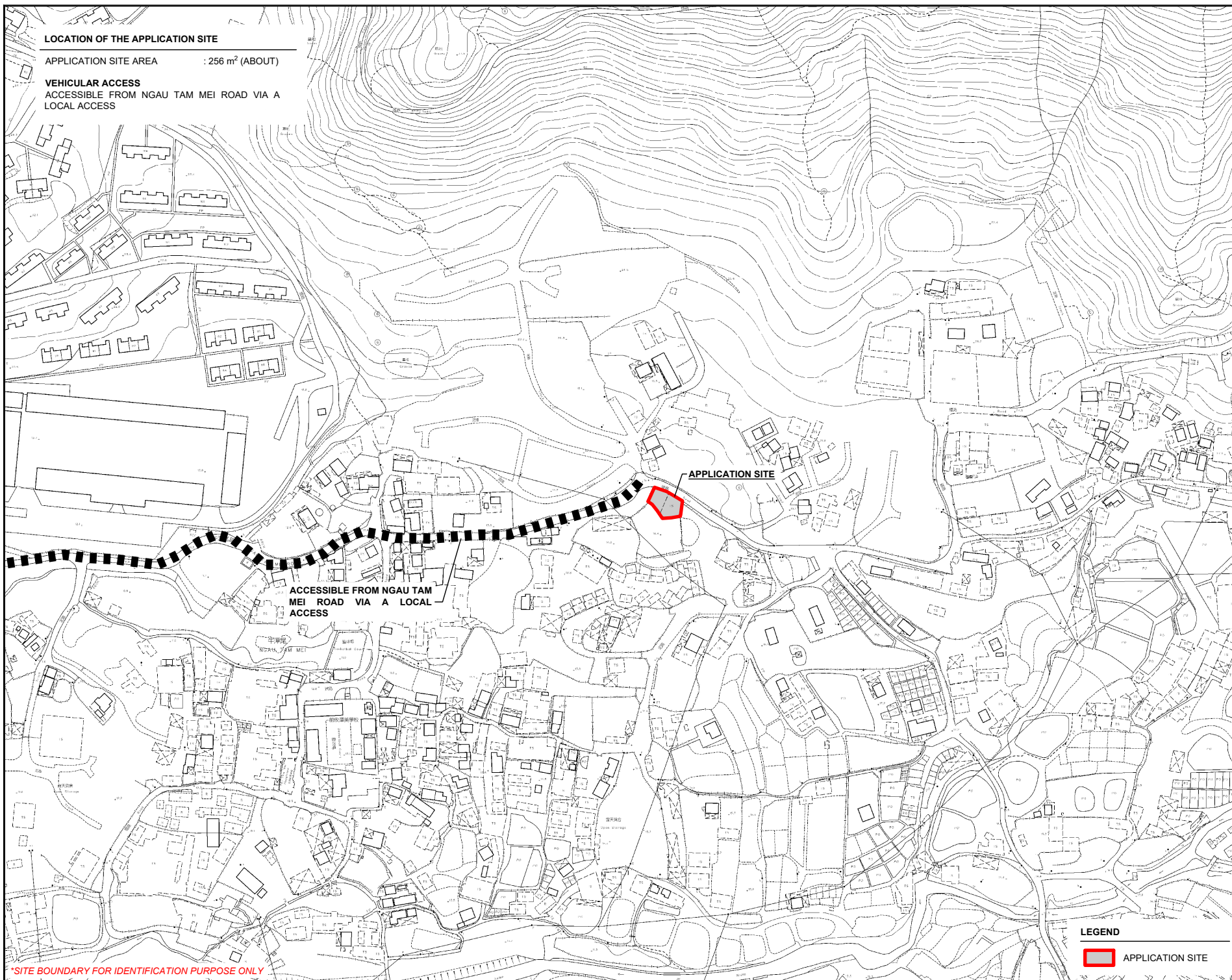
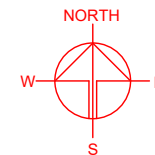
<b>Appendix I</b>	Drainage Proposal
<b>Appendix II</b>	Fire Service Installations Proposal

**LOCATION OF THE APPLICATION SITE**

APPLICATION SITE AREA : 256 m<sup>2</sup> (ABOUT)

**VEHICULAR ACCESS**

ACCESSIBLE FROM NGAU TAM MEI ROAD VIA A LOCAL ACCESS



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

**LEGEND**

 APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES

SCALE  
1 : 3000 @ A4

DRAWN BY MN	DATE 23.7.2025
----------------	-------------------

REVISED BY	DATE
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APPROVED BY	DATE
-------------	------

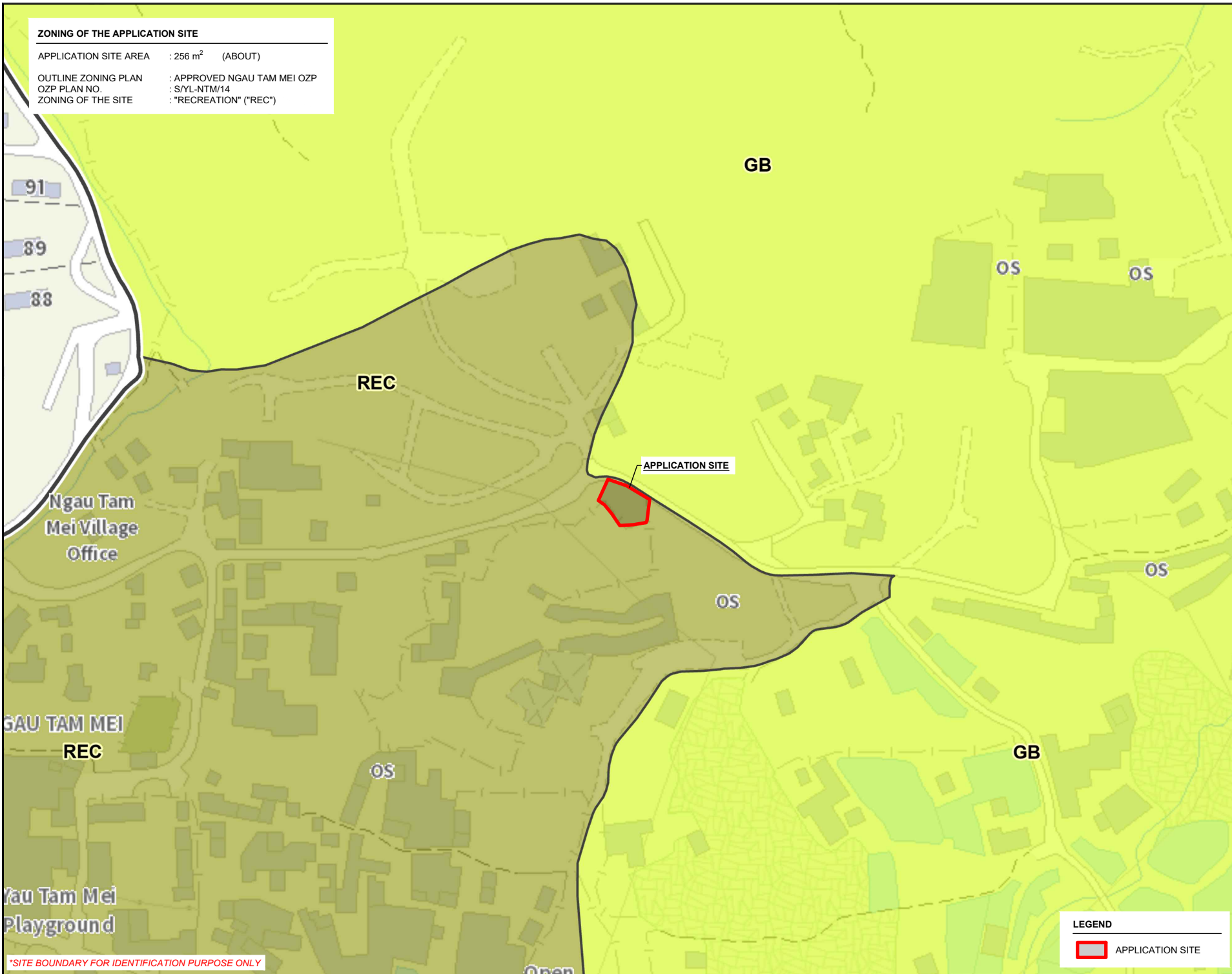
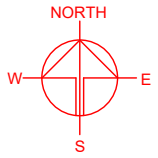
DWG. TITLE  
**LOCATION PLAN**

DWG NO. PLAN 1	VER. 001
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# ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA : 256 m<sup>2</sup> (ABOUT)  
OUTLINE ZONING PLAN : APPROVED NGAU TAM MEI OZP  
OZP PLAN NO. : S/YL-NTM/14  
ZONING OF THE SITE : "RECREATION" ("REC")



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

## LEGEND

 APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY

MN

DATE

23.7.2025

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE

ZONING OF THE SITE

DWG NO.

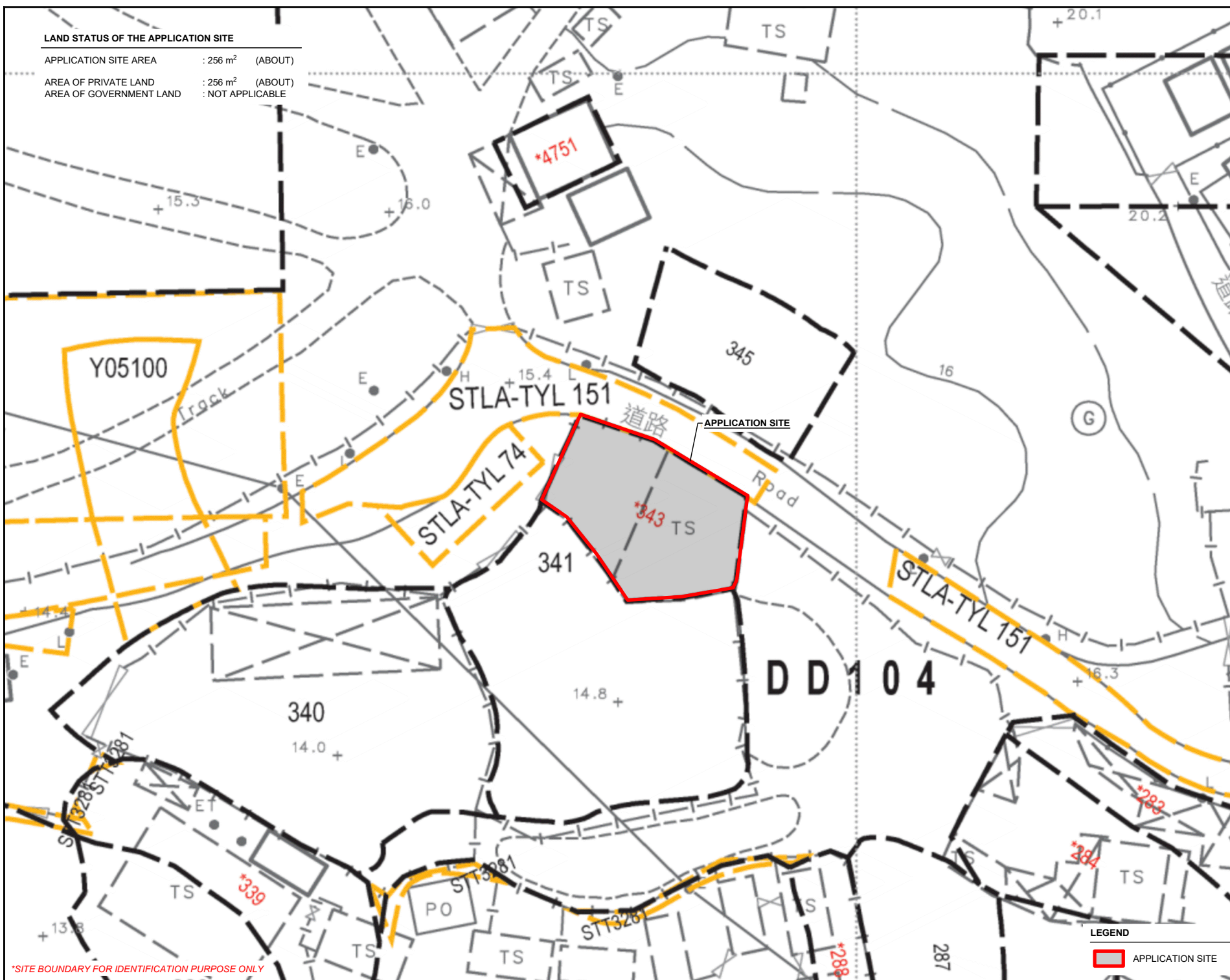
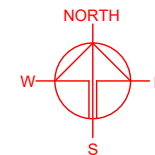
PLAN 2

VER.

001

# LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 256 m<sup>2</sup> (ABOUT)  
 AREA OF PRIVATE LAND : 256 m<sup>2</sup> (ABOUT)  
 AREA OF GOVERNMENT LAND : NOT APPLICABLE



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

## LEGEND

APPLICATION SITE

PLANNING CONSULTANT



PROJECT

TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 500 @ A4

DRAWN BY

MN

DATE

23.7.2025

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LAND STATUS OF THE SITE

DWG NO.

PLAN 3

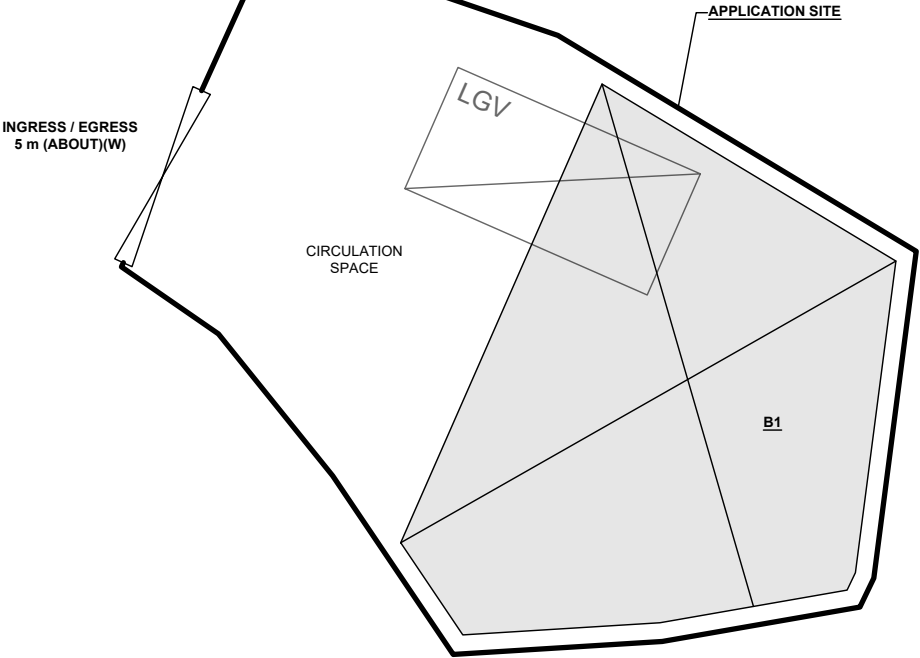
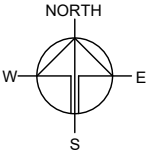
VER.

001

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 256 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 126 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 130 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.49	(ABOUT)
SITE COVERAGE	: 49 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 126 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 126 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 4 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES ANCILLARY OFFICE	126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	4 m (ABOUT)(1-STOREY)
TOTAL		126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	



LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF PARKING SPACE	: 3.5 m (W) X 7 m (L)

\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

LEGEND	
	APPLICATION SITE
	STRUCTURE
	L/UL SPACE (LGV)
	INGRESS / EGRESS

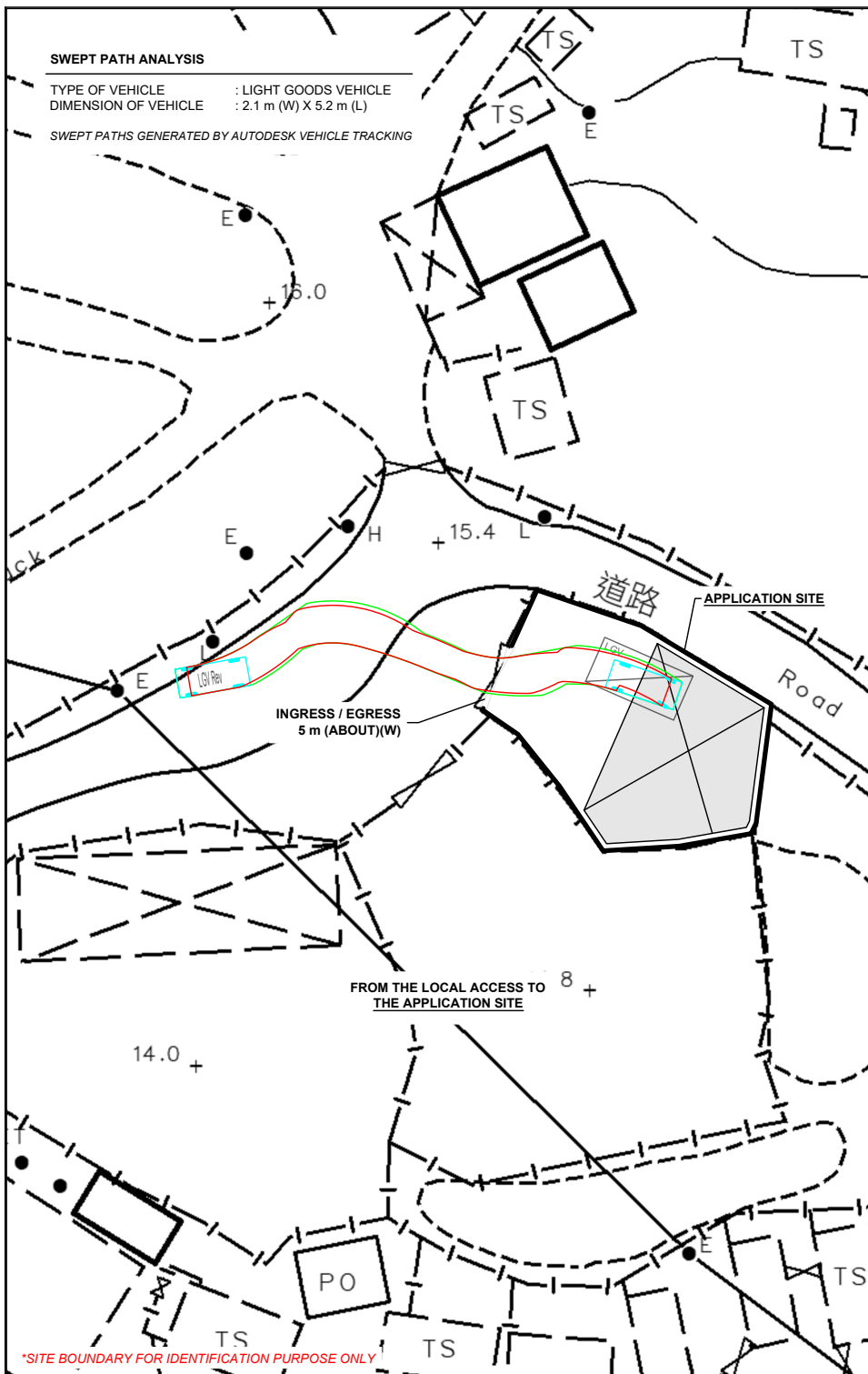
PLANNING CONSULTANT	
PROJECT	
TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS	
SITE LOCATION	
LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES	
SCALE	
1 : 200 @ A4	
DRAWN BY	DATE
MN	23.7.2025
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
LAYOUT PLAN	
DWG NO.	VER.
PLAN 4	001



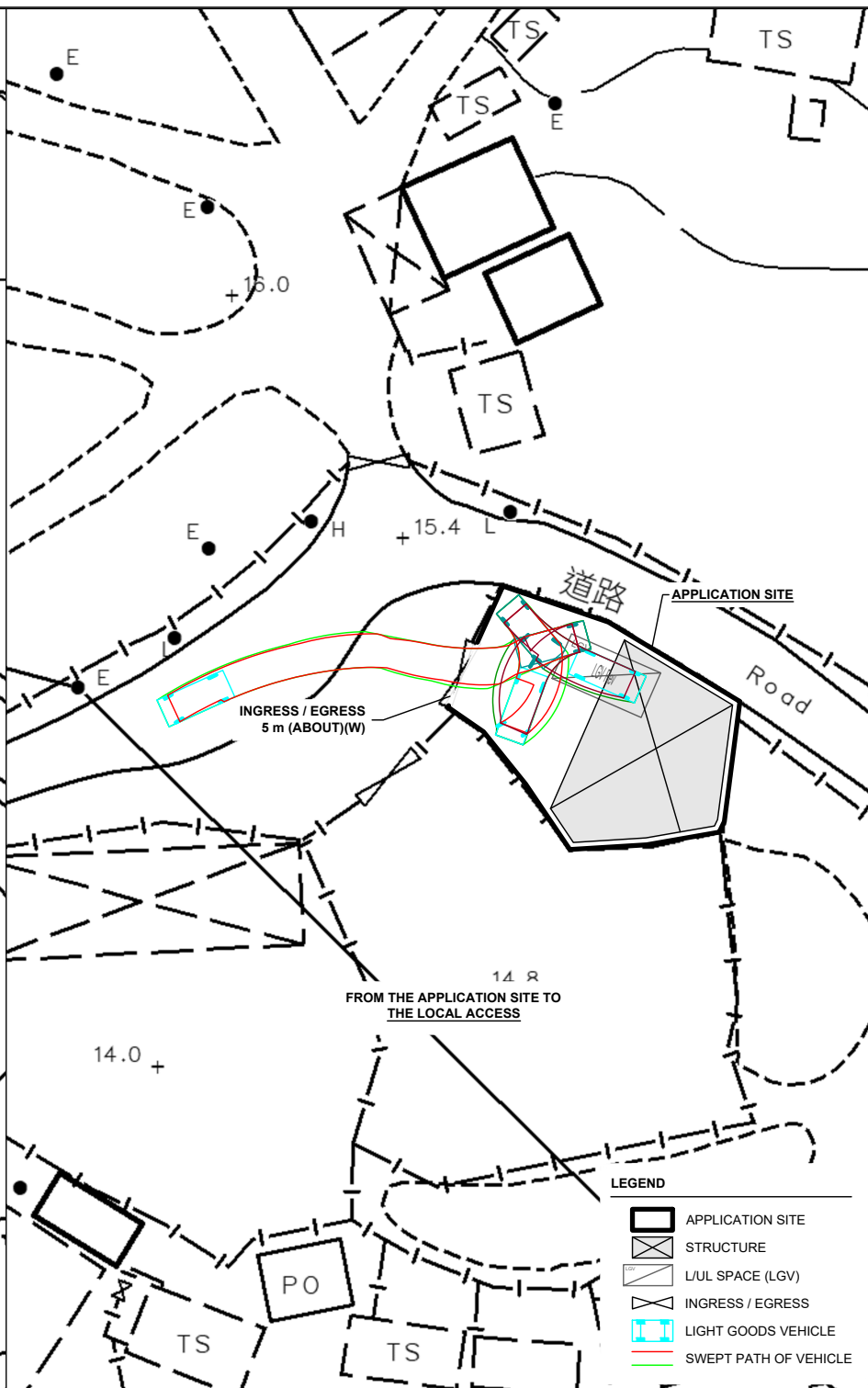
# SWEPT PATH ANALYSIS

TYPE OF VEHICLE : LIGHT GOODS VEHICLE  
 DIMENSION OF VEHICLE : 2.1 m (W) X 5.2 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING

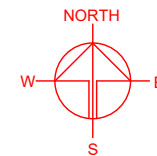


\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY



## LEGEND

- APPLICATION SITE
- STRUCTURE
- L/UL SPACE (LGV)
- INGRESS / EGRESS
- LIGHT GOODS VEHICLE
- SWEEP PATH OF VEHICLE



PLANNING CONSULTANT



PROJECT

TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 500 @ A4

DRAWN BY

MN

DATE

23.7.2025

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

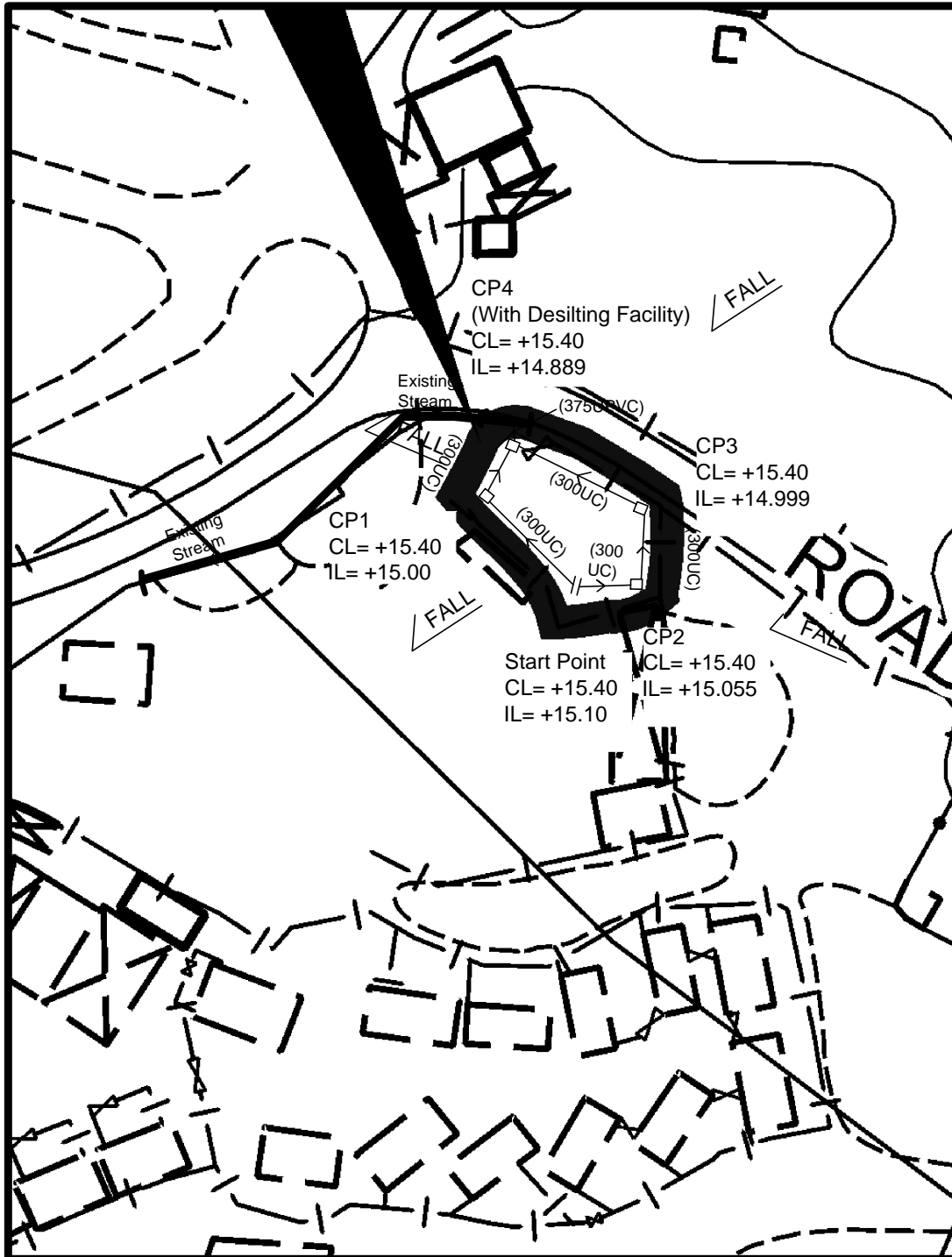
SWEPT PATH ANALYSIS

DWG NO.

PLAN 5

VER.

001



Note:

1. Proposed Catchpit (CP4) with desilting facility shall follow CEDD's standard drawing C2406.
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig 8.10 and Fig 8.11 ,respectively.
3. The inverted level of the connection point shall be verified on site prior the commencement of work.
4. No solid walls or hoardings are erected.
5. Existing / Temporary structure at adjacent lots have their own stormwater collection system

Legend:

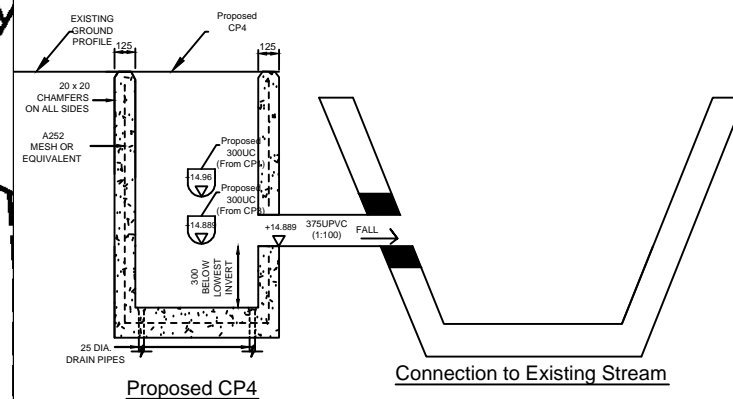
- Proposed UC/UPVC (1:100)
- Existing UC/UPVC/Drain
- Proposed Catchpit with iron cover

Company:

恆協工程有限公司  
HANDSHIP  
ENGINEERING  
CO. LTD

Project :

Proposed Temporary Shop and Services for a Period of 5 Years at Lot 343 (Part) in D.D. 104, Ngau Tam Mei, Yuen Long



Connection Detail of CP4

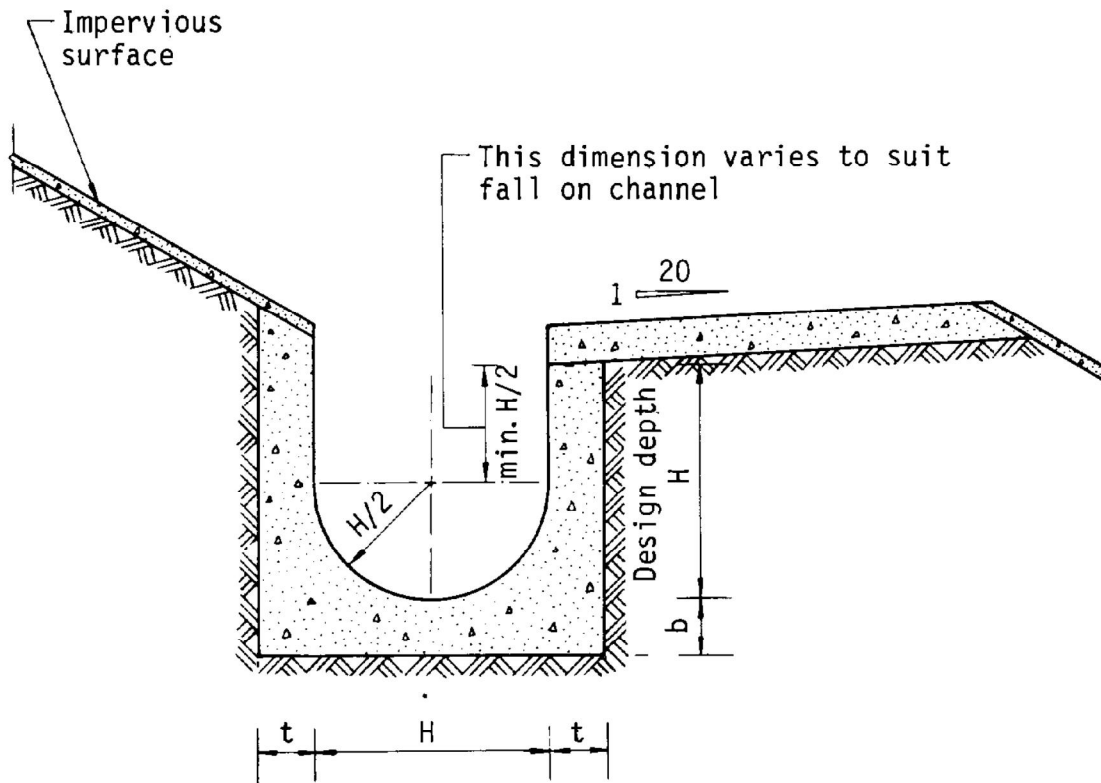
Title:

Drainage Proposal-  
Layout and Catchment  
Area

Date:

11th Nov  
2021

Dwg No.



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

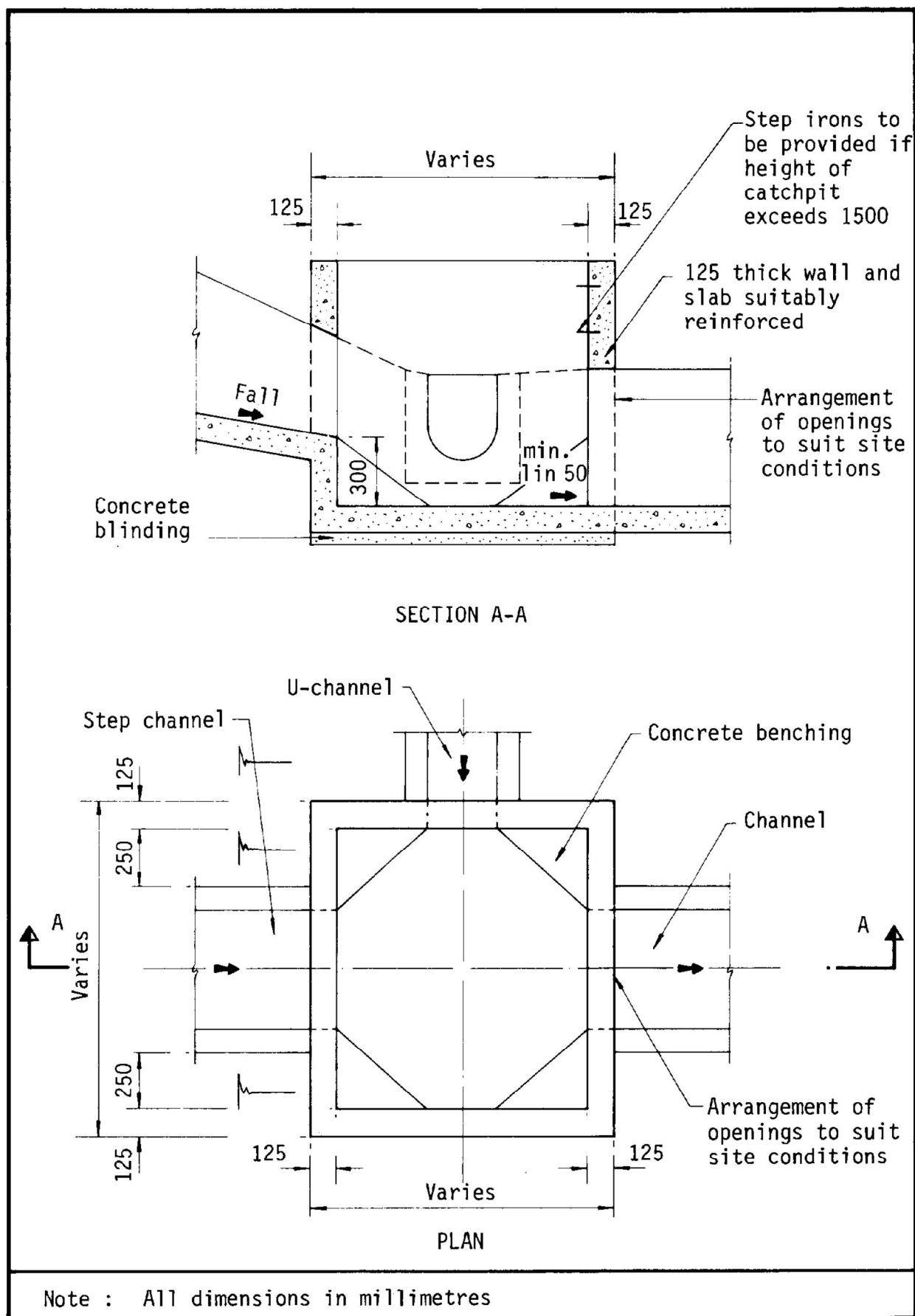
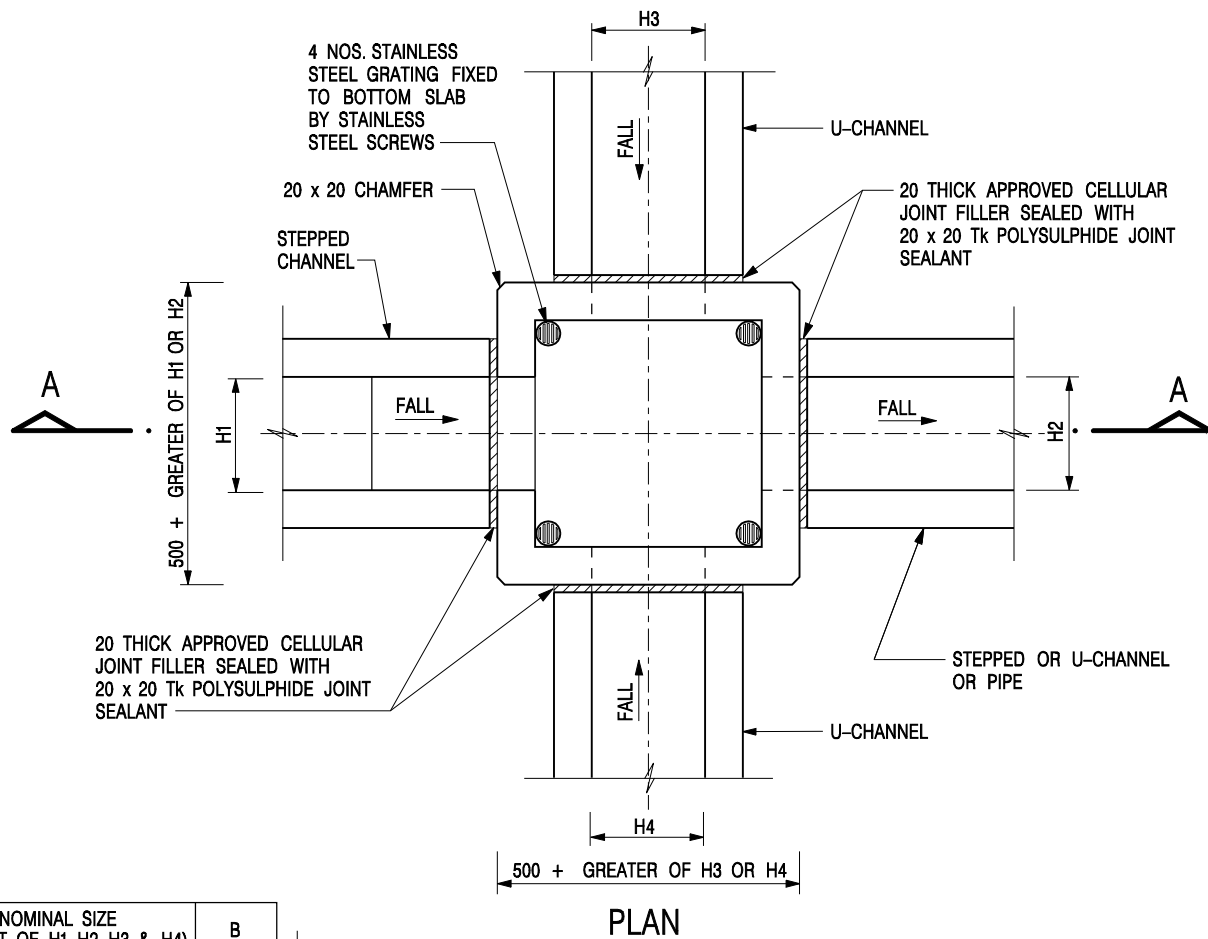
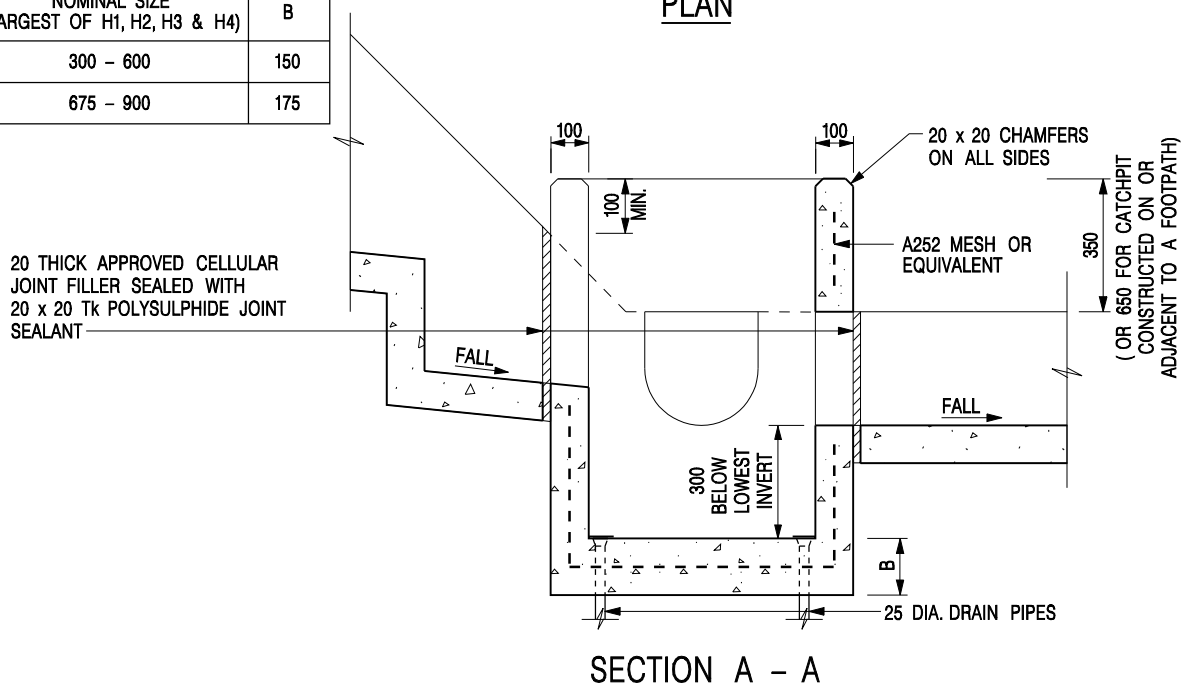


Figure 8.10 - Typical Details of Catchpits






NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

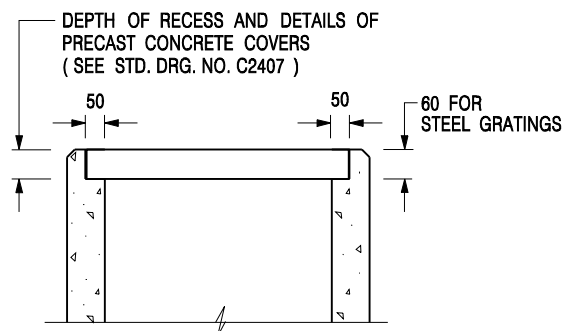


**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> 1 : 20	
		<b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> C2406 /1	



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2**

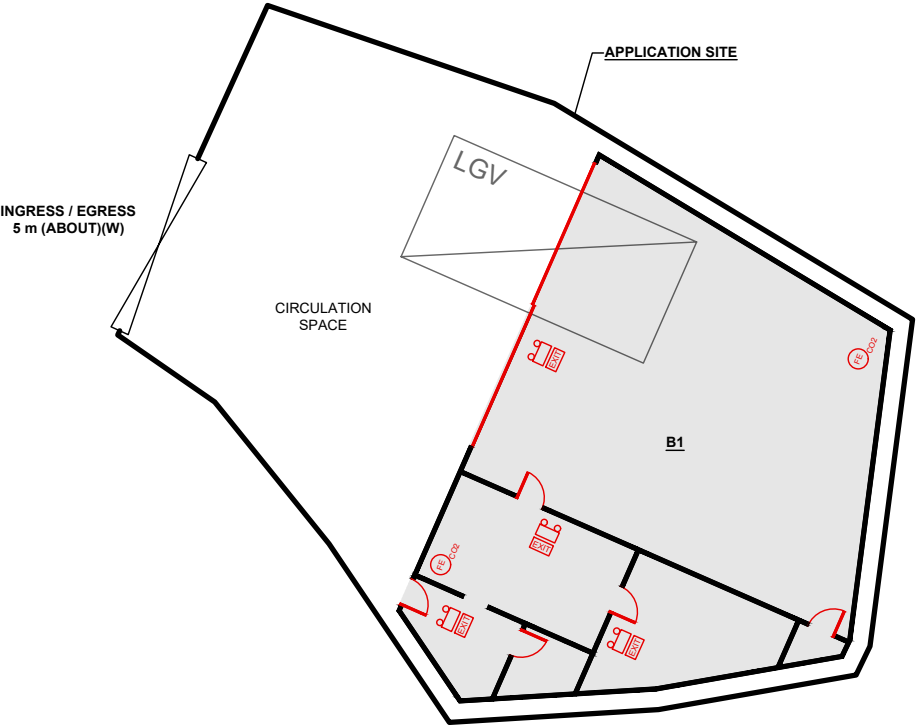
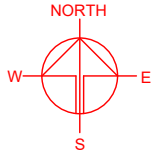
DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 256 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 126 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 130 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.49	(ABOUT)
SITE COVERAGE	: 49 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 126 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 126 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 4 m	(ABOUT)
NO. OF STOREY	: 1	

LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF PARKING SPACE	: 3.5 m (W) X 7 m (L)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES ANCILLARY OFFICE	126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	4 m (ABOUT)(1-STOREY)
TOTAL		126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	



FIRE SERVICE INSTALLATIONS

	EXIT SIGN
	EMERGENCY LIGHT
	4 KG DRY POWDER TYPE FIRE EXTINGUISHER

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016 AND BS EN1838:2013 AND FSD CIRCULAR LETTER 4/2021
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

LEGEND

	APPLICATION SITE
	STRUCTURE
	L/UL SPACE (LGV)
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS

SITE LOCATION

LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES

SCALE

1 : 200 @ A4

DRAWN BY MN DATE 23.7.2025

REVISED BY DATE

APPROVED BY DATE

DWG. TITLE

FSIs PROPOSAL

DWG NO. VER.

APPENDIX II 001

Our Ref. : DD104 Lot 343  
Your Ref. : TPB/A/YL-NTM/485

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

18 August 2025

Dear Sir,

**Supplementary Information**

**Temporary Shop and Services with Ancillary Facilities  
for a Period of 5 Years in "Recreation" Zone,  
Lot 343 in D.D. 104, Ngam Tau Mei, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-NTM/485)**

We are writing to submit supplementary information to support the subject application, including revised pages of the application form, planning statement and a drainage proposal for considerations of government departments (**Appendices I and III**).

Should you require more information regarding the application, please contact the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**



**Danny NG**  
Town Planner



(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)  _____ _____	N/A  N/A N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)  _____ _____	1  N/A N/A 1 N/A N/A

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Plans showing location/zoning/land status at the Site; Drainage proposal; FSIs proposal and Swept path analysis.</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____ _____		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

### **Supplementary Statement**

#### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories* (the Site) for **‘Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years’** (the development) (**Plans 1 to 3**).
- 1.2 The applicant would like to continue to use the Site to operate the applied use (i.e. convenience store selling food, drinks, personal care products etc.) serving the nearby residents and coping with such demand in the area.

#### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned as “Recreation” (“REC”) on the Approved Ngau Tam Mei Outline Zoning Plan (OZP) No.: S/YL-NTM/14. According to the Notes of the OZP, the applied use is a Column 2 use within the “REC” zone, which requires planning permission from the Board (**Plan 2**).
- 2.2 Although the Site falls within the “REC” zone, as there is no known long-term programme to develop the Site for recreational use, approval of the current application on a temporary basis would not frustrate the long-term planning intention of the “REC” zone and would better utilise deserted land in the New Territories.
- 2.3 Similar applications for ‘*Shop and Services*’ use have been approved by the Board within the same “REC” zone on the same OZP; of which the latest approved application (No. A/YL-NTM/456) was approved by the Board in 2023. Therefore, approval of the current application is in line with the Board’s previous decisions and would not set an undesirable precedent within the same “REC” zone. Besides, the Site is surrounded by structures for residential use, temporary structures for warehouses and shrubland. The applied use is considered not incompatible with surrounding land uses.
- 2.4 The Site is the subject of a previous S.16 planning application submitted by the same applicant (No. A/YL-NTM/417) for ‘*proposed temporary shop and services*’ use, which was approved by the Board in 2021. Comparing with the previous application (No. A/YL-NTM/417), the site area, plot ratio (PR) and layout was amended by the applicant in order to meet the applicant’s

current business operation. The applicant has made effort to comply with approval conditions of the previous application which, details are shown at **Table 1** below:

**Table 1** - Details of Compliance with Approval Conditions of the Previous Application

Approval Conditions of Application No. A/YL-NTM/417		Date of Compliance
(c)	The submission of a drainage proposal	15.11.2021
(d)	The implementation of the drainage proposal	Not complied with
(f)	The submission of a fire service installations (FSIs) proposal	09.04.2024
(g)	The implementation of the FSIs proposal	08.08.2024

2.5 During the approval period of the previous application, the applicant has made efforts in complying with approval conditions in regard to drainage and fire safety aspects. All fire service-related conditions have been complied with by the applicant. The applicant made multiple submissions of photographic records of the implemented drainage system within the Site for compliance with condition (d) on 07.10.2022, 15.01.2024, 27.05.2024, 10.09.2024 and 20.11.2024; whilst all submissions were considered not acceptable by the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on 10.01.2024, 13.05.2024, 09.07.2024, 09.10.2024 and 20.12.2024. The applicant did not have sufficient time to rectify the drainage system within the Site according to the comments from CE/MN, DSD within the planning approval period, which led to the revocation of the application on 17.03.2025.

2.6 The applicant wishes to continue to implement the rectification work of the drainage system within the Site during the planning approval period of the current application. In support of the application, the applicant has submitted a drainage proposal and the accepted FSIs proposal under the previous application to minimise potential impact(s) to the surrounding areas (**Appendices I and II**).

### 3) Development Proposal

3.1 The site occupies an area of 256 m<sup>2</sup> (about) (**Plan 3**). One structure is provided at the Site for shop and services and ancillary office uses with total GFA of 126 m<sup>2</sup> (about) (**Plan 4**). No domestic structure is proposed at the Site. Ancillary facilities (i.e. Office) is intended to provide indoor workspaces for administrative staff to support the daily operation of the Site. The operation hours of the Site are Mondays to Sundays from 09:00 to 19:00 daily, including

public holidays. The number of staff working at the Site is 2. It is anticipated that the Site would be able to attract about 10 visitors per day. Details of development parameters are shown at **Table 2** below:

**Table 2 - Major Development Parameters**

<b>Application Site Area</b>	256 m <sup>2</sup> (about)
<b>Covered Area</b>	126 m <sup>2</sup> (about)
<b>Uncovered Area</b>	130 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.49 (about)
<b>Site Coverage</b>	49 % (about)
<b>Number of Structure</b>	1
<b>Total GFA</b>	126 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	126 m <sup>2</sup> (about)
<b>Building Height</b>	4 m (about)
<b>No. of Storey</b>	1

3.2 The Site is accessible from Ngau Tam Mei Road via a local access (**Plan 1**). 1 loading/unloading (L/UL) space for light goods vehicles (LGV) is provided at the Site for transportation of goods use. As the proposed development is intended to serve nearby locals, no parking space is provided for customers. Staff will be deployed by the applicant to direct vehicles entering/exiting the Site to ensure pedestrian safety to/from the Site. Sufficient space is provided for vehicles to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 5**). Details of parking and L/UL spaces provision are shown at **Table 3** below:

**Table 3 - L/UL Provisions**

<b>Type of Space(s)</b>	<b>No. of Space(s)</b>
L/UL space for LGV - 3.5 m (W) x 7 m (L)	1

3.3 Only LGVs are allowed to enter/exit the Site at any time during the planning approval period. No medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers are allowed to enter/exit the Site. The applicant will ensure no queuing and/or waiting of motor vehicles from the Site onto Ngau Tam Mei Road and no motor vehicles will be permitted



to reverse into and out of the Site onto Ngau Tam Mei Road. The trip generation and attraction rates are as shown at **Table 4** below.

**Table 4 - Trip Generation and Attraction of the Development**

Time Period	LGV		2-Way Total
	In	Out	
Trips at <u>AM peak</u> per hour (09:00 - 10:00)	1	1	2
Trips at <u>PM peak</u> per hour (18:00 - 19:00)	1	1	2
Traffic trip per hour (10:00 - 18:00)	0	0	0

- 3.4 Relevant environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. will be strictly complied with at all times during the planning approval period. The applicant will also follow relevant mitigation measures and requirements in the latest '*Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites*' issued by the Environmental Protection Department to minimise adverse environmental impacts and nuisance to the surrounding area.

#### 4) Conclusion

- 4.1 The development has not been creating significant nuisance to the surrounding areas. Adequate mitigation measures are provided by the applicant, i.e. the submission of drainage and FSIs proposal to mitigate any adverse impact arising from the development (**Appendices I to II**).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years**'.

**R-riches Planning Limited**

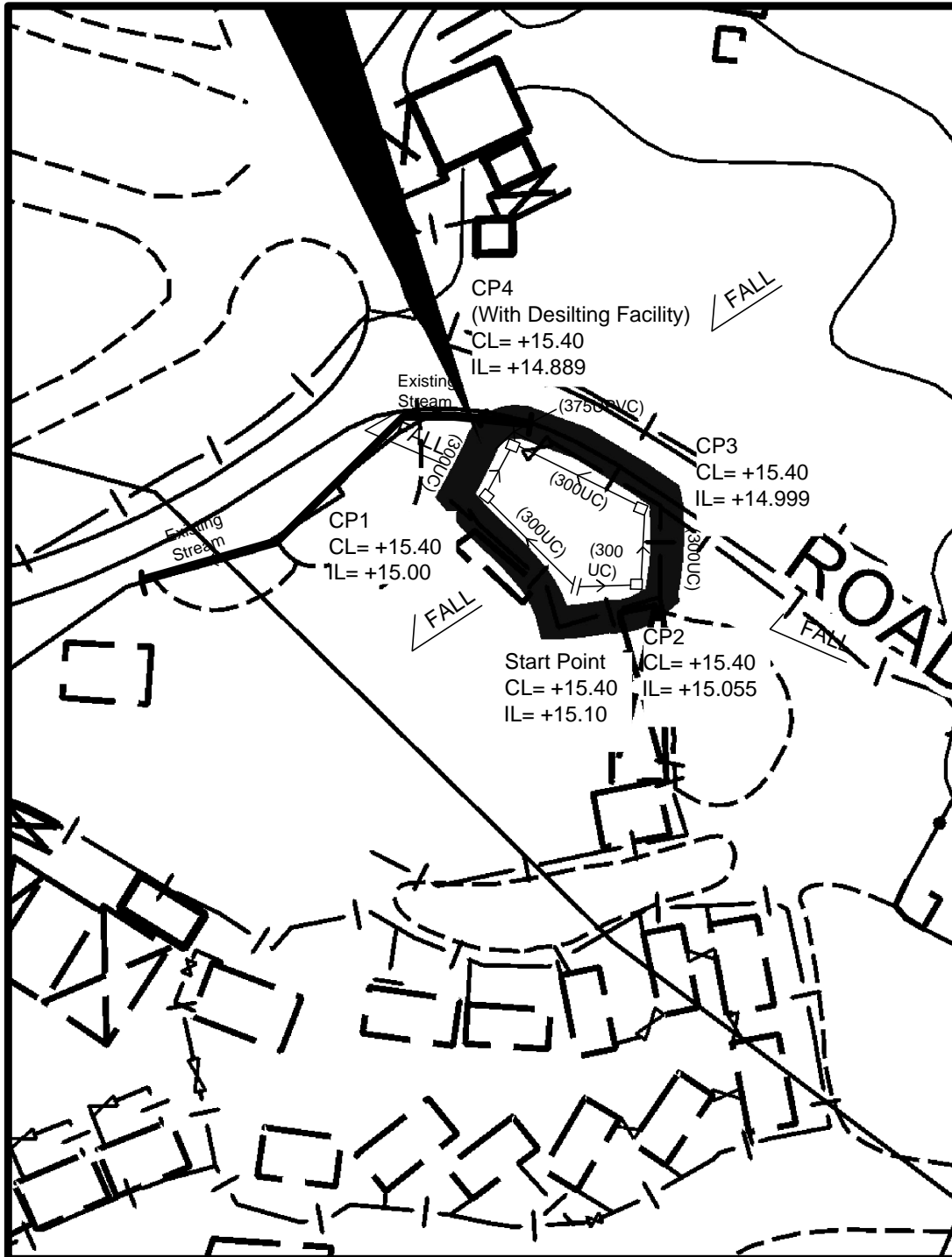
**July 2025**

## **LIST OF PLANS**

<b>Plan 1</b>	Location Plan
<b>Plan 2</b>	Plan Showing the Zoning of the Site
<b>Plan 3</b>	Plan Showing the Land Status of the Site
<b>Plan 4</b>	Layout Plan
<b>Plan 5</b>	Swept Path Analysis

## **APPENDICES**

<b>Appendix I</b>	Drainage Proposal
<b>Appendix II</b>	Fire Service Installations Proposal



Note:

1. Proposed Catchpit (CP4) with desilting facility shall follow CEDD's standard drawing C2406.
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig 8.10 and Fig 8.11 ,respectively.
3. The inverted level of the connection point shall be verified on site prior the commencement of work.
4. No solid walls or hoardings are erected.
5. Existing / Temporary structure at adjacent lots have their own stormwater collection system

Legend:

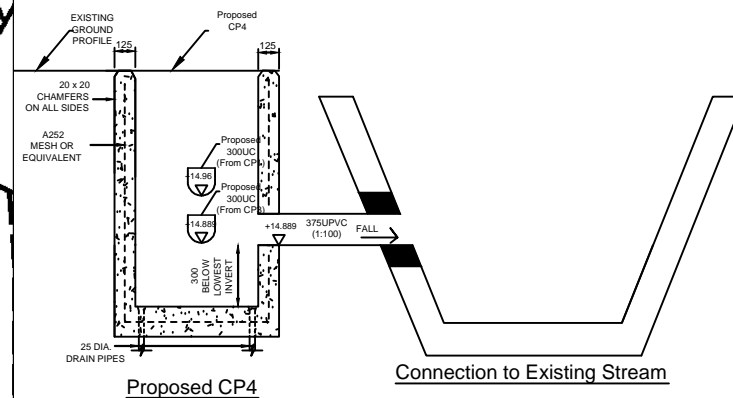
- Proposed UC/UPVC (1:100)
- Existing UC/UPVC/Drain
- Proposed Catchpit with iron cover

Company:

恆協工程有限公司  
HANDSHIP  
ENGINEERING  
CO. LTD

Project :

Proposed Temporary Shop and Services for a Period of 5 Years at Lot 343 (Part) in D.D. 104, Ngau Tam Mei, Yuen Long



Connection Detail of CP4

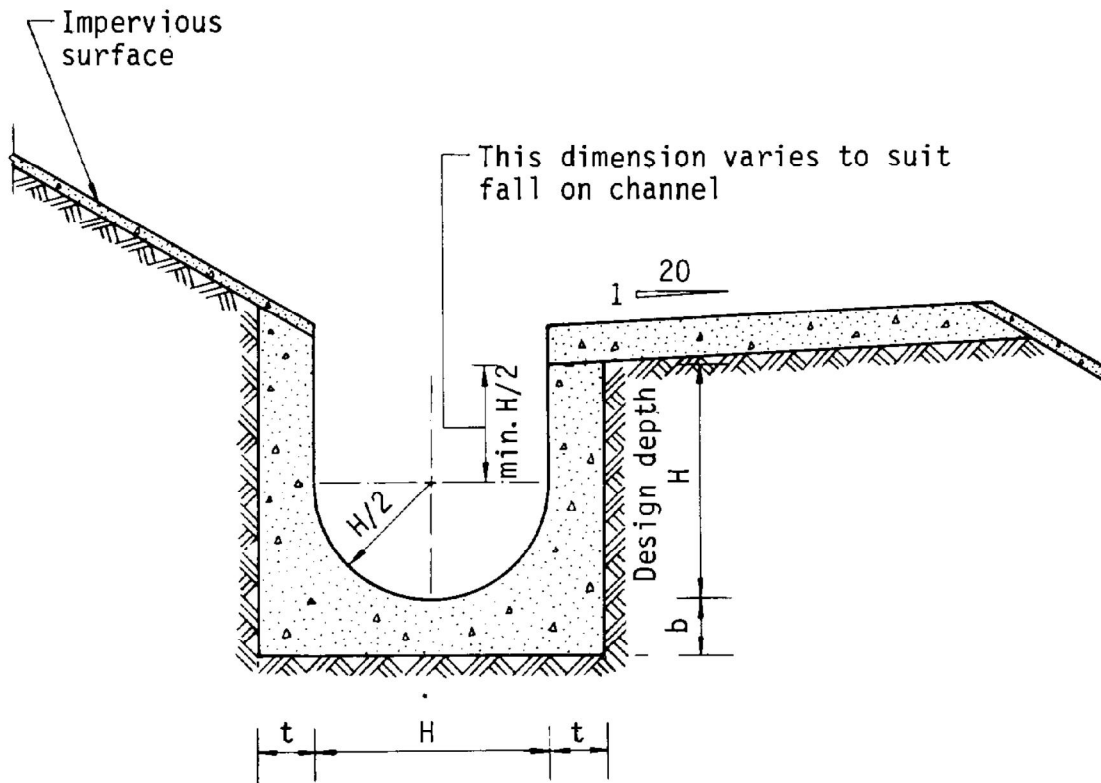
Title:

Drainage Proposal-  
Layout and Catchment  
Area

Date:

11th Nov  
2021

Dwg No.



Dimensions of U - channel

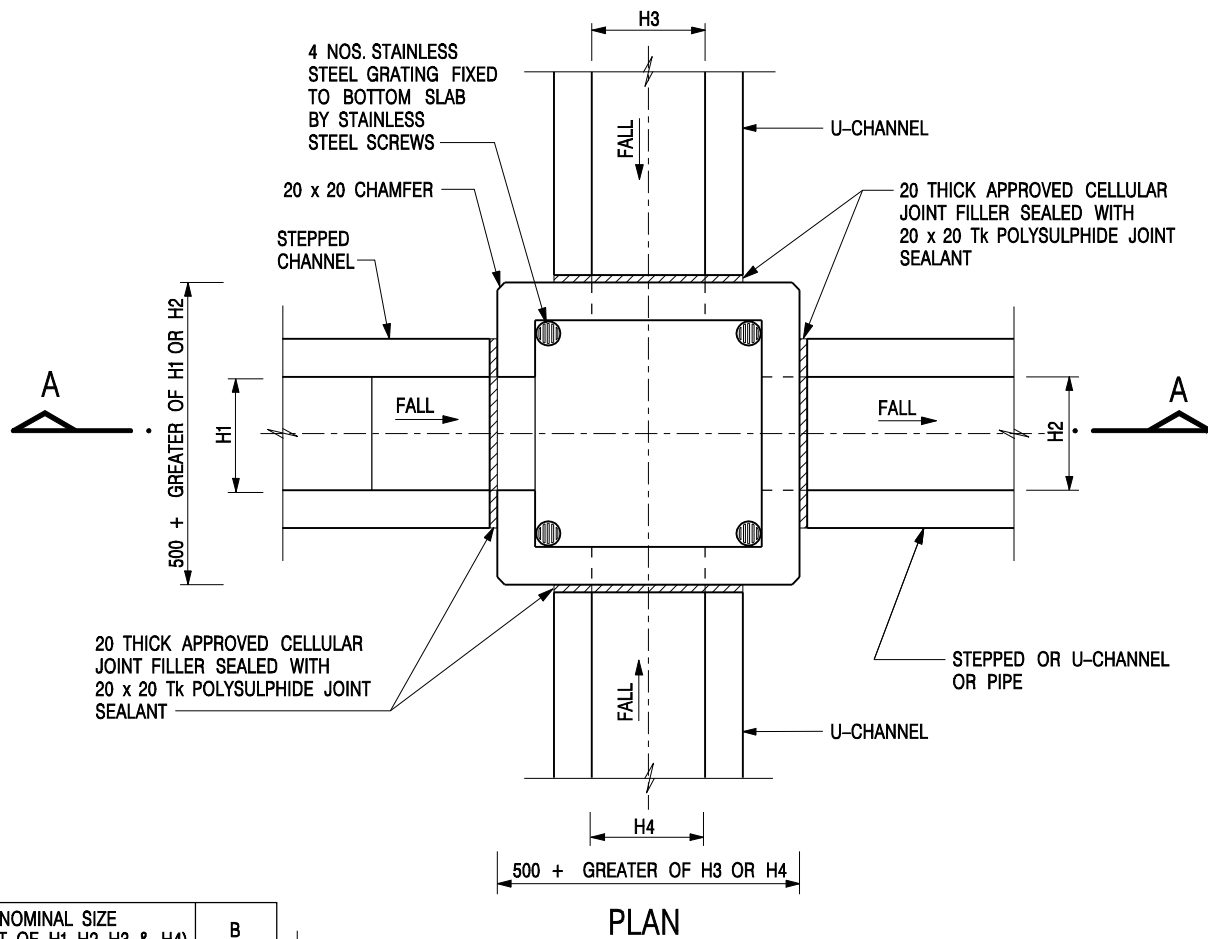
Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details



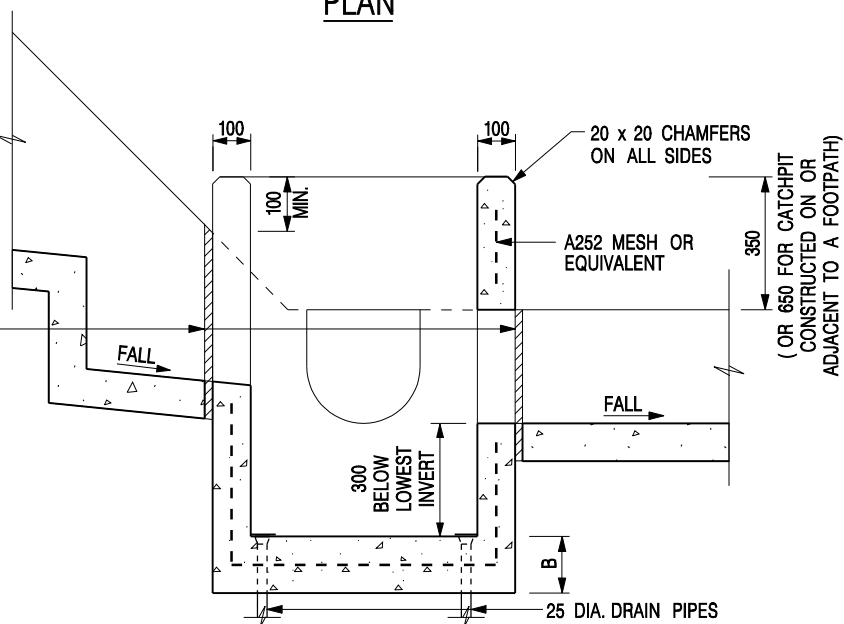


Figure 8.10 - Typical Details of Catchpits



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175


20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT

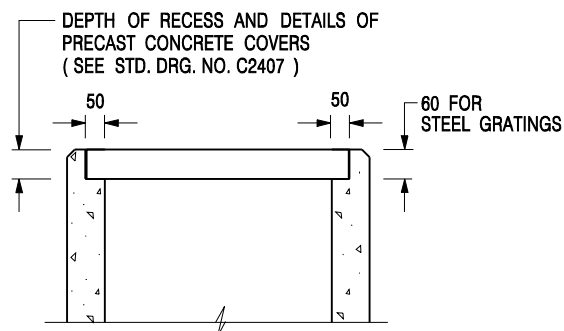


#### NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> 1 : 20 <b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> <b>C2406 /1</b>	



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2**



Our Ref. : DD104 Lot 343  
Your Ref. : TPB/A/YL-NTM/485

益卓規劃有限公司

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

30 September 2025

Dear Sir,

**1<sup>st</sup> Further Information**

**Temporary Shop and Services with Ancillary Facilities  
for a Period of 5 Years in "Recreation" Zone,  
Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-NTM/485)**

We are writing to submit further information responding to departmental comments upon the subject application (**Appendices I and II**).

Should you require more information regarding the application, please contact the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

A handwritten signature in blue ink is positioned to the left of a circular purple stamp. The stamp contains the text 'R-riches Planning Limited' around the perimeter and '益卓規劃有限公司' in the center.

**Danny NG**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Jane LAU

(Attn.: Mr. Timothy CHAN

[Redacted]

[Redacted]

[Redacted]



1<sup>st</sup> Further Information

**Temporary Shop and Services with Ancillary Facilities  
for a Period of 5 Years in “Recreation” Zone,  
Lot 343 in D.D. 104, Ngau Tam Mei, Yuen Long, New Territories**

**(Application No. A/YL-NTM/485)**

- (i) The applicant would like to submit a response-to-comments table for the consideration of government bureaux/departments:

<b>Comments of the Director of Fire Services (D of FS)</b> <b>(Contact Person: Mr. CHEUNG Wing Hei; Tel: 2733 7737)</b>		
(1)	<p>Please note the following comments on the Fire Service Installations (FSIs) proposal submitted:</p> <p>(i) For enclosed structure with gross floor area not exceeding 230 m<sup>2</sup>, only fire extinguisher and Stand-alone Fire Detector shall be provided;</p> <p>(ii) In relation to i. above, where two or more Stand-alone Fire Detectors are installed in an enclosed structure, all stand-alone detectors shall be interconnected (either wired or wirelessly) such that when one of the stand-alone fire detector is triggered, all connected Stand-alone Fire Detectors shall sound an alarm simultaneously;</p> <p>(iii) The Stand-alone Fire Detector shall be provided in accordance with the “Standalone Fire Detector General Guidelines on Purchase, Installation &amp; Maintenance [Sep 2021]”; and</p> <p>(iv) Emergency lighting, directional and exit signs are considered as self-upgrade and not a mandatory requirement by this Department.</p>	<p>Noted. The revised FSIs proposal is enclosed at <b>Appendix II</b> for your consideration please.</p>

(2)	The applicant is reminded that if the proposed structures are required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans.	Noted.
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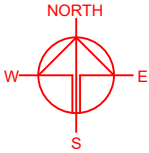
DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 256 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 126 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 130 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.49	(ABOUT)
SITE COVERAGE	: 49 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 126 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 126 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 4 m	(ABOUT)
NO. OF STOREY	: 1	

LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF PARKING SPACE	: 3.5 m (W) X 7 m (L)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES ANCILLARY OFFICE	126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	4 m (ABOUT)(1-STOREY)
TOTAL		126 m <sup>2</sup> (ABOUT)	126 m <sup>2</sup> (ABOUT)	

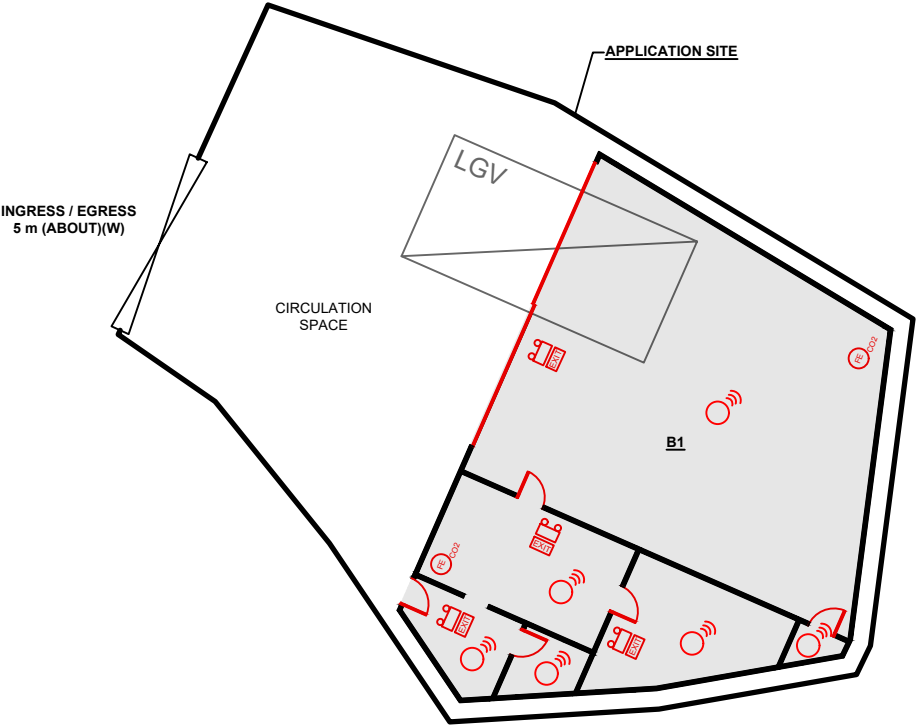


FIRE SERVICE INSTALLATIONS

- EXIT SIGN
- EMERGENCY LIGHT
- 4 KG DRY POWDER TYPE FIRE EXTINGUISHER
- STAND-ALONE FIRE DETECTOR

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016 AND BS EN1838:2013 AND FSD CIRCULAR LETTER 4/2021.
- SUFFICIENT STAND-ALONE FIRE DETECTOR SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH "STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE [SEP 2021]".
- IN RELATION TO (2) ABOVE, WHERE TWO OR MORE STAND-ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL STAND-ALONE DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE STAND-ALONE FIRE DETECTOR IS TRIGGERED, ALL CONNECTED STAND-ALONE FIRE DETECTORS SHALL SOUND AN ALARM SIMULTANEOUSLY.
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1:2016 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.



LEGEND	
	APPLICATION SITE
	STRUCTURE
	L/UL SPACE (LGV)
	INGRESS / EGRESS

PLANNING CONSULTANT	
PROJECT	
TEMPORARY SHOP AND SERVICES WITH ANCILLARY FACILITIES FOR A PERIOD OF 5 YEARS	
SITE LOCATION	
LOT 343 IN D.D. 104, NGAU TAM MEI, YUEN LONG, NEW TERRITORIES	
SCALE	
1 : 200 @ A4	
DRAWN BY	DATE
DN	30.9.2025
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
FSIs PROPOSAL	
DWG NO.	VER.
APPENDIX II	001

\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

**Previous s.16 Application covering the Application Site**

Approved Application

<b>No.</b>	<b>Application No.</b>	<b>Proposed Use(s)</b>	<b>Date of Consideration (RNTPC)</b>
1.	A/YL-NTM/417 *	Proposed Temporary Shop and Services (Convenience Store) for a Period of 5 Years	16.4.2021 [revoked on 16.3.2025]

\* denotes permission revoked



**Similar s.16 Application within the same “Recreation” zone  
on the Ngau Tam Mei OZP in the Past Five Years**

Approved Application

<b>No.</b>	<b>Application No.</b>	<b>Proposed Use(s)</b>	<b>Date of Consideration (RNTPC)</b>
1.	A/YL-NTM/456	Proposed Temporary Shop and Services for a Period of 5 Years	31.3.2023

**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Yuen Long, Lands Department:

- no adverse comment on the application;
- the application site (the Site) comprises Old Schedule Agricultural Lot No. 343 in D.D. 104 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
- the private Lot No. 343 in D.D. 104 is covered by Short Term Waiver (STW) No. 5422 to permit structures for the purpose of 'Temporary Shop and Services (Convenience Shop)'; and
- advisory comments are detailed in **Appendix IV**.

**2. Traffic**

Comments of the Commissioner for Transport:

- no comment from traffic engineering point of view; and
- advisory comments are detailed in **Appendix IV**.

**3. Environment**

Comments of the Director of Environmental Protection:

- considering the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites", it is noted that the proposed use would not involve traffic of heavy vehicle and dusty operations. Based on the above, he has no objection to the application from environmental planning perspective;
- no environmental complaints relating to the Site were recorded in the past three years; and
- advisory comments are detailed in **Appendix IV**.

**4. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective
- based on aerial photo of Feb 2024, the Site is located in an area between hillsides landscape character and settled valleys landscape character comprising densely vegetated hillsides to the north and village houses, temporary structures, farmlands, fishponds and scattered tree groups to the south. The Site has been fenced off and generally hard-paved with temporary structures. The proposed use is considered not

incompatible with the landscape setting in the proximity; and

- adverse landscape impact within the Site arising from the proposed use is not anticipated.

## 5. **Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD):

- no in-principle objection to the application from drainage point of view;
- the drainage proposal submitted by the applicant is considered acceptable to his Department;
- should the application be approved, approval conditions requiring the implementation and maintenance of the proposed drainage facilities should be incorporated; and
- advisory comments are detailed in **Appendix IV**.

## 6. **Fire Safety**

Comments of the Director of Fire Services:

- no in-principle objection to the application subject to fire service installations being provided;
- the fire service installations proposal submitted by the applicant is considered acceptable to his Department; and
- advisory comments are detailed in **Appendix IV**.

## 7. **Other Departments**

The following government departments have no objection to or no adverse comment on the application and their advisory comments, if any, are in **Appendix IV**:

- (a) Chief Highway Engineer/New Territories West, Highways Department (HyD);
- (b) Chief Engineer/Railway Development 1-1, Railway Development Office, HyD;
- (c) Director of Agriculture, Fisheries and Conservation;
- (d) Head of Geotechnical Engineering Office, Civil Engineering and Development Department;
- (e) Chief Engineer/Construction, Water Supplies Department;
- (f) Chief Building Surveyor/New Territories West, Buildings Department;
- (g) Commissioner of Police;
- (h) Director of Electrical and Mechanical Services; and
- (i) District Officer (Yuen Long), Home Affairs Department.

**Recommended Advisory Clauses**

- (a) the application site (the Site) falls within the boundary of Potential Development Area being examined under the Ngau Tam Mei Land Use Review Study. The Site may be resumed at any time for potential development project and the proposed use may be terminated at any time during the planning approval period for implementation of Government Projects;
- (b) the permission is given to the use and/or structures under application. It does not condone any other use(s) and/or structure(s) which currently occur on the Site but not covered by the application. Immediate action should be taken to discontinue such use(s) and/or remove such structure(s) not covered by the permission;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given by the Rural and New Town Planning Committee/Town Planning Board to any further application;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that the Short Term Waiver (STW) holder(s) shall apply to his office for modification of the STW conditions where appropriate. The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
  - (i) the Site is connected to Ngau Tam Mei Road via a section of local access which is not managed by Transport Department. The land status of the local access should be clarified with LandsD by the applicant. Moreover, the management and maintenance responsibilities of the local access should be clarified with the relevant lands and maintenance authorities accordingly;
  - (ii) Ngau Tam Mei Road is a prohibited zone 24 hours daily for all motor vehicles exceeding 7 metres in length; and
  - (iii) no vehicle is allowed to queue back to or reverse onto/from public roads at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
  - (i) HyD shall not be responsible for the maintenance of the proposed access connecting the Site (i.e. Ngau Tam Mei Road and other local track); and
  - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;

- (g) to note the comments of the Director of Environmental Protection that:
  - (i) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites'; and
  - (ii) sewage discharge from the Site should be directed to nearby public sewer. In case of unavailability of public sewer, proper sewage collection and treatment facilities should be provided in accordance with the requirements in Professional Persons Environmental Consultative Committee Practice Notes 1/23 (ProPECCN 1/23). All effluent discharges from the proposed use are subject to control under Water Pollution Control Ordinance;
- (h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that the applicant shall be liable for any adverse drainage impact due to the proposed works;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
  - (i) the installation/maintenance/modification/repair work of Fire Service Installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to D of FS; and
  - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
  - (i) it is noted that one structure is proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
  - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
  - (iv) if the existing structures are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the captioned application;



- (v) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- (vii) Detailed checking under the BO will be carried out at building plan submission stage.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

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From: [REDACTED]  
Sent: 2025-09-08 星期一 00:59:47  
To: tpbpd/PLAND <tpbpd@pland.gov.hk>  
Subject: A/YL-NTM/485 DD 104 Ngau Tam Mei Recreation

Dear TPB Members,

417 was approved 16 April 2021 for 5 years. It was granted A RECORD 15 EXTENSIONS OF TIME

08/01/2025

Minor Amendment (S16A - Extension of Time)

Approved/Agreed

Assistant Director of Planning

Questions should be raised with regard to leniency display by the Asst Director and his disregard for the safety of local residents.

Note - "We are writing to submit supplementary information to support the subject application, including revised pages of the application form, planning statement and a **drainage proposal for considerations of government departments**"

THIS AFTER FOUR YEARS. PREPOSTEROUS.

There is no justification to approve the application and certainly granting a further **5 YEARS would be a complete betrayal of the focus of TPB, to promote the health, safety, convenience and general welfare of the community.**

Mary Mulvihill

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From: [REDACTED]  
To: tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
Date: Tuesday, 23 March 2021 11:11 PM HKT  
Subject: A/YL-NTM/417 DD 104 Ngau Tam Mei Recreation

A/YL-NTM/417

Lot 343 (Part) in D.D. 104, Ngau Tam Mei

Site area: About 232sq.m (increased to 256sq.m)

Zoning: "Recreation"

Applied use: Shop and Services / 1 Vehicle Parking

Dear TPB Members,

No details provided with regard to the good to be sold and if they supplement the zoning:

*This zone is intended primarily for recreational developments for the use of the general public. It encourages the development of active and/or passive recreation and tourism/eco-tourism. Uses in support of the recreational developments may be permitted subject to planning permission*

The appears to be covered with vegetation. Approval of the application would encourage site modification resulting in piecemeal development destroying the tranquil nature of the rural area and general deterioration of rural landscape resources;

There was no strong justification in the submission for a departure from the planning intention of the "REC" zone, even on a temporary basis. The application was not in line with the Town Planning Board Guidelines No. 13E in that no previous approval had been granted for the site.

Mary Mulvihill