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The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501/47 6/8 By Hand

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-7KL/8.7
	Date Received 收到日期	2025-09-09

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.tpb.gov.hk/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

YIP TIN FAT 葉天發, YIP TIM FU 葉天富、YIP TIN KWAI 葉天貴

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱(如適用)

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

PANG HING YEUN 彭慶餘

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	D.D. 76 Lot 1495 S.B ss.2 RP, Hung Leng, Fanling, New Territories. 新界粉嶺孔嶺丈量約份第76約地段第1495號B分段第2小分段餘段
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	☒ Site area 地盤面積 275.6 sq.m 平方米 ☒ About 約 ☐ Gross floor area 總樓面面積 sq.m 平方米 ☐ About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	 sq.m 平方米 ☐ About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/NE-TKL/14 坪輦及打鼓嶺分區計劃大綱圖
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture 農業
(f) Current use(s) 現時用途	Temporary Private Car Park 臨時私人停車場 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)#&
於..... (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)&
於..... (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on (DD/MM/YYYY)&
於..... (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on (DD/MM/YYYY)&
於..... (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展Temporary Private Car Park (Private Car and Light Goods Vehicle) and associated filling of land (For a period of 3 years)
臨時私人停車場 (私家車及輕型貨車) 及相關填土工程 (為期3年)

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 3☐ month(s) 個月**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積 275.6sq.m ☒ About 約Proposed covered land area 擬議有上蓋土地面積 NAsq.m ☐ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 NA

Proposed domestic floor area 擬議住用樓面面積 NAsq.m ☐ About 約Proposed non-domestic floor area 擬議非住用樓面面積 NAsq.m ☐ About 約Proposed gross floor area 擬議總樓面面積 NAsq.m ☐ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

NA

.....

.....

.....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 4 (5m x 2.5m)

Motorcycle Parking Spaces 電單車車位

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 2 (5m x 2.5m)

Medium Goods Vehicle Parking Spaces 中型貨車泊車位

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位

Others (Please Specify) 其他 (請列明)

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位

Coach Spaces 旅遊巴車位

Light Goods Vehicle Spaces 輕型貨車車位

Medium Goods Vehicle Spaces 中型貨車車位

Heavy Goods Vehicle Spaces 重型貨車車位

Others (Please Specify) 其他 (請列明)

[illegible]

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	☐ The permission does not have any approval condition 許可並沒有任何附帶條件 ☐ Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 ☐ Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： Reason(s) for non-compliance: 仍未履行的原因： (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	☐ year(s) 年 ☐ month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

1. 申請位置位于孔嶺村近沙頭角公路馬尾下段旁邊，申請位置現時為停車場。
2. 由於孔嶺村及附近的發展迅速，因而需要更多的車位給村民或附近居民使用，因此申請申請位置早於1997年已作為停車場。
3. 申請位置東北面為出入通道及露天倉，西北面為天御豪庭使用的屋苑停車場，西南面為天而亮山莊使用的屋苑停車場及東南面為沙頭角公路馬尾下。
4. 孔嶺村有六百幾戶居民，本身亦無公共停車場，除了村口近坪輦路可給村民泊車之外，並無其他地方可給村民泊車。
5. 孔嶺村東南面，沙頭角公路馬尾下段另外一邊的吳屋村，由於地理關係，該村並沒有車路可到達，該處的村民亦會使用孔嶺村的停車位，因此該地區的車位嚴重不足。
6. 申請位置雖然位于農業地界，但多年來並沒有相關活動，而且附近亦無任何農業活動。
7. 申請位置只有六個車位，四個私家車車位，另外兩個輕型貨車車位，其他類型車輛不得使用。
8. 申請位置為開放式停車場，並且不設時租，停車場只給予鄰近村民使用，外來車輛者不得使用。
9. 為了保障行人安全，我們會於申請位置當眼處增設警示牌，並會提醒駕駛者留意行人。
10. 申請位置地面早年比對出路面稍為低，而申請位置之前已有填土約0.15m的瀝青，現時申請位置已不再需要填土。
11. 申請位置附近為屋苑停車場、屋宇、道路，因此申請位置作為停車場與附近景觀互相協調，而且只屬於小型發展，對環境影響相對性比較少。
12. 申請地點於早前已獲批規劃許可，由於渠務問題未完全處理，而我們忘記申請延期，因而被撤銷，現我們一併提交所需的報告供有關部門參考。
12. 我們定必遵從貴署及有關部門的意見。

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

PANG HING YEUN

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

31/07/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	D.D. 76 Lot 1495 S.B ss.2 RP, Hung Leng, Fanling, New Territories. 新界粉嶺孔嶺丈量約份第76約地段第1495號B分段 第2小分段餘段
Site area 地盤面積	275.6 sq. m 平方米 ☒ About 約 (includes Government land of 包括政府土地 sq. m 平方米 ☐ About 約)
Plan 圖則	S/NE-TKL/14 坪輦及打鼓嶺分區計劃大綱圖
Zoning 地帶	Agriculture 農業
Type of Application 申請類別	☒ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 ☒ Year(s) 年 <u>3</u> ☐ Month(s) 月 _____ ☐ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 ☐ Year(s) 年 _____ ☐ Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Private Car Park (Private Car and Light Goods Vehicle) and associated filling of land (For a period of 3 years) 臨時私人停車場 (私家車及輕型貨車) 及相關填土工程 (為期3年)

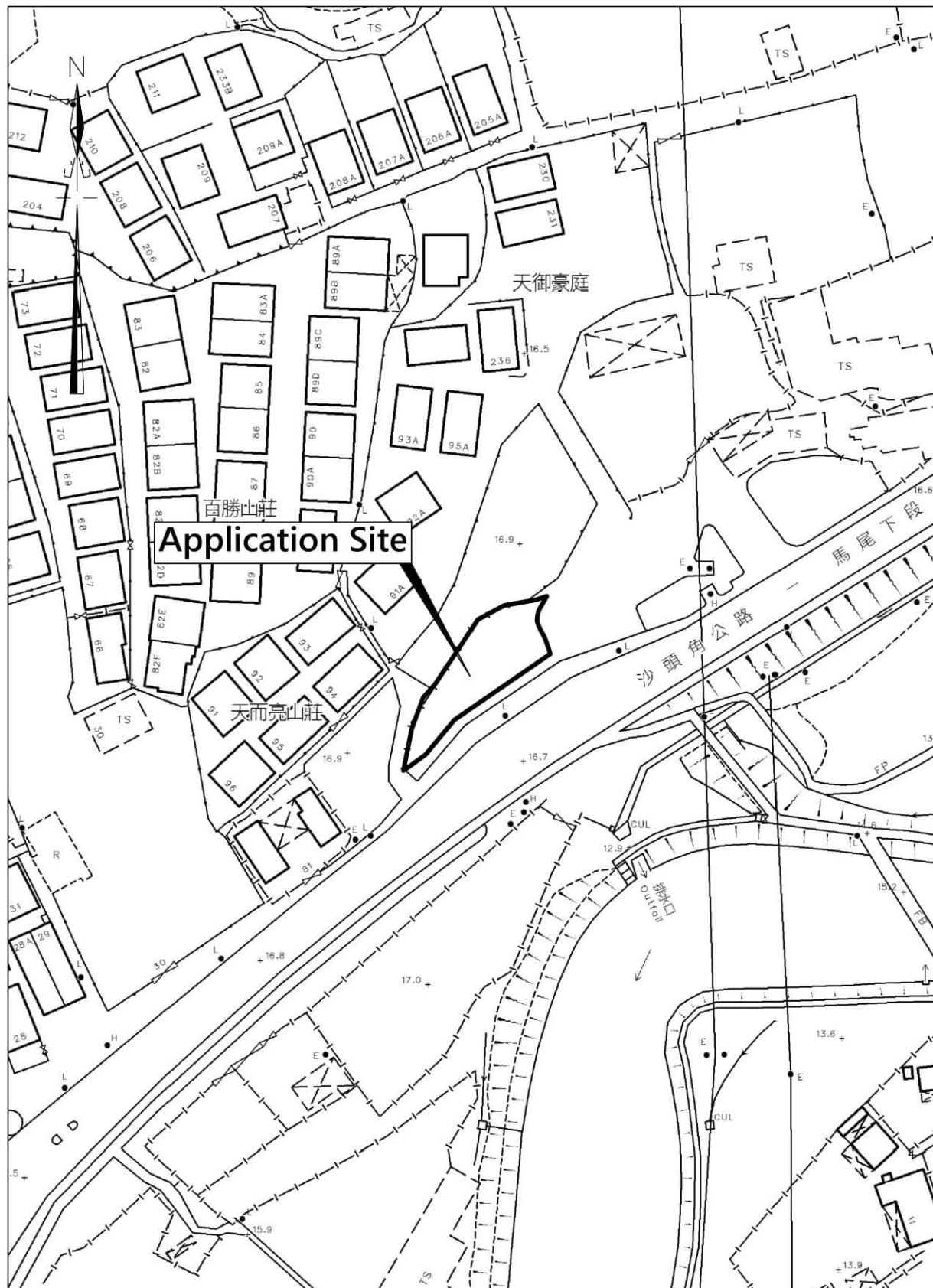
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	☐ About 約 ☐ Not more than 不多於	☐ About 約 ☐ Not more than 不多於
	Non-domestic 非住用	☐ About 約 ☐ Not more than 不多於	☐ About 約 ☐ Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 ☐ (Not more than 不多於)	
		Storeys(s) 層 ☐ (Not more than 不多於)	
	Non-domestic 非住用	m 米 ☐ (Not more than 不多於)	
		Storeys(s) 層 ☐ (Not more than 不多於)	
(iv) Site coverage 上蓋面積	% ☐ About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		6
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		4 (5m x 2.5m) 2 (5m x 2.5m)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☐	☒
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☐
Sectional plan(s) 截視圖	☐	☒
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他（請註明）	☐	☒
<u>Location Plan and Routing Plan and Drainage Plan, Filling Plan,</u>		
<u>Proposed Fire Service Installation, Proposed Traffic Management Measures</u>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	☐	☐
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他（請註明）	☐	☐
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

LOCATION PLAN



卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

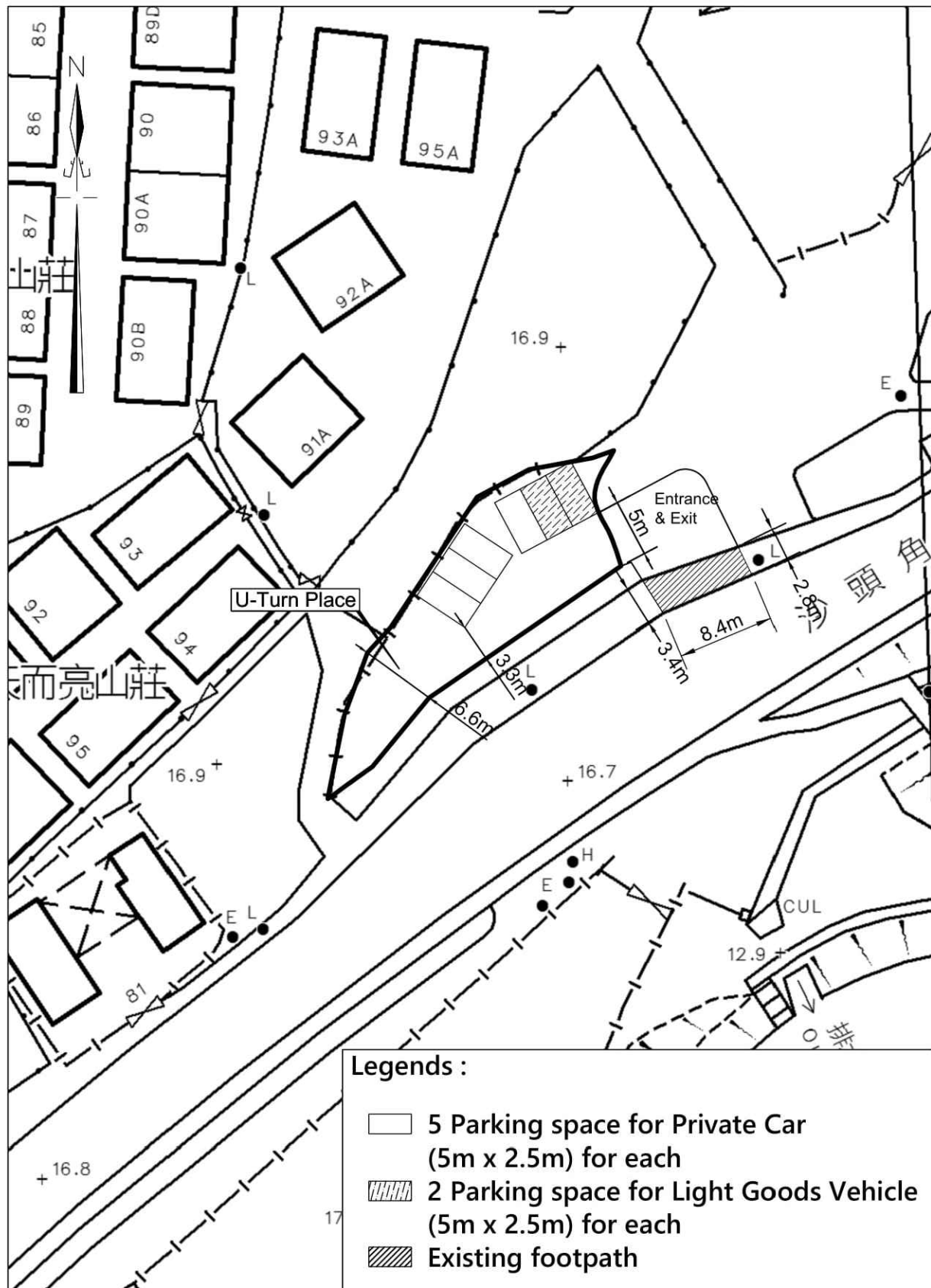
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Survey Sheet No. :
3-SW-4B

Date :
22-07-2025

Figure No. :
LOP/01

LAYOUT PLAN



Legends :

- 5 Parking space for Private Car (5m x 2.5m) for each
- 2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
- Existing footpath

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

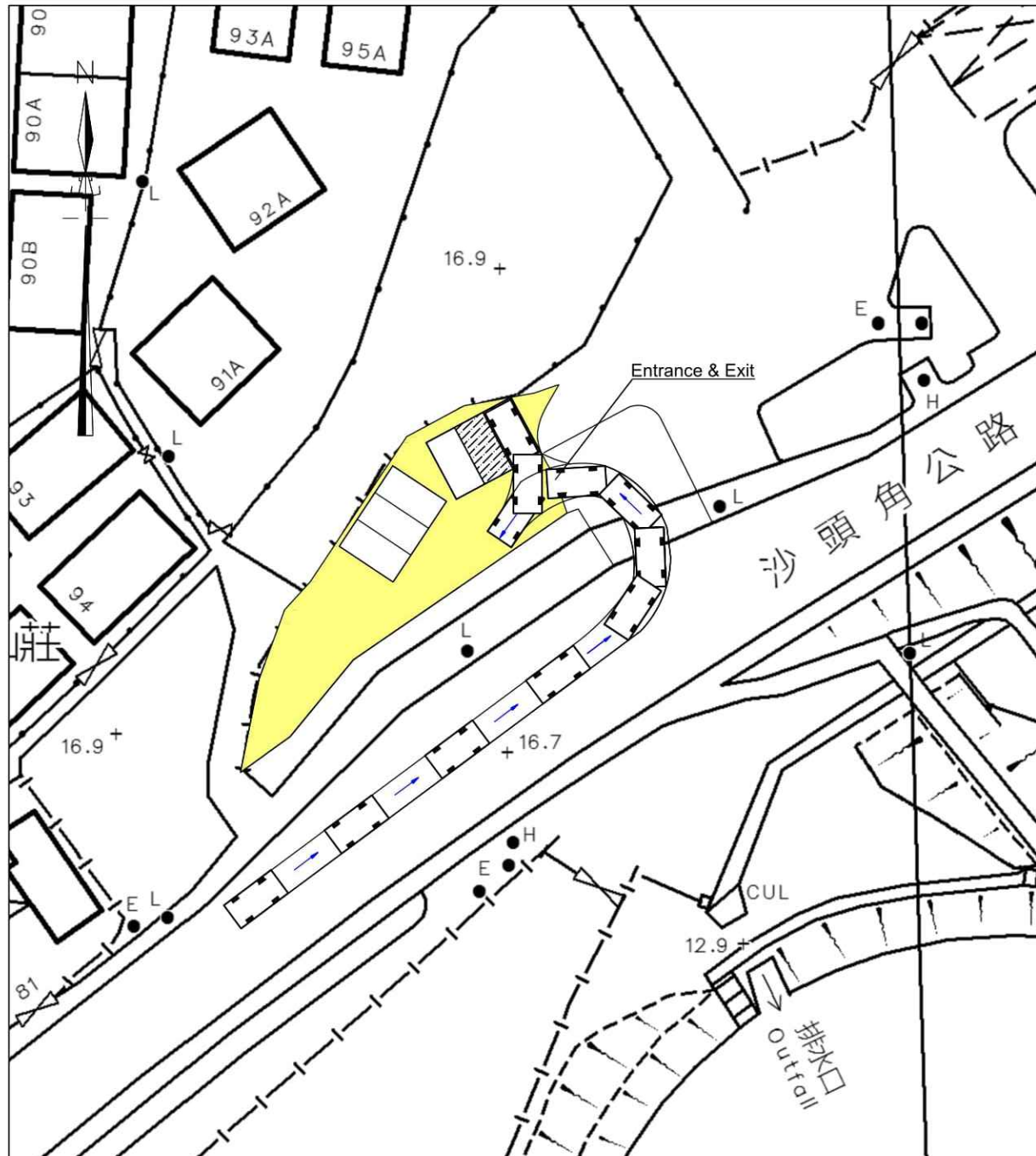
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Survey Sheet No. :
3-SW-4B

Date :
22-07-2025

Figure No. :
LAP/01

ROUTING PLAN



Legends :

- 4 Parking space for Private Car (5m x 2.5m) for each
- 2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
- Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

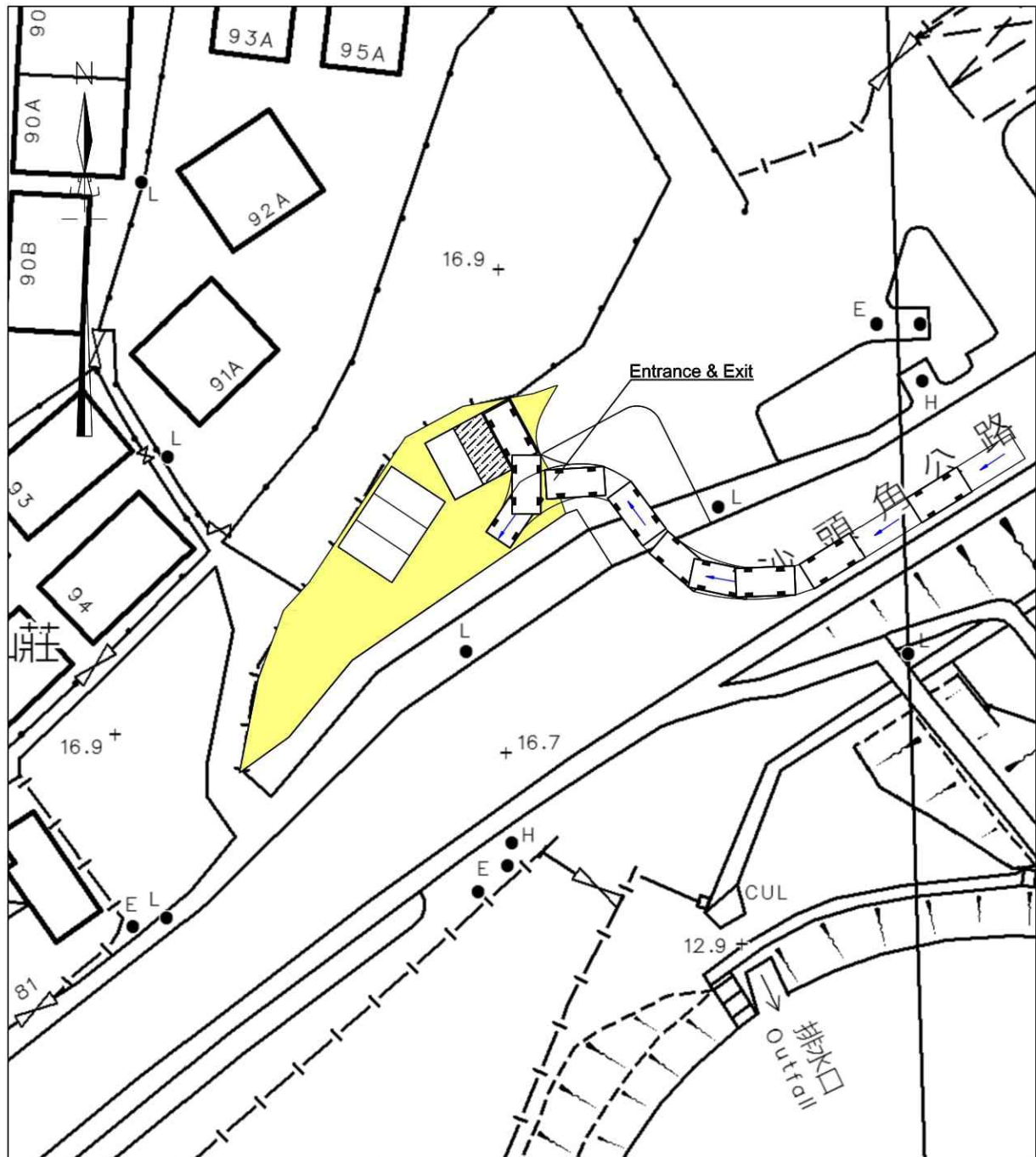
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Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/10

ROUTING PLAN



Legends :

-  4 Parking space for Private Car (5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

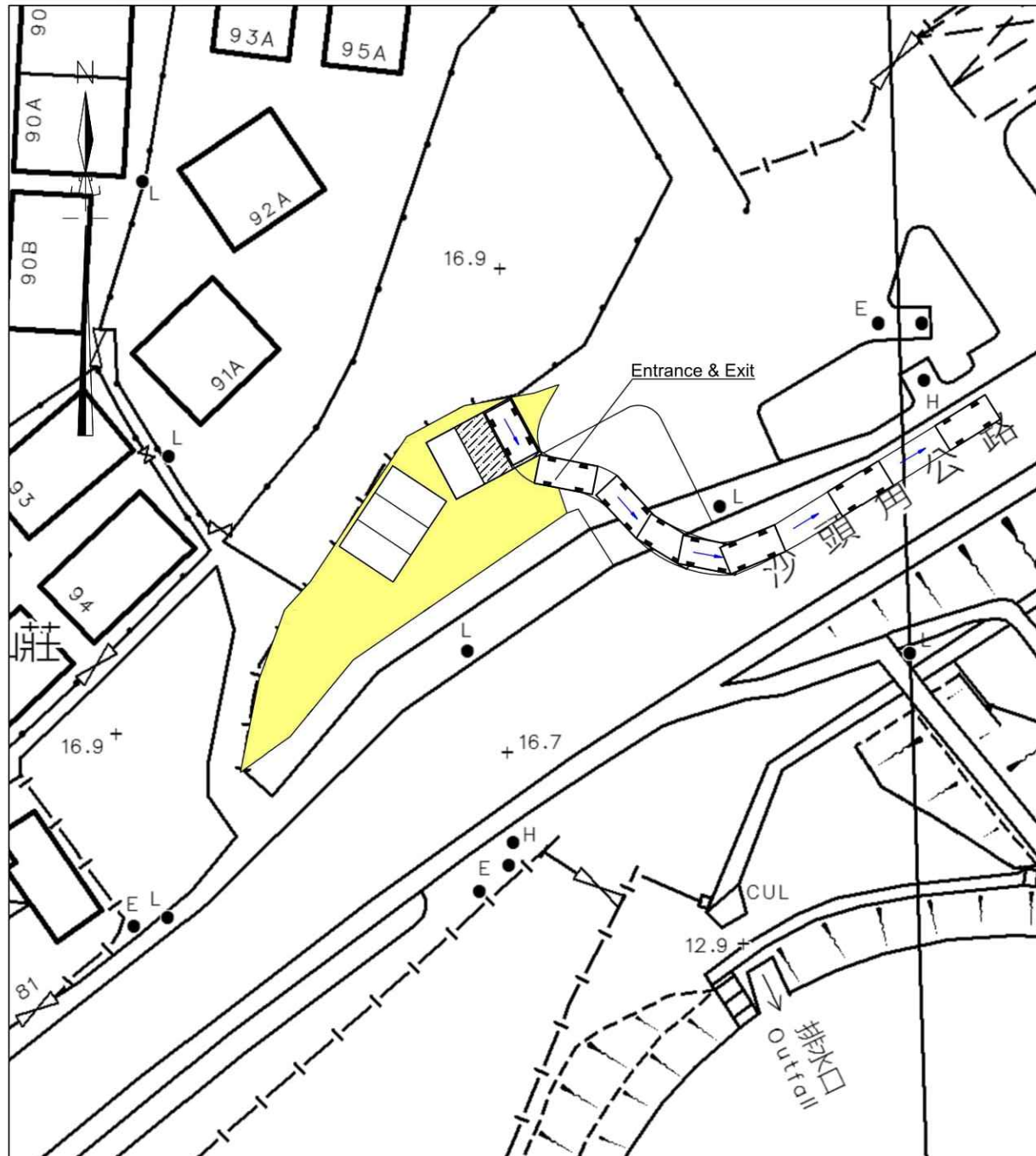
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Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/11

ROUTING PLAN



Legends :

-  4 Parking space for Private Car (5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

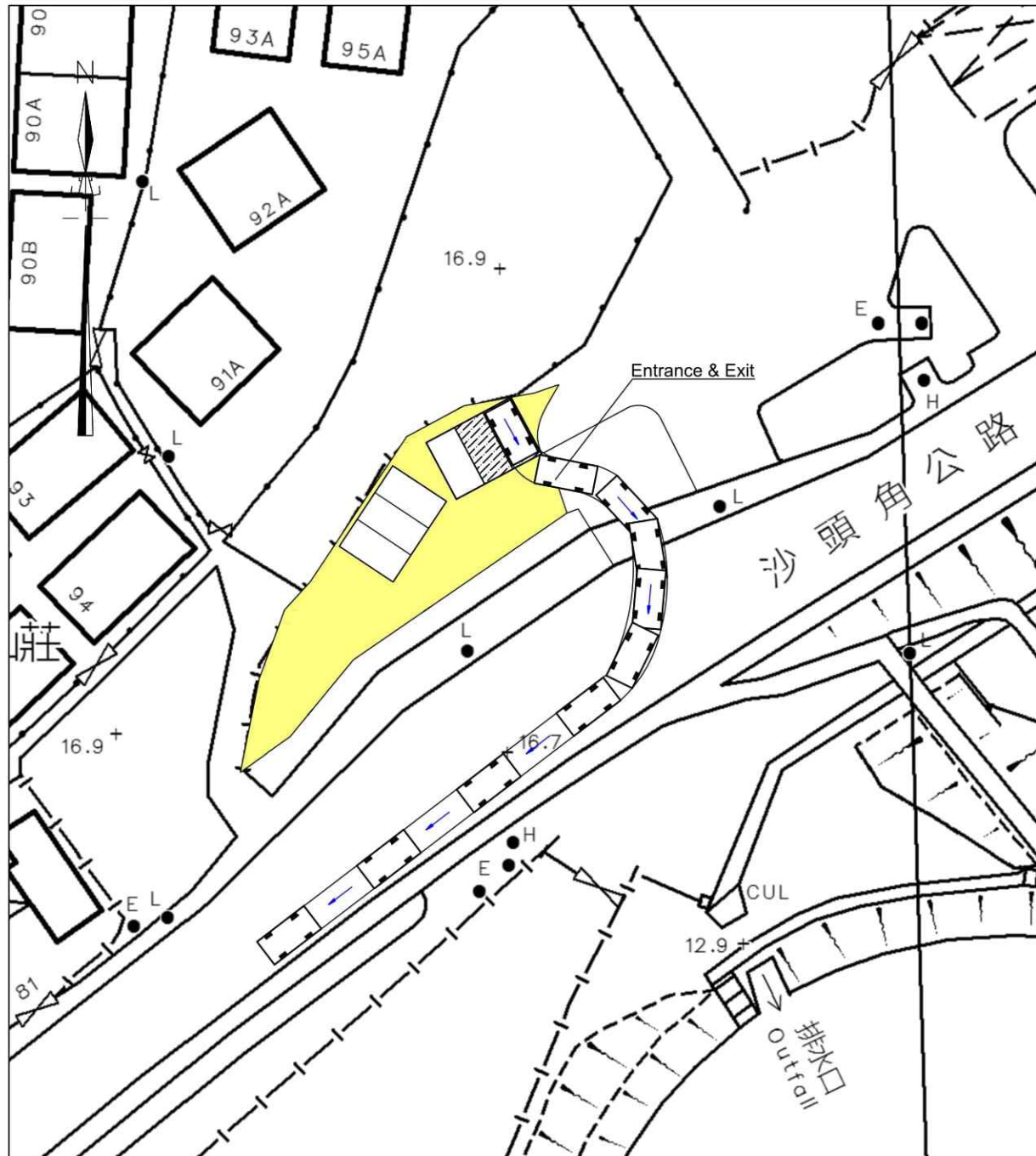
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Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/12

ROUTING PLAN



Legends :

-  4 Parking space for Private Car (5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

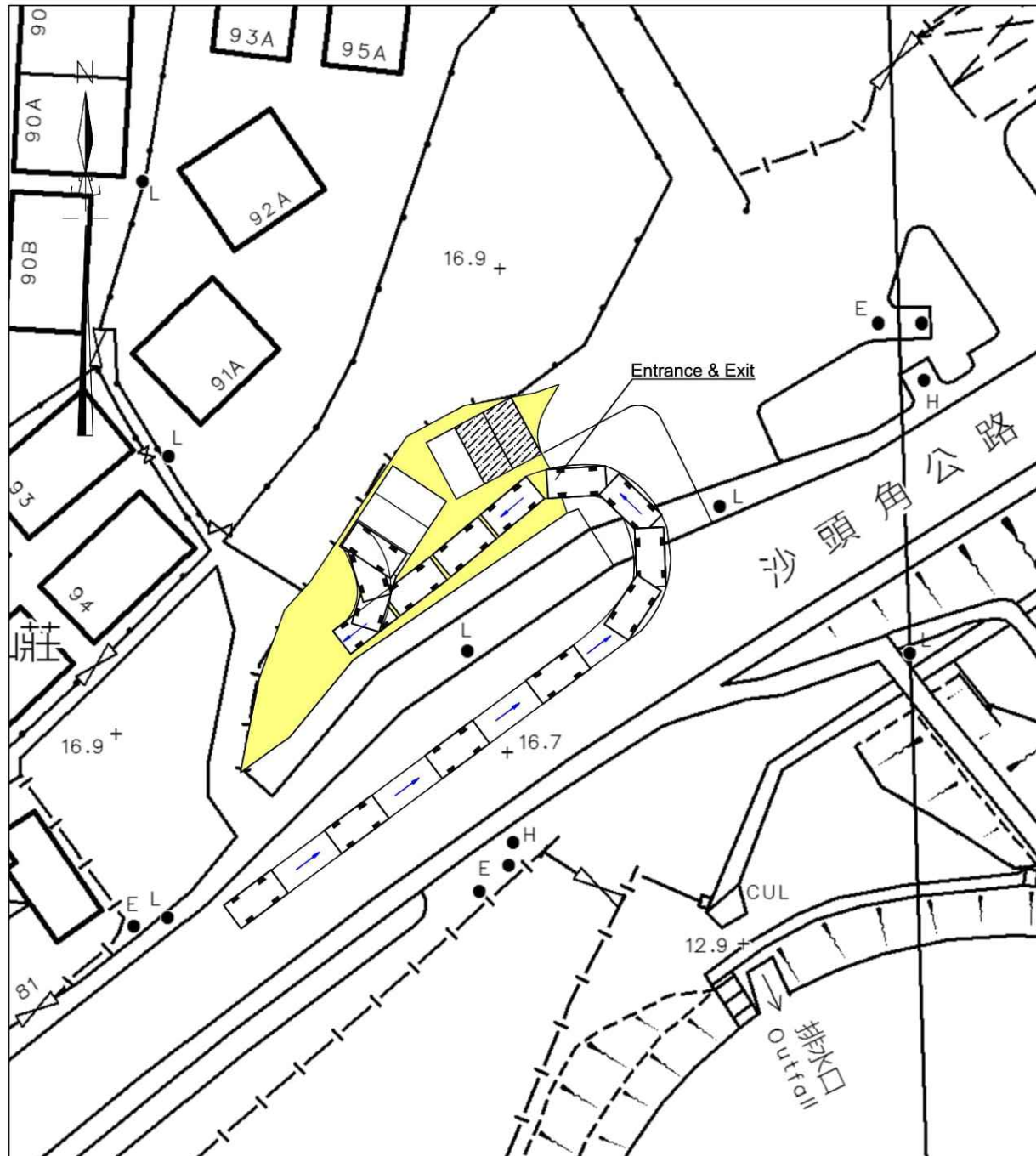
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1 : 500

Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/13

ROUTING PLAN



Legends :

- 4 Parking space for Private Car (5m x 2.5m) for each
- 2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
- Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

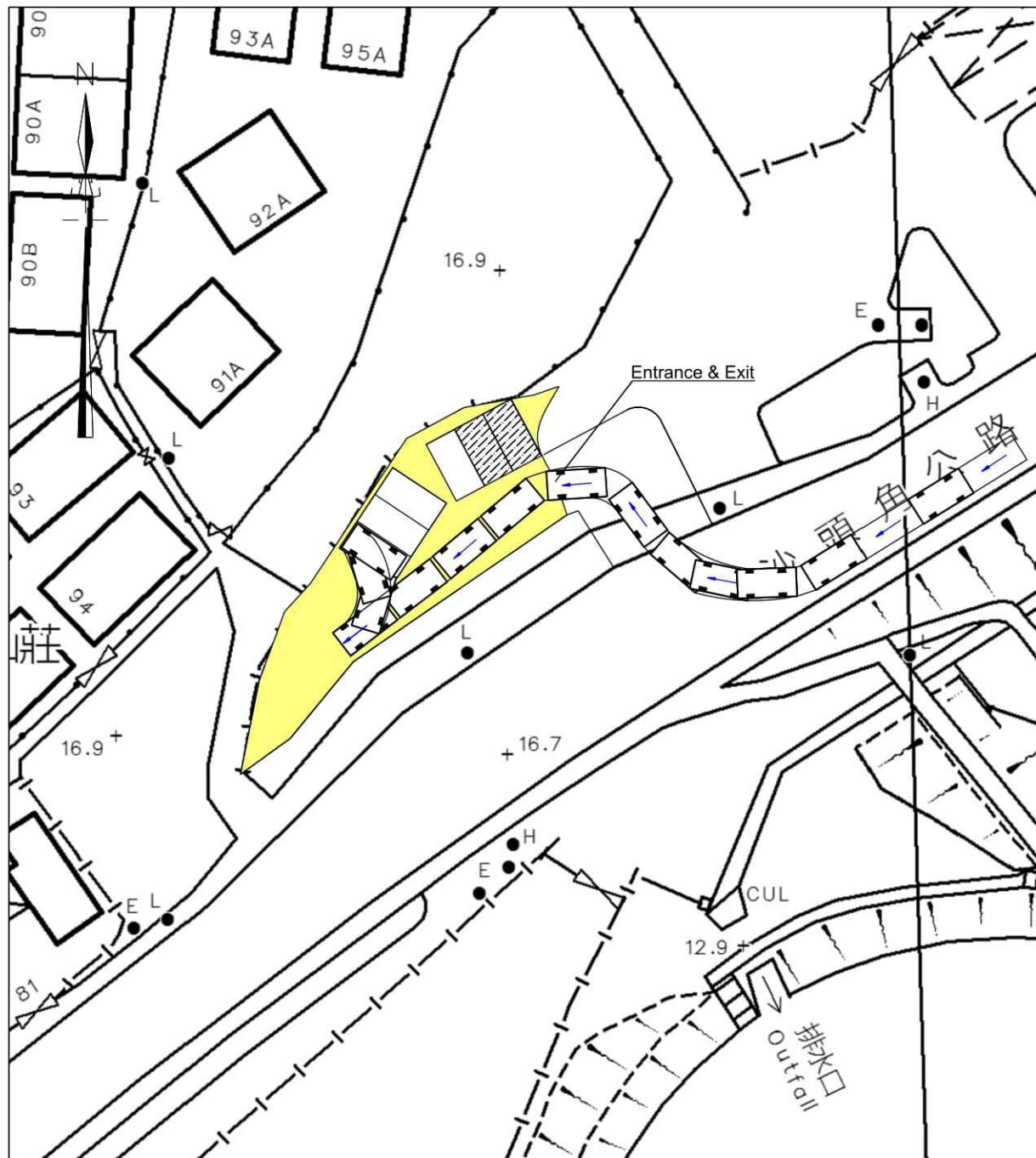
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Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/14

ROUTING PLAN



Legends :

-  4 Parking space for Private Car (5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

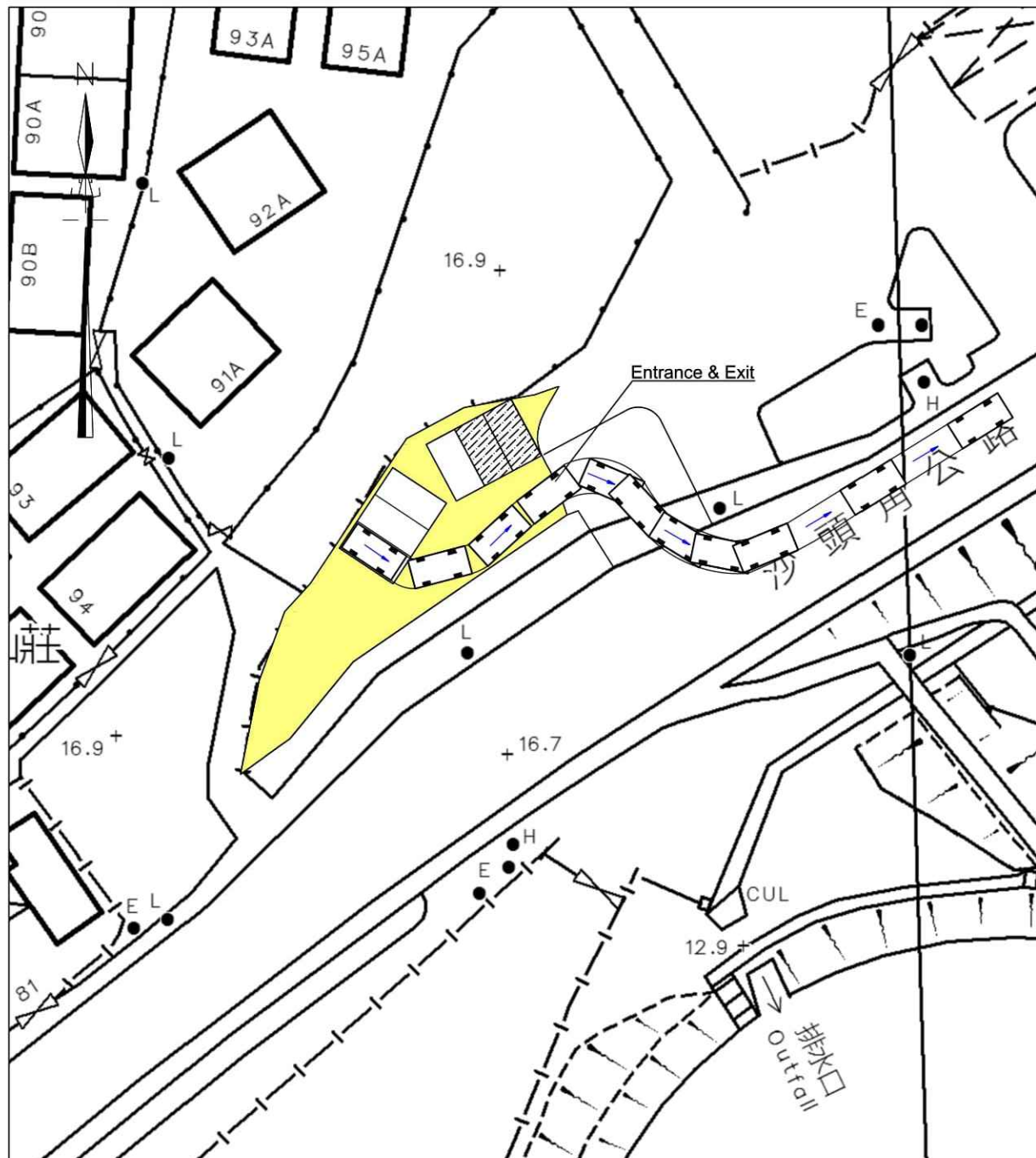
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Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/15

ROUTING PLAN



Legends :

-  4 Parking space for Private Car (5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle (5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

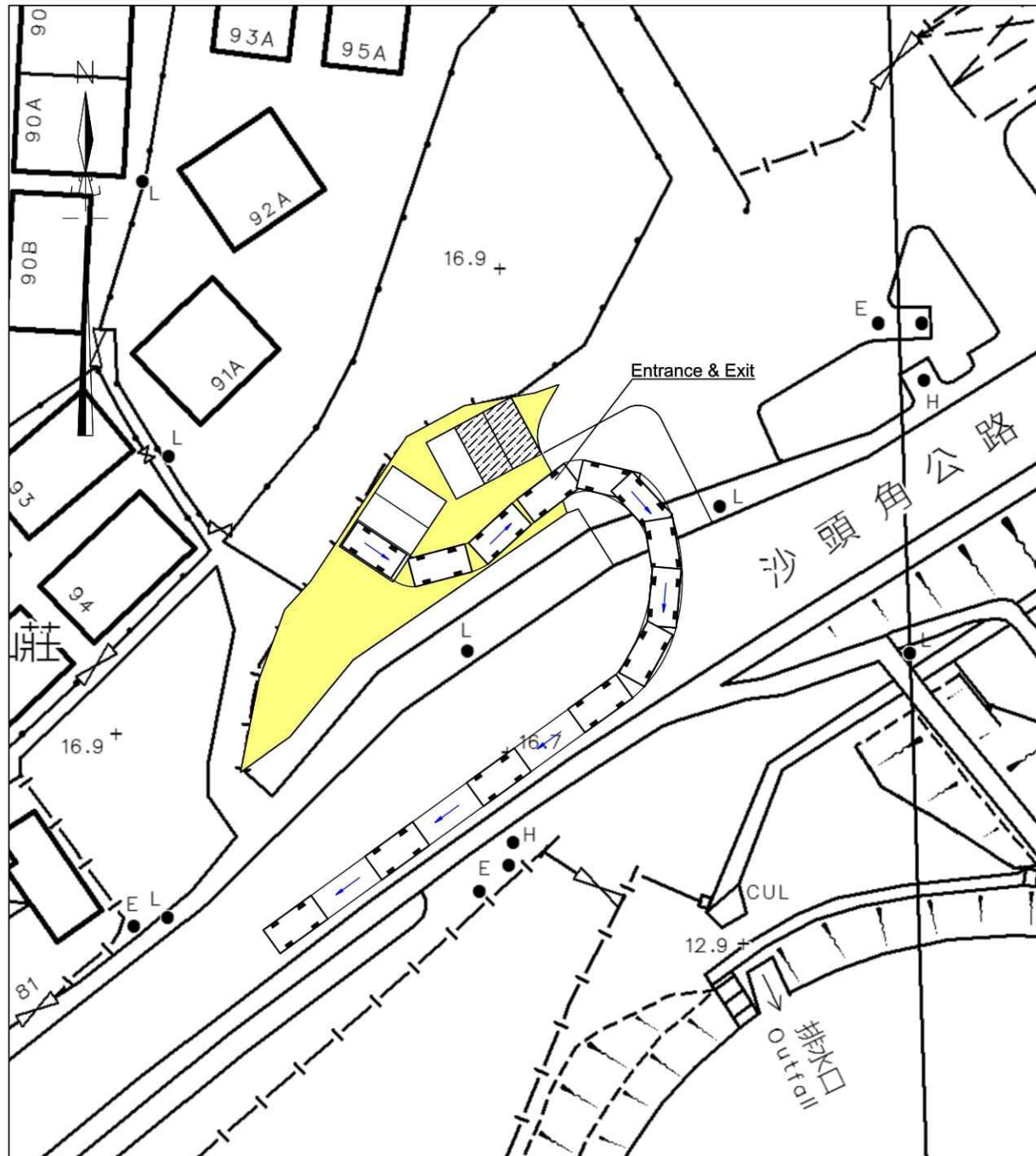
Scale :
1 : 500

Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/16

ROUTING PLAN



Legends :

-  4 Parking space for Private Car
(5m x 2.5m) for each
-  2 Parking space for Light Goods Vehicle
(5m x 2.5m) for each
-  Vehicle Access

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

Scale :
1 : 500

Survey Sheet No. :
3-SW-4B

Date :
24-07-2025

Figure No. :
AC/17

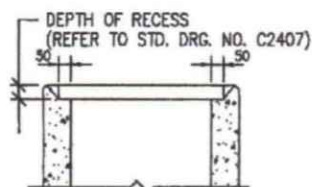
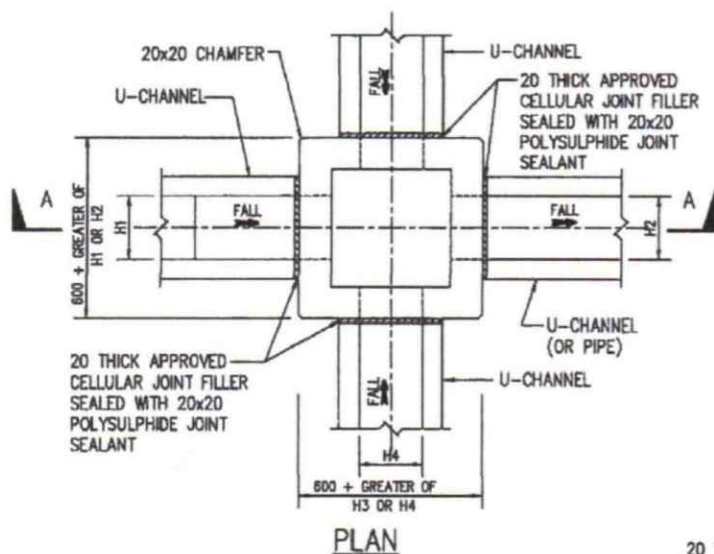
Design of
225 mm U - Channel
for
Lot 1495 S.B ss.2 RP
for use as a Temporary Private Car Park

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	STDP-01
	Figure Title	Proposed Stormwater Drainage Plan	Date	22-07-2025	Revision	--

Revision History

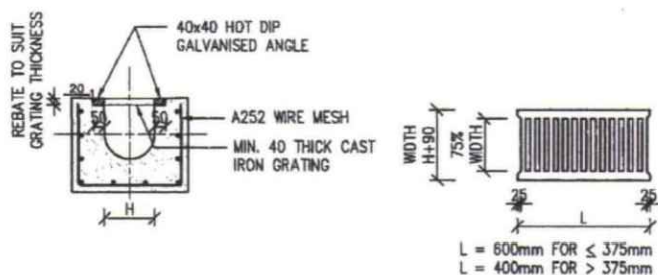
Revision	Submission Date	Reply Date	Section/ Description
0	July-2025	--	Initial issue

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	STDP-02
	Figure Title	Proposed Stormwater Drainage Plan	Date	22-07-2025	Revision	--



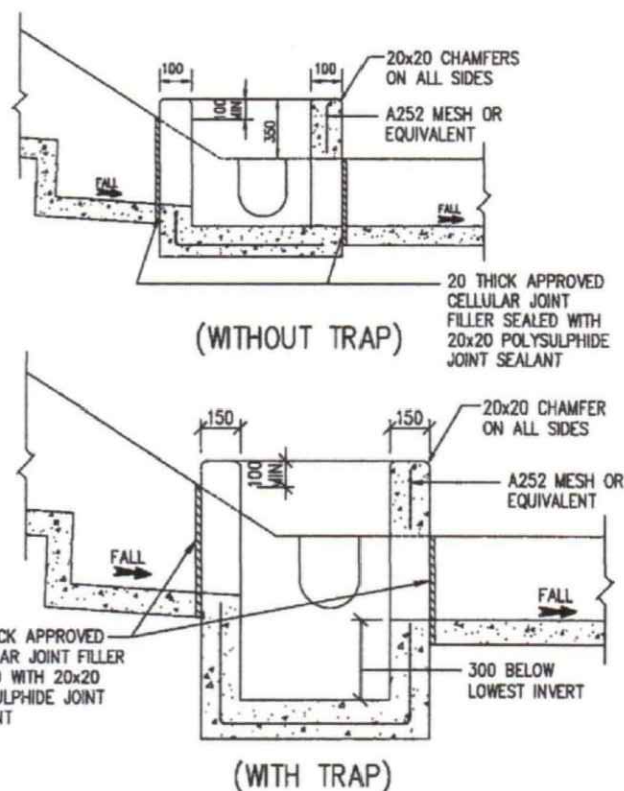
**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVER**

**STANDARD CATCHPIT DETAILS
(ACCORDING TO CEDD'S DRAWING NO. C2405I & 2406I)**



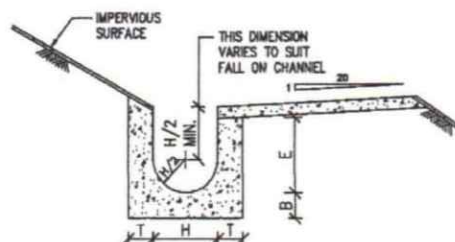
TYPICAL SECTION
(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

**U-CHANNEL WITH CAST IRON GRATING
(UP TO H OF 525)
(ACCORDING TO CEDD'S DRAWING NO. C2412E)**



NOTES

- (1) ALL DIMENSIONS ARE IN MILLIMETRES.
- (2) SIZE - DEPTH : $D \leq 750$
WIDTH : $W \geq 3B$
LENGTH : $L = 4.8D^{0.67} H^{0.5} F^{-0.5} > 4B$
- (3) GRADED STONE FILTER SHALL BE CRUSHER RUN GRANITE AGGREGATE.
- (4) THE SANDTRAP SHALL BE REGULARLY DESILTED TO AVOID BLOCKAGE.



NOMINAL SIZE (H)	T	B	REINFORCEMENT
225-300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN $E \geq 650$
375-600	100	150	
675-900	100	150	A252 MESH PLACED CENTRALLY

**TYPICAL U-CHANNEL DETAILS
(ACCORDING TO CEDD'S DRAWING NO. C2410G)
N.T.S.**

NOTES FOR U-CHANNEL

1. THE COVER OF PROPOSED U-CHANNEL SHALL BE FLUSH WITH THE PATH SURFACE AND ANY HOLE IN SUCH COVER SHALL NOT EXCEED 20mm IN ONE DIMENSION.
2. CAST IRON GRATINGS TO BE USED SHALL BE COMPLIANCE WITH BS 437:2008.

Appendix A - Design for 225 mm Drainage Pipe

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	STDP-05
	Figure Title	Proposed Stormwater Drainage Plan	Date	22-07-2025	Revision	--

Design flow for Part A			
Return Period : 200 Years			
Assume flow velocity : (m/s)	1.5		
Return Period T (years)		Rainfall Intensity:	$I = a / (T_c + b) ^ c$
200	(from Table 3 of DSD Practice Note No. 1/2017)		
a	1074.8		
b	12.47		
c	0.523		
Rational Method:			
$T_o = 0.14465 \cdot L / (H^{0.2})(A^{0.1})$		$Q = 0.278 \cdot C \cdot I \cdot A$	
$T_f = L/v$			
$T_c = T_o + T_f$			
Catchment Area of Part A			
Area(m ²)	107.75	$T_o =$	3.62 min
C-value	0.8	$T_f =$	0.47 min
Max. Elev. (mPD)	16.63	$T_c =$	4.08 min
Min. Elev.(mPD)	16.09	$I =$	247.66 mm/hr
Max. flow path, L (m)	41.98	$Q =$	0.0059 m ³ /s
Gradient, H (m in 100m)	1.3	$Q =$	356 (l/min)
Total Length of Channel, L (m)	41.98		
Flow capacity checking			
Design flow rate =	356 l/min		
Flow capacity of proposed 225mm open channel =	1008 l/min	>	356 l/min
			OK

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale --	Figure No. STDP-06
	Figure Title	Proposed Stormwater Drainage Plan	Date 22-07-2025	Revision --

Appendix B - Reference Clause from Hong Kong Code

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	STDP-07
	Figure Title	Proposed Stormwater Drainage Plan	Date	22-07-2025	Revision	--

Estimated Flow Capacity of the proposed 225mm dia. Open channel

According to Colebrook-White Equation in Table 12 of Stormwater Drainage Manual)

Length = 41.98 m

Inlet I.L. = 16.63 mPD

Outlet I.L. = 16.09 mPD

Gradient = 0.01286 (for conservative; fall is taken 1:100)

k_s = 14.0000 mm (Table 14 of Stormwater Drainage Mannual) normal classification

Colebrook-White

$$\bar{V} = -\sqrt{32gRS_f} \log \left[\frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

Drain Size Dia	Gradient S_f	Drain		Hydraulic. radius R (D/4 for circular pipe)	Coeff. $\sqrt{32gRS_f}$	Viscosity ν	Roughness k_s
		Capacity Area x $\bar{V}$	Velolcity $\bar{V}$				
(mm)		(m ³ /s)	(m/s)	(m)		(m ² /s)	(m)
225	0.01286	0.017	0.845	0.0563	0.48	1.14E-06	0.0140

Pipe capacity = 0.017 m³/s
= 1008 l/min

routing through drainage channels. The same consideration shall also be applied when ground gradients vary greatly within the catchment.

(b) *Runoff Coefficient.* C is the least precisely known variable in the Rational Method. Proper selection of the runoff coefficient requires judgement and experience on the part of the designer. The value of C depends on the impermeability, slope and retention characteristics of the ground surface. It also depends on the characteristics and conditions of the soil, vegetation cover, the duration and intensity of rainfall, and the antecedent moisture conditions, etc. In Hong Kong, a value of C = 1.0 is commonly used in developed urban areas.

In less developed areas, the following C values may be used but it should be checked that the pertinent catchment area will not be changed to a developed area in the foreseeable future. Particular care should be taken when choosing a C value for unpaved surface as the uncertainties and variability of surface characteristics associated with this type of ground are known to be large. It is important for designer to investigate and ascertain the ground conditions before adopting an appropriate runoff coefficient. Designers may consider it appropriate to adopt a more conservative approach in estimation of C values for smaller catchments where any consequent increase in cost may not be significant. However, for larger catchments, the designers should exercise due care in the selection of appropriate C values in order to ensure that the design would be fully cost-effective.

<i>Surface Characteristics</i>	<i>Runoff coefficient, C*</i>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

* For steep natural slopes or areas where a shallow soil surface is underlain by an impervious rock layer, a higher C value of 0.4 - 0.9 may be applicable.

** Heavy soil refers to fine grain soil composed largely of silt and clay

(c) *Rainfall intensity.* i is the average rainfall intensity selected on the basis of the design rainfall duration and return period. The design rainfall duration is taken as the time of concentration, t_c . The Intensity-Duration-Frequency Relationship is given in Section 4.3.2.

(d) *Time of concentration.* t_c is the time for a drop of water to flow from the remotest point in the catchment to its outlet. For an urban drainage system,

$$t_c = t_o + t_f \qquad t_f = \sum_{j=1}^n \frac{L_j}{V_j}$$

where t_o = inlet time (time taken for flow from the remotest point to reach the most upstream point of the urban drainage

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	STDP-09
	Figure Title	Proposed Stormwater Drainage Plan	Date	22-07-2025	Revision	--

Table 3a – Storm Constants for Different Return Periods of HKO Headquarters

Return Period T (years)	2	5	10	20	50	100	200	500	1000
a	499.8	480.2	471.9	463.6	451.3	440.8	429.5	414.0	402.1
b	4.26	3.36	3.02	2.76	2.46	2.26	2.05	1.77	1.55
c	0.494	0.429	0.397	0.369	0.337	0.316	0.295	0.269	0.251

Table 3b – Storm Constants for Different Return Periods of Tai Mo Shan Area

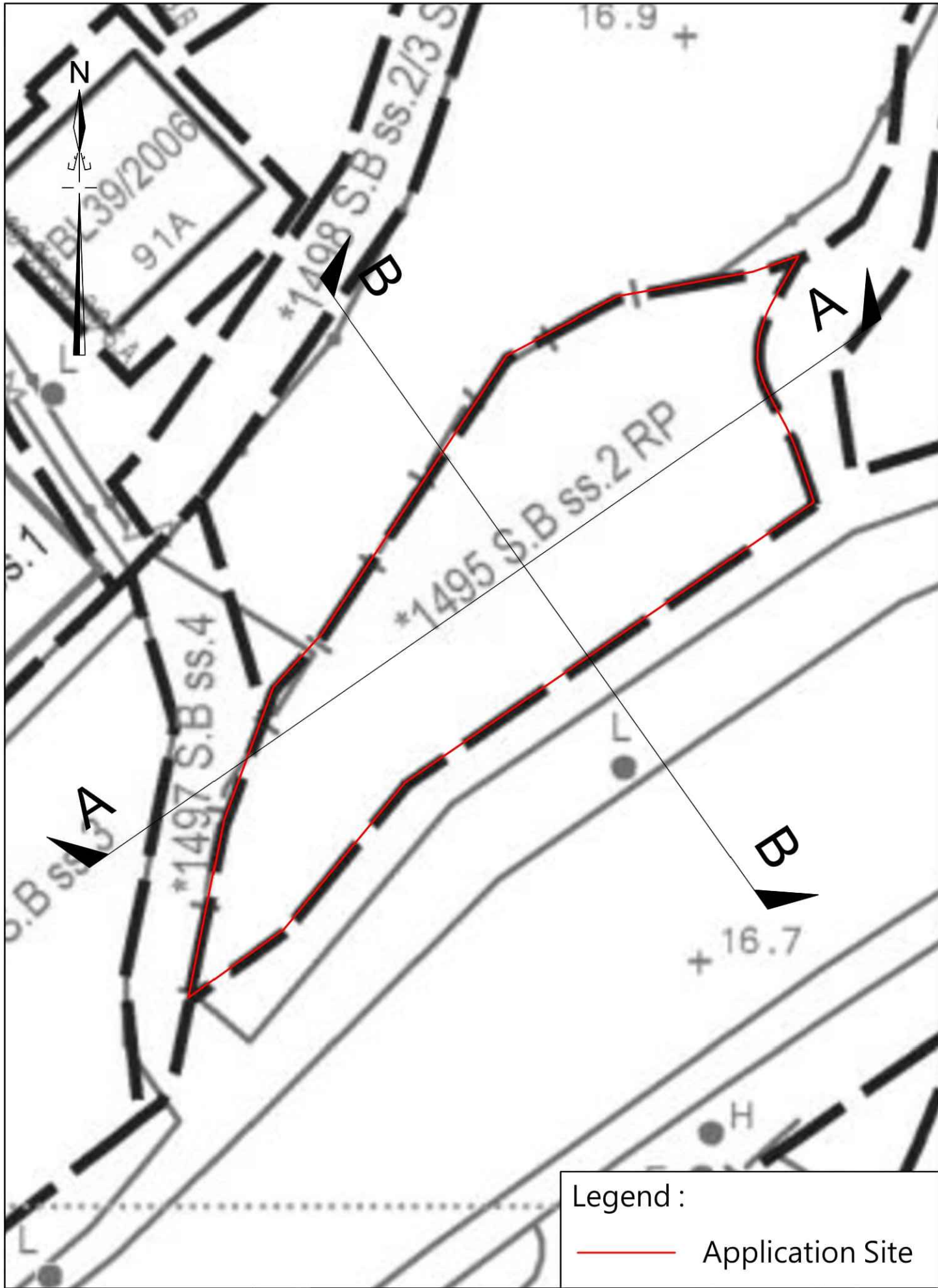
Return Period T (years)	2	5	10	20	50	100	200
a	1743.9	2183.2	2251.3	2159.2	1740.1	1307.3	1005.0
b	22.12	27.12	27.46	25.79	19.78	12.85	7.01
c	0.694	0.682	0.661	0.633	0.570	0.501	0.434

Table 3c – Storm Constants for Different Return Periods of West Lantau Area

Return Period T (years)	2	5	10	20	50	100	200
a	2047.9	1994.1	1735.2	1445.6	1107.2	909.1	761.8
b	24.27	24.23	21.82	18.36	13.01	8.98	5.40
c	0.733	0.673	0.619	0.561	0.484	0.428	0.377

Table 3d – Storm Constants for Different Return Periods of North District Area

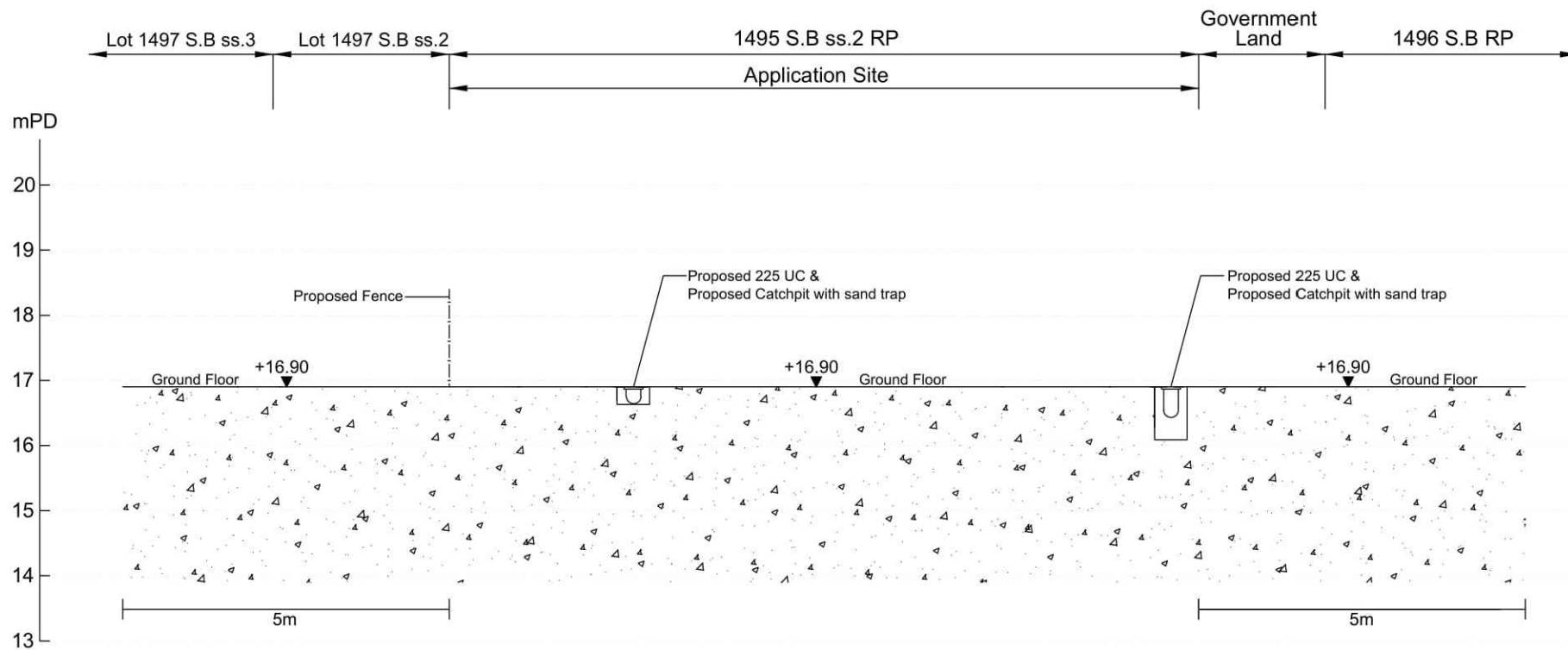
Return Period T (years)	2	5	10	20	50	100	200
a	1004.5	1112.2	1157.7	1178.6	1167.6	1131.2	1074.8
b	17.24	18.86	19.04	18.49	16.76	14.82	12.47
c	0.644	0.614	0.597	0.582	0.561	0.543	0.523



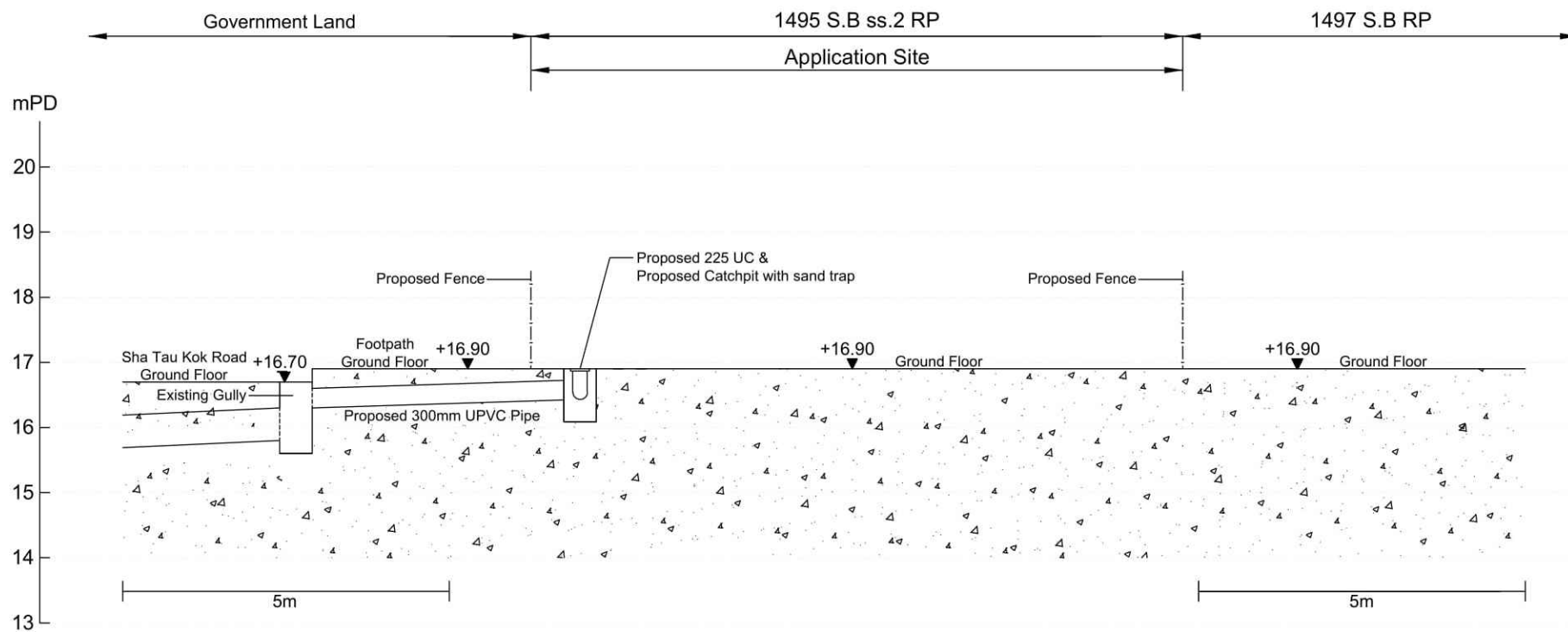
Legend :

Application Site

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	CS-D1
	Figure Title	Cross Section	Date	22-07-2025	Revision	--



卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	Figure No.
	Figure Title	SECTION A - A	Not to scale	CS/D2
			Date	Revision
			22-07-2025	--



卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

Project Title

Lot No. 1495 S.B ss.2 RP IN D.D. 76,
Hung Leng, Fanling, N.T.

Scale

Not to scale

Figure No.

CS/D3

Figure Title

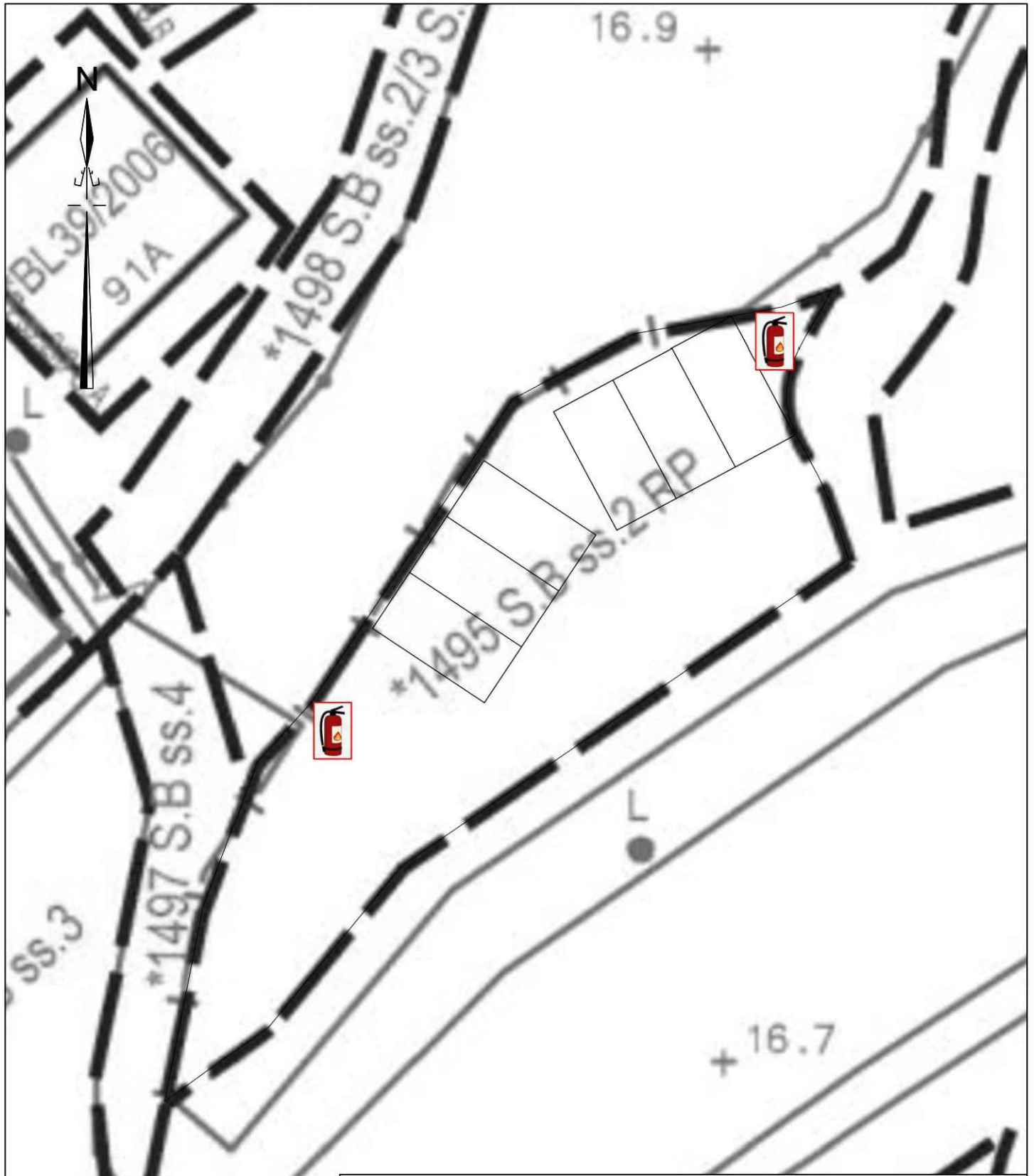
SECTION A - A

Date

22-07-2025

Revision

--

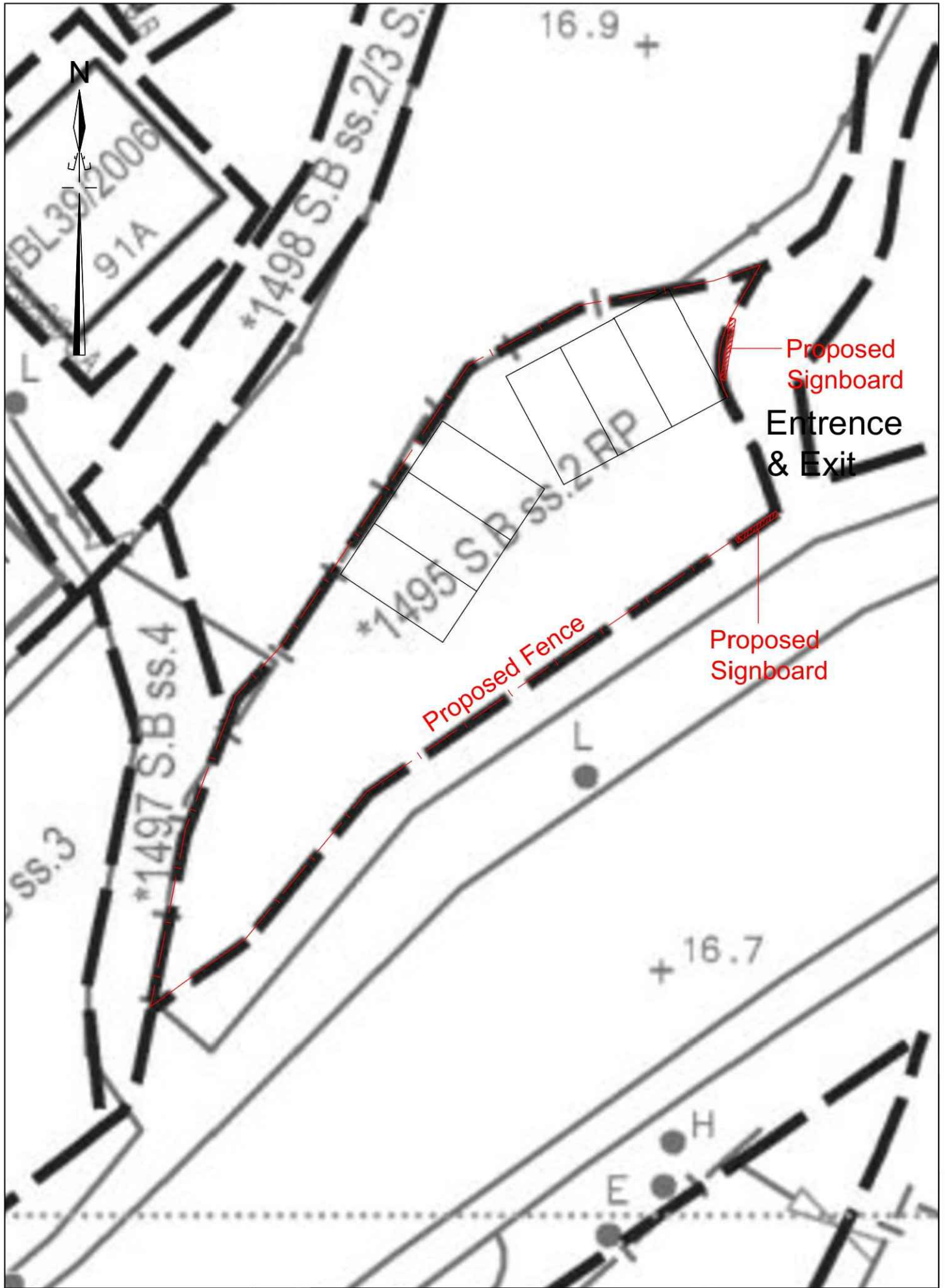


Legend :



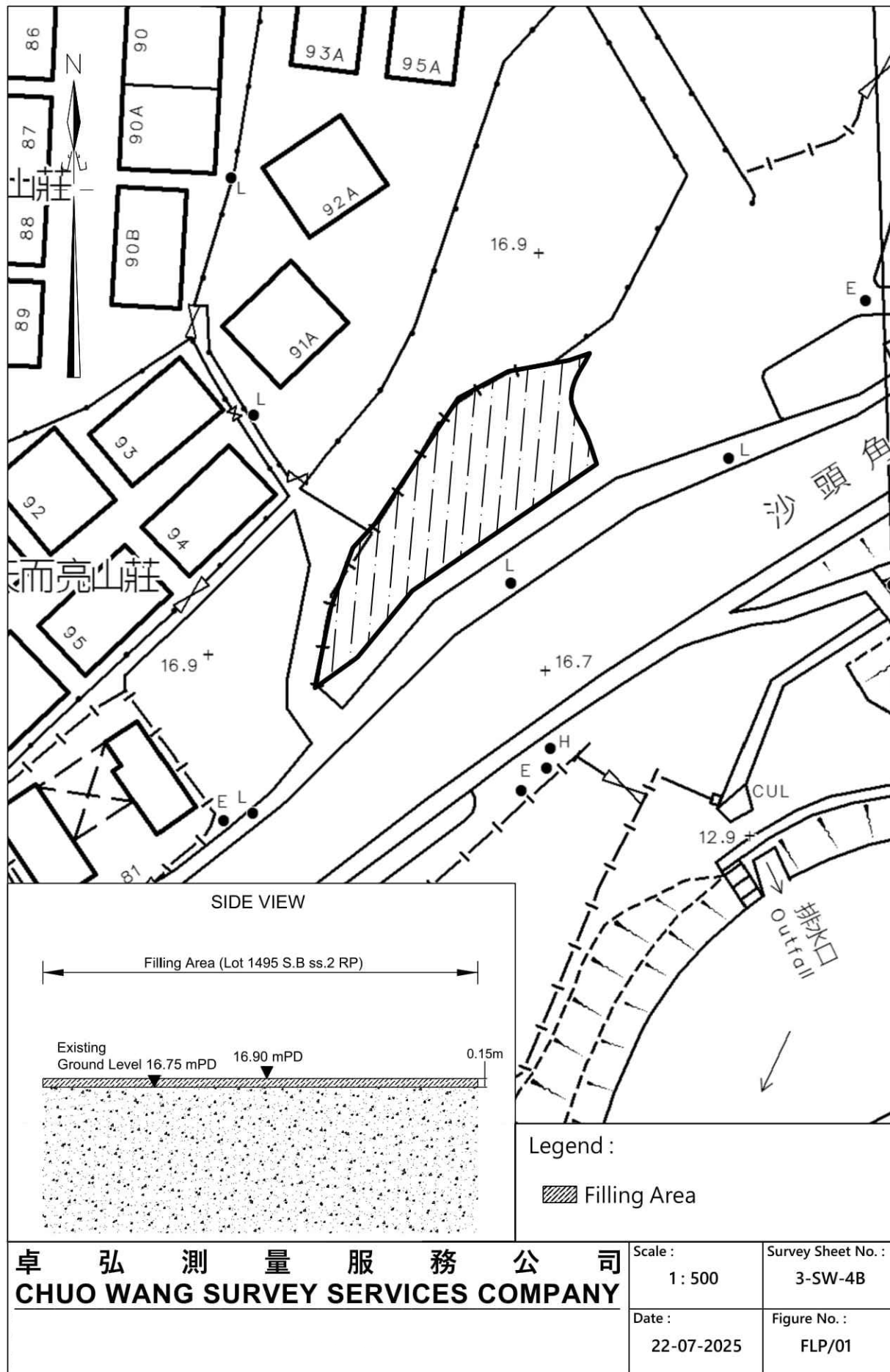
5KG CO2 FIRE EXTINGUISHER x 2

卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	FSI-01
	Figure Title	Proposed Fire Service Installation	Date	22-07-2025	Revision	--



卓 弘 測 量 服 務 公 司 CHUO WANG SURVEY SERVICES COMPANY	Project Title	Lot No. 1495 S.B ss.2 RP IN D.D. 76, Hung Leng, Fanling, N.T.	Scale	--	Figure No.	TMM-01
	Figure Title	Proposed Traffic Management Measures	Date	22-07-2025	Revision	--

FILLING PLAN



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Brian Ching Hong CHAN/PLAND

寄件者: peter pang < >
寄件日期: 2025年09月17日星期三 12:09
收件者: Brian Ching Hong CHAN/PLAND
主旨: Fwd: A/NE-TKL/817
類別: Internet Email

Dear Mr. Chan,

The current planning application has the same number of parking spaces, site area, layout and entrance/exit locations as application no. TKL/772.

Since the current application site is already filled, this application applies for regularization of filling of land, there will be no need for further filling in the future.

The fire service installation proposal is also exactly the same as the earlier one as approved under application no. TKL/772.

No vehicles without valid license issue under the road traffic ordinance is allowed to be parked at the site.

Thank you!

Regards,
H.Y.Pang

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Co

Sheren Si Wai LEE/PLAND

寄件者: [REDACTED]
寄件日期: 2025年10月28日星期二 16:02
收件者: Sheren Si Wai LEE/PLAND; tpbpd/PLAND
主旨: Planning Application No. A/NE-TKL/817 - Temporary Private Car Park (Private Cars and Light Goods Vehicles)
附件: D.D. 76 Lot 1495 S.B ss.2 RP (1)-模型.pdf; D.D. 76 Lot 1495 S.B ss.2 RP P.3.pdf
類別: Internet Email

Dear Sheren Lee,

We reply to TD' s comments.

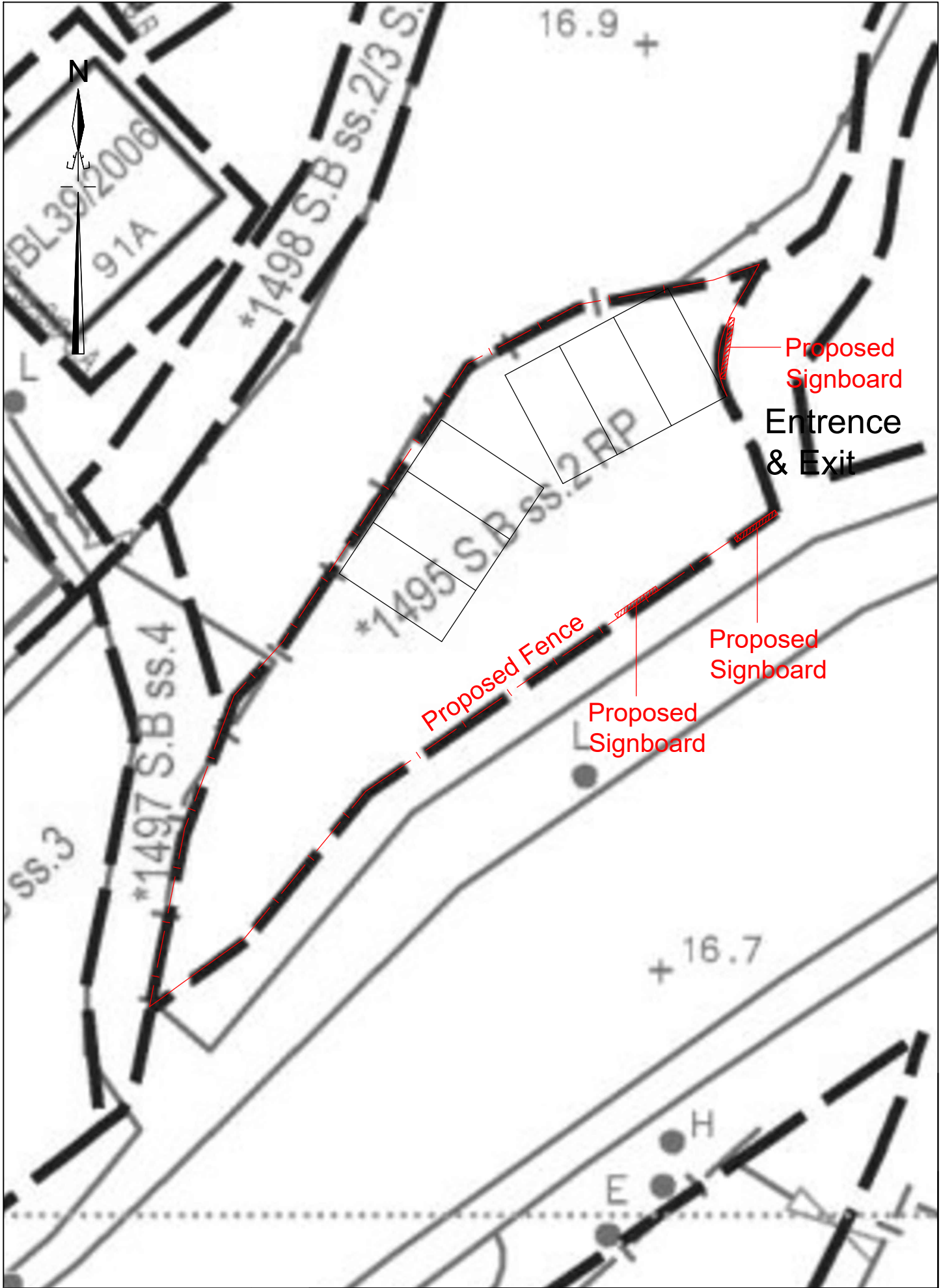
1. We will not install a gate at the entry.
2. We will set up signs at the entrance and in prominent places in the parking lot to remind pedestrians to watch out for vehicles and to remind parking lot users to watch out for pedestrians.
3. We will set up physical separation should be used to block vehicles from entering and exiting the subject site at locations other than the proposed entrance.
4. We will remind parking lot users that they must give way to buses, at the same time, we will set up signs to remind that buses must be given priority.
5. We will seek comments from the responsible party.
6. Vehicles without a valid license issued under the Road Traffic Ordinance are not allowed to enter the application site.
7. Please find the enclosed plan for show the signs and physical separation.
8. We will use a fence approximately 1.5 m high as physical separation.

At the same time, please find the revised form for your record.

Thank You !

Regards,

H.Y.Pang



卓弘測量服務公司
CHUO WANG SURVEY SERVICES COMPANY

Project Title

Lot No. 1495 S.B ss.2 RP IN D.D. 76,
Hung Leng, Fanling, N.T.

Scale

--

Figure No.

TMM-01

Figure Title

Signs & Physical Separation

Date

27-10-2025

Revision

--

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/NE-TKL/14 坪輦及打鼓嶺分區計劃大綱圖
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture 農業
(f) Current use(s) 現時用途	Vacant Land 空置土地 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole “current land owner”^{”#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{”#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{”#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{”#&} (請夾附業權證明文件)。
- ☐ is not a “current land owner”^{”#}.
並不是「現行土地擁有人」^{”#}。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”^{”#}.
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」^{”#}。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of “current land owner(s)”^{”#}.
已取得 名「現行土地擁有人」^{”#}的同意。

Details of consent of “current land owner(s)” ^{”#} obtained 取得「現行土地擁有人」 ^{”#} 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

Previous S.16 Application

Approved Application

	Application No.	Uses/ Development	Date of Consideration
1	A/NE-TKL/772	Proposed Temporary Private Vehicle Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years and Associated Filling of Land	6.12.2024 (Revoked on 6.6.2025)

**Similar S.16 Applications for Temporary Private/Public Car Park
in the Vicinity of the Application Site within “Agriculture” Zone in the Past Five Years**

Approved Applications

	Application No.	Uses/ Development	Date of Consideration
1	A/NE-TKL/747	Proposed Temporary Private Vehicle Park (Excluding Container Vehicles) for a Period of 3 Years and Associated Filling of Land	19.7.2024
2	A/NE-LYT/741	Proposed Temporary Public Vehicle Park for Private Cars and Medium Goods Vehicles, and Warehouse for Storage of Construction Materials for a Period of 3 Years	10.9.2021 (Revoked on 10.6.2023)
3	A/NE-LYT/749 [@]	Renewal of Planning Approval for Temporary Public Vehicle Park for Private Cars and Light Goods Vehicles for a Period of 3 Years	25.6.2021
4	A/NE-LYT/827 [@]	Renewal of Planning Approval for Temporary Public Vehicle Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	19.7.2024

[@] : The applications No. A/NE-LYT/749 and A/NE-LYT/827 involve the same site.

Rejected Application

	Application No.	Uses/ Development	Date of Consideration	Rejection Reasons
1	A/NE-TKL/646	Proposed Temporary Public Vehicle Park for a Period of 3 Years	6.11.2020	R1,R2

Rejection Reasons

- R1 The proposed development was not in line with the planning intention of the “Agriculture” zone, which was primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes and to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. There was no strong planning justification in the submission for a departure from such planning intention, even on a temporary basis.
- R2 The applicant failed to demonstrate that the proposed development would not cause adverse traffic impact on the surrounding areas.

Detailed Comments from Relevant Government Departments

1. Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- no objection to the application;
- the application site (the Site) comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through Government land (GL) but no right of access via GL is granted to the Site. On the other hand, other private lot will have to be passed through according to the routing plan, the applicants shall make their own arrangement;
- his office noted that no structure is proposed in the application; and
- his advisory comments are at **Appendix V**.

2. Traffic

Comments of the Commissioner for Transport (C for T):

- no comment on the application; and
- her advisory comments are at **Appendix V**.

Comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD):

- no comment on the application from highways maintenance point of view; and
- his advisory comments are at **Appendix V**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from the public drainage viewpoint;
- the submitted drainage proposal has not been prepared to her satisfaction. Hence, should the application be approved, a condition should be included to request the applicants to submit and implement a revised drainage proposal for the Site to ensure that it will not cause adverse drainage impact on the adjacent areas. The drainage facilities should be properly maintained at all times during the planning approval period and rectified if they are found inadequate/ineffective during operation;
- the Site is in an area where public sewerage connection is available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the proposed use; and

- her advisory comments are at **Appendix V**.

4. **Environment**

Comments of the Director of Environmental Protection (DEP):

- no objection to the application from the environmental perspective since the application does not involve the use of heavy vehicle or dusty operation;
- no environmental complaint against the Site was received in the past three years; and
- his advisory comments are at **Appendix V**.

5. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no adverse comment on the application from the landscape planning perspective;
- based on the aerial photo of 2024, the Site is located in an area of miscellaneous rural fringe landscape character comprising village houses, farmlands, vegetated areas, open storages and clusters of trees. The proposed use is not entirely incompatible with the landscape character of the surroundings;
- based on the site photos taken on 16.9.2025, the Site is vacant and partially covered by existing self-seeded vegetation of common/undesirable species with no sensitive landscape resources. With reference to the applicants' submission, tree felling is not anticipated. Significant adverse impact on existing landscape resources within the Site arising from the proposed use is not anticipated; and
- her advisory comments are at **Appendix V**.

6. **Water Supplies**

Comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD):

- no objection to the application; and
- his advisory comments are at **Appendix V**.

7. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- site formation works, i.e. land filling works, are building works under the control of the Buildings Ordinance (BO). Before the filling of land is to be carried out on site, the prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorised buildings works. An Authorised Person should be appointed as the co-

ordinator for the site formation in accordance with the BO; and

- his advisory comments are at **Appendix V**.

8. Other Departments

The following government departments have no objection to/ no comments on the application:

- (a) Director of Fire Services (D of FS);
- (b) Head of Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD);
- (c) Project Manager (North), CEDD (PM(N), CEDD); and
- (d) District Officer (North), Home Affairs Department (DO(N), HAD).

Recommended Advisory Clauses

- (a) should the applicants fail to comply with the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given to any further application;
- (b) failure to reinstate the application site (the Site) as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (c) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through Government land (GL) but no right of access via GL is granted to the Site. On the other hand, other private lot will have to be passed through according to the routing plan, the applicants shall make their own arrangement; and
 - (ii) the applicants should comply with all the land filling requirements imposed by relevant Government departments. GL should not be disturbed unless with prior approval;
- (d) to note the comments of the Commissioner for Transport (C for T) that the vehicular access between the Site and Sha Tau Kok Road is not managed by Transport Department (TD). The applicants should seek comment from the responsible party;
- (e) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
 - (i) the proposed access arrangement should be commented by TD;
 - (ii) HyD is not/shall not be responsible for the maintenance of any access connecting the Site and Sha Tau Kok Road - Ma Mei Ha;
 - (iii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - (iv) the applicants should take adequate precautionary measures to avoid damaging roads, street furniture, drainage and slopes etc. maintained by his office. Damage caused to roads, street furniture, drainage and slopes etc. maintained by his office due to the proposed work shall be repaired to his satisfaction at the applicants' own costs;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - (i) the drainage facilities should be properly maintained at all times and rectified if they are found inadequate/ ineffective during operation;
 - (ii) the applicants should construct and maintain the proposed drainage facilities whether within or outside the Site at their own expense;

- (iii) the Site is in an area where public sewerage connection is available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the proposed use; and
- (iv) the submitted drainage proposal has not been prepared to her satisfaction. The applicants should submit a revised drainage proposal for her review. Her comments on the submitted drainage proposal are as follows:

General Comments

- the applicants should be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve their obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to accommodate all discharge water collected from their lot and all upstream catchments. The applicants shall effect any subsequent upgrading of these proposed works and the downstream drainage systems whenever necessary;
- the cover levels of proposed u-channels and catch pits should be flush with the adjoining ground level;
- the applicants should check and ensure that the existing drainage system to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the subject lots. The applicants should also ensure that the flow from the Site will not overload the existing drainage system;
- the applicants are reminded that where walls are erected or kerbs are laid along the boundary of the Site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD;
- the existing discharge location to which the applicants proposed to discharge the stormwater from the Site is not maintained by DSD. The applicants should identify the owner of the existing discharge location to which the proposed connection will be made and obtain agreement from the owner prior to commencement of proposed works;
- the applicants are reminded that all existing flow paths as well as the run-off falling onto and passing through the Site should be intercepted and disposed of via proper discharge points. The applicants shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the Site any time during or after the works;
- the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the applicants at their own expense;
- for works to be undertaken outside the lot boundary, the applicants should obtain prior agreement from the DLO/N, LandsD, HyD and/or relevant private lot owners;
- the applicants should make good all the adjacent affected areas upon the completion of the drainage works;
- the applicants should construct and maintain the proposed drainage works properly and rectify the system if it is found to be inadequate or ineffective during operation;
- as usual, Government should be empowered to inspect conditions of the private

drainage system and to enforce its cleansing by the owners, if necessity arises (e.g. upon receipt of complaints);

- the existing drainage facilities, watercourse, river, channel and the like should not be affected and obstructed by the construction materials, waste or debris from the proposed use;

Specific Comments

- the applicants should note that the existing gully to which the applicants proposed to discharge the stormwater from the Site is maintained by the HyD. The applicants should seek comments from the HyD regarding the drainage proposal and agree with HyD the maintenance responsibilities of the existing drainage facilities downstream to the Site (i.e. the existing gully and its downstream). DSD would not take over the concerned existing drainage facilities for maintenance;
 - Regarding figure No. STDP-03, the applicants should review and update the following:
 - (i) the upstream invert level of the proposed 300mm underground pipe is lower than its downstream invert level;
 - (ii) the “Connect Details” does not match the plan;
 - (iii) the cover and invert levels of the starting points of u-channels are not legible; and
 - (iv) the minimum cover from the surface of the footway to the top of the pipeline shall be 450 mm;
 - Appendix A: the applicants should clarify if this appendix is relevant to the submission as 225mm drainage pipes could not be found on the drainage plan;
 - Appendix B:
 - (i) design calculation of peak runoff, the proposed 300mm PVC pipe and the existing underground channel should be provided;
 - (ii) the hydraulic radius for u-channel should be adopted; and
 - (iii) storm constants stated in Stormwater Drainage Manual Corrigendum No.1/2024 should be adopted;
- (g) to note the comments of the Director of Environmental Protection (DEP) that the applicants should observe the requirements of the ‘Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites’ to avoid causing nuisance to the surroundings;
- (h) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the application does not imply approval of tree works such as pruning, transplanting, felling and compensatory/ new tree planting. The applicants are reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works;
- (i) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD) that:
- (i) existing water mains inside the Site as shown in the Mains Record Plan (**Appendix Va**) may be affected. The applicants are required to either divert or protect the water mains found on site;
 - (ii) if diversion is required, existing water mains inside the Site are needed to be diverted outside the site boundary of the Site to lie in GL. A strip of land of minimum 1.5m in

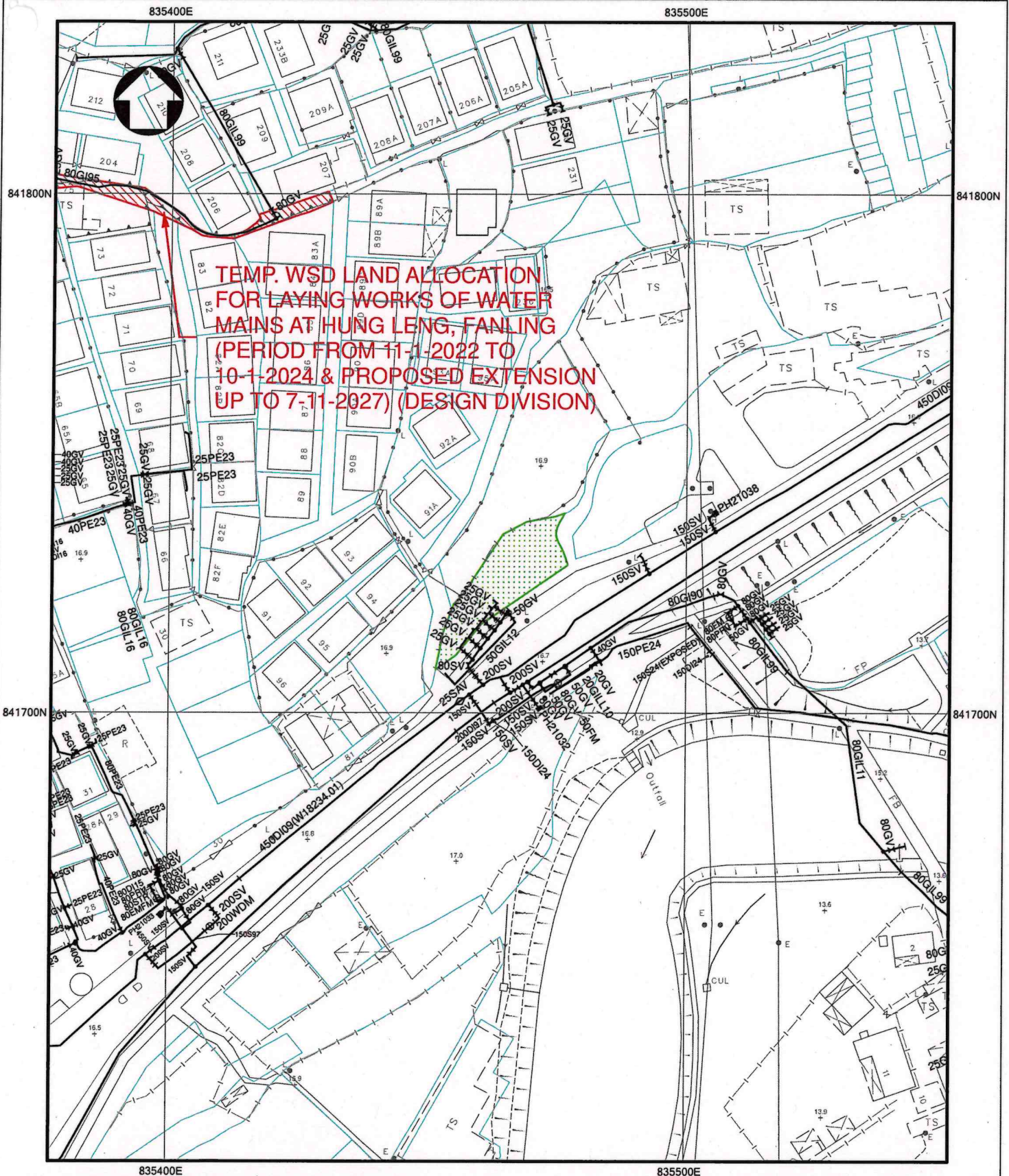
width should be provided for the diversion of existing water mains. The cost of diversion of existing water mains upon request will have to be borne by the applicants; and the applicants shall submit all the relevant proposal to WSD for consideration and agreement before the works commence; and

(iii) if diversion is not required, the following conditions shall apply:

- existing water mains are affected as indicated on the plan at **Appendix Va** and no development which requires resiting of water mains will be allowed;
- details of site formation works shall be submitted to the Director of Water Supplies (D of WS) for approval prior to commencement of works;
- no structures shall be built or materials stored within 1.5m from the centre line(s) of water main(s) shown on the plan. Free access shall be made available at all times for staff of the D of WS or their contractor to carry out construction, inspection, operation, maintenance and repair works;
- no trees or shrubs with penetrating roots may be planted within the Water Works Reserve or in the vicinity of the water main(s) shown on the plan. No change of existing site condition may be undertaken within the aforesaid area without the prior agreement of the D of WS. Rigid root barriers may be required if the clear distance between the proposed tree and the pipe is 2.5m or less, and the barrier must extend below the invert level of the pipe;
- no planting or obstruction of any kind except turfing shall be permitted within the space of 1.5m around the cover of any valve or within a distance of 1m from any hydrant outlet; and
- tree planting may be prohibited in the event that the D of WS considers that there is any likelihood of damage being caused to water mains; and

(j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD that:

- (i) site formation works, i.e. land filling works, are building works under the control of the Buildings Ordinance (BO). Before the filling of land is to be carried out on site, the prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorised buildings works. An Authorised Person should be appointed as the co-ordinator for the site formation in accordance with the BO;
- (ii) the applicants' attention is also drawn to the provision under Regulations 40 and 41 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of foul water and surface water respectively;
- (iii) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the Building (Planning) Regulations; and
- (iv) detailed checking under the BO will be carried out at building plan submission stage.



- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM.
 3. INFORMATION ON ALIGNMENT OF MAINS IS OF INDICATIVE VALUE ONLY. WHERE POSITIONAL ACCURACY MAY BE OF IMPORTANCE, DETAILS SHOULD BE SITE CHECKED.
 4. FOR MAINS RECORDS SIGN CONVENTIONS AND DESIGNATIONS SEE SKETCH NO. 3988.
 5. NO EXISTING SALT WATER MAINS IN THE VICINITY OF THE SITE.
 6. NO PROPOSED WATER MAINS IN THE VICINITY OF THE SITE.
 7. NO EXISTING WSD CABLE IN THE VICINITY OF THE SITE.
 8. NO PROPOSED WSD CABLE IN THE VICINITY OF THE SITE.
 9. THE SITE IS NOT WITHIN WSD GATHERING GROUNDS.
 10. NO WSD SLOPES ARE AFFECTED IN THE VICINITY OF THE SITE.

SUBJECT SITE



PRIVATE LOT
BOUNDARY
(FOR REF. ONLY)



PART COPY OF FRESH WATER MAINS RECORD PLAN(S)

W67880/3-SW-4B

FILE REF: (15) IN WSD/M/SP 3051/437/242S/14 PT.1

REF. CODE: 38W25M

SHEET 1 OF 1

SCALE 1:1000



水務署
Water Supplies Department

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

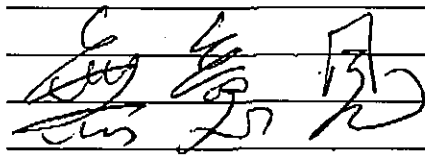
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-TKL/817

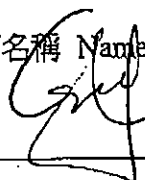
意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment 侯志強議員

簽署 Signature



日期 Date

2025.9.19

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-TKL/817

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

沒有意見!

「提意見人」姓名/名稱 Name of person/company making this comment

龍山記裝修部 葉英成

簽署 Signature

日期 Date

2-10-2025

3

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

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Details of the Comment (use separate sheet if necessary)

贊成！孔嶺及附近能供私家車泊車的地方
嚴重不足，長期未得到改善。

「提意見人」姓名/名稱 Name of person/company making this comment

邱為鈞

簽署 Signature

2

日期 Date

26/9/2025

(孔嶺原居民代表)



From:
Sent: 2025-10-05 星期日 02:49:08
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/NE-TKL/817 DD 76 Hung Leng Tsuen

Dear TPB Members,

772 approved 4 Oct 2024. Revoked 6 June this year, Drainage conditions not fulfilled. This application comes with drainage plans.

Strangely the adjoining facility 747 approved on 15 Mar 2024 still allowed extension although the issue is probably the same.

Of course members, who probably do not even bother to read the particulars of the streamlined applications, did not question why the two parking lots are not combined to achieve economies and efficiency.

No wonder NT villages are such a mess.

Mary Mulvihill

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Thursday, 12 September 2024 11:18 PM HKT
Subject: A/NE-TKL/772 DD 76 Hung Leng Tsuen

Dear TPB Members,

742 withdrawn, back with number of vehicles reduced to 7. The adjoining lot has since then been approved under 747.

Members should question why the two parking lots are not operated as one to achieve efficiencies in land use.

Mary Mulvihill

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Thursday, 9 November 2023 3:05 AM HKT
Subject: A/NE-TKL/742 DD 76 Hung Leng Tsuen

A/NE-TKL/742

Lot 1495 S.B ss.2 RP in D.D. 76, Hung Leng, Fanling

Site area: About 275.6sq.m

Zoning: "Agriculture"

Applied use: 11 Vehicle Parking

Dear TPB Members,

The site is an already developed parking lot. What members should question is why there is no application for the adjoining lot being used for a similar operation and also with no record of previous approval.

Is it being operated by the same person/company?

Mary Mulvihill