

2025年10月13日

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

2025-10-13

This document is received on _____
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2502275 3/10 By Hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-KT3/1103
	Date Received 收到日期	2025-10-13

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件（倘有），送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會（下稱「委員會」）秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張，然後填寫此表格。該份文件可從委員會的網頁下載（網址：<http://www.tpb.gov.hk/>），亦可向委員會秘書處（香港北角渣華道 333 號北角政府合署 15 樓 - 電話：2231 4810 或 2231 4835）及規劃署的規劃資料查詢處（熱線：2231 5000）（香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓）索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載，亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全，委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

House of Joy and Mercy Company Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱（如適用）

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Aikon Development Consultancy Limited (毅勤發展顧問有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址／地點／丈量約份及地段號碼（如適用）	Government Land in D.D. 103, Ko Po San Tsuen, Kam Tin, Yuen Long
(b) Site area and/or gross floor area involved 涉及的地盤面積及／或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,060 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 500 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積（倘有）	1,060 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture"
(f) Current use(s) 現時用途	Animal Boarding Establishment (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。

- ☒ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Non-domestic part 非住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Total 總計	sq.m 平方米	<input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 500 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 0.5 to 1 m 米 <input checked="" type="checkbox"/> About 約 <small>Filling of land with an area of 500m² has been implemented during the last planning approval period. No additional filling of land or site works is required under the current application.</small></p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><small>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</small></p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	<p>Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years</p>

(iii) For Type (iii) application 供第(iii)類申請

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1"> <thead> <tr> <th data-bbox="528 1249 798 1361">Name/type of installation 裝置名稱/種類</th> <th data-bbox="798 1249 948 1361">Number of provision 數量</th> <th data-bbox="948 1249 1398 1361">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p><small>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</small></p>			Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)													

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至%
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	500 sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	0.47	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	47 %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	1	
Proposed no. of storeys of each block 每座建築物的擬議層數	Not more than 1 storeys 層	
	<input type="checkbox"/> include 包括 storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括 storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	N/A mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	4 m 米	<input checked="" type="checkbox"/> About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☒ Non-domestic part 非住用部分GFA 總樓面面積☐ eating place 食肆..... sq. m 平方米 ☐ About 約☐ hotel 酒店..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室..... sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業..... sq. m 平方米 ☐ About 約☐ Government, institution or community facilities

政府、機構或社區設施

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....

.....

.....

☒ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

Animal boarding establishment, Ancillary office,
Staff/Volunteer common room and Toilet - GFA: 500 sqm

.....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地..... sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地..... sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
1	G/F	Animal boarding establishment, Ancillary office, Staff/Volunteer common room and Toilet
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Dog playground and courtyard

.....

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

N/A

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行人通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Kam Tin Road via a local track <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是 No 否	<input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ 1 Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tbody> <tr> <td>On environment 對環境</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On traffic 對交通</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On water supply 對供水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On drainage 對排水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On slopes 對斜坡</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Affected by slopes 受斜坡影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Landscape Impact 構成景觀影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Tree Felling 砍伐樹木</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Visual Impact 構成視覺影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input type="checkbox"/></td></tr> </tbody> </table> <hr/> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>N/A</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the attached Planning Statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人


.....
Thomas LUK

N.A.

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他



on behalf of
代表

Aikon Development Consultancy Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

30/9/2025

..... (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Government Land in D.D. 103, Ko Po San Tsuen, Kam Tin, Yuen Long		
Site area 地盤面積	<div>1,060 sq. m 平方米 <input checked="" type="checkbox"/> About 約</div> <div>(includes Government land of 包括政府土地 1,060 sq. m 平方米 <input checked="" type="checkbox"/> About 約)</div>		
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15		
Zoning 地帶	"Agriculture"		
Applied use/ development 申請用途/發展	Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N.A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N.A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	500 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.47 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N.A	
	Non-domestic 非住用	1	
	Composite 綜合用途	N.A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N.A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N.A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N.A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	About 4	m 米 <input type="checkbox"/> (Not more than 不多於)
		N.A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N.A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N.A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N.A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積		47	% <input checked="" type="checkbox"/> About 約
(v) No. of units 單位數目		N/A	
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____	N.A.
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____	1 1 (LGV)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lot Index Plan extract, Outline Zoning Plan extract, Site Photos, Land Filling Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

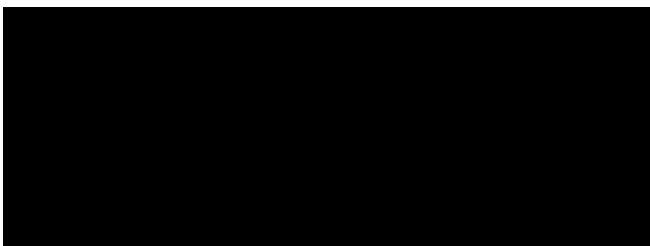


Section 16 Planning Application Renewal of Planning Approval for

Temporary Animal Boarding
Establishment and Associated Filling of
Land for a Period of 5 Years
(Renewal of Planning Application No.
A/YL-KTS/867)

Government Land in D.D.103, Ko Po
San Tsuen, Kam Tin, Yuen Long

Planning Statement



Prepared by
Aikon Development Consultancy Ltd.

September 2025

EXECUTIVE SUMMARY

(In case of discrepancy between English and Chinese versions, English shall prevail)

This *Planning Statement* is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years** (hereinafter referred to as “the applied use”) at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (hereinafter referred to “the application site”). The Planning Statement serves to provide background information and planning justifications in support of the applied use in order to facilitate consideration by the Board.

The application site is subject to two previous planning approvals for the same/similar use and currently falls within an area zoned “Agriculture” (“AGR”) on the approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 gazetted on 21.12.2018. The Applicant seeks planning permission from the Board owing to the fact that the latest planning approval under planning application (No. A/YL-KTS/867) for the same use on a temporary basis of 5 years will lapse on 18.12.2025. The current application aims to allow continued use of the application site for animal boarding establishment without any changes. As detailed in throughout this Planning Statement, the applied use is well justified on the grounds that:-

- (a) The current application seeks planning approval for continual operation of the animal boarding establishment in taking care of and finding new homes for homeless animals;*
- (b) The applied use promotes adoption and life-education, and supports community services;*
- (c) The applied use aligns with government policy initiatives on land utilization;*
- (d) The application site is subject to two previous planning approvals for the same/similar use;*
- (e) The applied use is not incompatible with surrounding area;*
- (f) The current application aims to allow continued use of the application site for the intended purpose without any changes. Allowing the current application will not alter the planning circumstances, and the Applicant has demonstrated his full compliance of approval planning conditions of the last approved application; and*
- (g) No adverse infrastructural nor environmental impacts are anticipated since there will be no changes in terms of nature and operation of the applied use and more importantly, the existing drainage provision and landscape treatment would continue to be properly maintained all the time.*

In view of the above and the list of detailed planning justifications in this Planning Statement, it is sincerely hoped that the Board will give sympathetic consideration to approve the current application for a temporary period of five years.

行政摘要

(如內文與其英文版本有差異，則以英文版本為準)

此規劃報告書旨在支持一宗遞交予城市規劃委員會（以下簡稱「城規會」）的規劃申請（以下簡稱「該申請」）作為期五年的臨時動物寄養所及相關的填土工程（以下簡稱「申請用途」）。該申請所涉及地點位於元朗錦田高埔新村丈量約份第 103 約政府土地（以下簡稱「申請地點」）。此規劃報告書提供該申請的背景資料及規劃理據以支持申請用途。

申請地點曾獲兩項相同 / 類似用途的規劃批准，現時位於錦田南分區計劃大綱圖（編號：S/YL-KTS/15）內劃為「農業」地帶的範圍內，該圖則已於 2018 年 12 月 21 日公开展示。鑒於根據規劃申請（編號：A/YL-KTS/867）就相同用途獲批為期五年的規劃許可將於 2025 年 12 月 18 日屆滿失效，因此申請人現向城規會尋求規劃許可。該申請旨在允許申請地點繼續使用作動物寄養所，且不作任何變更。如本規劃聲明所述，申請用途具有充分合理性，理由如下：

- (一) 該申請旨在為動物寄養所持續營運尋求規劃許可，以繼續照料流浪動物並為其尋覓新家；
- (二) 申請用途支持推動領養、生命教育及提供社區服務；
- (三) 申請用途符合政府土地利用政策方針；
- (四) 申請地點過往先後兩次獲城規會批出規劃許可作相同 / 類似用途；
- (五) 申請用途與周邊環境並非不容相；
- (六) 批准該申請不會改變規劃狀況，且申請人已證明其完全遵守先前獲批准申請的附帶條件；以及
- (七) 由於申請用途的性質與運作模式維持不變，且現有排水設施與景觀處理將持續妥善維護，預期不會產生負面基建或環境影響。

鑑於以上及此規劃報告書內所提及的詳細規劃理據，懇請城規會酌情考慮批准該申請作為期五年的申請用途。

Table of Contents

1. INTRODUCTION	3
1.1 Purpose	3
1.2 Objectives	3
1.3 Structure of the Planning Statement	3
2. SITE PROFILE	5
2.1 Location and Current Condition of the Application Site	5
2.2 Surrounding Land-use Characteristics	5
3. PLANNING CONTEXT	5
3.1 The Current OZP	5
3.2 Previous Planning Applications	5
4. THE DEVELOPMENT PROPOSAL	7
4.1 Site Configuration and Layout	7
4.2 Operation	7
4.3 Provision of Existing Landscape Treatment	8
4.4 Provision of Existing Drainage Facilities	8
4.5 Provision of Fire Service Installations	8
5. PLANNING JUSTIFICATIONS	10
5.1 Applicant's Efforts in Taking Care of and Finding New Homes For Homeless Animals and Allowing the Continual Operation of the Animal Boarding Establishment	10
5.2 Promoting Adoption, Education and Providing Community Services	10
5.3 In Line with Government's Policy Initiatives on Land Utilization	11
5.4 Application Site is Subject to Previous Planning Approvals for the Same Use	11
5.5 No Change in Planning Circumstances and Full Compliance of Approval Planning Conditions of Previous Planning Approval	11
5.6 Not Incompatible with Surrounding Areas	11
5.7 No Adverse Infrastructural nor Environmental Impacts	12
6. CONCLUSION	13

List of Figures

- | | |
|----------|---|
| Figure 1 | Extract of Lot Index Plan (Nos. ags_S00000146362_0001) |
| Figure 2 | Extract of Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 |
| Figure 3 | Indicative Layout Plan |

List of Illustrations

- | | |
|----------------|--|
| Illustration 1 | Current Conditions of the Application Site |
| Illustration 2 | Current Conditions of Existing Drainage Facilities |

List of Tables

Table 1	Previous Planning Application for the same as the Applied Use at the Application Site
Table 2	Compliance with Planning Approval Conditions under the Last Approved Application
Table 3	Comparison of Major Parameters/Items of the Current Application and the last approved Planning Application No. A/YL- KTS/867

List of Appendices

Appendix 1	Letter from Planning Department dated 27.04.2021 for Compliance with Condition (e) on the submission of a drainage proposal and Accepted Drainage Proposal
Appendix 2	Letter from Planning Department dated 31.08.2021 for Compliance with Condition (f) on the implementation of the drainage proposal
Appendix 3	Letter from Planning Department dated 14.04.2021 for Compliance with Condition (h) on the submission of a fire service installations proposal
Appendix 4	Letter from Planning Department dated 22.11.2021 for Compliance with Condition (i) on the implementation of the fire service installations proposal

1. INTRODUCTION

1.1 Purpose

- 1.1.1 Pursuant to section 16 of the Town Planning Ordinance (TPO) (Cap. 131), this *Planning Statement* is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years** (hereinafter referred to as “the applied use”) at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (hereinafter referred to “the application site”). The Planning Statement serves to provide background information and planning justifications in support of the applied use in order to facilitate the consideration by the Board. Its location is shown on **Figure 1** indicates the relevant government land which the application site involves.
- 1.1.2 Prepared on behalf of *House of Joy and Mercy Company Limited* (hereinafter referred to as “the Applicant”), Aikon Development Consultancy Limited have been commissioned to prepare and submit the current application on his behalf. The current application aims to renew the planning approval from the Board owing to the fact that the latest planning permission under Planning Application (No. A/YL-KTS/867) on 18.12.2020 will be lapsed on 18.12.2025 (hereinafter referred to “the last approved application”). This renewal will provide the Applicant with the opportunity to continue utilizing the application site for the intended use.
- 1.1.3 The application site currently falls within an area zoned “Agriculture (“AGR”) on the Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 exhibited for public inspection on 21.12.2018 (hereinafter referred to as “the Current OZP”) (please refer to **Figure 2**). According to the Schedule of Uses for “AGR” zone attached to the Notes of the Current OZP, the applied use is one of the Column 2 uses for which planning permission is required from the Board.

1.2 Objectives

- 1.2.1 The current application strives to achieve the following objectives:-

- (a) *To be given an opportunity to the Applicant to continue utilising the application site for the applied use with no changes in the nature/operation of the applied use and the overall physical setting surrounding the application site;*
- (b) *To induce no adverse environmental nor infrastructural impacts on its surroundings.*

1.3 Structure of the Planning Statement

- 1.3.1 This Planning Statement is divided into 6 chapters. **Chapter 1** is the above

introduction outlining the purpose and background of the current application. **Chapter 2** gives background details of the application site in terms of the current land-use characteristics and neighbouring developments. Planning context of the application site is reviewed in **Chapter 3** whilst **Chapter 4** provides details of the applied use. A full list of planning justifications is given in **Chapter 5** whilst **Chapter 6** summarizes the concluding remarks for the applied use.

2. SITE PROFILE

2.1 Location and Current Condition of the Application Site

- 2.1.1 The application site is directly accessible from Kam Tin Road via a local track. There is a single-storey structure within the application site that currently operates as a temporary animal boarding establishment, actively providing services for homeless animals. Existing landscaping and drainage works have been implemented on site. Current conditions of the application site are demonstrated per **Illustration 1**.

2.2 Surrounding Land-use Characteristics

- 2.2.1 The surrounding areas are rural in character and intermixed with open storage yards, vehicle parks, residential structures, Au Tau Water Treatment Works and some vacant land.

3. PLANNING CONTEXT

3.1 The Current OZP

- 3.1.1 The application site currently falls within an area zoned “AGR” on the Current OZP (please refer to **Figure 2**). According to the Schedule of Uses for “AGR” zone attached to the Notes of the Current OZP, the applied use, i.e. ‘Animal Boarding Establishment’ is a Column 2 use for which planning permission is required from the Board. As stipulated in the aforesaid Notes, the planning intention of “AGR” zone is *‘intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.’*
- 3.1.2 According to Notes of the Current OZP, *‘temporary use or development of land or building exceeding three years requires permission from the Town Planning Board in accordance with the terms of the Plan’.*

3.2 Previous Planning Applications

- 3.2.1 The application site was subject to two previous applications (No. A/YL-KTS/790 and A/YL-KTS/867) for the same use with or without filing of land.

Table 1: Previous Planning Application for the same as the Proposed Use at the Application Site

Application No.	Proposed Use(s)	Date of Decision	Decision
A/YL-KTS/790	Proposed Temporary Animal Boarding Establishment for a Period of 3 Years	03.08.2018	Approved with condition(s) on a temporary basis

Application No.	Proposed Use(s)	Date of Decision	Decision
A/YL-KTS/867	Proposed Temporary Animal Boarding Establishment for a Period of 5 Years and Filling of Land	18.12.2020	Approved with condition(s) on a temporary basis

- 3.2.2 All approval conditions of the last approved application (No. A/YL-KTS/867) were duly complied with by the Applicant. **Table 2** concludes the compliance with planning conditions under the last approved application. When comparing the current application with the last approved application, there would be no changes in the nature and operation of the applied use as well as the overall physical setting surrounding the application site. **Appendices 1 to 4** attaches the relevant discharge letters for the approval conditions.

Table 2: Compliance with Planning Approval Conditions under the Last Approved Application

Planning Approval Conditions		Discharged Date
(e)	the submission of a drainage proposal	27.04.2021
(f)	the implementation of the drainage proposal	31.08.2021
(h)	the submission of a fire service installations proposal	14.04.2021
(i)	the implementation of the fire service installations proposal	22.11.2021

- 3.2.3 The nature of the current application in terms of approval period sought and applied use is the same as that proposed in the last approved application. There is no change to the site area, floor area and number of structures as comparing with the last approved application. In addition, there would be no changes in the planning circumstances, including nature/operation of the applied use, the physical settings surrounding the application site when comparing with the last approved application. As such, no adverse planning implications by allowing the current application is likely to be anticipated.

4. THE DEVELOPMENT PROPOSAL

4.1 Site Configuration and Layout

- 4.1.1 It is proposed to continue utilising the application site for the applied use. The site configuration and development parameters remain entirely the same as the approved scheme under the last approved application. There is no change in the nature and operation of the current application. The total area of the application site remains approximately 1,060m².
- 4.1.2 The applied use involves a single-storey temporary structure (about 4m in height) with a total floor area of 500m² for the animal boarding establishment, ancillary office, staff/volunteer common room and toilet. The uncovered area is used as dog playground and courtyard. The site configuration and layout are shown in the Indicative Layout Plan per **Figure 3**.

4.2 Operation

- 4.2.1 The animal boarding establishment accommodates about 50 animals in air-conditioned and sound-proof shelter which are made of concrete wall and closed thick glass windows. The operation hour will be 9 a.m. to 9 p.m daily. There would be no night-time operations in the application site between 9:00 p.m. and 9:00 a.m. (except for overnight animal boarding), as proposed and allowed in the last approved application. The animals will be kept indoor between 9 p.m. and 9 a.m. At least one staff will stay overnight to manage the animal boarding establishment. In order to minimise any nuisance posed to the surrounding areas, no public announcement system, loudspeaker, any form of amplification system or whistle blowing will be used at the application site.
- 4.2.2 The applicant has thoughtfully designed the animal boarding establishment, incorporating several considerations to mitigate potential impacts. The backyard area is arranged on the southern part of the application site, strategically located to maximize distance from nearby residential areas. Additionally, the existing animal boarding structure and tree plantings to the north serve as an effective noise barrier. The existing fenced wall along the boundary of the application site would continue to be maintained. According to the Applicant, there was no environmental complaints concerning the application site received.
- 4.2.3 One parking space for light goods vehicle will be provided within the application site. The application site is accessible from Kam Tin Road via a local track. Sufficient manoeuvring space is provided within the application site, and it is ensured that no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period.
- 4.2.4 To stabilize the animal boarding structure, site works including excavation, laying of foundation and back filling of land (about 0.5m to 1m in depth) have been carried out,

with filling of land with an area of 500m² (i.e. 47% of the application site) implemented. No additional filling of land or site works is required under the current application.

4.3 Provision of Existing Landscape Treatment

- 4.3.1 The application site was vacant without vegetation cover. The applicant has proposed tree works and planting in the previous applications and implemented tree planting and landscaping works accordingly. The proposed trees are well maintained within the application site and are in good and healthy condition. In this regard, it is proposed to maintain existing trees on the application site during the approval period once the current application is approved by the Board. **Illustration 1** demonstrates the current conditions of the existing landscape treatment. The existing boundary fencing along the site would continue to be maintained during the approval period.

4.4 Provision of Existing Drainage Facilities

- 4.4.1 Since approval of the previous applications, the applicant has submitted drainage proposal to the satisfaction of Drainage Services Department and implemented the accepted drainage proposal, complying with the approval conditions (**Appendix 1** and **Appendix 2** refer). The Applicant is well committed that, the existing drainage provision within the application site will be continued to be properly maintained during the approval period. **Illustration 2** demonstrates the current conditions of the existing drainage facilities.

4.5 Provision of Fire Service Installations

- 4.5.1 The applicant has submitted General Building Plan in 2021, incorporating the fire services requirements. The fire services installations have been implemented to the satisfaction of Fire Services Department and are in compliance with the relevant approval conditions (**Appendix 3** and **Appendix 4** refer). The existing fire services installations will be continued to be properly maintained during the approval period.

Table 3: Comparison of Major Parameters/Items of the Current Application and the Last Approved Planning Application No. A/YL-KTS/867

Major Parameters/Items	Last Approved Application (No. A/ YL-KTS/867)		Current Application		Difference
Site Area (m ²)	About 1,060		About 1,060		No Change
Covered Area (m ²)	About 500 (47%)		About 500 (47%)		No Change
Uncovered Area (m ²)	About 560 (53%)		About 560 (53%)		No Change
Total No. of Structures	1		1		No Change
Ancillary Structure (For Animal Boarding Establishment, Ancillary Office, Staff/Volunteer Common Room And Toilet)	Building Height	Floor Area (m ²) (About)	Structure	Floor Area (m ²) (About)	No Change
	1 Storey, About 4 m	500	1 Storey, About 4 m	500	
Total Floor Area (m ²)	About 500		About 500		No Change
Operation Hours	9 a.m. to 9 p.m daily		9 a.m. to 9 p.m daily.		No Change
Loading and Unloading Bay (LGV)	1		1		No Change

5. PLANNING JUSTIFICATIONS

5.1 Applicant's Efforts in Taking Care of and Finding New Homes For Homeless Animals and Allowing the Continual Operation of the Animal Boarding Establishment

- 5.1.1 The applicant is a charitable non-government organization established in 2015, dedicated to taking care of and finding new homes for homeless animals. They steer to provide support for animal rescue, free medical care, regular education, and end-of-life care for animals on a charitable and volunteer basis, having helped rescue approximately 1,200 animals. The applicant is also committed to assisting the Government to rehome the stray animals affected by the New Development Areas projects. They are also operating at another site in Kam Tin, where they faced high rental costs. Recognizing the growing need for stray animals, the applicant applied for a planning application at the application site in 2018 to establish a new facility that would provide proper accommodation and services for homeless animals.
- 5.1.2 Since the approval of application No. A/YL-KTS/790 on 3.8.2018, the applicant has worked diligently to set up the proposed animal boarding establishment at the application site, including complying with the approval conditions, obtaining the Short Term Tenancy from the Lands Department in late 2019, and obtaining funding from the Development Bureau (DEVB) under the "Funding Scheme to Support the Use of Vacant Government Sites by Non-government Organization" to sponsor the capital cost of the project. In 2020, the applicant submitted a planning permission for the same use with a view to allowing more time to implement the proposed establishment. Planning approval for application No. A/YL-KTS/867 was granted on 18.12.2020.
- 5.1.3 The animal boarding establishment was completed in 2021, and all approval conditions were duly complied with. With considerable time and effort invested by the applicant and their volunteers, the application site has been operating as an animal boarding establishment, providing essential services and a safe haven to homeless animals as intended. The cessation of the establishment would lead to the loss of homes for these animals and disrupt regular visiting and scheduled adoption activities, in this regard, the current application seeks to ensure that the establishment can continue its operations sustainably.

5.2 Promoting Adoption, Education and Providing Community Services

- 5.2.1 In addition to serving as home for stray animals, the establishment also serves as a venue for promoting adoption through regular group visits and volunteer opportunities. The applicant also taken a step forward to promote respect and love to animals by engaging youth through various activities and lectures and allowing youth centers, private companies and groups to participate in volunteer activities every weekend. Moreover, the establishment also supports pet owners who are temporarily unable to care for their pets, by offering free temporary animal boarding

service. The current application seeks to continue existing operation at the application and allows the applicant to provide valuable community services.

5.3 In Line with Government's Policy Initiatives on Land Utilization

- 5.3.1 The applied use is funded by DEVB's funding scheme to support the use of vacant government sites by non-government organisations, with a view to making gainful use of vacant government sites to take forward worthy projects for community, institutional, or other non-profit-making use on a short-term basis. The applicant site is situated between a brownfield operation and the Au Tau Water Treatment Works, making it an ideal location for the applied use without negatively impacting the surrounding environment. Since commencing operations in 2021, the establishment has rescued numerous homeless animals and supported the community in animal care through volunteer efforts. The current application seeks to continue these operations, ensuring the continued productive and beneficial use of the vacant government site.

5.4 Application Site is Subject to Previous Planning Approvals for the Same Use

- 5.4.1 The application site is subject to two previous planning approvals (Applications No. A/YL-KTS/790, 867) for use being the same/similar as the applied use. There is no change to the site configuration and physical environment, and the nature and operation of the applied use remain the same as the previous approved application.

5.5 Not Incompatible with Surrounding Areas

- 5.5.1 The applied use is considered not incompatible with the surrounding areas which are rural in character and intermixed with residential dwellings/structures, open storage/storage yards, Au Tau Water Treatment Works and vacant/unused land. The design of the establishment has also given due considerations to minimise potential impacts.

5.6 No Change in Planning Circumstances and Full Compliance of Approval Planning Conditions of Previous Planning Approval

- 5.6.1 The nature of the current application in terms of approval period sought and applied use is the same as that proposed in the previously approved planning application. Apart from the fact that there would be **no changes** in the nature/operation of the applied use, there has also been **no change** in the planning circumstances such as land-use zoning and the physical settings surrounding the application site when comparing with the last approved application. In addition, no adverse planning implications by allowing the current application is likely to be anticipated and the Applicant has in fact complied with all approval planning conditions as laid down in the previous approval within specified time limits.

5.7 No Adverse Infrastructural nor Environmental Impacts

- 5.7.1 There will be no changes in terms of the nature of the applied use and operation hours. More importantly, the existing boundary fencing, drainage provision and landscape treatment would continue to be properly maintained all the time upon granting of planning approval for the current application. No infrastructural nor environmental impacts would be envisaged should approval for the current application be re-granted by the Board.

6. CONCLUSION

- 6.1.1 This Planning Statement is submitted to the Board in support the current application for the applied use. This Planning Statement serves to provide background information and planning justifications in support of the applied use in order to facilitate consideration by the Board.
- 6.1.2 The application site is subject to two previous planning approvals for the same/similar use and currently falls within an area zoned “Agriculture” (“AGR”) on the approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 gazetted on 21.12.2018. The Applicant seeks planning permission from the Board owing to the fact that the latest planning approval under planning application (No. A/YL-KTS/867) for the same use on a temporary basis of 5 years will lapse on 18.12.2025. The current application aims to allow continued use of the application site for the intended purpose without any changes. As detailed in throughout this Planning Statement, the applied use is well justified on the grounds that:-
- (a) The current application seeks planning approval for continual operation of the animal boarding establishment in taking care of and finding new homes for homeless animals;*
 - (b) The applied use promotes adoption and life-education, and supports community services;*
 - (c) The applied use aligns with government policy initiatives on land utilization*
 - (d) The application site is subject to two previous planning approvals;*
 - (e) The applied use is not incompatible with surrounding area;*
 - (f) The current application aims to allow continued use of the application site for the intended purpose without any changes. Allowing the current application will not alter the planning circumstances, and the Applicant has demonstrated his full compliance of approval planning conditions of the last approved application; and*
 - (g) No adverse infrastructural nor environmental impacts are anticipated since there will be no changes in terms of nature and operation of the applied use and more importantly, the existing drainage provision and landscape treatment would continue to be properly maintained all the time.*
- 6.1.3 In view of the above and the list of detailed planning justifications in this Planning Statement, it is sincerely hoped that the Board will give sympathetic consideration to approve the current application for a temporary period of five years.

List of Figures

Figure 1	Extract of Lot Index Plan (Nos. ags_S00000146362_0001)
Figure 2	Extract of Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
Figure 3	Indicative Layout Plan



Project:

Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (Renewal of Planning Application No. A/YL-KTS/867)

Title:

Extract of Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15

Ref.: ADCL/PLG-10323-R001/F002

Figure:

2

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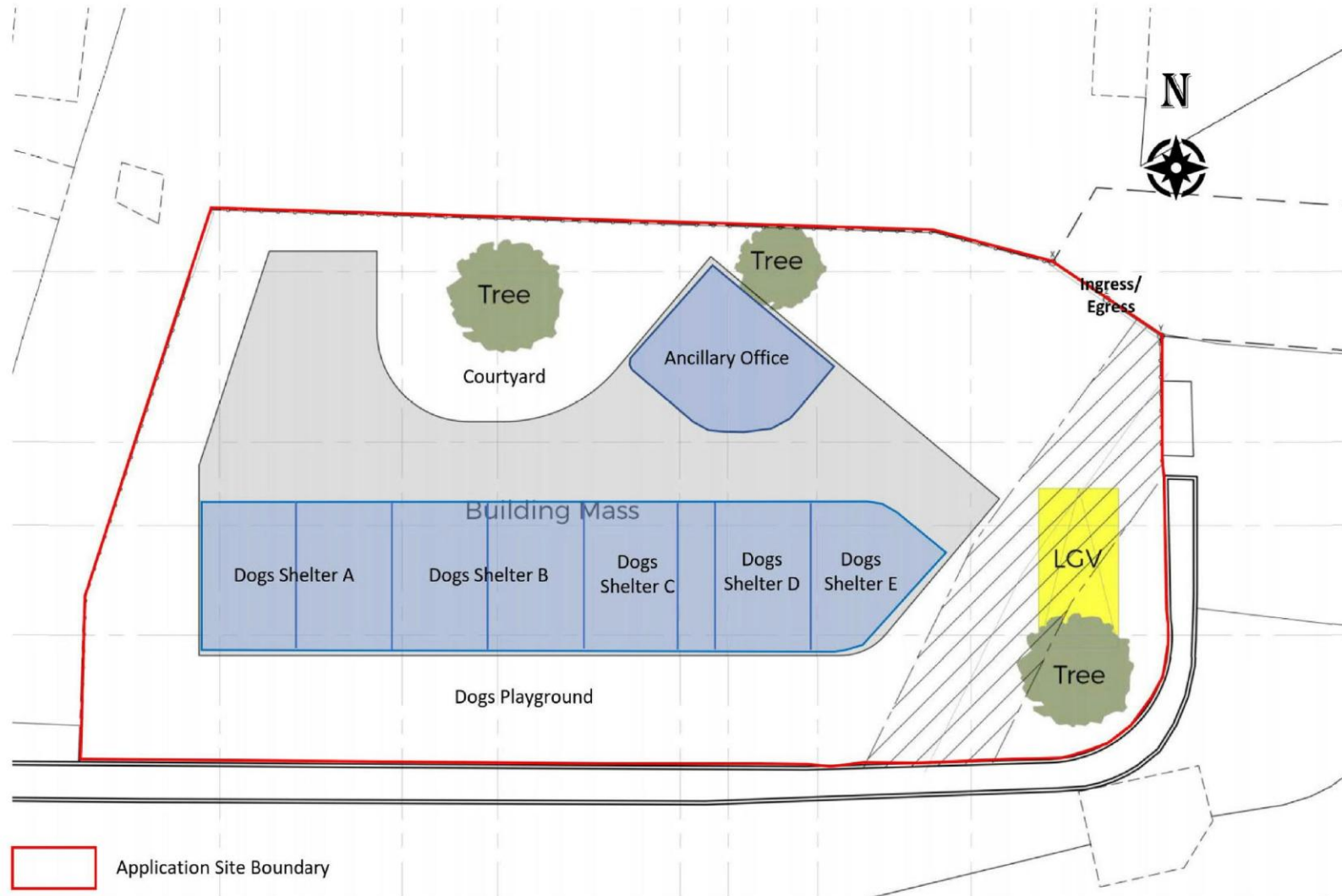
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Date:

Sep 2025



AIKON DEVELOPMENT CONSULTANCY LTD.

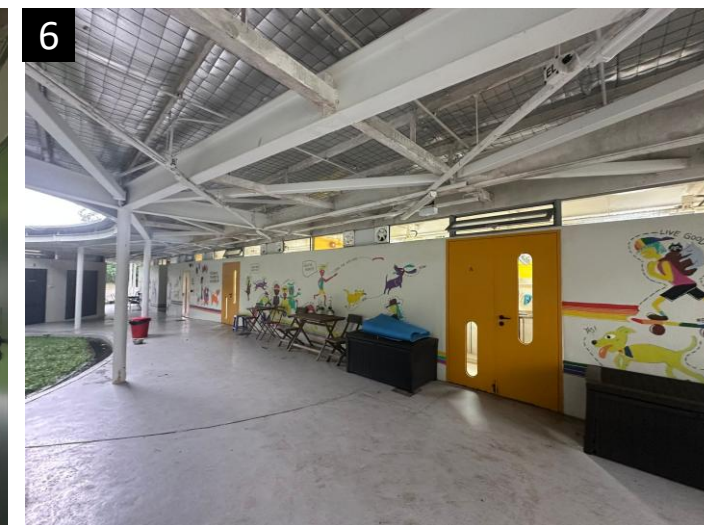


Plan A - Proposed Layout Plan

Figure 3

List of Illustrations

Illustration 1	Current Conditions of the Application Site
Illustration 2	Current Conditions of Existing Drainage Facilities



Project:
Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (Renewal of Planning Application No. A/YL-KTS/867)

Title:
Existing Condition of the Application Site

Ref.: ADCL/PLG-10323-R001/I001

Illustration:
1

Scale:
N.A.

Date:
Sep 2025



Project:

Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (Renewal of Planning Application No. A/YL-KTS/867)

Title:

Current Conditions of Existing Drainage Facilities

Illustration:

2

Scale:

N.A.

Date:

Sep 2025

Ref.: ADCL/PLG-10323-R001/I001

List of Appendices

Appendix 1	Letter from Planning Department dated 27.04.2021 for Compliance with Condition (e) on the submission of a drainage proposal and Accepted Drainage Proposal
Appendix 2	Letter from Planning Department dated 31.08.2021 for Compliance with Condition (f) on the implementation of the drainage proposal
Appendix 3	Letter from Planning Department dated 14.04.2021 for Compliance with Condition (h) on the submission of a fire service installations proposal
Appendix 4	Letter from Planning Department dated 22.11.2021 for Compliance with Condition (i) on the implementation of the fire service installations proposal

Appendix 1

Letter from Planning Department dated 27.04.2021 for Compliance with Condition (e) on the
submission of a drainage proposal and Accepted Drainage Proposal

規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F., CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-KTS/867
電話號碼 Tel. No. : 3168 4072
傳真機號碼 Fax No. : 3168 4074

By Post

House of Joy & Mercy Co. Ltd.

(Attn.: Tse Yuen Yee)

27 April 2021

Dear Sir/ Madam,

**Submission for Compliance with Approval Condition (e)
- the submission of a drainage proposal**

**- Proposed Temporary Animal Boarding Establishment
for a Period of 5 Years and filling of land in "Agriculture" Zone,
Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Application No. A/YL-KTS/867)**

I refer to your submission dated 26.4.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find detailed departmental comments in *Appendix*.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries on the departmental comments, please contact Bill CHAN (Tel: 2781 4107) the Drainage Services Department directly.

Yours faithfully,

(Anthony LUK)
District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

C.C.
DSD
Internal
CTP/TPB

(Attn.: Mr. Bill CHAN)

AL/IC/ol

Appendix

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- (i) The applicant should implement the drainage facilities on site in accordance with the agreed drainage proposal.
- (ii) The applicant is required to rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system.
- (iii) The proposed development would neither obstruct overland flow nor adversely affected any existing natural streams, village drains, ditches and the adjacent areas.
- (iv) The applicant should consult DLO/YL and seek consent from relevant lot owners for any works to be carried out outside his lot boundary before commencement of the drainage works.

Project
**TEMPORARY
ANIMAL BOARDING
ESTABLISHMENT**

Site
D.D. 103 KO PO SAN TSUEN,
KAM TIN, YUEN LONG

Client
HOUSE OF JOY AND MERCY
COMPANY LIMITED

Consultants
Structure Consultant **BeFrank**
Engineering Consultant Ltd.

Building Service
Consultant **FAR EAST CONSULTING
ENGINEERS LIMITED**

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Drawing Issue

Rev.	Date	Description
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Project No.	Stage
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P191009	BD SUBMISSION
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Scale	Date
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AS SHOWN	20 FEB 2020
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Drawn by	Approved by
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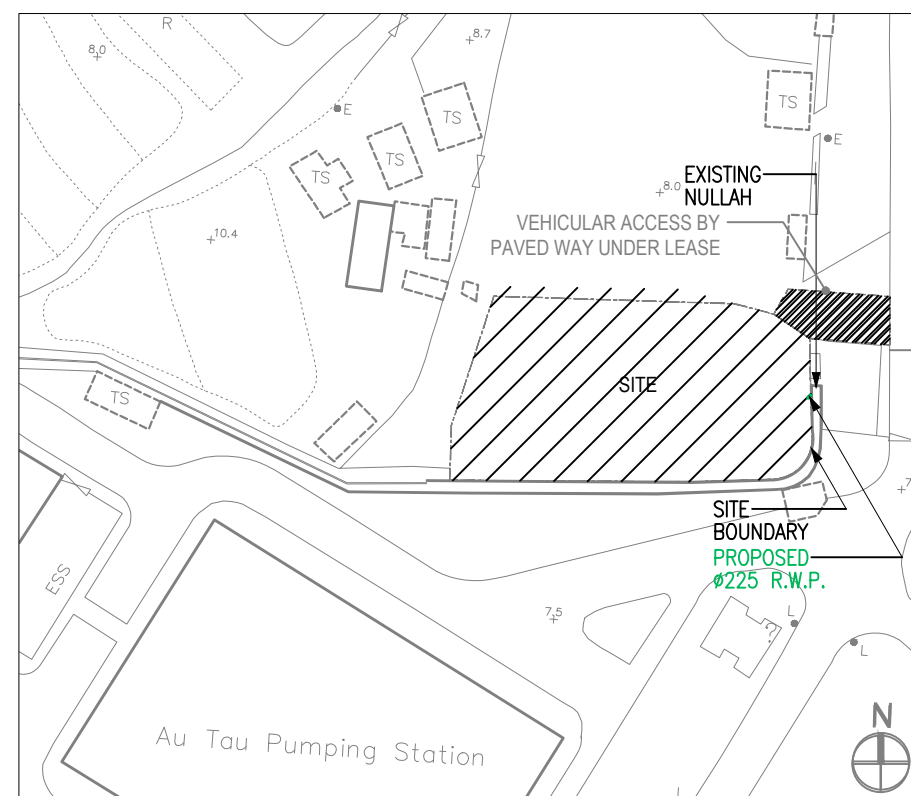
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Drawing No.	Rev.
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DD/01	A
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Sheet Title

**DRAINAGE
LAYOUT PLAN**



LEGEDS

- SITE BOUNDARY
- NEW SURFACE CHANNEL WITH GRATING
- NEW PIPE / CHANNEL
- NEW STORMWATER MANHOLE
- DIRECTION OF FALL
- GULLY TRAP
- EXISTING GROUND LEVEL
- EXISTING TREE
- EXISTING CLP CABLE
- EXISTING PCCW CABLE

ABBREVIATION

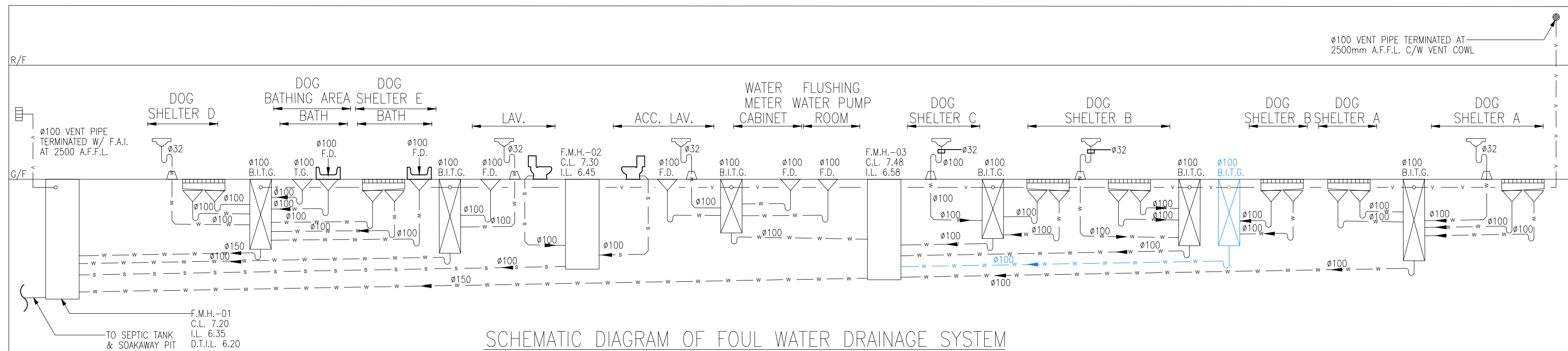
- EX. — EXISTING
- Ø — DIAMETER
- C.L. — COVER LEVEL
- I.L. — INVERT LEVEL
- D.T.I.L. — DISCONNECTING TRAP INVERT
- U/G — UNDERGROUND
- C/W — COMPLETE WITH
- M.H. — MANHOLE
- G.T. — GULLY TRAP
- G.P. — GULLY PIT
- F.W.P. — FOUL WATER PIPE
- C.I. — CAST IRON
- R.W.P. — RAINWATER PIPE
- SC — SURFACE CHANNEL

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS
DRAINAGE WORKS
IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE
PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER
REGULATION 33 OF THE BUILDING (ADMINISTRATION)
REGULATIONS.

DRAWING LIST

DRAWING NO.	DRAWING TITLE
DD/01	DRAINAGE LAYOUT PLAN
DD/02	DRAINAGE LAYOUT PLAN FOR ROOF
DD/03	DRAINAGE DETAILS (SHEET 1)
DD/04	DRAINAGE DETAILS (SHEET 2)

DESCRIPTION	SPECIFIED
A) ABOVE GROUND CONDENSATION, VENT, SOIL & WASTE AND RAINWATER SYSTEM	NOMINAL 100MM-225MM DIA. UPVC PIPE AND FITTINGS TO BS EN 1329-1:2014+A1:2018
B) UNDERGROUND VENT, SOIL & WASTE, AND RAINWATER SYSTEM	NOMINAL PIPE 100MM-225MM DIA. CAST IRON PIPES AND FITTINGS TO BS437. (REFER TO NOTE 1)
C) SUB-SOIL DRAINAGE SYSTEM	PERFORATED SUB-SOIL PIPES AND FITTINGS TO BS 4962.
D) UNDERGROUND SOIL & WASTE DRAINAGE SYSTEM OUTSIDE SITE BOUNDARY	CLAYWARE PIPES AND FITTINGS TO BE VERIFIED CLAYWARE TO BS245, EXTRA STRENGTH WITH "O" RING FLEXIBLE SPIGOT AND SOCKET JOINTS.
E) UNDERGROUND RAINWATER DRAINAGE SYSTEM OUTSIDE SITE BOUNDARY	PRECAST CONCRETE PIPES AND FITTINGS TO BS 5911-1:2000, 442:2010 & BE EN 1916:2002 WITH FLEXIBLE JOINTS OF SPIGOT AND SOCKET.
1) THE CAST IRON PIPE AND FITTINGS SHALL BE SUITABLY COATED INTERNALLY AND EXTERNALLY TO PREVENT CORROSION. WHEN COLO APPLIED BITUMEN-BASED COATING IS PROVIDED, THE COATING MATERIAL SHOULD COMPLY WITH BS 3416 OR OTHER EQUIVALENT INTERNATIONAL STANDARDS. EXTERNAL COATING SHALL CONTAIN ANTI-CORROSION INHIBITORS, NORMALLY USED ON METALLIC STRUCTURES.	



GENERAL NOTES

- ALL DRAINAGE INSTALLATION WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING ORDINANCE, BUILDING REGULATION AND THE CURRENT REGULATION OF HONG KONG ENVIRONMENTAL PROTECTION DEPARTMENT AND DRAINAGE SERVICE DEPARTMENT BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATIONS (CHAPTER 123).
- ALL LEVELS ARE REFERRED TO PRINCIPLE DATUM IN METRE.
- ALL DISCONNECTING TRAPS OF TERMINAL MANHOLE SHALL HAVE A WATER SEAL OF 80mm AND CLEANING PLUG WITH CHAINS.
- WHERE ANY DRAIN OF SEWER IS LAID THROUGH ANY BUILDING OR WHERE ANY BUILDING IS CONSTRUCTED OVER ANY AIR OR SEWER, RELEVING ARCHES OR BEAMS SHALL BE PROVIDED FOR PROTECTION OF THE DRAIN OR SEWER AND FOR PREVENTION ANY LOAD FROM THE BUILDING TRANSMITTED TO THE DRAIN OR SEWER.
- EVERY DRAIN OR SEWER SHALL BE LAID WITH A MINIMUM FALL AS FOLLOW OR AS INDICATED ON DRAWINGS.

100mm DIA.	1 TO 40
150mm DIA.	1 TO 70
225mm DIA.	1 TO 100
- FACES OF EVERY MANHOLE SHALL BE RENDERED WITH CEMENT MORTAR SO AS TO PROVIDED A SMOOTH AND IMPERVIOUS SURFACE.
- EVERY DRAINAGE IN A MANHOLE SHALL NOT BE LESS THAN HALF ROUND OF GLAZED EARTHEN WARE OR CEMENT RENDERED AND SHALL HAVE A DIAMETER NOT LESS THAN THAT OF THE LARGEST DRAINAGE INLET OF MANHOLE SHALL BE NOT MORE THAN THE DRAINAGE OUTLET OF SUCH MANHOLE.
- EVERY DRAINAGE INLET TO A MANHOLE SHALL DISCHARGE INTO THE DRAINAGE CHANNEL THEREIN WITH PROPERLY MADE BENDS CONSTRUCTED WITH THE BENCHING OF THE MANHOLE.
- EVERY MANHOLE SHALL BE FITTED AT A LEVEL FLUSHED WITH GROUND LEVEL WITH A CAST IRON AIRTIGHT COVER OF ADEQUATE STRENGTH AND APPROVED DESIGN. EVER MANHOLE UNDER A BUILDING SHALL BE FITTED WITH A DOUBLE SEALED CAST IRON AIRTIGHT COVER TO B.S. EN 124.
- ALL MANHOLE FRAMES AND COVERS SHALL BE OF AN APPROVED DESIGN CONFORMING TO THE FOLLOWING REQUIREMENTS, OTHERWISE INDICATED.

A. OUTSIDE BUILDING — HEAVY DUTY TYPE DOUBLE SEAL.
B. INSIDE BUILDING (CAR PARK AREA OR E.V.A. AREA) — HEAVY DUTY TYPE DOUBLE SEAL.
C. INSIDE BUILDING (NOT INCLUDE CAR PARK AREA OR E.V.A. AREA) — MEDIUM DUTY DOUBLE SEAL.
- ALL DRAINS SHALL LAID ON A CONCRETE BED NOT LESS THAN 100mm THICK AND AT LEAST 150mm WIDER THAN THE PIPE BORE AND HUNCHED UP BOTH SIDES WITH CONCRETE TO MEET THE PIPE BARREL TANGENTIALLY.
- ALL INVERT LEVELS SHOWN ON MANHOLES ARE THE INVERT LEVEL OF THE MAIN CHANNELS IN MANHOLE. UNDERGROUND DRAINS SHALL BE DULY TESTED PRIOR TO THE BACKFILLING OF TRENCHES AND COMPLIED WITH REQUIREMENT ON PNRC-11 & PNAP APP-58.
- EVERY CHANGE IN DIRECTION IN ANY DRAIN AND SEWER, WHICH IS NOT MADE WITHIN A MANHOLE, SHALL BE CARRIED OUT AS FOLLOWS:

A. THE CHANGE IN DIRECTION SHALL NOT EXCEED 45°
B. THE INTERNAL RADIUS OF THE BEND SHALL NOT BE LESS THAN SIX TIMES THE INTERNAL DIAMETER OF THE DRAIN OR SEWER.
C. THE CHANGE IN DIRECTION SHALL BE MADE BY MEANS OF A PURPOSE-MADE PIPE.
- THE GRADIENT OF ALL SURFACE CHANNELS SHALL BE 1:100 TOWARDS TO OUTLET UNLESS OTHERWISE STATED.
- ALL TOP SLABS AND COVERS OF MANHOLES SHALL BE CONSTRUCTED CONSISTENTLY TO ALL INCLINATION OF FLOOR SLAB, IF ANY.
- UNLESS OTHERWISE STATED IN THE DRAWING, ALL MANHOLE COVERS SHALL BE RECESSED TOP TYPE.
- EXPANSION JOINT SHALL BE PROVIDED FOR PIPES PASS THROUGH BUILDING EXPANSION JOINT.
- TYTON JOIN SHALL BE USED WHERE NECESSARY FOR UNDERGROUND DRAIN PIPES AND THE PIPEWORK ARRANGEMENT SHALL BE CATERED MINIMUM 25mm SETTLEMENT.
- NO DRAINAGE PIPING SHALL BE EMBEDDED IN STRUCTURAL ELEMENT AS STATED ON PNAP APP-105.
- ALL C.I. PIPES SHOULD BE COMPLIED WITH PNAP APP-133.
- DRAINAGE WORKS OUTSIDE LOT BOUNDARY ARE FOR BD REFERENCE ONLY.
- MINIMUM 200mm CLEARANCE SHOULD BE PROVIDED CROSSOVER PIPES.
- ALL UNDERGROUND RAINWATER PIPES TO BE CAST IRON PIPE TO B.S.437/4622, BITUMEN COATED INTERNALLY & EXTERNALLY.
- STRUCTURAL DESIGN, CALCULATION & DETAIL TO BE SUBMITTED SEPARATELY.

Client
HOUSE OF JOY AND MERCY
COMPANY LIMITED

REGISTERED
STRUCTURAL
ENGINEER

BEFRANK ENGINEERING
CONSULTANT LIMITED

General Notes

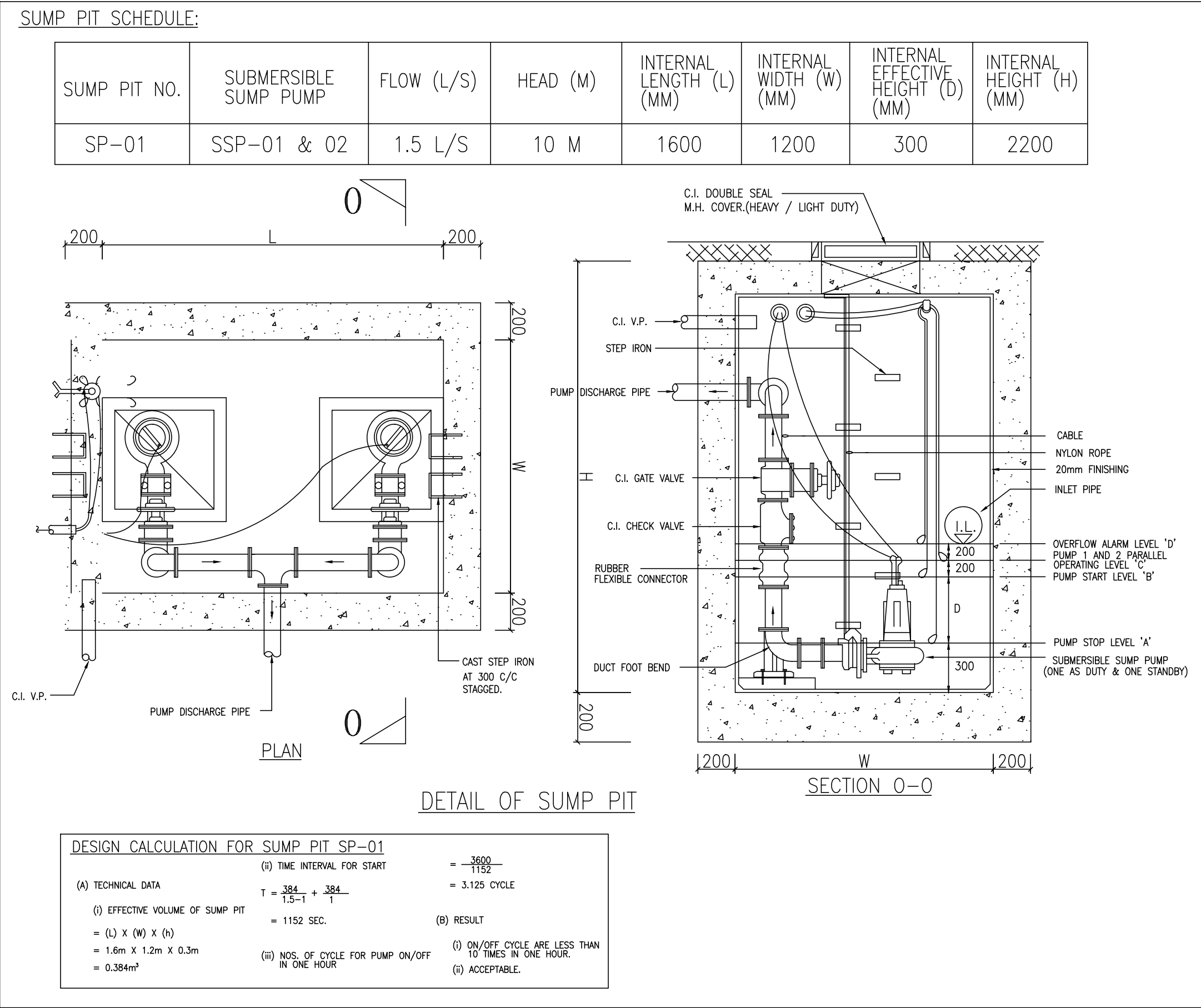
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Rev.	Date	Description
-	03/04/2020	ISSUE FOR TENDER



Sheet Title

DRAINAGE
LAYOUT PLAN
FOR ROOF

Drawing No.	Rev.
DD/02	—

Project
TEMPORARY
ANIMAL BOARDING
ESTABLISHMENT

Site
D.D. 103 KO PO SAN TSUEN,
KAM TIN, YUEN LONG

Client
HOUSE OF JOY AND MERCY
COMPANY LIMITED

Consultants
Structure Consultant
Befrank
Engineering Consultant Ltd.

Building Service
Consultant
FAR EAST CONSULTING
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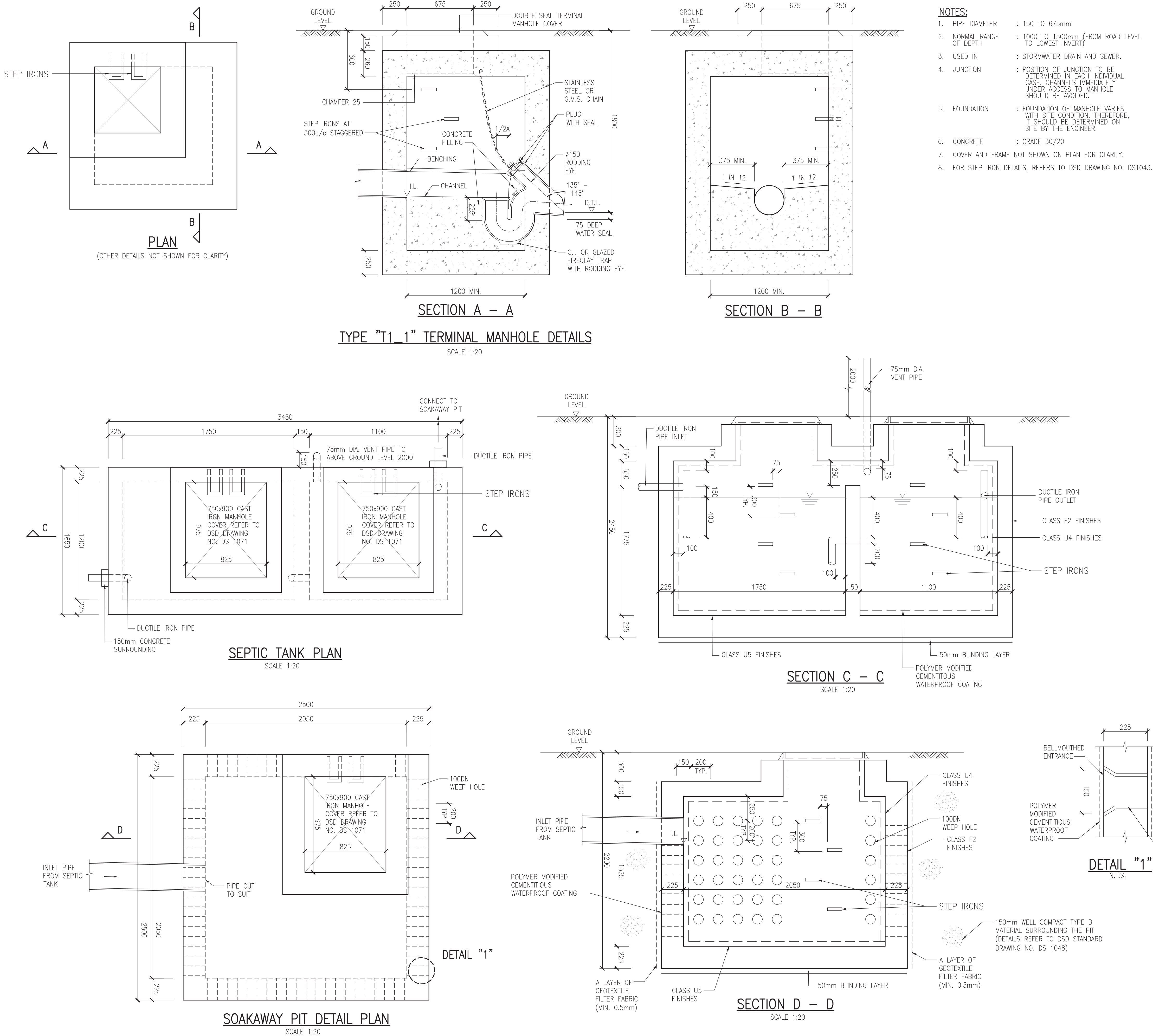
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Rev.	Date	Description
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Project No.	Stage
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Scale	Date
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CH	FC

Drawing No.	Rev.
DD/03	—

Sheet Title
DRAINAGE DETAILS
(SHEET 1)



Client
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COMPANY LIMITED

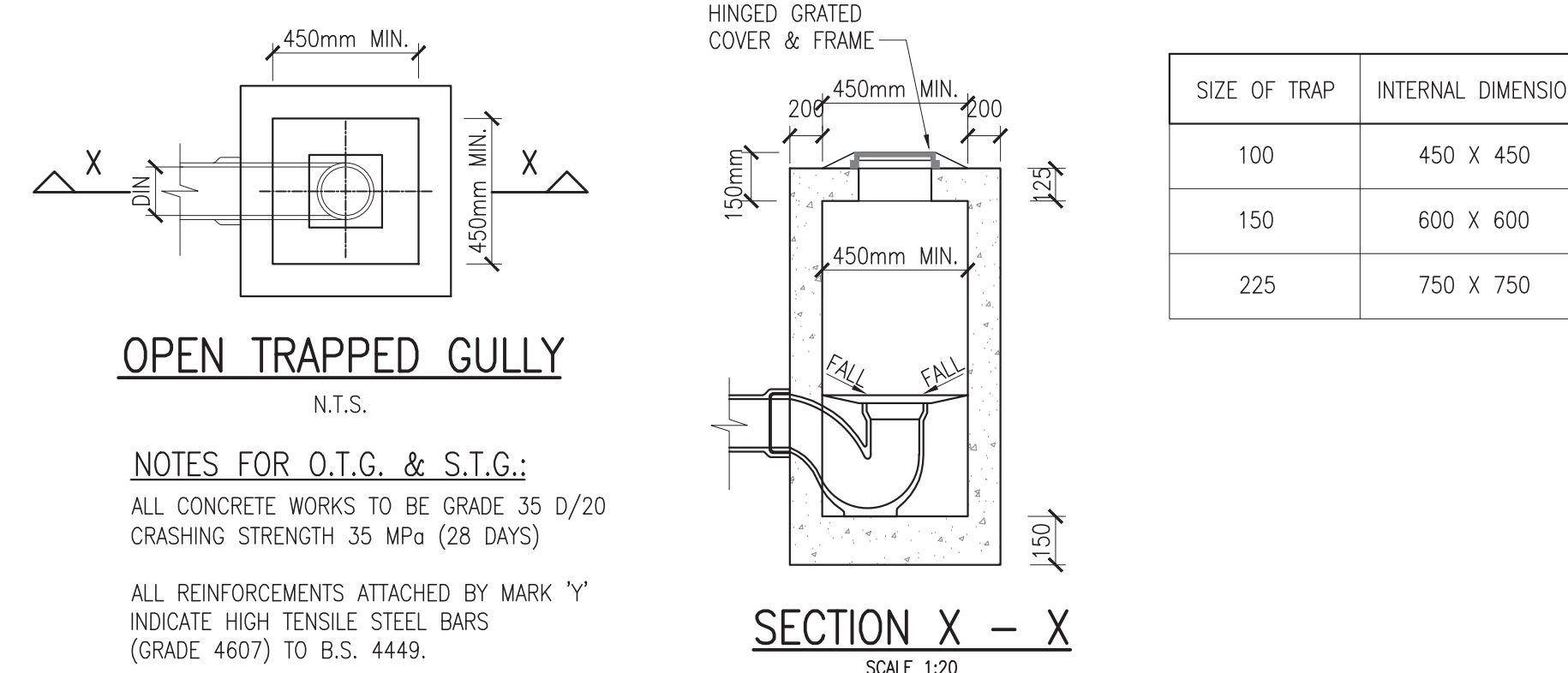
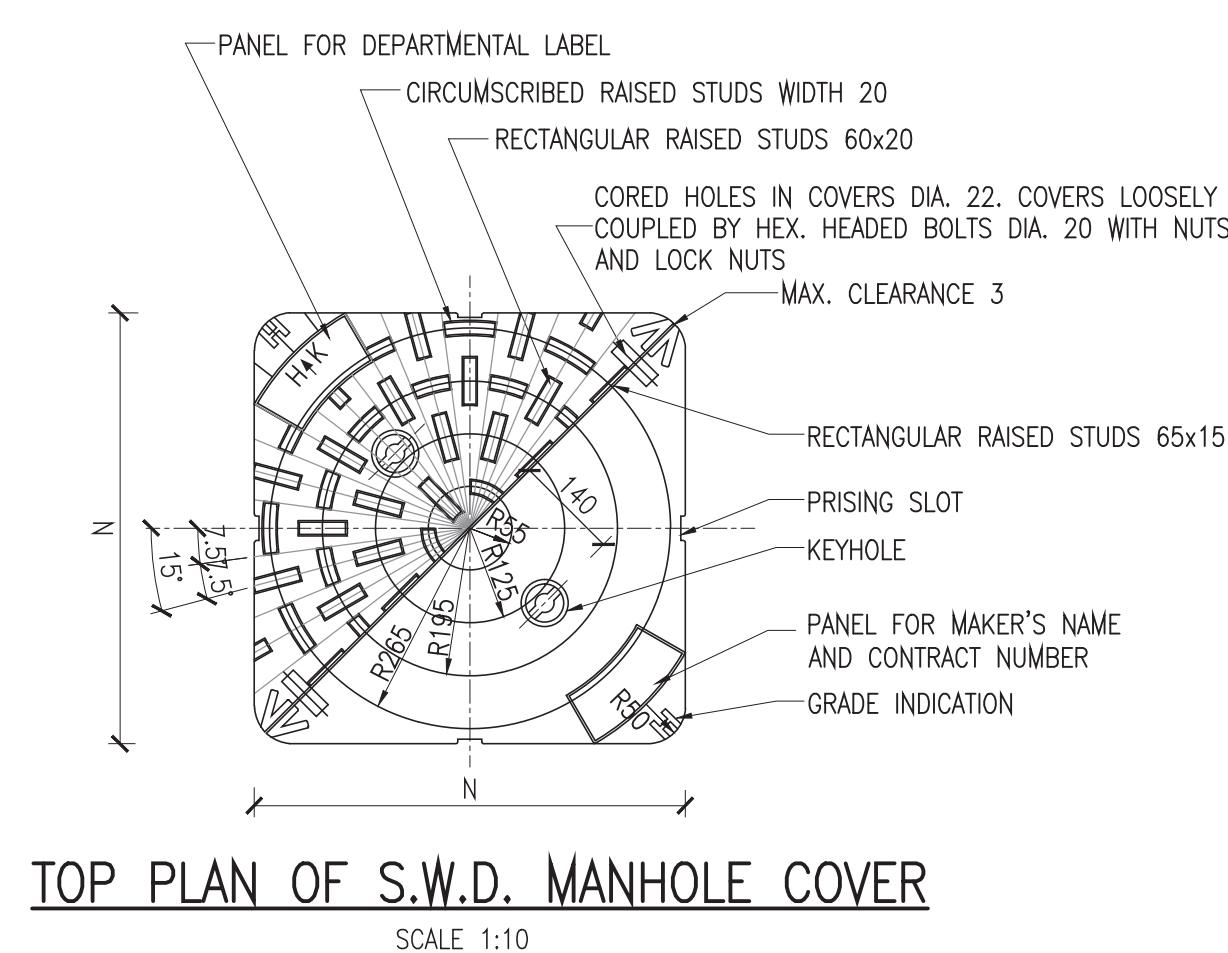
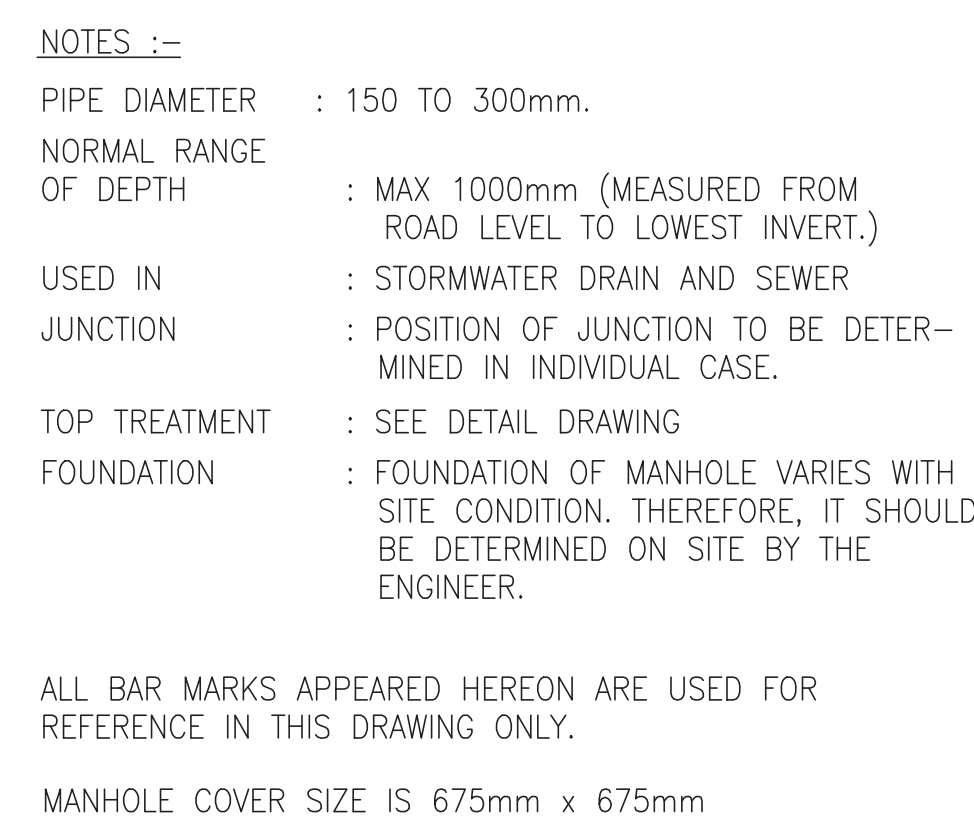
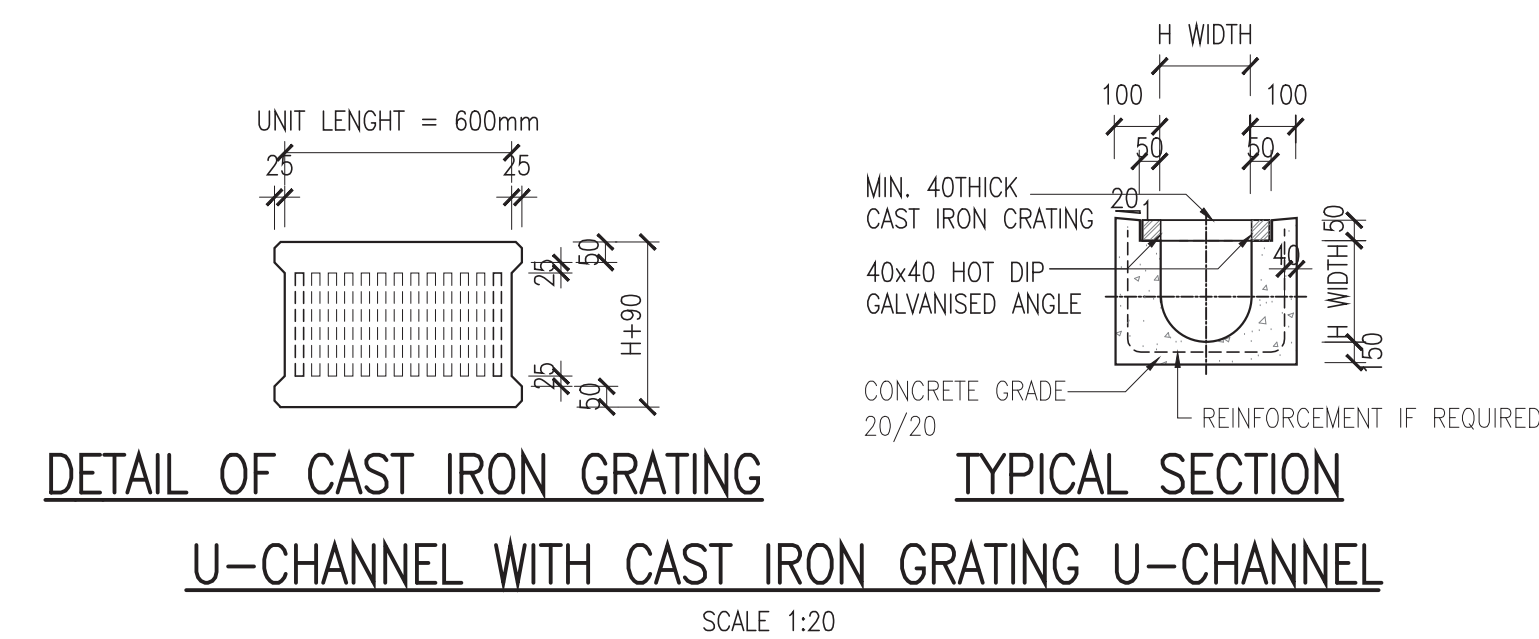
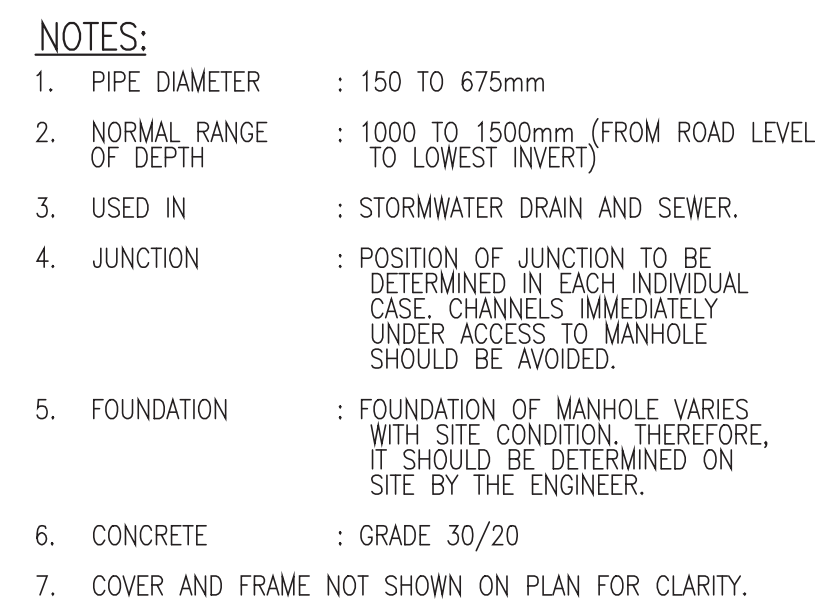
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Consultant

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Drawing No.	Rev.
DD/04	—



DIMENSION LETTER		F	G	R	J	K	S	L	N	P	Q
DIMENSION	H	550	575	800	150	16	22	100	570	20	32

H = HEAVY DUTY

H = HEAVY DUTY

MANHOLE NO.	COVER LEVEL C.L.	INVERT LEVEL I.L.	DISCONNECTING TRAP INVERT LEVEL D.T.I.L.	DEPTH (mm)	MANHOLE TYPE
F.M.H.-01	7.20	6.35	6.20	1000	T1_1
F.M.H.-02	7.30	6.45	—	850	C1
F.M.H.-03	7.48	6.58	—	900	C1
SMH-01	7.46	6.90	—	560	C1
SMH-02	7.10	6.20	—	900	C1
SMH-03	6.20	5.60	—	600	C1
SMH-04	6.12	5.40	5.25	870	T1_1
SMH-08	7.19	6.00	—	1190	D

Project
TEMPORARY
ANIMAL BOARDING
ESTABLISHMENT

Site
D.D. 103 KO PO SAN TSUEN,
KAM TIN, YUEN LONG

Client
HOUSE OF JOY AND MERCY
COMPANY LIMITED

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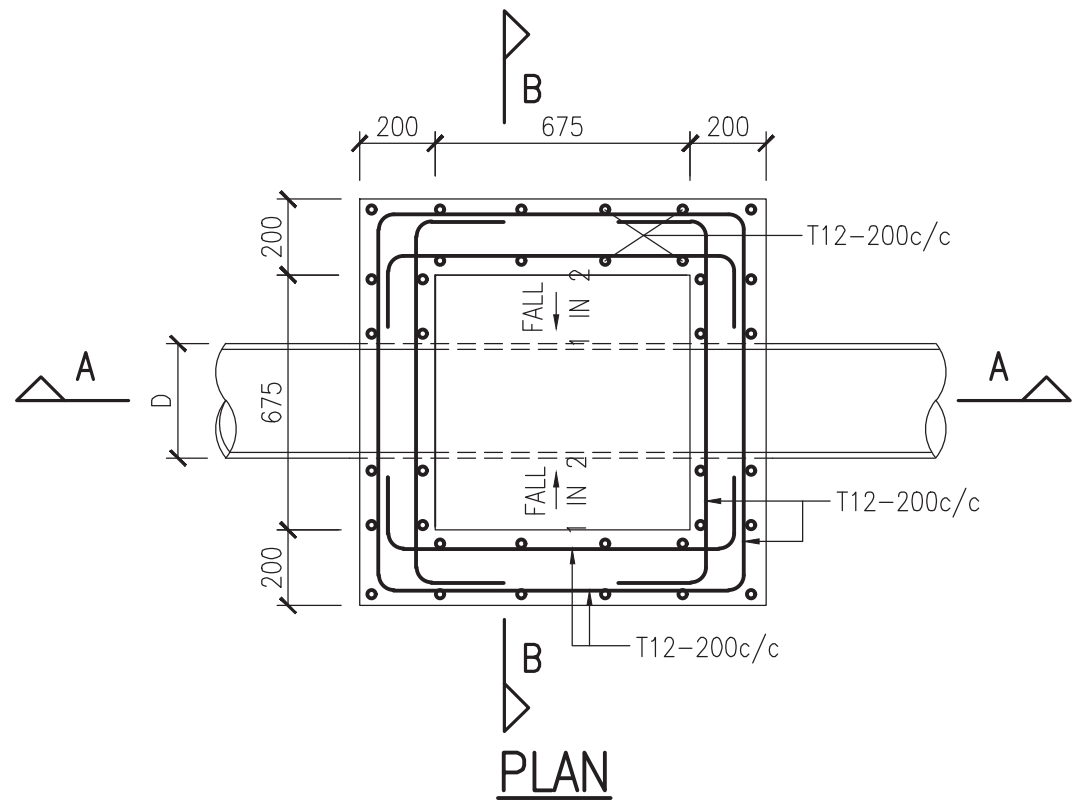
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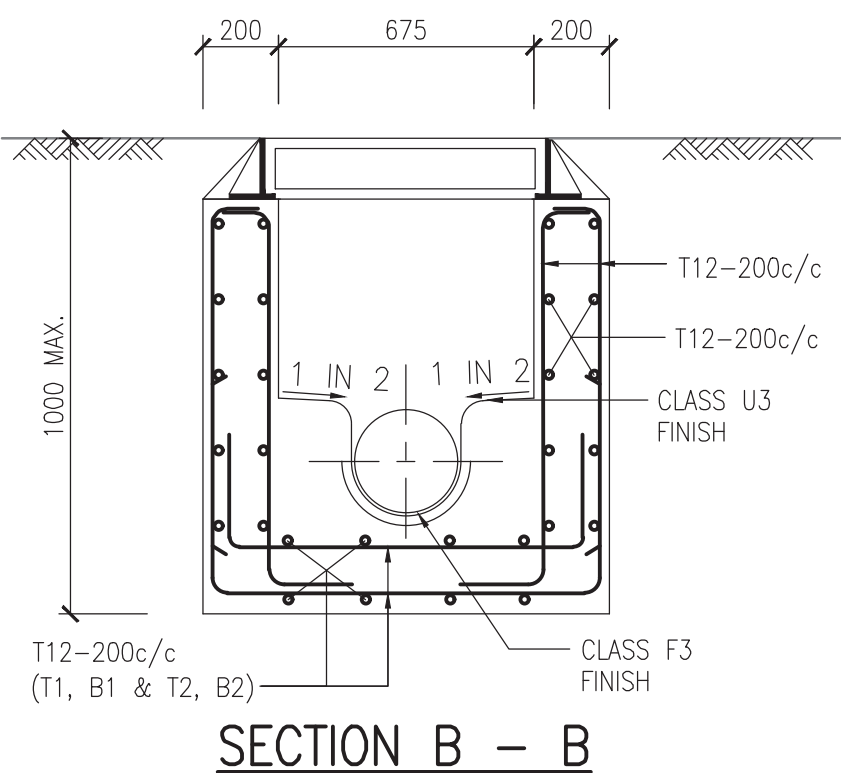
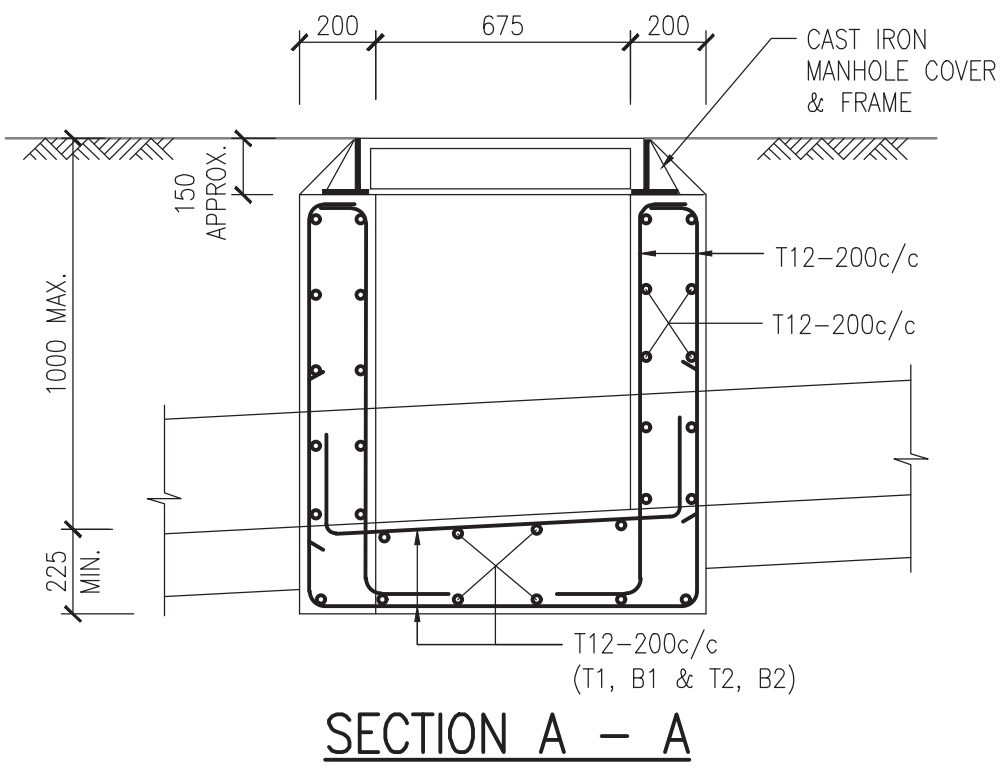
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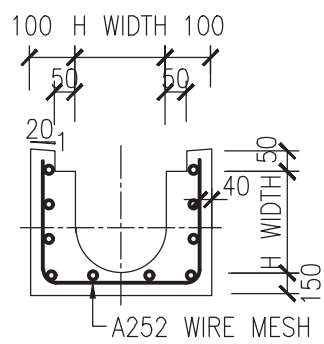
Sheet Title
TYPICAL R.C. DETAILS
FOR SURFACE CHANNEL
AND MANHOLE
(SHEET 1 OF 2)



TYPICAL R.C. DETAILS FOR TYPE "C" MANHOLE
SCALE 1:20



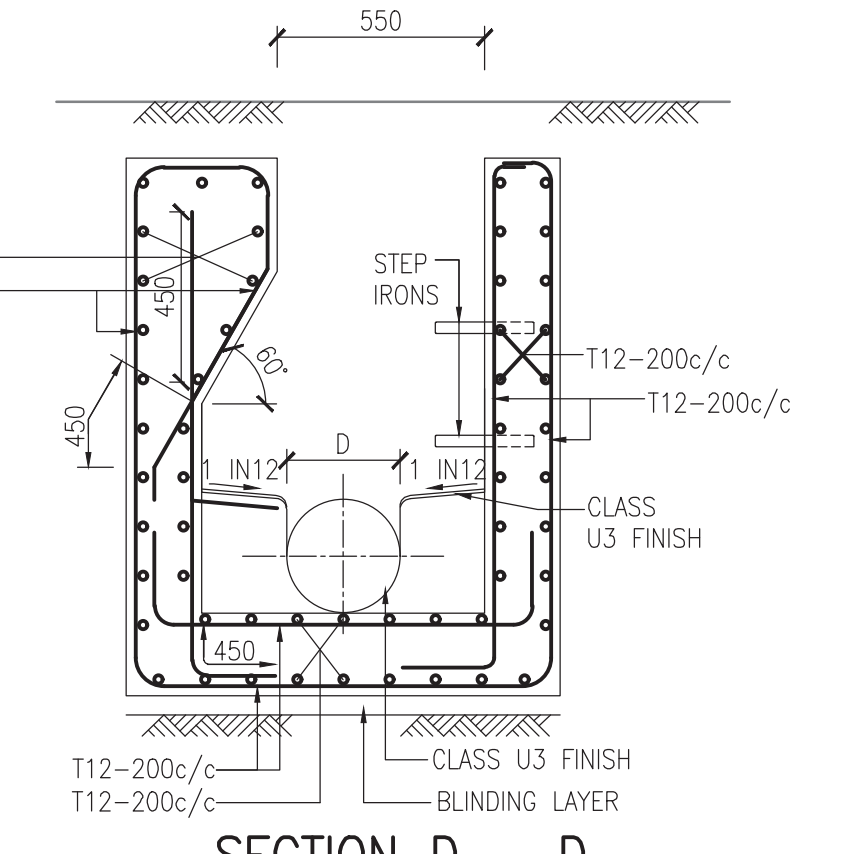
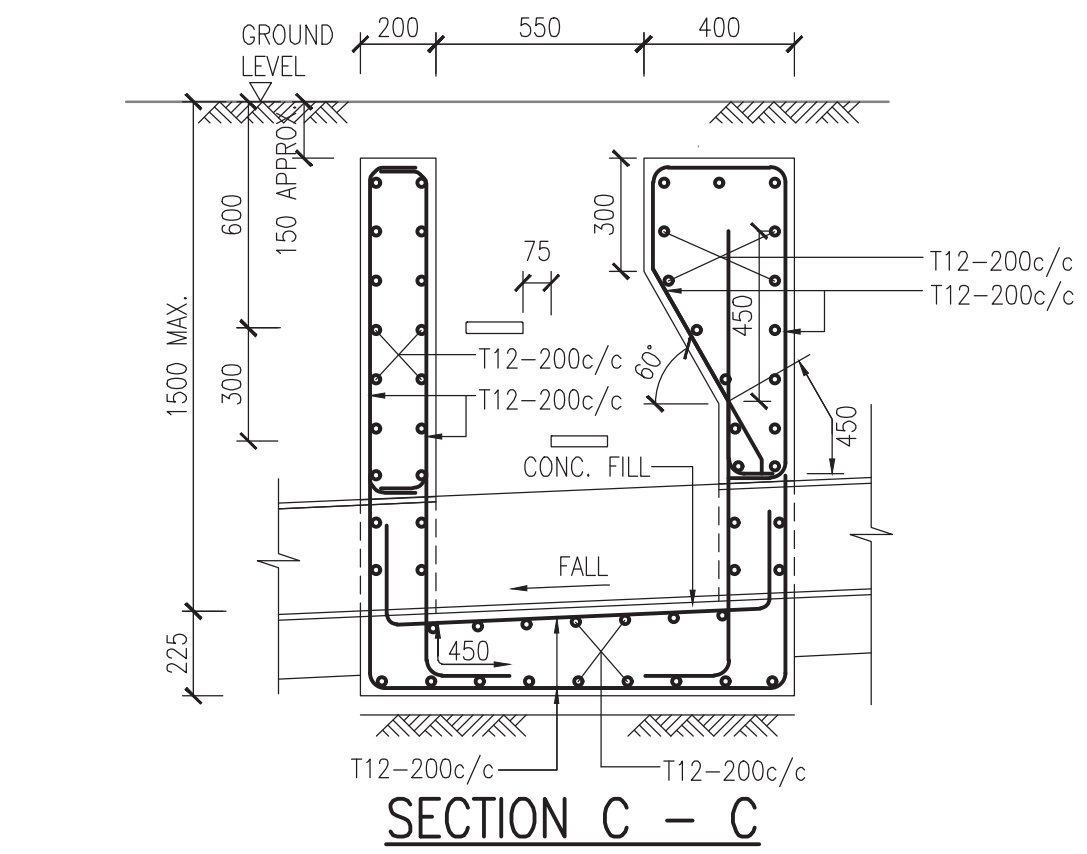
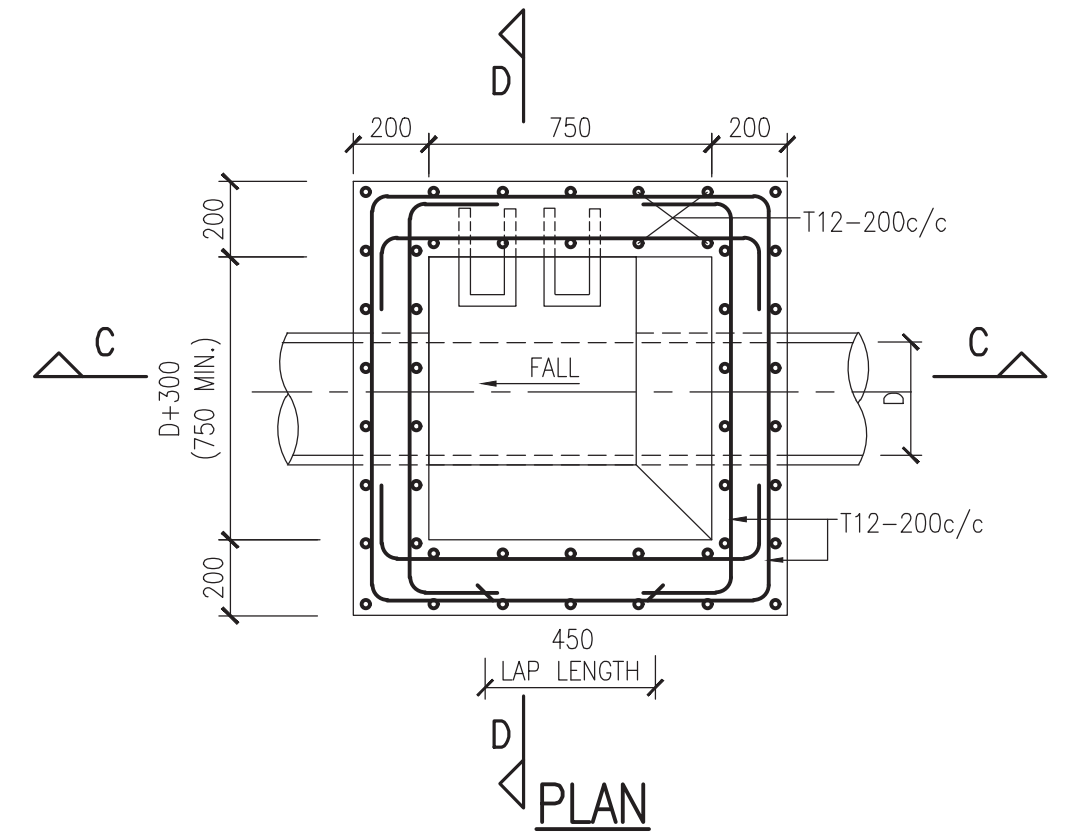
TYPICAL SURFACE
CHANNEL R.C. DETAILS
SCALE 1:20



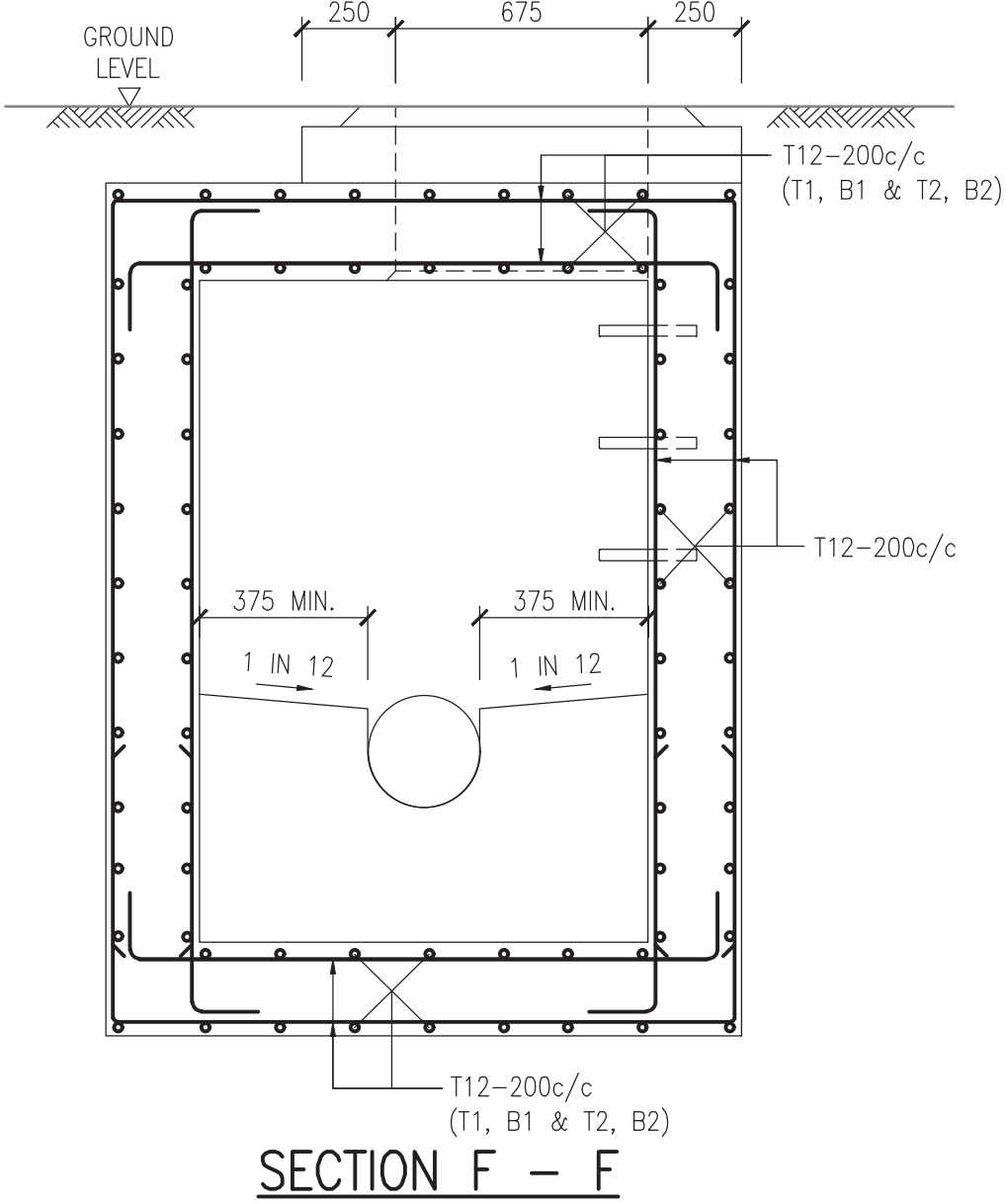
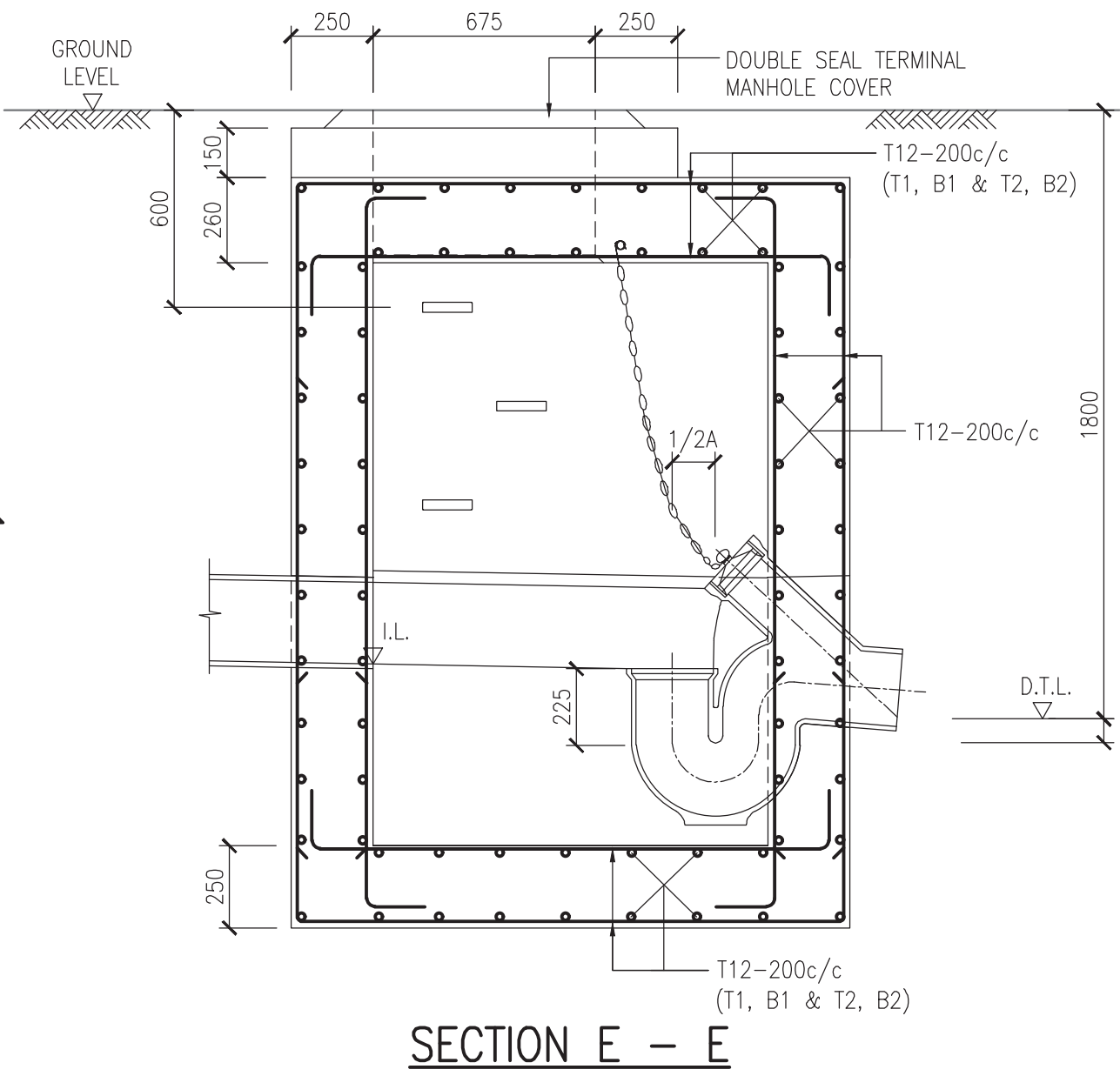
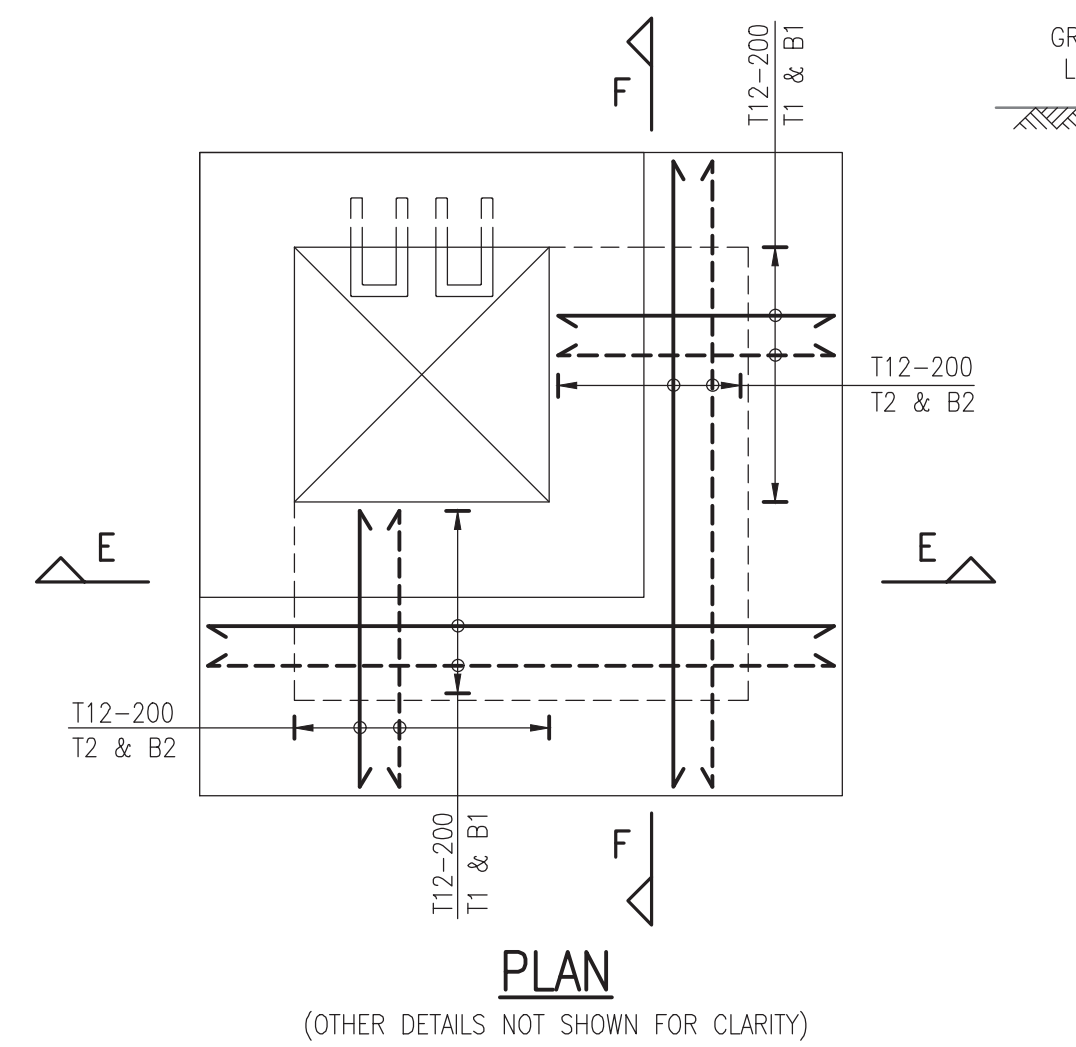
NOTES OF SURFACE CHANNEL & MANHOLE

- ALL DIMENSIONS GIVEN ON ALL DRAWINGS ARE STRUCTURAL UNLESS OTHERWISE SPECIFIED.
- ALL SETTING OUT DIMENSIONS MUST BE VERIFIED AGAINST THE LATEST RELEVANT ARCHITECT'S DRAWINGS BEFORE CARRYING OUT THE WORKS.
- ALL DIMENSIONS TO BE VERIFIED ON SITE AND ANY DISCREPANCIES FOUND ARE REQUIRED TO NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL LEVELS ARE SHOWN IN mPD AND OTHER DIMENSIONS ARE SHOWN IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED.
- REFERENCE REGULATION, CODE OF PRACTICE AND OTHER RELEVANT STANDARD:
 - HONG KONG BUILDING (CONSTRUCTION) REGULATIONS
 - CODE OF PRACTICE FOR STRUCTURAL USE OF CONCRETE 2013
 - FOOTING DESIGN SHALL BE IN ACCORDANCE WITH THE CODE OF PRACTICE FOR FOUNDATIONS 2017.
- ALL CONCRETE MIX TO BE DESIGNED MIX GRADE 30D/20 TO THE CONSTRUCTION STANDARD CS1:2010 (EXCEPT SECTION 7.1).
- CONCRETE COVER TO ALL REINFORCEMENT SHALL BE AS SHOWN IN TABLE BELOW:

AREA	SLAB (mm)	WALL (mm)
CAST AGAINST SOIL	75	75
FORMED BUT LATER IN CONTACT WITH SOIL	50	50
- REINFORCEMENT FOR CONCRETE SHALL BE GRADE 500B HOT ROLLED STEEL RIBBED BAR AND COMPLY WITH CS2:2012 WHERE T DENOTES HIGH TENSILE STEEL WITH 500MPa TENSILE STRENGTH.
- BOND/LAP LENGTH TO BE 33D, WHERE D = DIAMETER OF BAR.
- THE REACTIVE ALKALI OF CONCRETE EXPRESSED AS THE EQUIVALENT SODIUM OXIDE PER CUBIC METER OF CONCRETE SHOULD NOT EXCEED 3.0kg WHEN DETERMINED IN ACCORDANCE WITH THE SPECIFICATION ITEMS GIVEN IN APPENDIX A OF PNAP APP 74.
- ALL BLINDING LAYERS TO BE 50mm THK. WITH CONCRETE MIX 20P TO THE CONSTRUCTION STANDARD CS1:2010.
- THE MANHOLE SHALL BE FOUND ON SUBMERGED SOIL WITH ALLOWABLE VERTICAL BEARING PRESSURE = 50kPa (WITHOUT WIND).
- THE BASE OF THE COMPLETED EXCAVATION SHALL BE TRIMMED AND LEVELED. ALL LOOSE AND DISTURBED MATERIALS SHALL BE REMOVED.



TYPICAL R.C. DETAILS FOR TYPE "D" MANHOLE
SCALE 1:20



TYPICAL R.C. DETAILS FOR TYPE "T1_1" TERMINAL MANHOLE
SCALE 1:20

MANHOLE SCHEDULE

MANHOLE NO.	COVER LEVEL C.L.	INVERT LEVEL I.L.	DISCONNECTING TRAP INVERT LEVEL D.T.I.L.	DEPTH (mm)	MANHOLE TYPE
F.M.H.—01	7.20	6.35	6.20	1000	T1_1
F.M.H.—02	7.30	6.45	—	850	C1
F.M.H.—03	7.48	6.58	—	900	C1
SMH—01	7.46	6.90	—	560	C1
SMH—02	7.10	6.20	—	900	C1
SMH—03	6.20	5.60	—	600	C1
SMH—04	6.12	5.40	5.25	870	T1_1
SMH—08	7.19	6.00	—	1190	D

Project
TEMPORARY
ANIMAL BOARDING
ESTABLISHMENT

Site
D.D. 103 KO PO SAN TSUEN,
KAM TIN, YUEN LONG

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ENGINEERS LIMITED

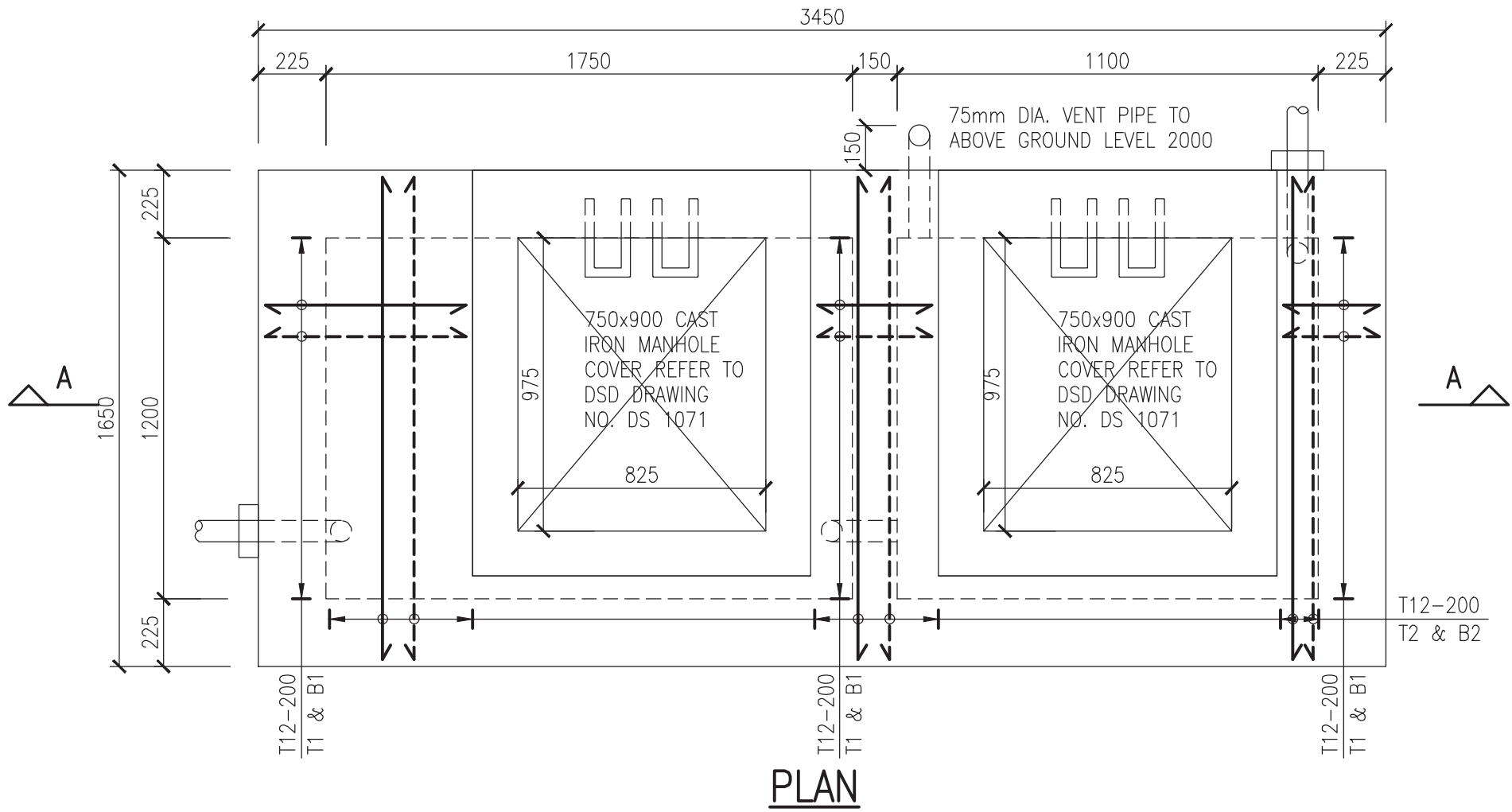
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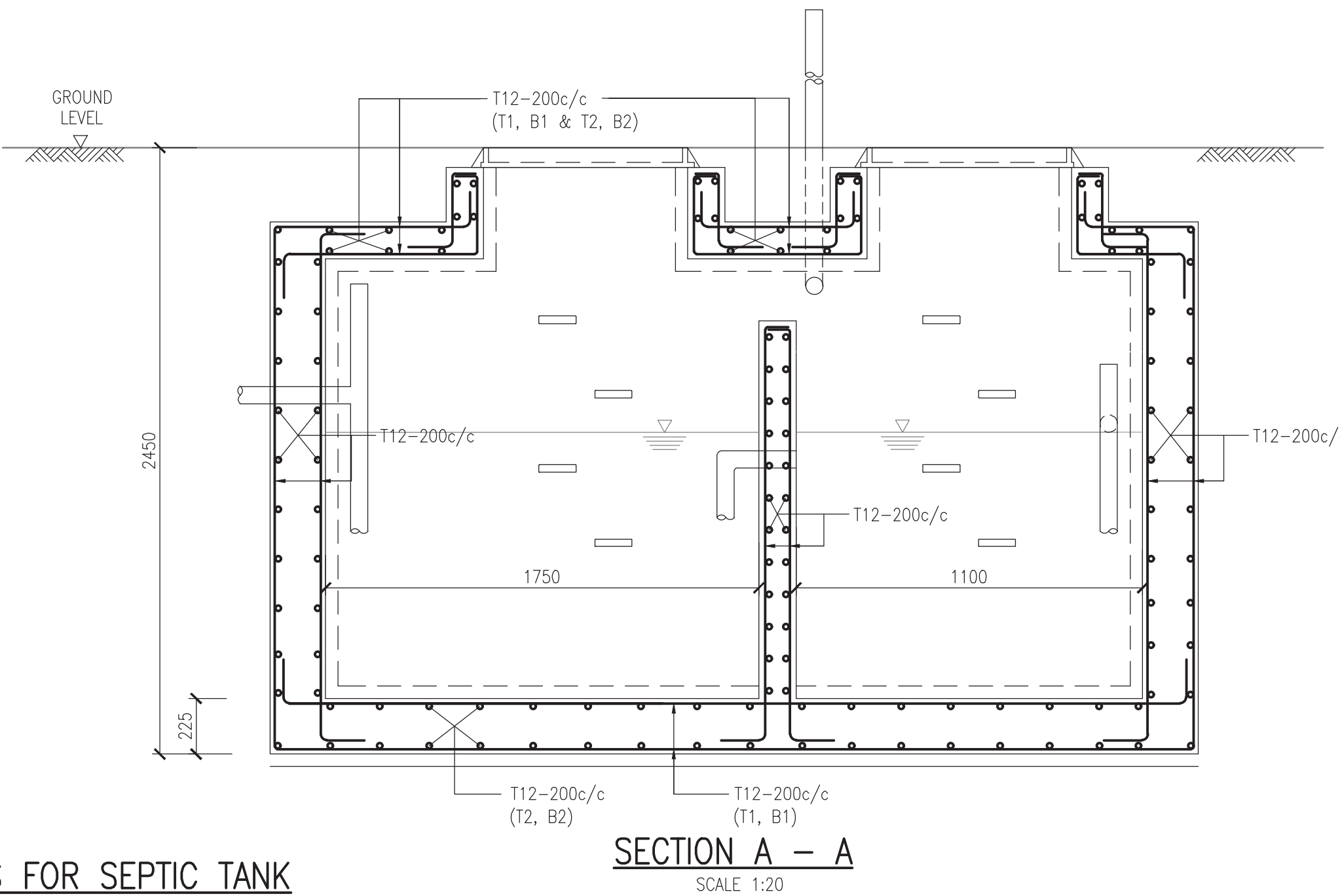
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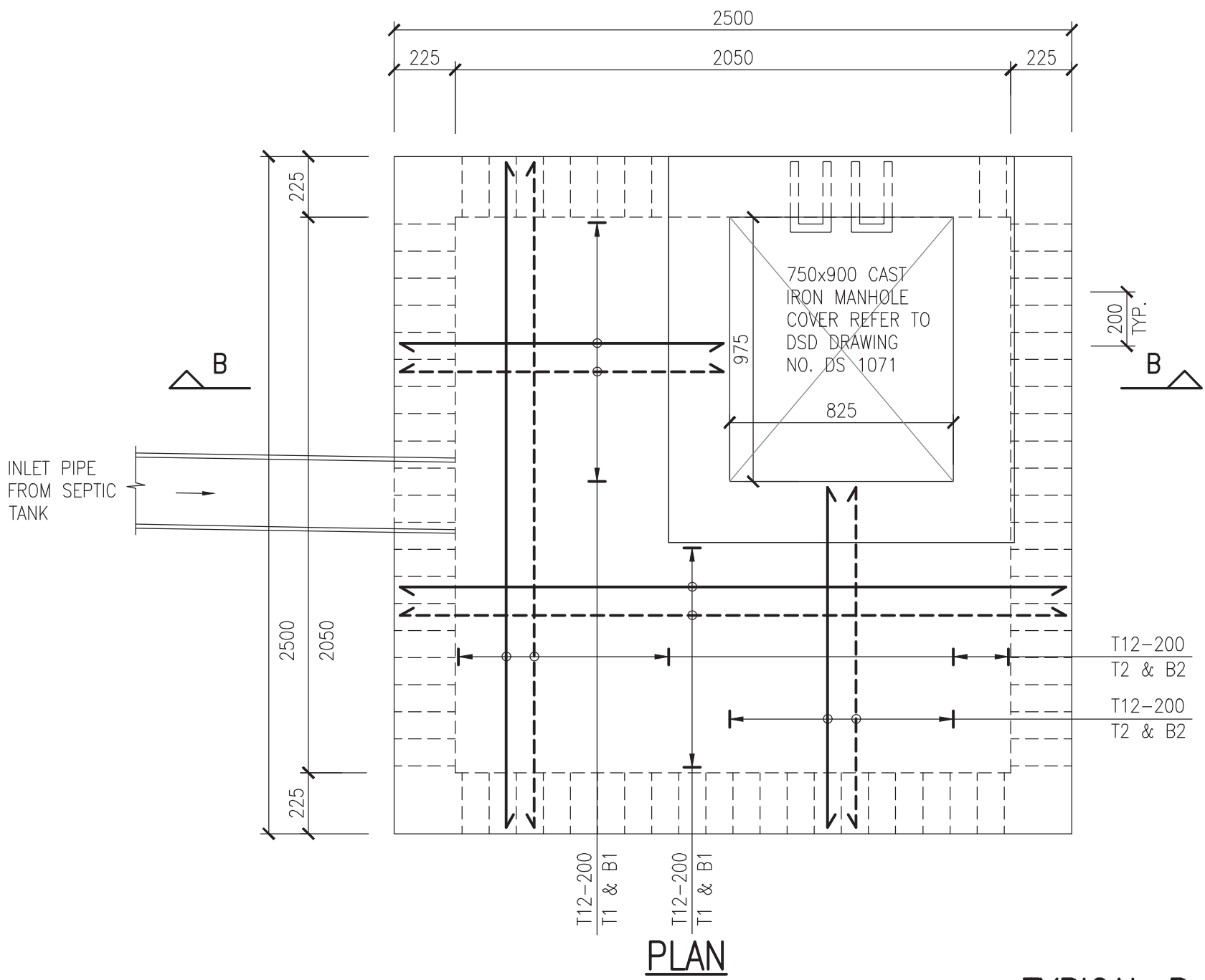
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FOR SURFACE CHANNEL
AND MANHOLE
(SHEET 2 OF 2)



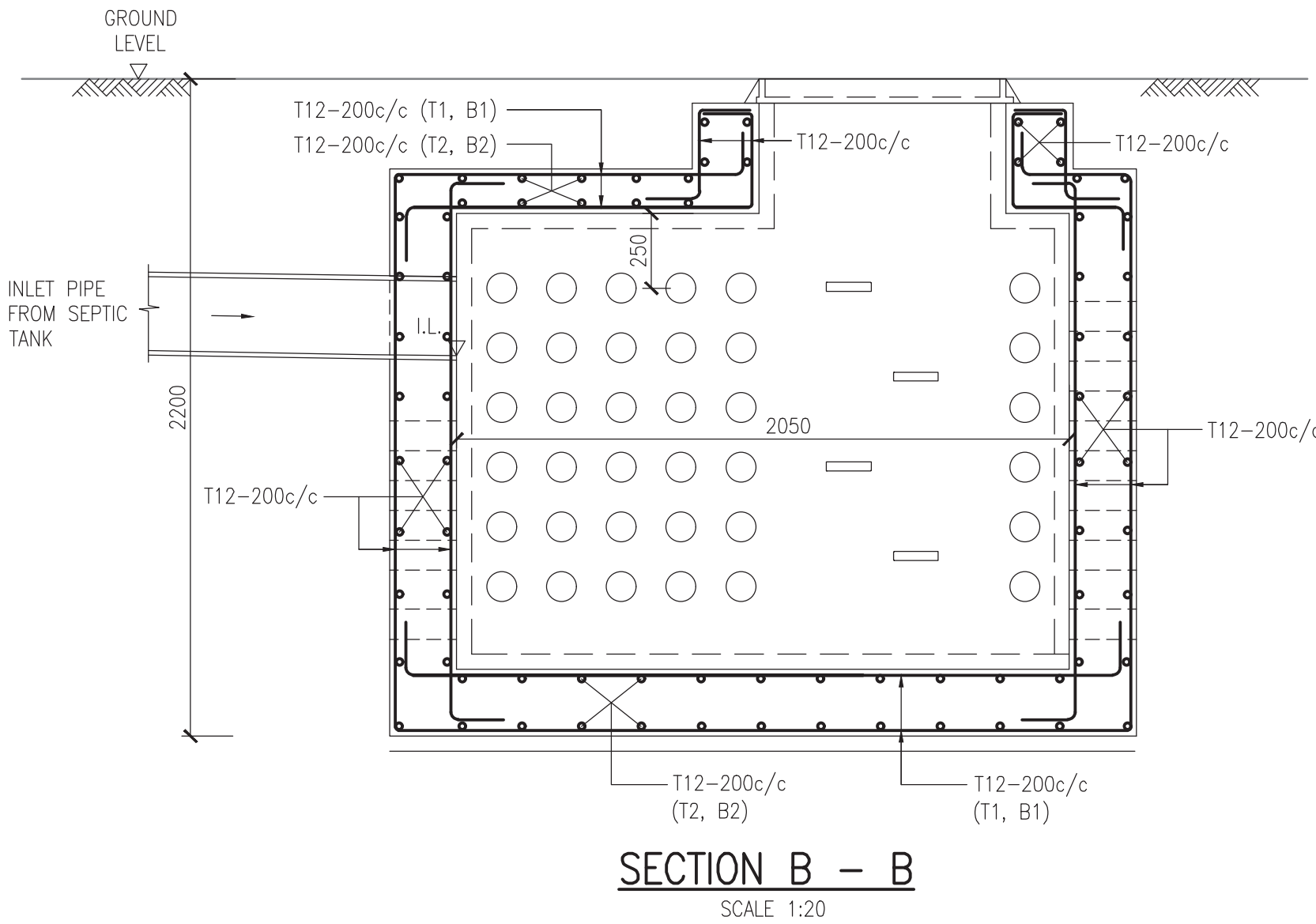
TYPICAL R.C. DETAILS FOR SEPTIC TANK
SCALE 1:20



SECTION A - A
SCALE 1:20



TYPICAL R.C. DETAILS FOR SOAKAWAY PIT
SCALE 1:20



SECTION B - B
SCALE 1:20

**Proposed Temporary Animal
Boarding Establishment at
D.D.103, Ko Po San Tsuen,
Kam Tin, Yuen Long**

Drainage Plan Design Report
1st Submission

Revision: -
Date: 23 February 2021

CONTENT

1	INTRODUCTION	3
1.1	THE PROPOSED NEW DEVELOPMENT.....	3
1.2	THIS SUBMISSION	3
2	SITE DESCRIPTION	3
2.1	SITE LOCATION.....	3
2.2	EXISTING CONDITION	3
2.3	ADJACENT FACILITIES	3
3	DRAINAGE AND SEWERAGE DESIGN.....	5
3.1	STANDARDS, CODES AND REFERENCES	5
3.2	METHODOLOGY AND HYDRAULIC DESIGN ASSUMPTIONS	5
3.3	FLOOD IMPACT ASSESSMENT	8
3.4	DRAINAGE AND SEWERAGE SYSTEMS	10
4	CONCLUSIONS.....	12

APPENDIX

Appendix A – Catchment Area Plan.....	13
Appendix B – Catchment Rainfall Intensity	14
Appendix C – Rainwater Depth Summary	15
Appendix D – Drainage and Sewerage Systems Calculation	16

1 Introduction

1.1 The Proposed New Development

It is proposed to construct a new single-storey steel building with R.C. pad footing for the Temporary Animal Boarding Establishment at the Ko Po San Tsuen, Kam Tin, Yuen Long.

1.2 This Submission

This submission is in line with the corresponding drainage plan submitted on 3 April 2020.

This is the first submission for the design of the Drainage Plan.

2 Site Description

2.1 Site Location

This site is located at Ko Po San Tsuen at Yuen Long at New Territories, **Figure 2.1** refers. This site does not fall into any of the Schedule Areas as stipulated under the Building Ordinance.

2.2 Existing Condition

The site is currently an open area without any existing structures. **Figure 2.2** shows a general site view of the existing site condition. According to the

2.3 Adjacent Facilities

The site is generally surrounded by unoccupied sites or occupied sites with single storey temporary buildings on the Northern, Eastern and Western side.

At the Southern border of the site, there is an on-grade R.C. nullah with top of the wall to be roughly 2.6m above existing ground, **Figure 2.3** refers.

20m beyond the Southern side of the site is a WSD Au Tau Water Treatment Plant.



Figure 2.1 – Site Location



Figure 2.2 – General Current Site View



Figure 2.3 – On-grade R.C. Nullah at the Southern Boundary of the site

3 Drainage and Sewerage Design

This drainage and sewerage impact assessment outlines the methodologies and provides the design assumptions of assessing drainage and sewerage systems and the flooding risk for the site. The assessment follows the requirements of the following standards, codes and references: The design concept of the drainage and sewerage systems is introduced, and a conclusion is drawn at the end of this assessment for DSD, EPD and LD to review and approve.

3.1 Standards, Codes and References

The drainage and sewerage impact assessment is in accordance to the requirements of the following standards, codes and references:

- DSD Stormwater Drainage Manual (2018)
- DSD Sewerage Manual (2013)
- Building Ordinance Cap. 123I
- EPD Guidance Notes On Discharges From village Houses
- EPD Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning

3.2 Methodology and Hydraulic design assumptions

This section provides the general methodologies, hydraulic design assumptions for estimating the stormwater flows and sewage discharges, analyzing the performance of the drainage and sewerage system in the site, and thus assessing the hydraulic impact to the surrounding area.

3.2.1 Hydraulic Capacity

Manning and Colebrook-White equations are the most popular in local applications and suggested in DSD stormwater manual and sewerage manual. In this assessment, Manning equation is adopted to work with in open channel flow calculations. While Colebrook-White equation is used for analyzing partially full or full bore condition of a conduit flow.

The Colebrook-White equation can be applied to analyze a wide range of flow conditions:

$$V = -\sqrt{(32 gRs)} \log\left(\frac{ks}{14.8R} + \frac{1.255 v}{R\sqrt{(32 gRs)}}\right)$$

Where

- V = mean velocity (m/s)
- g = gravitational acceleration (m/s²)
- R = hydraulic radius
- Sf = hydraulic gradient (energy loss per unit length due to friction)
- ks = hydraulic pipeline roughness (m)
- v = kinematic viscosity of fluid (m²/s)

And, the Manning's equation was developed for the analysis of flow in open channels:

$$V = \frac{R^{2/3} s^{1/2}}{n}$$

Where
 V = mean velocity (m/s)
 s = hydraulic gradient (energy loss per unit length)
 n = Manning's roughness coefficient
 R = hydraulic radius (m)

3.2.2 Rainfall Analysis

3.2.2.1 Rainfall Intensity and Rainfall Depth

The Intensity-Duration-Frequency (IDF) Relationship presented in the DSD Stormwater Drainage Manual has been used to estimate the rainfall intensity for durations not exceeding 4 hours.

According to DSD Stormwater Drainage Manual Cl.4.3.3, the equation for calculating rainfall intensity is:

$$i = \frac{a}{(t_b + b)^c}$$

Where
 i = extreme mean intensity in mm/hr
 t = duration in minutes ($t \leq 240$), and
 a, b, c = storm constants based on Gumbel Solution

For storm events exceeding four hours, Depth-Duration-Frequency (DDF) Relationship has been used to estimate rainfall depth. In this assessment, rainfall depth up to 24 hours has been estimated to assess flood risks on site under 1 in 50 year rainfall events.

3.2.2.2 Rainfall Design Return Period

As the construction site is located in rural area in Yuen Long, 1 in 50 year rainfall return period has been used to calculate the rainfall intensity and thus the impact to the surrounding area.

3.2.2.3 Catchment Area

The stormwater catchment area has been identified as in **Appendix A**, and the associate rainfall intensity for each catchment is shown on **Appendix B**. Extent of catchment areas to be included in this assessment within lot boundary is approximately 1100m². The catchment is divided into two parts – covered building area and unpaved area. Different runoff coefficients shall be used for different types of surface material as stated in Section 3.2.2.5.

Time-area method, a modification of rational method, is used to obtain a better estimation of intensity. The discharge equation is:

$$Q_p = 0.278 CiA$$

Where
 Q_p = peak runoff in m³/s
 C = runoff coefficient (dimensionless)
 i = rainfall intensity in mm/hr
 A = catchment area in km²

3.2.2.4 Time / Duration

According to DSD Stormwater Drainage Manual Section 4.3.3, the time of concentration is defined as “the time for a drop of water to flow from the remotest point in the catchment to its outlet”. Due to the size of the site, the Bransby William’s Equation as stated in DSD stormwater manual shall not be used for estimating the concentration time.

The concentration time should be calculated from the rainwater droplet from the remotest point on the roof, to the gutter, then rainwater downpipes, and finally catchpits or manholes. The velocity of the rainwater droplet varies from time to time. The concentration time for the rainwater to the outlet shall be assumed as 2 minutes regardless of the contour, slope and intensity of rainfall for simplicity.

3.2.2.5 Runoff Coefficient

The table below is extracted from DSD Stormwater Drainage Manual Clause 7.5.2:

<i>Surface Characteristics</i>	<i>Runoff coefficient, C*</i>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

* For steep natural slopes or areas where a shallow soil surface is underlain by an impervious rock layer, a higher C value of 0.4 - 0.9 may be applicable.

** Heavy soil refers to fine grain soil composed largely of silt and clay

The covered area shall be paved and the runoff coefficient of 1 shall be used in the calculation. The unpaved area remains a flat land with sandy soil and the runoff coefficient of 0.15 is used for conservative assumption. In this particular assessment, runoff coefficient of 0.3 has also been referenced as sensitivity checks on rainfall data due to the lack of DSD drainage provision nearby.

3.2.3 Sewage Flows Estimate

3.2.3.1 Sewage discharge for Dog Shelter Staff

Based on EPD Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning, As the office structure of the dog shelters is similar to a village resident, the Domestic Unit Flow Factor of R2 Residents and modern village residents shall be 0.270 m³/person/day for an overnight employee and 0.08 m³/person/day for a normal employee. An average of 10 employees with 2 overnight staff shall be working simultaneously on a daily basis.

3.2.3.2 Daily Amount of Washwater for a Dog

As there is no any Hong Kong statutory guidelines or manuals suggesting the exact amount of washwater for a dog in a dog shelter, an assumption of the amount of washwater is made by using the recommended amount of washwater used for a pig as stated in EPD Livestock Waste Control Scheme: Guidelines for Soakaway System. The average amount of washwater is assumed to be 15 L/dog/day with reference to **Table 3.1** extracted from EDP's guideline.

Quantity of washwater used (L/pig/day)	Desludging interval (month)	Septic tank size (m ³ / pig) for different percentage removal of solids during dry muck-out		
		70%	80%	90%
15	3	0.20	0.15	0.10
	6	0.35	0.25	0.15
10	3	0.18	0.13	0.08
	6	0.32	0.23	0.13
5	3	0.16	0.11	0.07
	6	0.30	0.21	0.11

Table 3.1 – Recommended Size of Septic Tank

An amount of 60 dogs is assumed as the maximum number of standard dogs in the dog shelter. The average daily discharge for washing dogs is assumed to be 900 l.

3.3 Flood impact assessment

3.3.1 General

An outline flood impact assessment has been undertaken to assess the flood risk of the site under 1 in 50 year storm events. This assessment focuses on the flood risk within site area only, it is assumed with unpaved area remaining the existing levels with a runoff coefficient of 0.15 and 0.3 (sensitivity check).

Rainwater outside the lot boundary is not included due to the existing surrounding fences. The overland flow from adjacent area of the site cannot intrude into the site area before and after the construction as shown in **Figure 3.1** below. The natural stream and existing village drains remain unaffected.



Figure 3.1 – Photos of the existing surround fences

3.3.2 Rainfall Intensity and Depth

The rainfall intensity and depth are mentioned in Section 3.2.2 and Intensity-Duration-Frequency (IDF) Relationship of North District Area for durations not exceeding 240 minutes, and Depth-Duration-Frequency (DDF) Relationship of North District Area for durations of more than 4 hours are adopted.

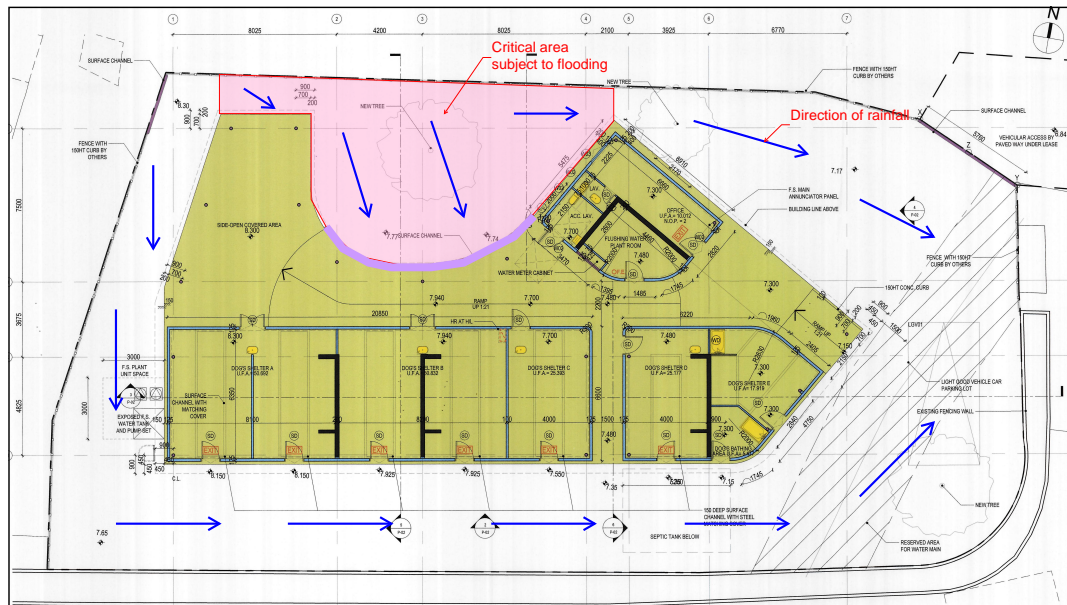


Figure 3.2 – Rainwater Flowpath Plan

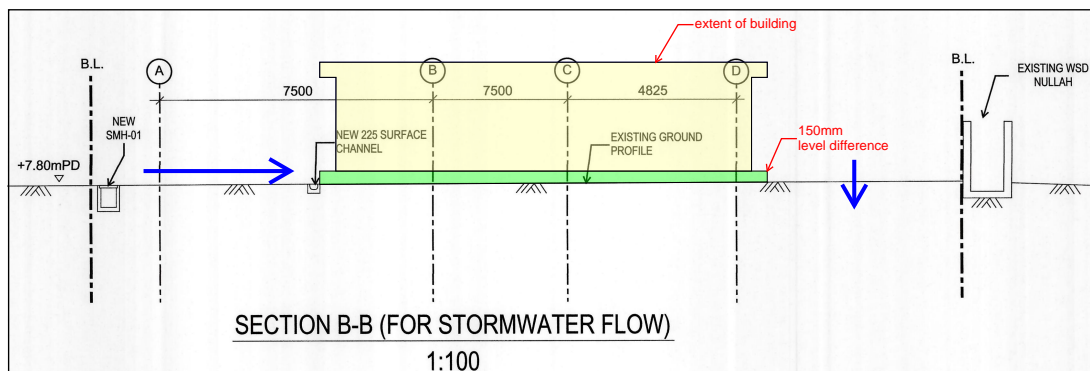


Figure 3.3 – Cross Section

The rainwater depths in the most critical area are estimated under different time frames (15 seconds to 24 hours) with a runoff coefficient of 0.15. A safety factor of 2 is introduced into the calculation for conservation and sensitivity check. The calculated depths are further modified to suit the site contour for representing a more accurate number.

A summary table of rainwater depth is shown in **Appendix C**. The anticipated rainwater depth for 24 hours is 134.8mm which does not exceed the 150mm kerb level difference between the ground soil and the building floor.

3.4 Drainage and Sewerage Systems

Drainage system collects rainwater and conveys. Rainwater is regarded as the precipitation on the roof of the covered building and the unpaved during storm events.

Sewerage system collects wastewater. Wastewater is regarded as the water inside the covered area and the polluted water created by human activities.

Based on DSD record drawings, there is no any DSD drainage and sewerage systems nearby.

3.4.1 Drainage System

The drainage system inside the site is divided into two systems for covered area and unpaved area. The existing natural streams, village drain, ditches and the adjacent areas outside the site remain and are unlikely to be affected.

3.4.1.1 Covered Area

The roof of the covered building is an impermeable plain to receive all rainwater during storm event. The rainwater collected on the roof is conveyed into the gutters at the southern side of the roof. All rainwater is then conveyed to the catchpit on ground level via rainwater downpipes mounted on the side wall. The rainwater finally reaches a standard DSD terminal manhole within lot boundary before discharging into a nullah nearby.

The rainfall intensity is estimated by the time-area method mentioned in Section 3.2.2. Some gravity pipes are designed based on the intensity and the associated calculation is shown in **Appendix D**.

3.4.1.2 Unpaved Area

The precipitation inside unpaved area is collected by peripheral channels or absorbed by soil naturally. The unpaved catchment is divided into several parts (**Appendix B**).

The flow path of the rainwater in northern area is blocked by the covered building. A kerb with 150mm level difference is provided between the unpaved and paved areas. The rainwater shall be rerouted or pond at locally low points.

The rainwater from western area outside the site shall be collected by a peripheral channel. The rainwater shall be conveyed to the proposed drainage system.

However, as mentioned in Section 3.3, the flooding water in southern side shall not affect the covered building and the rainwater is eventually by soakaway. The situation of the southern side of the unpaved area is improved because the covered building intercepted the overland flow / surface runoff from the northern side. The soil in southern side has a larger capacity to infiltrate the rainwater into ground.

3.4.2 Sewerage System

No DSD sewerage system is shown near the location of the site. All sewage is collected by surface channels, floor drains and toilets. The sewage is conveyed into catchpits / manholes and then connected to a septic tank.

3.4.2.1 Pipe Network

As sewers are highly sensitive to clogging issue deal to faeces and other viscous matters, 0.7 m/s self-cleansing velocity of a sewer should be achieved. Unlike a storm event, wastewater is mainly created by human activities and the discharge is relatively small. The gradient and size of a sewer should be designed carefully.

The sources of wastewater in this site are mainly from washwater for dogs and the domestic wastewater from office. The peak discharge per day is approximately 3 – 4 l/s. To achieve the self-cleansing velocity, 150mm sewers with 1:70 fall are being used for catering the discharge. A larger sewer with low velocity or a smaller sewer with low capacity is not suitable under this condition.

Sewers from outlets connect with a catchpit and finally a standard DSD terminal manhole. A pipe network calculation is shown in **Appendix D**.

3.4.2.2 Septic Tank

A septic tank and a soakaway pit are introduced to deal with the wastewater and sludge produced during operation to facilitate sedimentation and decomposition of small solid particles. However, septic tanks are normally not required if dry muck-out at can achieve very high levels of solids removal.

The design of the septic tank is referred on Building Ordinance Cap. 123I and **Table 3.1** shown in **Section 3.2.3**. With very high levels of solids removal during muck-out of the dog shelters and frequent desludging, the total required volume shall be 4.2m³ including domestics use from employees. Detail calculations refer to **Appendix D**.

the size of the septic (3.45L x 1.65W x 2.45D) is designed to hold the solids, and the sewage discharges for dog washing and domestic use mentioned in **Section 3.2.3**. The effective volume of tank shall be 4.28m³

The septic tank is divided into two cells with two 975mm x 800mm openings for desilting / desludging purpose. Dip pipes are used to minimize the impact to water surface and the sludge underneath. The septic tank shall be maintained and de-sludged in a monthly basis.

3.4.2.3 Soakaway Pit

A Soakaway pit is located at the south-eastern corner of the site, away from the watersupply main reserved zone. The purpose of the pit is to discharge the treated wastewater from septic tank to be infiltrate or percolate into groundwater flow. Based on **Table 3.2** extracted from EPD's guideline, the required soakaway area shall be 0.42 per dog with an average of 7 days washing interval and 60 minutes of percolation time from a percolation time test.

Quantity of washwater used per wash (L/chicken)	Wash Interval (day)	Minimum soakaway trench area (m ² /100 chicken) for different percentage removal of solids during dry muck-out		
		95%	97%	99%
0.4	3	0.70	0.46	0.22
	7	0.64	0.40	0.16
	28	0.61	0.37	0.13

Table 3.2 – Recommended Size of Soakaway Pit

The preliminary size of the soakaway pit (2.5L x 2.5W x 2.2D) is designed with a layer of 150mm granular rocks to increase the percolation area. The soakaway pit provides 20.7 m² cylindric percolation area and 7.8 m² bottom percolation area. A soil percolation time test shall be carried out on site to determine the permeability of the local soil for refinement. Detail calculations refer to **Appendix D**.

4 Conclusions

This assessment introduces the drainage and sewerage systems for the site. Both hydraulic capacity and flood risk assessment have also been identified in this report to highlight likely flood impact to site during storm events.

The permanent construction works shall not have a great adverse effect on the adjacent area. The stormwater shall be absorbed or diverted into nullah. And the sewage shall be treated locally by a septic tank and soakaway pit. It concludes that the building has a little effect on the existing condition. The construction works change a little portion of the hydrological condition. The whole condition remain unaffected.

Appendix A – Catchment Area Plan

Project
**TEMPORARY ANIMAL
BOARDING
ESTABLISHMENT**

Site
D.D. 103, KO PO SAN TSUEN,
KAM TIN, YUEN LONG

Client
HOUSE OF JOY AND MERCY
COMPANY LIMITED

Consultants

ARCHITECT/
AUTHORIZED PERSON LAAB LIMITED

REGISTERED
STRUCTURAL
ENGINEER BEFRANK ENGINEERING
CONSULTANT LIMITED

BUILDING SERVICE
ENGINEERING FAR EAST CONSULTING
ENGINEERS LIMITED

General Notes

All dimensions in millimeters unless otherwise stated. Check all measurements on site. Do not scale off drawings.

The drawing to be read in conjunction with the Specification and any discrepancies are to be immediately reported to LAAB.

The drawing illustrates the design intent of LAAB. For structural, mechanical and electrical issues, please refer to the drawings and specification of project engineers. The contractors shall complete and submit shop drawings for LAAB's approval.

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Drawing Issue

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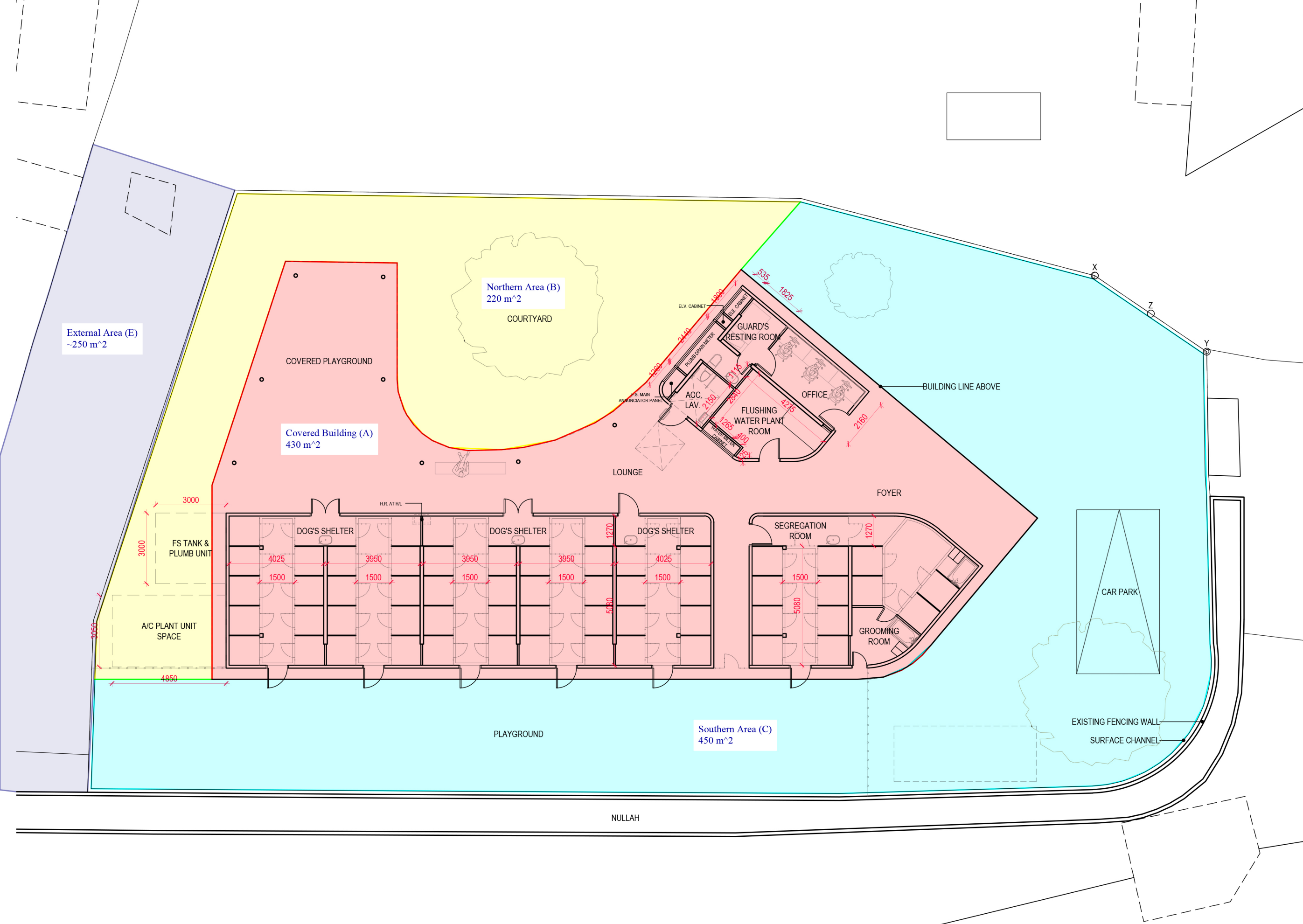
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SITE PLAN

Drawing No.

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Rev.



Appendix B – Catchment Rainfall Intensity

Calculation - Surface Runoff Discharge

Refer to Catchment Plan

	Covered Building (A)	Unpaved Area (B+C)	Northern Area (B)	Southern Area (C)	Lot Boundary (A+B+C)	External Area (E)	Eastern Gate	Western Gate
Runoff coefficient, C	1	0.15	0.15	0.15	0.48	0.15	1.00	1.00
Catchment Area, m ²	430	670	220	450	1100	250	30	40
t _c , min	2.00	2.00	2.00	2.00	2.00	2.00	0.10	0.10
Return Period, yrs	50	50	50	50	50	50	50	50
a	1167.6	1167.6	1167.6	1167.6	1167.6	1167.6	1167.6	1167.6
b	16.76	16.76	16.76	16.76	16.76	16.76	16.76	16.76
c	0.561	0.561	0.561	0.561	0.561	0.561	0.561	0.561
i, mm/hr	225.43	225.43	225.43	225.43	225.43	225.43	239.35	239.35
Q, m ³ /s	0.03	0.01	0.00	0.00	0.03	0.00	0.00	0.00
Q, l/s	26.948	6.298	2.068	4.230	33.246	2.350	1.996	2.662

Appendix C – Rainwater Depth Summary

Anticipated Rainwater Depth under 1 in 50 Year Return Period Storm Event

Duration (T)	Intensity (i = mm/hr)	Rainfall depth (mm)	Surface water depth with 0.15 runoff coefficient (anticipated depth) (mm)	Surface water depth with 0.3 runoff coefficient (sensitivity check) (mm)
0.25 min	238.16	1.0	0.1	0.3
0.5 min	236.22	2.0	0.3	0.6
1 min	232.46	3.9	0.6	1.2
2 mins	225.43	7.5	1.1	2.3
5 mins	207.43	17.3	2.6	5.2
10 mins	184.70	30.8	4.6	9.2
15 mins	167.78	41.9	6.3	12.6
30 mins	135.05	67.5	10.1	20.3
60 mins	102.27	102.3	15.3	30.7
120 mins	73.96	147.9	22.2	44.4
240 mins	51.95	207.8	31.2	62.3
12 hours	-	315.0	47.3	94.5
24 hours	-	416.0	62.4	124.8

As the site is not completely flat, therefore the above table cannot fully represent the actual situation during storm event. Rainwater shall flow to and pond in the lowest point as the figure below. The cross-section of the ponding water shall form a triangle rather than a rectangle. When the length of ponding water exceeds the catchment length, the cross-section of the water shall become a trapezoid due to the fence. The following equations are to calculate the equivalent depth of the rainwater near the building based on the contour under different rainfall intensities.

Triangular Shape:

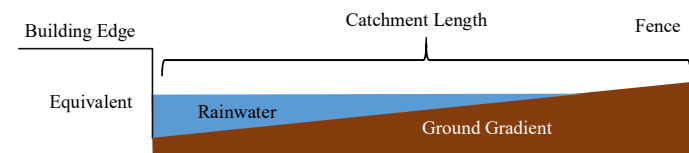
Catchment Length x Calculated Depth = $1/2 \times \text{Gradient of the ground} \times \text{Equivalent Depth}^2$

Trapezoidal shape:

Catchment Length x Calculated Depth = $(2 \times \text{Equivalent Depth} + \text{Gradient} / \text{Catchment Length}) \times \text{Catchment Length} / 2$

Area of the relevant catchment per meter = 10m

Gradient of the ground = $1/500$



Modified Rainwater Depth

Duration (T)	Intensity (i = mm/hr)	Rainfall depth (mm)	Surface water depth with 0.3 runoff coefficient (anticipated depth) (mm)	Equivalent Depth (mm)	Equivalent Length for triangular shape (m)	Modified Equivalent Depth if Eq. Length > Catchment Length (mm)
0.25 min	238.16	1.0	0.3	3.5	1.7	3.5
0.5 min	236.22	2.0	0.6	4.9	2.4	4.9
1 min	232.46	3.9	1.2	6.8	3.4	6.8
2 mins	225.43	7.5	2.3	9.5	4.7	9.5
5 mins	207.43	17.3	5.2	14.4	7.2	14.4
10 mins	184.70	30.8	9.2	19.2	9.6	19.2
15 mins	167.78	41.9	12.6	22.4	11.2	22.6
30 mins	135.05	67.5	20.3	28.5	14.2	30.3
60 mins	102.27	102.3	30.7	35.0	17.5	40.7
120 mins	73.96	147.9	44.4	42.1	21.1	54.4
240 mins	51.95	207.8	62.3	49.9	25.0	72.3
12 hours	-	315.0	94.5	61.5	30.7	104.5
24 hours	-	416.0	124.8	70.7	35.3	134.8

Appendix D – Drainage and Sewerage Systems Calulation

A. Rational method to estimate runoff and pipe sizes
1 in 50 year Design Event for sizing drainage network
1 in 50 year storm constants from DSD Stormwater Manual

u = 0.000001 k_s (ex.) = 0.15 k_s (new.) = 0.06

Items	US Manhole No.	Proposed US Manhole Type	DS Manhole No.	Size of Drains to be Discharged	US IL	DS IL	Length	Gradient	Gradient	Section Area	Wetted Perimeter	R =A/P	32gRS^0.5	Vel.@ full bore	Capacity (90% of Pipe Area)	Surface Runoff/ Discharge	Percentage of Discharge Rate to Drainage Capacity	Remarks
				(mm)	(mPD)	(mPD)	(m)		(1 in x)	(m ²)	(m)	(m)		(m/sec)	(l/sec)	(l/sec)		
Refer to Drawing No. DD/01																		
Stormwater Drainage Network from Covered Building	G-01	Gully	SMH-01	150	7.600	6.900	22.8	0.0307	32.57	0.02	0.47	0.04	0.60	2.28	36.2	5.01	13.85%	Gully of the channel in Western Gate and West Area
	G-02	Gully	SMH-02	150	6.300	6.250	8.0	0.0062	160.00	0.02	0.47	0.04	0.27	0.99	15.7	2.00	12.73%	Gully of the channel in Eastern Gate
	SMH-01	C1	SMH-02	150	6.900	6.250	9.0	0.0722	13.85	0.02	0.47	0.04	0.92	3.54	56.3	5.01	8.90%	
	SMH-02	C1	Sand Trap	150	6.250	6.200	5.5	0.0091	110.00	0.02	0.47	0.04	0.33	1.20	19.1	7.01	36.65%	
	Sand Trap	-	SMH-03	150	5.500	5.400	11.3	0.0088	113.00	0.02	0.47	0.04	0.32	1.19	18.9	7.01	37.18%	
	SMH-06	C1	SMH-07	150	6.800	6.100	19.0	0.0368	27.14	0.02	0.47	0.04	0.66	2.50	39.8	9.00	22.63%	First portion of rainwater from covered building
	SMH-07	C1	SMH-08	225	6.100	6.000	7.0	0.0143	70.00	0.04	0.71	0.06	0.50	1.98	70.7	18.00	25.47%	Second portion of rainwater from covered building
	SMH-08	C1	SMH-03	225	6.000	5.400	14.0	0.0429	23.33	0.04	0.71	0.06	0.87	3.49	124.8	27.00	21.64%	Third portion of rainwater from covered building
	SMH-03	C1	SMH-04	225	5.400	5.300	5.0	0.0200	50.00	0.04	0.71	0.06	0.59	2.35	84.2	34.01	40.40%	
SMH-04	T1	Nullah	225	5.150	5.100	1.0	0.0500	20.00	0.04	0.71	0.06	0.94	3.78	135.1	34.01	25.18%	To be confirmed on Site	
Refer to Drawing No. DD/01																		
	FMH-03	C1	FMH-01	150	6.580	6.350	6.0	0.0383	26.09	0.02	0.47	0.04	0.67	2.55	40.6	1.00	2.46%	Assuming the peak dischrage to be 1 l/s for dog washing
	FMH-02	C1	FMH-01	150	6.450	6.350	6.5	0.0154	65.00	0.02	0.47	0.04	0.43	1.59	25.2	3.00	11.89%	Assuming the peak dischrage to be 3 l/s for domestic use
	FMH-01	T1	Septic Tank	150	6.200	6.150	1.8	0.0278	36.00	0.02	0.47	0.04	0.57	2.16	34.3	5.00	14.56%	Assuming 5 l/s for the whole discharge
	Septic Tank	-	Soakaway Pit	225	6.075	6.050	4.8	0.0052	192.00	0.04	0.71	0.06	0.30	1.16	41.6	5.00	12.01%	

Required Volumn for Dog-washing

Quantity of wastewater used (L/pig/day)	Desludging interval interval (month)	Septic tank size (m ³ / pig) for different percentage removal of solids during dry muck-out		
		70%	80%	90%
15	3	0.20	0.15	0.10
	6	0.35	0.25	0.15
10	3	0.18	0.13	0.08
	6	0.32	0.23	0.13
5	3	0.16	0.11	0.07
	6	0.30	0.21	0.11

Quantity of wastewater used for a dog per day	15	L	(Referring the max. amount for a pig)
With very high levels of solids removal and;	99%		(Daily removal by employees)
Frequency of desludging	Monthly		
Total number of dogs	60		

The required volume of the septic tank for a dog - (a)

Quantity of washwater x 3 days + Amount of sludge * % of removal * Months

0.0467 m³

The total required volume of the septic tank - (b)
 = (a) x Number of dogs
 = 2.8 m³

Assuming:			
Daily Discharge for an overnight staff	270	L	(Assuming 2 overnight staff)
Daily Discharge for a normal employee	80	L	
Number of Staff	10		

Daily amount of sewerage discharged by employee - (c)
= 1.18 m³

$$\begin{aligned} \text{Total required Volume} &= (b) + (c) \\ &= \underline{3.98} \quad \text{m}^3 \end{aligned}$$

Actual Dimensions of the Proposed Septic Tank:
3.45L x 1.65W x 2.45D

Effective Length	2.85 m	(With 2x 225mm wall and 150m intermediate wall)
Effective Width	1.2 m	(With 2x 225mm wall)
Effective Depth	1.225 m	(From the pipe invert level to the bottom)

The effective volume of the proposed septic tank
 = Length x Width x Depth
 = 4.19 m³

OK

Sizing of a Soakaway Pit

Required Percolation Area for Dog-washing

According to the EPD's Guideline,

Percentage removal of solids during dry muck-out	70%	80%	90%
Minimum soakaway trench area requirement (m ² /pig)	1.1	0.9	0.7

Assumption from EPD:

Daily Washwater 15 L/pig
Percolation Time 60 Mins
Type Trench

Table 1

Time for water to fall 150mm in test pit (minutes)	Required trench bottom area (m ²) per 1,000L/day of wastewater	Required pit percolation area (m ²) per 1,000L/day of wastewater
6 or less	31	23
12	38	29
30	51	38
60	72	53
180	152	111

Assumption from EPD:

Daily Washwater 15 L/pig
% of Removal 70%

Table 2

Assuming:

Average quantity of washwater used for a dog per day 15 L (Referring the max. amount for a pig)
With very high levels of solids removal and; 99% (Daily removal by employees)
Frequency of dog washing Every Week
Frequency of desludging Monthly
Total number of dogs 60
Percolation Time 12 mins (Fine Sand / Slity Sand based on GI Record)

Pro rata to the requiements shown in the Table 1,

The Percolation area required for solids per dog 2.000 m³ (Referring the required volume for a pig)
The Percolation base area required for a dog 0.500 m³ (Referring the required volume for a pig)

The required soakaway trench area per dog -(a)

= Amount of sludge x % of removal + Base volume
= 0.5200 m²

The total required percolation area of a soakaway trench - (b)

= (a) x Number of dogs
= 31.2 m²

The total required percolation area of a soakaway pit

= (b) x Trench/Pit ratio in Table 2 x Percolation Ratio
= 12.1 m²

Required Percolation Area for Domestic Discharge

Assuming:

Daily Discharge for an overnight staff 270 L (Assuming 2 overnight staff)
Daily Discharge for a normal empolyee 80 L
Number of Staff 10

Daily amount of sewerage discharged by employee - (c)

= 1.18 m³

Pro rata to the requiements shown in the Table 2,

Daily amount of sewerage discharged by employee

= (c) x Required Pit area in Table 2 x % of removal ratio in Table 1
= 16.2 m² (Assuming high levels of solids removal)

Total Required Percolation Area

Total required Percolation Area

= 28.3 m³

Total Proposed Volume

Actual Dimensions of the Proposed Soakaway Pit:

= 2.5L x 2.5W x 2.2D

Dimensions of the Proposed Soakaway Pit:

Effective Length 2.8 m (Assuming a layer of 150mm granular rocks)
Effective Width 2.8 m (Assuming a layer of 150mm granular rocks)
Effective Depth 1.85 m (From the pit neck to the bottom)

The effective Percolation area of the proposed soakaway pit

= ((Length x 2) + (Width x 2)) x Depth + (Length x Width)
= 28.56 m² OK

Design for Sand Trap

Diameter of Pipe / U-channel, B = 150 mm
 Width of Sand Trap, W = 1400 mm > 3B
 Depth of Sand Trap, D = 550 mm
 Length of Sand Trap before Weir, L = 2000 mm

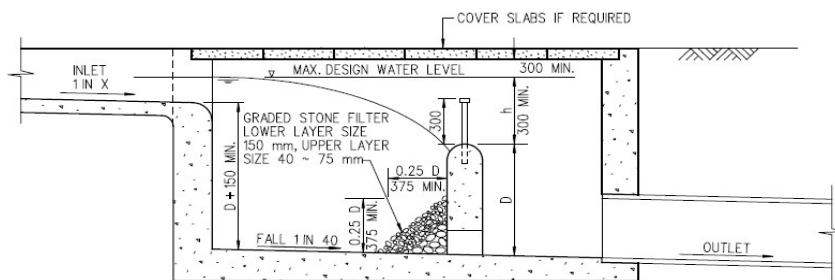
Q = Average Flow Rate of Stormwater = 7.0 l/s Stormwater From External Catchment, and Two Entrances

Flow Depth Above the Wier, $y = (Q / 1.7B)^{2/3} = 196.2 \text{ mm}$ Energy equation

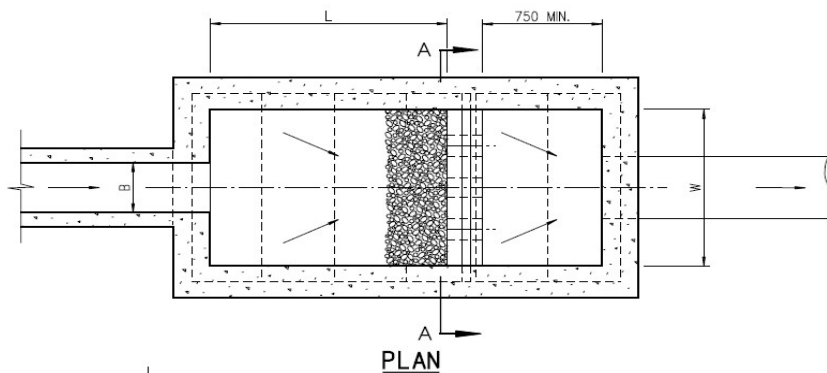
Effective Volumn , V = B x (H + y) x L 2089.4 l

Required Detention Time, tr = 5 mins

Detection Time, t = V / Q = 5.0 mins



LONGITUDINAL SECTION



PLAN

Design for U-Channel

By Manning's equation,

$$V = \frac{R^{2/3} S^{1/2}}{n}$$

where $R \text{ (m)} = A / P$

and

$A =$ wetted cross-sectional area (m^2)

$P =$ wetted perimeter (m)

$S =$ Gradient = 1 in 100

$n \text{ (s/m}^{1/3}\text{)} =$ roughness factor = 0.016

(Stormwater Drainage Manual, Table 13)

U-channel size, $H = 225$ mm

Calculations of Capacity of U-Channel:

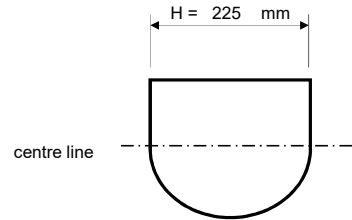
Area of U-channel, $A = 0.0452$ m^2

Wetted Perimeter, $P = 0.5784$ m

Hydraulic Radius, $R = 0.0781$ m

Velocity, $V = 1.1422$ m/s

Flow Rate, $Q = A \times V = 0.0516$ m^3/s
=> 52 litre /s



Appendix 2

Letter from Planning Department dated 31.08.2021 for Compliance with Condition (f) on the
implementation of the drainage proposal

規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



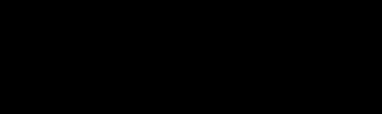
Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-KTS/867
電話號碼 Tel. No. : 3168 4072
傳真機號碼 Fax No. : 3168 4074

By Post & Fax (2897 1645)

House of Joy & Mercy Co. Ltd.



(Attn.: Tse Yuen Yee)

31 August 2021

Dear Sir/ Madam,

**Submission for Compliance with Approval Condition (f)
- the Implementation of the Drainage Proposal**

**Proposed Temporary Animal Boarding Establishment
for a Period of 5 Years and filling of land in "Agriculture" Zone,
Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Application No. A/YL-KTS/867)**

I refer to your submission dated 26.7.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in *Appendix*.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**.

Should you have any queries on the departmental comments, please contact Bill CHAN (Tel: 2781 4107) the Drainage Services Department directly.

Yours faithfully,

(Anthony LUK)
District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

Appendix 3

Letter from Planning Department dated 14.04.2021 for Compliance with Condition (h) on the
submission of a fire service installations proposal

規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-KTS/867
電話號碼 Tel. No. : 3168 4072
傳真機號碼 Fax No. : 3168 4074

By Post

House of Joy & Mercy Co. Ltd.

(Attn.: Tse Yuen Yee)

14 April 2021

Dear Sir/ Madam,

Submission for Compliance with Approval Condition (h)
- the submission of fire service installations proposal
- Proposed Temporary Animal Boarding Establishment
for a Period of 5 Years and filling of land in "Agriculture" Zone,
Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Application No. A/YL-KTS/867)

I refer to your submission dated 22.3.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries on the departmental comments, please contact Mr. Wong Ho-yin (Tel: 2733 7737) of Fire Services Department directly.

Yours faithfully,


(Anthony LUK)

District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

C.C.

D of FS

Internal

CTP/TPB

(Attn.: Mr. WONG Ho-yin)

IC/ol

Appendix 4

Letter from Planning Department dated 22.11.2021 for Compliance with Condition (i) on the
implementation of the fire service installations proposal

規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



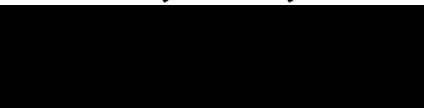
Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F., CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-KTS/867
電話號碼 Tel. No. : 3168 4072
傳真機號碼 Fax No. : 3168 4074

By Post & Fax (2897 1645)

House of Joy & Mercy Co. Ltd.



(Attn.: Tse Yuen Yee)

22 November 2021

Dear Sir/ Madam,

**Submission for Compliance with Approval Condition (i)
- the Implementation of the Fire Service Installations Proposal
Proposed Temporary Animal Boarding Establishment
for a Period of 5 Years and filling of land in "Agriculture" Zone,
Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Application No. A/YL-KTS/867)**

I refer to your submission dated 16.11.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

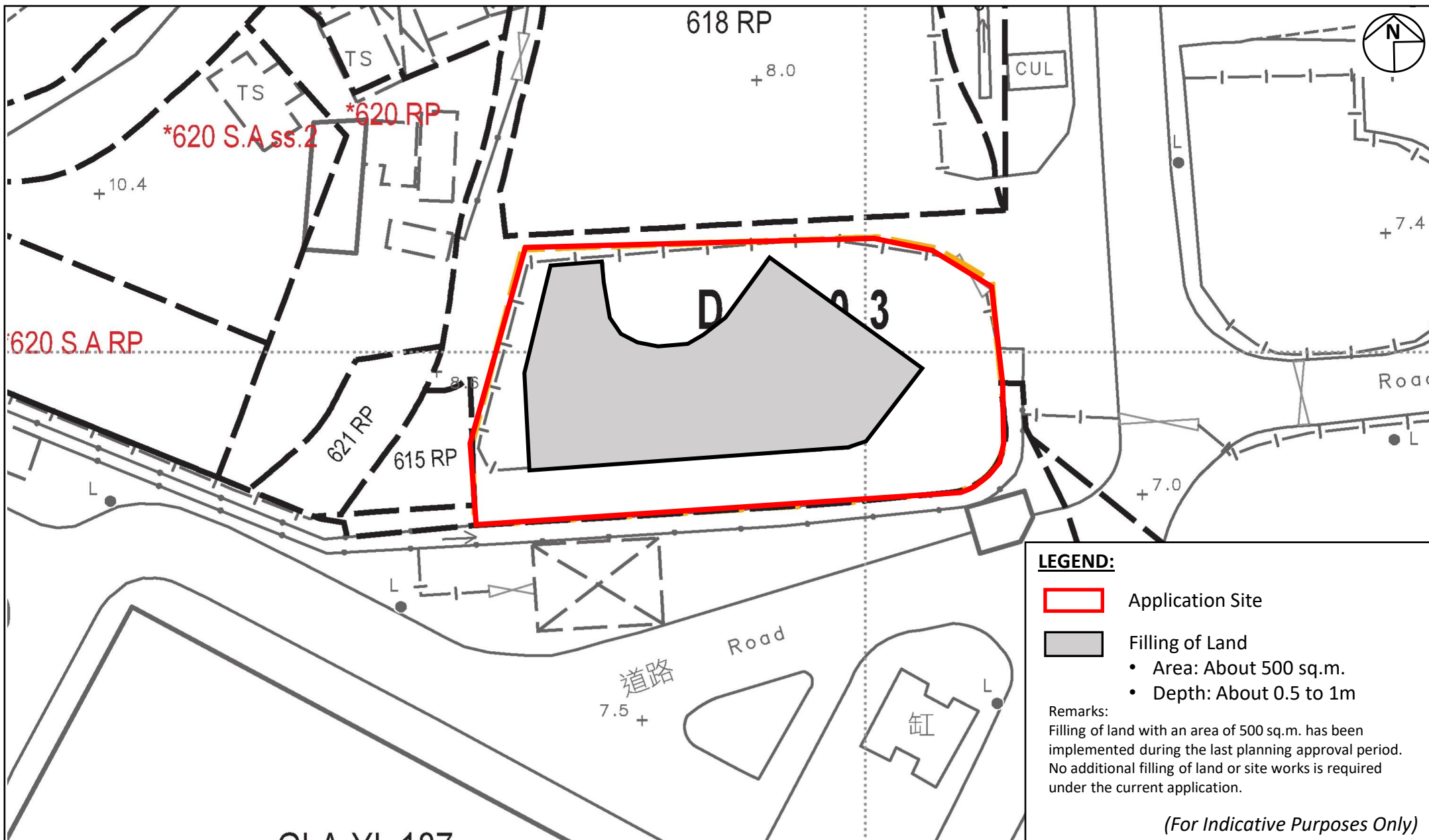
- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries on the departmental comments, please contact Mr. Wong Ho-yin (Tel: 2733 7737) of Fire Services Department directly.

Yours faithfully,

(Anthony LUK)

District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department



Project:

Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long (Renewal of Planning Application No. A/YL-KTS/867)

Title:

Land Filling Plan

Figure:

4

Scale:

Not to Scale

Date:

Sep 2025

Ref.: ADCL/PLG-10323-R001/F004



AIKON DEVELOPMENT CONSULTANCY LTD.



Date : 20th October, 2025
Our Ref. : ADCL/PLG-10323/L002

The Secretary,
Town Planning Board,
15/F., North Point Government Offices,
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

**Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Renewal of Planning Application No. A/YL-KTS/867)**

We refer to our submission dated 2.10.2025 (*Ref.: ADCL/PLG-10323/L001*) and would like to provide supplementary information and clarification to facilitate considerations by the Town Planning Board.

It is clarified that the submitted photographic records of existing drainage facilities are dated 9.9.2025.

There are no changes to the layout compared to the last approved application. Attached are the accepted FSI proposal and the latest FS251 to facilitate considerations by the Fire Services Department.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our Mr. Thomas LUK at [REDACTED]

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited

Thomas LUK

Encl.
c.c. Client





STOREY	USE	CLASS	COMPARTMENT		F.R.P. (MM)	MINIMUM DIMENSION FOR ELEMENT OF CONSTRUCTION (MM)					
			AREA (S.M)	VOLUME (C.M)		R.C. SLAB				R.C. COLUMN	
						THICKNESS	COVER OF STEEL	THICKNESS	COVER OF STEEL		
G/F	OFFICE	4A	37.266		60	100	20	200	30	200	25
G/F	DOORS SHELTER	4A	53.78	226.9400	60	100	20	200	30	200	25
G/F	DOOR SHELTER (SEGREGATION)	4A	137.590		60	100	20	200	30	200	25

COMPARTMENT		F.R.P. (MIN)	R.C. SLAB	
S.M.)	VOLUME (C.M.)	STEEL	CONCRETE	STEEL
217.817	60	100	20	
	60	100	20	

USE	TOTAL USABLE FLOOR AREA	FACTOR OF S.M/ PERSON	TOTAL NOS. FOR PERSON (PER UNIT)	SANITARY FITMENT REQUIRED			SANITARY FITMENT PROVIDED		
				WC	URINAL	BASIN	WC	URINAL	BASIN
OFFICE	14.791	9	2	1	-	1	2	-	2



Extract of GBP Submission/
FSI Proposal for the compliance
of approval condition (h) of
Planning Application No. A/YL-
KTS/867 for submission of fire
service installations proposal

OCT 2025



WELL CREATION ENGINEERING LIMITED

創 益 工 程 有 限 公 司

COMPLETION REPORT 完工報告

Job no.: 工作單編號:	J240133	Ref. No.: 檔案編號:	Q24-0132
Client: 客戶名稱:	HOUSE OF JOY & MERCY COMPANY LIMITED 阿棍屋		
Site Address: 工程地址:	D.D. 103 KO PO SAN TSUEN, KAM TIN, YUEN LONG, NEW TERRITORIES		
Client's Contact Person & Telephone: 客戶聯絡人及電話:	Name: 姓名:	Tel: 電話:	Mr Chung
Reservation Services: 預約服務:	Date: 日期:	Time: 時間:	4/6/2024 (星期二) 下午

Works Description 工作內容

消防週年檢查服務

- | | | |
|-----------------------------------|---|-----|
| 1) Portable Fire Extinguisher | x | 1 單 |
| 2) Emergency Light (應急後備照明燈) | x | 1 單 |
| 3) Exit Sign Box (出口燈箱) | x | 1 單 |
| 4) Fire Detection System (火警偵測系統) | x | 1 單 |
| 5) Manual fire alarm system (MFA) | x | 1 單 |
| 6) Hose Reels | x | 1 單 |

F.E. FS251 No.: 30635 999363

ACKNOWLEDGEMENT 確認條文

We confirm completion of the above captioned services from Messrs. Well Creation Engineering Limited and the related details has been briefed by Engineer / Technician, also acknowledge receipt of the above item(s).

本人 / 本公司確認"創益工程有限公司"所提供之上述服務已完成及已由本公司之工程人員清楚解釋有關之詳情，現正式簽署確認驗工移交。

Tested / Recorded by 測試及紀錄
Well Creation Engineering Limited
創益工程有限公司



Client Representative Inspected / Approved
客戶代表視察及批核
HOUSE OF JOY & MERCY COMPANY LIMITED 阿棍屋

Signature 簽署
Name 姓名:
Date 日期:

Authorized Signature & Co. Chop 委任簽署及公司蓋章
Name 姓名:
Date 日期:

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

30635 999363

Name of Client 顧客姓名

HOUSE OF JOY & MERCY COMPANY LIMITED

Address 地址

D.D. 103 KO PO SAN TSUEN, KAM TIN, Yuen Long, NT

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☒ Institutional 社團**Part 1 Annual Maintenance ONLY****第一部 只適用於年檢事項**

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
24	Portable Fire Extinguisher - 2 nos. 5kg CO2 gas type fire extinguisher	G/F	Conforms with FSD requirements	04/06/2024	03/06/2025

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或
處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or
premises for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:

授權人簽署

Name:
姓名

周偉超

Chow Wai Chiu

FSD/RC No.:
消防處註冊號碼

RC3 / 0635

Company Name:
公司名稱

Chow Wai Chiu

Telephone:
聯絡電話Date:
日期

04/06/2024

For FSD
use only

Inspected

Key-in

Verified

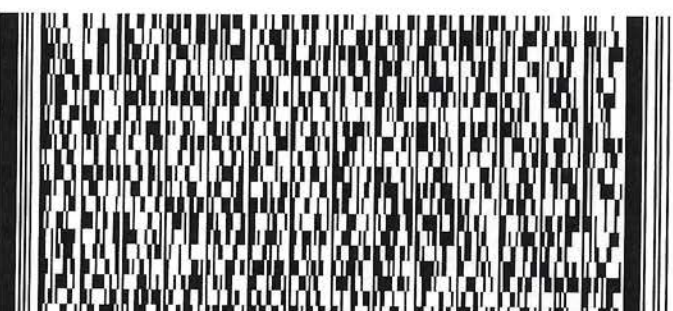
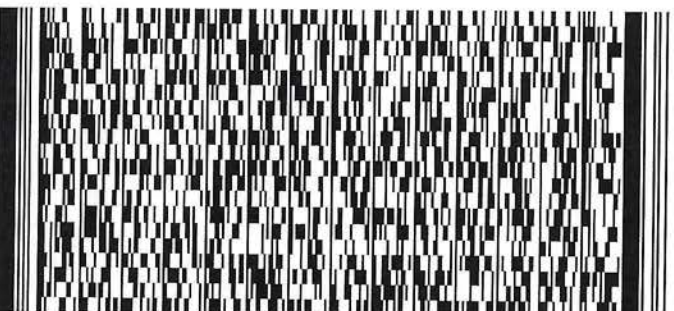
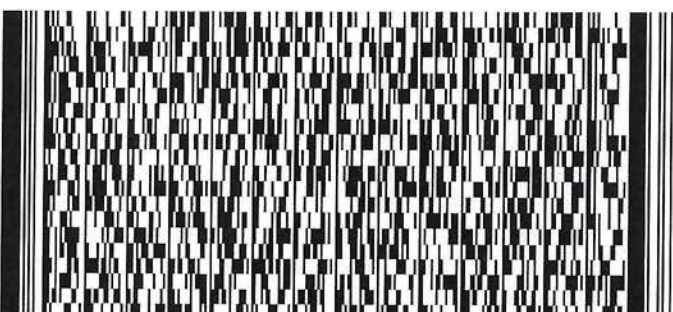
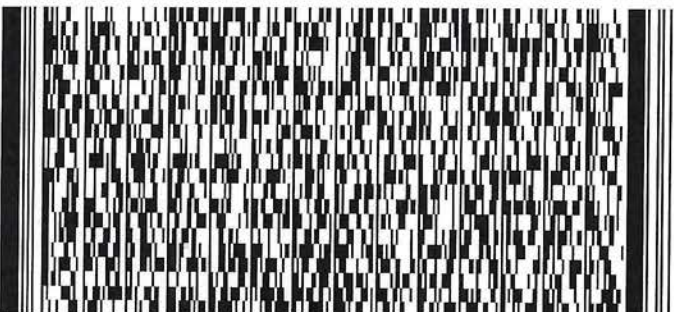
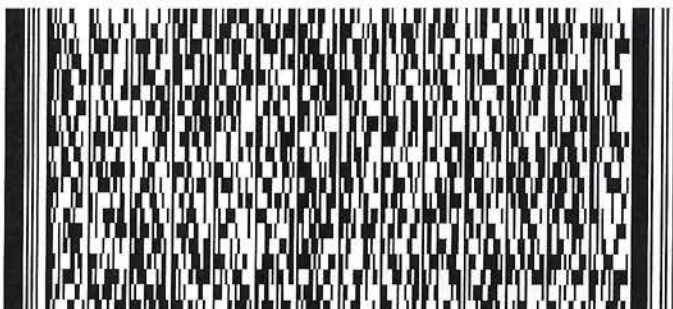
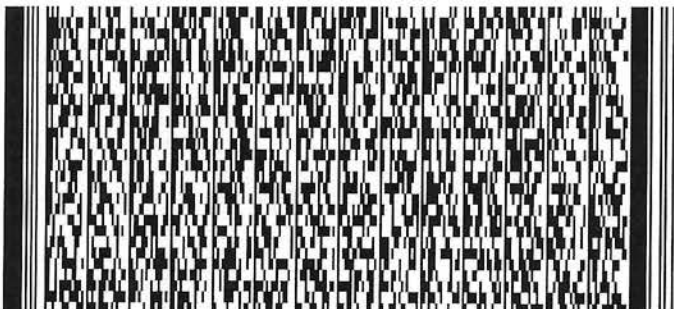
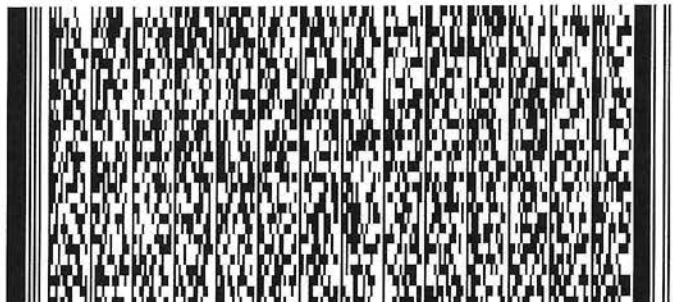
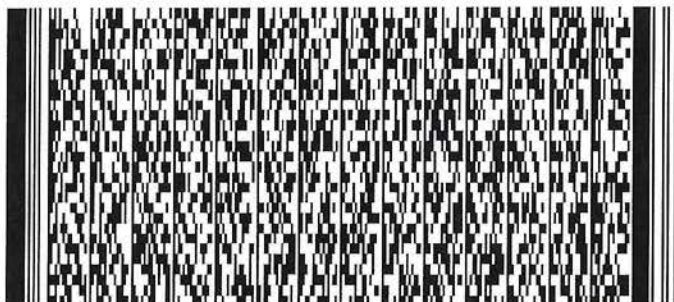


Serial Number

30635 999363

Name of Client 顧客姓名

HOUSE OF JOY & MERCY COMPANY LIMITED



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處編號

Serial Number

10399 240165

Name of Client 顧客姓名

HOUSE OF JOY & MERCY COMPANY LIMITED

Address 地址

D.D. 103 Ko Po San Tsuen, KAM TIN, Yuen Long, NT

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☒ Institutional 社團**Part 1 Annual Maintenance ONLY**
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
11	Emergency Lighting - 24 nos. emergency lighting	G/F	Conforms with FSD requirements	04/06/2024	03/06/2025
12	Exit Sign - 7 nos. exit sign	G/F	Conforms with FSD requirements (Defect see Part 3)	04/06/2024	03/06/2025

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
12	Exit Sign	G/F	1 no. exit sign malfunction	Need to replace
13	Fire Alarm System (MFA)	G/F	Lifetime for 2 nos. 12v18Ah standby battery for F.S. control Panel over 4 years	Need to replace

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Chan Yiu Lam

FSD/RC No.:

消防處註冊號碼

RC1 / 0399 RC2 / 0568

Company Name:

公司名稱

Well Creation Engineering Limited

Telephone:

聯絡電話

Date:

日期

04/06/2024

For FSD use only

Inspected

Key-in

Verified



Serial Number

10399 240165

Name of Client 顧客姓名

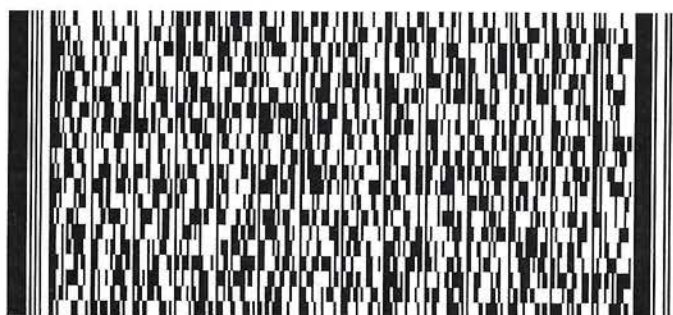
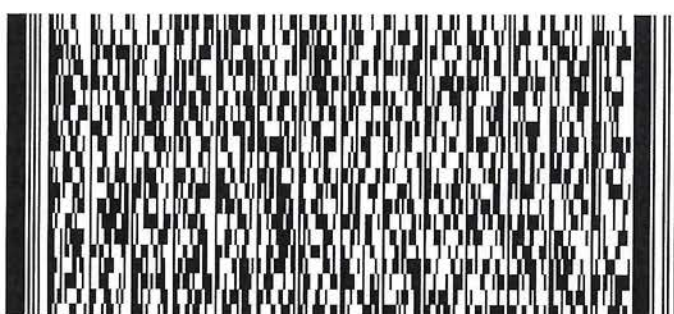
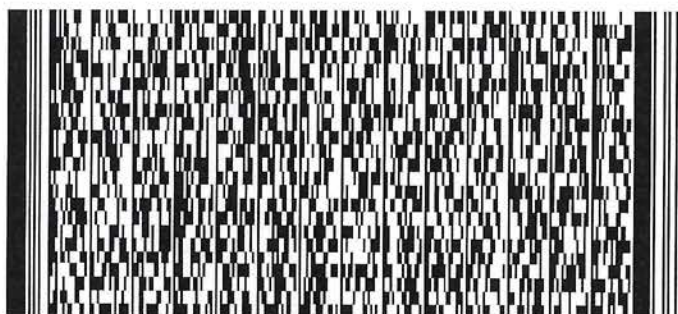
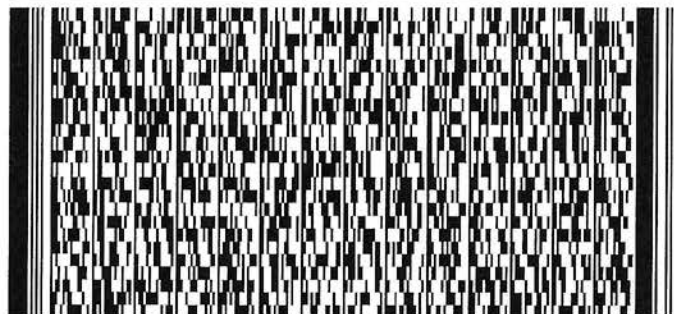
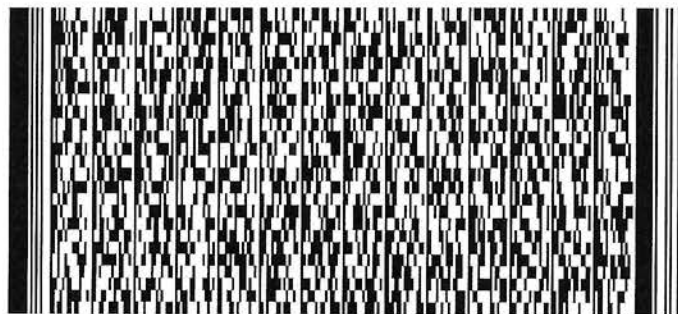
HOUSE OF JOY & MERCY COMPANY LIMITED

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
13	Fire Alarm System (MFA)	G/F	Conforms with FSD requirements (Defect see Part 3)	04/06/2024	03/06/2025
15	Fire Detection System	G/F	Conforms with FSD requirements	04/06/2024	03/06/2025
23	Hose Reel	G/F	Conforms with FSD requirements	04/06/2024	03/06/2025

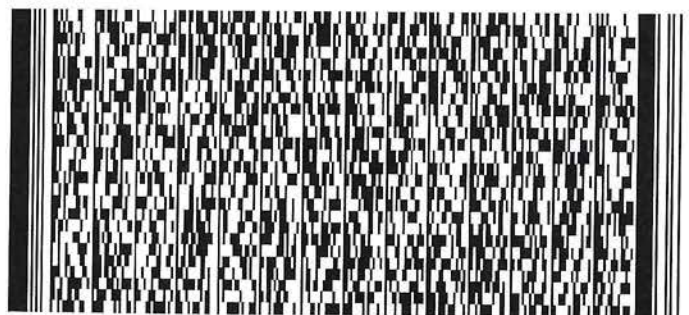
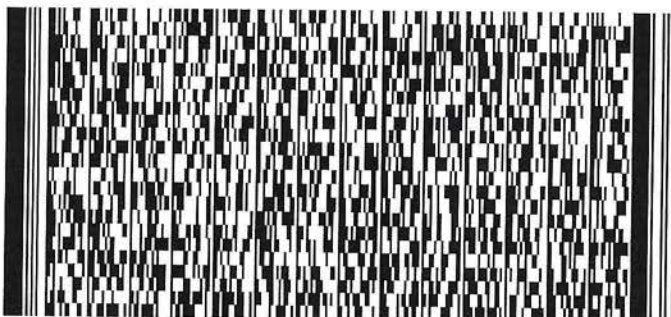
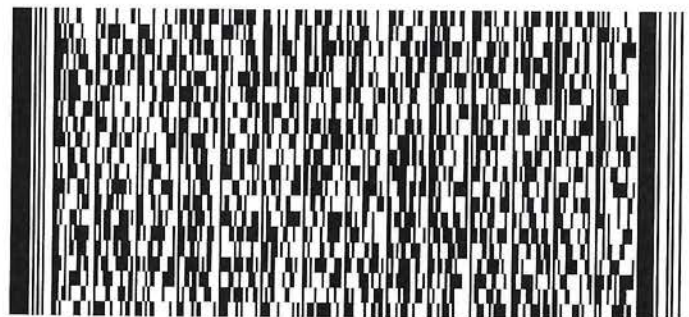
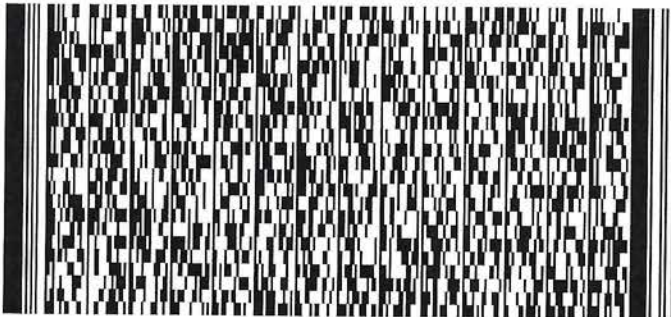
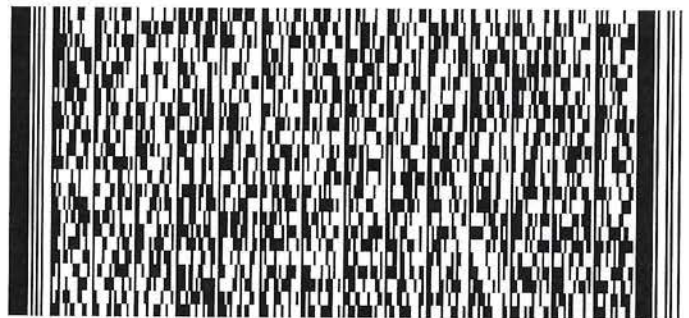
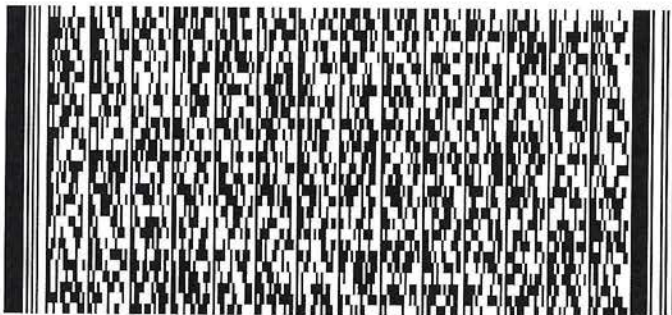
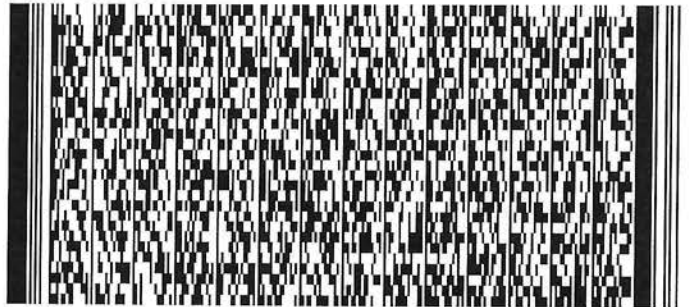
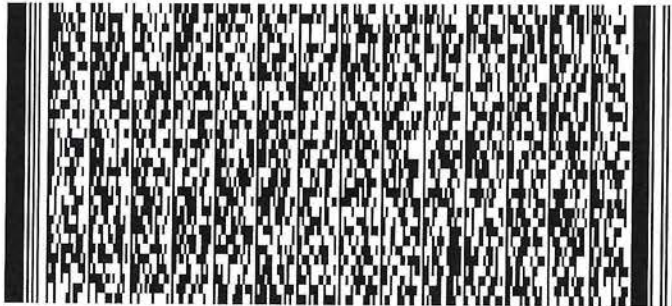


Serial Number

10399240165

Name of Client 顧客姓名

HOUSE OF JOY & MERCY COMPANY LIMITED





工程地址: D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED F.E. FS251 No.: 30635 999363
 測試日期: 4/6/2024 測試報告: J240133

消防設備測試狀況及位置 (手提設備)				
位置	5kg CO2 F.E.	製造商	製造年份	Condition
G/F office	1	N.C.F	2021	合格
G/F Plant Room	1	N.C.F	2021	合格
總數:		2		

工程地址: D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED
 測試日期: 4/6/2024 F.E. FS251 No.: 10399 240165 測試報告: J240133

消防設備測試狀況及位置 (Exit Sign & Emergency Lighting)			
位置	Emergency Lighting	Exit Sign	備註
A 狗房	4	2	操作正常
B 狗房	4	2	操作正常
C 狗房	2		操作正常
C 狗房		1	450mm 燈箱故障 · 需更換
D 狗房	2	1	操作正常
E 狗房	2		操作正常
狗沖涼房	1		操作正常
走廊	4		操作正常
貓房	1		操作正常
傷殘廁所	1		操作正常
廁所	1		操作正常
Office	2	1	操作正常
	24	7	

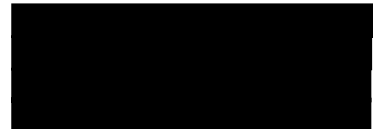


工程地址 : D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED										
測試日期 : 4/6/2024		F.E. FS251 No. : 10399 240165							測試報告 : J240133	
消防設備測試狀況及位置 (喉轆 / 手動火警系統)										
位置	喉轆	射咀	射咀箱	閘掣	拉輪	使用牌	警鐘	拎手	Condition	
走廊	✓	✓	✓	✓	✓	✓	✓	✓	操作正常	

工程地址 : D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED									
測試日期 : 4/6/2024			F.E. FS251 No. : 10399 240165					測試報告 : J240133	
消防設備測試狀況及位置 (消防泵)									
類別	電源	運行	故障	手動	自動	轉泵	Condition	備註	
消防泵 (G/F消防泵房) 消防泵1	✓	✓	✓	✓	✓	✓	操作正常	N/A	
消防泵電掣 (G/F消防泵房) 消防泵2	✓	✓	✓	✓	✓	✓	操作正常	N/A	
消防泵閘掣及止回閥	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	操作正常	N/A	

工程地址 : D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED				
測試日期 : 4/6/2024		F.E. FS251 No. : 10399 240165		
消防設備測試狀況及位置 (自動火警報警系統)				
位置	熱度頭	煙霧頭		備註
A, B, C, D, E狗房	7			操作正常
Plant Room	1			操作正常

工程地址 : D.D. 103 Ko Po San Tsuen, Kam Tin, Yuen Long - HOUSE OF JOY & MERCY COMPANY LIMITED		
測試日期 : 4/6/2024		
F.E. FS251 No. : 10399 240165		
消防設備測試狀況及位置 (消防控制箱)		
測試報告 : J240133		
位置	消防控制箱	狀況
G/F Office	Edwards	12v18Ah電池 x 2粒過四年期，需更換



Date : 5th November, 2025
Our Ref. : ADCL/PLG-10323/L003

The Secretary,
Town Planning Board,
15/F., North Point Government Offices,
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Renewal of Planning Application No. A/YL-KTS/867)

We refer to the captioned application and our submission dated 20.10.2025 (*Ref.: ADCL/PLG-10323/L002*) and would like to provide the latest FS251 to facilitate considerations by the Fire Services Department and the Town Planning Board.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our Mr. Thomas LUK at

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited

Thomas LUK

Encl.
c.c. Client

Address 地址 :

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:
消防處檔號

Serial Number

10455 251476

Name of Client 顧客姓名

Address 地址

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☒ Institutional 社團

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
11	Emergency Lighting - 28 nos. emergency lighting	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026
12	Exit Sign - 7 nos. exit sign	G/F	Conforms with FSD requirements (Defect see Part 3)	30/10/2025	29/10/2026

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
12	Exit Sign	G/F	3 nos. exit sign malfunction	Need to replace

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或
處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Chen Yiu Lam

FSD/RC No.:

消防處註冊號碼

RC1 / 0455 RC2 / 0627

Company Name:

公司名稱

德耀消防工程
有限公司

Telephone:

聯絡電話

Date:

日期

30/10/2025

For FSD
use only

Inspected

Key-in

Verified

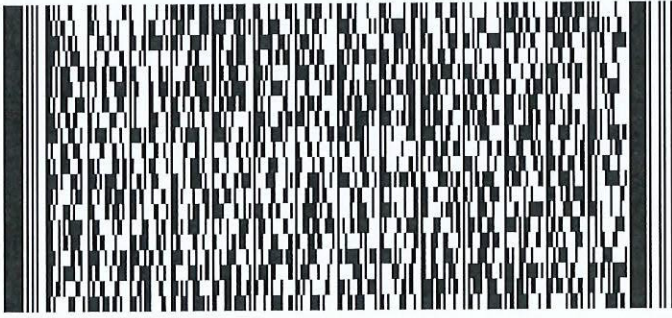
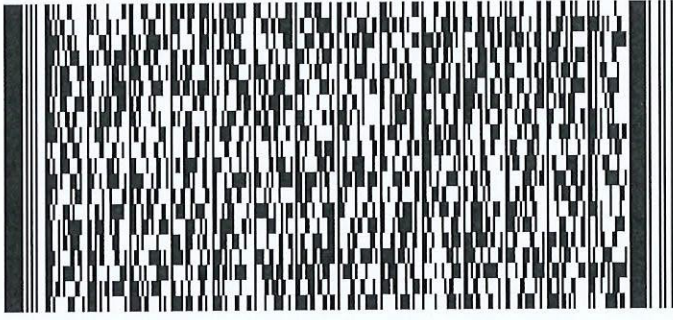
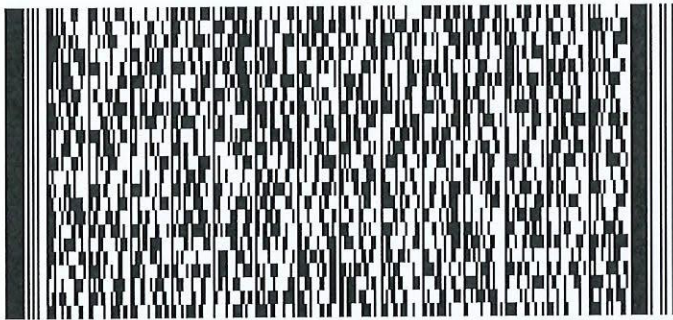
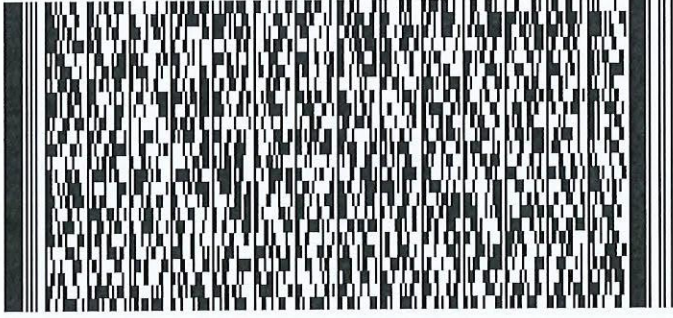
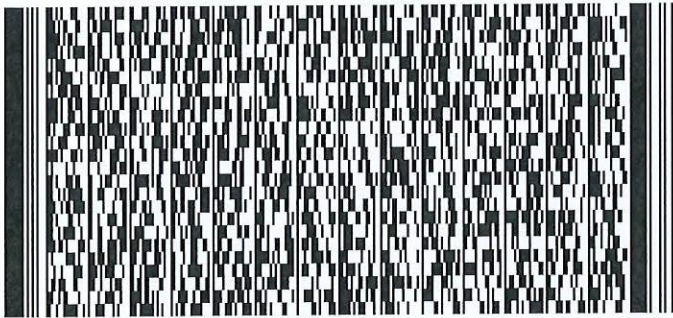


Serial Number

10455251476

Name of Client 顧客姓名

Part 1 Annual Maintenance ONLY 第一部 只適用於年檢事項		In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。			
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
13	Fire Alarm System (MFA)	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026
15	Fire Detection System	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026
23	Hose Reel	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026

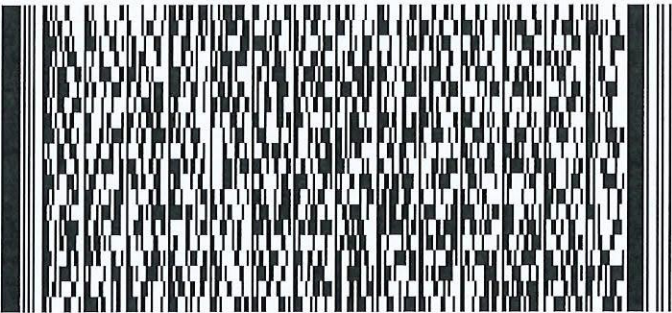
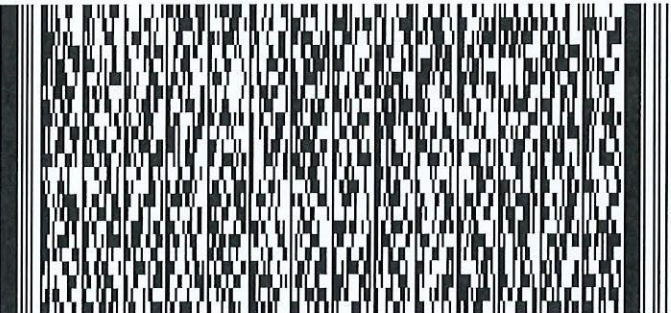
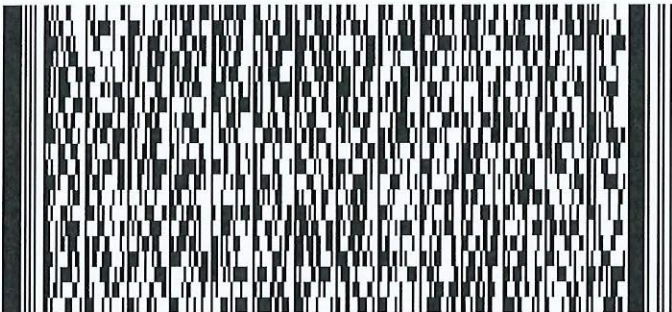
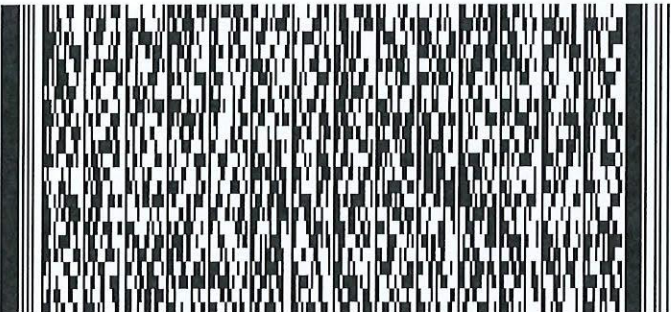
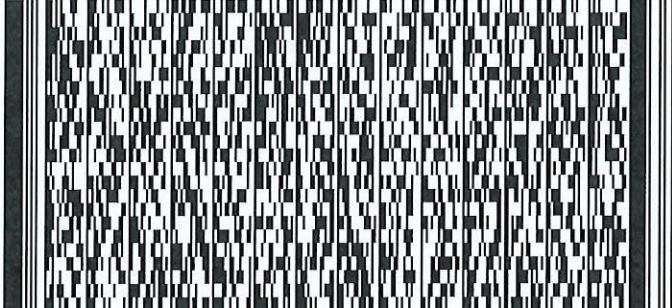
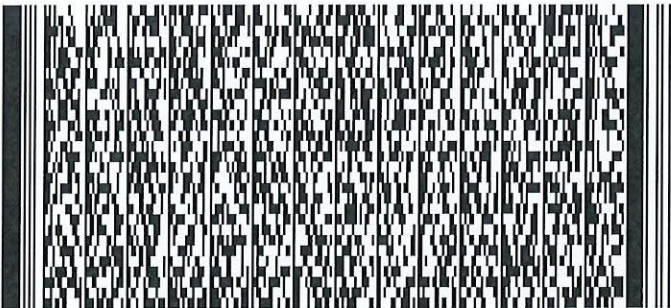
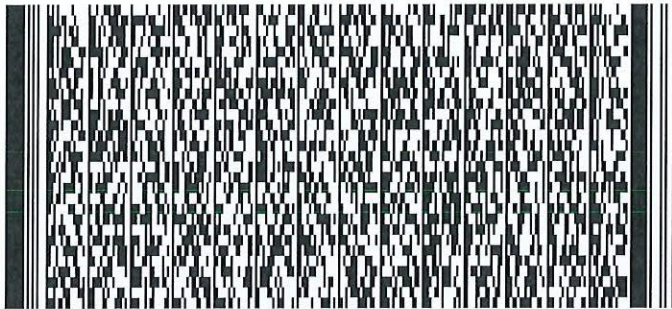
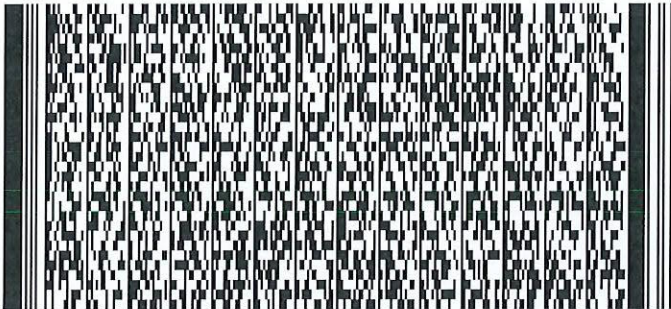


Serial Number

10455251476

Name of Client 顧客姓名

[Redacted]



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防（裝置及設備）規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

30635 221578

Name of Client 顧客姓名

Address 地址

Type of Building 樓宇類型:

☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☒ Institutional 社團

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
24	Portable Fire Extinguisher - 2 nos. 5kg CO2 gas type fire extinguisher	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026
24	Portable Fire Extinguisher - 2 nos 2kg dry powder fire extinguisher	G/F	Conforms with FSD requirements	30/10/2025	29/10/2026

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Chow Wai Chiu

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

Chow Wai Chiu

Telephone:

聯絡電話

Date:

日期

30/10/2025



For FSD use only

Inspected

Key-in

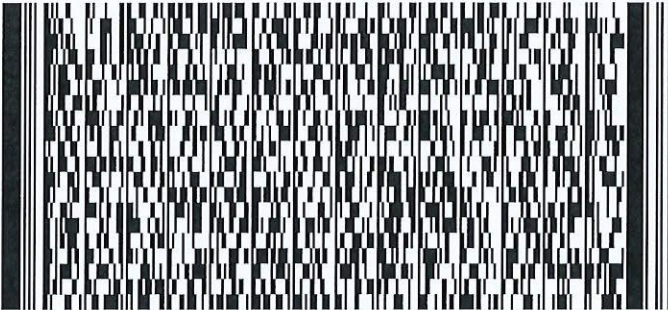
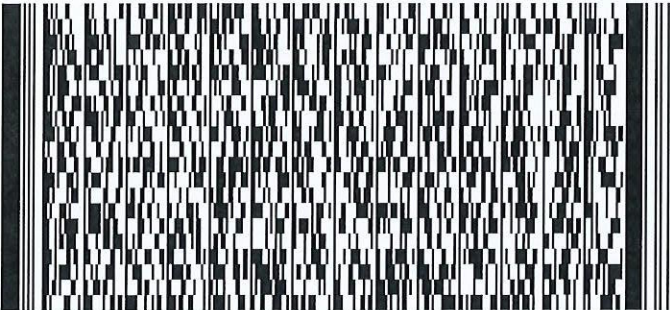
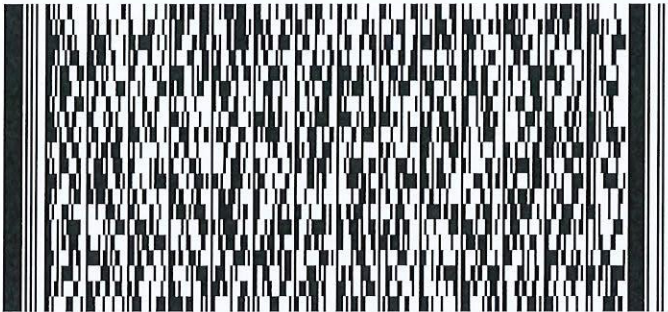
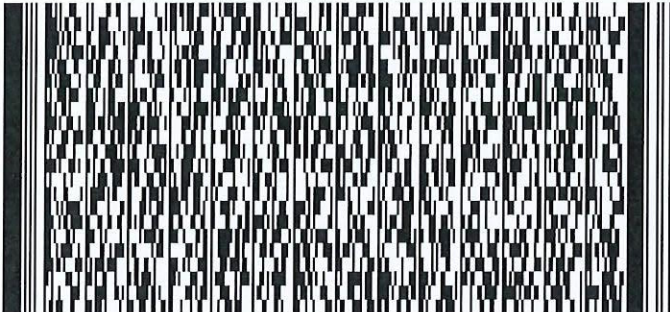
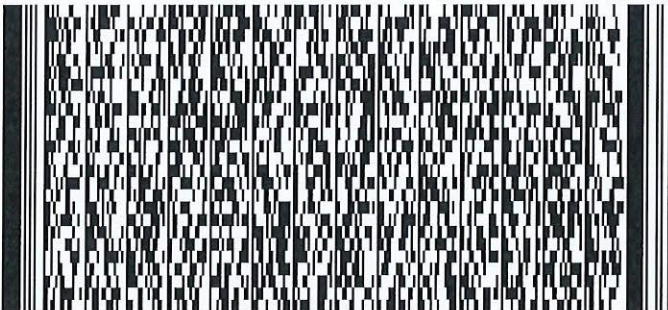
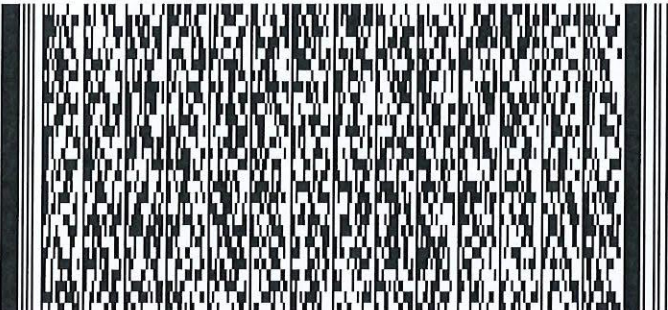
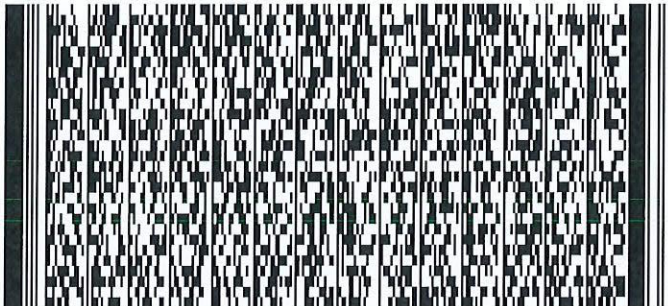
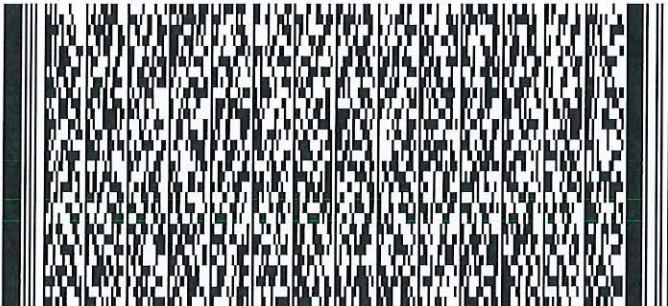
Verified



Serial Number

30635 221578

Name of Client 顧客姓名





Date : 26th November, 2025
Our Ref. : ADCL/PLG-10323/L005

The Secretary,
Town Planning Board,
15/F., North Point Government Offices,
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

**Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Planning Application No. A/YL-KTS/1103)**

We refer to the comments from the Environmental Protection Department (EPD) regarding the subject application and like to provide the following clarifications to facilitate considerations by the EPD.

It is clarified that the animal boarding establishment serves to accommodate dogs and will also provide accommodation for a flightless bird (i.e., an emu), which was referred to the Applicant by the Agriculture, Fisheries and Conservation Department (AFCD) in 2025. The establishment has been properly designed and maintained to minimize any potential environmental nuisance, while meeting the requirements of relevant departments. The Applicant will adhere to the requirements stipulated in the “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Site” and provide adequate supporting facilities for proper collection, treatment and disposal of waste/ wastewater generated from the applied use.

In addition, we would like to provide the following clarifications to facilitate considerations by the Planning Department and the Town Planning Board.

The animal boarding establishment accommodates about 50 animals including the flightless bird (i.e., an emu), which was referred to the Applicant by the AFCD. Part of the application site has been filled with concrete, and no additional filling of land or site works is required under the current application. It is clarified that the operation hour will be 9 a.m. to 9 p.m daily and there would be no night-time operations in the application site between 9:00 p.m. and 9:00 a.m. (except for overnight animal boarding), as proposed and allowed in the last approved application. During the hours of 9 a.m. to 9 p.m., animals will be kept in either the indoor area or the designated outdoor area, while all animals will be kept indoors between 9 p.m. and 9 a.m.

Regarding the project’s authenticity, the applicant has consistently operated the animal boarding establishment with dedication, actively supporting animal rescue efforts, providing free medical care, and offering regular education and end-of-life care for animals on a charitable and volunteer basis. The applicant is also committed to creating a comfortable environment for stray animals while managing the establishment in an organized manner that minimizes any adverse noise impact on surrounding areas. To ensure this, the facility is equipped with sound-proof shelter which are made of concrete wall and closed thick glass windows. Additionally, the applicant has implemented effective management practices to ensure

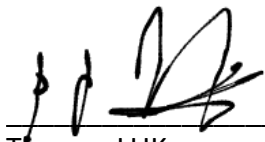
that animals are kept indoors between 9 p.m. and 9 a.m. Hence, it is justifiable that no noise impact is generated from the application site.

The applicant is a charitable organization under Section 88 of the Inland Revenue Ordinance (IRO) and has secured funding from the Development Bureau (DEVB) through the "Funding Scheme to Support the Use of Vacant Government Sites by Non-government Organizations" to cover the project's capital costs, further validating the establishment's charitable use. The applicant has received positive media coverage, making its charitable efforts visible to the public. Furthermore, the applicant actively arranges visiting and volunteering opportunities for the general public, fostering respect and love for animals. Approving the current application would ensure the continued use of the application site for its intended purposes, maintaining the existing physical setting and the surrounding areas.

Regarding environmental concerns, the applicant has duly implemented drainage and sewerage systems, including septic tanks and soakaway pits, to the satisfaction of Drainage Services Department. Wastewater would be properly treated in accordance with relevant departmental guidelines. The Applicant will adhere to the relevant requirements and provide adequate supporting facilities for proper collection, treatment and disposal of waste/ wastewater generated from the applied use. As such, no adverse environmental impacts concerning hygiene and wastewater treatment are anticipated.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our Mr. Thomas LUK at [REDACTED].

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited

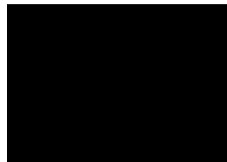


Thomas LUK

Encl.
c.c. Client



Tel 電話 :
Fax 傳真 :
Email 電郵 :
Web 網址 :



Date : 27th November, 2025
Our Ref. : ADCL/PLG-10323/L006

The Secretary,
Town Planning Board,
15/F., North Point Government Offices,
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

Section 16 Planning Application for Renewal of Planning Approval for Temporary Animal Boarding Establishment and Associated Filling of Land for a Period of 5 Years at Government Land in D.D.103, Ko Po San Tsuen, Kam Tin, Yuen Long
(Planning Application No. A/YL-KTS/1103)

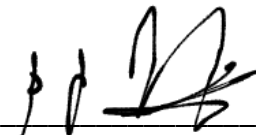
We refer to the captioned application and would like to provide the following clarifications to facilitate considerations by the Planning Department and the Town Planning Board.

The applied use involves a single-storey temporary structure (about 4m in height) with a total floor area of 500m² for the animal boarding establishment, ancillary office, staff/volunteer common room and toilet (please refer to the attached Figure 3). It is clarified that the metal fencing at the periphery of the application site is about 2.5m high and part of the application site has been filled with concrete to a level of about +8.0mPD. A loading/unloading bay is designated within the application site and sufficient space is allocated for goods vehicles to maneuver easily within the application site, ensuring that no vehicle needs to reverse onto the local access road.

The applicant strives to integrate with the local community and is committed to maintaining close communication with the surrounding areas in the future.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our Mr. Thomas LUK at [REDACTED].

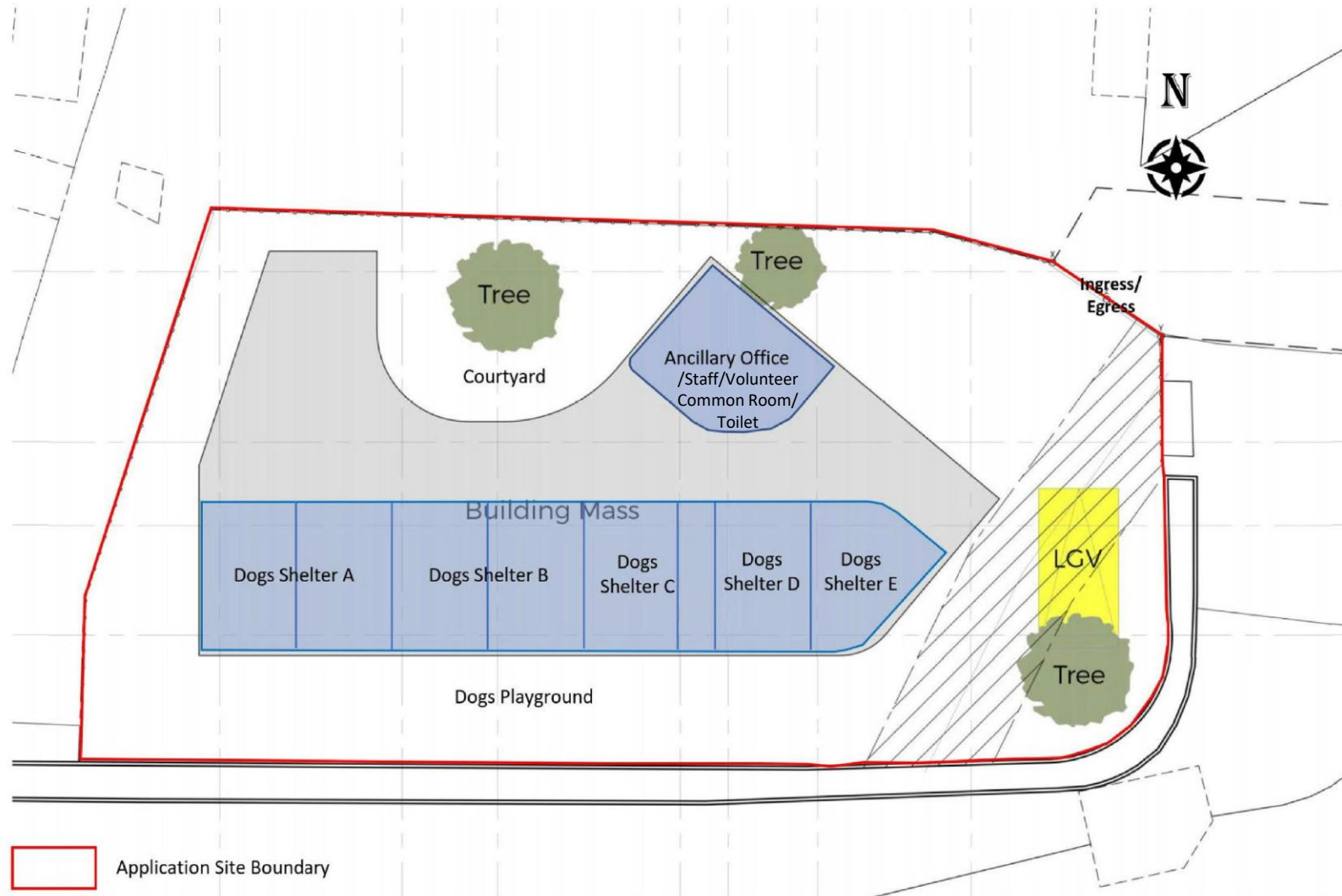
Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited



Thomas LUK

Encl.
c.c. Client





Plan A - Proposed Layout Plan

Figure 3

**Relevant Extracts of Town Planning Board Guidelines on
Renewal of Planning Approval and Extension of Time for Compliance
with Planning Conditions for Temporary Use or Development
(TPB PG-No. 34D)**

1. The criteria for assessing applications for renewal of planning approval include:
 - (a) whether there has been any material change in planning circumstances since the previous temporary approval was granted (such as a change in the planning policy/land-use zoning for the area) or a change in the land uses of the surrounding areas;
 - (b) whether there are any adverse planning implications arising from the renewal of the planning approval (such as pre-emption of planned permanent development);
 - (c) whether the planning conditions under previous approval have been complied with to the satisfaction of relevant Government departments within the specified time limits;
 - (d) whether the approval period sought is reasonable; and
 - (e) any other relevant considerations.
2. Under normal circumstances, the approval period for renewal should not be longer than the original validity period of the temporary approval. In general, the Board is unlikely to grant an approval period exceeding three years unless there are strong justifications and the period is allowed for under the relevant statutory plans. Depending on the circumstances of each case, the Board could determine the appropriate approval period, which may be shorter than the time under request.

Previous s.16 Application covering the Application Site

Approved Application

Application No.	Use(s)/Development(s)	Date of Consideration (Rural and New Town Planning Committee (RNTPC))
A/YL-KTS/790	Proposed Temporary Animal Boarding Establishment for a Period of 3 Years	3.8.2018 [Revoked on 3.1.2021]
A/YL-KTS/867	Proposed Temporary Animal Boarding Establishment (for a period of 5 years) and filling of land	18.12.2020

**Similar Applications within the same “Agriculture” Zone in the Vicinity of the Site
in the Past Five Years**

Approved Application

Application No.	Use(s)/Development(s)	Date of Consideration (RNTPC)
A/YL-KTS/935	Temporary Animal Boarding Establishment for a Period of 5 Years	9.9.2022

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

- no comment on the application.

2. Traffic

Comments of the Commissioner for Transport:

- no comment from traffic engineering perspective; and
- advisory comments are in **Appendix V**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are in **Appendix V**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in-principle to the application from public drainage point of view; and
- should the application be approved, approval conditions should be stipulated in the approval letter requiring the applicant to maintain the existing drainage facilities under application No. A/YL-KTS/867 and to submit records of the existing drainage facilities on the application site (the Site) to the satisfaction of the Director of Drainage Services or of the Town Planning Board.

4. Fire Safety

Comments of the Director of Fire Services:

- no objection in-principle to the application subject to the existing fire service installations implemented on the Site being maintained in efficient working order at all times.

5. **Environment**

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- there was no environmental complaint concerning the Site received in the past three years; and
- advisory comments are in **Appendix V**.

6. **Agriculture, Nature Conservation and Animal Management**

Comments of the Director of Agriculture, Fisheries and Conservation:

- no strong view against the application from agricultural perspective considering that the previous application for the same use on the Site was approved;
- no comment on the application from nature conservation perspective;
- the Site has no licensed premises granted by Animal Business Regulatory Section under Cap139B, 139F, 139I and 139J; and
- advisory comments are in **Appendix V**.

7. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment to the application from landscape planning perspective; and
- based on the aerial photo of late 2024, the Site is located in an area of miscellaneous rural fringe landscape character comprising open storage, temporary structures, village houses and scattered tree groups. Comparing the aerial photos of late 2024 and 2020, there is no significant change to the landscape character of the surrounding area since the last previous application No. A/YL-KTS/867 was approved. Further significant adverse landscape impact from the continuous use with similar layout is not anticipated.

8. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection on the application;
- a temporary occupation permit No. NT 5/2021(TOP) and a permit to erect a temporary building No. NT 9/2021(TBP) had been granted in 2021 and valid until August 2024, and have been extended in till December 2025; and
- advisory comments are in **Appendix V**.

9. **Other Departments**

The following government departments have no objection to/no adverse comment/no comment on the application and their advisory comments, if any, are in **Appendix V**:

- Chief Engineer/Construction, Water Supplies Department;
- Director of Food and Environmental Hygiene;
- Project Manager (West), Civil Engineering and Development Department;
- Director of Electrical and Mechanical Services; and
- Commissioner of Police.

Recommended Advisory Clauses

- (a) failure to reinstate the application site (the Site) as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (b) to note the comments of the Commissioner for Transport that:
 - (i) the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with the Lands Department. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
 - (ii) sufficient manoeuvring space shall be provided within the Site; and
 - (iii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (c) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - (i) the Site involves Government land which is not under HyD's maintenance purview. HyD shall not be responsible for the maintenance of proposed access connecting the Site (i.e. Kam Tin Road and local tracks);
 - (ii) HyD shall not be responsible for the maintenance of any access between the Site and Kam Tin Road; and
 - (iii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (d) to note the comments of the Director of Environmental Protection that:
 - (i) all animals shall be kept inside the animal boarding structures under the current application during non-operation hours of the applied use (i.e., 9:00 p.m. to 9:00 a.m.);
 - (ii) the applicant shall ensure the animal boarding structures under the current application are enclosed with soundproofing materials with the provision of 24-hour mechanical ventilation and air-conditioning system, such that the animals would not rely on open window for ventilation; and the ventilation system should be properly designed to minimise noise impact on and facing away from sensitive receivers in vicinity;
 - (iii) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
 - (iv) the applicant shall follow the relevant guidelines and requirements in relevant

Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECCPN 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department';

- (v) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - (vi) the applicant shall meet the statutory requirements under relevant environmental legislation in particular the Cap. 354 Waste Disposal Ordinance and Cap. 358 Water Pollution Control Ordinance;
- (e) to note the comments of the Chief Engineer/Construction, Water Supplies Department that:
- (i) existing waterworks reserve (WWR) and a DN600 water main will be affected (**Plan A-2 of the RNTPC Paper**). No structure shall be built or materials stored within the WWR or 3m from the centre-line of the DN600 water main. Free access shall be made available at all times for the staff of the Director of Water Supplies or their contractor to carry out construction, inspection, operation, maintenance and repair works;
 - (ii) no trees or shrubs with penetrating roots may be planted within the WWR or in the vicinity of the water main; and
 - (iii) Government shall not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site;
- (f) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
- (i) before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorised building works (UBW) under the Buildings Ordinance (BO) (Cap. 123). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (ii) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (iii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iv) if the applied use under application is subject to issue of a license, the applicant should be reminded that any existing structures on the application site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority; and

- (v) detailed checking under the BO will be carried out at building plan submission stage;
- (g) to note the comments of the Director of Agriculture, Fisheries and Conservation that under the Public Health (Animals) (Boarding Establishment) Regulations (Cap. 139I), any person who provides food and accommodation for animals in return for a fee paid by the owner must apply for a Boarding Establishment Licence from his department. The applicant should be reminded that the establishment and ancillary facilities which is licensed under the Public Health (Animals) (Boarding Establishment) Regulations (Cap. 139I) must always fulfill the criteria listed in the Regulations. The dogs kept by the applicant should also be properly licensed as in accordance with the Rabies Ordinance (Cap. 421), and the applicant is reminded to observe the Prevention of Cruelty to Animals Ordinance (Cap 169) at all times. Detail information and guidance on Animal Boarding Establishment will be provided when the applicant submits licence application to him;
- (h) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
 - (i) no Food and Environmental Hygiene Department's facilities shall be affected;
 - (ii) proper licence/permit issued by his Department is required if there is any food business/catering service/activities regulated by DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public and the operation of any business should not cause any obstruction; and
 - (iii) if the proposal involves any commercial/trading activities, there should be no encroachment on the public place and no environmental nuisance should be generated to the surroundings. Its state should not be a nuisance or injurious or dangerous to health and surround environment. Any animal carcass/parts shall be properly wrapped or bagged before disposal and in accordance with the relevant legislation. Also, for any waste generated from the activities in the applied use, the applicant should handle on their own/at their expenses;
- (i) to note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable or overhead line under the application should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the concerned site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
- (j) to note the comments of the Commissioner of Police that the application shall not cause traffic congestion or flooding.



錦田鄉事委員會
Kam Tin Rural Committee

Appendix VI of RNTPC
Paper No. A/YL-KTS/1103

致：城市規劃委員會

主題：對 DD103 政府地段（申請編號：A/YL-KTS/1103）擬議臨時動物寄養所及填土工程之強烈反對

尊敬的城規會委員：

本會代表錦田鄉高埔村居民，就上述位於 DD103 政府地段的規劃申請（申請編號：A/YL-KTS/1103），提出強烈反對。申請人擬於該地段設立臨時動物寄養所及進行填土工程，此計劃不僅忽略當地社區需求與環境承载力，更對錦田的長遠發展帶來負面影響。具體反對理由如下：

1. 項目真實性與土地用途問題

據附近村民反映，該申請名義上為「動物寄養所」，但實際規劃與營運細節存在嚴重疑問。附近村民投訴涉事地點長期「無狗隻」的質疑在於：無狗隻吠聲，而且申請方未能提供具體動物收容數量（年前更傳出有員工將收容狗隻販賣圖利）、管理計劃及長期營運方案，令人懷疑此項目僅是藉臨時動物寄養之名，行土地預先平整或變相改變土地用途之實。此舉不僅違反規劃原意，更可能為未來違規發展鋪路。

2. 環境污染與生態破壞

排污問題：動物寄養所貼近濾水廠及泵站，但缺乏完善的污水處理系統方案，寄養所將產生大量排泄物、清洗廢水及有機廢棄物，怕影響食水亦嚴重污染錦田河及周邊土地。本地區排水系統原本已不勝負荷，此項目可能導致化學物質及細菌流入水道，影響農作物安全及居民健康。





錦田鄉事委員會 Kam Tin Rural Committee

3. 社區健康與衛生隱憂

動物寄養所若管理不當，可能引發衛生問題（如異味、蟲鼠滋生），甚至傳播疾病。錦田居民多以戶外活動為主，此設施將直接影響社區生活品質與健康安全。

5. 缺乏社區諮詢與透明度

申請人未曾充分諮詢錦田居民及到訪本會，忽略在地聲音。本會要求城規會嚴格把關，確保任何發展均符合社區整體利益。

結論與訴求

本會堅決反對上述申請，並敦促城規會：

- 駁回 DD103 地段的臨時動物寄養所及填土工程申請；
- 要求申請人重新選址，並優先考慮對社區與環境影響較低的地區；

本會期望城規會慎重審議上述意見。如需進一步資料，本會願提供協助。

此致

城市規劃委員會



錦田鄉事委員會

主席：鄧賀年

高埔村代表：鄧水倫

日期：2025 年 11 月 7 日

副本抄送：

- 元朗區議會
- 環境保護署
- 地政總署