This document is received on 2 2 JUL 2025

The Town Planning Board will formally acknowledge the date of receipt of the application only upon receipt of all the required information and documents.

<u>Form No. S16-III</u> 表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章) 第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行 為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期,應使用表格第S16-I 號。

Applicant who would like to publish the <u>notice of application</u> in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers: https://www.tpb.gov.hk/en/plan application/apply.html

申請人如欲在本地報章刊登<u>申請通知</u>,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:https://www.tpb.gov.hk/tc/plan application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
 - 「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的 土地的擁有人的人
- * Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「 ノ」 at the appropriate box 請在適當的方格内上加上「 ノ」號

2501540 9/7

For Official Use Only 請勿填寫此欄	Application No. 申請編號	H/YL-KTN/1151	
	Date Received 收到日期	2 2 JUL 2025	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
 申請人須把填妥的申請表格及其他支持申請的文件 (倘有),送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- 2. Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at http://www.tpb.gov.hk/. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories). 請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址: http://www.tpb.gov.hk/),亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓-電話:2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾量路 1 號沙田政府合署 14 樓)索取。
- 3. This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete. 此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1.	Name of Applicant	申請人姓名/名稱
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(□Mr. 先生 /□Mrs. 夫人 /□Miss 小姐 /□Ms. 女士 /☑Company 公司 /□Organisation 機構)

Kam Tin Country Club Limited (錦田鄉村俱樂部有限公司)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱(如適用)

(□Mr. 先生 /□Mrs. 夫人 /□Miss 小姐 /□Ms. 女士 / ☑ Company 公司 /□Organisation 機構)

Top Bright Consultants Limited (才鴻顧問有限公司)

3.	Application Site 申請地點		
(a)	Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories	
(b)	Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面 積	☑Site area 地盤面積 40,616 sq.m 平方米☑About 約 ☑Gross floor area 總樓面面積 4,743 sq.m 平方米☑About 約	
(c)	Area of Government land included (if any) 所包括的政府土地面積(倘有)	875 sq.m 平方米 ☑About 約	

(d)	statutory plan(s)	Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號 Approved Kam Tin North Outline Zoning Plan No. S/YL-KTN/11						
(e)	Land use zone(s) involv 涉及的土地用途地帶	ed	Agriculture ("AGR") and Village Type Development ("V")					
(f)	Place of Recreation, Sports or Culture with Ancillary Faci							
	現時用途		(If there are any Government, institution or community facilities, please illustrate or plan and specify the use and gross floor area) (如有任何政府、機構或社區設施,請在圖則上顯示,並註明用途及總樓面面積)					
4.	"Current Land Ow	ner" of A	Application Site 申請地點的「現行土地擁有人」					
The	applicant 申請人 —							
	is the sole "current land d 是唯一的「現行土地擁	owner'' ^{#&} (pl 有人」 ^{#&} (訂	lease proceed to Part 6 and attach documentary proof of ownership). 请繼續填寫第 6 部分,並夾附業權證明文件)。					
	is one of the "current lan 是其中一名「現行土地	id owners"# & i擁有人」#&	^{&} (please attach documentary proof of ownership). ^{&} (請夾附業權證明文件)。					
	is not a "current land ow 並不是「現行土地擁有							
	The application site is entirely on Government land (please proceed to Part 6). 申請地點完全位於政府土地上(請繼續填寫第 6 部分)。							
5.	Statement on Owne 就土地擁有人的		ent/Notification 知土地擁有人的陳述					
(a)	involves a total of	"(and Registry as at					
(b)	The applicant 申請人 -		* · · · · · · · · · · · · · · · · · · ·					
			"current land owner(s)".					
	已取得	名「	「現行土地擁有人」"的同意。					
	Details of consent	t of "current	land owner(s)" # obtained 取得「現行土地擁有人」 #同意的詳情					
	No. of 'Current Land Owner(s)' 「現行土地擁有 人」數目	Registry wi	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)					
	(Please use senarate s	heets if the sn	nace of any hay above is insufficient。加上列任何方核的控題不足,諸早百鈞胆)					

		etails of the "current land owner(s)" # notified 已獲通知「現行土地擁						
	La	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址 Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)						
	(Plea	ase use separate sheets if the space of any box above is insufficient. 如上列任何	方格的空間不足,請另頁說明)					
Ø		taken reasonable steps to obtain consent of or give notification to owner(采取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下	•					
	Reas	Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟						
		sent request for consent to the "current land owner(s)" on						
	Reas	Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟						
		published notices in local newspapers on02/07/2025(DD/ 於(日/月/年)在指定報章就申請刊登一次通知&						
		posted notice in a prominent position on or near application site/premis (DD/MM/YYYY)&	es on					
		於(日/月/年)在申請地點/申請處所或附近的關	頂明位置貼出關於該申請的通知					
	abla	sent notice to relevant owners' corporation(s)/owners' committee(s)/mooffice(s) or rural committee on	Y)&					
	Othe	ners 其他						
		others (please specify) 其他(請指明)						
	-							
	-							
	_							

6. Type(s) of Application	ı 申請類別				
` ´	pment of Land and/or Building	g Not Exceeding 3 Years in Rural Areas or			
Regulated Areas	of the first that the second control of the first that the second control of the first terms are the second control of the second co				
		為期不超過三年的臨時用途/發展			
proceed to Part (B))	on for Temporary Use or Develop	oment in Rural Areas or Regulated Areas, please			
l • ' ' '	性地區臨時用途/發展的規劃許可翻	會期, 譜道寫 (R)部分)			
(人中海) 正式(外科人)中位(主持人)人	PACIFICATION OF THE PROPERTY OF THE	ma-2-44 (~) mb/4)			
(a) Proposed use(s)/development 擬議用途/發展	use(s)/development				
	(Please illustrate the details of the prope	osal on a layout plan) (請用平面圖說明擬議詳情)			
(b) Effective period of	☑ year(s) 年	3			
permission applied for					
申請的許可有效期	□ month(s) 個月				
(c) Development Schedule 發展網	<u>细節表</u>	05.070			
Proposed uncovered land area	1 擬議露天土地面積				
Proposed covered land area 携	建議有上蓋土地面積	4,743 sq.m ☑About 約			
Proposed number of buildings	s/structures 擬議建築物/構築物數	目26			
Proposed domestic floor area	擬議住用樓面面積	NA sq.m □About 約			
Proposed non-domestic floor					
Proposed gross floor area 擬議總樓面面積					
Proposed gross floor area 操政総督面面積					
	•	n applicable) 建杂物構杂物的族識高度及不同棲置 s insufficient) (如以下空間不足,請另頁說明)			
	•	playground, electric kiddie ride park,			
handicraft making area, pettin	g zoo, children game area, site of	fice/reception, visitor centre, kiosk,			
storerooms; washrooms and rought to Figure 6 of the Supplement	om / Dianning Ctatement\	rheight ranging from 2.5m-5m (Please refer · ·			
.0.1.9410.001.110.0455.0110116		••••••			
Proposed number of car parking	spaces by types 不同種類停車位的	以			
Private Car Parking Spaces 私家		51 (2.5m x 5m)			
Motorcycle Parking Spaces 電單		NA NA			
Light Goods Vehicle Parking Spa		NA NA			
Medium Goods Vehicle Parking		NA NA			
Heavy Goods Vehicle Parking Sp	• • • • • • • • • • • • • • • • • • • •	NA			
Others (Please Specify) 其他 (記	青列明)	NA			
Proposed number of loading/unlo	pading spaces 上落客貨車位的擬議	數目			
Taxi Spaces 的士車位		15 (2.5m x 5m)			
Coach Spaces 旅遊巴車位		NA			
Light Goods Vehicle Spaces 輕		NA			
Medium Goods Vehicle Spaces		2 (3.5m x 11m)			
Heavy Goods Vehicle Spaces 重		NA			
Others (Please Specify) 其他 (請列明) NA NA					

Mo	oosed operating hours f ondays to Fridays (turdays, Sundays	10am - 6p	om)	rs (10am - 10pm)			
(d)	Any vehicular acce the site/subject build 是否有車路通往地 有關建築物?	ess to ing? Z盤/	ss是 IA ID	appropriate) 有一條現有車路。(local track leading There is a proposed a	g access. (please indi 請註明車路名稱(如適 to Kam Hing Road ccess. (please illustrate (請在圖則顯示,並記	用)) and Sh on plan a	ui Mei Road nd specify the width)
(e)	justifications/reasons 措施,否則請提供理	use separate for not pro	sheets to i	indicate the proposed n	neasures to minimise po)話,請另頁註明可盡		
(ii)	Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動? Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是 No 否 Yes 是	☑ (Please diversion (請用地範圍) □ Di □ Fii □ Ar □ De □ Ex Ar □ Ar	on, the extent of filling of lar b盤平面圖顯示有關土地/ eversion of stream 河道 lling of pond 填塘 rea of filling 填塘面積 epth of filling 填土面積 epth of filling 填土面積 epth of filling 填土面積 epth of filling 填土面積 epth of filling 填土	boundary of concerned land d/pond(s) and/or excavation 池塘界線,以及河道改道、	of land) 填堪、填土 n 平方米 . m 米 . m 米 . m 米	及/或挖土的細節及/或 □About 約 □About 約 ☑About 約 ☑About 約
(iii)	Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On traffic On water: On draina On slopes Affected t Landscape Tree Fellin Visual Im	supply 對 ge 對排水 對斜坡 py slopes e Impact 和 ng 砍伐 pact 構成	供水 受斜坡影響 黄成景觀影響 對木	Yes 會會會會會會會會會會會會會會會會會會會會會會會會會會會會會會會會會會		No 不會 図 No 不

Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木,請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可) NA (B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas					
(a) Application number to the permission relates 與許可有關的申請編號	o which	- 協時用途/發展的許可續期 - A///			
(b) Date of approval 獲批給許可的日期		(DD 日/MM 月/YYYY 年)			
(c) Date of expiry 許可屆滿日期		(DD 日/MM 月/YYYY 年)			
(d) Approved use/developm 已批給許可的用途/﴿					
(e) Approval conditions 附帶條件		The permission does not have any approval condition 許可並沒有任何附帶條件 Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件: Reason(s) for non-compliance: 仍未履行的原因: (Please use separate sheets if the space above is insufficient) (如以上空間不足,請另頁說明)			
(f) Renewal period sought 要求的續期期間		□ year(s) 年			

7. Justifications 理由
The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary. 現請申請人提供申請理由及支持其申請的資料。如有需要,請另頁說明)。
Please refer to Chapter 6 of the Supplementary Planning Statement

8. Declaration 聲明				
	I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief. 本人謹此聲明,本人就這宗申請提交的資料,據本人所知及所信,均屬真實無誤。			
to the Board's website for bro	wsing and downloading by the	rials submitted in this application and/or to upload such materials e public free-of-charge at the Board's discretion. 料複製及/或上載至委員會網站,供公眾免費瀏覽或下載。		
Signature 簽署		□ Applicant 申請人 / ☑ Authorised Agent 獲授權代理人		
Lo	Ming Kong	Project Manager		
N. 2.372	me in Block Letters (請以正楷填寫)	Position (if applicable) 職位 (如適用)		
Professional Qualification(s) 「 Member 會員 / □ Fellow of 資深會員 □ HKIP 香港規劃師學會 / □ HKIA 香港建築師學會 / □ HKIS 香港測量師學會 / □ HKIE 香港工程師學會 / □ HKILA 香港閱境師學會 / □ HKIUD 香港城市設計學會 □ RPP 註冊專業規劃師 Others 其他				
on behalf of 代表 Top Bright Consultants Limited				
✓ Company ½	公司 / U Organisation Name	and Chop (if applicable) 機構名稱及蓋章(如適用)		
Date 日期 02/07/2	2025	(DD/MM/YYYY 日/月/年)		

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下,有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance. 任何人在明知或故意的情況下,就這宗申請提出在任何要項上是虛假的陳述或資料,即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
 - 委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門,以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途:
 - (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and 處理這宗申請,包括公布這宗申請供公眾查閱,同時公布申請人的姓名供公眾查閱;以及
 - (b) facilitating communication between the applicant and the Secretary of the Board/Government departments. 方便申請人與委員會秘書及政府部門之間進行聯絡。
- 2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above. 申請人就這宗申請提供的個人資料,或亦會向其他人士披露,以作上述第 1 段提及的用途。
- 3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong. 根據《個人資料(私隱)條例》(第 486 章)的規定,申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料,應向委員會秘書提出有關要求,其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及 下載及於規劃署規劃資料查詢處供一般參閱。) (For Official Use Only) (請勿填寫此欄) Application No. 申請編號 Location/address Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 位置/地址 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories Site area 40,616 sq. m 平方米 ☑ About 約 地盤面積 (includes Government land of 包括政府土地 875 sq. m 平方米 🛮 About 約)

Plan 圖則 Approved Kam Tin North Outline Zoning Plan No. S/YL-KTN/11 Zoning 地帶 Agriculture ("AGR") and Village Type Development ("V") Type of Temporary Use/Development in Rural Areas or Regulated Areas for a Period of Application 位於鄉郊地區或受規管地區的臨時用途/發展為期 申請類別 ☑ Year(s) 年 3 □ Month(s) 月 Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 □ Year(s) 年 _____ □ Month(s) 月 _____ Applied use/ Temporary Place of Recreation, Sports or Culture with Ancillary Facilities development and Associated Filling of Land for a Period of 3 Years 申請用途/發展

(i) Gross floor area			sq.m 平方米	Plot Ratio 地積比率		
	and/or plot ratio 總樓面面積及/或 地積比率	Domestic 住用	□ About 約 NA □ Not more than 不多於	□About 約 NA □Not more than 不多於		
		Non-domestic 非住用	☑ About 約 4,743 □ Not more than 不多於	☑About 約 0.12 □Not more than 不多於		
(ii)	No. of blocks 幢數	Domestic 住用	NA			
		Non-domestic 非住用	26			
(iii)	Building height/No. of storeys 建築物高度/層數	Domestic 住用	NA	m 米 □ (Not more than 不多於)		
			NA	Storeys(s) 層 □ (Not more than 不多於)		
		Non-domestic 非住用	2.5-5	m 米 ☑ (Not more than 不多於)		
			1	Storeys(s) 層 ☑ (Not more than 不多於)		
(iv)	Site coverage 上蓋面積		12	% ☑ About 約		
(v)	No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Private Car Parkin Motorcycle Parkin Light Goods Veh Medium Goods Veh Others (Please Sp Total no. of vehicl 上落客貨車位/ Taxi Spaces 的士 Coach Spaces 旅 Light Goods Veh Medium Goods Veh Heavy Goods Veh	=車位	泊車位 NA		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese	English
	中文	英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖		
Block plan(s) 樓宇位置圖		
Floor plan(s) 樓宇平面圖		
Sectional plan(s) 截視圖		
Elevation(s) 立視圖		
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片		
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖		
Others (please specify) 其他(請註明)		
Location Plan, Site Plan, Pedestrian Access for Nearby/Future Residents, Plan Showing O	General Area	а,
Extract from Kam Tin North Outline Zoning Plan No. S/YL-KTN/11, Land Filling Plan, Pub.	lic Transport	Facilities
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據		\mathbf{Z}
Environmental assessment (noise, air and/or water pollutions)		
環境評估(噪音、空氣及/或水的污染)		
Traffic impact assessment (on vehicles) 就車輛的交通影響評估		
Traffic impact assessment (on pedestrians) 就行人的交通影響評估		
Visual impact assessment 視覺影響評估		
Landscape impact assessment 景觀影響評估		
Tree Survey 樹木調查		
Geotechnical impact assessment 土力影響評估		
Drainage impact assessment 排水影響評估		
Sewerage impact assessment 排污影響評估		
Risk Assessment 風險評估		
Others (please specify) 其他(請註明)		
Note: May insert more than one「レ」. 註:可在多於一個方格內加上「レ」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant. 注: 上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異,城市規劃委員會概不負責。若有任何疑問,應查閱申請人提交的文件。

Application for Permission under Section 16 of the Town Planning Ordinance (Cap. 131)

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories

SUPPLEMENTARY PLANNING STATEMENT

Applicant:

Kam Tin Country Club Ltd.

Planning Consultant:



Top Bright Consultants Ltd.

July, 2025

Executive Summary

This application is prepared on behalf of Kam Tin Country Club Ltd. (KTCC) (the "Applicant") to seek planning permission from the Town Planning Board (the "Board") for a temporary place of recreation, sports or culture with ancillary facilities and associated filling of land (the "Proposed Development") for a period of three years at Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories (the "Application Site").

The Application Site has an area of about 40,616 sq.m. (including about 875 sq.m. of government land) and is currently used for the applied use. The western part of the Application Site is the subject of 6 approved applications (Nos. A/YL-KTN/273, 329, 383, 495, 658 and 830). The last application (No. A/YL-KTN/830) was approved by the Board on 10.6.2022 for a temporary place of recreation (including barbecue spot, picnic area, children playground and handicraft making area) with ancillary facilities for a period of 3 years until 10.6.2025. All approval conditions of the last approved application had been complied with.

The Application Site falls within "Agriculture" ("AGR") and "Village Type Development" ("V") zones on the Approved Kam Tin North Outline Zoning Plan (OZP) No. S/YL-KTN/11. About 83% of the Application Site falls within the "AGR" zone whilst the remaining 17% of land falls within the "V" zone. According to the Notes of the OZP, 'Place of Recreation' is a Column 2 within the "V" zone which requires planning permission from the Board whilst the same use in the "AGR" zone is neither a Column 1 nor Column 2. According to the covering Notes of the OZP, temporary use or development of any land or buildings not exceeding a period of 3 years requires planning permission from the Board. Filling of land within "AGR" zone also requires planning permission from the Board.

The western part of Application Site is largely the same as the previously approved planning applications and mainly comprises the visitor centre, site office/reception, sports ground, children playground and parking areas. The eastern part is the expansion area of KTCC which comprises of barbecue spot, picnic area, electric kiddle ride park, handicraft making area, petting zoo and parking areas. A total of 26 temporary structures, with a floor area of 4,746 sq.m., will be erected within the Application Site. A total of 51 private car parking spaces for visitors are provided within the Application Site. Prior appointment is required for parking within the Application Site. A total of 15 taxi drop-off spaces and 2 loading and unloading spaces for medium goods vehicles will also be provided at the northern parking area to meet the operation needs of the proposed development. The hours of operation at the Application Site are restricted from 10:00 to 18:00 on Mondays to Fridays and from 10:00 to 22:00 on Saturdays, Sundays and public holidays.

The justifications of this application are: will not jeopardize the planning intention; in line with the Northern Metropolis Development Strategy; help promote local tourism in Hong Kong; providing a rural recreation area in Northwest New Territories; limited outdoor recreational venue in the New Territories; better utilisation of land resources; improving supply of "Recreation" land in the Yuen Long District; compatible with surrounding land uses; part of the site with previous planning approvals and compliance with previous approval conditions; meeting local recreation demand; no adverse traffic, drainage, sewage and environmental impacts on the surrounding areas; public access improvements; environmental improvements; and community support. The Board is therefore respectfully requested to give favourable consideration to this application.

行政摘要

這宗規劃申請乃代表錦田鄉村俱樂部有限公司向城市規劃委員會("城規會") 呈交,擬議在新界元朗錦田北水尾村丈量約份 109 地段第 655(部份), 656(部份), 657(部份), 668(部份), 669(部份), 671(部份), 672SA(部份), 674(部份), 678(部份), 679(部份), 680(部份), 681, 682(部份), 684RP(部份), 763SA(部份), 763RP(部份), 764, 765, 766(部份), 768(部份), 769(部份), 770(部份), 771(部份), 772(部份), 781(部份), 782(部份), 783(部份), 784(部份), 785(部份), 786(部份), 787, 788(部份), 1615(部份)及毗連政府土地 ("申請地點"),設置臨時康體文娛場所及其附屬設施 及相關填土工程("擬議發展"),為期3年。

申請地點的面積約 40,616 平方米(包括政府土地約 875 平方米),現時用作申請用途。申請地點的西面部份涉及 6 宗曾獲批准的規劃申請(申請編號:A/YL-KTN/273, 329, 383, 495, 658 及 830),最後一宗申請(申請編號:A/YL-KTN/830)獲批准作臨時康樂用地(包括燒烤及野餐地點、兒童遊樂場、手工藝製作地點)及其附屬設施,為期三年至 2025 年 6 月 10 日。申請人已履行上次規劃許可的所有規劃許可附帶條件。

申請地點座落於錦田北分區計劃大綱核准圖編號 S/YL-KTN/11 中"農業"及"鄉村式發展"地帶。申請地點約 83%座落"農業"地帶,而其餘 17%座落"鄉村式發展"地帶。根據大綱圖的註釋,"康樂用地"是"鄉村式發展"地帶的第二欄用途,但並非"農業"地帶的第一或第二欄用途,且任何土地或建築物的臨時用途或發展,如為期不超過三年,須向城規會申請規劃許可。在"農業"地帶進行填土工程亦須向城規會申請規劃許可。

申請地點的西面部份大致與上次獲批申請相同,主要用作遊客中心、辦公室/接待處、運動場地、兒童遊樂場及停車場。東面部份為申請人擴充的部份,用作燒烤及野餐地點、小童電動車場、手工藝製作地點、愛畜動物園及停車場。申請地點共有 26 個臨時構築物,總樓面面積約 4,746 平方米。申請地點共提供 51 個私家車停車位,北面位置提供 13 個的士落客位及 2 個中型貨車上落貨位,以配合營運需要。申請地點的營運時間是星期一至五上午 10 時至下午 6 時,及星期六、日及公眾假期上午 10 時至下午 10 時。

這宗申請的理由為:不會違背規劃意向;符合北部都會區發展策略;有助推動香港的本地旅遊業發展;在新界西北區提供一個鄉郊康樂地點;新界地區的戶外康樂設施有限;可更好地利用土地資源;改善元朗區康樂用地的供應;與附近土地用途配合;部份申請地點曾獲規劃許可及申請人已履行所有規劃許可附帶條件;滿足對本地康樂場地的需求;對附近環境不構成任何不良的交通、排水、排污及環境影響;可改善公共通道;提昇環境質素及獲社區支持。因此,申請人懇請城規會給予從優的考慮。

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SUMMARY OF APPLICATION

Applicant: Kam Tin Country Club Limited

Applied Use : Proposed Temporary Place of Recreation, Sports or Culture with Ancillary

Facilities and Associated Filling of Land for a Period of 3 Years

Existing Use : Place of Recreation, Sports or Culture with Ancillary Facilities

Location : Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part),

672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long,

New Territories

Site Area : Private Land: 39,741 sq.m. (about)

Government Land: 875 sq.m. (about)

Total: 40,616 sq.m. (about)

Lease : Block Government Lease demised as agricultural land

Statutory Plan : Approved Kam Tin North Outline Zoning Plan No. S/YL-KTN/11 gazetted on

15.12.2023

Zoning : "Agriculture" ("AGR") – about 33,685 sq.m. (83%)

"Village Type Development" ("V") – about 6,931 sq.m. (17%)

Previous
Applications

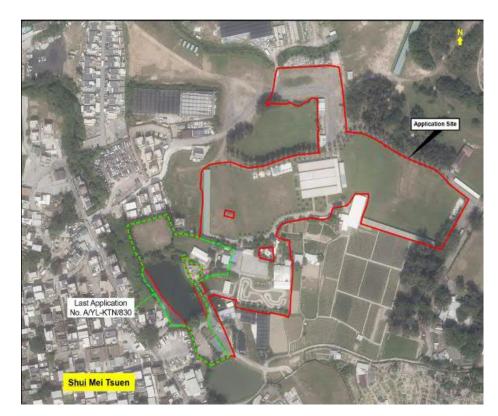
6 previous planning applications covered part of the Application Site (with

the same Applicant) were approved by the Town Planning Board:

A/YL-KTN/830 approved on 10.6.2022 for a period of 3 years A/YL-KTN/658 approved on 31.5.2019 for a period of 3 years A/YL-KTN/495 approved on 10.6.2016 for a period of 3 years A/YL-KTN/383 approved on 1.6.2012 for a period of 3 years A/YL-KTN/329 approved on 19.6.2009 for a period of 3 years A/YL-KTN/273 approved on 22.6.2007 for a period of 3 years

1. INTRODUCTION

- This application is prepared by Top Bright Consultants Limited on behalf of Kam Tin Country Club Limited (the "Applicant") to seek planning permission for a temporary place of recreation, sports or culture with ancillary facilities and associated filling of land (the "Proposed Development") for a period of three years at Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories (the "Application Site").
- Located to the immediate east of Shui Mei Tsuen, the Application Site consists of a fishpond and several parcels of grassland, has an area of about 40,616 sq.m. (including about 875 sq.m. of government land) and is currently used for the proposed use (see aerial photo below). The southwestern part of the Application Site (about 8,520 square metres) is the subject of 6 approved applications (Nos. A/YL-KTN/273, 329, 383, 495, 658 and 830). The last application (No. A/YL-KTN/830) was approved by the Town Planning Board (the "Board") on 10.6.2022 for a temporary place of recreation (including barbecue spot, picnic area, children playground and handicraft making area) with ancillary facilities for a period of 3 years until 10.6.2025. All approval conditions of the last approved application had been complied with. Compared with the previous applications, the area of this Application includes the adjoining fallow / open land for better land management (e.g. cutting of wild grass). The area concerned will remain unfenced and accessible to the local villagers. This idea is supported by the local community.



- 1.03 Shui Mei Tsuen together with its adjoining village Shui Tau Tsuen are popular heritage tourism destinations in the Kam Tin area, with over 10 famous relics and historic buildings such as Yi Tai Study Hall (二帝書院), Tang Chan Yui Kuen Ancestral Hall (鎮銳鋗鄧公祠), Chou Wong Yi Kung Study Hall (周王二公書院), etc. which are outstanding examples of traditional Chinese architecture. These popular tourist destinations attract a large number of visitors during weekends and public holidays, thereby creating a need for various supporting facilities (public toilets, car parking, rest areas, refreshment kiosks, children playgrounds, etc.).
- 1.04 The Applicant, Kam Tin Country Club Ltd. (KTCC), was formed by a local villager of Shui Mei Tsuen in 2007 to provide a picnic and leisure area with recreational facilities in Shui Mei Tsuen for the locals, visitors, and tourists to enjoy the rural life and natural environment. Over the years, KTCC has become a local recreational and tourist attraction in Kam Tin area, serving local groups, schools, families, and individual visitors/villagers. In this application, the area of KTCC (i.e. the Application Site) covers the previously approved application site (No. A/YL-KTN/830) and the areas to its east and northeast.
- 1.05 During the COVID-19 pandemic, which has caused widespread social distancing and significantly harmed the Hong Kong economy, KTCC was temporarily closed at times and offered limited service to the public. After Hong Kong's gradual recovery from the pandemic in 2023, KTCC expanded to provide an outdoor recreational venue in a spacious atmosphere, in conjunction with existing tourist and heritage attractions nearby, to allow more people to explore the beauty of nature and increase educational opportunities and interactions between parents and children. The Applicant intends to use the Application Site to promote local tourism and regularize the applied use at the Application Site.
- 1.06 The Application Site falls within "Agriculture" ("AGR") and "Village Type Development" ("V") zones on the Approved Kam Tin North Outline Zoning Plan (OZP) No. S/YL-KTN/11. About 83% of the Application Site falls within the "AGR" zone whilst the remaining 17% of land falls within the "V" zone. According to the Notes of the OZP, 'Place of Recreation' is a Column 2 within the "V" zone which requires planning permission from the Board whilst the same use in the "AGR" zone is neither a Column 1 nor Column 2 use. According to the covering Notes of the OZP, temporary use or development of any land or buildings not exceeding a period of 3 years requires planning permission from the Board. Filling of land within "AGR" zone also requires planning permission from the Board.
- 1.07 On 26.6.2025, the Applicant received an Enforcement Notice (CEP/E/YL-KTN/737) ("EN") from the Planning Authority. There is a discrepancy between the boundary of the Application Site and the "enforcement area" (see Appendix A), and the area outside the Application Site is not/will not occupied by the Applicant for the applied use. The said Notice stated that the recreational use with eating place, parking of vehicles, and storage use (including deposition of containers) found at part of the Application Site and adjoining land constituted an unauthorized development and that the Applicant should either discontinue the said activities or submit a planning application to seek permission from the Board.

1.08 The Proposed Development is considered in harmony with the surrounding village and provides both social and economic benefits to the local community. It could also rectify the unauthorized uses found on the Application Site. The following sections of this statement will describe the Application Site and its surroundings, give details of the proposed use, and provide justifications for the Board's consideration.

2. SITE CONTEXT

Location

2.01 The Application Site is located to the east of Shui Tau Tsuen and Shui Mei Tsuen, Kam Tin North, Yuen Long. Figure 1 shows the location of the Application Site in its regional context.

Existing Site Conditions

- 2.02 The Application Site, as shown in Figure 2, covers an area of approximately 40,616 sq.m. (including 875 sq.m. of Government land) and is a piece of flat land. It is currently being used as a place of recreation, sports or culture with ancillary facilities for local groups, schools, families and individual visitors/villagers.
- 2.03 The Application Site is mainly covered by lawn and green fields while some areas and footpaths are paved. Clusters of trees, potted plants, and natural vegetation were scattered throughout the application site and along the local track and footpath. A number of temporary structures, shelters, sheds and tent canopies are found on the premises and are being used as barbecue area, picnic area, children playground, an electric kiddie ride park, a handicraft making area, petting zoo, site office/reception, visitor centre, storerooms, washrooms and nursery room.
- 2.04 There are two small house development sites and a domestic structure landlocked by the Application Site. A 24-hour right-of-way for pedestrians within the Application Site will be provided to serve the existing/and future residents of these private properties (see **Figure 3**).

Surrounding Land Uses

2.05 The Application Site is located in an area largely dominated by village type developments, farmland and recreational/tourist settings. To its west are the village settlements of Shui Mei Tsuen and Shui Tau Tsuen. To its south are a pond, some domestic farm structures, and hobby farms. To its north is "MoVertical farm", and further north is a dog training school. To its east is vacant land and farmland. To its northeast are extensive fallow agricultural land, vacant/unused land and a permitted burial ground. A plan showing the Application Site in the context of its local surroundings is at Figure 4.

Access

2.06 Vehicular accesses to the Application Site are via a local track and Kam Hing Road branching off from Kam Tin Bypass to the south and via a local track and Shui Mei Road branching off from San Tam Road to the northwest. The Application Site is well served by public transport

such as public light buses. Coach drop-off points are also located in the southern part of the Application Site. The plan showing the access to the Application Site and available coach drop-off points in the vicinity is at Figure 4.

3. LAND STATUS

- 3.01 The Application Site comprises of Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories. A plan showing the configuration of the lots is at Figure 2.
- 3.02 The subject lots are all held under Block Government Lease and demised as agricultural land. The lease is virtually unrestricted, apart from the standard non-offensive trade clause, and will expire on 30.6.2047.
- 3.03 Should this application be approved, the Applicant will apply to the Lands Department for a Short Term Waiver (STW) for the temporary structures and a Short Term Tenancy (STT) for the use of government land within the Application Site.

4. PLANNING CONTEXT

Statutory Plan

- 4.01 According to the Approved Kam Tin North OZP No. S/YL-KTN/11 gazetted on 15.12.2023, the Application Site falls within "Agriculture" ("AGR") and "Village Type Development" ("V") zones. About 33,685 sq.m. (83%) of the Application Site falls within the "AGR" zone whilst about 6,931 sq.m. (17%) of land falls within the "V" zone. An extract of the OZP is at **Figure 5**.
- 4.02 The planning intention of the "AGR" zone is "to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes." On the other hand, the planning intention of "V" zone is "to reflect existing recognized and other villages, and to provide land considered suitable for village expansion and reprovisioning of village houses affected by Government projects."
- 4.03 According to the Notes of the OZP, 'Place of Recreation' is a Column 2 within the "V" zone which requires planning permission from the Board whilst the same use in the "AGR" zone is neither a Column 1 nor Column 2 use and temporary use not exceeding a period of 3 years requires planning permission from the Board, notwithstanding that the use or development is not provided for in terms of the OZP. Filling of land within "AGR" zone also requires planning permission from the Board.

Northern Metropolis Development Strategy

- 4.04 The Northern Metropolis Development Strategy (the Development Strategy) proposes to expand the Northern Economic Belt under the Hong Kong 2030+ to cover new towns in Yuen Long, Tin Shui Wai and Fanling/Sheung Shui, various NDAs and development nodes in different planning and construction stages as well as their neighboring rural areas, and to consolidate the above into a holistic metropolis with a total area of 30,000 hectares. The entire Northern Metropolis can eventually accommodate a residential population of about 2.5 million and provide about 650,000 jobs. Northern Metropolis will be developed into a metropolitan area good for people to live in, work and travel featured with "Urban-Rural Integration and Coexistence of Development and Conservation".
- 4.05 To meet the medium to long term land requirements and to cater for sustainable development, the Development Strategy advocates the expansion of development and environment capacity and recommends ten key action directions with 45 action items, including, among others, increasing housing supply and land for I&T use, improving cross-boundary transport infrastructure, promoting proactive ecological conservation, enhancing industrial structure, creating employment opportunities, introducing government-led community-making approach and formulating innovative land grant policies.
- 4.06 Promoting urban-rural integration and providing high-quality outdoor eco-recreation/tourism outlets are two of six planning principles adopted under the Development Strategy. The Northern New Territories has a wide variety of natural environments and ecological habitats, especially large areas of freshwater/ brackish wetlands, fishponds, marshes, reedbeds and mangroves. The huge increase in residential and working population in the Northern Metropolis would generate substantial demand for outdoor leisure and recreational facilities. It is necessary to provide eco-recreation/ tourism space in advance and in a timely manner to enrich people's lives and encourage a healthy lifestyle. This can also avoid damage to the cultural and natural resources in the Northern New Territories caused by unregulated recreational and tourism activities.
- 4.07 The Proposed Development can provide an outdoor recreation/leisure spot conjunction with existing tourist and heritage attractions, Nam Sang Wai wetland, and Lam Tsuen Country Park to allow people to explore the beauty of nature and local heritage, increase educational opportunities and interactions between parents and children. It can also act as a transitional spot along the NTN Urban-Rural Greenway to link up the countryside, mountain ranges, traditional villages, distinctive architectures, and town parks. Part of Application Site has been used for place of recreation approved by the Board since 2007. With the close monitoring of the Board, the Proposed Development can be regulated and the environment can be improved and updated.

Previous Applications

4.08 The western part of the Application Site was the subject of 6 previous approved applications (Nos. A/YL-KTN/273, 329, 383, 495, 658 and 830) for the same applied use by the same Applicant. Application No. A/YL-KTN/273 was approved for place of recreation (including barbecue spot and picnic area) on 22.6.2007 for a period of 2 years. Application Nos. A/YL-

KTN/329 and 383 were approved for place of recreation (including barbecue spot and picnic area) on 19.6.2009 and 1.6.2012, respectively for 3 years. Application Nos. A/YL-KTN/495, 658 and 830 were approved for temporary place of recreation (including barbecue spot, picnic area, children playground and handicraft making area) with ancillary facilities for a period of 3 years on 10.6.2016, 31.5.2019 and 10.6.2022, respectively. All approval conditions of the last application (No. A/YL-KTN/830) were complied with.

Similar Applications

4.09 The Board has approved a number of similar planning applications for 'Place of Recreation, Sport or Culture' use in recent years within the same "AGR" zone of Kam Tin North OZP. Details of these applications are summarised as follows:

Application No.	Date of	Applied Use	Length of Planning Permission
	Approval		
A/YL-KTN/1044	4.10.2024	Proposed Temporary Holiday Camp	3 years
		and Place of Recreation, Sports or	
		Culture with Ancillary Barbecue Site	
		and Eating Place for a Period of 3	
		Years and Associated Filling of Land	
A/YL-KTN/895	21.4.2023	Temporary Place of Recreation,	3 years
		Sports or Culture (Outdoor Fitness	
		Centre / Sports Training Ground) for a	
		Period of 3 Years and Filling of Land	
A/YL-KTN/894	31.3.2023	Proposed Temporary Place of	3 years
		Recreation, Sports or Culture (Indoor	
		and Outdoor Recreation Centre) with	
		Ancillary Facilities for a Period of 3	
		Years and Filling of Land	
A/YL-KTN/879	3.2.2023	Proposed Temporary Place of	3 years
		Recreation, Sports or Culture (Hobby	,
		Farm) with Ancillary Facilities for a	
		Period of 5 Years and Filling of Land	
A/YL-KTN/857	3.2.2023	Proposed Temporary Place of	3 years
		Recreation, Sports or Culture (Hobby	
		Farm) for a Period of 3 Years	
A/YL-KTN/844	12.8.2022	Temporary Place of Recreation,	3 years
		Sports or Culture (Hobby Farm,	,
		Pawning Ground, Barbecue Site) and	
		Holiday Camp with Ancillary Facilities	
		for a Period of 3 Years and Filling of	
		Land	

A/YL-KTN/826	9.9.2022	Temporary Place of Recreation,	3 years
		Sports or Culture (Hobby Farm),	
		Holiday Camp, Barbecue Site and	
		Ancillary Supporting Facilities for a	
		Period of 3 Years	

5. DEVELOPMENT PROPOSAL

Proposed Use

5.01 The Applicant seeks planning permission for using the Application Site for temporary place of recreation, sports or culture with ancillary facilities and associated filling of land for a period of 3 years. The Proposed Development will provide a recreational and tourist attraction which combines recreation and education in an entertaining and interactive environment for local groups, schools, families and individual visitors/villagers while in harmony with the rural setting. It will help to instill the concept of 'tourism is everywhere in Hong Kong'.

Site Layout and Design

- 5.02 As indicated on the Layout Plan at **Figure 6**, the western part of the Application Site is largely the same as the previously approved planning application (No. A/YL-KTN/830) and mainly comprises the visitor centre, site office/reception, sports ground, children playground, and car parking areas. The eastern part is the expansion area of KTCC, which comprises of barbecue spot, picnic area, electric kiddie ride park, handicraft making area, petting zoo and car parking areas. A total of 26 temporary structures, with a floor area of about 4,746 sq.m., will be erected within the Application Site. The design and operation will ensure that adequate measures are in place to ensure public safety within the Application Site and surrounding locations. The Proposed Development comprises the following major components:
 - (a) The site office/reception and visitor centre¹ are located near the access road to the southwest corner of the Application Site;
 - (b) Active recreational facilities such as basketball/badminton courts as well as passive recreational facilities such as barbecue spot, picnic area, children playground, handicraft making area, petting zone and children game area;
 - (c) Lawn area and grasslands for picnic areas and outdoor activities to provide a spacious atmosphere for the visitors;
 - (d) Ancillary facilities such as shade shelters and sitting out areas for the people visiting the Application Site;
 - (e) Other ancillary facilities such as kiosk, ticket office, storerooms, shade shelters, washrooms and nursery room;
 - (f) Parking spaces/taxi drop-off spaces for visitors and loading/unloading spaces for medium goods vehicles.
- 5.03 The major development parameters of the current application are summarized as follows:

¹ The visitor centre will also provide drinks, pre-packed refreshment and snack to visitors when necessary.

	Major Development Parameters
Site Area (about)	40,616 sq.m.
[Government Land]	[875 sq.m.]
Applied Use	Temporary Place of Recreation, Sports or Culture with Ancillary
	Facilities and Associated Filling of Land for a Period of 3 Years
No. of Structures	26
Total Floor Area	4,743 sq.m (about)
Building Height	2.5-5m (about)
No. of Storeys	1
No. of Parking	For Private Vehicles: 51 nos. (2.5m x 5m)
Spaces	
No. of Loading/	For Taxi Drop-off: 15 nos. (2.5m x 5m)
Unloading Spaces	For Medium Goods Vehicles: 2 nos. (3.5m x 11m)

Site Operations

- 5.04 The proposed development is open to the public **without any admission charge**. The hours of operation at the Application Site are restricted from 10:00 to 18:00 on Mondays to Fridays and from 10:00 to 22:00 on Saturdays, Sundays and public holidays.
- 5.05 According to the Applicant, there will be a maximum of 500 visitors per day and approximately 40 on-site staff. A visit-by-appointment scheme will be adopted to control the number of group visitors and traffic flow. No public announcement system, including any form of audio amplification system and portable loudspeakers will be used at the Application Site. The electric kiddle ride is primarily for use by children aged not more than 12 years and does not involve racing. On-site staff will be deployed to give instructions to the children in the venue.

Land Filling

5.06 The Applicant applies for regularisation of filling of land with an area of about 14,000 sq.m. with concrete and asphalt in a depth of about 0.2m (ranging from +4.3mPD to +7mPD) and filling of land for an additional portion (about 480 sq.m.) with concrete in a depth of not more than 0.2m up to a level of about +6mPD (see **Figure 7**). The existing filling of land is for site formation of structures, footpaths, parking areas/loading and unloading spaces. The proposed filling of land is mainly for site formation for two additional structures.

Tree Preservation and Landscaping Proposal

5.07 The Application Site is situated in an area of rural landscape character comprised of scattered tree groups, some hard paved areas and scattered temporary structures. Clusters of trees, pot plantings and natural vegetation were scattered within the Application Site and along the local track/footpath. No tree felling is involved and all existing trees and landscape plantings will be maintained by the Applicant within the Application Site. To allow physical accessibility and visual permeability to the surrounding areas, the Application Site will not be fenced off.

Access and Parking Arrangements

- 5.08 The Application Site is accessible via a local track and Kam Hing Road branching off from Kam Tin Bypass to the south and via a local track and Shui Mei Road branching off from Castle Peak Road -Tam Mei to the northwest. There are two ingress/egresses located at the southwest and north of the Application Site.
- 5.09 A total of 51 private car parking spaces for visitors are provided within the Application Site. Prior appointment is required for parking within the Application Site. A total of 15 taxi drop-off spaces and 2 loading and unloading spaces for medium goods vehicles will also be provided at the northern parking area to meet the operational needs of the proposed development.
- 5.10 To reduce the possible disturbance of coach traffic to the local access road, all visitors of the Proposed Development will alight along Kam Tin Bypass. A second coach drop-off point to the south will be provided for students, elderly/disabled visitors, as this location has a shorter walking distance to the Application Site (about 2-3 minutes' walk) (see **Figure 4**). No coach will be allowed to park and wait at the drop-off points. Staff will be stationed in the drop-off areas to direct traffic during peak hours. It is estimated that there will be about 6 coach trips per day.
- 5.10 A clearer route for public access is provided throughout and around the Application Site for easier navigation to adjoining private lots and the surroundings of the site. The Applicant will operate the site with a booking system, and the traffic and parking arrangements are similar to the last approved application (No. A/YL-KTN/830).
- 5.11 The Application Site has been operated for a period of time and the traffic generated from the proposed development can be absorbed by the existing roads. The Applicant has not received any complaints about the traffic flow and manoeuvring of vehicles along the access road in the past 3 years. For weekdays, most visitors are from local groups and schools and the traffic generation will be restricted to non-peak hours (10:00 16:00) on Mondays to Fridays. For weekends and public holidays, most of the visitors are local tour groups, family groups and individual visitors. The proposed development will not generate more than 6 passenger car unit ("pcu") of coaches and 30 pcu of private vehicles during peak hours.

Public Transport Facilities

5.12 Visitors are encouraged to take public transport to the Application Site. There are 2 green minibus routes (601 and 601B) serving Shui Tau Tsuen and Shui Mei Tsuen where the Application Site is located. Both 601 and 601B minibus stops are about 30m from the main entrance of the Application Site. In addition, there are 6 franchised bus routes serving Kam Tin Road, which are 54, 64K, 77K, 251B, 251M and E36P. The available public transport facilities are shown in **Figure 8**.

Drainage and Sewage

5.13 The Application Site will be maintained in its existing conditions, which is mostly covered by lawn and green fields. Some existing drains are found along the local track and footpath and the site shall largely remain as the current situation under which surface runoff of the site will

flow into the nearby existing ponds. The existing condition of the Application Site could help reduce the flooding risk by increasing water infiltration into the soil and absorbing the excessive water during heavy rainfall.

The Application Site is located in an area where no public sewerage connection is available. Two washrooms are provided within the Application Site, and underground septic tanks are provided to treat the sewage. Proper sewage collection and treatment facilities will be provided in accordance with the requirements in ProPECC PN 1/23. Two public toilets are also located 400m to the northwest and southwest of the Application Site (see **Figure 4**).

Waste Management

- 5.15 Adequate rubbish bins will be provided within the Application Site and all solid waste arising from the operation of the proposed development will be collected on a daily basis by the onsite staff and disposed to the nearby refuse collection points/collected by contractors.
- 5.16 Good site practices will be monitored to avoid refuse and other pollution, including pesticides, from entering the surface runoff and the nearby ponds, and to ensure a clean, hygienic venue without environmental deterioration.

Environmental Considerations

- 5.17 It is anticipated that there will be no insurmountable adverse environmental impacts arising from the Proposed Development on the surrounding areas. The only possible impact brought by the Proposed Development to the surrounding areas is human noise (chatting and laughing). To minimize the potential on-site noise problems generated by the Proposed Development, the Applicant has already undertaken to prohibit the use of public announcement systems, portable loudspeakers or any form of audio amplification system within the Application Site. In addition, with the proposed restricted hours of operation, the Proposed Development would unlikely cause unreasonable noise nuisance to the nearby sensitive receivers.
- 5.18 The Applicant will follow the relevant mitigation measures and requirements in the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites (COP)" issued by EPD to minimize any potential environmental impact. The Applicant has not received any complaints of environmental nuisance during the last 3 years.

TB/25/858

6. JUSTIFICATIONS

Will Not Jeopardize the Planning Intention

- 6.01 The majority of the Application Site (83%) falls within the "AGR" zone with a small portion (13%) within the "V" zone. It is widely recognized that agricultural activities are gradually declining in view of the low economic return from farming activities and many farmers have turned to more lucrative pursuits. Much agricultural land within the Application Site and its surrounding areas is left fallow or has been converted to other uses. The area to the north of the Application Site within the same "AGR" has been converted to open storage and warehouse uses which were approved by the Board (Application Nos. A/YL-KTN/920, 937, 951, 953, 955, 957, 963, 975, 993, 994, 995, 996, 1004, 1005, 1017, 1019, 1027, 1031, 1033, 1040, 1050, 1052, 1054 and 1081) in recent years. In addition, as advised by the Applicant, there is no Small House application approved or being processed within the site.
- 6.02 In this regard, the temporary nature of the Proposed Development would not jeopardize the long-term planning intentions of the "AGR" and "V" zones. The same consideration has been given to the previously approved application (No. A/YL-KTN/830).

In Line with the Northern Metropolis Development Strategy

6.03 The Development Strategy advocates expanding the Northern Economic Belt into a metropolitan area with a residential population of about 2.5 million, which will be good for people to live in, work and travel, featured with "Urban-Rural Integration and Co-existence of Development and Conservation". Promoting urban-rural integration and providing high-quality outdoor eco-recreation/tourism outlets are two of six planning principles adopted under the Development Strategy. With a wide variety of natural environment and ecological habitats in Yuen Long District, the Proposed Development can provide an outdoor recreation/leisure spot in conjunction with existing tourist and heritage attractions to allow people to appreciate the unique scenic blend of cityscape and countryside. It can also act as a transitional spot along the NTN Urban-Rural Greenway to link up the countryside, mountain ranges, traditional villages, distinctive architectures, and town parks.

Help Promote Local Tourism in Hong Kong

- 6.04 Tourism is one of the major driving forces of Hong Kong's economy. The Chief Executive in his Policy Address 2024 announced a number of initiatives to boost the tourism industry through innovative thinking and making better use of our rich and unique resources, such as Victoria Harbour, outlying islands, rural areas, cultures, cuisines, lifestyles, and historic buildings. Developing tourism in rural areas is an important approach to offering revitalization opportunities for many rural areas. A successful tourism development plan can offer economic benefits to rural communities through enhancing business and job opportunities.
- 6.05 On revitalising the local tourism industry, it was stated in "Development Blueprint for Hong Kong's Tourism Industry 2.0" that to develop more distinctive local tourism products, provide better services and attractive products. KTCC, has established a local brand and has been welcomed by local groups/organizations, schools, families, and individual visitors since its

operation in 2007. It has the potential to develop into an outdoor recreation and tourism facility at the district level and help instill the concept of "tourism is everywhere in Hong Kong".

Providing a Rural Recreation Area in Northwest New Territories

6.06 The Territorial Development Strategy recommends creating a rural recreation centre in the North West New Territories (NWNT) as there is an increasing population. It reveals that the demand for recreational facilities would far exceed the planned and committed supply. The addition of the Proposed Development (i.e. rural recreation area) in this part of Yuen Long in conjunction with existing tourist and heritage attractions can complement each other. The Proposed Development provides a win-win situation to all parties concerned on one hand and benefits the community at large on the other. The Proposed Development therefore conforms to the strategic planning intention and serves as a rural recreation area in the NWNT.

Limited Outdoor Recreational Venue in the New Territories

6.07 With the ongoing land resumption projects for the Northern Metropolis, it could be assumed that most private land in the Northern New Territories and North West New Territories will be resumed by the Government for development of New Development Areas (NDAs) and public works in the near future. Most available land in the "AGR" or "REC" zone has been converted to open storage and warehouse use for the affected brownfield operations due to land resumption. As there is limited available and suitable land for recreational use in the New Territories, the Application Site is considered an appropriate venue for local recreation and allowing visitors to get away from the hustle and bustle of their daily lives and explore the beauty of nature in a spacious atmosphere.

Better Utilisation of Land Resources

6.08 The agricultural activities are gradually declining in view of the low economic return from farming activities and many farmers have turned to more lucrative pursuits. Much agricultural land in the Application Site and its surrounding area has been left fallow or has been converted to other uses. The use of the land to meet recreational need is considered a better utilization of the scarce land resources while maintaining the rural character of the area. Approval of the application can provide an opportunity for better land management in revitalizing and managing the Application Site with the support of commercial operation.

Improving Supply of "Recreation" Land in Yuen Long District

6.09 It is noted that there is an unbalanced supply of recreational land in the Yuen Long District. In certain sizeable planning areas such as Kam Tin North, Kam Tin South, San Tin Technopole, Shek Kong, Nam Sang Wai, Tong Yan San Tsuen and Pat Heung, there is a lack of "Recreation" zones, which deprive the opportunity for a rational recreation development in these planning areas. However, the recreational potential for some existing 'Recreation' zones may be constrained by their juxtaposition with incompatible land uses, such as open storage and rural industries. In this connection, approval of this application will definitely help achieve a more balanced mix of recreational land in Yuen Long and establish recreational areas for the public in the years to come.

Compatible with Surrounding Land Uses

6.10 The surrounding areas of the Application Site mainly comprise villages, relics and historic buildings, and active/fallow agricultural land. The existing landscape in the Application Site is predominantly rural in nature, and the Proposed Development, which consists of open greens and some single-storey structures for recreation purposes, is considered compatible with the existing rural landscape character. Also, the Application Site is landscaped and well maintained by the Applicant, which helps maintain a harmonious rural environment by preserving and reinforcing the rural, agricultural, and recreational character of the area.

Part of the Site with Previous Planning Approvals and Compliance with Previous Approval Conditions

6.11 The western part of the Application Site has been approved for the same use on 6 occasions by the Board from 2007-2022. All approval conditions of the last approved planning application (No. A/YL-KTN/830) had been complied with, indicating the Applicant's determination in operating the Proposed Development in a lawful manner. There are also no complaint received in regard to the operation of KTCC. Favourable consideration may be given by the Board to this application.

Meeting Local Recreation Demand

Owing to the growing population in Yuen Long District, reinforced by the housing policy promulgated by the Government, the demand for active and passive recreational facilities in the area rises rapidly. To cater for the population increase in Yuen Long from 668,100 in 2021 to a higher limit of 760,600 in 2031 as forecasted in the Projections of Population Distribution, 2023-2031 (Planning Statistics, Planning Department), the shortfall will be particularly acute compared to the existing provision. According to the information of the Planning Department, there will be 6 large housing projects completed in phases from 2024 to 2038 in Yuen Long District, providing a total of 139,000 housing units for an increase population of 382,000. It can be foreseen that the shortfall will become much more acute. Unlike the Tuen Mun area with a public golf driving range and public horse-riding centre, the people in Yuen Long are neglected in comparison, as there are inadequate public recreational facilities, which are limited by choice and type. The present provision of recreational facilities in Yuen Long is generally limited to holiday camps and picnic areas.

No Adverse Traffic, Drainage, Sewage and Environmental Impacts on the Surrounding Areas

Traffic Impact

6.13 The Proposed Development is not considered a high traffic-generating use. Local villagers and visitors can make use of the public transportation network serving the area, walk, or drive to the Application Site. As the Application Site falls within the heritage tourism catchment area, adequate parking spaces/drop-off points for private vehicles and coaches are provided in the vicinity to accommodate the tourist parking requirements. The car parks within the Application Site will be available for public use. As the Application Site is operated with a booking system,

the number of visitors and traffic flow can be under control. It is anticipated that the Proposed Development under the current application will not aggravate the traffic conditions of nearby road networks.

Drainage and Sewage Impacts

6.14 The Proposed Development would only involve a small portion of additional filling of land, and the site condition will largely remain the same as the current situation. Surface runoff will flow into the existing ponds, which act as a natural drainage collection system. Proper sewage collection and treatment facilities will be provided in accordance with the requirements in ProPECC PN 1/23. In this regard, no adverse drainage and sewage impacts are anticipated.

Environmental Impacts

6.15 It is anticipated that there will be no adverse environmental impacts of the Proposed Development on the surrounding areas. The only possible impact brought by the Proposed Development to the surrounding areas is human noise (chatting and laughing). To minimize the potential on-site noise problems generated by the Proposed Development, the Applicant has already undertaken to prohibit the use of public announcement systems, portable loudspeakers or any form of audio amplification system within the Application Site. Together with the proposed restricted hours of operation, the Proposed Development is unlikely to cause unreasonable noise nuisance to the nearby sensitive receivers.

Public Access Improvements

6.16 The Applicant provides various pedestrian accesses that allow public access from the western side to the eastern side of the site more efficiently. In view of there are two small house developments and an existing structure for domestic use that are enclosed by the Application Boundary, the proposed layout allows a clearer indication of a 24-hour public access for the concerned existing/future residents (see **Figure 3**).

Environmental Improvements

6.17 The majority of the Application Site was occupied by abandoned green fields in the past. The Applicant has been providing a comprehensive landscape treatment, including placing pot plantings, clusters of trees, and natural vegetation along the site boundary and the local track, and implementation of buffer shade and shelter, which created a sense of identity while enhancing the rural character and amenity of the surrounding areas. No tree felling is involved in the proposal, and there will be no significant changes or disturbances to the existing landscape resources.

Community Support

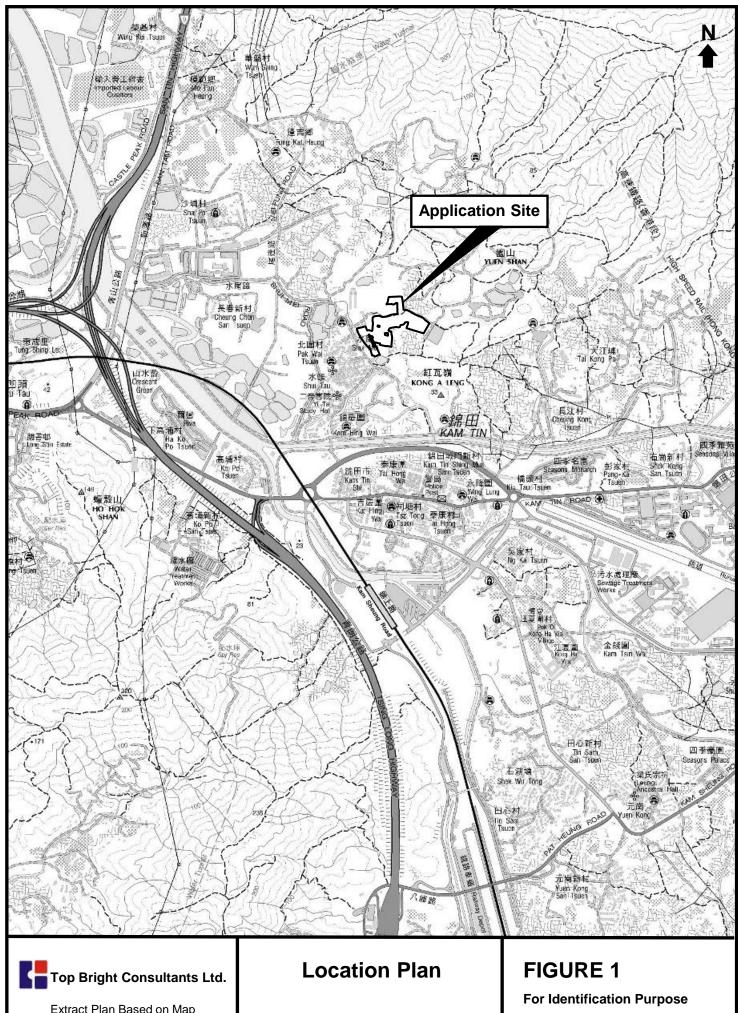
6.18 The Proposed Development is most welcome by the local population and community organizations since its operation in 2007. As the Proposed Development provides a variety of passive and active recreational facilities (such as picnic, barbeque, badminton, children playground, handicraft making area, etc.), it is considered as a place for weekend family fun or

place for people to enjoy the rural life and natural environment. Moreover, the Proposed Development is a community use which supports the social and economic development of the nearby villages by complementing the local tourist industry.

7. Conclusion

- 7.01 The Proposed Development is a local recreational facility that is open to the general public without any admission charge. In view of the rising public demand for better recreational facilities, the Proposed Development will enable the provision of rural recreational facilities in the Yuen Long area and help instill the concept of "tourism is everywhere in Hong Kong". As such, the Proposed Development should be supported from the planning and land use points of view as it would result in more economic and efficient use of valuable land resources.
- 7.02 It is considered that the Proposed Development is compatible in land use terms and no adverse environmental, traffic, drainage and sewage impacts on the surrounding area would be created by the Proposed Development. The Proposed Development will ensure a quality environment for the area by means of extensive provision of greenery and provision of environmentally friendly/protection measures.
- 7.03 In view of the reasons detailed in the previous sections, the Applicant respectfully requests that the Board to give favourable consideration and approve this application for a period of 3 years.

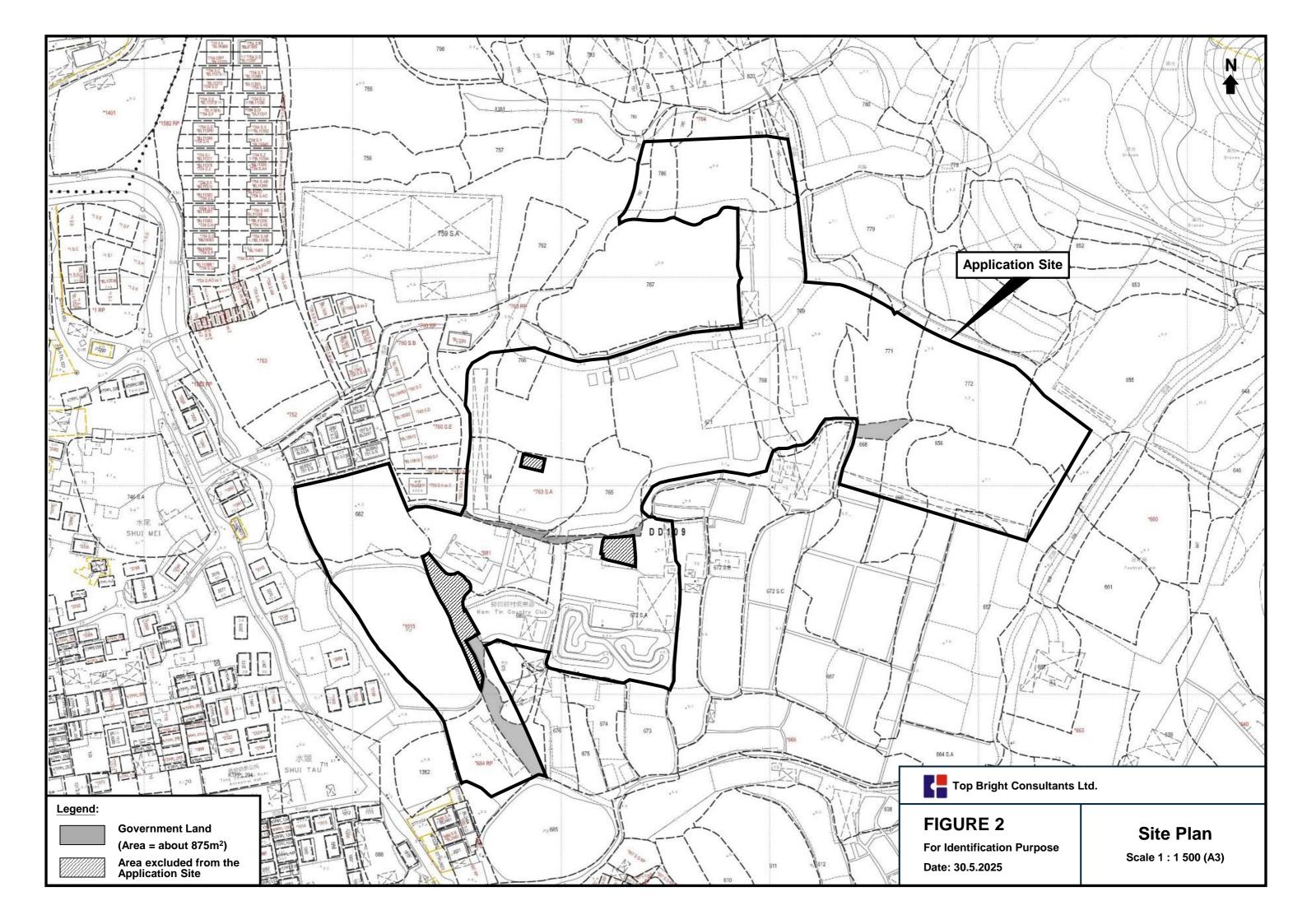
Top Bright Consultants Limited July 2025

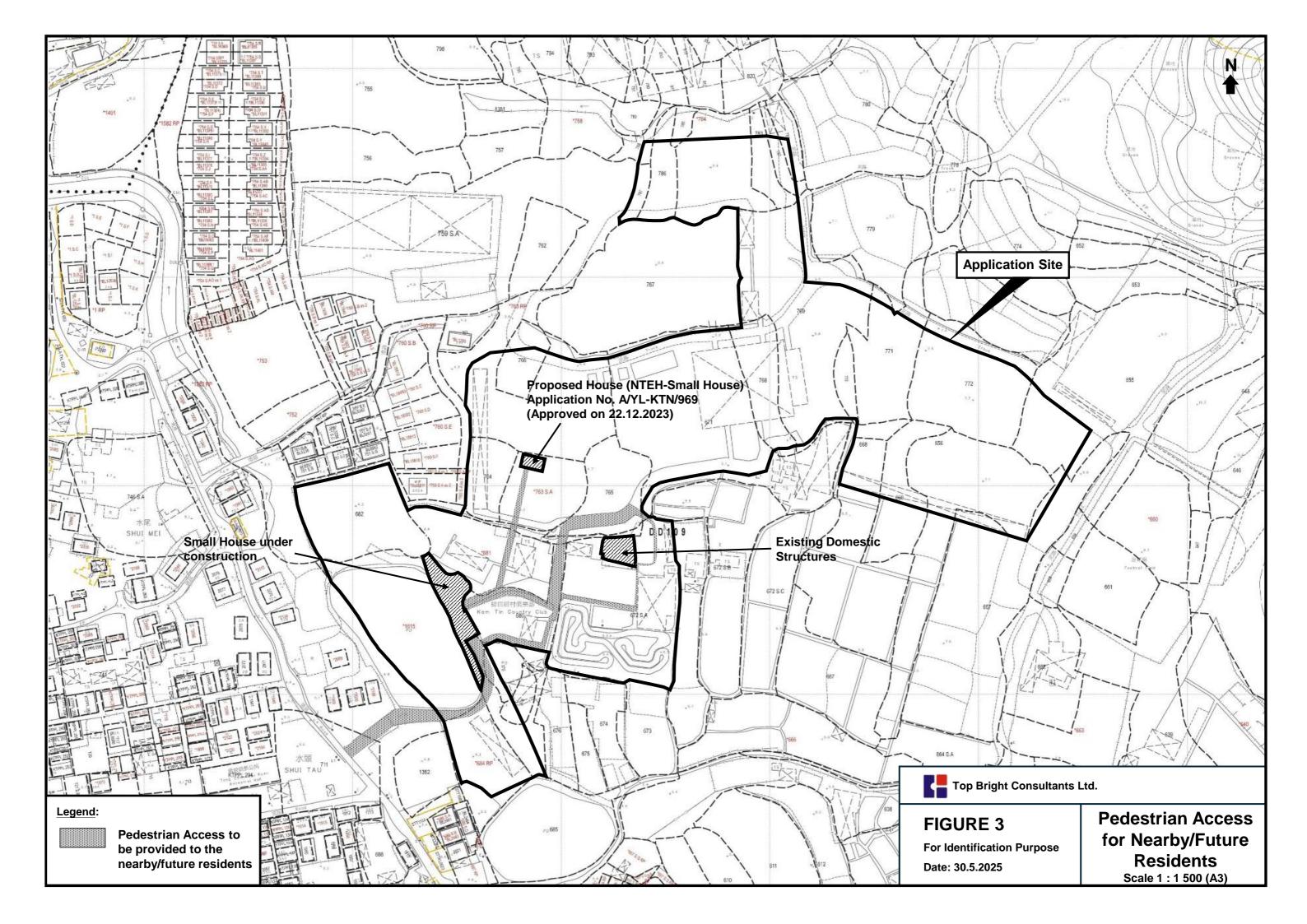


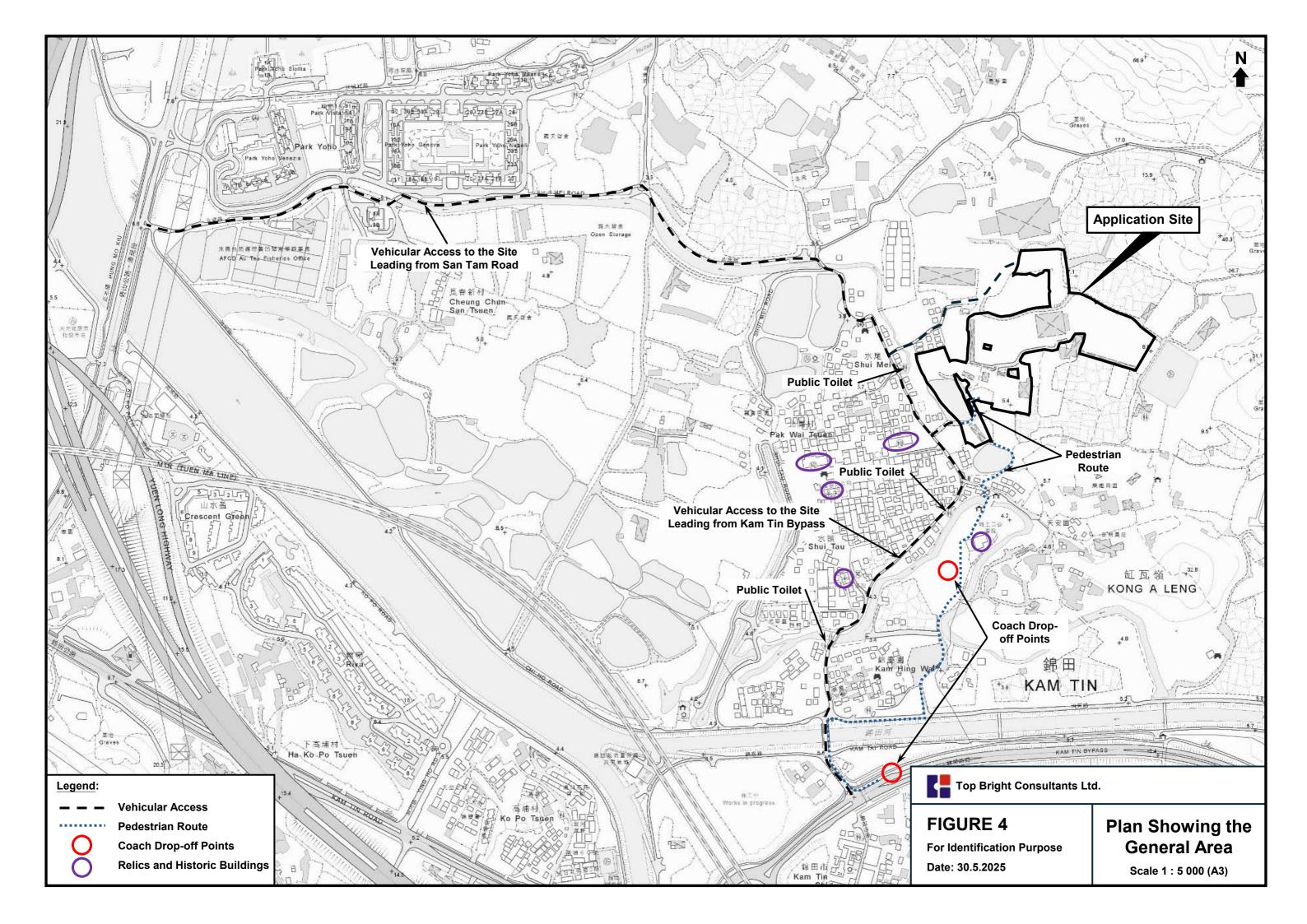
Extract Plan Based on Map Series HM20C of Sheet 6

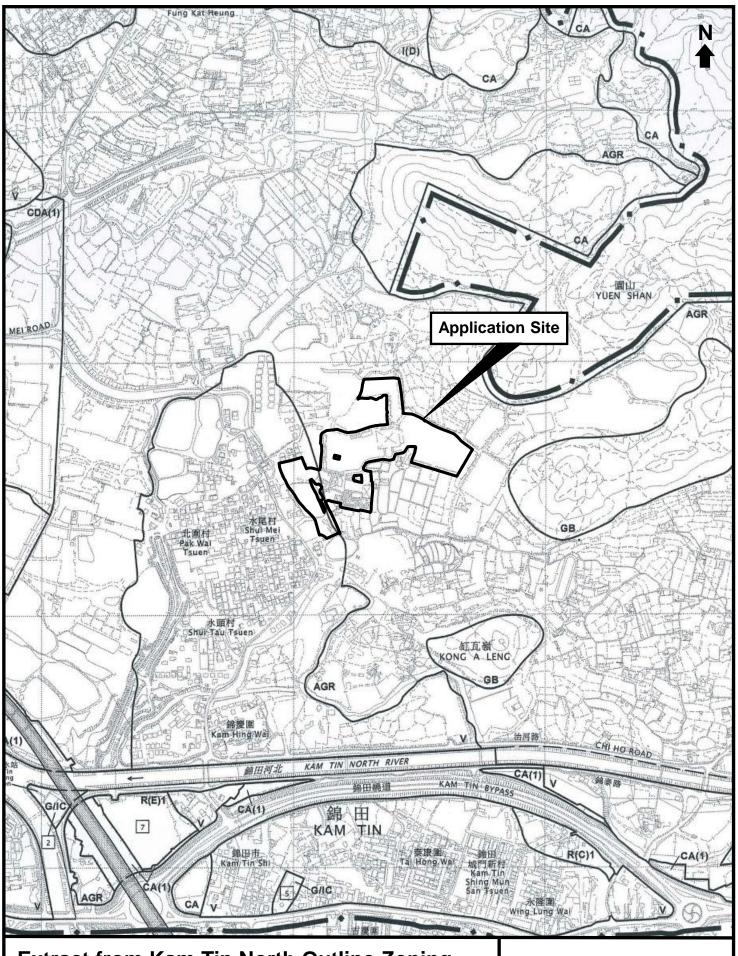
Scale 1: 20 000

Date: 30.5.2025









Extract from Kam Tin North Outline Zoning Plan No. S/YL-KTN/11 gazetted on 15.12.2023

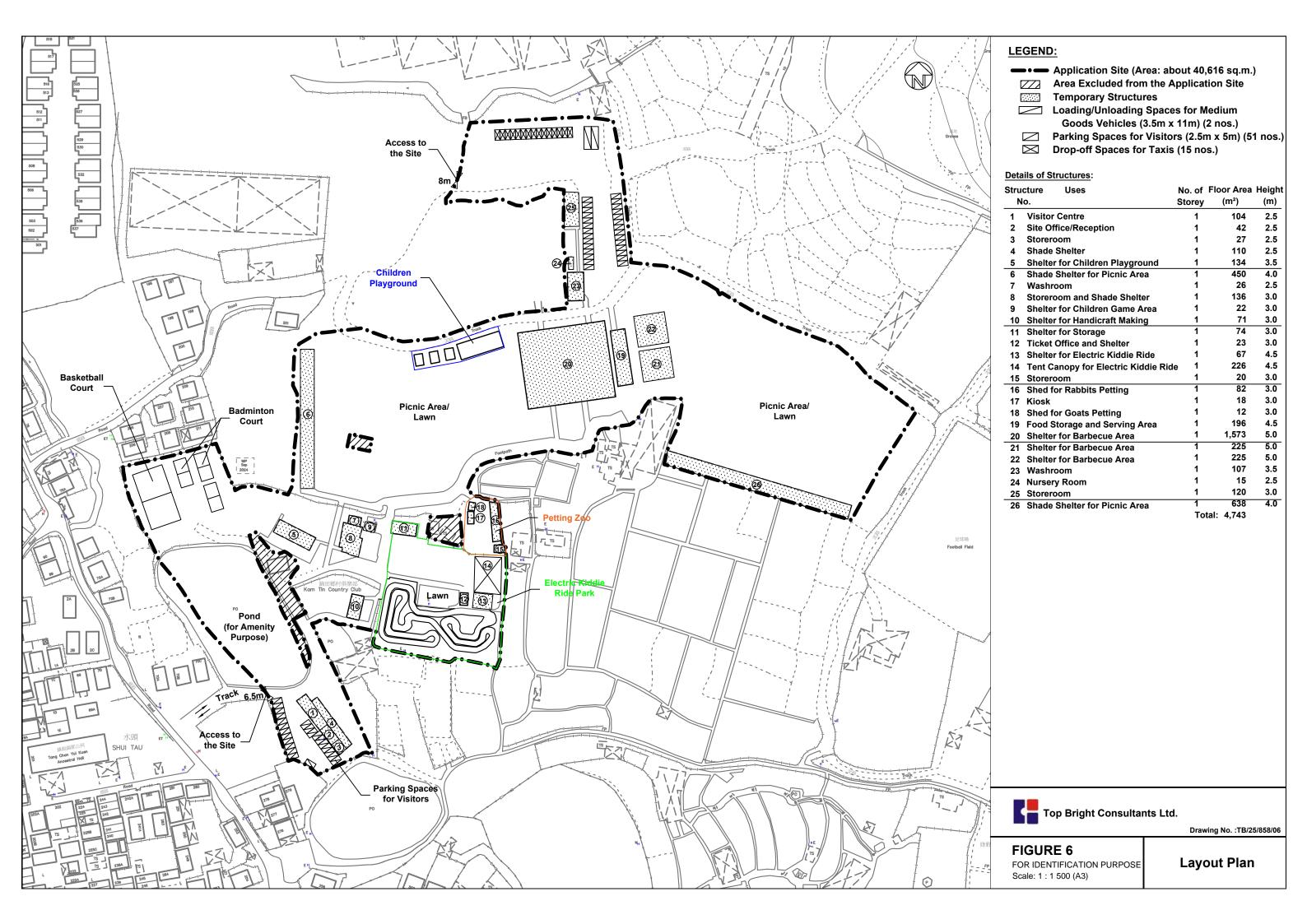
Top Bright Consultants Ltd.

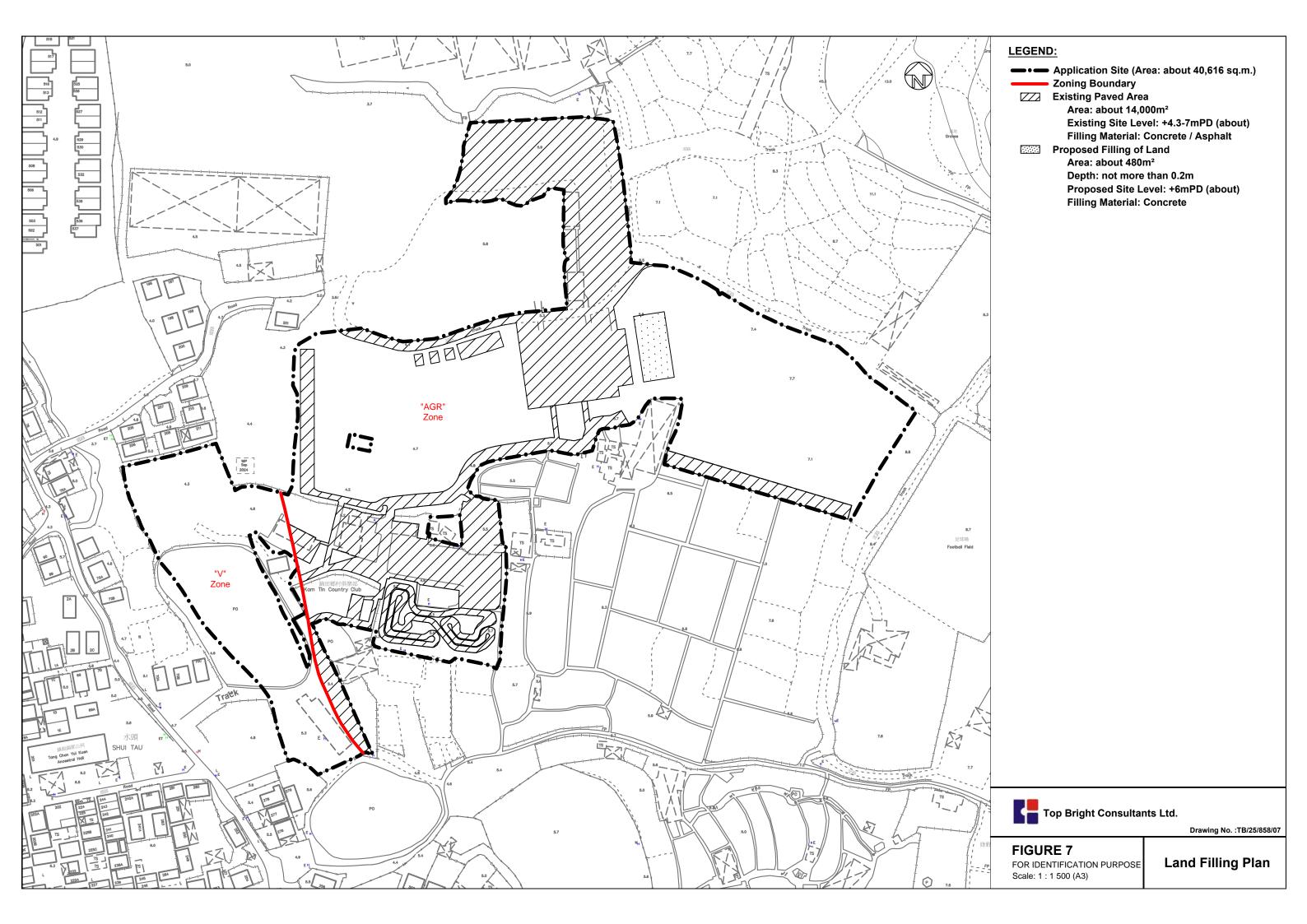
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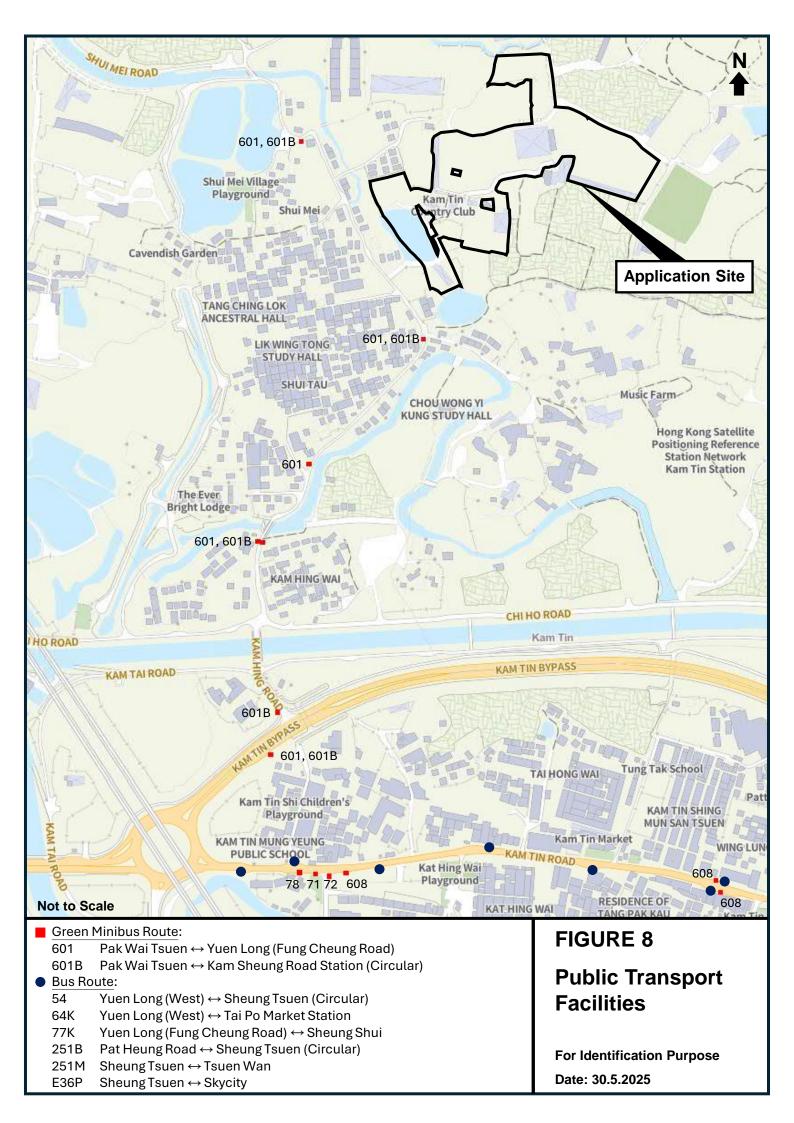
FIGURE 5

For Identification Purpose

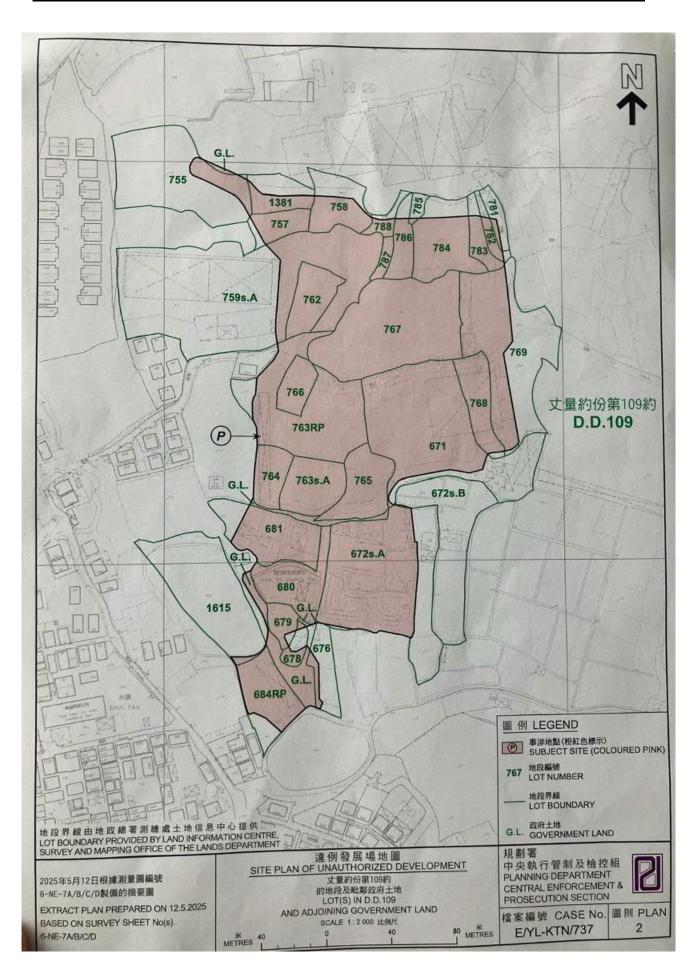
Date: 30.5.2025







Plan 2 of Enforcement Notice Case No. CEP/E/YL-KTN/737, Planning Department



Appendix Ia of RNTPC Paper No. A/YL-KTN/1151A

寄件者: lo mingkong

寄件日期: 2025年09月03日星期三 16:03

收件者: tpbpd/PLAND

副本: Jet Sze Jet CHEUNG/PLAND; Andrea Wing Yin YAN/PLAND; Leung

Raymond

主旨: (A/YL-KTN/1151) - Response to Departmental Comments

附件: TPB_L02 RtoC.pdf; Appendix 1.pdf; Appendix2.pdf; Appendix3.pdf;

Appendix4.pdf; 20250903 Consolidated_RTC.pdf

類別: Internet Email

Dear Sir/Madam,

In response to the comments suggested by the Transport Department dated 30.7.2025, the Environmental Protection Department dated 18.8.2025, the Agriculture, Fisheries and Conservation Department dated 25.8.2025, and the Lands Department dated 25.8.2025, we would like to submit herewith our responses for your consideration. (Please refer to the Consolidated RtoC table and Appendix 1-4)

Should you have any queries or require further information, please feel free to contact the undersigned

Best Regards,

Lo Ming Kong
Top Bright Consultants Ltd.



才鴻顧問有限公司 TOP BRIGHT CONSULTANTS LIMITED

Our Ref.: 25/858/L02

Your Ref.: A/YL-KTN/1151

September 3, 2025

Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email

Dear Sir/Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories

Dear Sir/Madam,

In response to the comments suggested by the Transport Department dated 30.7.2025, the Environmental Protection Department dated 18.8.2025, the Agriculture, Fisheries and Conservation Department dated 25.8.2025 and the Lands Department dated 25.8.2025, we would like to submit herewith our responses for your consideration.

Should you have any queries or require further information, please feel free to contact the undersigned at

Yours faithfully, For and on behalf of Top Bright Consultants Ltd.

Lo Ming Kong

Encl.

c.c. Kam Tin Country Club Ltd. (the Applicant)

Responses to Departmental Comments

(Application No.: A/YL-KTN/1151)

Dep	artmental Comments	Responses		
A.	Transport Department [Email dated 30.7.2025] (Contact Person: Mr. Louis HON Tel: 2399 2427)			
1.	Please provide the hourly estimated traffic trips.	Please refer to Appendix 1 for the hourly estimated traffic trips.		
В.	Environmental Protection Department [Email dated 18.8.2025] (Contact Person: Mr. Kelvin WONG Tel: 2835 1117)			
1.	Please advise whether the basketball courts proposed at the Site will be enclosed; and	The basketball courts will be partially fenced off with ball containment nets or backyard basketball court netting (see Appendix 2). To minimize disturbance to nearby residents, the opening hours of the basketball courts will be restricted to 9:00 a.m 11:00 a.m. and 4:00 p.m 6:00 p.m.		
2.	Please clarify whether there will be mitigation measures (e.g., animals will stay within enclosed structures equipped with soundproofing materials) that will be adopted to control potential environmental impacts (e.g. odour, noise, waste) from animals to be accommodated at the Site.	The animals will be kept in shed structures that do not have soundproofing materials. Since only 8-10 rabbits and 2-3 goats will be kept in the shed, their accommodation will be cleaned hourly by on-site staff during operating hours. No complaints were received from surrounding villagers/residents in the past. Therefore, the environmental impacts (odour, noise and waste) will be negligible.		

Dated 3.9.2025 Page 1 of 3 Top Bright Consultants Ltd.

Dep	artmental Comments	Responses		
C.	Agriculture, Fisheries and Conservation Department [Email dated 25.	8.2025]		
	(Contact Person: Ms. WONG Cheuk-ling Tel: 2150 6933)			
1.	It is noted that a pond intended for amenity purpose is located within the subject site, and another pond is identified next to the subject site as well. Based on the recent aerial photo, both ponds are considered to have potential for aquaculture use. In light of this, the applicant is advised to implement appropriate measures to prevent deterioration of water quality of both ponds during the construction and operation of subject site.	Noted. The following measures will be adopted to prevent the deterioration of water quality: (a) No recreational activities will be organised in these ponds. (b) Visitors will not be allowed to access the pond area. (c) No foul water or sewerage will be discharged into the ponds. (d) No chemicals, pesticides and fertilizers are allowed to be used at the site. (e) Notice will be posted at the site to prevent littering. Any solid waste will be put into covered rubbish bins.		
D.	District Lands Officer, Lands Department [Email dated 25.8.2025] (Contact Person: Ms. S.L. CHENG at 2443 1072)			
	I must point out that the following regularities covered by the subject planning application have been detected by this office:			
1.	Unauthorised structure(s) within the said private lot(s) covered by the planning application			
	LandsD has reservation on the planning application since there are unauthorized structure(s) and uses on Lot No. 655 in D.D. 109 which is already subject to lease enforcement actions according to case priority. The lot owner(s) should rectify/apply for regularization on the lease breaches as demanded by LandsD.	Only part of Lot 655 in DD109 (this lot) falls within the Application Site, and no structures are proposed within the application boundary of this lot. The unauthorized structure(s), as mentioned, belong to another use under Planning Application (No. A/YL-KTN/879) within the same lot (see Appendix 3 and 3A), which is not related to this planning application.		

(Application No.: A/YL-KTN/1151)

Dated 3.9.2025 Page 2 of 3 Top Bright Consultants Ltd.

Responses

2. <u>Unlawful occupation of Government land adjoining the said private lots with unauthorised structure(s) covered by the planning application</u>

Departmental Comments

The Government land within the application site (about 875 m² as mentioned in the application form) has been unlawfully occupied with unauthorised structures) without any permission. Any occupation of GL without Government's prior approval is an offence under Cap. 28. LandsD objects to the planning application since there is unlawful occupation of Government Land (GL) and regularization would not be considered according to the prevailing land policy. The lot owner(s) should immediately cease the unlawful occupation of GL and remove the unauthorised structure(s) as demanded by LandsD. This office reserves the rights to take necessary land control action against the unlawful occupation of Government land without further notice.

The total area of the Application Site is 40,616 square metres, and the Government land accounts for only 2.15% of the total site area. According to the Applicant, some canopies (rooftop structures on private lots) may be encroaching onto the Government land, and this will be rectified upon further clarification with LandsD (see **Appendix 4**).

(Application No.: A/YL-KTN/1151)

If the planning application is approved, the STW holder(s) will need to apply to this office for modification of the STW conditions where appropriate and the lot owner(s) shall apply to this office for a Short Term Waiver (STW) and Short Term Tenancy (STT) to permit the structure(s) erected within the said private lots and the occupation of the Government land. The applications for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee, rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.

Noted. Should this application be approved, the Applicant will apply for STW and STT for regularization of the temporary structures erected and the use of Government land.

Dated 3.9.2025 Page 3 of 3 Top Bright Consultants Ltd.

The estimated hourly trip generation of the proposed development is as follows:

Weekdays (Mondays to Fridays) (Operation Hours: 10:00-18:00)

Time		of Trips No. of Trips sitors) (Staff)		•	No. of Trips (Loading/Unloading)
	(In)	(Out)	(In)	(Out)	
09:00-10:00	0	0	3	0	0
10:00-11:00	4	0	0	0	0
11:00-12:00	1	0	0	0	1
12:00-13:00	0	2	0	0	0
13:00-14:00	1	3	0	0	0
14:00-15:00	4	1	0	0	1
15:00-16:00	3	7	0	0	0
16:00-17:00	0	0	0	0	0
17:00-18:00	0	0	0	3	0
Total:	13	13	3	3	2

Weekends and Public Holidays (Saturdays, Sundays, and Public Holidays) (Operation Hours: 10:00-22:00)

Time	No. of Trips (Visitors)		No. of Trips (Staff)		No. of Trips (Loading/Unloading)
	(In)	(Out)	(In)	(Out)	
09:00-10:00	0	0	3	0	0
10:00-11:00	5	0	0	0	0
11:00-12:00	5	0	0	0	1
12:00-13:00	7	0	0	0	0
13:00-14:00	3	4	0	0	0
14:00-15:00	3	4	2	2	0
15:00-16:00	3	2	0	0	0
16:00-17:00	2	2	0	0	0
17:00-18:00	2	7	0	0	0
18:00-19:00	0	4	0	0	0
19:00- 20:00	0	3	0	0	0
20:00-21:00	0	2	0	0	0
21:00-22:00	0	2	0	3	0
Total:	30	30	5	5	1

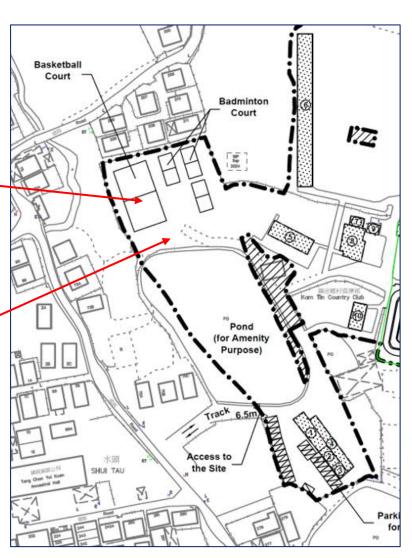
Appendix 2

Location of the proposed basketball courts:

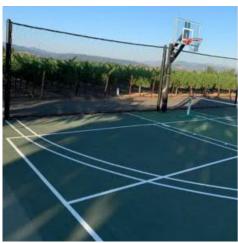




Photos taken by the Applicant on 2.9.2025

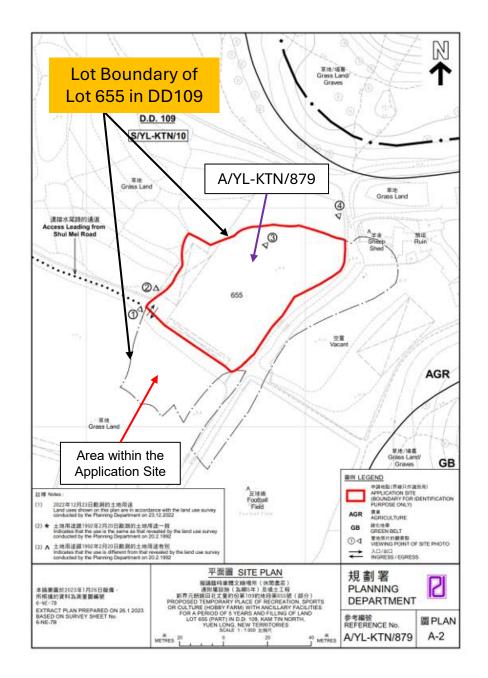


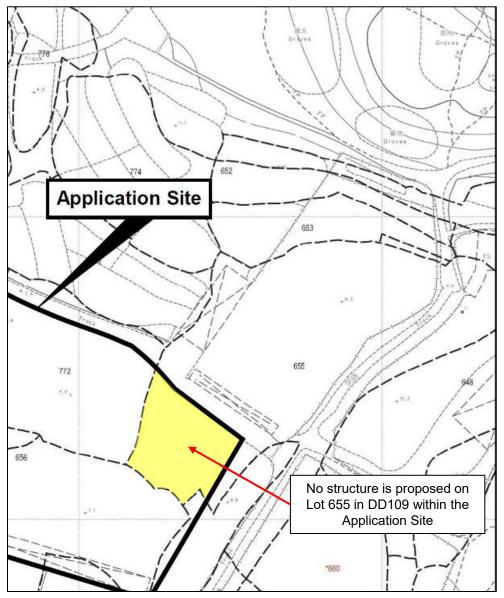
Possible Safety Measures to be installed:



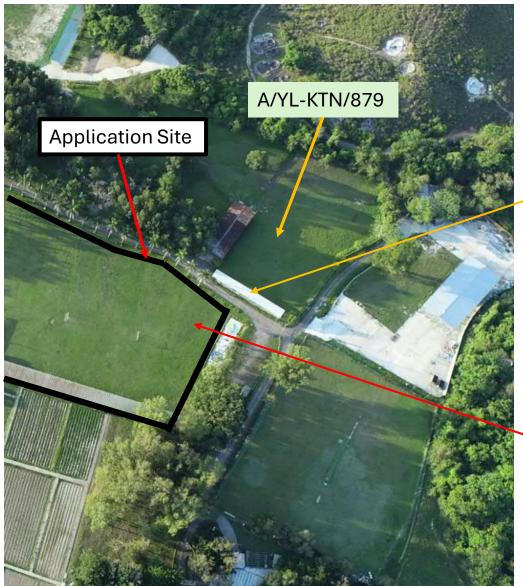


Appendix 3





Appendix 3A



Photos taken by the Applicant on 2.9.2025



Structures at Lot 655 in DD 109 to the north of the Application Site



No structure proposed on Lot 655 in DD109 within the Application Site

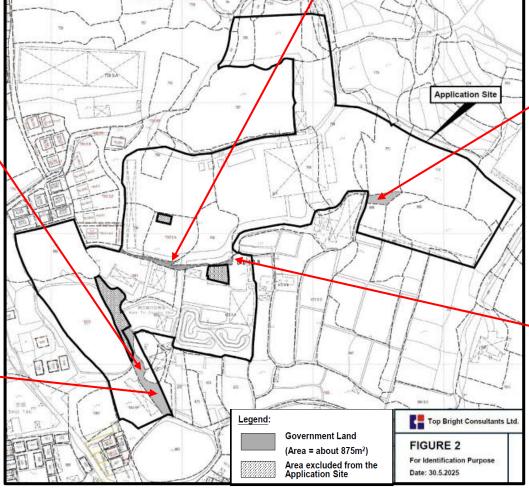
Appendix 4













Appendix Ib of RNTPC Paper No. A/YL-KTN/1151A

寄件者: lo mingkong

寄件日期: 2025年09月08日星期一 17:57

收件者: tpbpd/PLAND

副本: Andrea Wing Yin YAN/PLAND; '

主旨: (A/YL-KTN/1151) Further Information

附件: TPB_L03 FSIs Proposal.pdf; KTN_1151-FSIs Proposal.REV A.pdf

類別: Internet Email

Dear Sir/Madam,

Referring to the captioned application, we submit the Fire Service Installations (FSIs) Proposal for your reference.

Should you have any queries or require further information, please feel free to contact the undersigned at

Best Regards,

Lo Ming Kong

Top Bright Consultants Ltd.



才鴻顧問有限公司 TOP BRIGHT CONSULTANTS LIMITED

Your Ref.: A/YL-KTN/1151

Our Ref.: 25/858/L03

September 8, 2025

Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email

Dear Sir/Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories

Dear Sir/Madam,

Referring to the captioned application, we submit the Fire Service Installations Proposal (FSIs Proposal) for your reference.

Should you have any queries or require further information, please feel free to contact the undersigned at

Yours faithfully,

For and on behalf of Top Bright Consultants Ltd.

Lo Ming Kong

Encl.

c.c. Kam Tin Country Club Ltd. (the Applicant)

FIRE SERVICES NOTES:

- 1. <u>EMERGENCY LIGHTING</u>
- 1.1 SUFFICIENT EMERGENCY LIGHTING WITH 2 HOURS BATTERY BACKUP SHALL BE PROVIDED THROUGHOUT THE ENTIRE
 BUILDINGS/STRUCTURES IN ACCORDANCE WITH BS 5266:—1:2016 AND BS EN 1838:2013 AND THE FSD CIRCULAR LETTER NO. 4/2021.
- 2. <u>EXIT SIGN</u>
- 2.1 SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS 5266:-1:2016 AND FSD CIRCULAR LETTER 5/2008.
- 3. MISCELLANEOUS F.S. INSTALLATION
- 3.1 PORTABLE FIRE EXTINGUISHERS WITH SPECIFIED TYPE AND CAPACITY TO BE PROVIDED AT LOCATION AS INDICATED ON PLAN.
- 3.2 <u>NO</u> EMERGENCY GENERATOR TO BE PROVIDED FOR SERVING THE EMERGENCY POWER. DUPLICATED POWER SUPPLIES FOR ALL FIRE SERVICES INSTALLATIONS COMPRISING A CABLE CONNECTED FROM ELECTRICITY MAINS DIRECTLY BEFORE THE MAIN SWITCH.
- 3.2 WHEN A VENTILATION / AIR CONDITIONING CONTROL SYSTEM TO A BUILDING IS PROVIDED, IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN A DESIGNATED FIRE COMPARTMENT.
- 3.3 <u>NO</u> DYNAMIC SMOKE EXTRACTION SYSTEM SHALL BE PROVIDED SINCE FIRE COMPARTMENT EXCEEDING 7000 CUBIC METRES AND THE AGGREGATE AREA OF OPENABLE WINDOWS OF THE RESPECTIVE COMPARTMENT EXCEEDS 6.25% OF THE FLOOR AREA OF THAT COMPARTMENT.

LEGEND (FOR LAYOUT PLAN)

F.E_{Co2}

5Kg CO2 TYPE FIRE EXTINGUISHER

4Kg DRY POWDER TYPE FIRE EXTINGUISHER

S.B. SAND BUCKET

EMERGENCY LIGHTING

EXIT SIGN

ABBREVIATION

SPR. SPRINKLER
H.R. HOSE REEL
F.E. FIRE EXTINGUISHER
CO₂ CARBON DIOXIDE
L.P.C. LOSS PREVENTION COUNCIL
F.S.I. FIRE SERVICES INSTALLATION
H/L HIGH LEVEL

M/L MID LEVEL

L/L LOW LEVEL

F/B FROM BELOW

F/A FROM ABOVE

T/A TO ABOVE

T/B TO BELOW

U/G UNDERGROUND

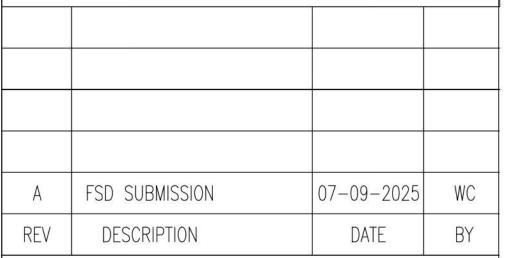
F.S. FIRE SERVICES

DRAWING LIST

DRAWING NO DESCRIPTION

EP-20349-FS01 FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

EP-20349-FS02 PROPOSED FSI LAYOUT PLAN



FSI CONTRACTOR

East Power Engineering Limited



PROJECT

VARIOUS LOTS IN D.D.109 AND ADJOINING GOVERNMENT LAND, SHUI MEI TSUEN, KAM TIN NORTH, YUEN LONG, NEW TERRITORIES

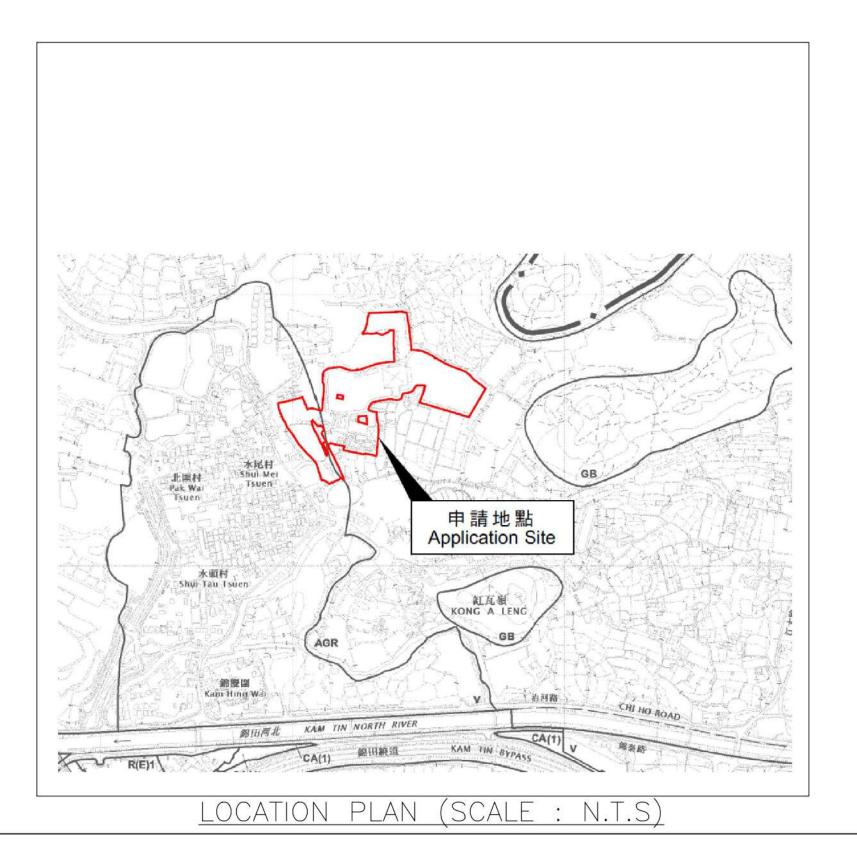


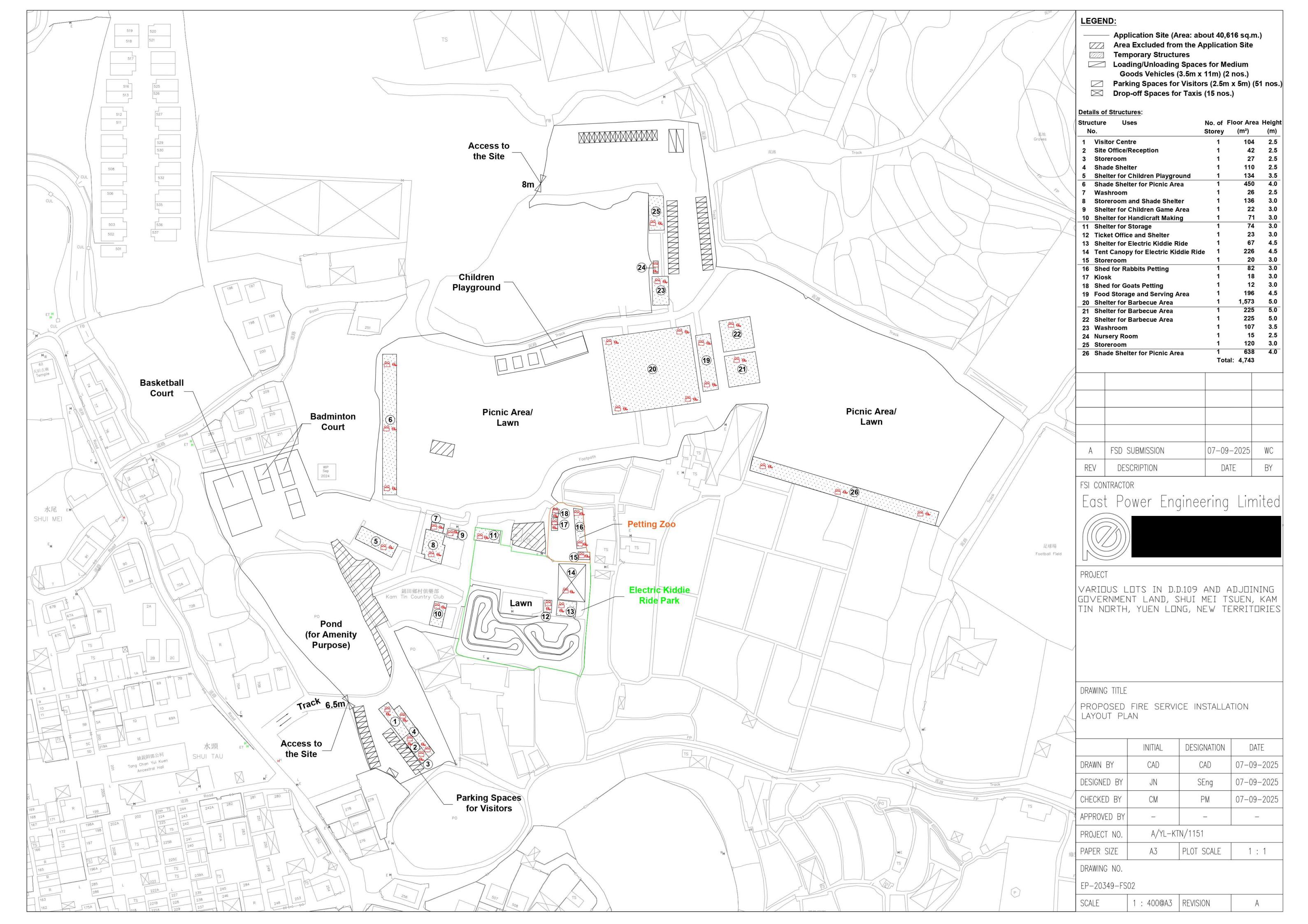
SCALE

FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

		ý	
	INITIAL	DESIGNATION	DATE
DRAWN BY	CAD	CAD	07-09-2025
DESIGNED BY	JN	SEng	07-09-2025
CHECKED BY	CM	PM	07-09-2025
APPROVED BY	_	-	_
PROJECT NO.	A/YL-KTN/1151		
PAPER SIZE	А3	PLOT SCALE	1:1
DRAWING NO.			
EP-20349-FS	01		

N. T. S. REVISION





寄件者: 寄件日期: 收件者: 副本: 主旨: 附件:	lo mingkong 2025年10月23日星期四 18:34 tpbpd/PLAND Andrea Wing Yin YAN/PLAND; (A/YL-KTN/1151) Further Information TPB_L05 Drainage Proposal and FSIs Proposal.pdf; Appendix A-DIA_250911.pdf; Appendix B-FSIs Proposal.REV A.pdf				
類別:	Internet Email				
Dear Sir/Madam, In response to the comments suggested by the Drainage Services Department dated 4.9.2025 and the Fire Services Department dated 30.9.2025, we would like to submit herewith a Drainage Impact Assessment (DIA) Report (see Appendix A) and a revised FSI proposal (see Appendix B) for your consideration.					
Should you have any queries or require further information, please feel free to contact the					
undersigned at Best Regards,					
Lo Ming Kong	o Ming Kong				
o Milig Rong op Bright Consultants Ltd.					
. op =::gin oonoonante Etai					



オ鴻顧問有限公司 TOP BRIGHT CONSULTANTS LIMITED

Your Ref.: A/YL-KTN/1151

Our Ref.: 25/858/L05

October 23, 2025

Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email

Dear Sir/Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories

In response to the comments suggested by the Drainage Services Department dated 4.9.2025 and the Fire Services Department dated 30.9.2025, we would like to submit herewith a Drainage Impact Assessment (DIA) Report (see Appendix A) and a revised FSI proposal (see Appendix B) for your consideration.

(Application No.: A/YL-KTN/1151)

Should you have any queries or require further information, please feel free to contact the undersigned at ______.

Yours faithfully, For and on behalf of Top Bright Consultants Ltd.

Lo Ming Kong

Encl.

c.c. Kam Tin Country Club Ltd. (the Applicant)

S16 Planning Application for

(Planning Application no.: A/YL-KTN/1151)

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories

(HT25129)

Drainage Impact Assessment (DIA) Report

September 2025

Prepared & Approved by:	K. C. LEE
	MICE, MHKIE

何田顧問工程師有限公司 HO TIN & ASSOCIATES CONSULTING ENGINEERS LIMITED

September 2025

CONTENT

- 1. Introduction
- 2. General Site Description and the Proposed Development
- 3. Existing Drainage System of the Area
- 4. Potential Drainage Impact
- 5. Proposed Drainage Works
- 6. Hydraulic Calculation
- 7. Conclusion

FIGURE (Referenced from the same figures enclosed in the Supplementary Planning

Statement of this Application)

Figure 1	Location Plan
Figure 2	Site Plan
Figure 3	'Not used'
Figure 4	'Not used'
Figure 5	'Not used'
Figure 6	Layout Plan
Figure 7	Land Filling Plan

PLAN

Plan 1 Existing Drainage Flow Paths (with Locations of Photo taken

in September 2025)

Plan 2 Proposed Stormwater Drainage Layout (with Sub-Catchment

Areas shown)

Plan 3 Outfall Details

APPENDIX Assessment of Hydraulic Capacities of the Proposed Drainage System

1. Introduction

- 1.1 Ho Tin & Associates Consulting Engineers Limited (HTA) was appointed by the client to prepare a Drainage Impact Assessment (DIA) in support of a S16 Planning Application for a Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones (the 'proposed development').
- 1.2 This report presents the DIA for the proposed development at the Application Site.
- 1.3 The objectives of this DIA are to:
 - indicate any changes/increase in drainage characteristics due to the proposed development;
 - assess any potential drainage impacts of the existing/planned drainage facilities nearby due to the proposed development; and
 - propose mitigation measures and drainage improvement work, if necessary, to minimize any adverse drainage impact.
- 1.4 The scope of this DIA includes:-
 - site description and existing land use;
 - identification of changes in stormwater flow pattern caused by the proposed development;
 - assessment of impact on the existing drainage facilities due to the proposed development; and
 - proposal of new drainage facilities for the proposed development if found necessary.

2. General Site Description and the Proposed Development

2.1 The Application Site comprises of Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen, Kam Tin North, Yuen Long, New Territories. It is located to the east of Shui Mei Village.

- 2.2 The Application Site falls within "Agriculture" ("AGR") and "Village Type Development" ("V") zones on the Approved Kam Tin North Outline Zoning Plan (OZP) No. S/YL-KTN/11. Its area is about 40,616m² including about 875 m² of government land. A Site Location Plan and Site Plan is shown in **Figure 1** and **2** respectively.
- 2.3 The Application Site is currently used for the applied use. The western part of the Application Site is the subject of 6 approved applications (Nos. A/YL-KTN/273, 329, 383, 495, 658 and 830). The last application (No. A/YL-KTN/830) was approved by the Board on 10.6.2022 for a temporary place of recreation (including barbecue spot, picnic area, children playground and handicraft making area) with ancillary facilities for a period of 3 years until 10.6.2025. All approval conditions of the last approved application had been complied with.
- 2.4 The western part of Application Site is largely the same as the previously approved planning applications and mainly comprises the visitor centre, site office/reception, sports ground, children playground and parking areas.
- 2.5 The eastern part is the expansion area of Kam Tin Country Club which comprises of barbecue spot, picnic area, electric kiddie ride park, handicraft making area, petting zoo and parking areas. A total of 26 temporary structures, with a floor area of 4,746m², will be erected within the Application Site. A total of 51 private car parking spaces for visitors are provided within the Application Site. A total of 15 taxi drop-off spaces and 2 loading and unloading spaces for medium goods vehicles will also be provided at the northern parking area to meet the operation needs of the proposed development.
- 2.6 Site photos taken in September 2025 are shown below for information and the locations of the photo taken are shown on **Plan 1** of this DIA for easy reference:



Photo No. 1 – Existing paved area near the parking spaces for visitors (1)



Photo No. 2 - Existing paved area near the parking spaces for visitors (2)



Photo No. 3 – View toward the Shelter for Children Playground



Photo No. 4 – View toward the Petting Zoo



Photo No. 5 – View toward the Electric Kiddie Ride Park



Photo No. 6 – View toward the southeast at the southern corner of the Application Site



Photo No. 7 - View toward the southeast outside the southern corner of the Application Site showing the existing 450mm channel in the vicinity



Photo No. 8 – Existing channel conveying surface water from the farmland to the south of the Application Site to the existing 450mm channel in the vicinity (1)



Photo No. 9 – View eastward at the existing footpath to the south of the Application Site showing the existing 450mm channel collecting surface flows of the area



Photo No. 10 - Existing channel conveying surface flows from the farmland to the south of the Application Site to the existing 450mm channel in the vicinity (2)



Photo No. 11 - Existing channel conveying surface flows from the farmland to the south of the Application Site to the existing 450mm channel in the vicinity (3)



Photo No. 12 – Photo showing existence of local drainage/channels receiving surface flows of the area to the south of the Application Site



Photo No. 13 – Existing channel conveying surface flows to the existing streamcourse near Bin Mo Kiu



Photo No. 14 – Existing outfall at the existing streamcourse near Bin Mo Kiu



Photo No. 15 – View toward the north at the existing track to the east of the Application Site showing the existing channel collecting surface flows of the area



Photo No. 16 - View toward the south at the existing track to the east of the Application Site showing the existing channel collecting surface flows of the area



Photo No. 17 - View inside the Application Site from the eastern corner of the Application Site



Photo No. 18 - View of the area at the immediate northeast side of the Application Site



Photo No. 19 – View toward the Picnic Area/Lawn (1)



Photo No. 20 - View toward the Picnic Area/Lawn (2)



Photo No. 21 – View of the existing local channel to the northwest of the Application Site



Photo No. 22 - View of the existing local channel to the further northwest of the Application Site



Photo No. 23 – View of the existing channel/drainage collecting and conveying surface flows of the area to the northwest of the Application Site



Photo No. 24 – Location of the proposed discharge point of the proposed development



Photo No. 25 – View of the existing streamcourse near the western corner of the Application Site and to which the stormwater flow from the proposed development is proposed to be discharged into (1)



Photo No. 26 - View of the existing streamcourse near the western corner of the Application Site and to which the stormwater flow from the proposed development is proposed to be discharged into (2)

2.7 The Proposed Development Layout Plan is shown in **Figure 4**. The Applicant seeks planning permission for using the Application Site for temporary place of recreation, sports or culture with ancillary facilities and associated filling of land for a period of 3 years.

3. Existing Drainage System of the Area

- 3.1 The Application Site is generally located between two streams at the upstreams of Kam Tin Channel. One stream runs to the northwest to join Kam Tin Channel at Tam Mi and the other stream runs to the southwest to join Kam Tin Channel at Kam Tin. Besides, at present, there are lots of local drainage/channels conveying surface water from the subject area into the two streams. The significant local drainage/channels are shown in the site photos in the above Section 2 with the locations of photo taken shown on **Plan 1**.
- 3.2 The existing local drainage/channels outside the Application Site would not be disturbed and the catchment boundaries and the flow patterns of the concerned area would be generally maintained.
- 3.3 With respect to the existing topography, surface runoff of the subject area would principally flow westward into the existing local drainage/channels from which into the nearby streamcourses. With respect to the presence of the existing local drainage/channels within the subject area as shown on **Plan 1**, only surface runoff from the catchment area A1 and A2 (refer to **Plan 2**) outside the boundary of the Application Site would flow into the Application Site.

4. Potential Drainage Impact

- 4.1 It is confirmed in the Supplementary Planning Statement of this planning application that the Application Site is currently used for the applied use. Therefore, no change of use in principle under the proposed development. Besides, there would be no change in drainage patterns of the subject area except the surface water flows within the Application Site would be properly managed by means of properly designed engineering channels between discharged to the adjacent streamcourse. It is considered to be an enhancement of the local drainage conditions.
- 4.2 However, in accordance with the proposed development, it is proposed to maintain the existing paved area of about 14,000m² and fill land for an additional portion (about 480m²)

with concrete in a depth of not more than 0.2m up to a level of about +6mPD as shown in **Figure 7**. Runoff coefficient of the additional paved area will then be changed from 0.25 (for flat grassland (heavy soil) condition) to 0.95 (for concrete). The increase in surface runoff generated from the proposed development would then be:

 $[(0.95 - 0.25) \times 480]/\{(0.95 \times 14,000) + [0.25 \times (40,616 - 14,000)]\} \times 100\% = 1.68\%$

4.3 Since the increase in surface runoff generated from the proposed development would be 1.68% only, it is considered to be acceptable from drainage engineering point of view and would not cause any unacceptable adverse drainage effects upon the Application Site and its surroundings.

5. Proposed Drainage Works

- 5.1 The proposed finished ground levels of the proposed development are generally the existing site levels except those as shown on **Figure 7**. No substantial ground levelling nor site formation works would be carried out. Ground surfaces of the Application Site would be generally flat.
- 5.2 Existing flow paths of the catchments in the concerned area would be maintained in general. Surface runoff from the Catchment A1 and A2 flowing onto the Application Site would be intercepted by peripheral channels at the Application Site boundary. Total surface runoff received from the Application Site would be conveyed to a discharge point at the existing streamcourse to the west.
- 5.3 In order to properly manage surface runoff of the Application Site, peripheral U-channels with catchpit at corner will be constructed along the Application Site boundary. The flows inside the channels will be discharged into a proposed terminal manhole TM with desilting trap located near the western corner of the Application Site near the existing streamcourse. The Proposed Stormwater Drainage Layout is shown in **Plan 2**. Proposed Outfall Details at the existing watercourse is shown in **Plan 3**.
- 5.4 The proposed development is committed to obtain consents from owners of adjacent relevant land/lots prior to commencement of the proposed drainage works outside the subject site and to maintain the completed drainage works to the satisfaction of relevant Government departments. Besides, the proposed development will clear the vegetation at the existing streamcourse to which the surface runoff of the proposed development would be discharged into.

5.5 Details of proposed drainage provisions shall follow relevant details shown in Government departments' Standard Drawings as follows:

Proposed Drainage	Standard	Drawing No. & Title
Provisions	Drawings	
Terminal manhole with trap	DSD Standard	DS 1091A - Terminal Manhole
	Drawings	Type T2_1
Catchpit	CEDD Standard	C 2405/1 to /5 – Standard
	Drawings	Catchpit Details
U-channel		C2409J – Details of Half-round
		and U-channels
Channel cover and grating		C2412E – Cover Slab and Cast
		Iron Grating for Channels

6. Hydraulic Calculation

- Assessment criteria is based on the recommendation set out in the Stormwater Drainage Manual (Fifth edition, Jan 2018) (SDM) and its Corrigendum No. 1/2022, 1/2024 and 2/2024 issued by DSD. Design Return Period of 50 years (recommended for 'Main Rural Catchment Drainage Channel' in SDM) is adopted.
- 6.2 The corresponding runoffs under rainfall intensity for various return period are worked out with reference to Rational Method. Brandy-Williams method is used in calculation of the time of concentration. A uniformly distributed rainfall with an intensity is determined by the Intensity-Duration-Frequency. With referenced to Table 3a Storm Constants for different return periods of HKO Headquarters from SDM, the rainfall profiles are derived based on the following equation:

$$\mathbf{i} = \frac{\mathbf{a}}{(t+b)^c}$$

where i = mean rainfall intensity (mm/hr)
t = duration time of concentration (min)
a, b and c = storm constants given in Table below

Table: Storm Constants

Return Period (years)	50
a	505.5
b	3.29
С	0.355

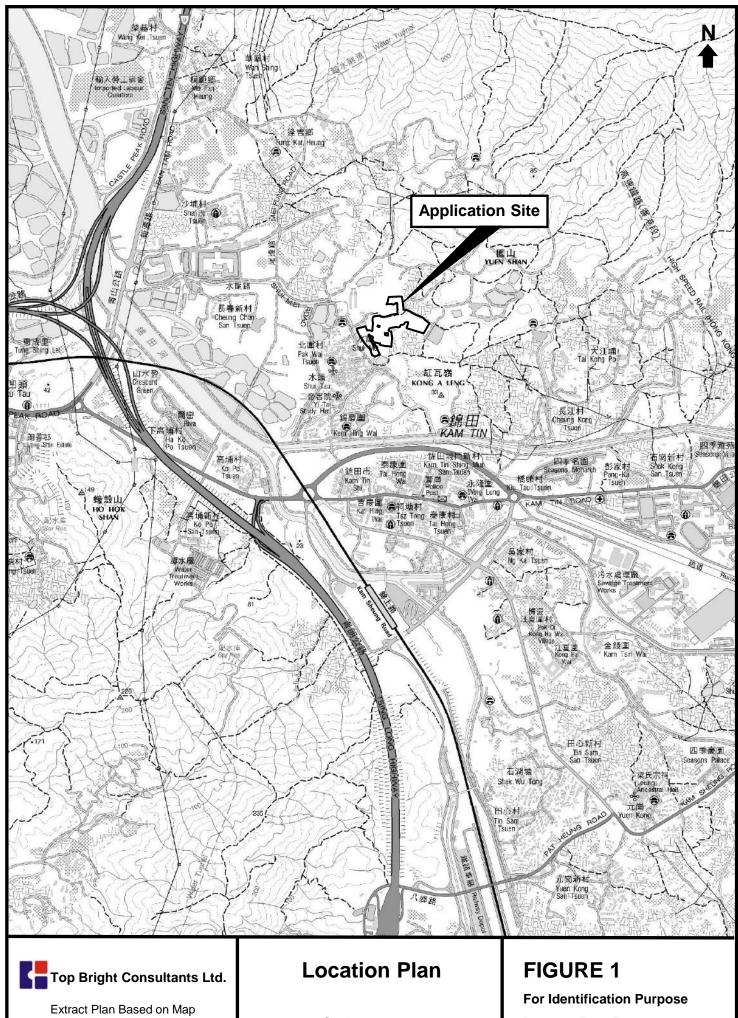
September 2025

A 16.0% rainfall increase is adopted in the hydraulic calculation to cater for effects due to climate change in accordance with the table 28 with projection to End of 21st Century as stipulated in the item (e) and (k) of the SDM - Corrigendum No. 1/2022. Besides, taking into consideration of design allowance in End of 21st Century, a further 12.1% rainfall increase is incorporated into the hydraulic assessment.

- 6.3 Hydraulic assessment is enclosed in the **Appendix**. 10% reduction in flow area has been incorporated to cater for potential deposition of sediment in stormwater channels and pipes as recommended in the SDM. The proposed channels and underground drainage are designed to cater for the estimated runoff under the designed rainstorms. With respect to the calculation, the proposed stormwater drainage system is capable to cater for the surface runoff without causing any adverse drainage impacts on the Application Site and its surroundings.
- 6.4 Since all drainage would have sufficient spare capacity, no water backup will occur at the upstream under rainstorms of 50-year (or lower) return periods.

7. Conclusion

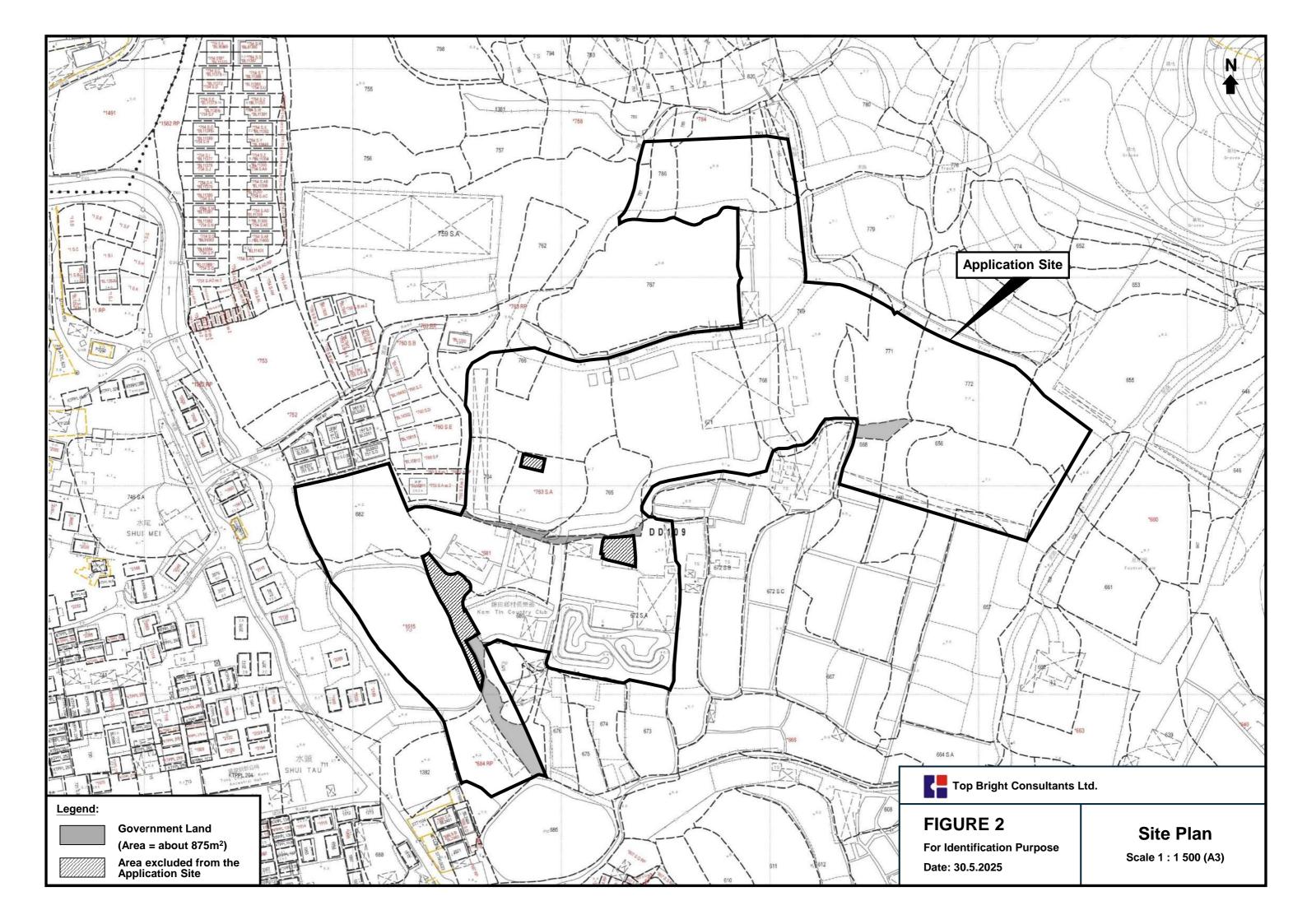
- 7.1 The Application Site is currently used for the applied use. There would be no change in drainage patterns of the subject area except the surface water flows within the Application Site would be properly managed by means of properly designed engineering channels which is considered to be an enhancement of the local drainage conditions.
- 7.2 Increase in paved area of the proposed development will only be about 480m² which will cause only about 1.68% increase in surface runoff from the proposed development. It is considered to be acceptable from drainage engineering point of view and would not cause any unacceptable adverse drainage effects upon the Application Site and its surroundings.
- 7.3 The proposed development is committed to obtain consents from owners of adjacent relevant land/lots prior to commencement of the proposed drainage works outside the subject site and to maintain the completed drainage works to the satisfaction of relevant Government departments. Besides, the proposed development will clear the vegetation at the existing streamcourse to which the surface runoff of the proposed development would be discharged into.
- 7.4 In conclusion, the subject proposed development would not cause any adverse drainage impact onto the area.

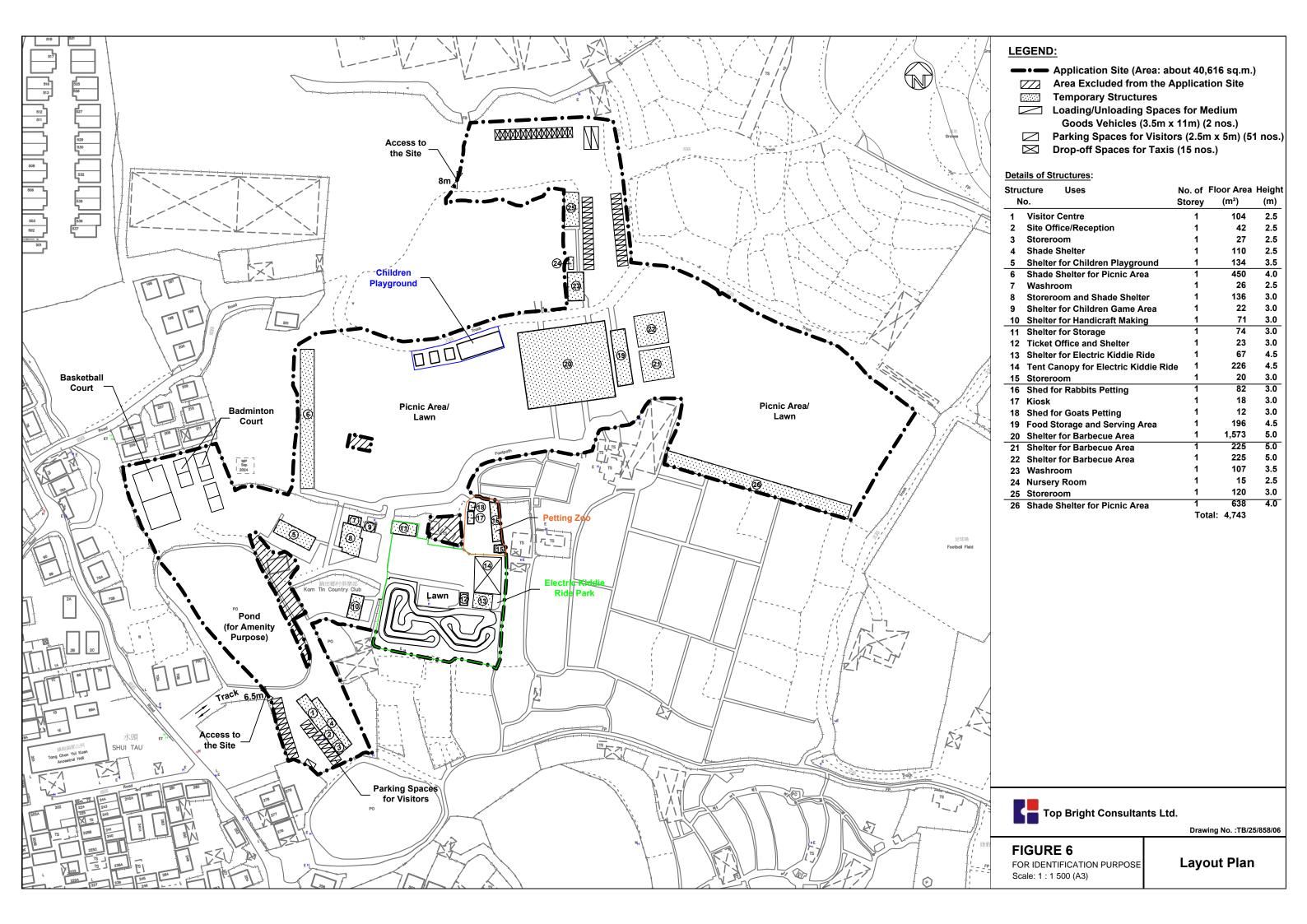


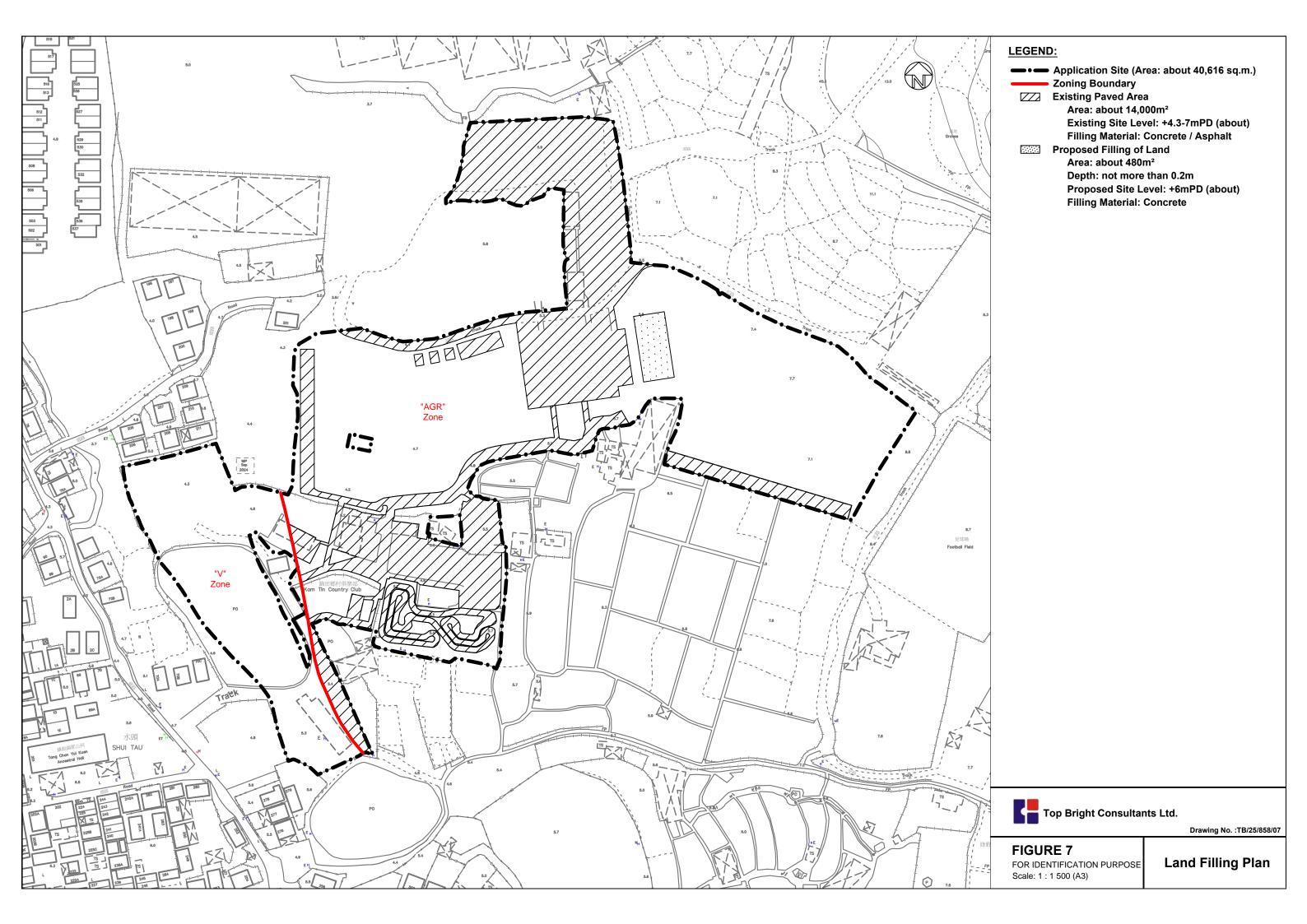
Series HM20C of Sheet 6

Scale 1: 20 000

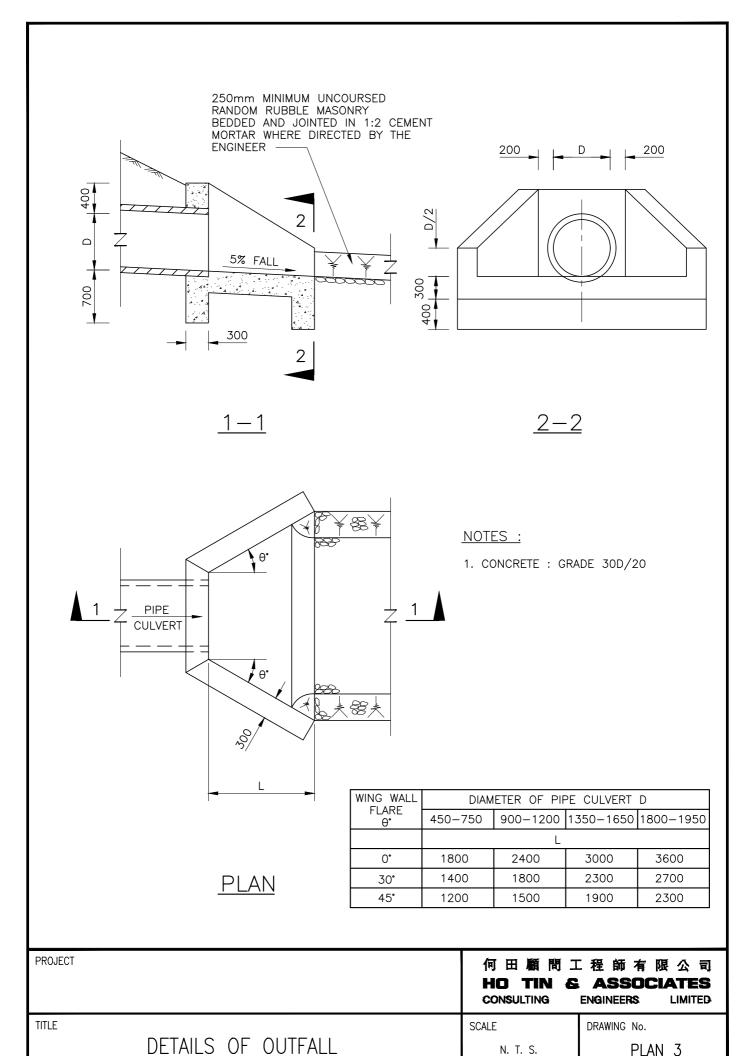
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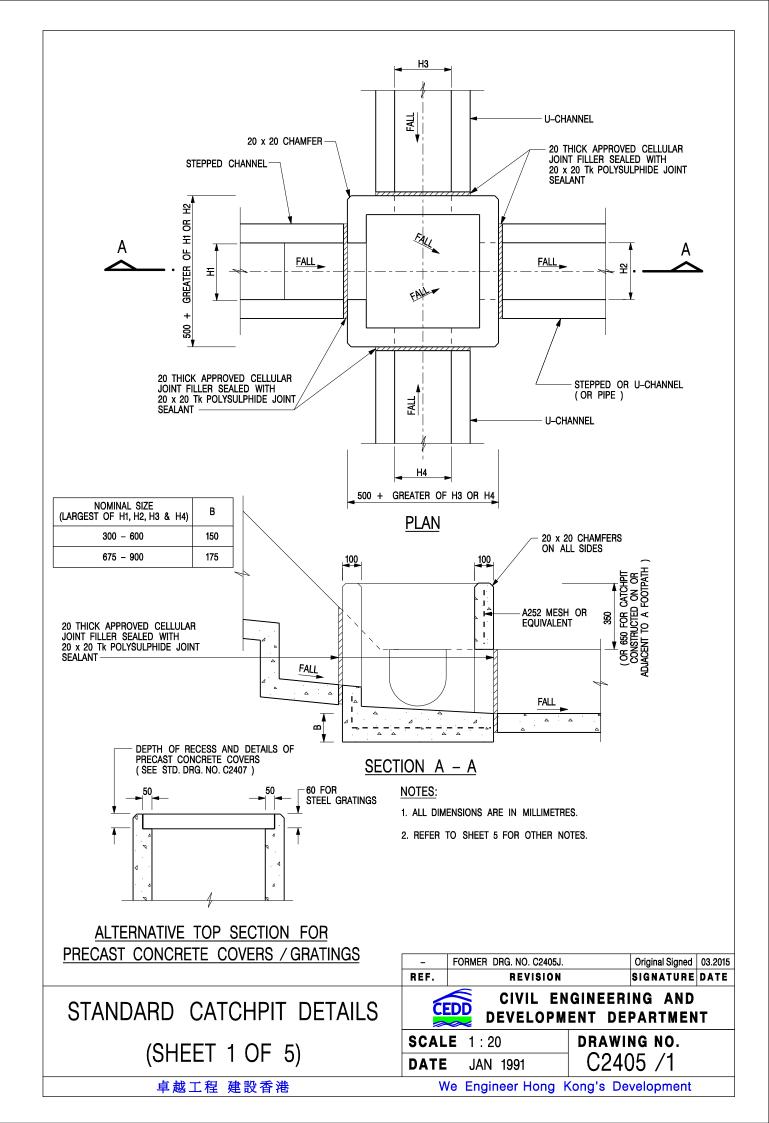


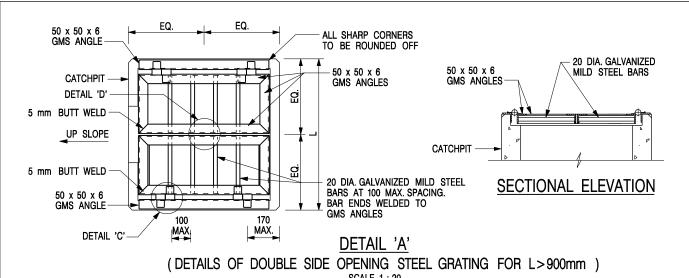




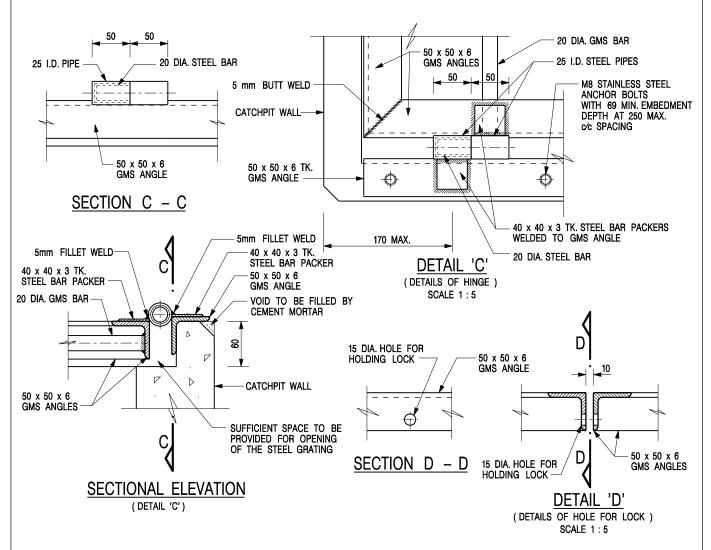
PLAN 3

N. T. S.





SCALE 1:20



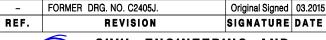
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.

2. REFER TO SHEET 5 FOR OTHER NOTES.

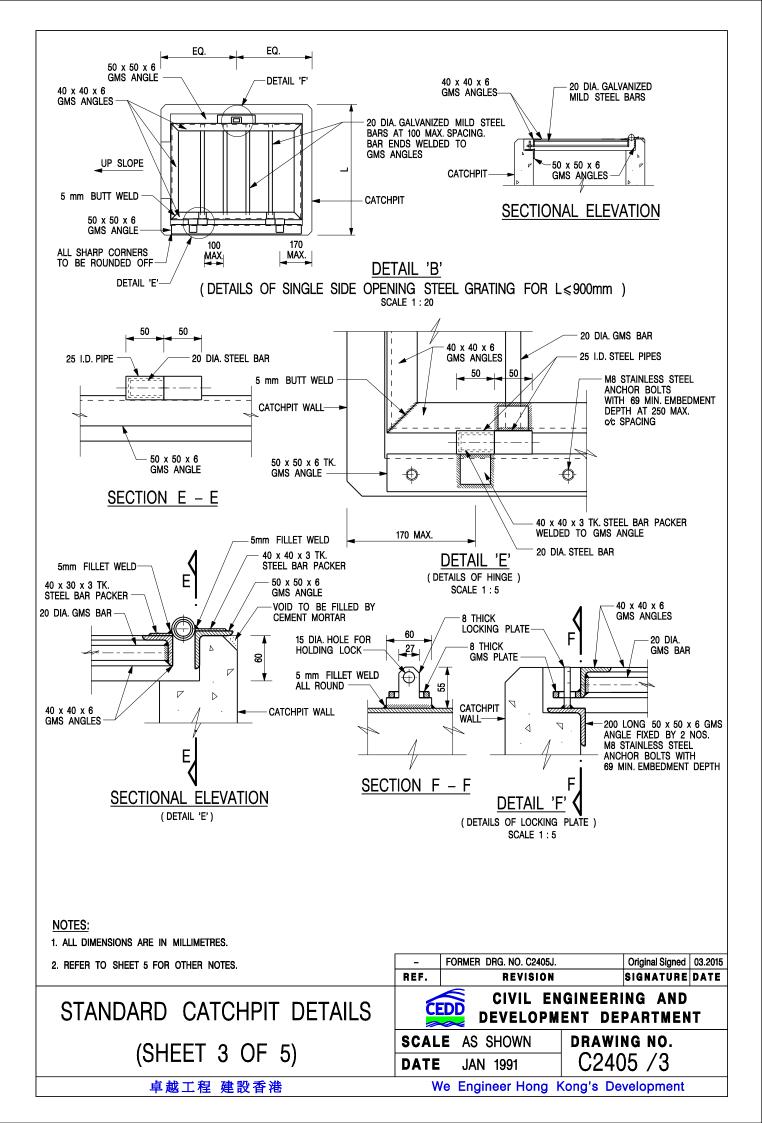
STANDARD CATCHPIT DETAILS (SHEET 2 OF 5)

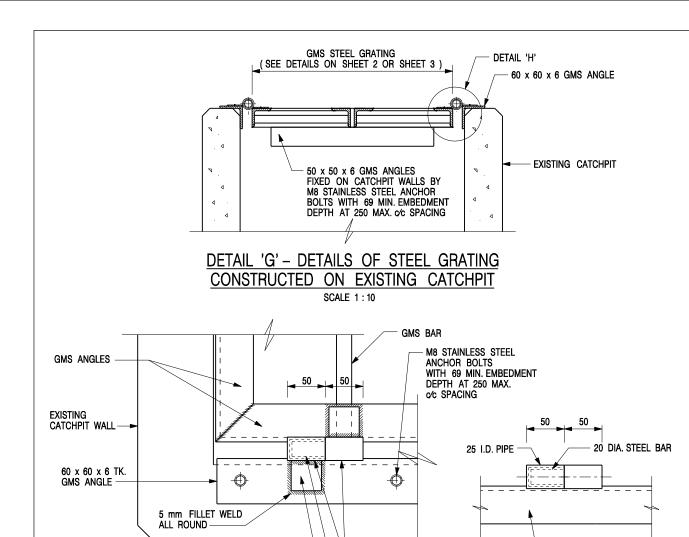
卓越工程 建設香港



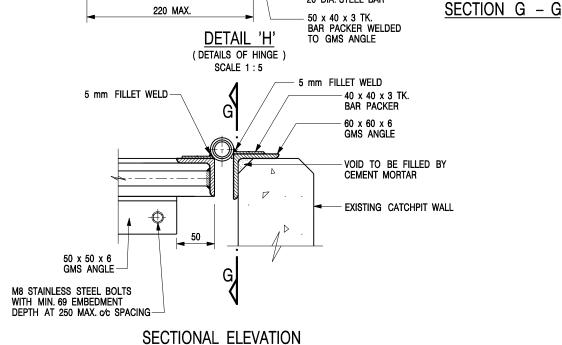


DRAWING NO. SCALE AS SHOWN C2405 /2 **DATE** JAN 1991





25 I.D. PIPES 20 DIA. STEEL BAR



(DETAIL 'H')

1. ALL DIMENSIONS ARE IN MILLIMETRES.

NOTES:

2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS (SHEET 4 OF 5)

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- FORMER DRG. NO. C2405J. Original Signed 03.2015
REF. REVISION SIGNATURE DATE

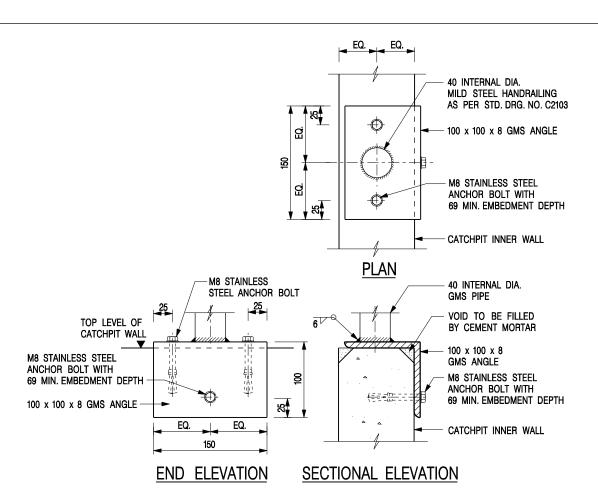
CIVIL ENGINEERING AND

GMS ANGLE



CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE AS SHOWN DRAWING NO. C2405 /4



DETAIL 'J' – FIXING DETAILS FOR HANDRAILING ON TOP OF CATCHPIT WALL

SCALE 1:5

NOTES:

- 1. ALL DIMENSIONS ARE IN MILLIMETRES.
- 2. ALL CONCRETE SHALL BE GRADE 20 /20.
- 3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
- 4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
- 5. CONCRETE TO BE COLOURED AS SPECIFIED.
- FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAILS ON SHEET 2 OR SHEET 3) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
- 7. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON SHEET 5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
- 8. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 mm c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
- 9. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON SHEET 4.

- 10. ALL STEEL ANGLES SHALL COMPLY WITH BS EN 10025 AND BS EN 10056.
- 11. UNLESS OTHERWISE SPECIFIED, ALL WELDS SHALL BE 5 mm CONTINUOUS FILLET WELDS.
- 12. ALL WELDS SHALL BE CHIPPED, GROUND SMOOTH, BRUSHED TO REMOVE SLAG PRIOR TO HOT-DIP GALVANIZATION.
- 13. ALL STEELWORK SHALL BE HOT-DIP GALVANIZED TO BS EN ISO 1461. ALL EXPOSED STEELWORK SURFACES SHALL BE TREATED AND PAINTED IN ACCORDANCE WITH THE GENERAL SPECIFICATION.
- 14. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

STANDARD CATCHPIT DETAILS (SHEET 5 OF 5)

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- FORMER DRG. NO. C2405J. Original Signed 03.2015

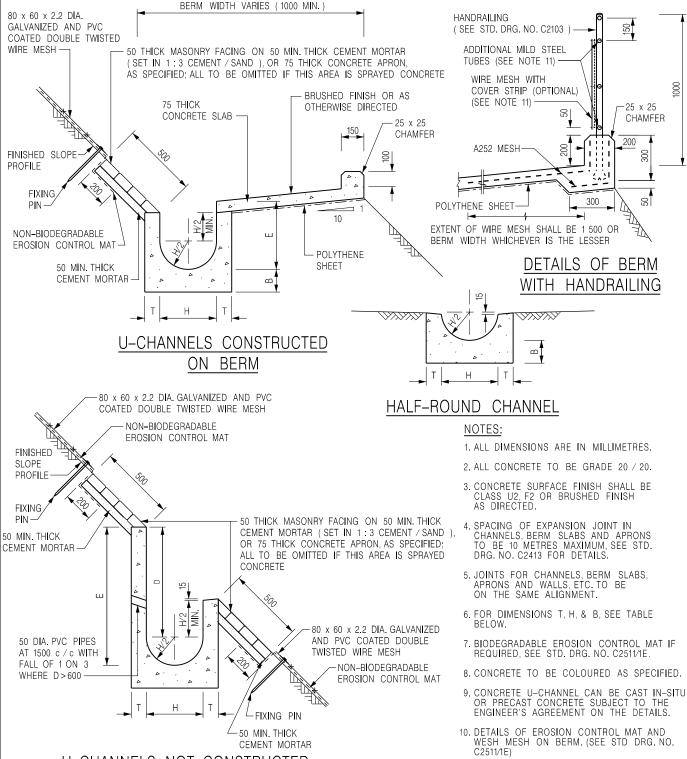
REF. REVISION SIGNATURE DATE

CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE AS SHOWN

DATE JAN 1991

C2405 /5



U-CHANNELS NOT CONSTRUCTED ON BERM

NOMINAL SIZE H	Т	В	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100
375 - 600	100	150	WHEN E > 650
675 – 900	125	175	A252 MESH PLACED CENTRALLY

DETAILS OF HANDRAILING AMENDED. Original Signed | 08.2024 MINOR AMENDMENT Original Signed | 07.2018 THICKNESS OF MASONRY Н Original Signed 01.2005 FACING AMENDED MINOR AMENDMENT Original Signed 01.2004 G GENERAL REVISION. Original Signed | 12.2002 F REVISION SIGNATURE DATE REF

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A -WITH MASONRY APRON

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CIVIL ENGINEERING AND **DEVELOPMENT DEPARTMENT**

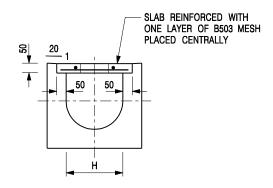
11. THE WIRE MESH ON HANDRAILING IS OPTIONAL THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO.

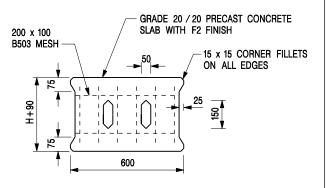
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300

22

DRAWING NO. SCALE 1:25 C2409J DATE JAN 1991



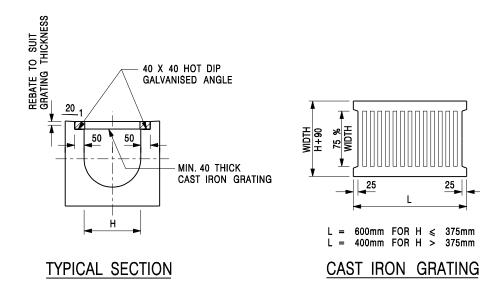


TYPICAL SECTION

PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

- 1. ALL DIMENSIONS ARE IN MILLIMETRES.
- 2. H=NOMINAL CHANNEL SIZE.
- 3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
- 4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

D C	NOTE 4 ADDED. MINOR AMENDMENT, NOTE 3 ADDED.	Original Signed Original Signed	
В	NAME OF DEPARTMENT AMENDED.	Original Signed	
A	CAST IRON GRATING AMENDED.	Original Signed	
REF.		SIGNATURE	

25_

375mm

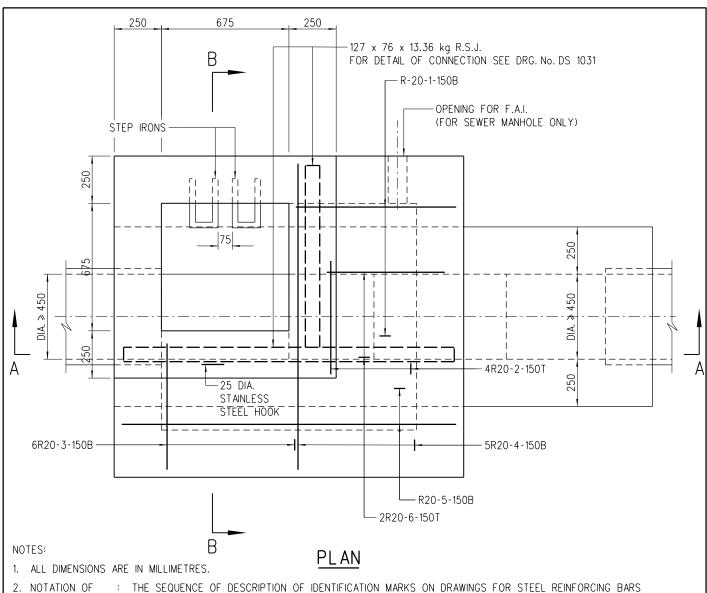
COVER SLAB AND CAST IRON GRATING FOR CHANNELS

CEDD
000

CIVIL ENGINEERING AND **DEVELOPMENT DEPARTMENT**

DRAWING NO. **SCALE** 1:20 C2412E **DATE** JAN 1991

卓越工程 建設香港 We Engineer Hong Kong's Development



2. NOTATION OF : THE SEQUENCE OF DESCRIPTION OF IDENTIFICATION MARKS ON DRAWINGS FOR STEEL REINFORCING BARS REINFORCEMENT FOR CONCRETE WORK IS AS FOLLOWS (NUMBER, TYPE, SIZE, MARK, SPACING, LOCATION OR COMMENT)

3. B DENOTES GRADE 500B RIBBED REINFORCEMENT.

4. R DENOTES GRADE 250 PLAIN REINFORCEMENT.

5. PIPE DIAMETER : EQUAL OR GREATER THAN 450 mm

6. NORMAL RANGE : 1750 TO 4 250 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)

OF DEPTH

7. USED IN : STORMWATER DRAIN AND SEWER

8. JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN EACH INDIVIDUAL CASE. CHANNELS IMMEDIATELY UNDER

ACCESS TO MANHOLE SHOULD BE AVOIDED.

9. TOP TREATMENT : SEE DRAWING No. DS 1032

10. STEP IRON : SEE DRAWING No. DS 1043

11. FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON

SITE BY THE ENGINEER.

12. CONCRETE MIX : GRADE 30/20

13. DIAMETER OF F.A.I. NORMALLY 100 mm

14. MINIMUM COVER AT END OF BARS 40 mm

15. COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY.

16. RECESS WITH SQUARE STEEL ROD SHALL BE PROVIDED AT TOP OF MANHOLE CHAMBER FOR INSTALLING MONITORING DEVICE(S).

DETAILS REFER TO DSD STANDARD DRAWING NO. DS 1099.

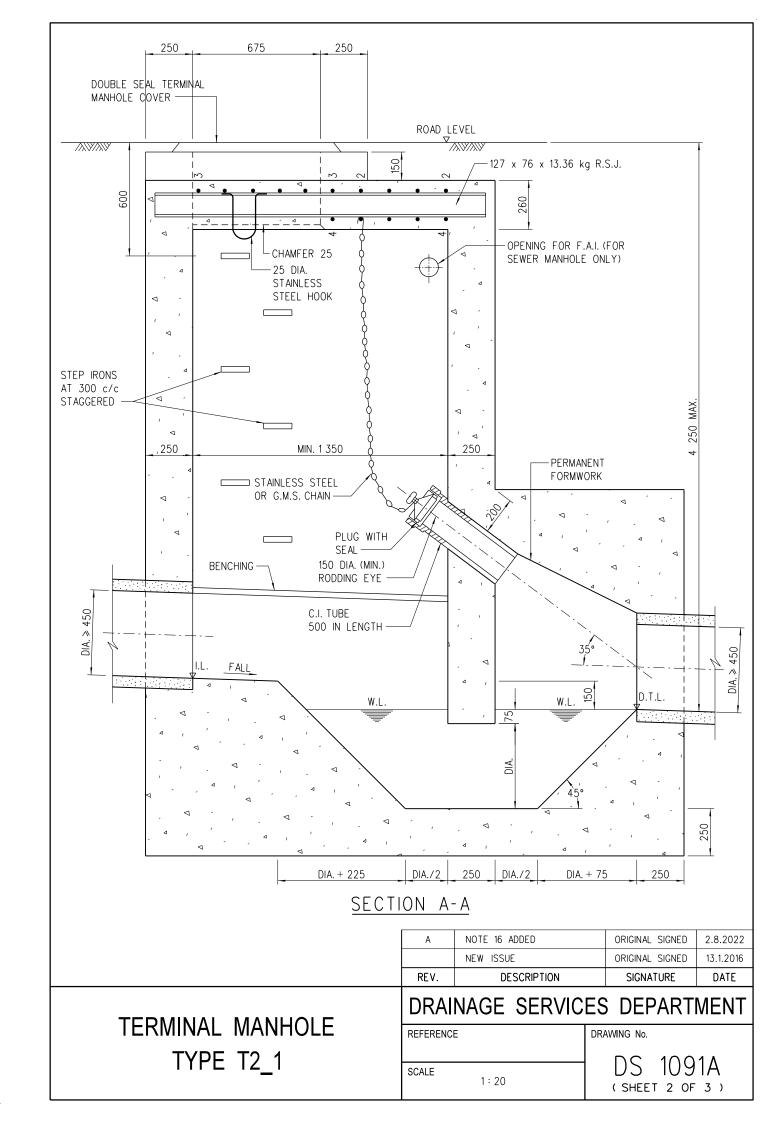
А	NOTE 16 ADDED	ORIGINAL SIGNED	2.8.2022
	NEW ISSUE	ORIGINAL SIGNED	13.1.2016
REV.	DESCRIPTION	SIGNATURE	DATE

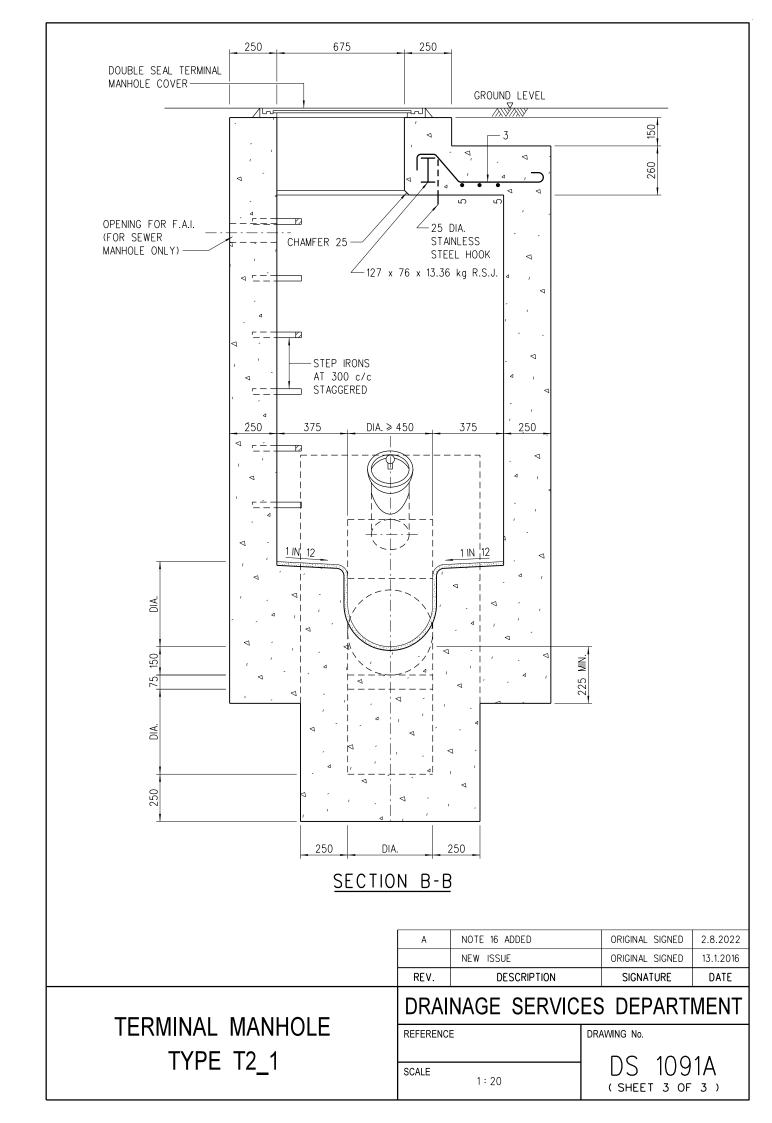
TERMINAL MANHOLE TYPE T2_1

DRAINAGE SERVICES DEPARTMENT

SCALE 1: 20 DRAWING No.

DS 1091A
(SHEET 1 OF 3)





Assessment of Hydraulic Capacities of the Proposed Drainage System for 1 in 50 year design return period

Using Rational Method Design Flow

Using Manning Equation
Design Mean Velocity =

0.278CiA m³/s for grassland (heavy soll) - flat, C = 0.25 for concrete surface, C = 0.95 * equivalent C within the Application Site = [[0.95 x (14,000 + 480)] + [0.25 x [40,616 - (14,000 + 480)]]) / 40,616 = 0.50 $R^{16}/n(RS_s)^{1/2}$ where n = 0.016 for concrete-lined open channel with fair surface fred 0.045 for natural stream channels, winding some pools and shoals with some weeds and stones with fair surface

 $a/(t_0+b)^c$ where a=505.5 , b=3.29 and c=0.355 in 50 year design return period referenced from Table 3a in SDM - Storm Constants for Different Return Periods of HKO Headquarters

0.14465U (H^{cc}A^{cc}) or 2 when the distance is too short

Using Bransby William's Equation (for channel flow) Inlet time $t_0 = \frac{1}{2} \left(\frac{1}{2} \right)^{-1}$

 $\begin{array}{ll} \textbf{Using Colebrook's White Equation (for pipe flow)} \\ V = \cdot Sqt \left(8g0s\right) x \log \left[(k_x/3.7D) + (2.51v/D x Sqt \left(2g0s\right)) \right] \\ For precast concrete pipes with 'O' ring joints with poor condition, k_x (mm) = 0.6 \\ V (m^2/s) = 1.00E\cdot06 \\ g (m^2/s) = 9.81 \\ \end{array}$

k_s (m) = 0.0006

(4)	(5)	(=)					(7)	(-)		-		40	(1-1	7	(100	2 × =0		- conservative, as the sub	ject proposed development i (19)	s for temporar	'	s Only	(6.7)	(0.1)	(05)	(or:	(5-	(6-)	(5.7)	/c	(0	
(1) USCP/USMH	(2) DSCP/DSMH	(3) Collected Runoff from Catchment (refer to Figure 3 and 4)	(4) USGL (mPD)	DSGL	. USI	il I	(7) DSIL mPD)	(8) INVERT DIFF. (m)	(9) LENGTH C CHANNEL DRAIN I (m)	OF SLO	PE SLO		(13) AVERAGE SLOPE OF GROUND FOR CALCULATION OF INLET TIME H (m per 100m)	t ₀ (min) =	INSIDE CHANNEL/ DRAIN	(16) TIME OF CONCENTRATION t _c (min) = t ₀ + t _t	(17) RAINFALL INTENSITY i (mm/hr)	(18) RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (+16.0%*) (mm/hr) [refer to item (e) and (k) in SDM Corrigendum No. 1/2022]	ADOPTED RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (+16.0%) & DESIGN ALLOWANCE	RUNOFF COEF. C	(21) SUB- CATCHMENT AREA A (m²)	EFF. ARE	(23) A CUM. EFF. AREA (m²)	DESIGN	(25) SIZE (mm)	(26) CHANNEL TYPE	(27) VELOCITY (m/s)	(28) FLOW CAPACITY (m³/s)	(29) 90% FLOW CAPACITY (m³/s) (to care for potential deposition of sediment)	(30) SPARE CAPACITY (m ³ /s)	(31) Occupancy of the Proposed Pipe / Channel	
ting Point A	CP1.1	A3	8.80	6.50	8.20	:0 6	6.00	1.46	146.00	0.01	10 10	00 218.00	8.95	8.26	1.25	9.51	204.49	237.21	265.91	0.50	8,225	4,109	4,109	0.304	500	UC	1.95	0.43	0.39	0.087	77.7%	C
CP1.1	CP1.2	A3 + A1	6.50	5.90	6.00	0 5	5.12	0.88	57.00	0.01	15 6	5 -	-	9.51	0.36	9.87	202.47	234.87	263.29	0.25	20,175	5,044	9,153	0.670	500	UC	2.62	0.95	0.85	0.183	78.5%	C
CP1.2	CP1.3	ditto	5.90	5.90	5.12	2 4	4.78	0.34	55.00	0.00	06 16		-	9.87	0.52	10.40	199.69	231.64	259.67	0.50	0	0	9,153	0.661	500	UC	1.75	0.93	0.84	0.181	78.5%	С
CP1.3	CP1.4	A3 + A1 + A6	5.90	5.90	4.78	8 4	4.57	0.21	36.00	0.00	06 17	70 -	-	10.40	0.35	10.74	197.92	229.59	257.37	0.50	3,275	1,636	10,789	0.772	500	UC	1.73	1.11	1.00	0.223	77.6%	C
CP1.4	CP1.5	ditto	5.90	5.90	4.57	7 4	4.36	0.21	52.00	0.00	04 25	50 -	-	10.74	0.60	11.34	195.00	226.20	253.57	0.50	0	0	10,789	0.761	500	UC	1.44	1.07	0.97	0.206	78.7%	C
CP1.5	CP1.6	A3 + A1 + A6 + A5	5.90	5.30	4.36	6 3	3.97	0.39	54.00	0.00	07 14	40 -	-	11.34	0.47	11.81	192.81	223.66	250.73	0.50	2,672	1,335	12,123	0.845	500	UC	1.91	1.21	1.09	0.246	77.5%	0
CP1.6	CP1.7	ditto	5.30	4.30	3.97	7 3	3.05	0.92	120.00	0.00	08 13	-	-	11.81	1.02	12.83	188.40	218.55	244.99	0.50	0	0	12,123	0.826	500	UC	1.97	1.18	1.06	0.232	78.1%	C
CP1.7	CP1.8	A3 + A1 + A6 + A5 + A7	4.30	4.80	3.05	5 2	2.72	0.33	66.00	0.00	05 20		-	11.81	0.67	12.48	189.88	220.26	246.91	0.50	10,568	5,279	17,403	1.195	500	UC	1.65	1.67	1.50	0.308	79.5%	C
CP1.8	CP1.9	A3 + A1 + A6 + A5 + A7 + A12	4.80	4.80	2.72	2 2	2.65	0.07	24.00	0.00	03 35	50 -	-	11.81	0.29	12.10	191.53	222.17	249.06	0.50	477	238	17,641	1.221	600	UC	1.39	1.74	1.57	0.347	77.9%	C
CP1.9	CP1.10	ditto	4.80	4.30	2.65	5 2	2.57	0.09	20.00	0.00	04 23	30 -	-	12.83	0.20	13.03	187.59	217.61	243.94	0.50	0	0	17,641	1.196	600	UC	1.69	1.70	1.53	0.329	78.4%	(
CP1.10	TM	A3 + A1 + A6 + A5 + A7 + A12 + A14	4.30	4.30	2.57	7 2	2.42	0.14	36.00	0.00	04 25	50 -		12.83	0.37	13.20	186.90	216.81	243.04	0.50	2,158	1,078	18,719	1.265	600	UC	1.63	1.78	1.60	0.335	79.1%	(
		AI TAIL TAIT																														
arting Point C	CP A	nominal	5.30	5.30	5.08	8 4	4.93	0.15	30.00	0.00	05 20	00 15.00	0.50	4.97	0.56	5.54	233.32	270.66	303.41	0.50	0	0	0	0.000	225	UC	0.89	0.07	0.06	0.063	0.0%	C
CP A	CP B	nominal	5.30	5.30	4.90	3 4	4.88	0.05	10.00	0.00	05 20	00 -		5.54	0.18	5.72	231.61	268.67	301.18	0.50	0	0	0	0.000	225	UC	0.90	0.08	0.07	0.073	0.0%	C
CP B	CP C	nominal	5.30	5.30	4.88	8 4	4.77	0.11	22.00	0.00	05 20	00 -		5.72	0.40	6.12	228.11	264.60	296.62	0.50	0	0	0	0.000	225	UC	0.93	0.11	0.10	0.096	0.0%	(
CP C	CP D	nominal	5.30	5.30	4.77	7 4	4.48	0.29	57.00	0.00	05 20	00 -		6.12	0.99	7.11	220.15	255.37	286.27	0.50	0	0	0	0.000	225	UC	0.96	0.17	0.15	0.155	0.0%	(
CP D	CP2.9	A11	5.30	5.30	4.48	8 4	4.46	0.02	4.00	0.00	05 20	00 -	-	7.11	0.07	7.18	219.63	254.77	285.60	0.50	2,161	1,080	1,080	0.086	225	UC	0.96	0.18	0.16	0.073	53.9%	(
rting Point B	CP2.1	A2	8.80	7.10	8.50	in 6	6.80	0.25	50.00	0.00	05 20	00 14.00	0.50	1.16	0.85	2.01	279.63	324.37	363.62	0.25	1.060	265	265	0.027	300	UC	0.98	0.08	0.07	0.044	37.9%	(
ining i onit b	0. 2	7.2	0.00	7.10	0.00		0.00	0.20	00.00	0.00	30 20	70 11.00	0.00	1.10	0.00	2.01	270.00	021.07	555.52	0.20	1,000	200	200	0.027	300	55	0.00	0.00	0.07	0.011	07.070	
CP2.1	CP2.2	ditto	7.10	6.50	6.80	0 6	6.20	0.43	85.00	0.00	05 20	-	-	2.01	1.45	3.46	256.65	297.72	333.74	0.50	0	0	265	0.025	300	UC	0.98	0.08	0.07	0.046	34.8%	C
CP2.2	CP2.3	ditto	6.50	6.50	6.20	0 6	6.05	0.15	30.00	0.00	05 20	-	-	3.46	0.47	3.93	250.56	290.65	325.81	0.50	0	0	265	0.024	300	UC	1.06	0.13	0.12	0.095	20.1%	C
CP2.3	CP2.4	A2 + A4	6.50	5.70	6.05	5 5	5.25	0.21	42.00	0.00		-	-	3.93	0.55	4.48	244.16	283.22	317.49	0.50	3,101	1,549	1,814	0.160	450	UC	1.28	0.23	0.21	0.048	76.8%	C
CP2.4	CP2.5	ditto	5.70				4.35	0.30	60.00				-	4.48	0.78	5.26	236.00	273.76	306.89	0.50	0	0		0.155	450	UC	1.28	0.23	0.21	0.054	74.2%	C
CP2.5	CP2.6	ditto	4.80				4.30	0.05	14.00	0.00			-	5.26	0.19	5.45	234.15	271.61	304.47	0.50	0	0	1,814	0.154	450	UC	1.21	0.63	0.56	0.411	27.2%	C
CP2.6	CP2.7	A2 + A4 + A8	5.50		4.30		4.09	0.21	64.00	0.00			-	5.45	0.86	6.31	226.49	262.73	294.52	0.50	4,885	2,440		0.348	450	UC	1.24	0.87	0.79	0.438	44.3%	(
CP2.7	CP2.8	ditto	5.70				3.92	0.17	52.00	0.00			-	6.31	0.71	7.01	220.86	256.19	287.19	0.50	0	0	4,254	0.340	450	UC	1.23	0.74	0.66	0.325	51.1%	C
CP2.8	CP2.9	A2 + A4 + A8 + A9 A2 + A4 + A8 + A9 +	5.30		3.92		3.81	0.11	32.00	0.00			-	7.01	0.43	7.44	217.66	252.49	283.04	0.50	1,075	537	4,791	0.377	450	UC	1.24	0.80	0.72	0.345	52.2%	(
CP2.9	CP2.10	CP D	5.30	5.30	3.8	1 3	3.71	0.10	30.00	0.00	03 30	00 -	-	7.44	0.40	7.85	214.84	249.21	279.37	0.50	0	0	5,871	0.456	450	UC	1.24	0.86	0.78	0.319	58.8%	(
CP2.10	CP2.11	A2 + A4 + A8 + A9 + CP D + A10	5.30	4.80	3.7	1 3	3.59	0.12	24.00	0.00	05 20		-	7.85	0.27	8.12	213.03	247.11	277.01	0.50	2,017	1,008	6,879	0.530	450	UC	1.49	0.78	0.70	0.170	75.7%	(
CP2.11	CP2.12	A2 + A4 + A8 + A9 + CP D + A10 + A13	4.80	4.80	3.59	9 3	3.40	0.19	38.00	0.00	05 20	00 -	-	8.12	0.42	8.54	210.31	243.95	273.47	0.50	3,514	1,755	8,634	0.656	450	UC	1.51	0.92	0.82	0.168	79.6%	(
CP2.12	ТМ	ditto	4.80	4.30	3.40	0 3	3.11	0.29	38.00	0.00	08 13	30 -	-	8.54	0.34	8.88	208.18	241.49	270.71	0.50	0	0	8,634	0.650	450	UC	1.84	0.95	0.85	0.204	76.1%	(
narge Point			<u>I</u>																													
TM	Streamcourse	A1 to A14	4.30	3.70	2.2	7 2	2.23	0.05	6.00	0.00	08 13	30		13.20	0.03	13.23	186.76	216.65	242.86	0.50	0	0	27,353	1.647	1000	pipe	2.93	2.30	2.07	0.425	79.5%	(
		711.0711.		5.70				0.00	0.00	0.00				.0.20	0.00	.0.20	.000	210.00	2.2.00	0.00	•	•	27,000		. 500	Pipo	2.00	2.00	2.07	0.120	. 0.0,0	

20,175 1,060 8,225 3,101 2,672 3,275 10,568 4,885 1,075 2,017 2,161 477 3,514 2,158 65,363

FIRE SERVICES NOTES:

- 1. <u>EMERGENCY LIGHTING</u>
- 1.1 SUFFICIENT EMERGENCY LIGHTING WITH 2 HOURS BATTERY BACKUP SHALL BE PROVIDED THROUGHOUT THE ENTIRE
 BUILDINGS/STRUCTURES IN ACCORDANCE WITH BS 5266:-1:2016 AND BS EN 1838:2013 AND THE FSD CIRCULAR LETTER NO. 4/2021.
- 2. <u>EXIT SIGN</u>
- 2.1 SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS 5266:—1:2016 AND FSD CIRCULAR LETTER 5/2008.
- 3. <u>DETECTION SYSTEM</u>
- 3.1 STAND—ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL STAND—ALONE DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE STAND—ALONE FIRE DETECTOR IS TRIGGERED, ALL CONNECTED STAND—ALONE FIRE DETECTORS SHALL SOUND AN ALARM SIMULTANEOUSLY.
- 3.2 THE STAND-ALONE FIRE DETECTOR SHALL BE PROVIDED IN ACCORDANCE WITH THE "STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE [SEP 2021].
- 4. MISCELLANEOUS F.S. INSTALLATION
- 4.1 PORTABLE FIRE EXTINGUISHERS WITH SPECIFIED TYPE AND CAPACITY TO BE PROVIDED AT LOCATION AS INDICATED ON PLAN.
- 4.2 <u>NO</u> EMERGENCY GENERATOR TO BE PROVIDED FOR SERVING THE EMERGENCY POWER. DUPLICATED POWER SUPPLIES FOR ALL FIRE SERVICES INSTALLATIONS COMPRISING A CABLE CONNECTED FROM ELECTRICITY MAINS DIRECTLY BEFORE THE MAIN SWITCH.
- 4.2 WHEN A VENTILATION / AIR CONDITIONING CONTROL SYSTEM TO A BUILDING IS PROVIDED, IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN A DESIGNATED FIRE COMPARTMENT.
- 4.3 <u>NO</u> DYNAMIC SMOKE EXTRACTION SYSTEM SHALL BE PROVIDED SINCE FIRE COMPARTMENT EXCEEDING 7000 CUBIC METRES AND THE AGGREGATE AREA OF OPENABLE WINDOWS OF THE RESPECTIVE COMPARTMENT EXCEEDS 6.25% OF THE FLOOR AREA OF THAT COMPARTMENT.

LEGEND (FOR LAYOUT PLAN)

F.E_{D.P} 5Kg CO2 TYPE FIRE EXTINGUISHER

4Kg DRY POWDER TYPE FIRE EXTINGUISHER

S.B. SAND BUCKET

STAND-ALONE SMOKE DETECTORS

EMERGENCY LIGHTING

EXIT SIGN

ABBREVIATION

SPR. SPRINKLER

H.R. HOSE REEL

.E. FIRE EXTINGUISHER CARBON DIOXIDE

L.P.C. LOSS PREVENTION COUNCIL

F.S.I. FIRE SERVICES INSTALLATION

H/L HIGH LEVEL

M/L MID LEVEL

L/L LOW LEVEL

F/B FROM BELOW

T/A FROM ABOVE T/A TO ABOVE

T/B TO BELOW

U/G UNDERGROUND

F.S. FIRE SERVICES

DRAWING LIST

DRAWING NO DESCRIPTION

EP-20349-FS01 FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

EP-20349-FS02 PROPOSED FSI LAYOUT PLAN

B FSD SUBMISSION 11-10-2025 WC A FSD SUBMISSION 07-09-2025 WC

Appendix B

FSI CONTRACTOR

DESCRIPTION

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building 41 Chi Kiang Street, Tokwawan, Kowloon

DATE

Fax.: 2394-3772 Tel.: 2397-3238

PROJECT

VARIOUS LOTS IN D.D.109 AND ADJOINING GOVERNMENT LAND, SHUI MEI TSUEN, KAM TIN NORTH, YUEN LONG, NEW TERRITORIES

DRAWING TITLE

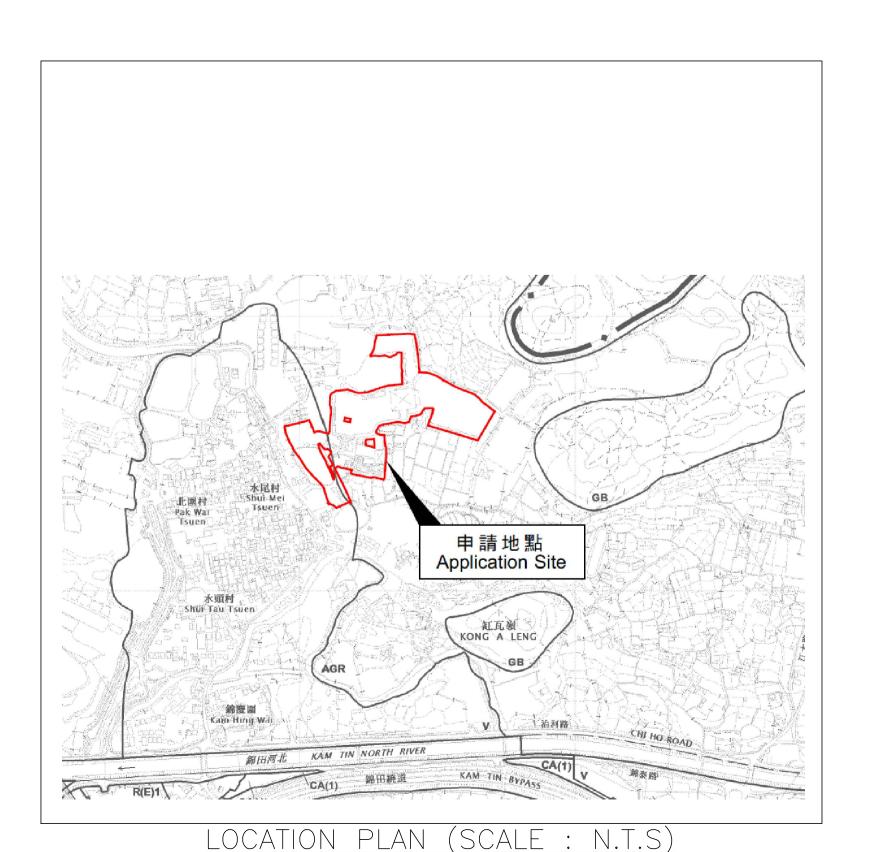
FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

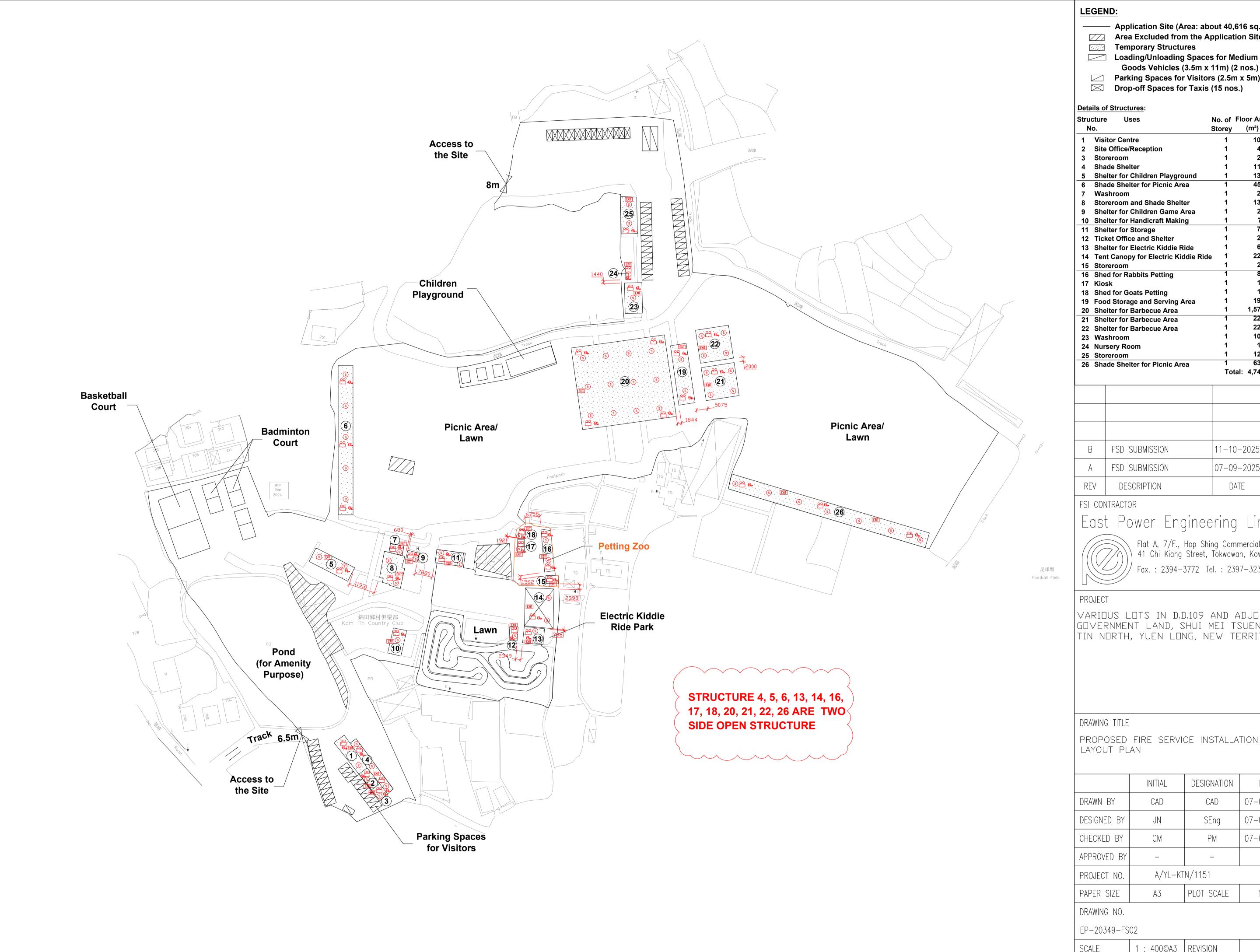
	INITIAL	DESIGNATION	DATE
DRAWN BY	CAD	CAD	07-09-2025
DESIGNED BY	JN	SEng	07-09-2025
CHECKED BY	СМ	РМ	07-09-2025
APPROVED BY	_	_	_
PROJECT NO.	A/YL-KT	N/1151	
PAPER SIZE	А3	PLOT SCALE	1 : 1
DRAWING NO.			

DRAWING NO.

EP-20349-FS01

SCALE N. T. S. REVISION E





Application Site (Area: about 40,616 sq.m.) Area Excluded from the Application Site

Goods Vehicles (3.5m x 11m) (2 nos.)

Stru	cture Uses	No. of	Floor Area	Heig
N	o.	Storey	(m²)	(m
1	Visitor Centre	1	104	2.
2	Site Office/Reception	1	42	2.
3	Storeroom	1	27	2.
4	Shade Shelter	1	110	2.
5	Shelter for Children Playground	1	134	3.
6	Shade Shelter for Picnic Area	1	450	4.
7	Washroom	1	26	2.
8	Storeroom and Shade Shelter	1	136	3.
9	Shelter for Children Game Area	1	22	3.
10	Shelter for Handicraft Making	1	71	3.
11	Shelter for Storage	1	74	3.
12	Ticket Office and Shelter	1	23	3.
13	Shelter for Electric Kiddie Ride	1	67	4.
14	Tent Canopy for Electric Kiddie Ride	e 1	226	4.
15	Storeroom	1	20	3.
16	Shed for Rabbits Petting	1	82	3.
17	Kiosk	1	18	3.
18	Shed for Goats Petting	1	12	3.
19	Food Storage and Serving Area	1	196	4.
20	Shelter for Barbecue Area	1	1,573	5.
21	Shelter for Barbecue Area	1	225	5.
22	Shelter for Barbecue Area	1	225	5.
23	Washroom	1	107	3.
24	Nursery Room	1	15	2.
25	Storeroom	1	120	3.
26	Shade Shelter for Picnic Area	1	638	4.
		To	tal: 4,743	

В	FSD SUBMISSION	11-10-2025	WC
А	FSD SUBMISSION	07-09-2025	WC
REV	DESCRIPTION	DATE	BY

East Power Engineering Limited

Flat A, 7/F., Hop Shing Commercial Building 41 Chi Kiang Street, Tokwawan, Kowloon Fax.: 2394-3772 Tel.: 2397-3238

VARIOUS LOTS IN D.D.109 AND ADJOINING GOVERNMENT LAND, SHUI MEI TSUEN, KAM TIN NORTH, YUEN LONG, NEW TERRITORIES

PROPOSED FIRE SERVICE INSTALLATION

	INITIAL	DESIGNATION	DATE
DRAWN BY	CAD	CAD	07-09-2025
DESIGNED BY	JN	SEng	07-09-2025
CHECKED BY	СМ	PM	07-09-2025
APPROVED BY	_	_	_
PROJECT NO.	A/YL-KT	N/1151	
PAPER SIZE	А3	PLOT SCALE	1 : 1

SCALE	1 : 400@A3	REVISION	В

寄件者: lo mingkong

寄件日期: 2025年10月24日星期五 11:38 **收件者:** Andrea Wing Yin YAN/PLAND

主旨: (A/YL-KTN/1151) Response to Departmental Comments and Public

Comments

附件: TPB_L06 RtoC.pdf; 20251024 AMO_RTC.pdf; Appendix 1-4.pdf; 回

應公眾意見-Full.pdf

類別: Internet Email

Dear Ms.Yan,

In response to the comments suggested by the Antiquities and Monuments Office of Development Bureau dated 16.10.2025 and the Public Comments from 29.7.2025 to 19.8.2025, we would like to submit herewith response to comments for your consideration.

Should you have any queries or require further information, please feel free to contact the undersigned at

Best Regards,

Lo Ming Kong Top Bright Consultants Ltd.



才鴻顧問有限公司 TOP BRIGHT CONSULTANTS LIMITED

Your Ref.: A/YL-KTN/1151 Our Ref.: 25/858/L06

October 24, 2025

Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email

Dear Sir/Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years in "Agriculture" and "Village Type Development" Zones, Lots 655(Part), 656(Part), 657(Part), 668(Part), 669(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 680(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) and Adjoining Government Land in DD109, Shui Mei Tsuen,

Kam Tin North, Yuen Long, New Territories
(Application No.: A/YL-KTN/1151)

In response to the comments suggested by the Antiquities and Monuments Office of Development Bureau dated 16.10.2025 and the Public Comments from 29.7.2025 to 19.8.2025, we would like to submit herewith response to comments for your consideration.

Should you have any queries or require further information, please feel free to contact the undersigned at

Yours faithfully, For and on behalf of Top Bright Consultants Ltd.

Lo Ming Kong

Encl.

c.c. Kam Tin Country Club Ltd. (the Applicant)

Responses to Departmental Comments

(Application No.: A/YL-KTN/1151)

	Departmental Comments		Responses
A.	Antiquities and Monuments Office of Development Bureau [Email dat (Contact Person: Ms. Kelly LAU Tel: 2208 4462)	ed 1	6.10.2025]
	As the application site is situated within the Yuen Shan Site of Archaeological Interest, the applicant is required to confirm / clarify with the Antiquities and Monuments Office (AMO) whether there is any ground excavation proposed for the development including but not limited to site formation works, drainage works, sewerage works, construction of septic tank etc. If affirmative, the applicant is required to provide details of the proposed works, e.g. the location, extent and depth of the proposed ground excavation for AMO's further comment.	>	According to the Geographical Information System on Hong Kong Heritage, the Yuen Shan Site of Archaeological Interest is outside the Application Site boundary (see Appendix 1). The Application Site is currently used for the applied use. Therefore, no site formation works nor construction of septic tank/sewerage works is required (see Appendix 2). Additional drainage would be required as recommended in the Drainage Impact Assessment. The location, extent and depth of the proposed ground excavation are shown in the attached Plan A (see Appendix 3 and 4).

香港北角渣華道 333 號 北角政府合署 15 樓 城市規劃委員會秘書處

各城市規劃委員會委員:

新界元朗錦田北水尾村丈量約份第 109 約多個地段和毗連政府土地 臨時康體文娛場所連附屬設施和相關的填土工程(為期三年)的規劃申請 回應公眾人士的意見

(規劃申請編號: A/YL-KTN/1151)

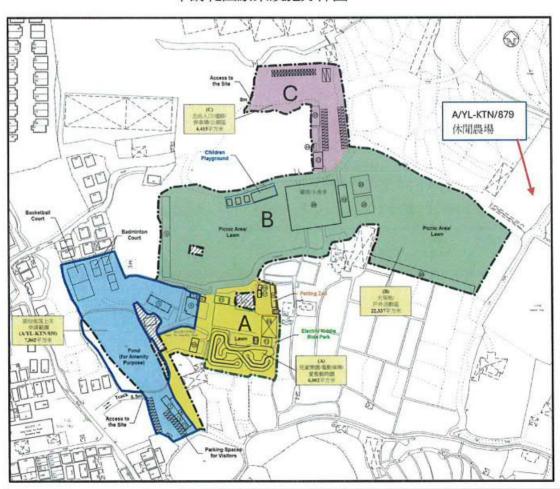
背景

- 1. 申請人「錦田鄉村俱樂部有限公司」(下稱"本公司")於 2006 年由幾位錦田 水頭村及水尾村原居民組成,目的是在水尾村東面約 8,000 平方米的漁塘 及荒廢農地,向城規會申請作康樂用途(野餐和燒烤)及其附屬設施(見附件 1),給予前來兩村參觀文物古蹟及歷史建築的本地及外地遊客提供一個具 鄉郊特色的休息及戶外活動場地。從 2007 年至今,本公司曾先後向城規 會提出共 6 次規劃申請(包括申請延期),均獲批准。
- 2. 本公司上次向城規會申請規劃許可(申請編號: A/YL-KTN/830),批准日期由 11.6.2022 至 10.6.2025,總面積約 8,520 平方米,大部份雖然屬於私人土地, 為保存兩村原來面貌及尊重村民前往本村及毗連地區的權益,申請範圍從未 完全圍封,村民往返及遊人在附近景點參觀完畢後可穿越本俱樂部,亦不收 取入場費用。
- 3. 本公司於 2025 年 7 月 9 日向城規會提交標題規劃申請。城規會於 2025 年 7 月 29 日至 2025 年 8 月 19 日給予公眾提供意見,期間共有 6 位眾人士及 1 公司/機構提供意見。本公司現就公眾人士所發表的部份意見,作出以下回應:

申請範圍比之前擴大

4. 與先前規劃申請的範圍(申請編號: A/YL-KTN/830) 相比,本申請的土地範圍 涵蓋(1)大部份上次規劃申請範圍(約 7,862 平方米)及 (2)新增面積約 32,754 平方米,總面積合共約 40,616 平方米。新增面積位於先前規劃申請圍的東面, 原為荒廢農地,目前百分之八十七用作露天兒童電動車場、草地、道路及露天停泊車輛場地。本公司近年亦在此範圍蓋搭一些臨時構築物,放置兒童遊樂氣球、涼亭、小食亭、洗手間等設施。2025年6月26日,部份新增範圍的22個地段共50多位土地業權人/祖堂司理接獲規劃監督通知,認為上述土地有或曾有違例發展(包括康樂用途、食肆用途、停泊車輛場地用途及貯物用途)。為使水尾村能繼續發展本土旅遊,有關土地持份者決定由本公司向城規會提交康樂用途的規劃申請,以便進一步完善土地管理(例如修剪野草)。相關地段將保持原貌,不設圍欄。有關康樂設施分佈(附件2)及簡介如下:

申請範圍康樂設施分佈圖



功能 / 用途	面積
先前規劃許可 A/YL-KTN/830(部份) 接待及康體區	7,862 平方米
新增 A 區 兒童樂園	6,002 平方米
新增 B 區 大草地/避雨亭/小食亭/戶外活動區	22,337 平方米
新增 C 區 停車場/道路	4,415 平方米
總面積:	40,616 平方米

- (A) 兒童樂園 (面積約 6,002 平方米): 在新冠病毒疫情後期,場地設施使用人 數錄得上升,而大部份入場人士均為家長及小童,本公司遂在園區增設了 兒童電動車場、愛畜動物園等設施;
- (B) 租用原有規劃申請範圍(編號: A/YL-KTN/830)毗連的兩幅大草地 (面積約 22,337 平方米): 本公司希望在增加此兩幅大草地,為訪客提供一個更為寬敞及充滿大自然氣息的戶外活動場地;
- (C) 車輛出入口及停車場 (面積約 4,415 平方米): 此車輛通道及周邊地塊位 於場地以北,一向用作村民/訪客泊車地點。為使該處土地用途符合城市 規劃條例,列入本公司向城規會申請康樂用途附屬停車場的範圍,加強管 理。

申請地點實際運作的範圍與申請範圍並無分別

- 5. 公眾人土意見中所提及申請地點實際運作的範圍比是次申請範圍為大是由 於本公司用地與周邊的私人土地、農場/休間農莊及其他康樂設施沒有明顯 界線,村民及遊客需要經過申請地點才能到達目的地,令公眾人士產生錯 覺,以為本公司佔用了很大的土地面積。
- 6. 公眾人士意見中也提及一些活動情況,例如(1)露營 spotlight,(2)摘士多啤梨,(3)場主放羊,羊咩出圈,(4)晚上十一時後亦有噪音滋擾等等。查本公司的活動以兒童戶外康體活動及燒烤為主,並不包括度假屋(帳篷露營)及大型音樂晚會;毗連申請地點一些農業/休間農莊相關活動(例如摘士多啤梨及放羊),與本公司無關。

訪客人數

7. 申請地點附近擁有 10 多處著名文物和歷史建築及度假營/休閒農莊,地點分 散,由於村民使用鄉村行人路的權益問題,每日路過本公司活動場地的村民 及訪客人數不少,此類人流並不屬於本公司的訪客。至於本規劃申請範圍預 計人數的準則,是以在本公司登記的訪客、參與活動及付款消費的人數計算。

遊客闖入村民花園偷水果

8. 兩位公眾人士反映若城規會批准此規劃申請,訪客將會闖入村民花園/農田, 偷取居民種植的花卉/水果。查本村村屋密度頗高,有花園種花卉/水果的村 民不多,本公司將與村代表反映村民意見中提及有居民木瓜被偷摘個案,希 能確定小偷身份,交警方處理。

交通問題

9. 至於公眾意見反映,前往申請地點的水頭路是單線雙程行車,在星期六、日及假日營運期間,帶來嚴重的交通擠塞,影響村民出入。不過,自 2018 年青山公路-潭尾段 18 號大型住宅項目峻巒 (Park Yoho)落成後,該屋苑旁已鋪設一條前往水尾村的通道(見申請文件 Figure 4),舒緩水頭及水尾村交通問題。本公司目前鼓勵訪客利用由峻巒旁的通道前往申請地點,可以直達申請地點51 個停車位的停車場。此外,多年來本公司均安排工作人員在營運期間的繁忙時段駐守在水頭路路口及申請地點入口指揮交通(見附件 3)。

環境影響

(a) 羊群造成環境污染

10. 據了解,在申請地點附近出沒的羊群是附近一戶村民所飼養,飼養羊群位置座落錦田北分區計劃大綱圖上的"農業"地帶,禽畜飼養屬"農業"地帶經常准許的用途。因此,羊群每天在私人農地上活動是否有違政府相關條例,實有待商権。若市民對此等放牧活動存有疑問,應向規劃署中央執行管制及檢控組尋求協助。本公司範圍內的愛畜動物園有2隻山羊,只供兒童觀賞,有專人照顧,並不涉及公眾意見所指的環境污染行為。

(b) 垃圾處理

11. 對於在營運期間所產生的垃圾問題,本公司將特別處理燒烤場垃圾,使用 2 層垃圾袋包裹及綁好袋口才放入大型有蓋垃圾桶,防止食物殘渣和汁液滲漏 及傳出臭味(見附件 4),並加強清洗園區門口外面放置垃圾桶的地方,保持環 境清潔。如有大型活動在園區舉行,本公司將與食環署協調好收集垃圾的時 間,不會將垃圾堆積在垃圾站。

(c) 噪音及光污染

12. 有公眾人士反映申請地點在星期六、日及假日營運期間帶來噪音及光污染問題,本公司以日間戶外活動為主,晚間活動以燒烤場/小食亭為主,距民居約150米以上,中間有樹木及構築物阻隔,且活動於晚上十時前結束,以減低噪音及光污染問題。

總結

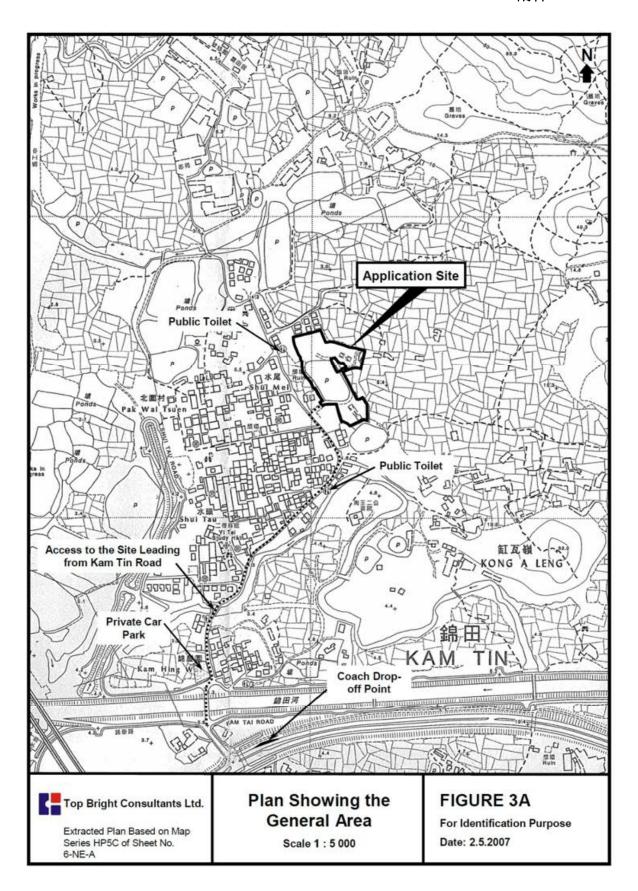
13. 本公司希望透過以上所提供的資料能回應附近村民意見和訴求,讓他們認識本公司運作情況,釋除公眾人士對是次規劃申請的疑慮。同時,本公司今後亦會多與水頭村和水尾村的村代表聯絡,了解村民對本公司的意見,完善園區的管理,減低對附近村民生活的影響。

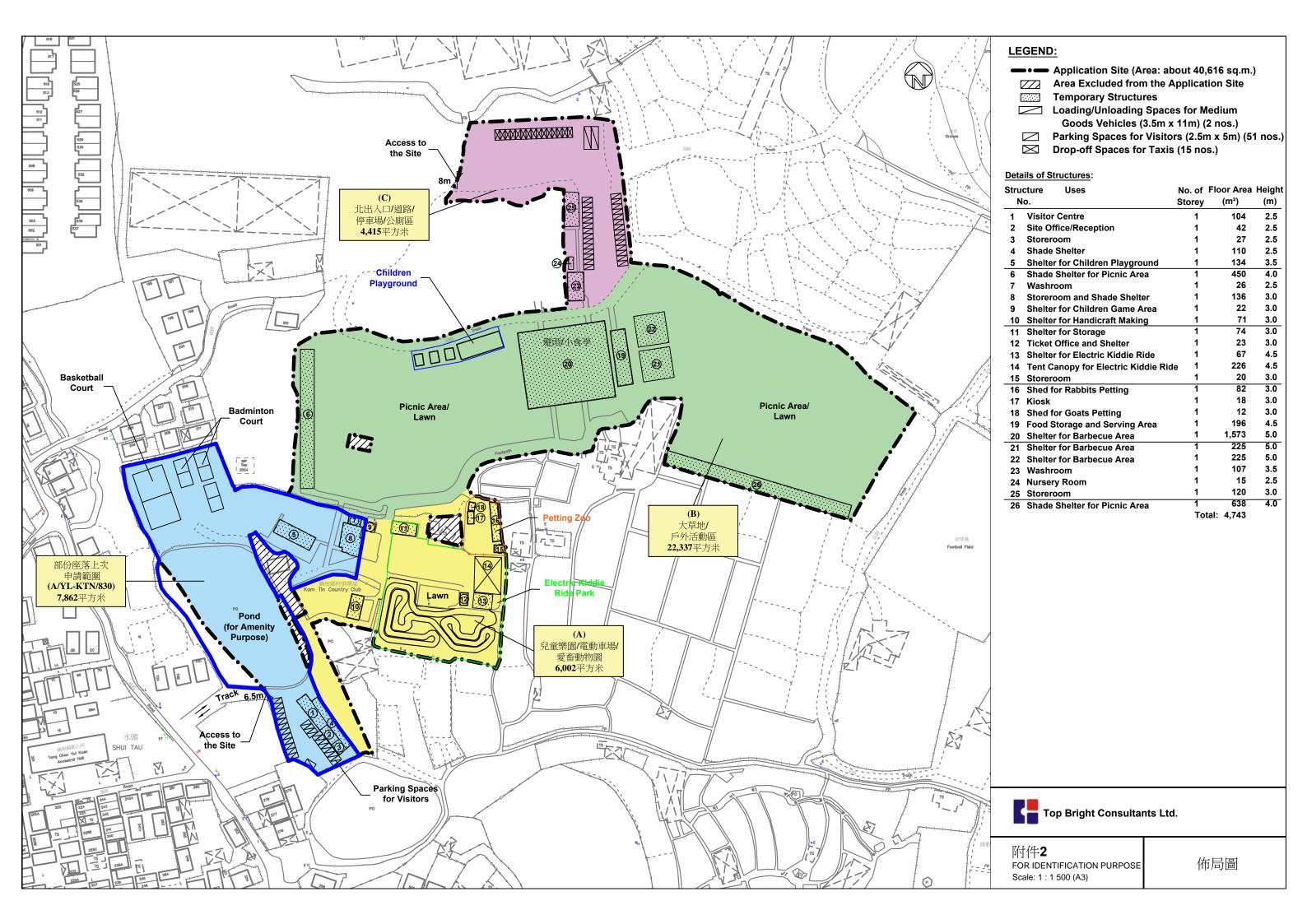
錦田鄉村俱樂部有限公司

2025年10月22日

副本抄送:

才鴻顧問有限公司





<u>錦田鄉村俱樂部職員駐守在水頭路路口及</u> 由請批點入口指揮交通的情況







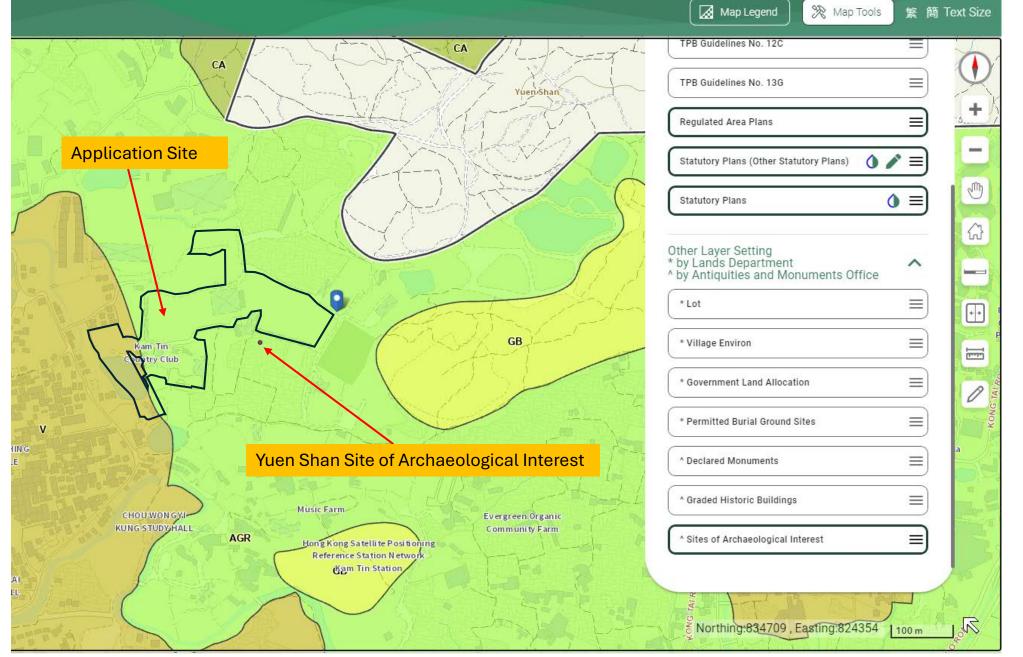


<u>錦田鄉村俱樂部職員在申請地點出入口附近</u> <u>垃圾站棄置垃圾的情況</u>



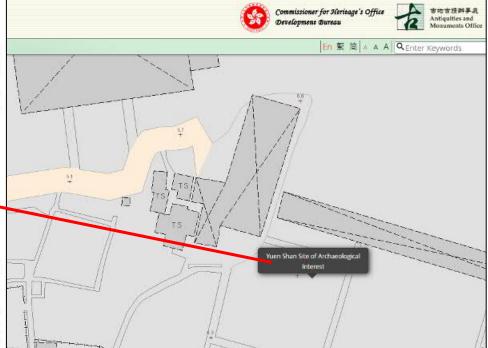


Appendix 1



Access to Children Playground Backetball Pionio Area/ Pionio Area/ VZ Pond (for Amenity Purpose) Parking Spaces for Visitors

Appendix 2



Previous Applications covering the Application Site (the Site)

Approved Applications

	Application No.	Use / Development	Date of Consideration
1.	A/YL-KTN/273	Temporary Place of Recreation Use	22.6.2007
		(including Barbecue Spot and Picnic	
		Area) for a Period of Three Years	
2.	A/YL-KTN/329	Renewal of Planning Approval for	19.6.2009
		Temporary Place of Recreation	
		(including Barbecue Spot and Picnic	
		Area) Use for a Period of Three Years	
3.	A/YL-KTN/383	Renewal of Planning Approval for	1.6.2012
		Temporary Place of Recreation	
		(including Barbecue Spot and Picnic	
		Area) for a Period of Three Years	10.1001
4.	A/YL-KTN/495	Temporary Place of Recreation, Sports	10.6.2016
		or Culture (including Barbecue Spot,	
		Picnic Area, Children Playground and	
		Handicraft Making Area with Ancillary	
	A (3.11 A TEN) 1 (6.50)	Facilities) for a Period of Three Years	21.7.2010
5.	A/YL-KTN/658	Renewal of Planning Approval for	31.5.2019
		Temporary Place of Recreation	
		(including Barbecue Spot, Picnic Area,	
		Children Playground and Handicraft	
		Making Area) with Ancillary Facilities	
6.	A/YL-KTN/830	for a Period of Three Years	10.6.2022
0.	A/1L-N11W03U	Renewal of Planning Approval for	10.0.2022
		Temporary Place of Recreation	
		(including Barbecue Spot, Picnic Area,	
		Children Playground and Handicraft	
		Making Area) with Ancillary Facilities	
		for a Period of Three Years	

Rejected Application

Application No.	Use / Development	Date of Consideration
A/YL-KTN/153	Proposed New Territories Exempted	14.2.2003
	House (NTEH) (Small House)	[upon review]

Rejection Reasons:

- 1. The proposed development was not in line with the planning intention of the "Agriculture" zone.
- 2. The proposed development did not comply with the "Interim Criteria for Consideration of Application for New Territories Exempted House/Small House in New Territories". There was no strong justification in the submission to demonstrate that land was not available within the "Village Type Development" zone in the area for the proposed development.

$\underline{Similar\ s.16\ Applications\ within/straddling\ the\ Same\ "Agriculture"\ Zone\ in\ the\ Vicinity\ of\ the}\\ \underline{Site\ in\ the\ Past\ Five\ Years}$

Approved Applications

	Application No.	Use / Development	Date of Consideration
1.	A/YL-KTN/745	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Five Years and Filling of Land	5.2.2021 [revoked on 5.2.2022]
2.	A/YL-KTN/758	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Three Years	30.4.2021 [revoked on 30.9.2023]
3.	A/YL-KTN/766	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Three Years	11.6.2021 [revoked on 11.9.2022]
4.	A/YL-KTN/772	Temporary Place of Recreation, Sports or Culture (Hobby Farm) and Caravan Holiday Camp with Ancillary Canteen for a Period of Three Years	9.7.2021 [revoked on 9.7.2022]
5.	A/YL-KTN/782	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Three Years and Filling of Land	10.9.2021 [revoked on 10.6.2023]
6.	A/YL-KTN/802	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Five Years and Filling of Land	6.5.2022 [revoked on 6.8.2022]
7.	A/YL-KTN/806	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Five Years and Filling of Land	20.5.2022 [revoked on 20.2.2025]
8.	A/YL-KTN/826	Temporary Holiday Camp, Place of Recreation, Sports or Culture (Hobby Farm), Barbecue Site and Ancillary Supporting Facilities for a Period of Three Years	9.9.2022
9.	A/YL-KTN/830	Renewal of Planning Approval for Temporary Place of Recreation (including Picnic Area, Children Playground and Handicraft Making Area) and Barbecue Site with Ancillary Facilities for a Period of Three Years	10.6.2022
9 10.	A/YL-KTN/838	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) and Holiday Camp with Ancillary Facilities for a Period of Three Years and Filling of Land	11.11.2022 [revoked on 11.5.2024]

10 11 .	A/YL-KTN/844	Temporary Holiday Camp, Place of Recreation, Sports or Culture (Hobby Farm and Prawning Ground) and Barbecue Site with Ancillary Facilities for a Period of Three Years and Filling of Land	12.8.2022 [revoked on 12.5.2024]
11 12 .	A/YL-KTN/853	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Five Years and Filling of Land	13.1.2023 [revoked on 13.10.2024]
12 13 .	A/YL-KTN/857	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Three Years	3.2.2023 [revoked on 3.8.2024]
<i>1314.</i>	A/YL-KTN/879	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities for a Period of Five Years and Filling of Land	3.2.2023 [revoked on 3.11.2024]
14 15 .	A/YL-KTN/891	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities for a Period of Five Years and Filling of Land	24.11.2023
15 16 .	A/YL-KTN/895	Temporary Place of Recreation, Sports or Culture (Outdoor Fitness Centre / Sports Training Ground) for a Period of Three Years and Filling of Land	21.4.2023 [revoked on 21.10.2024]
16 17 .	A/YL-KTN/1044	Temporary Holiday Camp, Place of Recreation, Sports or Culture, Barbecue Site and Eating Place for a Period of Three Years and Associated Filling of Land	4.10.2024
<i>1718</i> .	A/YL-KTN/1049	Temporary Place of Recreation, Sports or Culture (Hobby Farm, Fishing and Prawning Ground), Barbecue Site and Holiday Camp with Ancillary Facilities for a Period of Three Years and Associated Filling of Land	2.5.2025
18 19 .	A/YL-KTN/1080	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities for a Period of Five Years and Associated Filling of Land	14.3.2025
19 20 .	A/YL-KTN/1107	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities and Associated Filling of Land for a Period of Five Years	1.8.2025

Government Bureau/Departments' General Comments

1. Traffic

Comments of the Commissioner for Transport:

- no adverse comment on the application from traffic engineering perspective; and
- advisory comments are at **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department:

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are at Appendix IV.

2. <u>Drainage</u>

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no in-principle objection to the application from drainage point of view;
- should the application be approved, approval conditions should be stipulated requiring the submission of a revised drainage impact assessment and the implementation and maintenance of the drainage facilities identified therein for the development to his satisfaction; and
- advisory comments are at Appendix IV.

3. Fire Safety

Comments of the Director of Fire Services:

- no in-principle objection to the proposal subject to fire service installations (FSIs) being provided to his satisfaction;
- the FSIs proposal submitted by the applicant is considered acceptable;
- advisory comments are at Appendix IV.

4. Archaeological and Built Heritage Aspects

Comments of the Chief Heritage Executive (Antiquities and Monuments) of the Antiquities and Monuments Office, Development Bureau:

- no in-principle objection to application from archaeological and built heritage conservation perspectives;
- the Site is situated within the Yuen Shan Site of Archaeological Interest; and

• advisory comments are at **Appendix IV**.

5. Landscape Aspect

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective;
- based on the aerial photos, the Site is located in a rural inland plains landscape character comprising vacant land, farmland, temporary structures and scattered tree groups. There is no significant change to the landscape character of the surrounding area since the approval of the last planning application No. A/YL-KTN/830 in 2022. The Site is in operation as a place of recreation and some existing trees are observed within the Site. According to the applicant, no tree felling is involved and all existing trees and landscape planting will be maintained by the applicant within the Site. Significant adverse impact on existing landscape resources and character is not anticipated; and
- advisory comments are at **Appendix IV**.

6. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and
- advisory comments are at Appendix IV.

7. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

• his office has not received any local's comment on the application.

8. Other Departments

The following government departments have no objection to/no comment on the application and their advisory comments, if any, are at **Appendix IV**:

- Project Manager (West), Civil Engineering and Development Department;
- Director of Food and Environmental Hygiene;
- Commissioner of Police;
- Director of Leisure and Cultural Services;
- Chief Engineer/Construction, Water Supplies Department; and
- Director of Electrical and Mechanical Services.

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (c) to resolve any land issues relating to the applied use with the concerned owner(s) and/or occupant(s);
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) there is/are unauthorised structure(s) and use(s) on the private lot covered by the application which is already subject to lease enforcement actions according to case priority. The lot owner(s) should rectify/regularise the lease breaches as demanded by LandsD;
 - (ii) the Government land (GL) covered by the application has been unlawfully occupied with unauthorized structure(s) without any permission. Any occupation of GL without Government's prior approval is an offence under the Land (Miscellaneous Provisions) Ordinance (Cap. 28). The lot owner(s) should immediately cease the unlawful occupation of GL and remove the unauthorized structure(s) as demanded by LandsD. His office reserves the rights to take necessary land control action against the unlawful occupation of GL without further notice; and
 - (iii) the Short Term Waiver (STW) holder(s) shall apply to his office for modification of the STW conditions where appropriate and the lot owner(s) shall apply to his office for a STW and Short Term Tenancy (STT) to permit the structure(s) erected within the private lots of the Site and the occupation of GL. The application(s) for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee, rent and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
 - (i) the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
 - (ii) sufficient manoeuvring space shall be provided within the Site; and

- (iii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - (i) Shui Mei Road is not maintained by HyD. HyD shall not be responsible for the maintenance of any local village tracks between the Site and Kam Tin Bypass/San Tam Road; and
 - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (g) to note the comments of the Director of Environmental Protection that:
 - (i) the applicant shall enclose the accommodation structures for animals with soundproofing materials with provision of 24-hour mechanical ventilation and air-conditioning system;
 - (ii) the applicant shall keep the animals within the accommodation structures during non-operation hours of the applied use;
 - (iii) the applicant shall ensure that no public announcement system, whistle blowing, portable loud speaker, or any form of audio amplification system will be allowed at the Site:
 - (iv) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
 - (v) the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECCPN 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department';
 - (vi) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the applied use: and
 - (vii) the applicant shall meet the statutory requirements under relevant environmental legislation;
- (h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that:
 - (i) the detailed comments on the drainage impact assessment previously provided to the applicant shall be taken into account in the revised drainage impact assessment;
 - (ii) the applicant shall rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system;

- (iii) the applicant shall consult DLO/YL, LandsD and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works; and
- (iv) the applicant shall be liable for any adverse drainage impact due to his/her applied use;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
 - (i) the installation/maintenance/modification/repair work of FSIs shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to D of FS; and
 - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO)
 (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Heritage Executive (Antiquities and Monuments) of the Antiquities and Monuments Office (AMO), Development Bureau that the applicant shall inform AMO immediately when any antiquities or supposed antiquities under the Antiquities and Monuments Ordinance (Cap.53) are observe in the course of works;
- (k) to note the comments of the Director of Food and Environmental Hygiene Department (DFEH) that:
 - (i) no Food and Environmental Hygiene Department's (FEHD) facilities shall be affected;
 - (ii) proper licence/permit issued by his department is required if there are any food business/catering service/activities regulated by DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. Under the Food Business Regulation (Cap. 132X), a food business licence is required for the operation of the relevant type of food business listed in the Regulation (e.g. a restaurant, a food factory, a fresh provision shop). The application for licence, if acceptable by FEHD, will be referred to relevant government departments for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
 - (iii) when choosing premises for food business licences, the applicant shall ensure that the operation of food business at the Site is in compliance with the requirements imposed under the legislation administered by his department, other government departments and the relevant authorities. No part of food premises shall be located in, under or over any structures built without the approval and consent of the Building Authority (BA). Applicant shall check well in advance the following documents: (a) the Government lease, (b) the Occupation Permit of the building, and (c) the statutory plan. Applicant shall satisfy FEHD that the premises applying for a restaurant licence be (i) free of unauthorized building works; (ii) in compliance with Government lease conditions; and (iii) in compliance with statutory plan restrictions, otherwise FEHD will not process the application for a licence further;

- (iv) depending on the mode of operation, generally there are several types of food business licence that the operator of an outdoor barbecue site/kiosk/store may apply for under the Food Business Regulation:
 - if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
 - if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained:
 - if fresh, chilled or frozen beef, mutton, pork, reptiles (including live snake), fish (including live fish) and poultry is sold, a fresh provision shop licence should be obtained. In case that the farm product sold at the Site are vegetables and fruits only, the fresh provision shop licence is not required;
 - if restricted foods like milk, frozen confections, non-bottled drinks, cut fruit, etc. are to be sold, relevant restricted food permits should be obtained;
- (v) according to Section 10B of the Food Business Regulation (Cap. 132X), no person shall bring any dog onto any food premises and no person engaged in any food business shall knowingly suffer or permit the presence of any dog on any food premises, except for dogs serving as guide dogs for the blind or performing statutory duties (e.g. police dogs). Apart from Section 10B, Section 5(3)(b) of the Regulation provides that no person engaged in any food business shall knowingly suffer or permit in any food room (i.e. any room used for food preparation or cleaning of equipment) the presence of live birds or animals;
- (vi) when a restaurant licensee/licence applicant wishes to use any outside seating accommodation (OSA) outside the restaurant premises for alfresco dining, he/she shall take notice of the main licensing criteria for OSA, covering matters such as legal right to use the land concerned, planning, building safety, fire safety, and traffic requirements, etc. as well as to obtain approval from DFEH before commencement. Restaurateurs operating OSA business without approval may be subject to prosecution pursuant to the Food Business Regulation. Repeated convictions may lead to suspension or cancellation of their licences;
- (vii) the operation of the eating place must not cause any environmental nuisance to the surrounding. The refuse generated by any proposed eating place is regarded as trade refuse. The management or owner of the site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity;
- (viii) proper licence issued by his department is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within the Places of Public Entertainment (PPE) Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display, a circus, a lecture or story-telling, an exhibition of any one or more of the following, namely, pictures, photographs, books, manuscripts or other documents or other things, a sporting exhibition or contest, a bazaar, a dance party or an amusement

- ride and mechanical device which is designed for amusement, a PPE Licence (or Temporary PPE Licence) shall be obtained from FEHD whatever the general public is admitted with or without payment; and
- (ix) there shall be no encroachment on the public place and no environmental nuisance should be generated to the surroundings. Its state should not be a nuisance or injurious or dangerous to health and surrounding environment. Also, for any waste generated from such activities/ operation, the applicant shall arrange disposal properly at their own expenses;
- (l) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department that approval of the application does not imply approval of tree works, if any, such as pruning, transplanting and felling. The applicant shall seek comments and approval of any proposed tree works from the relevant department prior to the commencement of the works; and
- (m) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
 - (i) it is noted that 26 structures and associated filling of land are applied in the application. Before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iv) land of any pertinent right of way within the Site giving access from a street to the land-locked sites surrounded by the Site for compliance with Regulation 5 of the B(P)R should be provided and excluded from the site area calculation for the purpose of determining the development intensity under Regulation 19(3) of the B(P)R;
 - (v) if the existing structures are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any applied use under the application;
 - (vi) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO:

- (vii) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- (viii) detailed checking under the BO will be carried out at building plan submission stage.

Dear Town Planning Board:

As a resident of a nearby village, I would like to reflect the actual situation regarding planning application number A/YL-KTN/1151 and express what I believe are the sincere opinions of all nearby residents. After reviewing the applicant's application documents, I have found that their planning brief is seriously inconsistent with the actual circumstances. The specific issues are as follows:

I. Application Contents and Facts

- 1. Land Area Discrepancy: The application site is actually only a portion of the "Kam Tin Country Club." The actual area far exceeds the 500,000 square feet stated in the application, conservatively estimated to be over one million square feet. The Kam Tin Country Club is far from an ordinary leisure farm; it is a largescale, profit-making entertainment venue. The application area includes electric games, barbecue areas, and other recreational facilities. It is actually a large theme park, but it has various hidden dangers and a clearly insufficient number of supporting facilities. I hope the Board will carefully consider the traffic, fire, drainage, environmental pollution, and food safety issues raised by the application. The applicant is required to submit more detailed and practical proposals and an environmental impact assessment report.
- 2. Controversy over visitor numbers: The average daily visitor count on weekends reaches at least 500 to 1,000, far exceeding the document's stated "maximum of 500."
- 3. Contradictory development positioning: The claim that it "aligns with the development direction of the northern metropolitan area" is

far-fetched, and the claim that it "promotes local economic benefits" lacks substantiation. The recreational venue's contribution to the overall policy is extremely limited, and the claim is significantly exaggerated. The applicant's proposal claims that this application is completely unrelated to the development of the Northern District. It also claims to bring local economic benefits, but there is no concrete figures to support this claim. Just how much can a recreational venue with minimal facilities contribute to the overall Hong Kong government policy? Is this self-serving exaggeration?

II. Real Problems Arising from Long-Term Operation

The Kam Tin Country Club has not formally applied to the Town Planning Board for operation in nearly 20 years, and has already seriously impacted residents' lives and the environment. The actual problems are far more real than what is described in the proposal:

- Security Issues: A large number of unfamiliar tourists enter and exit the village, frequently intruding into gardens and farmland to steal residents' flowers and fruits, causing unnecessary disputes.
- Lack of Economic Benefits: The application site is surrounded by residential areas and farmland. Over the past decade or so, it has not boosted the surrounding economy and has instead seriously disturbed community peace.

3. Specific operational hazards

(1) Traffic paralysis

Shuitou Road is the only main road for the village to enter and exit. It is only about 3.5 meters wide and can not accommodate more than one private car passing through. It is also impossible to accommodate tourist buses and a large number of vehicles at the same time. During holidays:

- The congestion of tourist buses and private vehicles often leads to quarrels and conflicts
- The 601/601B minibus is also seriously overloaded. Residents have to compete with tourists for seats when going home.

Members are requested to carefully consider the severity of the traffic on Shuitou Road caused by the private cars, tourist buses, or tourists taking minibuses brought by the nearly 500,000 square feet of land applied for.

(2) Environmental conservation crisis

1. Garbage disposal: The applicant's proposal states that the average daily traffic volume is 500 people. Please consult the Food and Environmental Hygiene Department on the daily generation of barbecue food raw material residues and other garbage and waste by 500 people. Whether the nearby food and environmental protection facilities can bear the load is now full of foul odors at the garbage station in the Shuiwei Village area. 2. Animal husbandry issues (Buildings 16-18 on the design):

We hope the Town Planning Board will consult with the Food and Environmental Hygiene Department and the Fish and Wildlife Conservation Department for advice on how to address the noise caused by the day and night bleating of sheep, as well as the foul odor and disease caused by livestock defecation. During red and black rains, the stench of feces seeps into the village with the water, creating a foul odor. We also hope the Town Planning Board will advise the applicant to improve their defecation and drainage systems.

3. Pollution from the barbecue site (Buildings 19-22 on the design):
These BBQ facilities, spanning over 10,000 square feet, generate
garbage every time they hold a barbecue event, as well as light

pollution, noise pollution, and air pollution caused by day and night barbecues. We also hope the Town Planning Board will write to the Food and Environmental Hygiene Department to determine whether they support Kam Tin Country Club operating a barbecue site on this site and provide professional advice on the application. They will also assess the safety of grilling frozen food ingredients at this location, whether the facilities meet standards, and whether a restaurant license can be granted. They will also assess the impact on the surrounding environment. (3) Fire and drainage hazards

- 1. Amusement park facilities and barbecue areas are potential fire risks and are in urgent need of fire protection construction
- 2. The existing drainage system cannot cope with the demand for recreational land. Heavy rain will inevitably cause flooding and the drainage construction needs to be upgraded

This 400,000 square feet of land has long been non-agricultural. A recreational venue for motorized games has existed for more than a decade. Whenever there is heavy rain, there will be flooding in the surrounding area. I hope that the Town Planning Board will impose conditions requiring the applicant to make some drainage construction for recreational purposes.

I implore the Committee to:

- 1. Require the applicant to submit proof of discrepancies in data such as area and passenger flow
- 2. Seek professional opinions from the Food and Environmental Hygiene Department, Agriculture, Fisheries and Conservation Department, etc. on environmental and drainage issues
- 3. Assess the impact of the club's history of illegal operations on the approval process

I hope that the Committee will take the residents' demands seriously

and carefully consider this application.

Sincerely,

Town Planning Board

Resident

Felix

Date: July 30, 2025



城市規劃委員會嘅哥哥姐姐你好呀~*

我係住喺錦田嘅阿雯,同村裡嘅後生仔女一齊寫呢封信。睇完*A/YL-KTN/1151* 份申請文件,真係嚇親!成個規劃申請建議書同我哋日日對住嘅現實差好遠,一 定要同你哋講清楚:(>~~<)

求求委員哥哥姐姐, 搵搵運輸署、食環署、渠務署、環保署、為呢個機動遊樂場申請比下中肯專業意見, 真係頂唔順! 這個場二十年經營像藤蔓勒緊我心口。當申請書說成「申請設施」, 講到好似岩岩計劃, 吹到個申請好美好, 對我們只是舊傷口上灑鹽。

騎單車沿錦田鄉村俱樂部鐵網繞一圈都要廿分鐘,點止五十萬呎?明明成個*錦田鄉村俱樂部*起碼過百萬呎,入面仲有幾款機動遊戲、動物園同燒烤場,露營晚晚開 spotlight 勁閃,根本係迷你主題公園!我細個喺度摘士多啤梨,而家變到成個冒險樂園咁誇張 O_O 機動遊戲 D 聲響每天嘈醒我瞓晏覺,燒烤場油煙燻得晾在天台的校服都是孜然味。羊圈日夜咩咩叫,嘈到我無覺好瞓。媽媽成日講:「十幾廿年都這樣了,忍忍吧,雯女。」青春就咁冇左。我們懷念的農田綠草如欣,早已慢慢變成鋪石屎的機動遊樂場、臭氣薰天燒烤場、一個簡陋無任何消防、渠務、環保、衛生配套的主題樂園。

上個月我生日,我想帶中學同學來家裡吃盆菜。週六下午三點,三輛旅遊巴卡死水頭路同治河路轉彎處,同學最終沒能進村。淨係上星期六我企喺村口等兩個鐘上唔到小巴,遊客私家車逼爆水頭路!成日見旅遊巴、遊客私家車頂住條路,阿婆買餸都要兜路行。攪到我哋601小巴成日飛站,試過考試遲到被記缺點 每一章水頭路是村莊的血管,血栓嚴重,收錢寫建議書位人兄根本沒見過小巴601被遊客擠滿時,七十幾八十歲阿婆挾著菜籃行出蒙養小學搭巴士模樣。

申請書說帶動本土經濟,但遊客連買支水都自備——他們只帶走由阿偉叔塊田偷摘木瓜,留下踩爛的菜畦。話幫到「北部都會區」? 笑死~開咗廿年,錦田市村口士多一早都執笠啦!遊客淨係識影相,阿 May 姐種嘅有機木瓜成日被偷摘啊('个') 我家後巷成了遊客抄捷徑的熱點,上週發現花圃裡奶奶種的風雨蘭連根被拔走。遊客成日當人哋屋企花園係打卡點,琴日先有人踩爛阿偉叔盆蘭花!

暑熱天經過要錦田鄉村俱樂部門口垃圾站憋氣奔跑,燒烤竹籤刺破垃圾袋散落路面,穿涼鞋的我試過扎傷腳底。 唔該叫食環署哥哥嚟聞下水尾村兩個垃圾站個陣味。燒烤場啲炭同雞翼骨多到瀉出嚟,熱天陣味臭到想嘔!

啲羊咩咩朝早5點就「咩~」合唱,個場主放羊永遠唔打理,由羊咩咩出圈係村 周圍走,村口周街都係羊屎,仲有¶ ▲ 兩後漂流體驗(真係超噁心)

舊年黑雨浸到俱樂部啲動物糞便沖入村,著拖鞋出街踩到成腳啡色...,細佬問:「這是什麼?係咪珍珠奶茶 D 珍珠 」我 O 哂咀,完全唔識點答佢。

翻開申請人建議書那刻,我心一直往下沉——紙上冷冰冰胡亂吹噓的美好,和我每天呼吸著的村莊,根本是兩個世界。

每逢公眾假期、星期六日中午,燒烤場坐滿幾百人 O 個 陣燒炭味,大風一吹飄入村,真係好頂癮!點解規劃署同食環署可以比佢地係度開個燒烤場賣凍肉燒烤? 定係本身係犯緊法架?

錦田女兒 雯女 謹上 2025年8月1日



□Urgent □Return receipt □Expand Group □Restricted □Prevent Copy

From:

Sent:

2025-08-03 星期日 18:25:37

To:

tpbpd/PLAND <tpbpd@pland.gov.hk>

Subject:

About bjections to planning applications (A/YL-KTN/1151)

致:城市規劃委員會

僅就規劃申請 A/YL-KTN/1151 提出反對有關申請。

理由如下;

- 一)該處所以往每逢星期六,日營業期間對本村交通帶來嚴重擠塞,令村民出入嚴重不便。
- 二)該處所在逢星期六、日和特別節日營業時間帶來十分嚴重之噪音問題,甚至偶有在晚上十一時後亦有噪音滋擾。
- 三)該處所偶有工程進行時,令村內衛生環境受影響(例如泥頭車漏出污水及污泥)。
- 四) 該處所營業期間產生大量垃圾傾倒在本村的垃圾站,影響衛生。

本村村民 鄧百昌



2025年8月3日

聯絡電話:

聯絡電郵:

□Urgent	□Return receipt	□Expand Group	□Restricted	□Prevent Copy
From:				
Sent:		2025	-08-04 星期-	- 14:42:45
To:	tpbpd/PLAND <tpbpd@pland.gov.hk></tpbpd@pland.gov.hk>			pbpd@pland.gov.hk>
Subject:		Obje	ction to Kam	Tin Country Club's Application for the
		Cons	struction of a	Large-Scale Entertainment Venue
		(App	lication No.:	A/YL-KTN/1151)

To: Chairman of the Town Planning Board

Subject: Objection to Kam Tin Country Club's Application for the Construction of a Large-Scale Entertainment Venue (Application No.: A/YL-KTN/1151)

Dear Chairman:

I hereby formally object to the above application.

Kam Tin Country Club has applied to construct a large-scale amusement facility in Shui Mei Village, Kam Tin. This application is located in the "Agricultural and Rural Type Development" zone. Pursuant to Section 16 of the Town Planning Ordinance, I raise the following grounds for objection:

- (a) Noise Pollution Violates Environmental Standards
- The continuous high-frequency noise and bleating of sheep emitted by motor vehicles exceed the daytime standards for residential areas stipulated in the Noise Control Ordinance.
- —Late-night operation (according to the application documents, operation is until 10 p.m.) will affect the daily lives of villagers, especially the health of the elderly and schoolchildren.
- (b) Severe Traffic Shortage
- Kam Tin Shui Tau Road is currently a one-way, two-way road with a shallow and narrow road surface and a high peak saturation rate.
- —The application documents estimate daily passenger volume, which has caused safety hazards and delayed emergency rescue operations.
- (c) Damage to the rural landscape and drainage system
- —This application violates the provisions of Column 2 of the Kam Tin Outline Zoning Plan regarding agricultural uses: recreational and entertainment venues (limited to horse riding, leisure farms, and fishing grounds). The application site (including the amusement park and barbecue area) is located in an agricultural zone.
- —This large amusement facility has caused a huge amount of waste disposal and the smell of barbecue fumes over the past two decades.
- —Every heavy rain causes severe flooding in the surrounding area. The application documents do not mention improving the drainage system of the existing electric playground and barbecue area.
- (d) Ignoring community needs

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—Residents p	refer community	parks to com	mercial pla	ygrounds, barbe	cue area:	s, or ranches.		
I hope the Tow	vn Planning Boar	d will:						
(i) Reject the a	pplication on the	grounds of "	serious neg	ative impact on	the exist	ing communit	y"	
	the applicant to e traffic impact a		statutory	environmental	impact	assessment	and	а
				*				
Cat								

有關A/YL-KTN/1151的規劃申請

致: 城市規劃委員會

僅就規劃申請 A/YL-KTN/1151 提出反對有關申請。

反對有關申請理由如下:

- 一)該處所以往每逢星期六,日營業期間對本村交通帶來嚴重擠塞,令村民出入嚴重不便。
- 二)該處所在逢星期六、日和特別節日營業時間帶來十分嚴重之噪音問題,甚至偶有在晚上十一時後亦有噪音滋擾。
- 三)該處所偶有工程進行時,令村內衛生環境受影響(例如泥頭車漏出污水及污泥)。
- 四) 該處所營業期間產生大量垃圾傾倒在本村的垃圾站, 影響衛生。

本村村民 鄧百昌 多百 日 13/8/2025

聯絡電話:

電郵:

□Urgent □Return receipt	□Expand Group □Restricted □Prevent Copy □Confidential				
From:					
Sent:	2025-08-15 星期五 16:52:57				
To:	tpbpd/PLAND <tpbpd@pland.gov.hk></tpbpd@pland.gov.hk>				
Subject:	KFBG's comments on NINE planning applications				
Attachment:	250815 s16 KTN 1148.pdf; 250815 s16 TT 718.pdf; 250815 s16				
	KTN 1150.pdf; 250815 s16 KTN 1151.pdf; 250815 s16 SK				
	414.pdf; 250815 s16 SK 430.pdf; 250815 s16 TMT 84.pdf;				
	250815 c16 PK 306 & 307 pdf				

Dear Sir/ Madam,

Attached please see our comments regarding NINE applications. There are EIGHT pdf files attached to this email. If you cannot see/ download/ open these files, please notify us through email.

Please do not disclose our email address.

Thank You and Best Regards,

Ecological Advisory Programme
Kadoorie Farm and Botanic Garden

Email Disclaimer:

The information contained in this e-mail (including any attachments) is confidential and is intended solely for the addressee. If you are not the intended recipient, please notify the sender immediately and delete this e-mail from your system. Any unauthorised use, disclosure, copying, printing, forwarding or dissemination of any part of this information is prohibited. KFBG does not accept responsibility and shall not be liable for the content of any e-mail transmitted by its staff for any reason other than bona fide official purposes. There is no warranty that this e-mail is error or virus free. You should not rely on any information that is not transmitted via secure technology.



嘉道理農場暨植物園公司 Kadoorie Farm & Botanic Garden Corporation

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333, Java Road, North Point,
Hong Kong.
(Email: tpbpd@pland.gov.hk)

15th August, 2025.

By email only

Dear Sir/ Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years (A/YL-KTN/1151)

- 1. We refer to the captioned. The application site is largely within Agriculture (AGR) zone.
- 2. In early December 2024, the government proposed to designate 37 sites as Agricultural Priority Areas (APAs)¹. One of these proposed APAs is located at Kong A Leng¹. According to the relevant government document¹, the objectives of this APA policy are as follows:
 - To promote the overall sustainable development and industrial diversification of the local agriculture industry, the Government proposed to delineate some quality farmland as Agricultural Priority Areas (APAs) through administrative means to achieve the policy objective of putting the relevant land into active agricultural use, and to roll out support measures to facilitate long-term active farming use for APAs.
- The document¹ also states:
 - To implement the proposal on APAs, the Government plans to promulgate a "Policy Statement" to set out, through administrative means, its policy objective of

¹ https://www.legco.gov.hk/yr2024/english/panels/fseh/papers/fseh20241210cb2-1591-1-e.pdf



嘉道理農場暨植物園公司 Kadoorie Farm & Botanic Garden Corporation

delineating APAs to preserve quality farmland for long-term agricultural development and their relevant locations. This serves to inform the public of the Government's policy to prioritise agriculture use on the relevant land, and provide a guiding direction for the Government and the private sector on the future planning of the relevant land use.

- 4. We urge the Board to investigate with relevant authorities as to whether the current application site is located within one of the proposed APAs (e.g., Kong A Leng). If it is not within APA, we also urge the Board to investigate with relevant authorities as to how close the Kong A Leng APA would be to the current application site, and then to consider with relevant authorities as to whether the proposed use would cause potential impacts to affect this APA. Although the relevant government paper for APA¹ mentions the followings: 'As for planning applications for non-agricultural use of farmland outside APAs, objections will normally not be raised by AFCD from agricultural perspective', we still would like the Board to consider our concern as stated above.
- 5. However, if the site is within APA (even not the entire site is within APA), we urge the Board to consider, after consulting relevant authorities, as to whether it is appropriate to approve this application. We urge the Board to consider whether the approval of this application would affect the APA policy proposed by the government.
- 6. We urge the Board to reject this application as it is not in line with the planning intention of the AGR zone.
- 7. Thank you for your attention.

Ecological Advisory Programme Kadoorie Farm and Botanic Garden

7

□Urgent	□Return receipt	□Expand Group □Restricted □Prevent Copy
From:		
Sent:		2025-08-19 星期二 21:39:18
To:		tpbpd/PLAND <tpbpd@pland.gov.hk></tpbpd@pland.gov.hk>
Subject:		A/YL-KTN/1151 DD 109. Shui Mei Tsuen, Kam Tin Country Club

A/YL-KTN/1151 Kam Tin Country Club

Lots 655(Part), 656(Part), 656(Part), 671(Part), 672SA(Part), 674(Part), 678(Part), 679(Part), 687(Part), 688(Part), 681, 682(Part), 684RP(Part), 763SA(Part), 763RP(Part), 764, 765, 766(Part), 768(Part), 769(Part), 770(Part), 771(Part), 772(Part), 781(Part), 782(Part), 783(Part), 784(Part), 785(Part), 786(Part), 787, 788(Part), 1615(Part) in D.D. 109 and Adjoining Government Land, Shui Mei Tsuen, Kam Tin North

Site area: About 40,616sq.m Includes Government Land of about 875sq.m

Zoning: "Agriculture" and "VTD"

Applied use: Eating Place / Children Playground / Recreational Facilities / 68 Vehicle Parking / Filling of Land

Dear TPB Members,

Since 830 was approved, the operation has obviously been steadily etending outside the approved boundaries and is subject to enforcement for unapproved land use. No mention that drainage and fire services were provided in the additional area.

Now the club wants to increase its size five fold. In addition to the already filled in original site, the applicant proposes to fill in a further 14,500sq.mts. So more than half the site will be filled in.

This is not acceptable in view of climate change and the liklihood of flooding in coming years. There are many residences in the vicinty.

The statement that there is great demand for facilities like this is not borne out by the number of applications for BBQ, holiday camps, hobby farms, etc that subsequently file applications for conversion to brownfield on the justification that since Covid subsided demand for outdoor facilities was greatly reduced.

The board should reject the application as being too ambitious and from the layout of parking, etc, that has the appearance of laying the ground for brownfield application in due course.

Mary Mulvihill

From:	
To: tobod <tobod@pland.gov.hk></tobod@pland.gov.hk>	

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Date: Sunday, 15 May 2022 3:11 AM HKT

Subject: A/YL-KTN/830 DD 109. Shui Mei Tsuen, Kam Tin Country Club

A/YL-KTN/830 Kam Tin Country Club

Lots 680 (Part), 681 (Part), 682 (Part), 684 RP (Part) and 1615 (Part) in D.D. 109 and Adjoining Government Land, Shui Mei Tsuen, Kam Tin North

Site area: About 8,520sq.m Includes Government Land of about 673sq.m

Zoning: "VTD" and "Agriculture"

Applied use: BBQ / Children Playground /Handicraft Making Area / 23 Vehicle Parking

Dear TPB Members,

Re previous approval A/YL-KTN/658

10.1.1 Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

No permission is given for occupation of Government Land (GL) (about 673m2 subject to verification) included in the Site. Attention is drawn to the fact that any occupation of GL without Government's prior approval is not allowed.

Should the application be approved, the STW holder(s) will need to apply to LandsD for modification of the STW conditions where appropriate. The owner(s) of the lots without STW will need to apply to his office to permit structure(s) to be erected or regularize any irregularities on site, if any. Besides, given the proposed use is temporary in nature, only application for regularization or erection of temporary structure(s) will be considered. No construction of New Territories Excepted Building(s) will be considered or allowed. Furthermore, the applicant has to either exclude the GL portion from the Site or apply for a direct grant STT for use of the Site.

10.1.11 Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD): (a) **There is no record of approval by the Building Authority (BA) for the existing structures at the Site**, BD is not in a position to offer comments on their suitability for the applied use.

HAVE THE REQUISITE PERMITS BEEN APPLIED FOR AND GRANTED?

Mary Mulvihill

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tpbpd/PLAND

寄件者:

寄件日期:

2025年11月12日星期三 10:30

收件者:

tpbpd/PLAND

主旨:

坚决反对规划编号 A/YL-KTN/1151 申请的意见

類別:

Internet Email

致城市规划委员会主席及各位委员:

事由:坚决反对规划编号 A/YL-KTN/1151 申请的意见

申请方在提交材料过程中存在不诚信行为,所提供信息与实际情况严重不符,具体反映在以下几点:

- 1. 在申请方提交的图纸中,B区19、20号构筑物被标注为"小吃亭",实际却用作烧烤场地。若委员存疑,可通过网络查阅锦田乡村俱乐部的相关图片,可见棚屋内设有多个烧烤炉并售卖烧烤食品。此外,申请方公司在2025年10月22日就噪音问题的复函中自行承认"活动以烧烤为主",与其图纸标注自相矛盾。建议城市规划委员会就此征询食物环境卫生署部门的意见,核实该类场地建设小吃亭是否存在排污问题、是否符合规范以及能否获批经营许可。
- 2. 关于 2025 年 10 月 16 日圆山研究点报告中提及的问题,申请方以"该地点不在申报范围内"为由回避实质问题。建议地政署部门对

□Urgent □Return receipt □Expand Group □Restricted □Prevent Copy 涉事地块开展实地巡查,核查是否存在违规搭建、特别是被企业用作工人宿舍的情况。

- 3. 关于交通问题,申请方在 2025 年 10 月 22 日提交的意见中称峻峦至水尾道路可缓解交通压力。现需说明以下事实:
- · 该水尾连接峻峦的道路为单车道双向通行;
- ·该道路已建成多年,并非新建。申请方企业运营导致的交通问题存在已久,属长期遗留问题,并非近期出现;
- ·申请方在回复贵委会时提出派员现场指挥信号灯以疏导交通。若交通确实无碍,又何须采取此类措施?

请贵委对上述问题予以重视并审慎考虑。

此致

敬礼!

锦田村村民

9

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tpbpd/PLAND

寄件者:

寄件日期:

2025年11月26日星期三 16:02

收件者:

tpbpd/PLAND

主旨:

KFBG's comments on one planning application

附件:

251126 s16 KTN 1151.pdf

類別:

Internet Email

Dear Sir/ Madam,

Attached please see our comments regarding one application. There is one pdf file attached to this email. If you cannot see/ download/ open this file, please notify us through email.

Also, please do not disclose our email address.

Thank You and Best Regards,

Ecological Advisory Programme Kadoorie Farm and Botanic Garden

Email Disclaimer:

The information contained in this e-mail (including any attachments) is confidential and is intended solely for the addressee. If you are not the intended recipient, please notify the sender immediately and delete this e-mail from your system. Any unauthorised use, disclosure, copying, printing, forwarding or dissemination of any part of this information is prohibited. KFBG does not accept responsibility and shall not be liable for the content of any e-mail transmitted by its staff for any reason other than bona fide official purposes. There is no warranty that this e-mail is error or virus free. You should not rely on any information that is not transmitted via secure technology.



嘉道理農場暨植物園公司 Kadoorie Farm & Botanic Garden Corporation

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333, Java Road, North Point,
Hong Kong.
(Email: tpbpd@pland.gov.hk)

26th November, 2025.

By email only

Dear Sir/ Madam,

Temporary Place of Recreation, Sports or Culture with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years (A/YL-KTN/1151)

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嘉道理農場暨植物園公司 Kadoorie Farm & Botanic Garden Corporation

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Ecological Advisory Programme Kadoorie Farm and Botanic Garden