

2025年11月1日  
此文件在  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 2025-11-10.  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

# APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\*

\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

\*其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期, 應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知, 以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟, 請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

## **General Note and Annotation for the Form**

### 填寫表格的一般指引及註解

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期, 其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足, 請另頁說明

Please insert a ‘✓’ at the appropriate box 請在適當的方格內上加上‘✓’號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-MUP/220
	Date Received 收到日期	2025-11-10

1. The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書處。
2. Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.tpb.gov.hk/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
3. This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱
( <input checked="" type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構 )
佳意投資有限公司 GOOD KIND INVESTMENT LIMITED

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱(如適用)
( <input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構 )
Allgain Land Planning Limited 全堅土地規劃有限公司

3. Application Site 申請地點	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	新界沙頭角丈量約份第38約地段第25號(部分)、第26號(部分)及第27號(部分)、丈量約份第46約地段第804號(部分)、第806號、第807號、第808號、第809號、第811號、第812號、第813號、第823號B分段餘段、第824號B分段餘段、第825號、第826號(部份)、第827號、第828號B分段餘段和毗連政府土地 Lots 25 (Part), 26 (Part) and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 5120 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 4600 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	228 ..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Man Uk Pin Outline Zoning Plan No. S/NE-MUP/11 萬屋邊分區計劃大綱核准圖編號 S/NE-MUP/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" 「農業」
(f) Current use(s) 現時用途	臨時物流中心  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership). 是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。

is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership). 是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。

is not a "current land owner"<sup>#</sup>. 並不是「現行土地擁有人」<sup>#</sup>。

The application site is entirely on Government land (please proceed to Part 6). 申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>. 根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>. 已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)"<sup>#</sup> obtained 取得「現行土地擁有人」<sup>#</sup>同意的詳情

No. of 'Current Land Owner(s)', 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#</sup>&  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>#</sup>&  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知&

posted notice in a prominent position on or near application site/premises on  
\_\_\_\_\_ (DD/MM/YYYY)<sup>#</sup>&  
於 18/09/2025 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&

sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>#</sup>&  
於 03/10/2025 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

others (please specify)  
其他 (請指明)

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號  
申請人須就申請涉及的每一地段 (倘適用) 及處所 (倘有) 分別提供資料

## 6. Type(s) of Application 申請類別

## (A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	擬議臨時物流中心及相關填土工程 Proposed Temporary Logistics Centre and Associated Filling of Land  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)																		
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 ..... <input type="checkbox"/> month(s) 個月 ..... .																		
(c) Development Schedule 發展細節表 <table border="0" data-bbox="203 878 1451 1170"> <tr> <td>Proposed uncovered land area 擬議露天土地面積</td> <td>..... 520 ..... sq.m</td> <td><input type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed covered land area 擬議有上蓋土地面積</td> <td>..... 4600 ..... sq.m</td> <td><input checked="" type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed number of buildings/structures 擬議建築物／構築物數目</td> <td>..... 2 .....</td> <td></td> </tr> <tr> <td>Proposed domestic floor area 擬議住用樓面面積</td> <td>..... 0 ..... sq.m</td> <td><input type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed non-domestic floor area 擬議非住用樓面面積</td> <td>..... 4600 ..... sq.m</td> <td><input checked="" type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed gross floor area 擬議總樓面面積</td> <td>..... 4600 ..... sq.m</td> <td><input checked="" type="checkbox"/> About 約</td> </tr> </table>		Proposed uncovered land area 擬議露天土地面積	..... 520 ..... sq.m	<input type="checkbox"/> About 約	Proposed covered land area 擬議有上蓋土地面積	..... 4600 ..... sq.m	<input checked="" type="checkbox"/> About 約	Proposed number of buildings/structures 擬議建築物／構築物數目	..... 2 .....		Proposed domestic floor area 擬議住用樓面面積	..... 0 ..... sq.m	<input type="checkbox"/> About 約	Proposed non-domestic floor area 擬議非住用樓面面積	..... 4600 ..... sq.m	<input checked="" type="checkbox"/> About 約	Proposed gross floor area 擬議總樓面面積	..... 4600 ..... sq.m	<input checked="" type="checkbox"/> About 約
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Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) 構築物1: 臨時物流中心，1層高，面積約4200平方米，總面積約4200平方米，高度不多於8米。 構築物2: 臨時物流中心，1層高，面積約400平方米，總面積約400平方米，高度不多於8米。 ..... .....																			
Proposed number of car parking spaces by types 不同種類停車位的擬議數目 <table border="0" data-bbox="171 1500 1451 1748"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>..... 2 .....</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>..... 0 .....</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td>..... 0 .....</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td>..... 0 .....</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td>..... 0 .....</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>.....</td> </tr> </table>		Private Car Parking Spaces 私家車車位	..... 2 .....	Motorcycle Parking Spaces 電單車車位	..... 0 .....	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... 0 .....	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	..... 0 .....	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	..... 0 .....	Others (Please Specify) 其他 (請列明)	.....						
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Proposed operating hours 擬議營運時間 .....星期一至日上午9時至下午7時（不包括公眾假期）.....			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) .....從沙頭角公路-禾坑段轉入.....	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 .....	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土地面積 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土地厚度 ..... m 米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土地面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土地深度 ..... m 米 <input type="checkbox"/> About 約	
	No 否	<input type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	On traffic 對交通	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	On water supply 對供水	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	On drainage 對排水	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	On slopes 對斜坡	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	Affected by slopes 受斜坡影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	Landscape Impact 構成景觀影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	Tree Felling 砍伐樹木	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	Visual Impact 構成視覺影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
Others (Please Specify) 其他 (請列明)	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/_____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	
	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件
	<input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件
	<input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：
	<hr/> <hr/> <hr/>
(e) Approval conditions 附帶條件	Reason(s) for non-compliance: 仍未履行的原因： <hr/> <hr/> <hr/>
	(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
	<input type="checkbox"/> year(s) 年 ..... .
	<input type="checkbox"/> month(s) 個月 ..... .

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

請參考附件的申請報告書及擬議發展的計劃細節

## 8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



Applicant 申請人 /  Authorised Agent 獲授權代理人

Ms Hermose Chong

Manager

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  Member 會員 /  Fellow of 資深會員

專業資格  HKIP 香港規劃師學會 /  HKIA 香港建築師學會 /

HKIS 香港測量師學會 /  HKIE 香港工程師學會 /

HKILA 香港園境師學會 /  HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他 .....

on behalf of Allgain Land Planning Limited  
代表 .....

Company 公司 /  Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期 14/10/2025  
..... (DD/MM/YYYY 日/月/年)

### Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

### Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.  
任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

### Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:  
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
  - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
  - facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.  
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	新界沙頭角丈量約份第38約地段第25號（部分）、第26號（部分）及第27號（部分）、丈量約份第46約地段第804號（部分）、第806號、第807號、第808號、第809號、第811號、第812號、第813號、第823號B分段餘段、第824號B分段餘段、第825號、第826號（部份）、第827號、第828號B分段餘段和毗連政府土地  Lots 25 (Part), 26 (Part) and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories
Site area 地盤面積	5120 sq. m 平方米 <input checked="" type="checkbox"/> About 約  (includes Government land of 包括政府土地 228 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Man Uk Pin Outline Zoning Plan No. S/NE-MUP/11 萬屋邊分區計劃大綱核准圖編號 S/NE-MUP/11
Zoning 地帶	"Agriculture" 「農業」
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期  <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____  <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期  <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	擬議臨時物流中心及相關填土工程（為期3年）  Proposed Temporary Logistics Centre and Associated Filling of Land for a Period of Three Years

(i)	Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
		Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii)	No. of blocks 幢數	Non-domestic 非住用	4600 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.898 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
		Domestic 住用	0	
(iii)	Building height/No. of storeys 建築物高度／層數	Non-domestic 非住用	2	
		Domestic 住用	0 <input type="checkbox"/> (Not more than 不多於) 0 <input type="checkbox"/> (Not more than 不多於)	m 米 Storeys(s) 層
(iv)	Site coverage 上蓋面積	Non-domestic 非住用	8 <input checked="" type="checkbox"/> (Not more than 不多於) 1 <input checked="" type="checkbox"/> (Not more than 不多於)	m 米 Storeys(s) 層
			89.8 %	<input checked="" type="checkbox"/> About 約
(v)	No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		2
		Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)		2 0 0 0 0 0
		Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
		Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) 2個中型貨車及重型貨車車位		0 0 0 0 0 0

**Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件**

	<u>Chinese</u> 中文	<u>English</u> 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan, Location Plan, Paved Ratio Plan		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
預計車輛進出流量報告		
Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註： 上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

根據《城市規劃條例》( 第 131 章 )

**第 16 條遞交的許可申請**

新界沙頭角丈量約份第 38 約地段第 25 號 ( 部分 ) 、第 26 號 ( 部分 ) 及  
第 27 號 ( 部分 ) 、丈量約份第 46 約地段第 804 號 ( 部分 ) 、第 806 號 、  
第 807 號 、第 808 號 、第 809 號 、第 811 號 、第 812 號 、第 813 號 、  
第 823 號 B 分段餘段 、第 824 號 B 分段餘段 、第 825 號 、第 826 號 ( 部  
份 ) 、第 827 號 、第 828 號 B 分段餘段和毗連政府土地

**臨時物流中心及相關填土工程 ( 為期 3 年 )**

**申請報告書及擬議發展的計劃細節**

# 目 錄

1. 擬議發展細節-----P. 1
2. 申請原因-----P. 2
3. 擬議發展計劃的各方面影響-----P.3-4

# 擬議發展細節

1. 申請人現根據《城市規劃條例》( 第 131 章 ) 第 16 條，提交有關新界沙頭角丈量約份第 38 約地段第 25 號 ( 部分 )、第 26 號 ( 部分 ) 及第 27 號 ( 部分 )、丈量約份第 46 約地段第 804 號( 部分 )、第 806 號、第 807 號、第 808 號、第 809 號、第 811 號、第 812 號、第 813 號、第 823 號 B 分段餘段、第 824 號 B 分段餘段、第 825 號、第 826 號 ( 部份 )、第 827 號、第 828 號 B 分段餘段和毗連政府土地的規劃申請，擬在上述地段申請為期三年的臨時物流中心及相關填土工程。
2. 申請地點位於沙頭角公路禾坑段附近，在《萬屋邊分區計劃大綱核准圖編號 S/NE-MUP/11》上劃為「農業」。
3. 申請地盤面積為約 5,120 平方米，設有 2 個臨時構築物，上蓋總面積 4,600 平方米，覆蓋率為 89.8%。
4. 申請地點涉及 2 個私家車停車位及 2 個中型貨車及重型貨車車位臨時上落貨位。
5. 擬議發展的營運時間為星期一至日上午 9 時至下午 7 時 ( 不包括公眾假期 )。

## 申請原因

1. 申請地點之前涉及一個相同用途的規劃申請 ( A/NE-MUP/193 )，這次的申請地點和之前的有少許改動，而上蓋也和之前的不同，之前的附帶條件也未能完成，該申請已被撤銷，因此申請人重新向城規會遞交申請，並承諾如這次批出，一定會好好完成相關附帶條件。
2. 擬議申請用途為臨時物流中心，不屬於「農業」地帶內第一欄或第二欄的准許用途，按照城規會條例，需向城規會作出申請，城規會視乎情況考慮，在有條件或無條件的情況下批出為期不超過 3 年的規劃許可。
3. 雖然申請地點屬於「農業」地帶，但該場地內多年來都沒有活躍的農業用途，並屬於規劃指引編號 13G 的「第二類地區」範圍，周圍也被一些臨時構築物及寮屋包圍，因此擬議用途被認為與週邊地區並不衝突。
4. 擬議發展涉及部份填土範圍 ( 現場已完成填土工程 )，是屬規範化申請，填土用作停泊車輛和固定構築物，不會破壞天然環境，不會砍伐樹木，不會對周邊地區及環境帶來負面影響。
5. 申請地點的工作人員約 6-8 人，不會有人在留宿，他們只在營業時間內上班。
6. 由於政府要落實元朗南發展計劃大綱圖的發展，並已對部份土地進行收地，此舉嚴重影響了一些「露天貯物及港口後勤用途」的用地。申請人提交這申請，同時也在回應業界對另覓土地繼續發展「露天貯物及港口後勤用途」的需求。
7. 擬議發展只是臨時三年的性質，申請地點因其獨特的地點條件並緊鄰邊境管制站而為擬議發展提供了最佳位置，申請地點周邊都並非農業用途，復耕潛力相對低，「農業」地帶的規劃意向於未來三年將難以實現，所以擬議發展不會影響用途地帶的長遠規劃意向。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界沙頭角丈量約份第 38 約及丈量約份第 46 約多個地段作為期三年的臨時物流中心及相關填土工程。

# **擬議發展計劃的各方面影響**

## **1. 土地行政**

申請地點涉及多個私家地段及政府土地，如獲批准，申請人會向地政處申請短期豁免書及短期租約租用政府土地。

## **2. 擬議發展的入口**

申請地點可以從沙頭角公路-禾坑段轉入。

## **3. 擬議發展的交通安排**

申請地點涉及 2 個私家車停車位及 2 個中型貨車及重型貨車車位臨時上落貨位，申請地點設有一個出入口，申請地點內亦有足夠空間供車輛行駛，貨車不會以倒車方式進入。擬議發展不會對附近交通造成不良影響，不會構成道路安全問題。

## **4. 環境方面**

申請人會按照環保署對臨時物流中心的指引，將對周邊環境的影響減到最低。

## **5. 空氣方面**

申請地點是臨時物流中心，不涉及任何機械加工，不會對空氣造成污染。

## **6. 噪音方面**

申請地點是臨時物流中心，只在星期一至日上午 9 時至下午 7 時 ( 不包括公眾假期 )；而附近主要都貨倉等用途，甚少民居，不會為居民帶來重大的噪音影響。

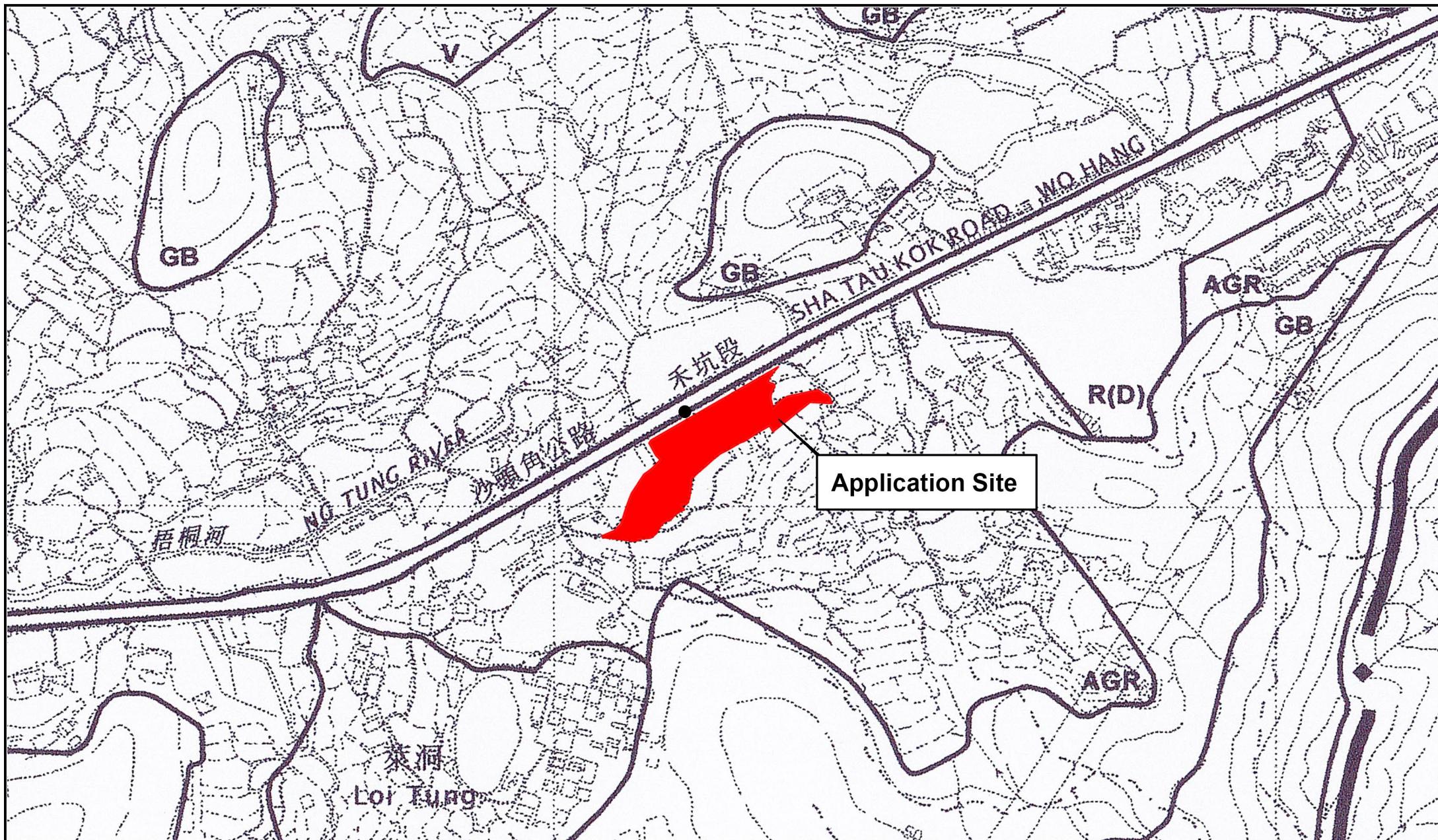
## **7. 渠務方面**

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

## 8. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，  
並承諾在規劃許可到期後，還原申請地點，懇請城市規劃委員會寬大批准  
新界沙頭角丈量約份第 38 約地段第 25 號（部分）、第 26 號（部分）及  
第 27 號（部分）、丈量約份第 46 約地段第 804 號（部分）、第 806 號、  
第 807 號、第 808 號、第 809 號、第 811 號、第 812 號、第 813 號、  
第 823 號 B 分段餘段、第 824 號 B 分段餘段、第 825 號、第 826 號（部  
份）、第 827 號、第 828 號 B 分段餘段和毗連政府土地作為期不超過三年  
的臨時物流中心及相關填土工程。



Project 項目名稱:

Proposed Temporary Logistics Centre and Associated Filling of Land for a Period of Three Years at Lots 25 (Part), 26 (Part) and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826(Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories

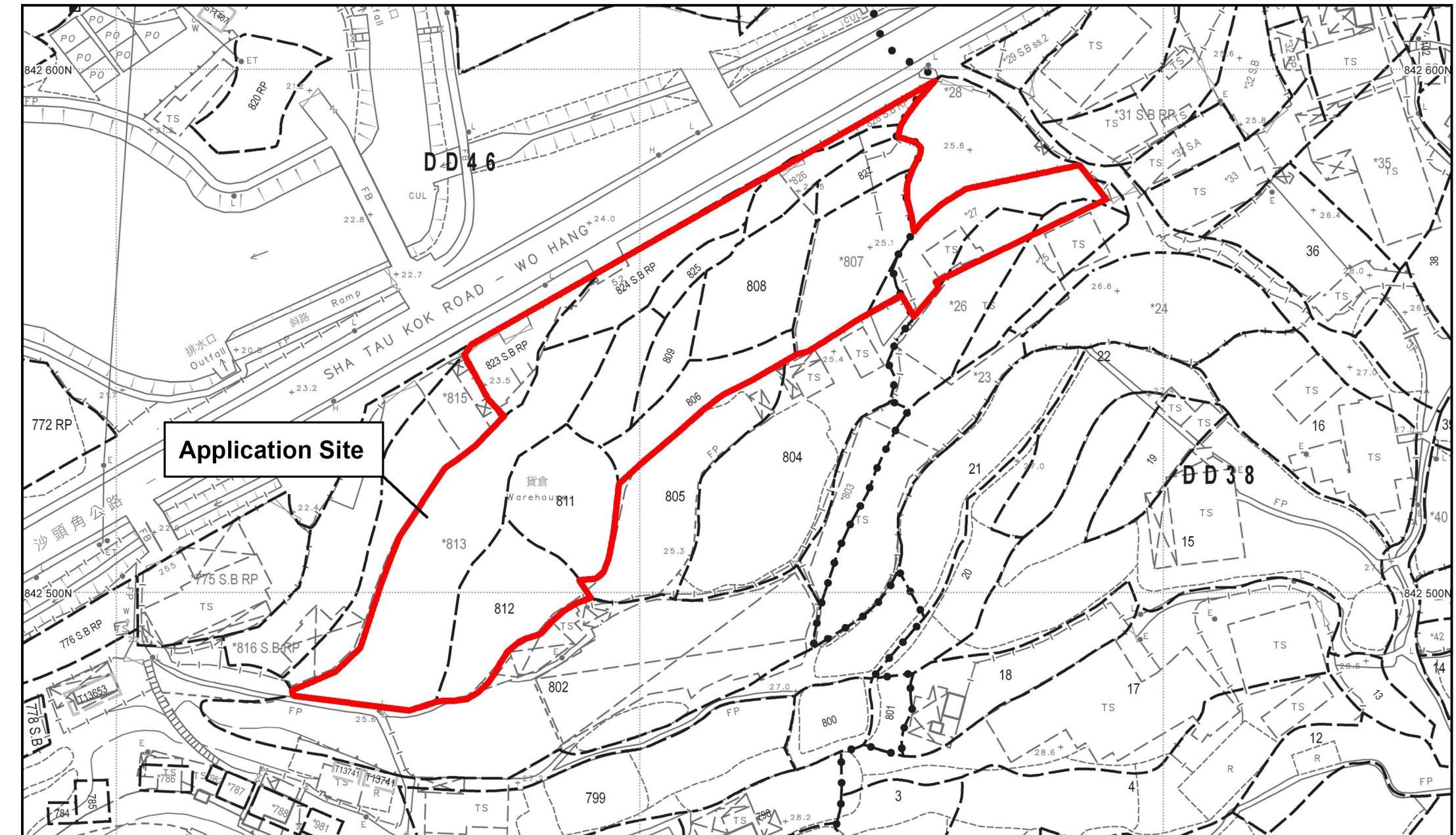
Drawing Title 圖紙標題:

Location Plan

Drawing No. 圖號:

Remarks 備註:

●●● Vehicular access leading from Sha Tau Kok Road - Wo Hang



Project 项目名称:

Proposed Temporary Logistics Centre and Associated Filling of Land for a Period of Three Years at Lots 25 (Part), 26 (Part) and 27 (Part) in D.D. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories

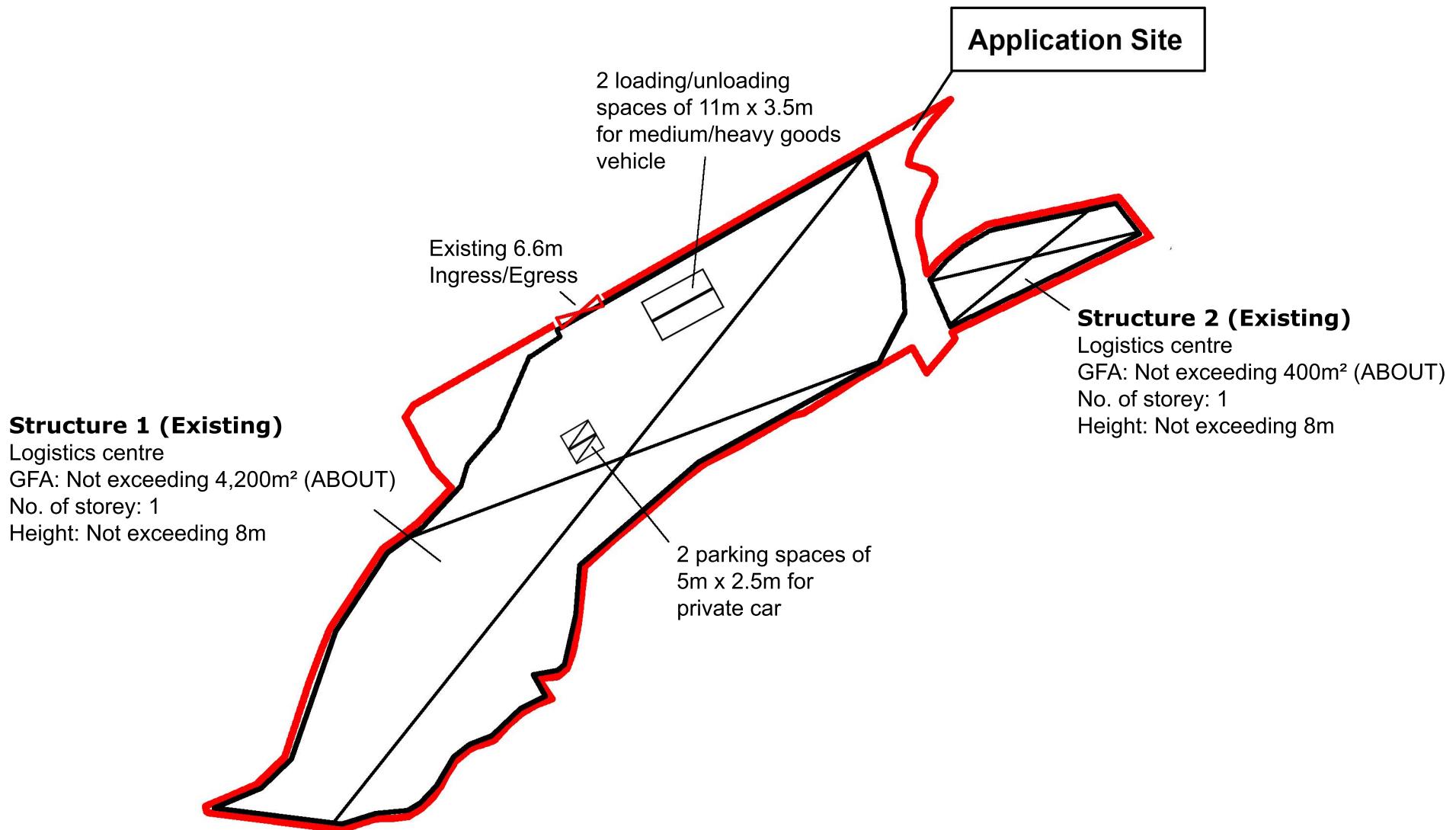
Drawing Title 圖紙標題:

Site Plan

Drawing No. 圖號:

Remarks 備註:

Application Site



Project 項目名稱:

Proposed Temporary Logistics Centre and Associated Filling of Land for a Period of Three Years at Lots 25 (Part), 26 (Part) and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories

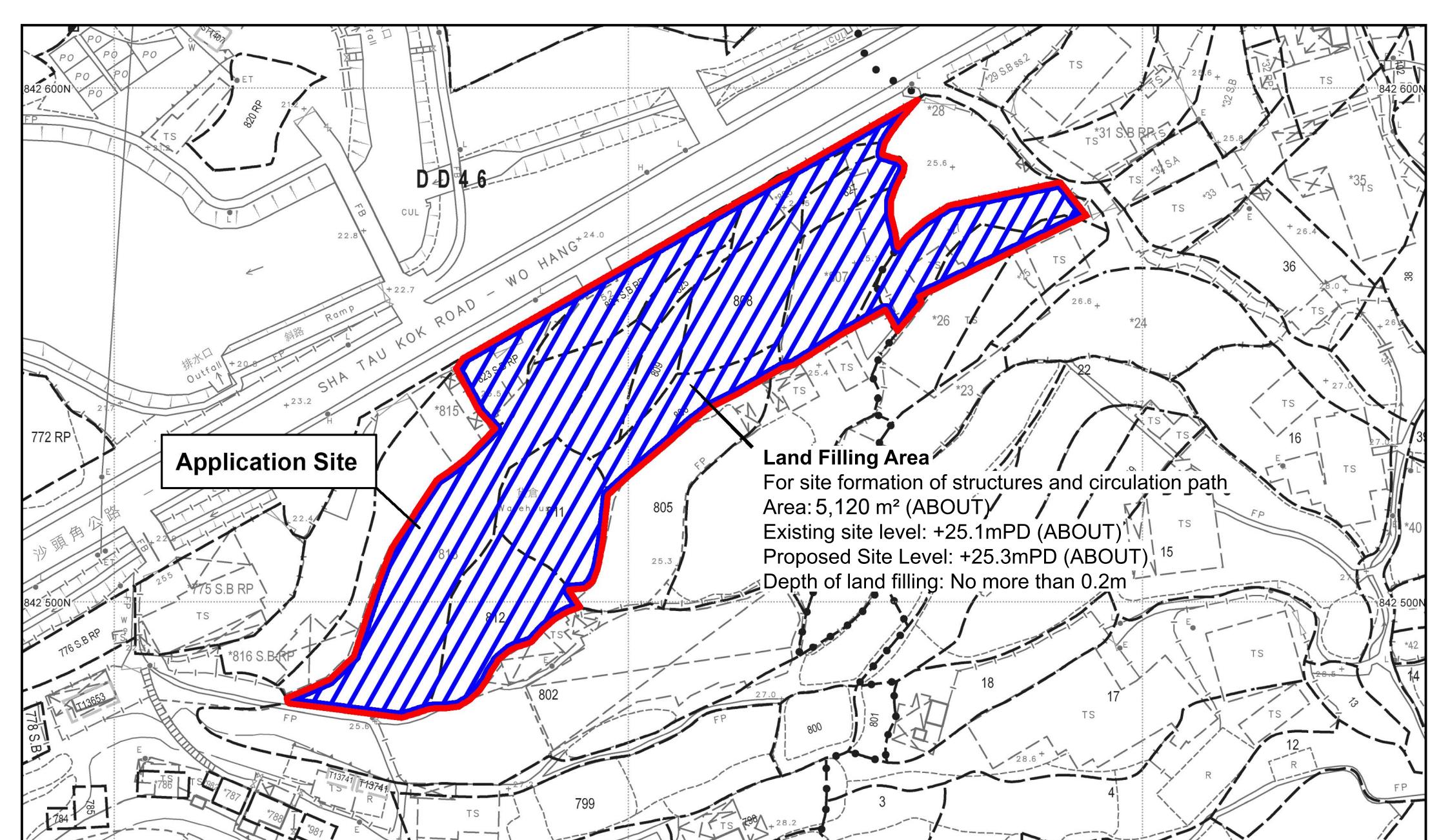
Drawing Title 圖紙標題:

Layout Plan

Drawing No. 圖號:

Remarks 備註:

-  Private car parking Space
-  Medium/heavy goods vehicle
-  Structure



 <p>Allgain Land Planning 全堅土地規劃</p>	<p>Project 项目名稱:</p> <p>Proposed Temporary Logistics Centre and Associated Filling of Land for a Period of Three Years at Lots 25 (Part), 26 (Part) and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and Adjoining Government Land (GL), Sha Tau Kok, New Territories</p>	<p>Drawing Title 圖紙標題:</p> <p>Paved Ratio Plan</p>	<p>Remarks 備註:</p> <p>■ Application Site</p> <p>■ Land Filling Area</p>
		<p>Drawing No. 圖號:</p>	

有關第 16 條規劃申請編號

擬議申請用途：擬議臨時物流中心及相關填土工程（為期 3 年）

**預計 中型貨車及重型貨車 進出流量報告**  
( 星期一至星期六，不包括公眾假期 )

時間	進入 ( 輛 )	離開 ( 輛 )
9 : 00 - 10 : 00	0	0
10 : 00 - 11 : 00	1	0
11 : 00 - 12 : 00	0	0
12 : 00 - 13 : 00	0	0
13 : 00 - 14 : 00	0	0
14 : 00 - 15 : 00	0	1
15 : 00 - 16 : 00	0	0
16 : 00 - 17 : 00	0	0
17 : 00 - 18 : 00	0	0
18 : 00 - 19 : 00	0	0

有關第 16 條規劃申請編號

擬議申請用途：擬議臨時物流中心及相關填土工程（為期 3 年）

預計 私家車 進出流量報告  
( 星期一至星期六，不包括公眾假期 )

時間	進入 ( 輛 )	離開 ( 輛 )
9 : 00 - 10 : 00	1	0
10 : 00 - 11 : 00	0	0
11 : 00 - 12 : 00	0	0
12 : 00 - 13 : 00	1	0
13 : 00 - 14 : 00	0	1
14 : 00 - 15 : 00	0	0
15 : 00 - 16 : 00	0	0
16 : 00 - 17 : 00	0	1
17 : 00 - 18 : 00	0	0
18 : 00 - 19 : 00	0	0

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

**From:** Chong Hermose [REDACTED]  
**Sent:** Friday, November 14, 2025 3:34 PM  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** Brian Ching Hong CHAN/PLAND <bchchan@pland.gov.hk>  
**Subject:** A/NE-MUP/220 : 補充說明

城規會/規劃處：

有關規劃申請：A/NE-MUP/220 的補充說明，請查收。

如有什麼問題，請隨時和我聯絡。

謝謝。

Ms Chong  
( [REDACTED] )

## **A/NE-MUP/220 補充說明**

1. 由於申請地點早前涉及獲批准的規劃申請：A/NE-MUP/193，當中已批出填土工程，申請地點已完成填土工程。因此是次填土申請屬規範化申請，申請地點不會有額外的填土面積及範圍。
2. 申請地點的填土物料為混凝土，厚度不超過 20 公分。
3. 申請地點的填土主要用作平整土地、固定構築物及車輛通道。

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

**William Shu Tai WONG/PLAND**

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寄件者: Chong Hermose <[REDACTED]>  
寄件日期: 2025年12月30日星期二 14:44  
收件者: tpbpd/PLAND  
副本: William Shu Tai WONG/PLAND  
主旨: s16 : A/NE-MUP/220 -回應部門的意見 ( 請以此電郵為準\*\* )  
附件: DD 38 Lot 25 & 26\_測量圖.pdf; DD38\_25\_Layout\_Plan\_20251230.pdf; 申請表格\_P.5.pdf;  
申請表格\_P.11.pdf; 附件1 : A\_NE-MUP\_220\_Temporary Drainage Proposal.pdf; 附件2 :  
A\_NE-MUP\_220\_FS Plan.pdf; 附件3.pdf; A\_NE-MUP\_220\_回應部門意見\_20251230.pdf  
類別: Internet Email

城規會 / 規劃處 :

現附上規劃申請 : A/NE-MUP/220 回應部門的意見 , 請查收 。

這電郵將取代 2025 年 12 月 23 日 的電郵 , 謝謝 。

如有什麼問題 , 請隨時聯絡我 , 謝謝 。

Ms Chong  
([REDACTED])

**Temporary Logistics Centre and Associated Filling of Land  
Various Lots and Adjoining Government Land, Sha Tau Kok, N.T.  
( Application No. A/NE-MUP/220 )**

**Supplementary Information**

- 有關這個規劃申請，其中有 2 個地段 (Lot 25 and 26 in D.D. 38) 已進行分契  
請看附件的分地圖)，申請範圍和界線沒有改變，但有新的地段號碼，現時  
新的申請地點如下：

新界沙頭角丈量約份第 38 約地段第 25 號 A 分段、第 26 號 A 分段及第 27  
號 (部分)、丈量約份第 46 約地段第 804 號 (部分)、第 806 號、第  
807 號、第 808 號、第 809 號、第 811 號、第 812 號、第 813 號、第 823  
號 B 分段餘段、第 824 號 B 分段餘段、第 825 號、第 826 號 (部份)、第  
827 號、第 828 號 B 分段餘段和毗連政府土地

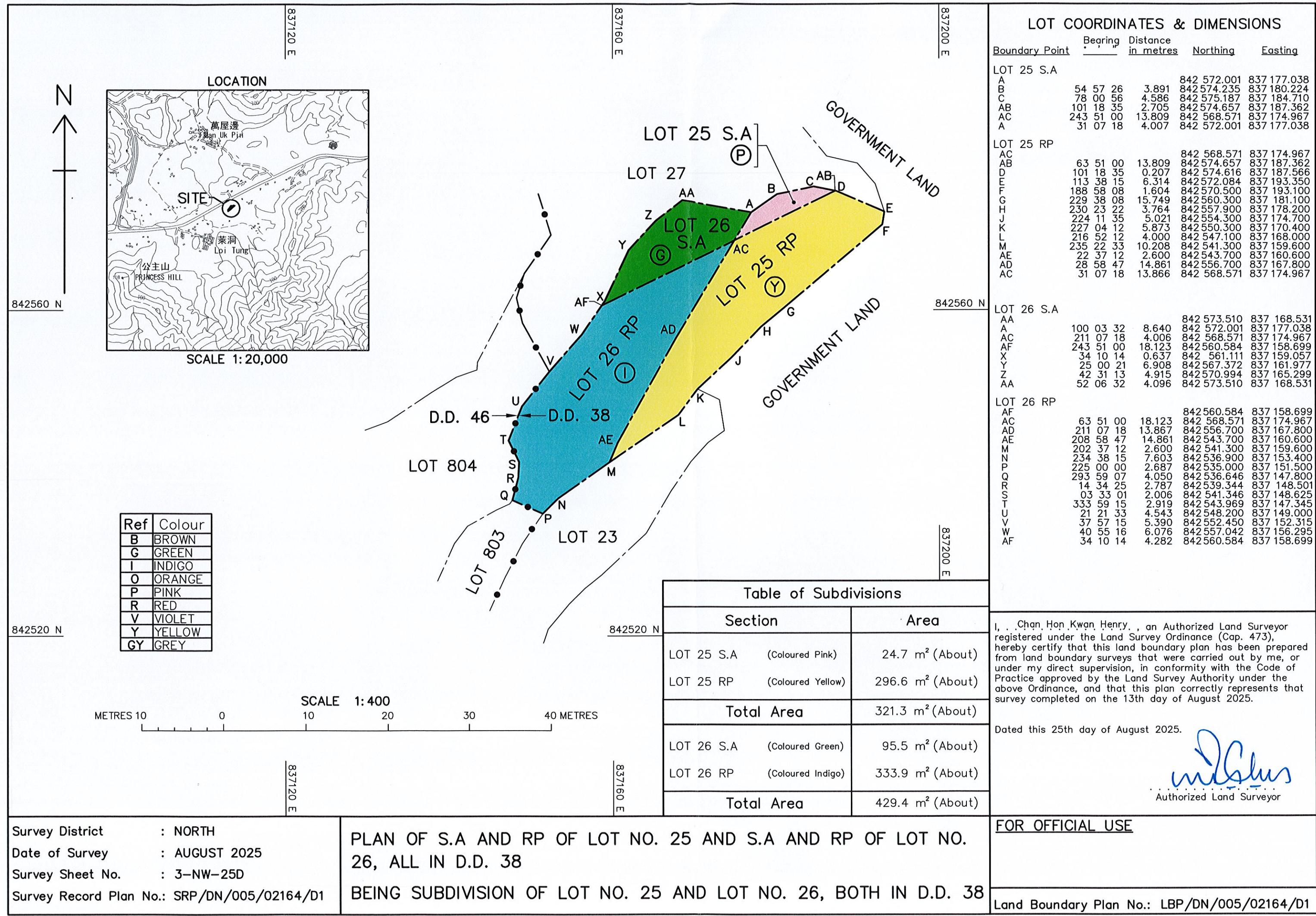
Lots 25 S.A, 26 S.A and 27 (Part) in DD. 38, Lots 804 (Part), 806, 807, 808, 809, 811,  
812, 813, 823 S.B RP, 824 S.B RP, 825, 826 (Part), 827, 828 S.B RP in D.D. 46 and  
Adjoining Government Land (GL), Sha Tau Kok, New Territories

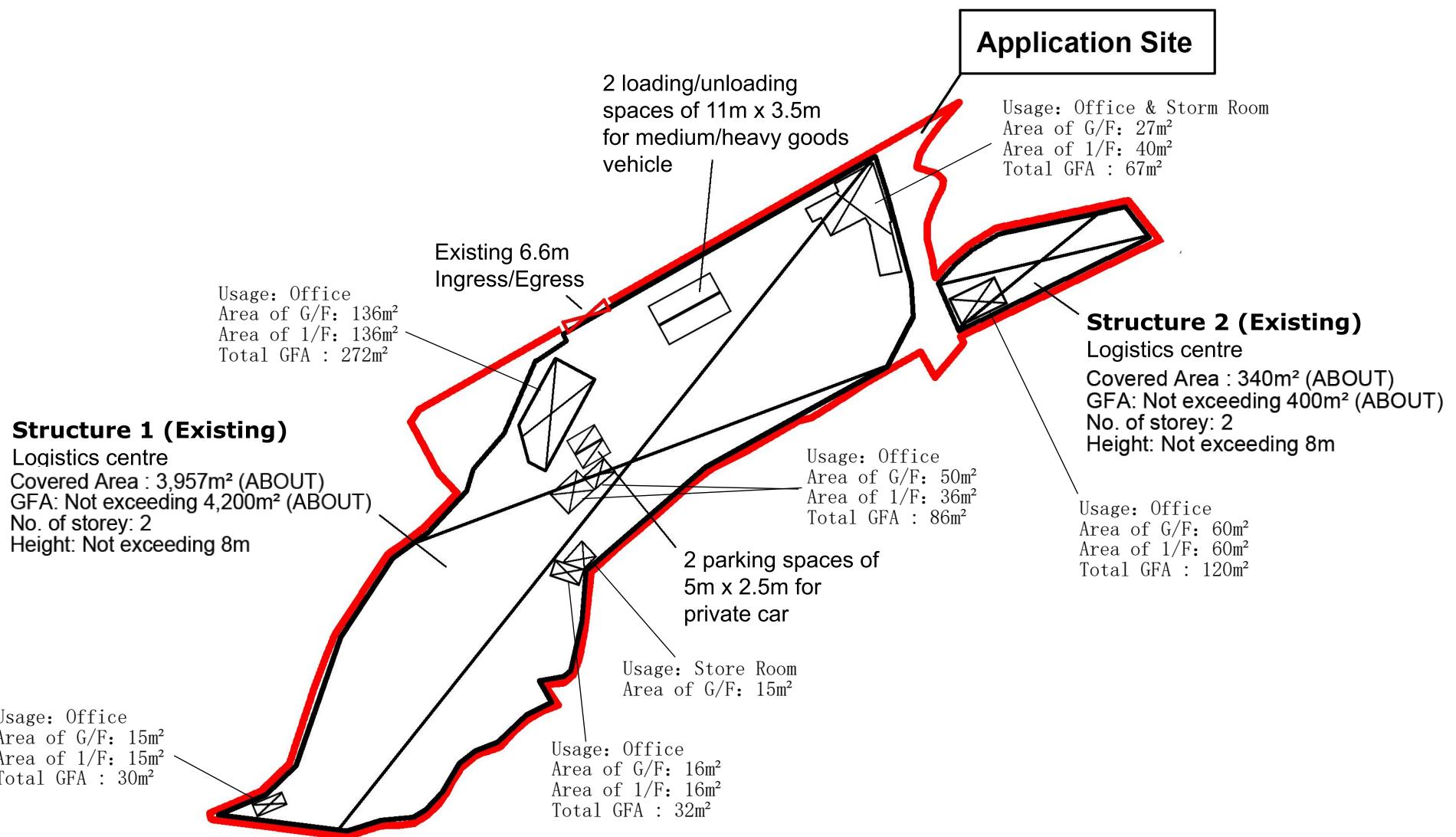
- 申請地點涉及一個先前的規劃申請：A/NE-MUP/193，由於之前因為早前申請人未能如期履行規劃許可附帶的規劃條件（未能落實車輛通道出入口、渠務工程及消防工程；車輛通道出入口建議、排水建議書及消防裝置的建議書已遞交），在 18 個月後申請就被撤銷，不夠時間落實車輛通道出入口、渠務工程及消防工程，於是申請人重新提交本申請 (A/NE-MUP/220) 以要求城市規劃委員會批准為期三年的規劃許可，希望貴處能重新考慮，申請人承諾這次會履行所有附帶條件，並遞交排水建議書（附件 1）、消防裝置的建議書（附件 2），以及落實車輛通道出入口的文件（請看附件 3），並已找承建商落實渠務和消防工程。
- 申請地點的東南邊有少許範圍和規劃申請 A/NE-MUP/215 重疊，申請人知悉並會和業主再協商。
- 如獲城規會批准後，申請人確認現場會按照批准的 Layout 執行。

**Temporary Logistics Centre and Associated Filling of Land  
Various Lots and Adjoining Government Land, Sha Tau Kok, N.T.  
( Application No. A/NE-MUP/220 )**

Table A: Responses to Departmental Comments

	<b>Departmental Comments</b>	<b>Responses</b>
	Comment from EPD	
(1)	<p>It is noted that 6-8 staff will be working on the site during operating hours . The applicant should advise whether any sewage treatment facilities will be provided within the site and provide detailed information for their reference.</p>	申請地點內設有洗手間讓職員使用，也已設置化糞池，並會安排清潔公司定期來吸糞。





## 6. Type(s) of Application 申請類別

### (A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	擬議臨時物流中心及相關填土工程 Proposed Temporary Logistics Centre and Associated Filling of Land  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 ..... <input type="checkbox"/> month(s) 個月 ..... .

### (c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	823 ..... sq.m	□ About 約
Proposed covered land area 擬議有上蓋土地面積	4297 ..... sq.m	□ About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	2 .....	
Proposed domestic floor area 擬議住用樓面面積	0 ..... sq.m	□ About 約
Proposed non-domestic floor area 擬議非住用樓面面積	4600 ..... sq.m	□ About 約
Proposed gross floor area 擬議總樓面面積	4600 ..... sq.m	□ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

構築物1：臨時物流中心，2層高，上蓋面積約3957平方米，總樓面面積約4200平方米，高度不多於8米。  
 構築物2：臨時物流中心，2層高，上蓋面積約340平方米，總樓面面積約400平方米，高度不多於8米。  
 .....  
 .....  
 .....

### Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	2 .....
Motorcycle Parking Spaces 電單車車位	0 .....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0 .....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0 .....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0 .....
Others (Please Specify) 其他 (請列明)	0 .....

### Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0 .....
Coach Spaces 旅遊巴車位	0 .....
Light Goods Vehicle Spaces 輕型貨車車位	0 .....
Medium Goods Vehicle Spaces 中型貨車車位	0 .....
Heavy Goods Vehicle Spaces 重型貨車車位	0 .....
Others (Please Specify) 其他 (請列明)	2個中型貨車及重型貨車車位 .....

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Non-domestic 非住用	4600 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.898 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Domestic 住用	0	0
(iii) Building height/No. of storeys 建築物高度／層數	Non-domestic 非住用	2	
	Domestic 住用	0 <input type="checkbox"/> (Not more than 不多於) 0 <input type="checkbox"/> Storeys(s) 層	<sup>m</sup> 米 <sup>m</sup> 米
(iv) Site coverage 上蓋面積	Non-domestic 非住用	8 <input checked="" type="checkbox"/> (Not more than 不多於) 2 <input checked="" type="checkbox"/> (Not more than 不多於)	<sup>m</sup> 米 <sup>m</sup> 米
		83.9 %	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)  _____ _____	2 2 0 0 0 0 0	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)  2個中型貨車及重型貨車車位 _____	2 0 0 0 0 0 0	

# **TEMPORARY DRAINAGE PROPOSAL**

**APPLICATION SITE OF PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AND FILLING OF LANDS AT LOT 25 (PART), 26 (PART) & 27 IN D.D.38, LOTS 802 (PART), 804 (PART), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP IN D.D.46 AND ADJOINING GOVERNMENT LAND, SHA TAU KOK, NEW TERRITORIES**

Application No.:

Project No.: ALPL/TDM/001

Revision No.: 0

20 October 2024

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## 2 Introduction

### 2.1 Background

This report presents the Drainage Proposal for supporting the Proposed Temporary Logistics Centre for a Period of 3 Years at and filling of lands a Lot 25(part), 26(part) & 27 in D.D.38, Lots 802(part), 804(part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and adjoining government land, Sha Tau Kok, New Territories.

### 2.2 Objectives of the Report

This report shall be prepared to include the following:

- Identify the potential drainage impact assessment from the proposed Application Site
- Recommend and implement all necessary measures to mitigate adverse drainage impacts arising from the application site

### 2.3 Report Structure

The report contains the following sections:

- Section 1 on Introduction;
- Section 2 on Development Proposal;
- Section 3 on Assessment Criteria;
- Section 4 on Potential Drainage Impact; and
- Section 5 on Conclusion.

## 3 Development Proposal

### 3.1 Location of the Application Site

The application Site is located within the Sha Tau Kok, with an area of around 5240m<sup>2</sup> (including Government Land of about 228m<sup>2</sup>) and ground level varying between + 23.5mPD and + 26.6mPD. The layout plan is provided in **Appendix B**.

This application site is "Agriculture" zoning, the type of application is the Temporary Use/Development in Rural Areas for a Period of 3 Years.

There is a existing Drainage Service Department 900mm diameter U-channel (feature no.: SUP1022140) vicinity of the application site, with reference to Geoinfo Map, the location and site photos of the existing U-channel are provided in **Appendix C**.

## 4 Assessment Criteria

### 4.1 Design Return Periods

The drainage system in the Application site is to collect surface flows and convey to downstream village drain. The recommended design return periods based on the flood levels for the various drainage systems depend on the drainage system, land use, hazard to public safety and community expectations.

The recommended design return period is reproduced in Table 4-1 below:

DESCRIPTION	DESIGN RETURN PERIODS
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage including internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 4-1 Recommended Design Return Periods based on Flood Levels

As per Storm Drainage Manual (SDM) Section 6.6.2 Urban Drainage Branch and Urban Drainage Trunk Systems “An ‘Urban Drainage Branch System’ is defined as a group or network of connecting drains collecting runoff from the urban area and conveying stormwater to a trunk drain, river or sea. For a simple definition, the largest pipe size or the equivalent diameter in case of a box culvert in a branch system will normally be less than 1.8m.

An ‘Urban Drainage Trunk System’ collects stormwater from branch drains and/or river inlets, and conveys the flow to outfalls in river or sea. Pipes with size or diameter equal to or larger than 1.8m are normally considered as trunk drains.”

As per SDM, since the proposed U-channels are sized smaller than 1.8m, the drainage system would be defined as an urban drainage branch with recommended design return period of 50 years.

The 50 years design return period will be considered to ensure adequacy of the stormwater drainage system.

## 4.2 Calculation Methodology for Runoff

Peak instantaneous runoff values before and after the development were calculated based on the Rational Method and with recommended physical parameters including runoff coefficient (C) and storm constants for different return periods referred to the SDM, based on the following equation:

$$Q_p = 0.278 C i A$$

where

$Q_p$	=	Peak Runoff, $\text{m}^3/\text{s}$
$C$	=	Runoff Coefficient
$i$	=	Rainfall Intensity, $\text{mm/hr}$
$A$	=	Catchment Area, $\text{km}^2$

The paved area of the site will account for 5240m<sup>2</sup>. For conservative, the runoff coefficient of 0.9 is assumed, such that the all the run-off would be collected from the catchment area without any infiltration as the critical scenario.

Based on the storm constants for 50-year return period recommended in the SDM, the appropriate rainfall intensities (i) are calculated as detailed in Appendix D

## 4.3 Calculation Methodology for Pipe Capacity Checking

Due to the catchment areas are less than 1ha, U-channels are recommended to be constructed to collect the stormwater runoff of the open area within the site. For the catchment area within the roofing of the one-story warehouse, stormwater would be collected by the gutter, and then be diverted to U-channel system at ground level via downpipe. The collected stormwater should finally be diverted to the downstream via the proposed U-channel system.

For the worst-case scenario, bad condition of concrete pipe is assumed for the Manning's roughness coefficient (coefficient value is 0.016) for calculating capacities of concrete U-channel using Manning's Equation.

Manning's Equation for calculating the channel and pipe capacities is adopted.

# 5 Potential Drainage Impact

## 5.1 Existing Site Condition

The application Site is located within the Sha Tau Kok with an area of around 5240m<sup>2</sup> and ground level varying between + 23.5mPD and + 26.6mPD.

## 5.2 Changes in Drainage Characteristics

Since the ground level of application site is generally higher than the adjacent ground surface. No external catchment shall be considered in the calculation.

The characteristics of the sub-catchment areas are altered due to the proposed application, which are changed from unpaved site area to paved area. The change in sub-catchment is summarized in Table 5-1.

	Before	After
Grassland (m <sup>2</sup> )	0	0
Paved Area (m <sup>2</sup> )	5240	5240
External Catchment Area(m <sup>2</sup> )	0	0
Total Catchment Area (m <sup>2</sup> )	5240	5240

Table 5-1 Change in sub-catchment within the site

## 5.3 Potential Drainage Impact

The details of the proposed drainage works are illustrated in **Appendix C**.

To effectively convey stormwater away from the application site and minimize the potential impact to the drainage infrastructure of the village area, drainage works consists of U-channels, are proposed to convey the stormwater runoff to the terminate catchpit with sand trap (TCP).

The runoff within application site divided to two portion, roofing area and open area. For the roofing area runoff, it collected by surrounding gutter and then be conveyed to the U-channel system by the 150mm dia. downpipe to the ground level U-channel system. For the open are of the application site, runoff would be collected by 300mm U-channels along the open area and convey to the terminate catchpit with sand trap (TCP), before discharge to the existing DSD 900mm dia. U-channel at the northwest direction of the application site, and eventually discharge to the further downstream as indicated in the **Appendix C**.

The 4nos. of 300 mm U-channel receives stormwater from the open area and roofing area. For Conservative, the critical scenario is considered for collecting all the flow leading to the 300mm U-channel. The design calculation of the proposed drainage is provided in **Appendix D**. The design calculation is summarized in Table 4-2.

Drainage System	Estimated Flow (L/min)	Capacity (L/min)	Reserve Capacity
300mm u-channel U1	1062.5	7000	85%
300mm u-channel U2	1793.6	7000	74%
300mm u-channel U3	1509.6	7000	78%
300mm u-channel U4	2524.7	7000	64%

Table 4-2 Design calculation of the proposed drainage work

## TEMPORARY DRAINAGE PROPOSAL

1. Rainfall increase due to climate change at the end of 21st century is considered according to stormwater drainage manual Table 28.
2. The reserve capacity is calculated by assuming that the U-channel reach its full capacity.

The design runoff arise from the proposed Application Site is to be discharged into the proposed terminate catchpit with the runoff anticipated to be 1062.5-2524.7L/min, which is within the drainage capacity of the proposed 300mm u-channel of 7000L/min, the minimum reserve capacity is 64%.

It is considered that the drainage discharge from the Application Site will not cause adverse impact to the entire downstream drainage system.

All u-channels & catch pits will be constructed according to the CEDD's standard drawings, please refer to the **Appendix E**.

## 6 Construction Stage

### 6.1 Temporary Drainage Arrangements

Proper measures shall be taken to maintain the existing drainage characteristics of the catchment areas and to minimize drainage impacts associated with the construction works. The principal drainage impacts which are associated with construction of the works have been identified as follows:

- (i) Erosion of ground materials;
- (ii) Sediment transportation to existing downstream drainage system; and
- (iii) Obstruction to drainage systems.

Regular inspections shall be carried out to ensure integrity of the works. These inspections shall cover works under construction as well as recently completed areas.

To ensure proper operation of the site drainage channels and desilting facilities, inspection of the perimeter drains shall be carried out on a weekly basis and the desilting facilities shall be cleaned on a daily basis.

If excavated materials are not possible to transport away the excavated material within the same day, the material should be covered by tarpaulin/impervious sheets. Stockpiles of construction materials (for examples aggregate, fill materials) of more than 50 m<sup>3</sup> in an open area shall also be covered with tarpaulin or similar fabric during rainstorms.

## TEMPORARY DRAINAGE PROPOSAL

All runoff discharged into the existing drainage system will be settled in a silt trap to ensure no sediment will be discharged into the channel. Silt traps will normally be provided along the site drainage immediately upstream of the proposed discharge point to the existing Site. The silt traps will be inspected daily and immediately after each rainstorm.

Liaison will be carried out with relevant parties regarding temporary drainage arrangements to ensure that the drainage system is functioning adequately.

## 7 Conclusions

### 7.1 Conclusions

The analysed catchment area of 5240m<sup>2</sup> consists of the site area of the proposed Application Site only and no external catchment area had been identified.

U-channels are proposed to convey runoff from the application site for collection. The proposed U-channels are located along the open area and receive the stormwater from the roofing area which is subject to change to suit the building layout.

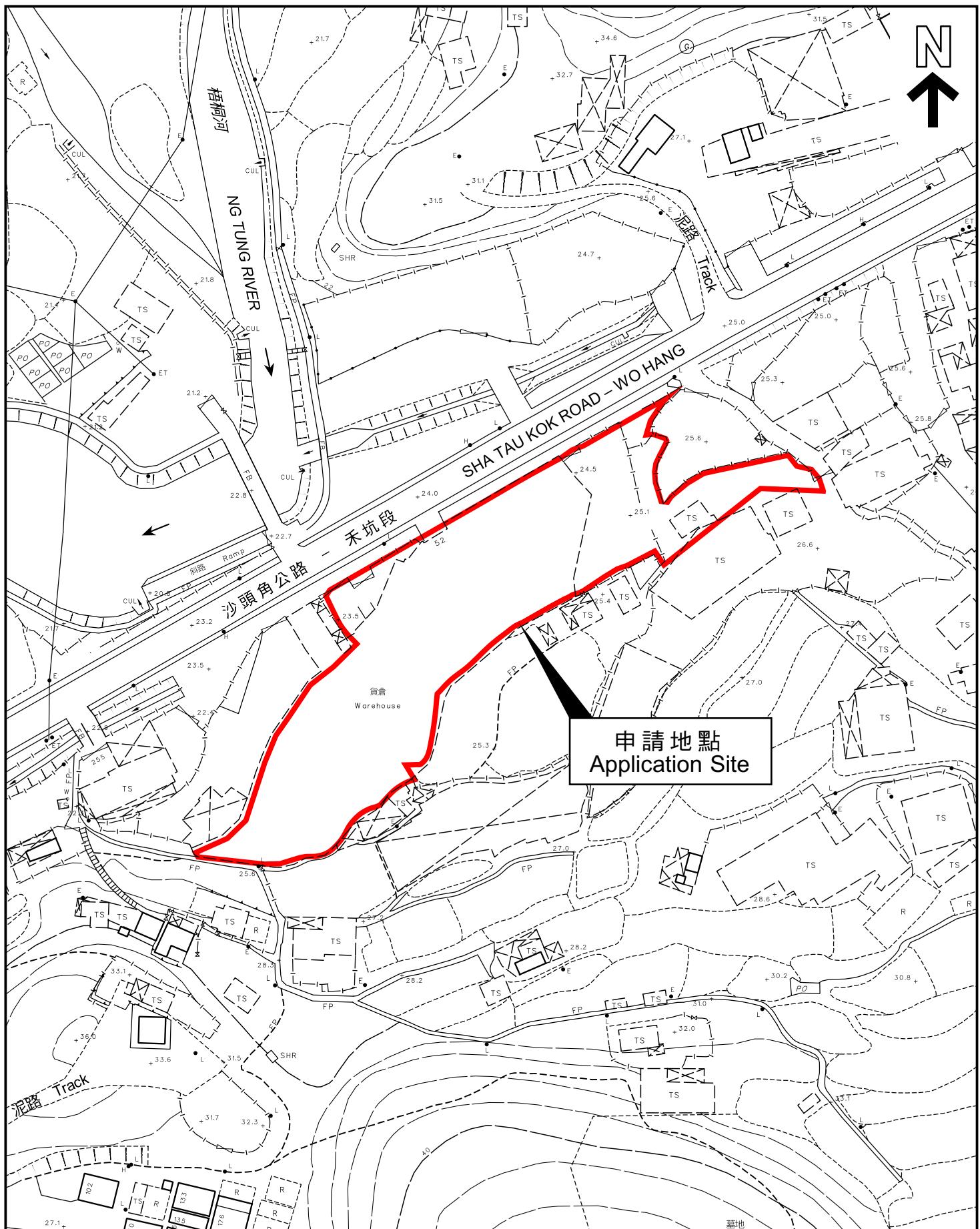
The assessment reviews the drainage pipe have the sufficient capacity to cater for the drainage flow from the Application Site.

Mitigation measures are proposed during the construction period and to ensure that the existing drainage system within the site will not be affected during the construction stage.

TEMPORARY DRAINAGE PROPOSAL

**APPENDIX A**

**SITE LAYOUT PLAN**



平面圖 SITE PLAN

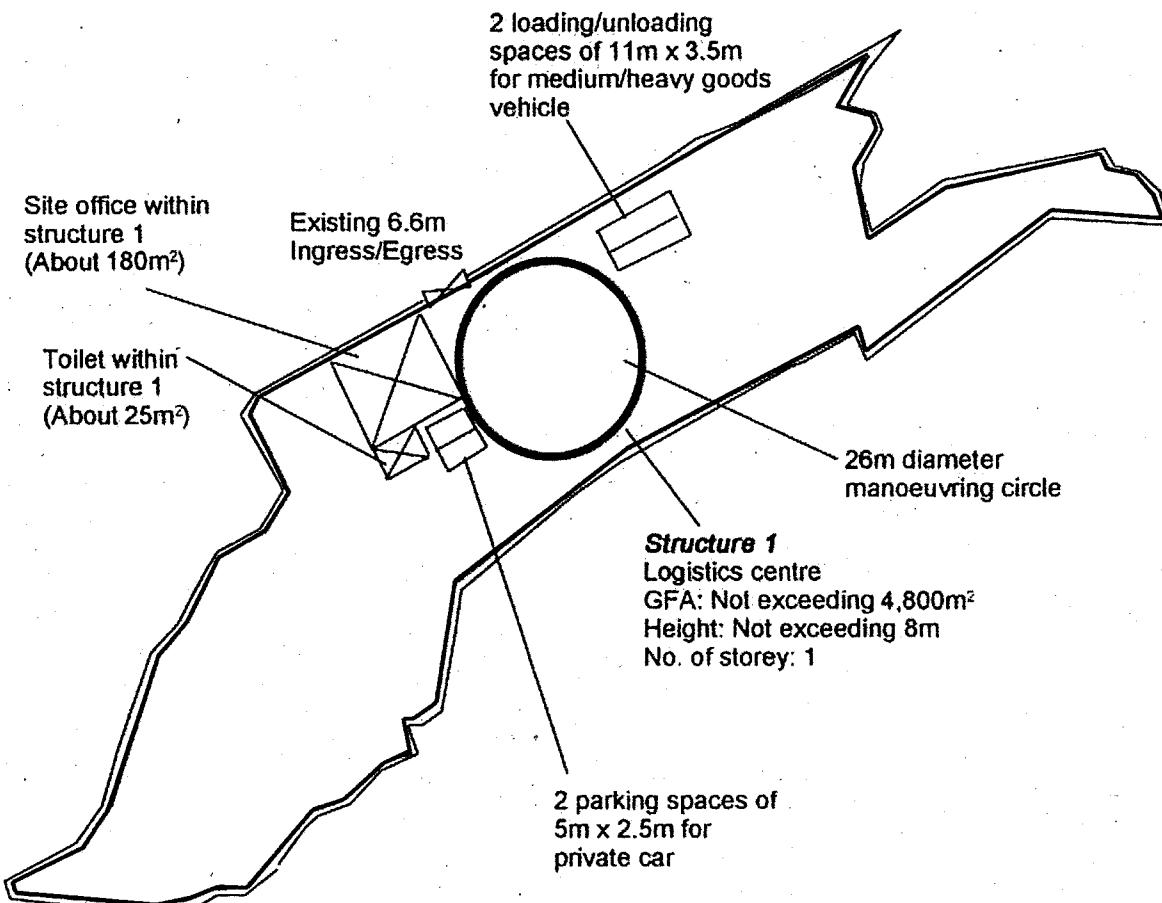
本摘要圖於2023年8月21日擬備，  
所根據的資料為測量圖編號  
3-NW-25B及25D  
EXTRACT PLAN PREPARED ON 21.8.2023  
BASED ON SURVEY SHEETS No.  
3-NW-25B & 25D

申請地點界線只作識別用  
APPLICATION SITE BOUNDARY  
FOR IDENTIFICATION PURPOSE ONLY  
  
參考編號  
REFERENCE No.  
A/NE-MUP/193

**APPENDIX B**

**LAYOUT PLAN**

N  
▲



申請編號 Application No. : A / NE-MUP / 193

此頁摘自申請人提交的文件。

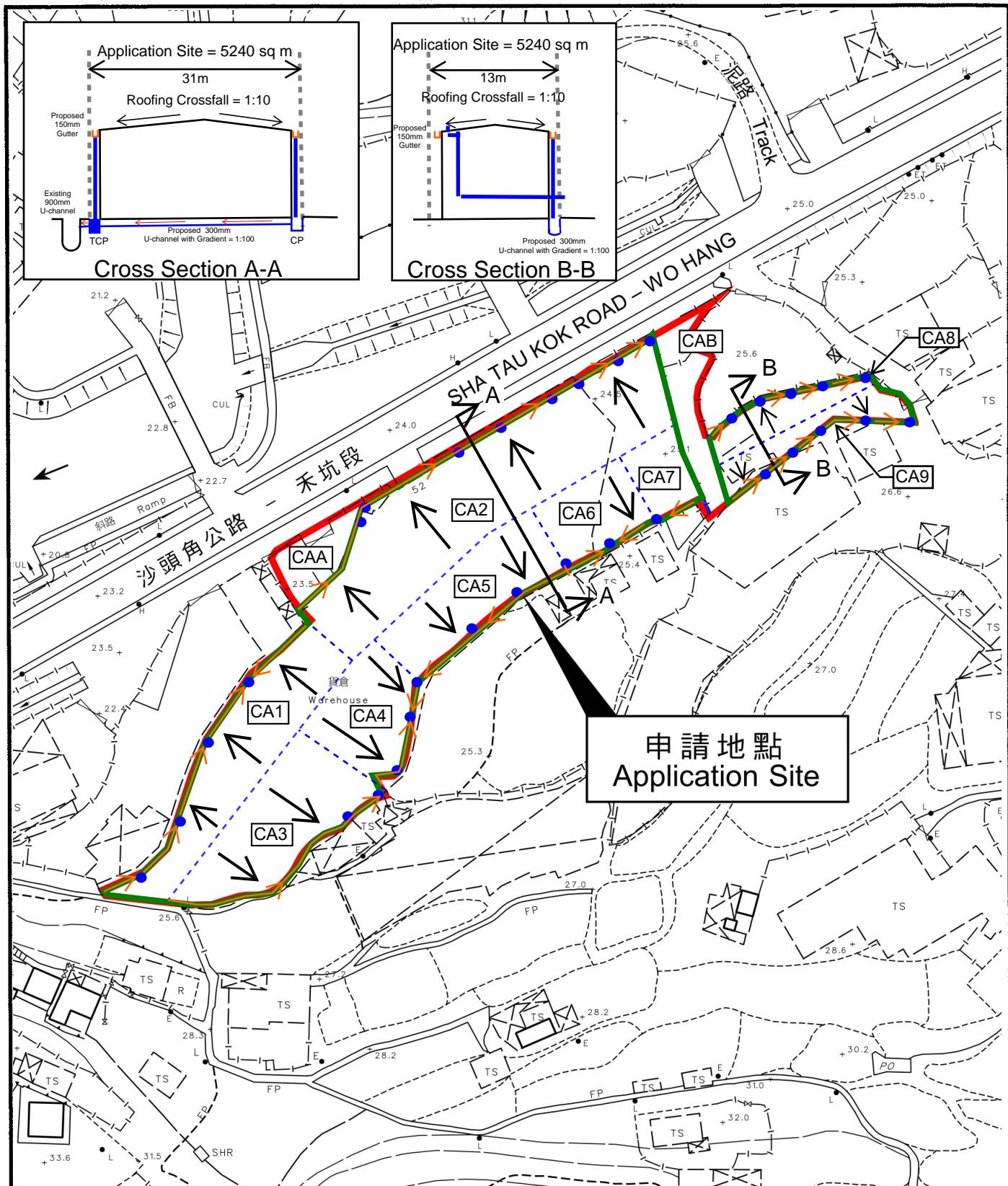
This page is extracted from applicant's submitted documents.

Project 項目名稱:  Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) & 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.	Drawing Title 畫目:  Proposed Layout Plan	Remarks 備註:  <input type="checkbox"/> Structre 1
Drawing No. 圖號:  Figure 2	Scale 比例:  1:1000	

## TEMPORARY DRAINAGE PROPOSAL

### APPENDIX C

#### PROPOSED DRAINAGE PLAN



Project 项目名称:

Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) & 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.

Drawing Title 圖目:

Proposed Drainage Layout Plan- Roof Level

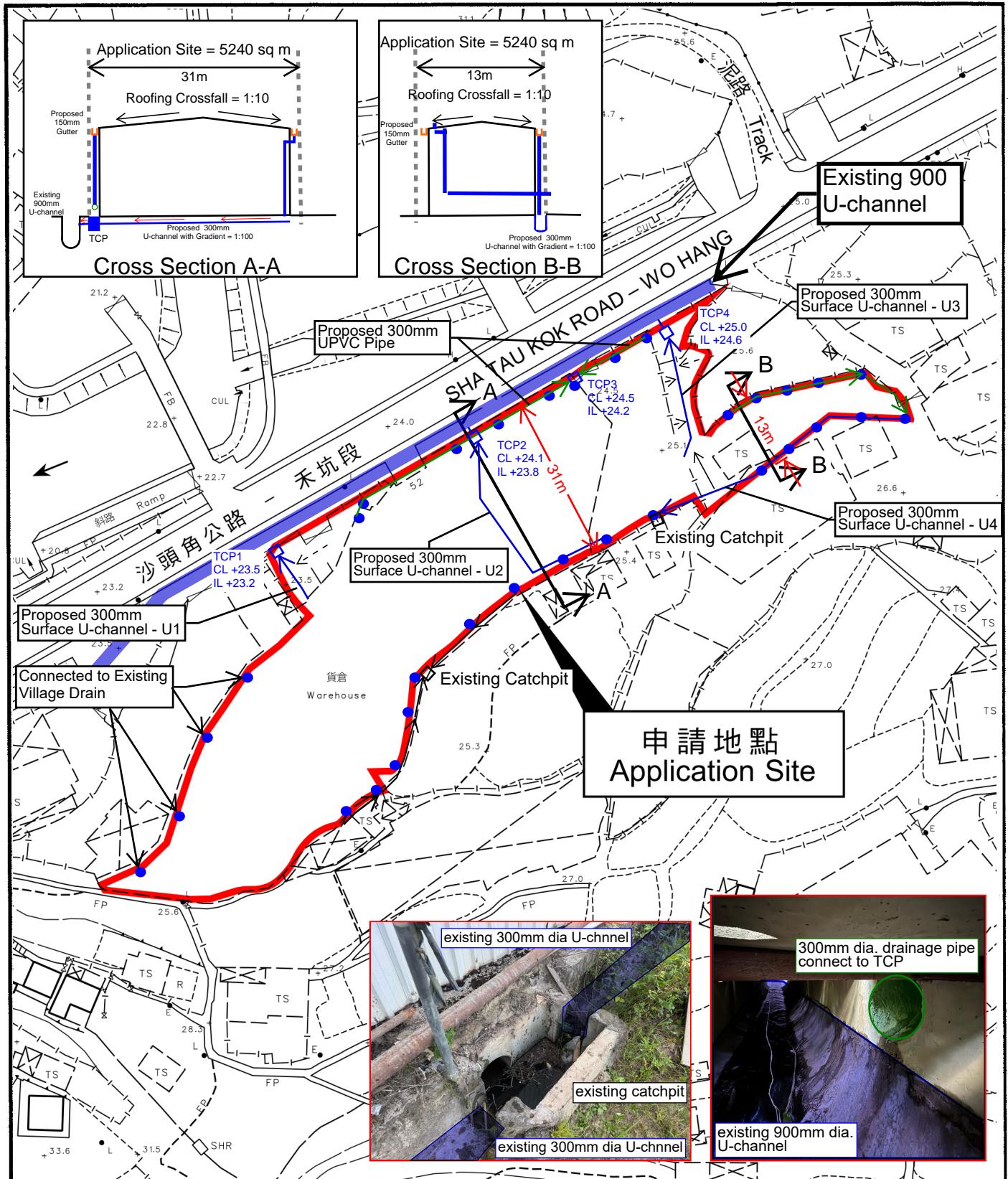
Remarks 備註:

- Roofing Area
- Fall of Roofing
- 150 mm Gutter
- Downpipe

Drawing No. 圖號:

Figure 6

Scale 比例:



<p>Project 項目名稱:</p> <p>Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25 (Part), 26 (Part) &amp; 27 in D.D.38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D.46 and Adjoining Government Land, Sha Tau Kok Road – Wo Hang Section, N.T.</p>	<p>Drawing Title 圖目:</p> <p>Proposed Drainage Layout Plan- Ground Level</p>	<p>Remarks 備註:</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Proposed Catch Pit</li> <li><input type="checkbox"/> Existing Catch Pit</li> <li><span style="color: black;">---</span> → Fall of Open Area</li> <li><span style="color: blue;">→</span> Proposed U channel</li> <li><span style="color: green;">→</span> UPVC Pipe Connect Downpipe and Catchpit</li> <li><span style="color: black;">●</span> Downpipe</li> </ul>
<p>Drawing No. 圖號:</p> <p>Figure 7</p>		<p>Scale 比例:</p>

## APPENDIX D

### DESIGN CALCULATION OF THE PROPOSED DRAINAGE SYSTEM

**PROJECT:** APPLICATION SITE OF PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS  
AND FILLING OF LANDS AT SHA TAU KOK, NEW TERRITORIES

**JOB NO :** ALPL/TDM/001

**TITLE :** *Temporary Drainage Design Calculation*

**Revision :** 0

**Date :** 18-Oct-24

**Prepare By:** JW

**DETERMINE THE CATCHMENT OF AREA**

CA1	=	746	(m <sup>2</sup> )
CA2	=	1546	(m <sup>2</sup> )
CA3	=	660	(m <sup>2</sup> )
CA4	=	399	(m <sup>2</sup> )
CA5	=	529	(m <sup>2</sup> )
CA6	=	307	(m <sup>2</sup> )
CA7	=	183	(m <sup>2</sup> )
CA8	=	209	(m <sup>2</sup> )
CA9	=	223	(m <sup>2</sup> )
CAA	=	182	(m <sup>2</sup> )
CAB	=	258	(m <sup>2</sup> )

**DETERMINE THE INLET TIME AND INTENSITY**

Section	A = Catchment of Area (m <sup>2</sup> )	Level of remote point (mPD)	Level of inlet point (mPD)	L (m)	H (m/100m)	t <sub>e</sub> = Time of Natural flow (min)	Assumed Flow (m/s)	t <sub>f</sub> (min)	t <sub>c</sub> (min)	I (mm/hr)	Remarks
1	CA1	746	33.1	31.7	14	10.00	0.66	1.5	0.16	0.81	390
2	CA2	1546	33.1	31.7	17	8.24	0.77	1.5	0.19	0.96	390
3	CA3	660	33.1	31.7	16	8.75	0.78	1.5	0.18	0.96	390
4	CA4	399	33.1	31.7	19	7.37	1.01	1.5	0.21	1.22	390
5	CA5	529	33.1	31.7	18	7.78	0.92	1.5	0.20	1.12	390
6	CA6	307	33.1	31.7	14	10.00	0.72	1.5	0.16	0.88	390
7	CA7	183	33.1	31.7	14	10.00	0.76	1.5	0.16	0.91	390
8	CA8	209	33.6	32.9	7.5	9.33	0.41	1.5	0.08	0.49	390
9	CA9	223	33.6	33.1	5.5	9.09	0.30	1.5	0.06	0.36	390
A	CAA	182	23.5	23.3	10.5	1.90	0.79	1.5	0.12	0.91	390
B	CAB	258	25.1	25.05	3	1.67	0.22	1.5	0.03	0.26	390

**Ref.: Brandsby Williams Equation**

Note:	t <sub>e</sub>	=	$\frac{0.14465L}{H^{0.2} \cdot A^{0.1}}$
	H	=	average slope (m per 100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration
	L	=	distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m).
	t <sub>f</sub>	=	Flow time = L / assumed flow velocity
	t <sub>c</sub>	=	Time of concentration = t <sub>f</sub> + t <sub>e</sub> (Min. t <sub>c</sub> = 1 min. for conservative design)
I = Intensity	=		Refer to the extracted Figure 8.2 - Curves Showing Duration and Intensity of Rainfall in H.K. for Various Return Periods (Geotechnical Manual for Slopes P.248)

### DETERMINE THE SIZE AND QUANTITIES OF DOWNPipe

1	2	3	4	5	6	7	8	9	10
Section No.	Dia. of Downpipe (m)	Sectional Area of Gutter (m <sup>2</sup> )	v (m/s)	No. of Downpipe Provided	Capacity (l/min)	A (m <sup>2</sup> )	I (mm/hr)	Runoff (l/min)	Remark
CA1	0.15	0.02	2.00	4	8482	746	390	4366	O.K.
CA2	0.15	0.02	2.00	8	16965	1546	390	9042	O.K.
CA3	0.15	0.02	2.00	2	4241	660	390	3861	O.K.
CA4	0.15	0.02	2.00	2	4241	399	390	2335	O.K.
CA5	0.15	0.02	2.00	3	6362	529	390	3093	O.K.
CA6	0.15	0.02	2.00	2	4241	307	390	1794	O.K.
CA7	0.15	0.02	2.00	1	2121	183	390	1068	O.K.
CA8	0.15	0.02	2.00	5	10603	209	390	1220	O.K.
CA9	0.15	0.02	2.00	5	10603	223	390	1304	O.K.

Note: v = Velocity of flow in downpipe  
A = Catchment Area  
K = Runoff coefficient = 0.9 refer to Character of Surface (refer DSD(2013))

### DETERMINE THE RUNOFF OF OPEN AREA

1	2	3	4	5	6	7	8
Section No.	Ldr (m)	Lh (m)	L (m)	Gradient (1 in)	Site area (m <sup>2</sup> )	I (mm/hr)	Runoff (l/min)
CAA	0.15	13.00	13.00	86.67	182	390	1062.5
CAB	0.40	36.00	36.00	90.00	258	390	1509.6

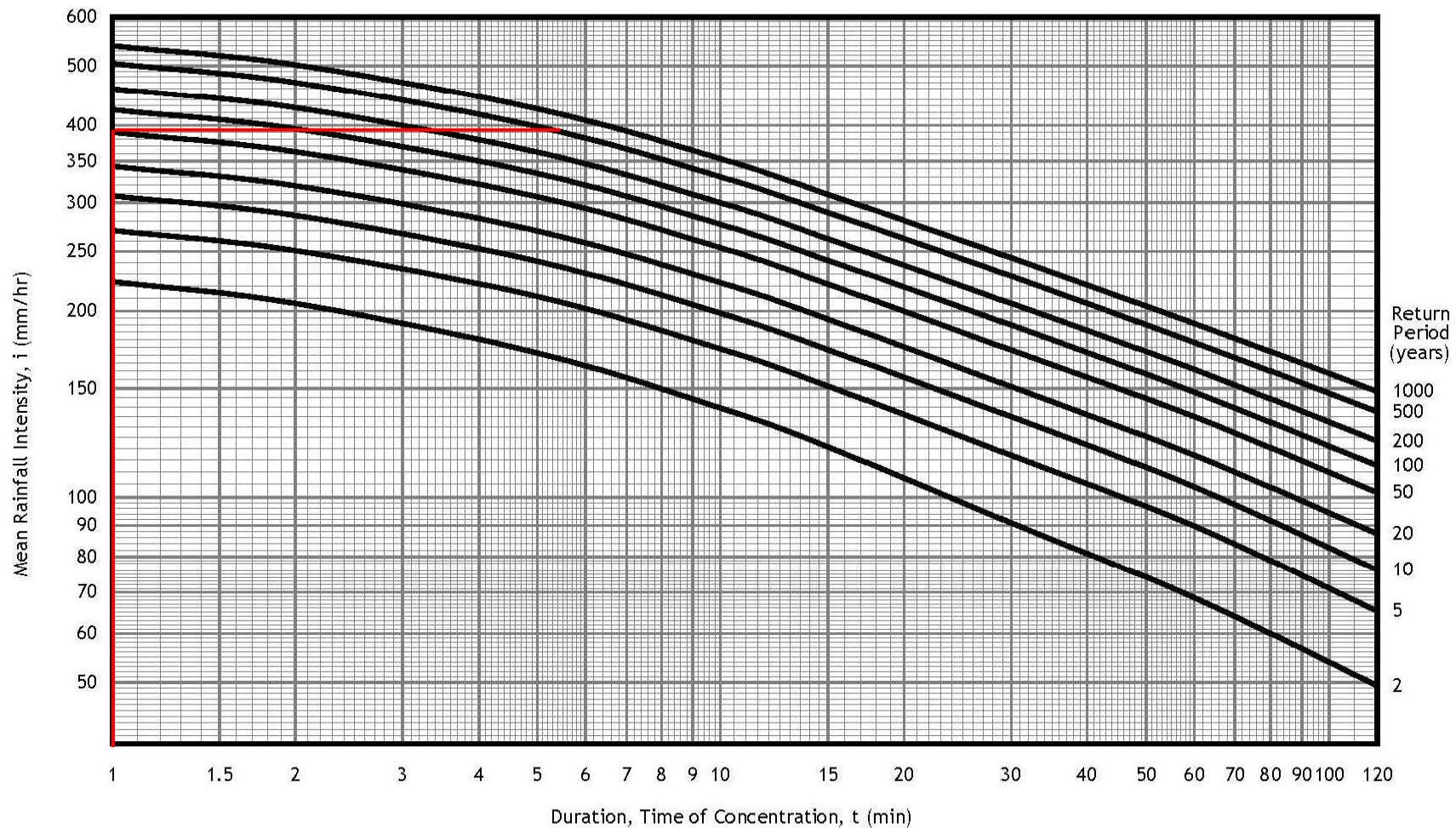
### DETERMINE THE SIZE OF STEPPED / U-CHANNEL

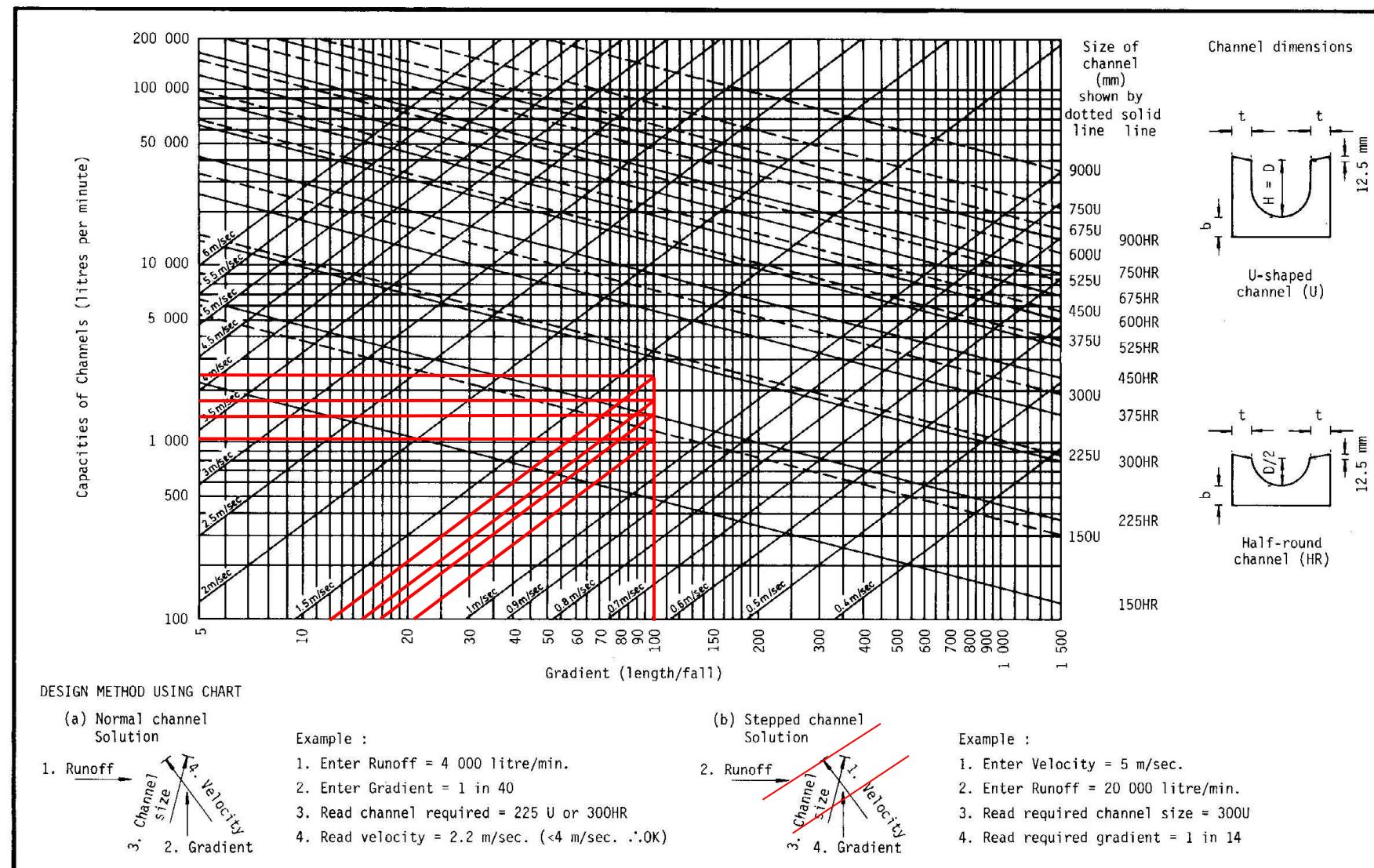
1	2	3	4	5	6	7	8	9	Remark		
U Channel No.	Carchment Area Section	Total area (m <sup>2</sup> )	channel size (mm)	Assumed Flow	I (mm/hr)	Runoff (l/min)	Ldr (m)	Lh (m)	L (m)	Gradient (1 in)	Capacity (l/min)
U1	A	182	300	1.50	380.00	1062.5	0.1	12	12.00	120.00	7000
U2	6	307	300	1.50	380.00	1793.6	0.4	43	43.00	107.50	7000
U3	B	258	300	1.50	380.00	1509.6	0.2	25	25.00	125.00	7000
U4	8, 9	432	300	1.50	380.00	2524.7	0.5	51	51.00	102.00	7000

Required 150U, provide 300U with 1:100 gradient  
Required 225U, provide 300U with 1:100 gradient  
Required 225U, provide 300U with 1:100 gradient  
Required 225U, provide 300U with 1:100 gradient

Note: Ldr = Different level between U-channel section  
Gradient = 1 in (Lh/Ldr)  
Total area = Site area + others area  
A=Cumulative area = Total area + others section area  
Capacity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)  
Assumed flow velocity = Assumed velocity of runoff  
Actual Flow velocity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)  
Design Return Period = 50 years  
Runoff = K.I.A./3600 (l/s) = K.I.A./60 (l/min)

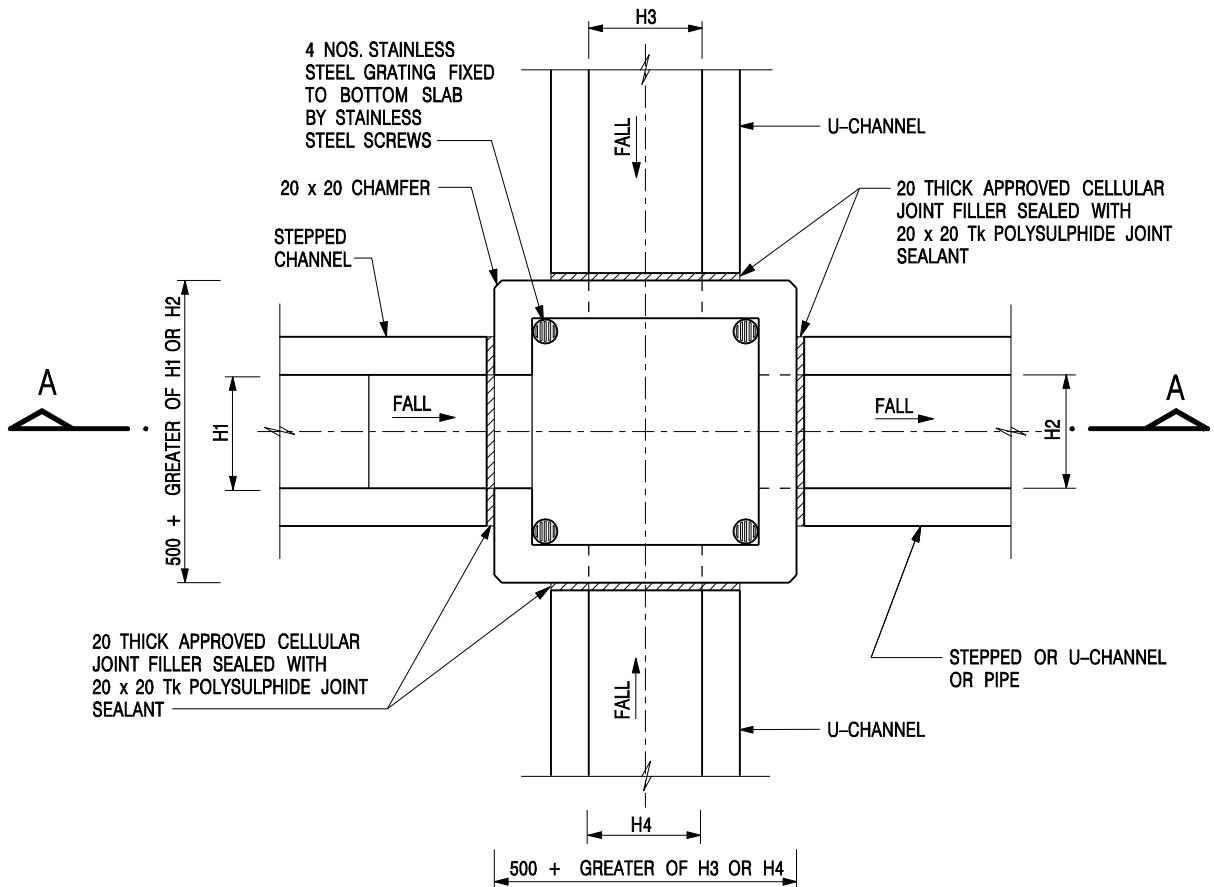
For section no. U1 , Actual Flow Velocity = 1.20 m/s < 4m/s, O.K.  
For section no. U2 , Actual Flow Velocity = 1.30 m/s < 4m/s, O.K.  
For section no. U3 , Actual Flow Velocity = 1.27 m/s < 4m/s, O.K.  
For section no. U4 , Actual Flow Velocity = 1.40 m/s < 4m/s, O.K.





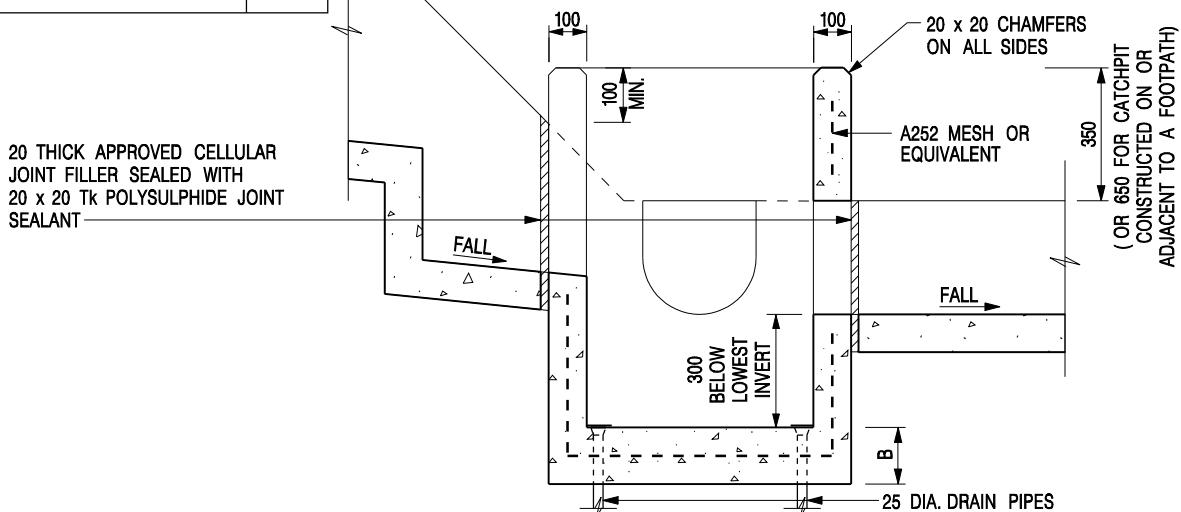
## APPENDIX E

### **TYPICAL STANDARD DRAWINGS OF U-CHANNEL AND CATCHPIT (EXTRACTED FROM CEDD, FOR REFERNCE ONLY)**



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

PLAN



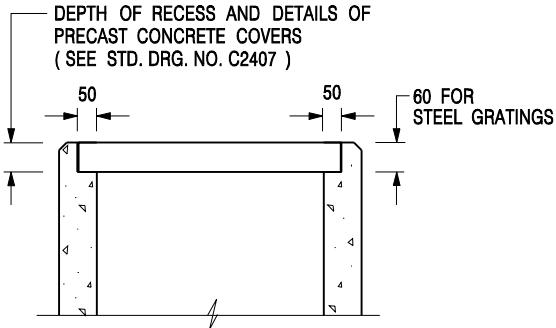
SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>			
SCALE 1:20		DRAWING NO.	
DATE JAN 1991			C2406 /1



ALTERNATIVE TOP SECTION  
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS /GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP  
(SHEET 2 OF 2)

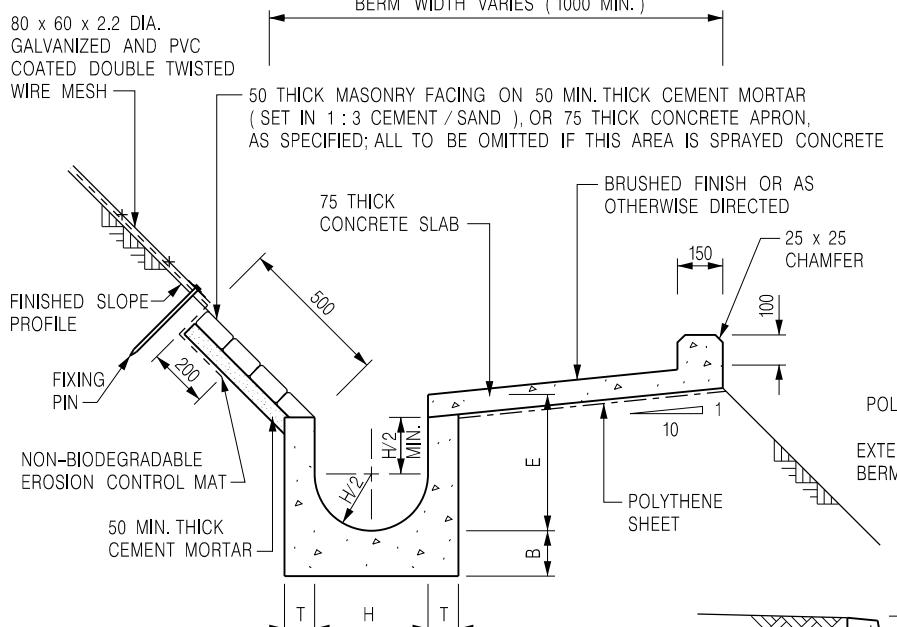


CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

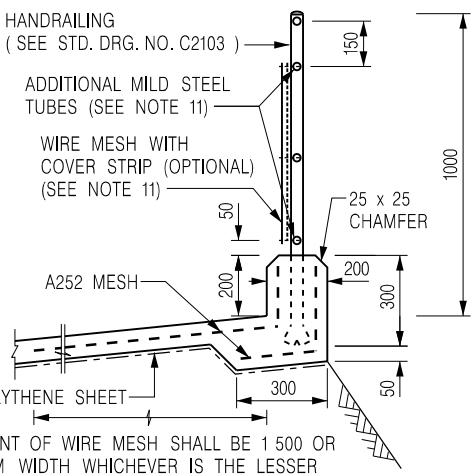
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DATE JAN 1991

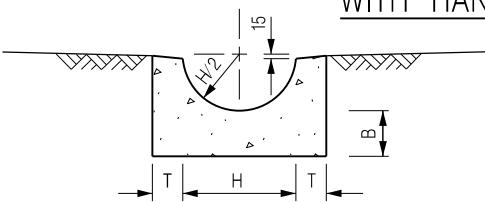
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C2406 /2A



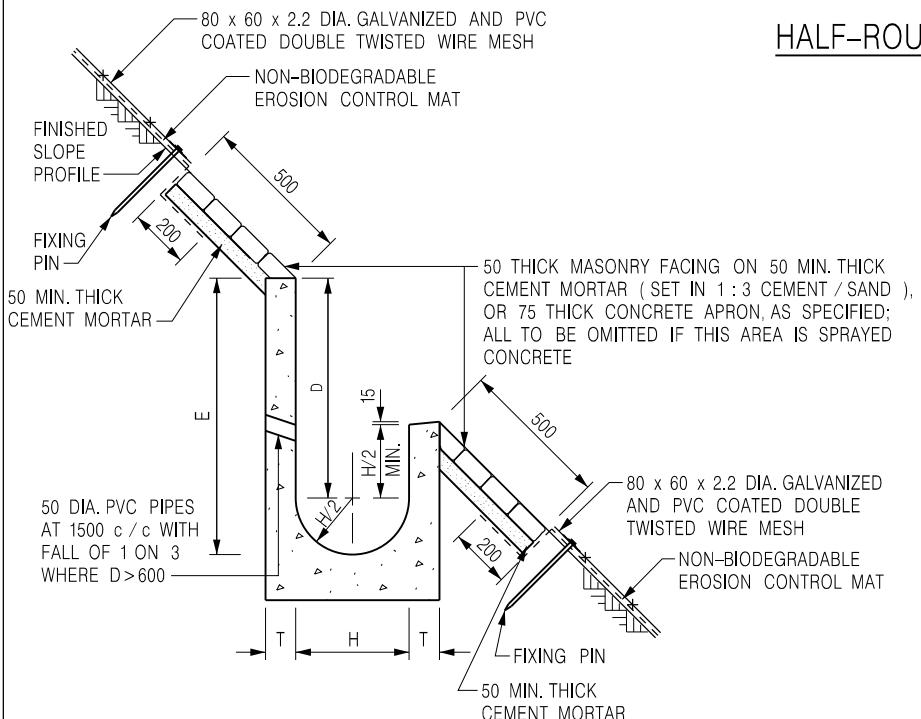
U-CHANNELS CONSTRUCTED  
ON BERM



DETAILS OF BERM  
WITH HANDRAILING



HALF-ROUND CHANNEL



U-CHANNELS NOT CONSTRUCTED  
ON BERM

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WIRE MESH ON BERM. (SEE STD DRG. NO. C2511/E)
11. THE WIRE MESH ON HANDRAILING IS OPTIONAL. THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO. C2103)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

J	DETAILS OF HANDRAILING AMENDED.	Original Signed	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

DETAILS OF HALF-ROUND  
AND U-CHANNELS ( TYPE A -  
WITH MASONRY APRON )

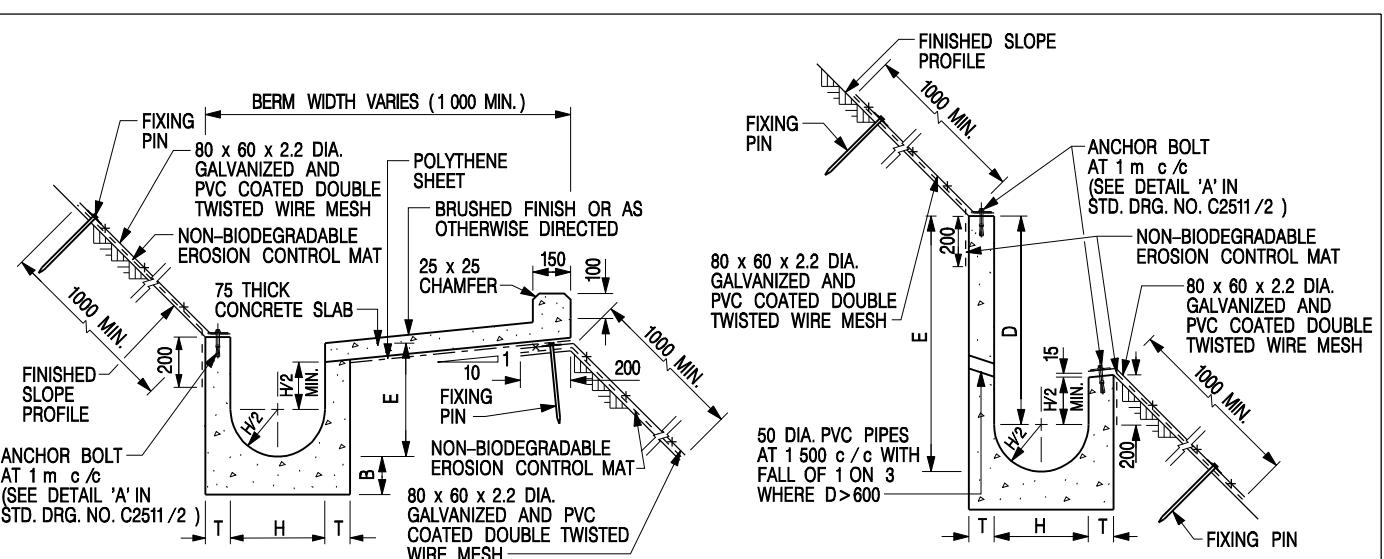


CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1:25

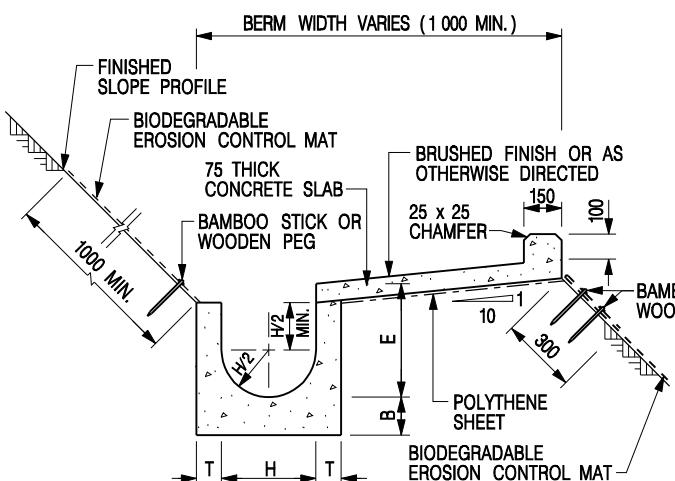
DATE JAN 1991

DRAWING NO.  
C2409J

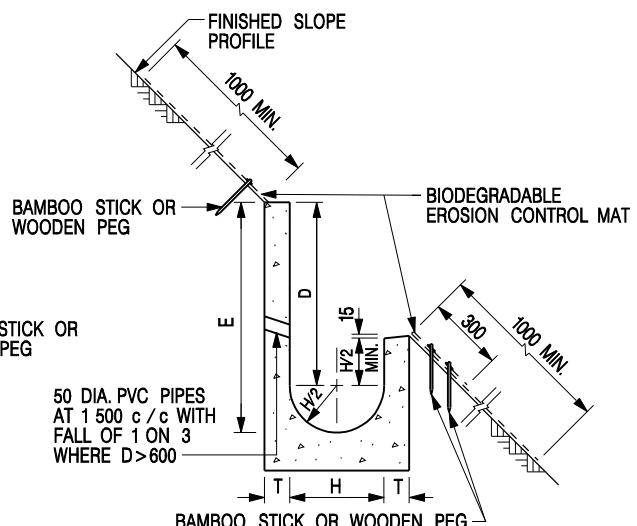


**U-CHANNELS CONSTRUCTED ON BERM  
WITH NON-BIODEGRADABLE  
EROSION CONTROL MAT**

**U-CHANNELS NOT CONSTRUCTED ON BERM  
WITH NON-BIODEGRADABLE  
EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM  
WITH BIODEGRADABLE  
EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM  
WITH BIODEGRADABLE  
EROSION CONTROL MAT**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.

9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

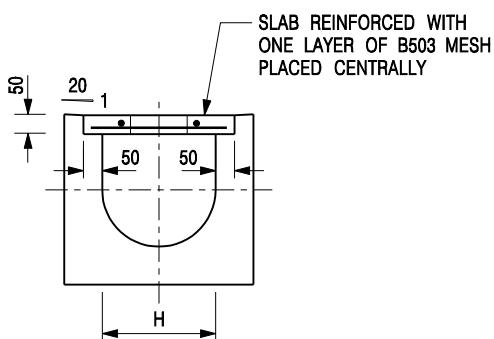
I	MINOR AMENDMENT.	Original Signed	DATE
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92
REF.	REVISION	SIGNATURE	DATE

**DETAILS OF HALF-ROUND AND  
U-CHANNELS (TYPE B - WITH  
EROSION CONTROL MAT APRON)**

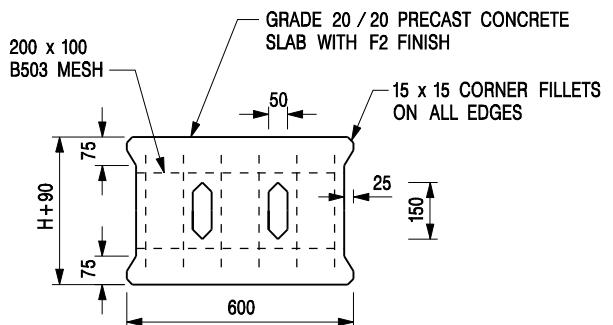


**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

<b>SCALE</b>	<b>DIAGRAMMATIC</b>	<b>DRAWING NO.</b>
<b>DATE</b>	JAN 1991	C24101



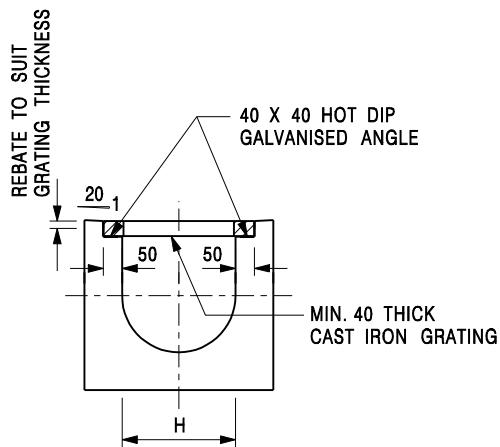
TYPICAL SECTION



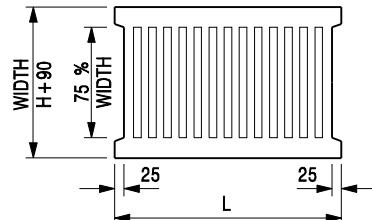
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

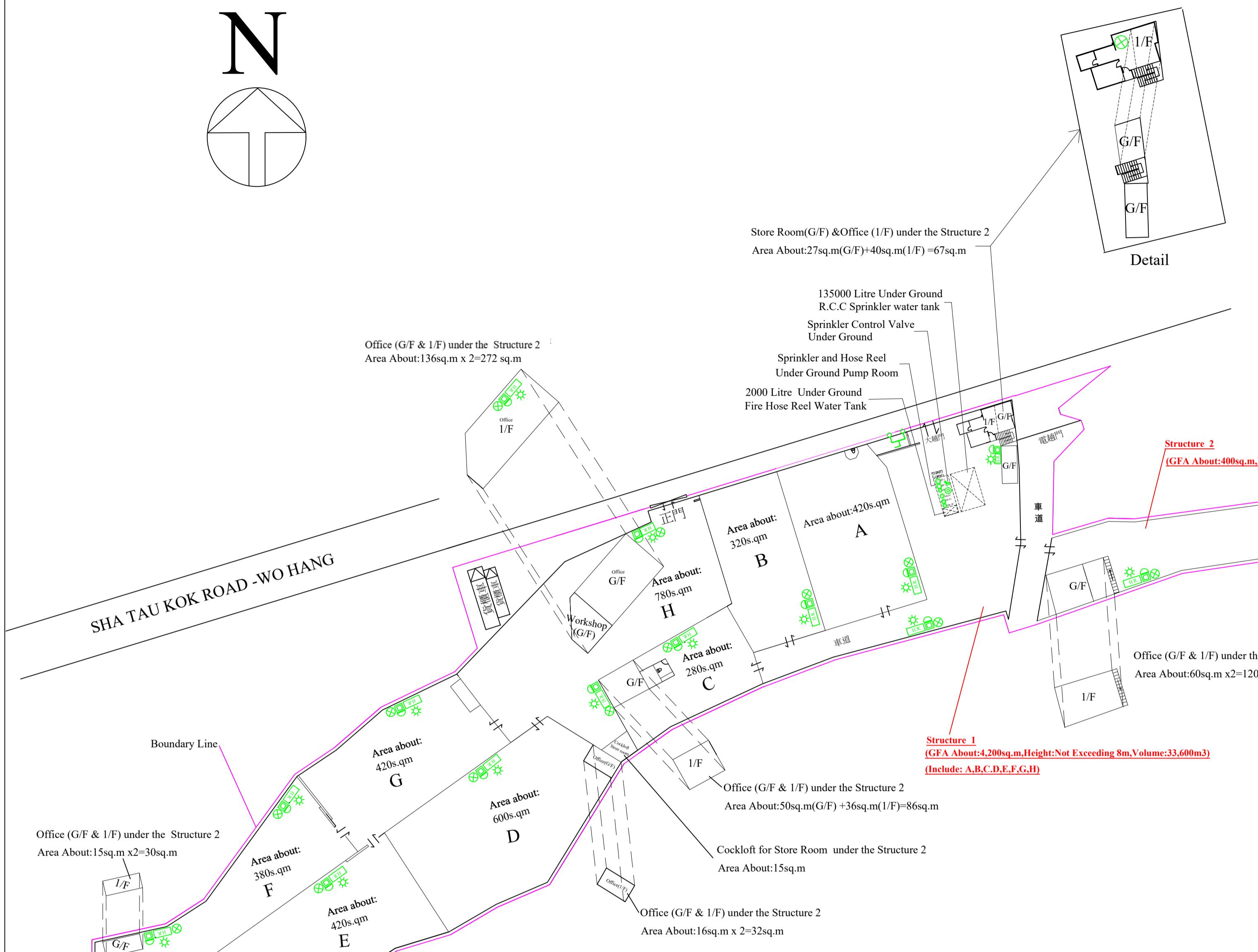
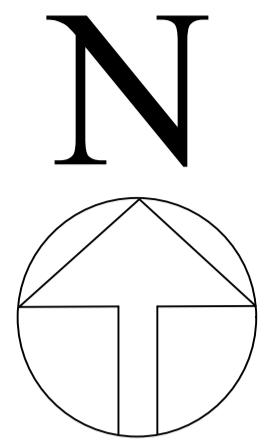
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS**





### LEGEND

	Gate Valve
	Non Return Valve
	Pump Set c/w Motor
	Sprinkler Control Valve
	Sprinkler Inlet
	Fire Hose Reel Set c/w Break
	Glass and Alarm Bell & Visual Alarm Device
	JP
	SP-1,SP-2
	HR-P1,HR-P2
	4.0 kg Dry Powder type fire extinguisher
	5.0 kg CO2 type fire extinguisher
	Boundary Line

### F.S.Notes:

1. Sufficient emergency lighting shall be provided throughout the entire buildings/structures in accordance with B.S.5266-1:2016 and EN 1838:2013 and FSD Circular Letter No.4/2021
2. Sufficient directional and exit sign shall be provided in accordance with B.S.5266:Part 1 and FSD circular letter 5/2008 .
3. Sufficient Portable hand-operated Approved appliances shall be provided as required by occupancy and as marked on plans.
4. An Automatic sprinkler system supplied by 135,000L sprinkler water tank and Hazard class: OH III should be provided to the structure 1 & structure 2 in accordance with BS EN 12845: 2015 and FSD circular 5/2020 . The sprinkler water tank, sprinkler pump room, sprinkler inlet, sprinkler control valve group shall be clearly marked on plans.
5. The storage configuration is ST1 & ST2.  
ST1:free standing or block stacking with reference to the section 6.3.2 of B.S 12845.and storage pattern is the maximum storage height shall not exceed 4 m & the maximum storage areas shall be 50m<sup>2</sup> for any single block.with no less than 2.4m clearance around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category I )  
ST2:Post pallets in single rows,with aisles not less than 2.4m wide with reference to be section 6.3.2 of B.S 12845. Maximum storage heights shall not exceed 3.5m & Aisles between rows shall be not less than 2.4m wide as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category:Category I)
6. A modified hose reel system supplied by a 2000 litre FS water tank shall be provided There shall be sufficient hose reels to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The FS water tank, FS pump room and hose reel shall be clearly marked on plans.
7. Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 -1 : 2017 and FSD Circular Letter no 6/2021. One actuation point and audio warning devices to be located at each hose reel point.This actuation point should include facilities for fire pump start and audio/visual warning device initiation.
8. The Sprinkler water Tank & F.S water Tank water supply pipe should be connected to Town Main. .
9. Source of secondary power supply shall be provided.
10. Static or dynamic smoke extraction system is not provided.The openable windows of Structure"1" with aggregate area exceeding 6.25% of the floor area as marked on plans.(Detail see openable window layout plan)
11. Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong should be notified to the Director of Fire Services.

**INTERCEPT FIRE & SECURITY  
TECHNICIANS LTD.**

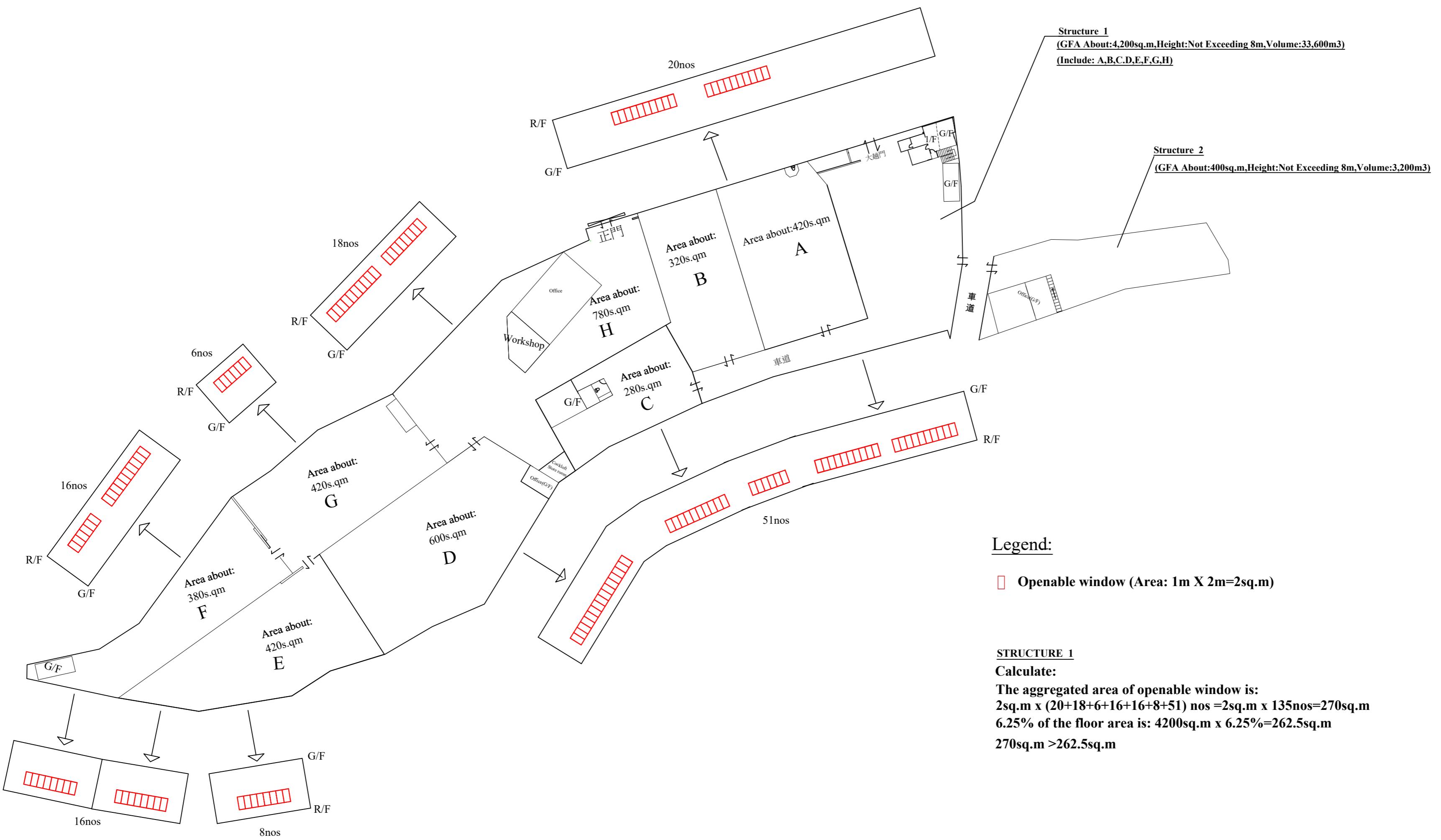
#### Project :

Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25(Part),26(Part) &27 in D.D 38,Lots 802(Part),804(Part),806,807,808,809,811,812,813,823 S. B RP,824 S.B RP,825,826,827,828 S.B RP in D.D 46 and Adjoining Government Land,Sha Tau Kok Road-Wo Hang Section,N.T

#### Title :

Proposed Automatic Sprinkler and Modified Hose Reel System

Drawn By :	W.C WONG
Date :	2025-02-06
Scale :	1 : 500 @A1
Ref. No :	TPB/A/MUP/193
Revise Date:	2025-02-06



**STRUCTURE 1**

**Calculate:**

The aggregated area of openable window is:  
 $2\text{sq.m} \times (20+18+6+16+8+51) \text{ nos} = 2\text{sq.m} \times 135\text{nos} = 270\text{sq.m}$   
6.25% of the floor area is:  $4200\text{sq.m} \times 6.25\% = 262.5\text{sq.m}$   
 $270\text{sq.m} > 262.5\text{sq.m}$

OPENABLE WINDOWS LAYOUT OF STRUCTURE 1 (Side Elevation)

**INTERCEPT FIRE & SECURITY  
TECHNICIANS LTD.**

[REDACTED]

**Project :**

Temporary Logistics Centre for a Period of 3 Years and Filling of Land at Lots 25(Part),26(Part) &27 in D.D 38,Lots 802(Part),804(Part),806,807,808,809,811,812,813,823 S. B RP,824 S.B RP,825,826,827,828 S.B RP in D.D 46 and Adjoining Government Land,Sha Tau Kok Road-Wo Hang Section,N.T

**Title :**  
Proposed Openable window Layout Plan

<b>Drawn By :</b>	W.C WONG
<b>Date :</b>	2025-02-06
<b>Scale :</b>	1 : 500 @A2
<b>Ref. No :</b>	TPB/A/MUP/193
<b>Revise Date:</b>	2025-02-06

附件 3：落實車輛通道出入口圖片



**Relevant Extracts of Town Planning Board Guidelines on**  
**Application for Open Storage and Port Back-up Uses**  
**(TPB PG-No. 13G)**

1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for the various categories of area:
  - (a) Category 1 areas: favourable consideration will normally be given to applications within these areas, subject to no major adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments should be submitted if the proposed uses may cause significant environmental and traffic concerns;
  - (b) Category 2 areas: planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments, where appropriate or if required, should be submitted to demonstrate that the proposed uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas;
  - (c) Category 3 areas: applications would normally not be favourably considered unless the applications are on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant). Sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. Planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions; and
  - (d) Category 4 areas: applications would normally be rejected except under exceptional circumstances. For applications on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant), and subject to no adverse departmental comments and local objections, sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. The intention is however to encourage the phasing out of such non-conforming uses as early as possible. Planning permission for a maximum period of 3 years may be allowed for an applicant to identify suitable sites for relocation. Application for renewal of approval will be assessed on its individual merits.

2. In assessing applications for open storage and port back-up uses, the other major relevant assessment criteria are also summarised as follows:

- (a) port back-up sites and those types of open storage generating adverse noise, air pollution and visual intrusion and frequent heavy vehicle traffic should not be located adjacent to sensitive receivers such as residential dwellings, hospitals, schools and other community facilities;
- (b) port back-up uses are major generators of traffic, with container trailer/tractor parks generating the highest traffic per unit area. In general, port back-up sites should have good access to the strategic road network, or be accessed by means of purpose built roads;
- (c) adequate screening of the sites through landscaping and/or fencing should be considered where sites are located adjacent to public roads or are visible from surrounding residential areas;
- (d) there is a general presumption against conversion of active or good quality agricultural land and fish ponds to other uses on an ad-hoc basis. For flood prone areas or sites which would obstruct natural drainage channels and overland flow, advice should be sought; and
- (e) for applications involving sites with previous planning approvals, should there be no evidence to demonstrate that the applicants have made any genuine effort to comply with the approval conditions of the previous planning applications, planning permission may be refused, notwithstanding other criteria set out in the Guidelines are complied with.

**Appendix III of RNTPC**  
**Paper No. A/NE-MUP/220**

**Previous S.16 Application**

**Approved Applications**

<b>Application No.</b>	<b>Uses/Development</b>	<b>Date of Consideration</b>
A/NE-MUP/166	Proposed Temporary Animal Boarding Establishment (Dog Kennel) for a Period of 3 Years	13.1.2023 (Revoked on 13.4.2024)
A/NE-MUP/182	Proposed Temporary Animal Boarding Establishment (Dog Kennel) for a Period of 3 Years	5.5.2023 (Revoked on 5.5.2024)
A/NE-MUP/192	Temporary Open Storage of Planters and Landscaping Materials and Site Office for a period of three years	22.12.2023 (Revoked on 22.9.2025)
A/NE-MUP/193	Proposed Temporary Logistics Centre for a Period of 3 Years and Filling of Land	15.3.2024 (Revoked on 15.9.2025)

**Rejected Applications**

<b>Application No.</b>	<b>Uses/ Development</b>	<b>Date of Consideration</b>	<b>Rejection Reasons</b>
A/NE-MUP/19	Open Storage of Ceramic Tiles for a temporary period of 12 months	13.6.1997 (on review)	R1-R4
A/NE-MUP/54	Temporary Warehouse for Storage of Ceramic Tiles for a Period of 3 Years	23.8.2008 (on review)	R5
A/NE-MUP/55	Land Filling for Permitted Agricultural Use (Plant Nursery)	18.4.2008	R6
A/NE-MUP/148	Proposed Temporary Wholesale Trade (Fruit and Vegetable Market) for a Period of 2 Years	9.10.2020	R4,R5,R7
A/NE-MUP/152	Proposed Temporary Shop and Services (Agricultural Goods) for a Period of 3 Years	4.9.2020	R4,R5,R7
A/NE-MUP/154	Proposed Temporary Shop and Services (Selling of Agricultural Products) for a Period of 3 Years	22.1.2021	R4,R5,R7

## **Rejection Reasons**

- R1 The subject development was not in line with the planning intention of the “Agriculture” zone which was to retain and safeguard good agricultural land for agricultural purposes and to retain arable land with good potential for rehabilitation. There was no strong justification to merit a departure from this planning intention even on a temporary basis.
- R2 The subject development was not compatible with the surrounding areas which were predominantly rural in character. In addition, the subject development was incompatible with the adjacent residential uses, including Loi Tung Village.
- R3 The proposed arrangement for on-site car-parking and vehicle-manoeuvring area was not satisfactory as it did not meet the standard requirements.
- R4 The approval of the application would set an undesirable precedent for similar applications, the cumulative effect of which would further degrade the environment of the area.
- R5 The use under application was not in line with the planning intention for “Agriculture” zone which was intended to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It was also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. No strong justifications had been provided in the submission for a departure from the planning intention, even on a temporary basis.
- R6 The granting of approval to the illegal land filling operation would set an undesirable precedent for other similar applications within the “Agriculture” zone. The cumulative impacts of approving such similar applications would result in a general degradation to the environment of the area.
- R7 The applicants failed to demonstrate that the proposed development would have no adverse traffic impacts on the surrounding areas.

**Similar S.16 Application for Temporary Logistic Centre  
in the vicinity of the application site within “Agriculture” zone in the Past Five Years**

**Approved Application**

<b>Application No.</b>	<b>Use / Development</b>	<b>Date of Consideration</b>
A/NE-MUP/211	Proposed Temporary Logistic Centre for a Period of 3 Years and Associated Filling of Land	28.2.2025

**Government Departments' General Comments**

**1. Traffic**

Comments of the Commissioner for Transport (C for T):

- noting that the scale, nature and use of the current application remain generally unchanged from the last approved application, he has no comments on the application from a traffic engineering view point.

Comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD):

- no adverse comment on the application from highways maintenance point of view;
- the proposed access arrangement and estimated trip generation report should be commented by Transport Department;
- as there is no proper run-in/out at the footpath of Sha Tau Kok Road – Wo Hang, which forms part of the proposed access route to the application site (the Site), the applicant should submit a design of the run-in/out at the footpath of Sha Tau Kok Road – Wo Hang for his review upon Transport Department's approval of the access arrangement. The proposed run-in/out should be designed and constructed in accordance with the prevailing HyD standard drawings (i.e., H1113C and H1114B) to his satisfaction; and
- his advisory comments are at **Appendix VI**.

**2. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from public drainage viewpoint;
- the submitted drainage proposal is identical to that submitted under planning application No. A/NE-MUP/193, which was considered unacceptable. Hence, should the application be approved, approval conditions to request the applicant to submit and implement a drainage proposal for the Site should be included to ensure that the applied use will not cause adverse drainage impact on the adjacent areas. The drainage facilities should be properly maintained at all times during the planning approval period and rectified if they are found inadequate/ineffective during operation;
- the Site is in an area where public sewerage connection is available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the applied use; and
- his advisory comments are at **Appendix VI**.

### **3. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no adverse comment on the application from the landscape planning perspective;
- based on the aerial photo taken in 2024, the Site is located in an area of rural inland plain landscape character comprising tree clusters, farmlands, village houses, woodland and temporary structures. The applied use is not entirely incompatible with the surrounding environment;
- with reference to site photos taken on 18.11.2025, the Site is fenced-off and largely covered with temporary structures with no significant landscape resources. Significant adverse landscape impact arising from the application is not anticipated; and
- her advisory comments are at **Appendix VI**.

### **4. Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the proposal subject to fire service installations and water supplies for firefighting being provided to his satisfaction; and
- his advisory comments are at **Appendix VI**.

### **5. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application; and
- his advisory comments are at **Appendix VI**.

### **6. Other Departments**

The following government departments have no objection to/ no comments on the application:

- (a) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- (b) Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD);
- (c) Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD); and
- (d) District Officer (North), Home Affairs Department (DO(N), HAD).

**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the applied use with the concerned owner(s) of the application site (the Site);
- (b) prior planning permission should have been obtained before commencing the applied use at the Site;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of the planning permission, sympathetic consideration may not be given to any further application;
- (d) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (e) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that:
  - (i) the Site comprises Government Land (GL) and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The proposed ingress/egress of the Site is required to pass through GL but no right of access via GL is granted to the Site;
  - (ii) the Site is covered by a Letter of Approval (LoA) No. L5312 which is issued for erection of temporary agricultural structures. His office reserves the rights to take enforcement action for irregularities and cancel of the LoA as appropriate;
  - (iii) the following irregularities covered by the application have been detected by his office:

unauthorised structure within the said private lots covered by the planning application

there are unauthorised structures on the private lots which are already subject to lease enforcement actions according to case priority. The lot owners should rectify/regularise the lease breaches as demanded by LandsD;

unlawful occupation of GL adjoining the said private lots with unauthorised structures covered by the planning application

the GL within the Site (about 228m<sup>2</sup> as mentioned in the Application Form) has been illegally occupied with unauthorised structures without any permission. Any occupation of GL without Government's prior approval is an offence under Cap. 28. His office reserves the rights to take necessary land control action against the illegal occupation of GL without further notice;

- (iv) the lot owners/applicant shall remove the unauthorised structures immediately and, subject to the approval of the Board to the planning application which shall have reflected the rectification as aforesaid required, apply to his office for Short Term Waiver (STW) and Short Term Tenancy (STT) to permit the structures erected/to be erected and the occupation of the GL. The applications for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be on the whole lot basis and subject to such terms and conditions including the payment of back-dated waiver fee/rent from the first date when the unauthorised structures were erected and occupation of GL as well as administrative fee as considered appropriate to be imposed by LandsD. In addition, LandsD reserves the right to take enforcement action against the lot owners for any breach of the lease conditions, including the breach(es) already in existence or to be detected at any point of time in future and land control action for any unlawful occupation of GL. Besides, given the applied use is temporary in nature, only erection of temporary structures will be considered; and
- (v) the applicant should comply with all the land filling requirements imposed by relevant Government departments. GL should not be disturbed unless with prior approval;

(f) to note the comments of the Director of Environmental Protection (DEP) that the applicant should implement the relevant requirements of the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' (COP) and employ licensed waste collectors to dispose of the sewage produced from the Site properly;

(g) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:

- (i) the proposed access arrangement and estimated trip generation report should be commented by Transport Department (TD);
- (ii) as there is no proper run-in/out at the footpath of Sha Tau Kok Road – Wo Hang , which forms part of the proposed access route to the Site, the applicant should submit a design of the run-in/out at the footpath of Sha Tau Kok Road – Wo Hang for his review upon TD's approval of the access arrangement. The proposed run-in/out should be designed

and constructed in accordance with the prevailing HyD standard drawings (i.e., H1113C and H1114B) to his satisfaction;

- (iii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
- (iv) the applicant should take adequate precautionary measures to avoid damaging roads, street furniture, drainage and slopes etc. maintained by his office. Damage caused to roads, street furniture, drainage and slopes etc. maintained by his office due to the proposed work shall be repaired to his satisfaction at the applicant's own costs;

(h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:

- (i) the drainage system should be rectified if they are found inadequate/ineffective during operation;
- (ii) the applicant should construct and maintain the proposed drainage facilities whether within or outside the Site at his own expense;
- (iii) the Site is in an area where public sewerage connection is available. Environmental Protection Department should be consulted regarding the sewage impact assessment and sewage treatment/disposal facilities for the applied use; and
- (iv) the submitted drainage proposal is identical to that submitted under planning application No. A/NE-MUP/193, which was considered unacceptable. The applicant should address his previous comments and submit a revised drainage proposal for his review;

(i) to note the comments of the the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that the approval of the application does not imply the approval of tree works such as pruning, transplanting, felling and compensatory/ new tree planting. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works;

(j) to note the comments of the Director of Fire Services (D of FS) that:

- (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval. In addition, the applicant should also be advised on the following points:
  - the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy;

- the location of the proposed FSIs to be installed should be clearly marked on the layout plans; and

(ii) if the proposed structures are required to comply with the Buildings Ordinance (Cap. 123), details fire safety requirements will be formulated upon receipt of the formal submission of general building plans; and

(k) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- (i) it is noted that two structures and land filling are proposed at the Site. Before any new building works are to be carried out at the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
- (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
- (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- (iv) if any existing structure is erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the application;
- (v) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW at the Site under the BO;
- (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to control of Part VII of the B(P)R;
- (vii) the 8m high structures for logistics centre are considered excessive. It should be justified upon formal plan submission to BD; and
- (viii) details checking under the BO will be carried out at building plan submission stage.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

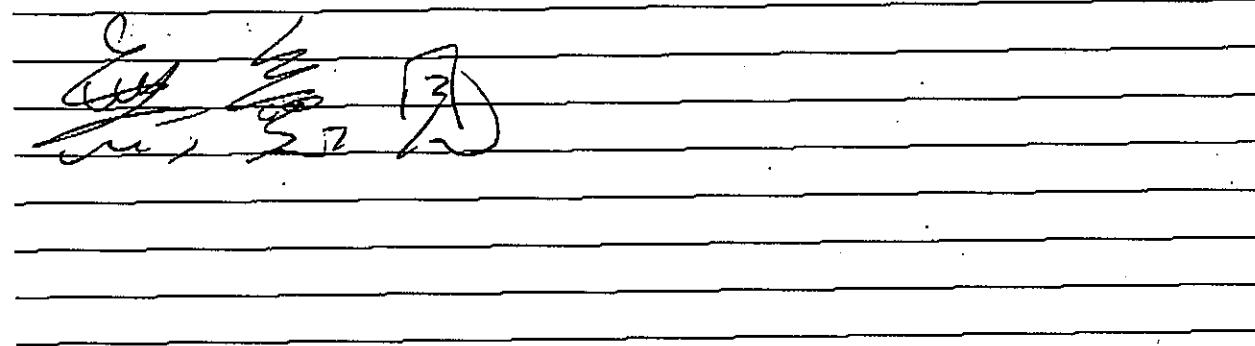
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-MUP/220

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment

侯志強

簽署 Signature



日期 Date 2025.11.21

## **tpbpd/PLAND**

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寄件者: [REDACTED]  
寄件日期: 2025年12月08日星期一 2:48  
收件者: tpbpd/PLAND  
主旨: A/NE-MUP/220 DD 46 Man Uk Pin  
類別: Internet Email

Dear TPB Members,

193 approved 15 Mar 2024. Revoked n 15 Sept 2025 for failure to fulfill multiple conditions.

This application was streamlined and rubberstamped by members despite the clear indications that the operator is untrustworthy.

- majority of the Site has been occupied by warehouse use for a very long time IE WITHOUT APPROVAL
- unauthorized structures erected on private lots which are already subject to lease enforcement actions
- no consent is given for the inclusion of GL within the Site found occupied and fenced off without any permission. Any occupation of GL without Government's prior approval is an offence

Instead of ensuring that the interests of the community should take priority, the current policy is to approve all applications for logistics, regardless of the track record and strong possibility that conditions will not be fulfilled.

In view of the revelations following the inferno at Tai Po, the community can no longer tolerate this policy.

Failure to fulfill conditions should be treated with zero tolerance.

The application should be rejected.

Mary Mulvihill

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**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Saturday, 1 June 2024 3:28 AM HKT  
**Subject:** Re: A/NE-MUP/193 DD 46 Man Uk Pin

apologies for error in subject line

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**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>

Urgent Return receipt Expand Group Restricted Prevent Copy

**Date:** Wednesday, 13 September 2023 2:53 AM HKT

**Subject:** A/NE-MUP/93 DD 46 Man Uk Pin

A/NE-MUP/193

Lots 25 (Part), 26 (Part) and 27 in DD. 38, Lots 802 (Part), 804 (Part), 806, 807, 808, 809, 811, 812, 813, 823 S.B RP, 824 S.B RP, 825, 826, 827, 828 S.B RP in D.D. 46 and Adjoining Government Land, Sha Tau Kok

Site area: About 5,240sq.m Includes Government Land of about 228sq.m (reduced to 5,120sq.m)

Zoning: "Agriculture"

Applied use: Logistics Centre / 4 Vehicle Parking / **Filling of Land**

Dear TPB Members,

This is the usual progressive approach to converting farmland to brownfield, application for animal boarding that then morphs into logistic centre / open storage. Application 182 was deferred.

The application should be considered in tandem with 192 as there is an overlap. There is farming activity in the area. Sha Tau Kok Road must not be allowed to become another Kam Sheung, lined with ramshackle brownfield operations.

The applicant plans to fill in the entire site. This is not compatible with the zoning nor the policy that operations on AG zoning should not cover the entire site in cement.

Mary Mulvihill

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**From:** [REDACTED]

**To:** tpbpd <tpbpd@pland.gov.hk>

**Date:** Friday, 7 April 2023 3:33 AM CST

**Subject:** A/NE-MUP/182 DD 46 Man Uk Pin

A/NE-MUP/182

Lot 27 (Part) in D.D. 38, Lots 804 (Part), 806 (Part), 807 (Part), 808 (Part), 826 (Part), 827 (Part) and 828 S.B RP (Part) in D.D. 46, Sha Tau Kok

Site area: About 1,140sq.m

Zoning: "Agriculture"

Applied use: Animal Boarding Establishment (Dog Kennel) / 5 Vehicle Parking

Dear TPB Members,

Perhaps members could take a few minutes to ponder the inconsistency of PlanD's recommendations.

This is part of the rejected 154 application.

PlanD did not support the application based on the assessments set out in paragraph 11 of the Paper. The proposed development was not in line with the planning intention of the "Agriculture" ("AGR") zone and the Director of Agriculture, Fisheries and Conservation did not support the application as the application site possessed potential for agricultural rehabilitation. There was no strong justification in the submission for a departure from the planning intention, even on a temporary basis. The proposed use was considered **not entirely compatible with the landscape character of the area**. Approval of the application would set an undesirable precedent for other similar applications. The cumulative effect of approving such similar applications **would result in a general degradation of the environment** of the area.

But then it goes ahead to recommend that members approve 166. For some reason the system will not allow copy and paste from the pdf of the Main Paper but members have a duty to check the content file:///C:/Users/MacBook/Downloads/A\_NE-MUP\_166\_MainPaper%20(2).pdf

The papers outline the history of the lots, unapproved use, enforcement action. In addition there were objections from a number of local representatives. See 9.2.1

But all this was ignored and PlanD in an about turn recommended that members approve the 166 application. Members RAISED NO QUESTIONS and rubber stamped the approval.

Now there is a further application for the other lots, same use.

So how many dogs are there in HK? How many ABE's have been approved in recent years?

How many of these ABE's have not fulfilled the conditions?

A three year old could determine that the majority are merely fronts to perpetuate brownfield use of the sites. The entire site will be concreted over.

I would remind members that following the inconsistent recommendations of PlanD calls into question the credibility of the board.

Mary Mulvihill

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From: [REDACTED]  
To: tpbpd <tpbpd@pland.gov.hk>

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**Date:** Sunday, 29 May 2022 3:01 AM CST

**Subject:** A/NE-MUP/166 DD 46 Man Uk Pin

A/NE-MUP/166

Lots 813, 823 S.B RP (Part) and 824 S.B RP (Part) in D.D. 46 and Adjoining Government Land, Sha Tau Kok

Site area : About 1,600sq.m

Zoning : "Agriculture"

Applied use : Animal Boarding Establishment / 6 Vehicle Parking

Dear TPB Members,

Strong objections, the supposed use is just a ploy to continue with brownfield use of the site. Site coverage about 65.62%.

154 rejected 22 Jan 2021. Applied for review, deadline 12/3 but then withdrew

**PlanD:**The proposed use was considered not entirely compatible with the landscape character of the area. **Approval of the application would set an undesirable precedent of landscape character alteration and erection of structures prior to planning approval.** The cumulative impact of such approval would further degrade the landscape quality of the surrounding environment.

62. In response to a Member's question, Mr Tim T.Y. Fung; STP/STN, said that the **Site was subject to planning enforcement action previously**, and the registered owner of the Site was convicted and fined on 23.12.2020.

The number of incidents of dogs being smuggled into Hong Kong is also a matter of concern. It is high time that there be more supervision of facilities that purport to offer kennel services when they are in fact puppy farms. The possible impact on public health with regard to the keeping of animals in poor conditions has unfortunately not received the attention it deserves.

Members should again reject the application.

Mary Mulvihill

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**From:** [REDACTED]

**To:** "tpbpd" <tpbpd@pland.gov.hk>

**Sent:** Monday, September 28, 2020 3:08:26 AM

**Subject:** A/NE-MUP/154 DD 46 Man Uk Pin

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A/NE-MUP/154

Lots 813, 823 S.B RP (Part) and 824 S.B RP (Part) in D.D. 46 and Adjoining Government Land, Sha Tau Kok

Site area : About 1,690sq.m Includes Government Land of about 186sq.m

Zoning : "Agriculture"

Applied use : Shop and Services (Agricultural Goods) / 7 Vehicle Parking

Dear TPB Members,

Application 152 was rejected on 4 September but the applicant undeterred has come back with a more ambitious plan:

PlanD did not support the application based on the assessments set out in paragraph 11 of the Paper. The proposed development was not in line with the planning intention of the "Agriculture" ("AGR") zone and the Director of Agriculture, Fisheries and Conservation did not support the application as the application site possessed potential for agricultural rehabilitation. There was no strong justification in the submission for a departure from the planning intention, even on a temporary basis. The proposed use was considered **not entirely compatible with the landscape character of the area**. Approval of the application would set an undesirable precedent for other similar applications. The cumulative effect of approving such similar applications **would result in a general degradation of the environment** of the area. The Commissioner for Transport did not support the application as the applicant failed to demonstrate that the temporary development would not cause **adverse traffic impact** on the surrounding areas. There was **no similar application for temporary shop and services use within the "AGR" zone on the concerned Outline Zoning Plan**.

**And there certainly should not be any considered going forward.**

Previous objections upheld.

Mary Mulvihill

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**From:** [REDACTED]

**To:** "tpbpd" <tpbpd@pland.gov.hk>

**Sent:** Friday, August 14, 2020 2:43:55 AM

**Subject:** A/NE-MUP/152 DD 46 Man Uk Pin

A/NE-MUP/152

Lots 806 (Part), 808, 809 (Part), 823 S.B RP (Part), 824 S.B RP (Part) and 825 (Part) in D.D. 46 and Adjoining Government Land, ManUk Pin, Sha Tau Kok

Site area : About 1,130sq.m Includes Government Land of about 44sq.m

Zoning : "Agriculture"

Applied use : Shop and Services (Agricultural Goods) / 6 Vehicle Parking

Dear TPB Members,

This is clearly an application to legitimize a long existing brownfield operation.

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This is a sensitive area close to Starling Inlet, mangroves, etc. Approval for brownfield operations, particularly on the coastal side of Sha Tau Kok Road should be avoided in order to protect the ecology.

There is no previous record of approval so therefore no justification to set a precedent.

Mary Mulvihill