

2025年 10月 1 5日

此文件在 收到 • 城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on 2025 -10- 15.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a ‘✓’ at the appropriate box 請在適當的方格內上加上‘✓’號

2502197

2025.9.22

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	AYL-PS/765
	Date Received 收到日期	2025-10-15

1. The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有)，送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書處。
2. Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張，然後填寫此表格。該份文件可從委員會的網頁下載 (網址：<http://www.tpb.gov.hk/>)，亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 – 電話：2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線：2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
3. This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載，亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全，委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

CHEUNG KIN YUE 張建茹

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Allgain Land Planning Limited 全堅土地規劃有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址／地點／丈量約份及地段號碼 (如適用)	新界元朗屏山丈量約份第122約地段第914號、第915號、第916號 (部分) 及第917號 (部分) Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及／或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 2,780 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,560 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Shan Outline Zoning Plan No. S/YL-PS/20 屏山分區計劃大綱核准圖編號 S/YL-PS/20
(e) Land use zone(s) involved 涉及的土地用途地帶	「綠化地帶」 "Green Belt"
(f) Current use(s) 現時用途	臨時放置幾個空置的構築物和貨櫃 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

is the sole "current land owner" # & (please proceed to Part 6 and attach documentary proof of ownership). 是唯一的「現行土地擁有人」 # & (請繼續填寫第 6 部分，並夾附業權證明文件)。

is one of the "current land owners" # & (please attach documentary proof of ownership). 是其中一名「現行土地擁有人」 # & (請夾附業權證明文件)。

is not a "current land owner" #. 並不是「現行土地擁有人」 # 。

The application site is entirely on Government land (please proceed to Part 6). 申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)" #. 根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」 # 。

(b) The applicant 申請人 –

has obtained consent(s) of "current land owner(s)" #. 已取得 名「現行土地擁有人」 # 的同意。

Details of consent of "current land owner(s)" # obtained 取得「現行土地擁有人」 # 同意的詳情

No. of 'Current Land Owner(s)', 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

published notices in local newspapers on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&

posted notice in a prominent position on or near application site/premises on
_____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&

sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

others (please specify)
其他 (請指明)

Note: May insert more than one 「✓」。

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) 擬議臨時康體文娛場所 (休閒農場)
(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)	
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	1,220	..... sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	1,560	..... sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	8	.....
Proposed domestic floor area 擬議住用樓面面積	0	..... sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	1,560	..... sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	1,560	..... sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Please refer to list of Structures

Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	2
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed operating hours 擬議營運時間			
星期一至星期日上午九時至下午六時，包括公眾假期。			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 由朗屏路經地區道路進入。	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
	On traffic 對交通	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>	
On water supply 對供水	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
On drainage 對排水	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
On slopes 對斜坡	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
Affected by slopes 受斜坡影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
Landscape Impact 構成景觀影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
Tree Felling 砍伐樹木	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
Visual Impact 構成視覺影響	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		
Others (Please Specify) 其他 (請列明)	<input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>..... 不需砍伐樹木： 在申請地點做好排水工程</p>
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<p>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期</p>	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	
	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： <hr/> <hr/> <hr/>
(e) Approval conditions 附帶條件	<hr/> <hr/> <p>Reason(s) for non-compliance: 仍未履行的原因： <hr/> <hr/> <hr/> </p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 <input type="checkbox"/> month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

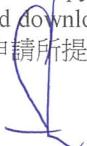
請看附件的申請報告書

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Applicant 申請人 Authorised Agent 獲授權代理人

Ms Hermose Chong

Name in Block Letters
姓名（請以正楷填寫）

Manager

Position (if applicable)
職位（如適用）

Professional Qualification(s) Member 會員 / Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他

on behalf of
代表

ALLGAIN LAND ADMINISTRATORS (HONG KONG) LIMITED

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

22/09/2025

(DD/MM/YYYY 日/月/年)



Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.
任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
 - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
 - facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	新界元朗屏山丈量約份第122約地段第914號、第915號、第916號（部分）及第917號（部分） Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories
Site area 地盤面積	2,780 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 0 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ping Shan Outline Zoning Plan No. S/YL-PS/20 屏山分區計劃大綱核准圖編號 S/YL-PS/20
Zoning 地帶	「綠化地帶」 "Green Belt"
Type of Application 申請類別	<p><input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____</p> <p><input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____</p>
Applied use/ development 申請用途/發展	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years 擬議臨時康體文娛場所（休閒農場）（為期3年）

(i)	Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
		Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii)	No. of blocks 幢數	Non-domestic 非住用	1,560 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.561 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
		Domestic 住用	0	
(iii)	Building height/No. of storeys 建築物高度／層數	Non-domestic 非住用	8	
		Domestic 住用	0 <input type="checkbox"/> (Not more than 不多於)	0 <input type="checkbox"/> (Not more than 不多於)
(iv)	Site coverage 上蓋面積	Non-domestic 非住用	5 <input checked="" type="checkbox"/> (Not more than 不多於)	5 <input type="checkbox"/> (Not more than 不多於)
		Domestic 住用	1 <input type="checkbox"/> (Not more than 不多於)	1 <input checked="" type="checkbox"/> (Not more than 不多於)
(v)	No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	56.1 % <input checked="" type="checkbox"/> About 約 2 2 0 0 0 0 1 0 0 1 0 0 0	2 2 0 0 0 0 1 0 0 1 0 0 0

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Site Plan , Location Plan , Swept Path Analysis , Landscape Proposal</u>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions)	<input type="checkbox"/>	<input type="checkbox"/>
環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
預計車輛進出流量報告		
<p>Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號</p>		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

根據《城市規劃條例》(第 131 章)

第 16 條遞交的許可申請

新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、

第 916 號 (部分) 及第 917 號 (部分)

擬議臨時康體文娛場所 (休閒農場)(為期 3 年)

申請報告書及擬議發展的計劃細節

目 錄

1. 擬議發展細節-----P.1
2. 申請原因-----P.2
3. 擬議發展計劃的各方面影響-----P.3-4

擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章) 第 16 條，提交有關新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號(部分) 及第 917 號 (部分) 的規劃申請，擬在上述地段申請為期三年的臨時康體文娛場所 (休閒農場)。
2. 申請地點位於元朗屏山附近，在《屏山分區計劃大綱核准圖編號 S/YL-PS/20》上劃為「綠化地帶」用途。
3. 申請地盤面積為約 2,780 平方米，上蓋總面積為 1,560 平方米，露天地方面積為 1,220 平方米，上蓋覆蓋率為 56.1% 。
4. 申請地點的耕種面積 (包括 4 個溫室)，合共約 1720 平方米，佔申請地點面積約 62% 。
5. 申請地點將設有 8 個構築物，用途及面積請參考附件的 List Of Structure 。
6. 申請地點涉及 1 個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。
7. 申請地點涉及 2 個私家車停車位，提供給職員或訪客使用，訪客需預先預約車位。
8. 擬議發展的營運時間為星期一至星期日上午九時至下午六時，包括公眾假期。
9. 申請地點可從元朗屏路經一條鄉村地區道路前往。
10. 申請人確認申請地點不會有任何填土工程。
11. 申請人預計擬議發展每天不超過 20 個訪客前來。

申請原因

1. 申請地點之前涉及一個相同用途的規劃申請 (A/YL-PS/704)，因申請人未能完成相關附帶條件 (欠渠務的，消防已做好)，該申請已被撤銷，申請人承諾如這次批出，一定會好好完成相關附帶條件。
(上次是因為渠務處沒有在限期內回覆)
2. 申請地點是綠化地帶，而擬議用途為休閒農場，申請用途屬「綠化」中的「第二欄用途」，與規劃意向相符，和周邊環境及用途協調。
3. 在新農業政策下，休閒農場是指營運仍以商業務農為主，並以提供與其作業有關的有限度休閒活動為輔的農場，目的是擴大農民可推廣其農業產品和介紹其務農活動的平台。擬議發展能夠推廣可持續休閒耕種，符合政府推行的新農業政策，鼓勵市民參與綠化活動及透過種植活動提高綠化環保的意識。
4. 擬議發展只是臨時三年的性質，不會影響農業用途地帶的長遠規劃意向。
5. 擬議發展不會填土，不會破壞天然環境，不會砍伐樹木，不會對周邊地區及環境帶來負面影響。
6. 擬議休閒農莊的所有構築物都會由臨時物料搭建，是臨時性質的。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界元朗元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號 (部分) 及第 917 號 (部分) 作為期不超過三年的擬議臨時康體文娛場所 (休閒農場)。

擬議發展計劃的各方面影響

1. 土地行政

申請地點涉及多個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及 8 個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從朗屏路經一條鄉村地區道路前往，入口設有約 6 米闊的大閘讓車輛駛進休閒農場。

3. 擬議發展的交通安排

申請用途提供一個輕型貨車的上落車位，及 2 個私家車停泊車位。

4. 環境方面

申請人會按照環保署對臨時露天農場及上蓋的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時休閒農場，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時休閒農場，不會有重大的噪音影響。

7. 排污方面

申請用途涉及洗手間，申請人會建造合適容量的化糞池，並安排公司定期來吸糞。

8. 渠務方面

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

9. 消防方面

申請人已將按照消防批出的圖則放置消防裝置。

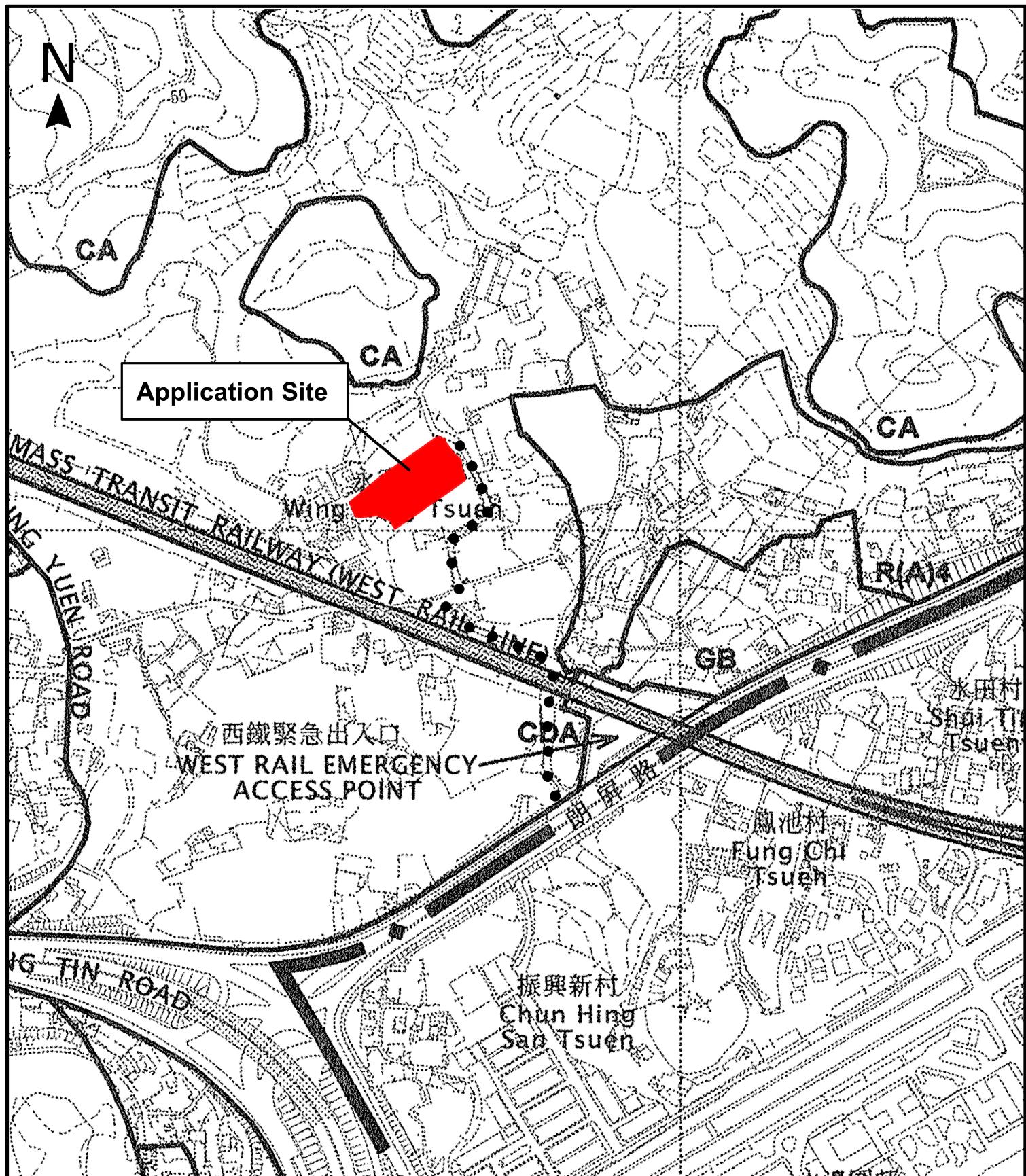
10. 綠化園景方面

申請人不會砍伐現存的樹木，並會好好打理保養它們。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，

並承諾在規劃許可到期後，還原申請地點。

懇請城市規劃委員會寬大批准新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號（部分）及第 917 號（部分）作為期不超過三年的臨時康體文娛場所（休閒農場）。



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Location Plan

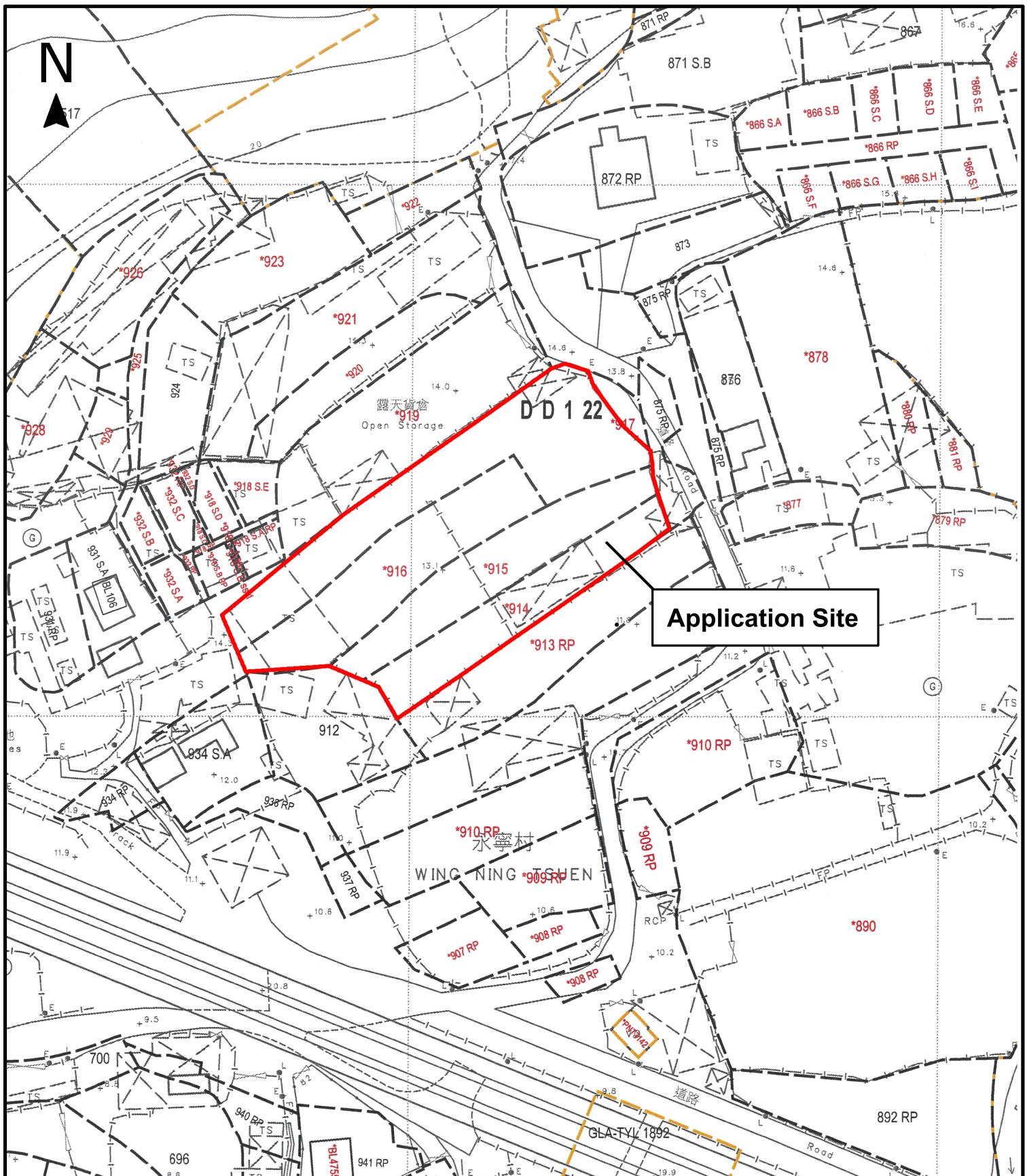


Remarks 備註:

••• Vehicular access leading from Long Ping Road

Drawing No. 圖號:

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Site Plan

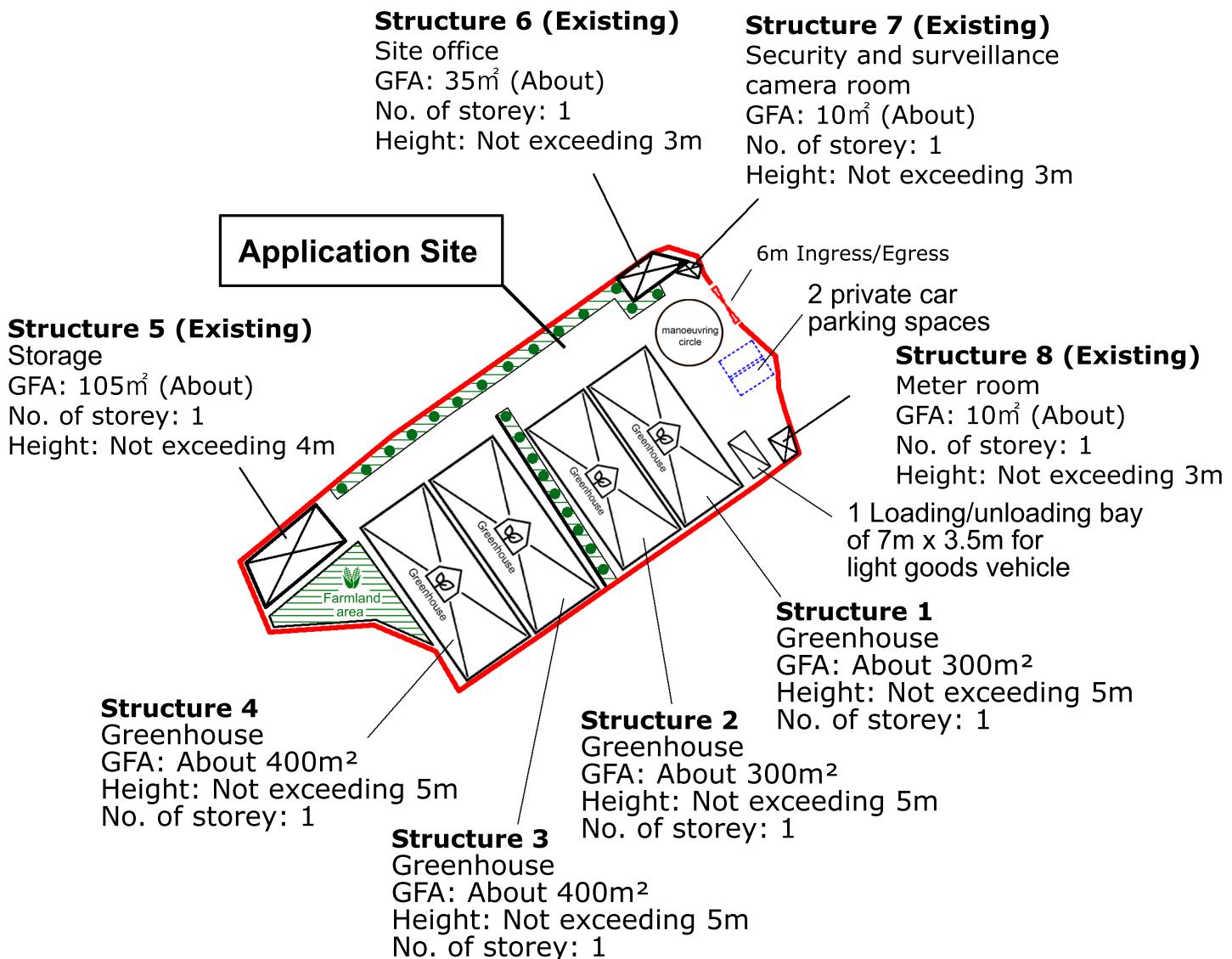


Remarks 備註:

Drawing No. 圖號:

Scale 比例:

N
▲



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Layout Plan



Remarks 備註:

Light goods vehicle

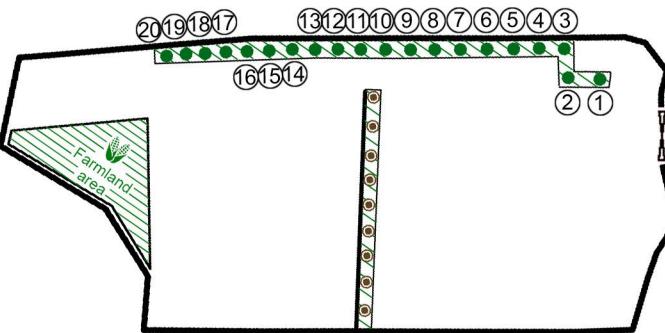
Structure

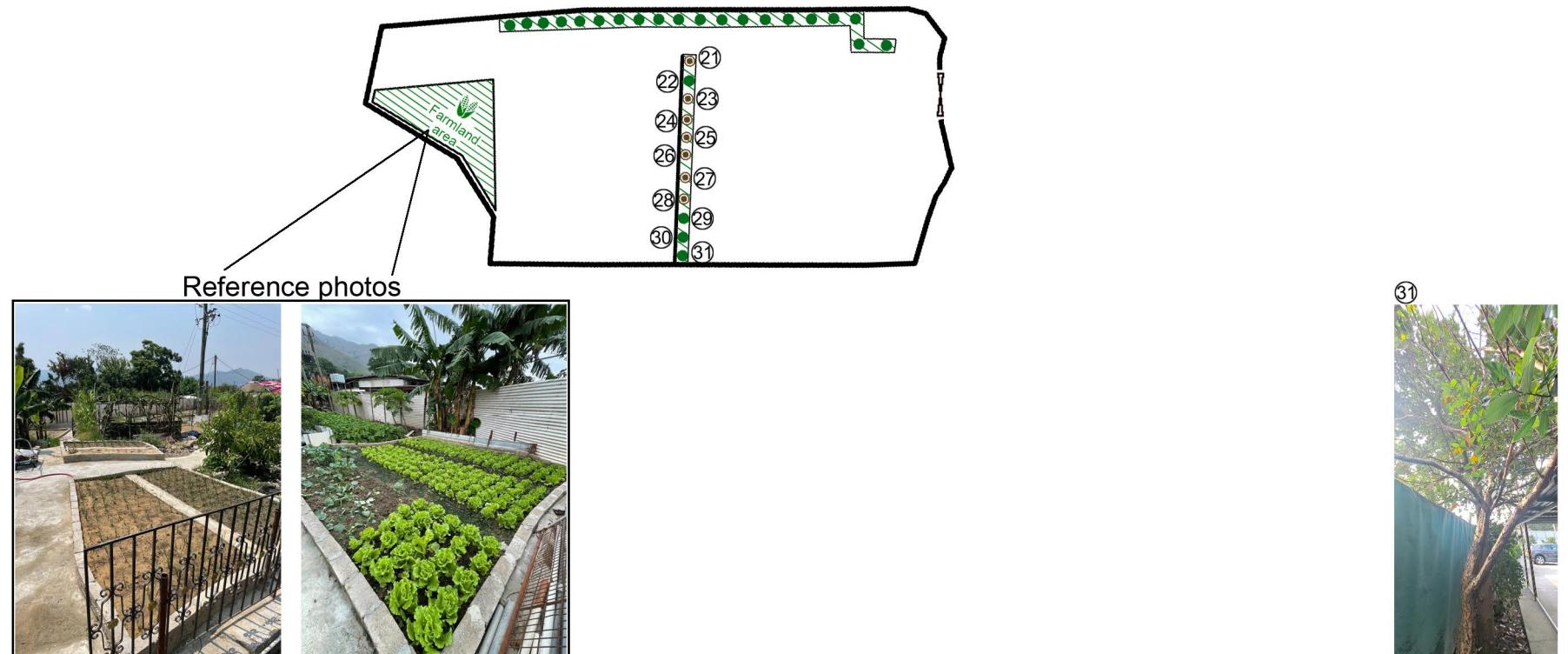
Private Car Parking

Existing Tree

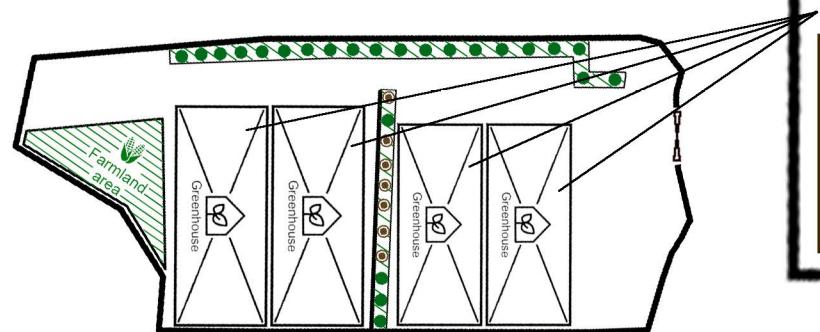
Farmland Area

Drawing No. 圖號:

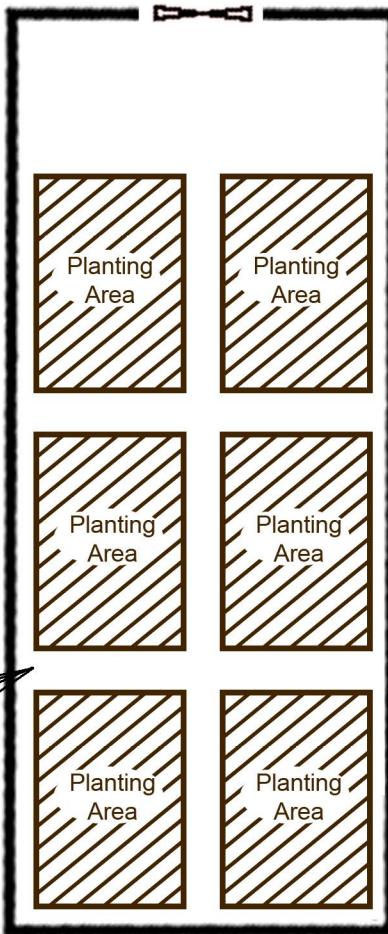




Reference Photos



Ingress/Egress



Reference Photos



Project 項目名稱:
Proposed Temporary Place of Recreation, Sports or Culture
(Hobby Farm) for a Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122, Ping Shan,
Yuen Long, New Territories

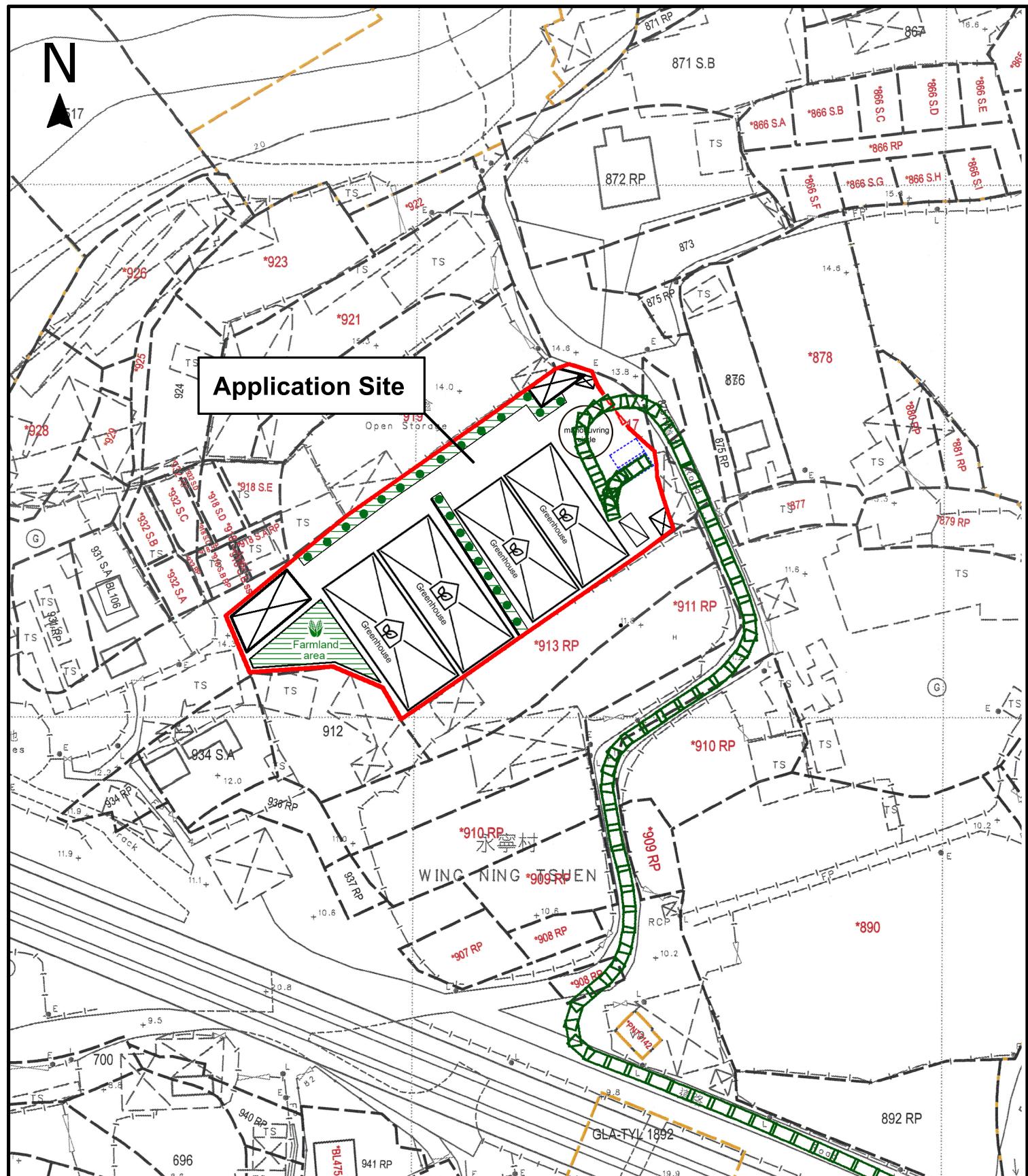
Drawing Title 圖紙標題:
Proposed Greenhouse
Layout Plan

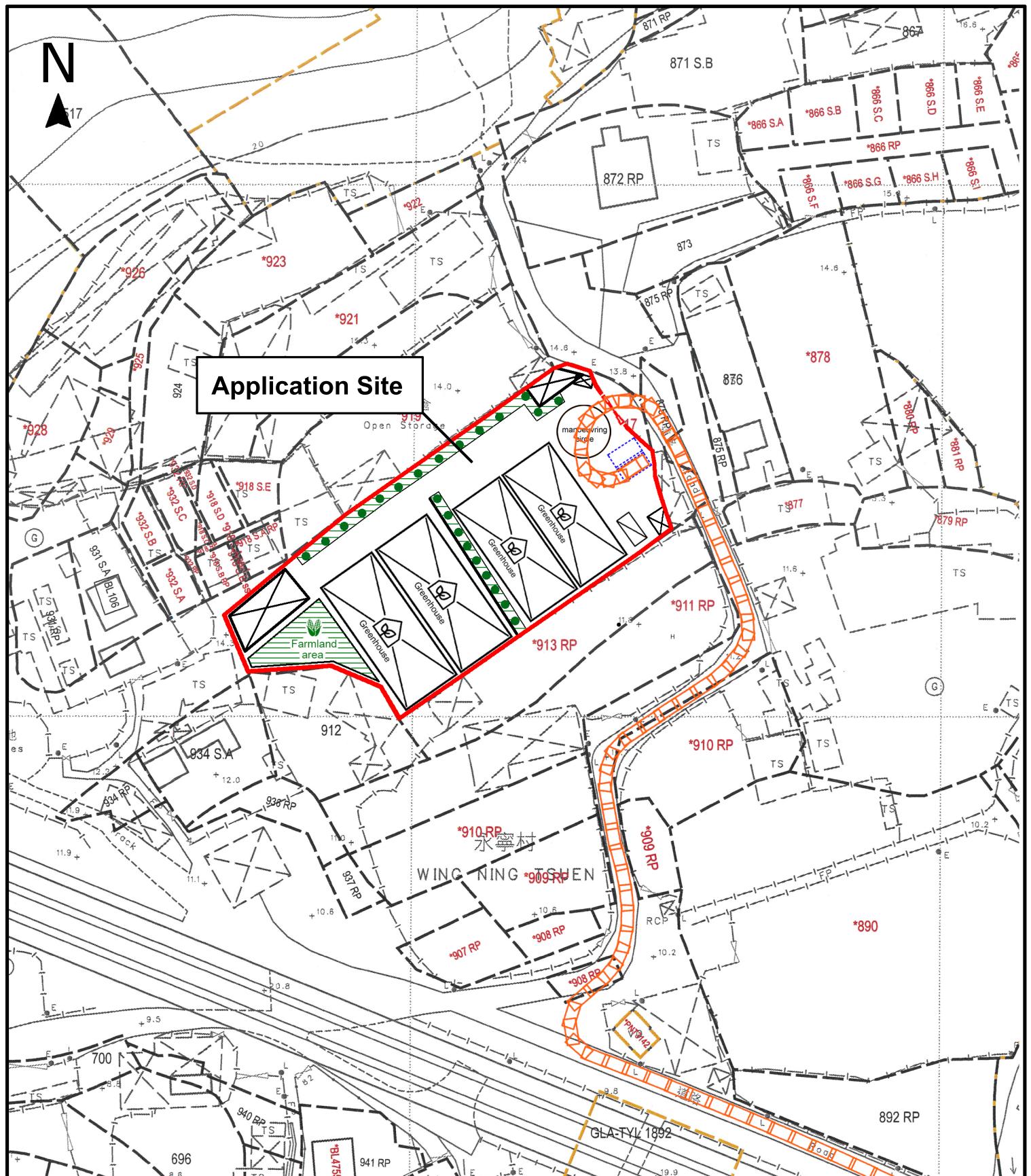
Drawing No. 畫號:

Remarks 備註:
 Farmland Area
 Existing Tree
 Existing Tree in pot

List of Structures

Structure No.	Usage	Covered Area (m ²)	GFA (m ²)	Proposed Height
1	Greenhouse	300	300	Not Exceeding 5 m ; 1 Storey
2	Greenhouse	300	300	Not Exceeding 5 m ; 1 Storey
3	Greenhouse	400	400	Not Exceeding 5 m ; 1 Storey
4	Greenhouse	400	400	Not Exceeding 5 m ; 1 Storey
5	Storage	105	105	Not Exceeding 4 m ; 1 Storey
6	Site Office	35	35	Not Exceeding 3 m ; 1 Storey
7	Security and surveillance camera room	10	10	Not Exceeding 3 m ; 1 Storey
8	Meter Room	10	10	Not Exceeding 3 m ; 1 Storey
Total		1,560	1,560	





Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path Analysis (OUT)

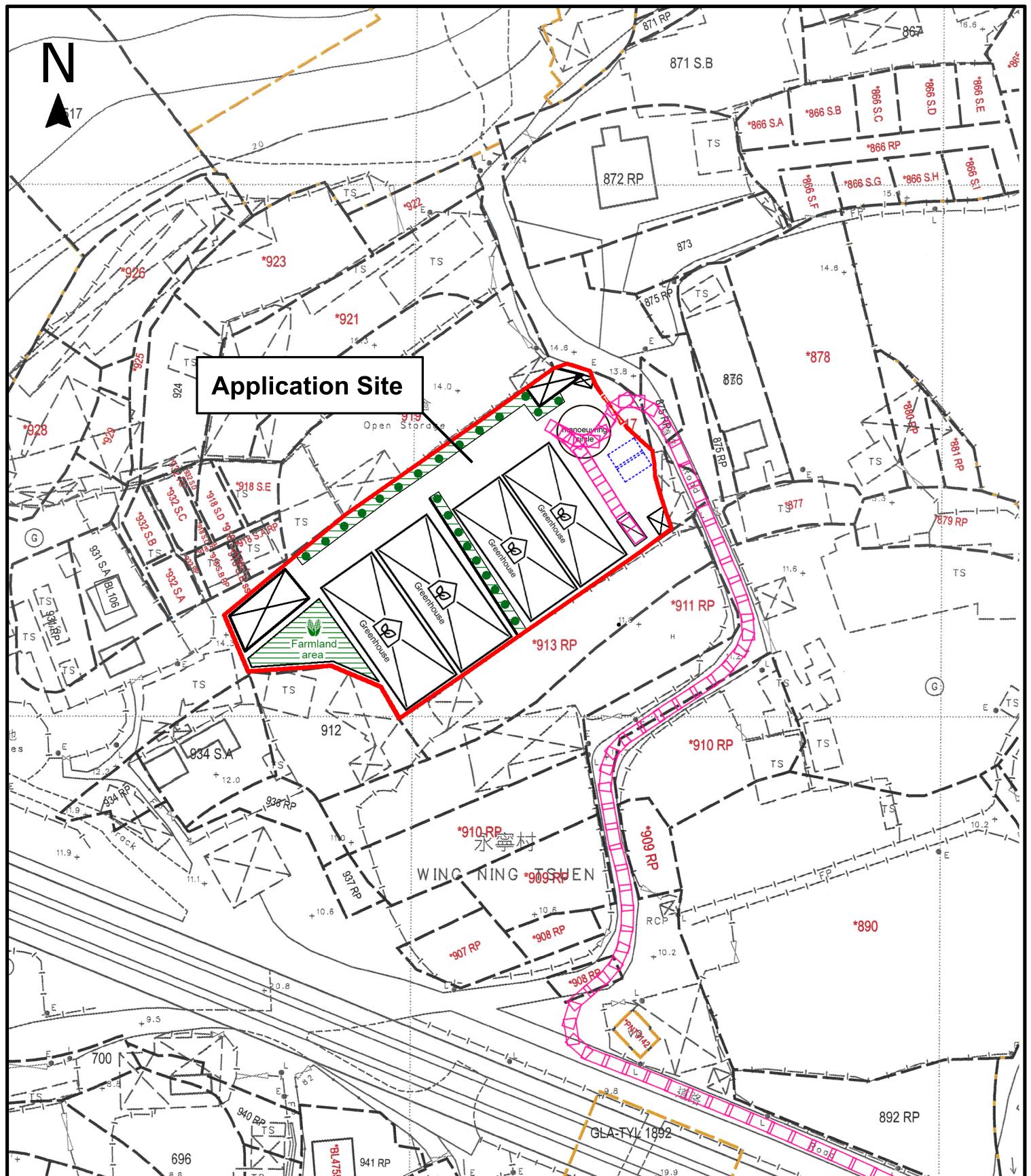


Remarks 備註:

- Private car In
- Private car Out

Drawing No. 圖號:

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path Analysis (IN)

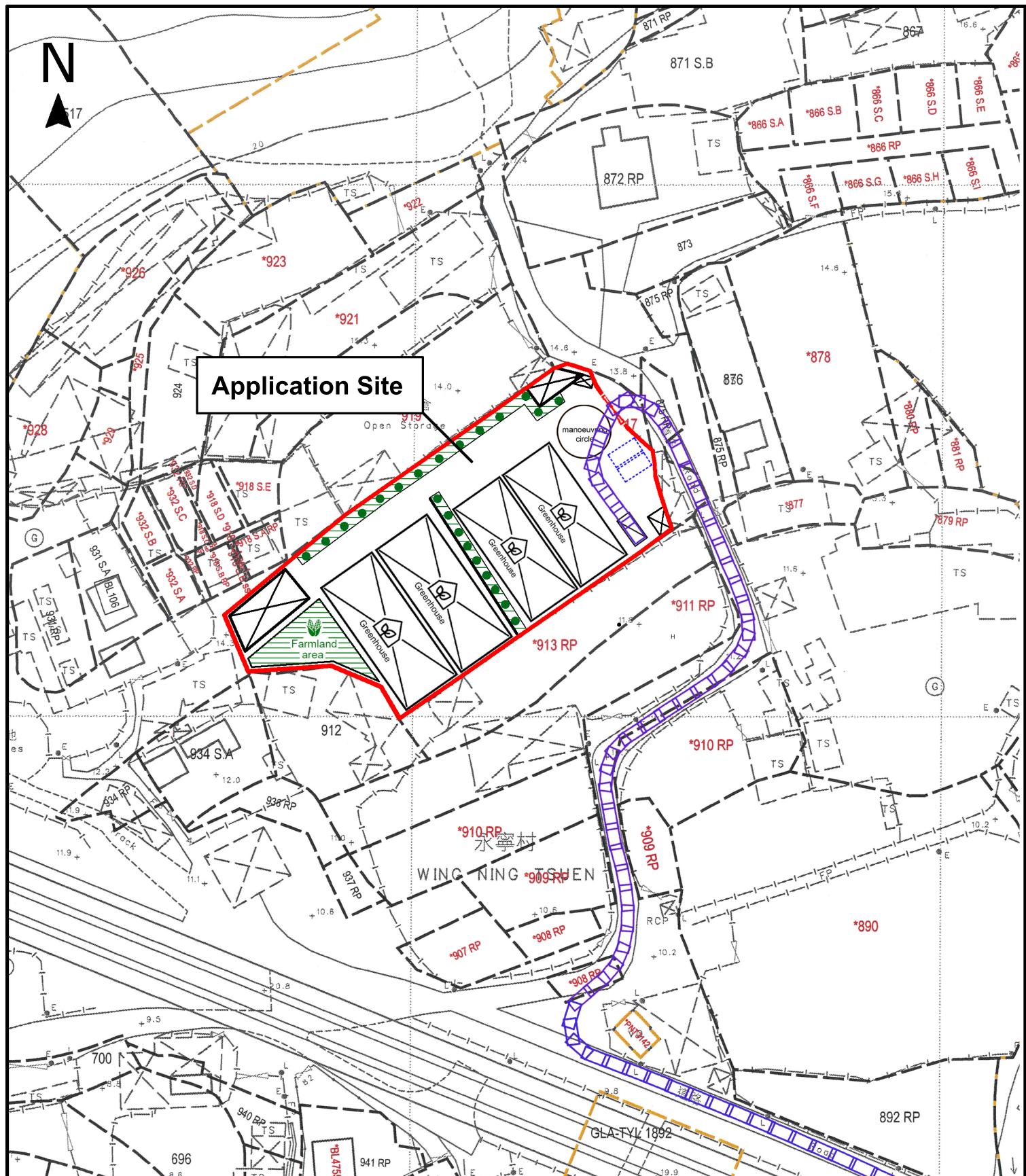


Remarks 備註:

- Light goods vehicle In
- Light goods vehicle Out

Drawing No. 圖號:

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path Analysis (OUT)



Remarks 備註:

- Light goods vehicle In
- Light goods vehicle Out

Drawing No. 圖號:

Scale 比例:

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、
第 916 號（部分）及第 917 號（部分）
作為期三年的臨時康體文娛場所（休閒農場）

預計輕型貨車進出流量報告
（星期一至星期日及公眾假期）

時間	進入（輛）	離開（輛）
9 : 00 – 10 : 00	0	0
10 : 00 – 11 : 00	0	0
11 : 00 – 12 : 00	0	0
12 : 00 – 13 : 00	0	0
13 : 00 – 14 : 00	1	0
14 : 00 – 15 : 00	0	0
15 : 00 – 16 : 00	0	1
16 : 00 – 17 : 00	0	0
17 : 00 – 18 : 00	0	0
合計(輛)	1	1

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、
第 916 號（部分）及第 917 號（部分）
作為期三年的臨時康體文娛場所（休閒農場）

預計私家車進出流量報告
（星期一至星期日及公眾假期）

時間	進入（輛）	離開（輛）
9 : 00 – 10 : 00	0	0
10 : 00 – 11 : 00	1	0
11 : 00 – 12 : 00	0	0
12 : 00 – 13 : 00	0	0
13 : 00 – 14 : 00	0	1
14 : 00 – 15 : 00	1	0
15 : 00 – 16 : 00	0	0
16 : 00 – 17 : 00	0	1
17 : 00 – 18 : 00	0	0
合計(輛)	2	2

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

Max Yuet Lun WONG/PLAND

寄件者: Chong Hermose <[REDACTED]>
寄件日期: 2025年11月10日星期一 12:20
收件者: tpbpd/PLAND
副本: Max Yuet Lun WONG/PLAND; Tracy Wing Sum LAW/PLAND
主旨: A/YL-PS/765 : Drainage Proposal
附件: Temporary Drainage Proposal_A_YL-PS_765.pdf
類別: Internet Email

城規會 / 規劃處 :

現附上 s16 規劃申請 : A/YL-PS/765 的 Drainage Proposal , 請查收。

如有什麼問題 , 請隨時聯絡我 , 謝謝。

Ms Chong
([REDACTED])

TEMPORARY DRAINAGE PROPOSAL

APPLICATION SITE OF PROPOSED TEMPORARY
PLACE FOR RECREATION, SPORTS OR
CULTURE (HOBY FARM) FOR A PERIOD OF 3
YEARS AT LOTS 914, 915, 916 (PART) AND 917
(PART) in D.D. 122, PING SHAN, YUEN LONG,
NEW TERRITORIES

Application No.: A/YL-PS/765

10 November 2025

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2 Introduction

2.1 Background

This report presents the drainage proposal for supporting the proposed temporary place for recreation, sports or culture (hobby farm) for a period of 3 years at Lots 914, 915, 916 (part), 917 (part) in D.D. 122, Ping Shan, Yuen Long, New Territories.

2.2 Objectives of the Report

This report shall be prepared to include the following:

- Identify the potential drainage impact assessment from the proposed Application Site
- Recommend and implement all necessary measures to mitigate adverse drainage impacts arising from the application site

2.3 Report Structure

The report contains the following sections:

- Section 1 on Introduction;
- Section 2 on Development Proposal;
- Section 3 on Assessment Criteria;
- Section 4 on Potential Drainage Impact; and
- Section 5 on Conclusion.

3 Development Proposal

3.1 Location of the Application Site

The application Site is located within the Ping Shan, Yuen Long, with an area of around 2780m² and ground level varying between + 14.0mPD and + 12.0mPD. The layout plan is provided in **Appendix B**.

This application site is "Green Belt" zoning, the type of application is the Temporary Use/Development in Rural Areas for a Period of 3 Years.

There is a existing catchpit within the application site, the location and site photos of the existing catchpit are provided in **Appendix C**.

4 Assessment Criteria

4.1 Design Return Periods

The drainage system in the Application site is to collect surface flows and convey to the existing catchpit

TEMPORARY DRAINAGE PROPOSAL

and finally convey to downstream village drain. The recommended design return periods based on the flood levels for the various drainage systems depend on the drainage system, land use, hazard to public safety and community expectations. The recommended design return period is reproduced in Table 4-1 below:

DESCRIPTION	DESIGN RETURN PERIODS
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage including internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 4-1 Recommended Design Return Periods based on Flood Levels

As per Storm Drainage Manual (SDM) Section 6.6.2 Urban Drainage Branch and Urban Drainage Trunk Systems “An ‘Urban Drainage Branch System’ is defined as a group or network of connecting drains collecting runoff from the urban area and conveying stormwater to a trunk drain, river or sea. For a simple definition, the largest pipe size or the equivalent diameter in case of a box culvert in a branch system will normally be less than 1.8m.

An ‘Urban Drainage Trunk System’ collects stormwater from branch drains and/or river inlets, and conveys the flow to outfalls in river or sea. Pipes with size or diameter equal to or larger than 1.8m are normally considered as trunk drains.”

As per SDM, since the proposed U-channels are sized smaller than 1.8m, the drainage system would be defined as an urban drainage branch with recommended design return period of 50 years.

The 50 years design return period will be considered to ensure adequacy of the stormwater drainage system.

4.2 Calculation Methodology for Runoff

Peak instantaneous runoff values before and after the development were calculated based on the Rational Method and with recommended physical parameters including runoff coefficient (C) and storm constants for different return periods referred to the SDM, based on the following equation:

$$Q_p = 0.278 C i A$$

where	Q_p	=	Peak Runoff, m^3/s
	C	=	Runoff Coefficient
	i	=	Rainfall Intensity, mm/hr
	A	=	Catchment Area, km^2

The paved area of the site will account for 5240m². For conservative, the runoff coefficient of 0.9 is assumed, such that the all the run-off would be collected from the catchment area without any infiltration as the critical scenario.

Based on the storm constants for 50-year return period recommended in the SDM, the appropriate rainfall intensities (i) are calculated as detailed in Appendix D

4.3 Calculation Methodology for Pipe Capacity Checking

Due to the catchment areas are less than 1ha, U-channels are recommended to be constructed to collect the stormwater runoff of the open area within the site. For the catchment area within the roofing of the one-story warehouse, stormwater would be collected by the gutter, and then be diverted to U-channel system at ground level via downpipe. The collected stormwater should finally be diverted to the downstream via the proposed U-channel system.

For the worst-case scenario, bad condition of concrete pipe is assumed for the Manning's roughness coefficient (coefficient value is 0.016) for calculating capacities of concrete U-channel using Manning's Equation.

Manning's Equation for calculating the channel and pipe capacities is adopted.

5 Potential Drainage Impact

5.1 Existing Site Condition

The application Site is located within the Ping Shan, Yuen Long with an area of around 2780m² and ground level varying between + 14.0mPD and + 12.0mPD.

5.2 Changes in Drainage Characteristics

Since the existing ground level of application site is generally higher than the adjacent ground surface. No external catchment shall be considered in the calculation. And the hoarding of adjacent site control the runoff within application site won't convey to adjacent site, prevent extra runoff affecting adjacent site.

The change in sub-catchment is summarized in Table 5-1.

	Before	After
Grassland (m ²)	0	0
Paved Area (m ²)	2780	2780
External Catchment Area(m ²)	0	0
Total Catchment Area (m ²)	2780	2780

Table 5-1 Change in sub-catchment within the site

5.3 Potential Drainage Impact

The details of the proposed drainage works are illustrated in **Appendix C**.

To effectively convey stormwater away from the application site and minimize the potential impact to the drainage infrastructure of the village area, drainage works consists of U-channels, are proposed to convey the stormwater runoff to the terminate catchpit with sand trap (TCP) within the site.

The runoff within application site separated to three catchment area, catchment area CA1 approximate 330m², collected by a 225mm U-channel, runoff would then be conveyed to 375mm U-channel of catchment area CA2. Catchment area CA2 approximate 2460m² is collected by one 375mm U-channel along the lower-level boundary, runoff would then be conveyed to 450mm U-channel of catchment area CA3. Catchment area CA3 approximate 1210m² is collected by one 450mm U-channel along the lower-level boundary, runoff would then be conveyed to the existing terminate catchpit with sand trap (TCP)within the application site, before discharging to the existing village Nullah at the East-South direction of the application site, and eventually discharge to the further downstream as indicated in the **Appendix C**.

The U-channels receive stormwater from the surface. For Conservative, the critical scenario is considered for collecting all the flow leading to the 450mm U-channel. The design calculation of the proposed drainage is provided in **Appendix D**. The design calculation is summarized in Table 4-2.

Drainage System	Estimated Flow (L/min)	Capacity (L/min)	Reserve Capacity
225mm u-channel	1796	4200	57%
375 mm u-channel	8392	18000	53%

TEMPORARY DRAINAGE PROPOSAL

450mm u-channel	14856	20000	25%
-----------------	-------	-------	-----

Table 4-2 Design calculation of the proposed drainage work

1. Rainfall increase due to climate change at the end of 21st century is considered according to stormwater drainage manual Table 28.
2. The reserve capacity is calculated by assuming that the U-channel reach its full capacity.

The design runoff arise from the proposed Application Site is to be discharged into the proposed existing terminate catchpit with the runoff anticipated to be 14856L/min, which is within the drainage capacity of the proposed 450mm u-channel of 20000L/min, the reserve capacity is 25%.

It is considered that the drainage discharge from the Application Site will not cause adverse impact to the entire downstream drainage system.

All u-channels & catch pits will be constructed according to the CEDD's standard drawings, please refer to the **Appendix E**.

6 Construction Stage

6.1 Temporary Drainage Arrangements

Proper measures shall be taken to maintain the existing drainage characteristics of the catchment areas and to minimize drainage impacts associated with the construction works. The principal drainage impacts which are associated with construction of the works have been identified as follows:

- (i) Erosion of ground materials;
- (ii) Sediment transportation to existing downstream drainage system; and
- (iii) Obstruction to drainage systems.

Regular inspections shall be carried out to ensure integrity of the works. These inspections shall cover works under construction as well as recently completed areas.

To ensure proper operation of the site drainage channels and desilting facilities, inspection of the perimeter drains shall be carried out on a weekly basis and the desilting facilities shall be cleaned on a daily basis.

If excavated materials are not possible to transport away the excavated material within the same day, the material should be covered by tarpaulin/impervious sheets. Stockpiles of construction materials (for examples aggregate, fill materials) of more than 50 m³ in an open area shall also be covered with tarpaulin or similar fabric during rainstorms.

All runoff discharged into the existing drainage system will be settled in a silt trap to ensure no sediment will be discharged into the channel. Silt traps will normally be provided along the site drainage immediately upstream of the proposed discharge point to the existing Site. The silt traps will be inspected daily and immediately after each rainstorm.

Liaison will be carried out with relevant parties regarding temporary drainage arrangements to ensure that the drainage system is functioning adequately.

7 Conclusions

7.1 Conclusions

The analyzed catchment area of 2780m² consists of the site area of the proposed Application Site only and no external catchment area had been identified.

U-channels are proposed to convey runoff from the application site for collection. The proposed U-channels are located along the lower-level boundary which is subject to change to suit the building layout.

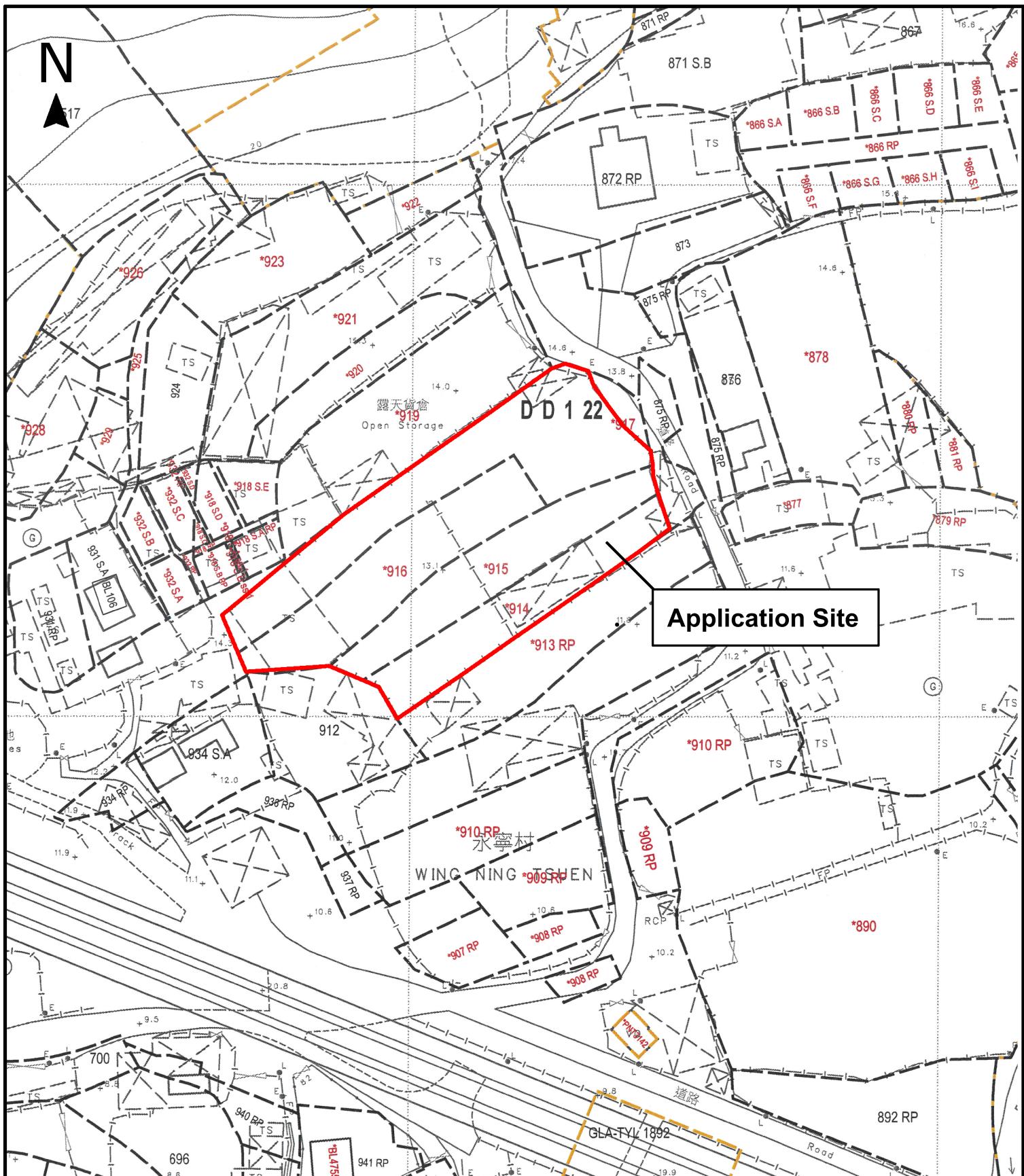
The assessment reviews the drainage pipe have the sufficient capacity to cater for the drainage flow from the Application Site.

Mitigation measures are proposed during the construction period and to ensure that the existing drainage system within the site will not be affected during the construction stage.

TEMPORARY DRAINAGE PROPOSAL

APPENDIX A

SITE LAYOUT PLAN



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Site Plan



Remarks 備註:

Drawing No. 圖號:
20231218

Scale 比例:

APPENDIX B

LAYOUT PLAN

N
▲

Structure 6 (Existing)

Site office
GFA: 35m² (About)
No. of storey: 1
Height: Not exceeding 3m

Structure 7 (Existing)

Security and surveillance
camera room
GFA: 10m² (About)
No. of storey: 1
Height: Not exceeding 3m

Application Site

Structure 5 (Existing)

Storage
GFA: 105m² (About)
No. of storey: 1
Height: Not exceeding 4m

6m Ingress/Egress

2 private car
parking spaces

Structure 8 (Existing)

Meter room
GFA: 10m² (About)
No. of storey: 1
Height: Not exceeding 3m

1 Loading/unloading bay
of 7m x 3.5m for
light goods vehicle

Structure 1

Greenhouse
GFA: About 300m²
Height: Not exceeding 5m
No. of storey: 1

Structure 2

Greenhouse
GFA: About 300m²
Height: Not exceeding 5m
No. of storey: 1

Structure 3

Greenhouse
GFA: About 400m²
Height: Not exceeding 5m
No. of storey: 1

Structure 4

Greenhouse
GFA: About 400m²
Height: Not exceeding 5m
No. of storey: 1

Project 項目名稱:

Proposed Temporary Place of Recreation,
Sports or Culture (Hobby Farm) for a
Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122,
Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Layout Plan



Remarks 備註:

□ Light goods vehicle

☒ Structure

□ Private Car Parking

● Existing Tree

☒ Farmland Area

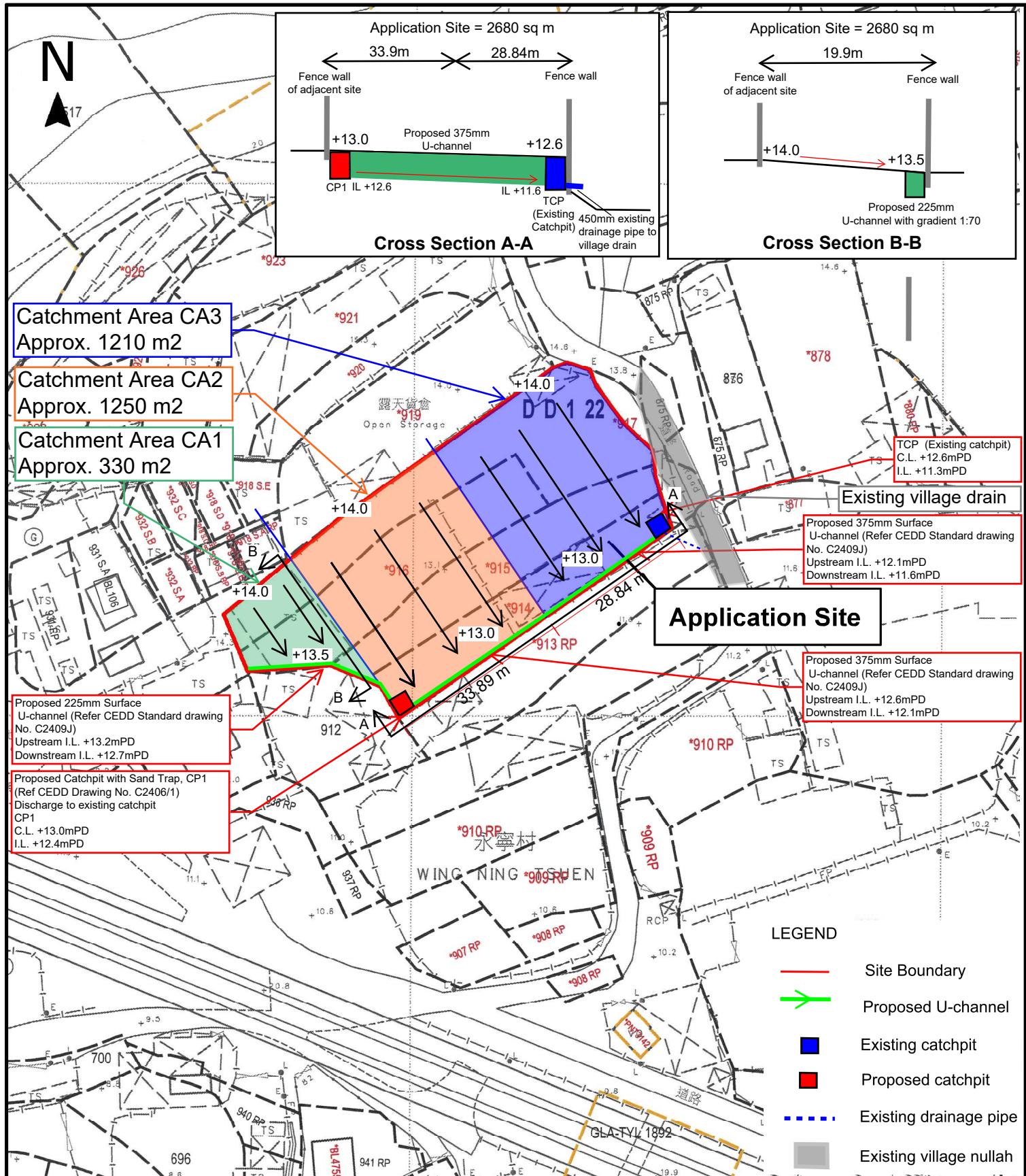
Drawing No. 圖號:

20231218

TEMPORARY DRAINAGE PROPOSAL

APPENDIX C

PROPOSED DRAINAGE PLAN



Project 項目名稱:

Proposed Temporary Place of Recreation,
Sports or Culture (Hobby Farm) for a
Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122,
Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Site Plan



Drawing No. 圖號:
20231218

Remarks 備註:

Scale 比例:

APPENDIX D

DESIGN CALCULATION OF THE PROPOSED DRAINAGE SYSTEM

PROJECT: APPLICATION SITE OF PROPOSED TEMPORARY SHOP AND SERVICES
FOR A PERIOD OF 3 YEARS AT TAI CHUNG HAU ROAD TRACK, SAI KUNG
JOB NO: ALPL/TDM/004
TITLE : Temporary Drainage Design Calculation

Revision : 0
Date : 24-Feb-25
Prepare By: JW

DETERMINE THE CATCHMENT OF AREA

CA1	=	328	(m ²)
CA2	=	1248	(m ²)
CA3	=	1214	(m ²)

DETERMINE THE INLET TIME

Section	A = Catchment of Area (m ²)	Level of remote point (mPD)	Level of inlet point (mPD)	L (m)	H (m/100m)	t _e = Time of Natural flow (min)
1	CA1	328	14	13.5	19.9	2.51
2	CA2	1248	14	13	37.5	2.67
3	CA3	1214	14	13	37.5	2.67

Ref.: Brandsby Williams Equation

Note: $t_e = \frac{0.14465 \cdot L}{H^{0.5} \cdot A^{0.1}}$

H = average slope (m per 100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration

L = distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m).

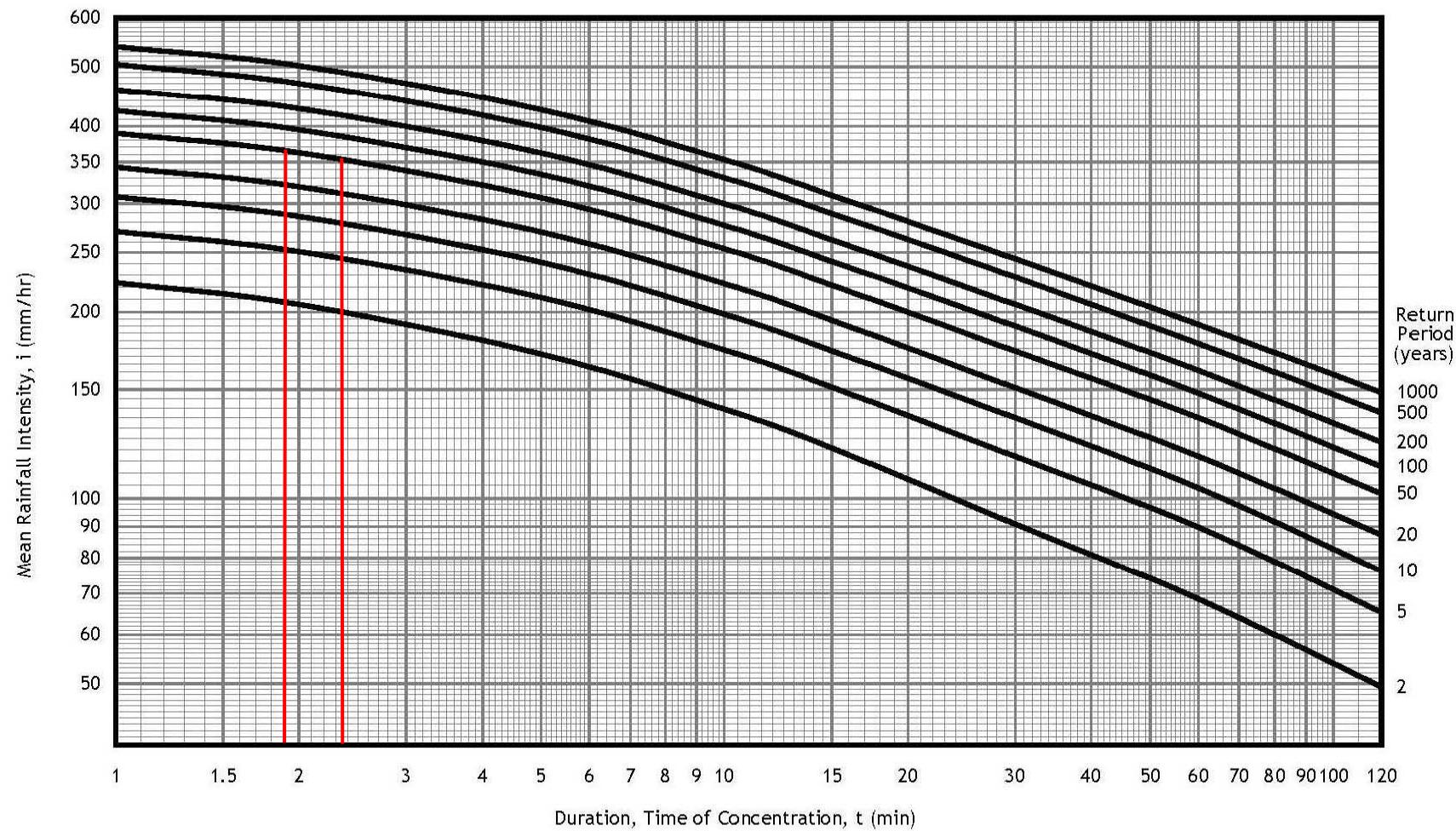
DETERMINE THE SIZE OF STEPPED / U-CHANNEL

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	
Section No.	Ldr (m)	Lh (m)	L (m)	Gradient (1 in)	Site area (m ²)	others area (m ²)	Total area (m ²)	A (m ²)	channel size	Capacity (l/min)	Assumed Flow (l/min)	t _f (min)	t _e (min)	t _c (min)	I (mm/hr)	Runoff (l/min)	Remark	
1	0.50	32.50	32.50	65.00	328.00	0.00	328.00	328.00	225	4200	1.90	0.29	1.34	1.63	365.00	1795.8	O.K.	CAPACITY > RUNOFF
2	0.50	33.90	33.90	67.80	1248.00	328.00	1576.00	1576.00	375	18000	2.75	0.21	2.19	2.39	355.00	8392.2	O.K.	CAPACITY > RUNOFF
3	0.50	28.84	28.84	57.68	1214.00	1576.00	2790.00	2790.00	375	20000	3.00	0.16	2.19	2.35	355.00	14856.8	O.K.	CAPACITY > RUNOFF

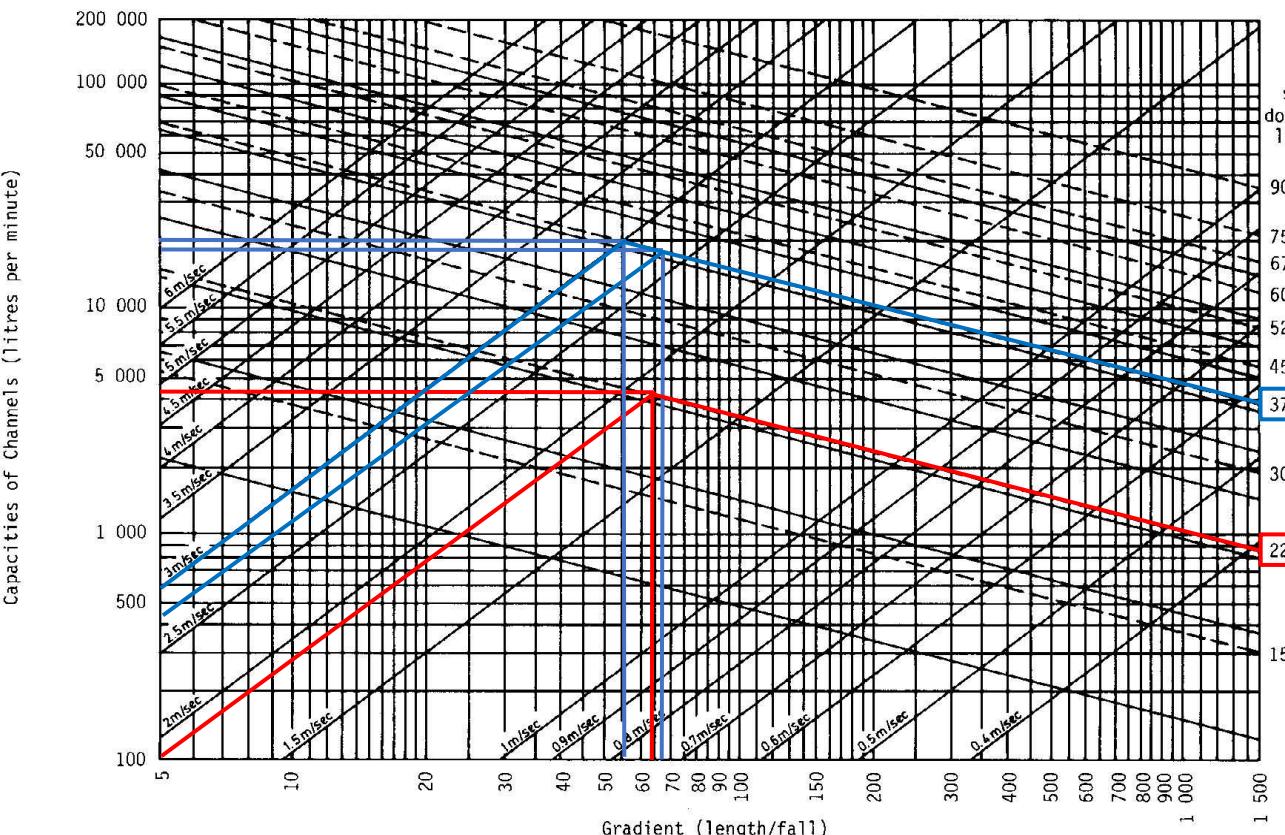
Note: Ldr = Different level between U-channel section
Gradient = 1 in (Lh/Ldr)
Total area = Site area + others area
A=Cumulative area = Total area + others section area
Capacity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)
Assumed flow velocity = Assumed velocity of runoff
Actual Flow velocity = Refer to the extracted Figure 8.7 - Chart for the Rapid Design of Channels (Geotechnical Manual for Slopes P.253)
t_f = Flow time = L / assumed flow velocity
t_e = inlet time (time taken for flow from the remotest point to reach the most upstream point of the urban drainage system)
t_c = Time of concentration = t_f + t_e (Min. t_c = 1 min. for conservative design)
I = Intensity Refer to the extracted Figure 8.2 - Curves Showing Duration and Intensity of Rainfall in H.K.
K = Runoff coefficient = 0.9 refer to Character of Surface (refer DSD(2013))
Design Return Period = 50 years
Runoff = K.I.A./3600 (l/s) = K.I.A./60 (l/min)
UC U-channel
SC Stepped channel

For section no. 1.00 , Actual Flow Velocity = 1.70 m/s < 4m/s, O.K.
For section no. 2.00 , Actual Flow Velocity = 2.75 m/s < 4m/s, O.K.
For section no. 3.00 , Actual Flow Velocity = 2.75 m/s < 4m/s, O.K.

[Use new 225 U, so it is O.K.]
[Use new 375 U, so it is O.K.]
[Use new 375 U, so it is O.K.]

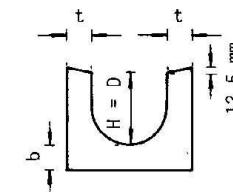


1.7	178
1.5	163

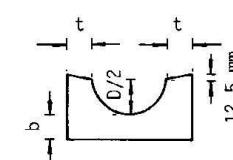


Size of channel (mm) shown by dotted solid line

Channel dimensions



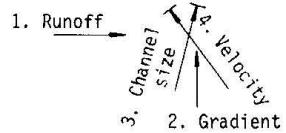
U-shaped channel (U)



Half-round channel (HR)

DESIGN METHOD USING CHART

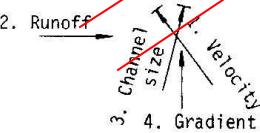
(a) Normal channel Solution



Example :

1. Enter Runoff = 4 000 litre/min.
2. Enter Gradient = 1 in 40
3. Read channel required = 225 U or 300HR
4. Read velocity = 2.2 m/sec. (<4 m/sec. ∴ OK)

(b) Stepped channel Solution

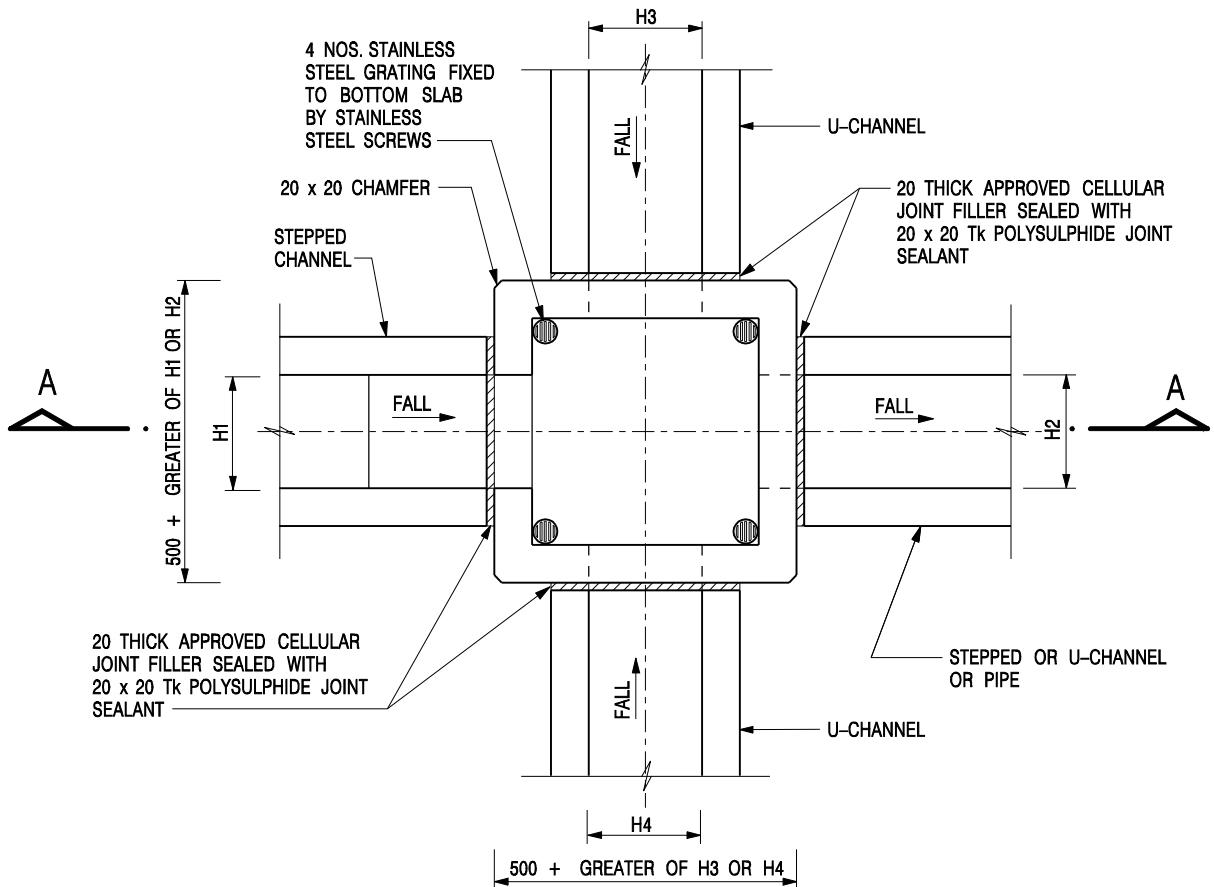


Example :

1. Enter Velocity = 5 m/sec.
2. Enter Runoff = 20 000 litre/min.
3. Read required channel size = 300U
4. Read required gradient = 1 in 14

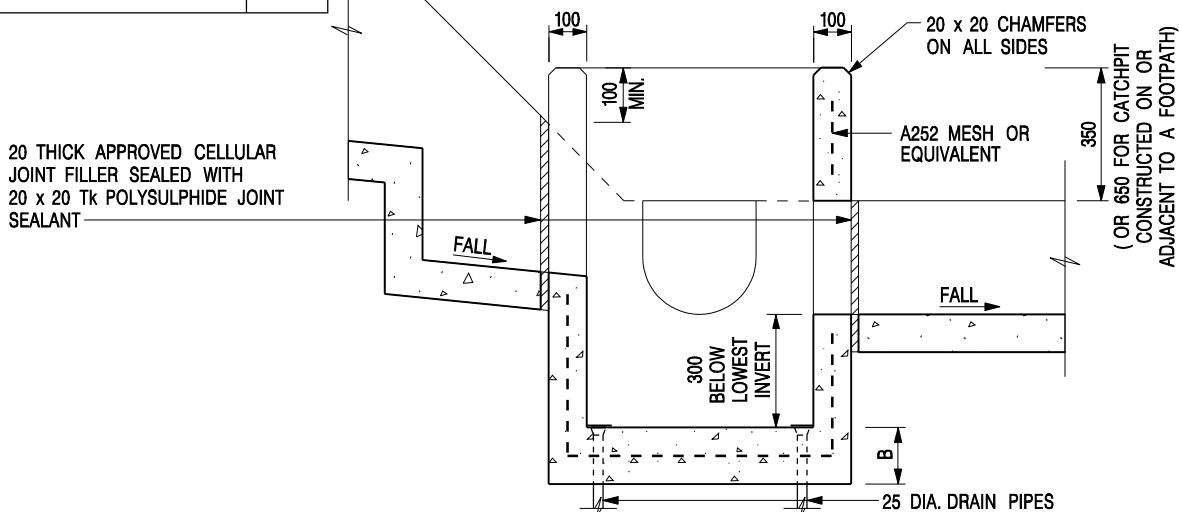
APPENDIX E

TYPICAL STANDARD DRAWINGS OF U-CHANNEL AND CATCHPIT (EXTRACTED FROM CEDD, FOR REFERNCE ONLY)



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

PLAN



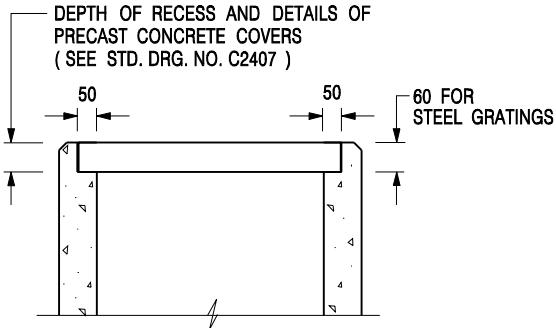
SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT			
SCALE 1:20		DRAWING NO.	
DATE JAN 1991			C2406 /1



ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS /GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



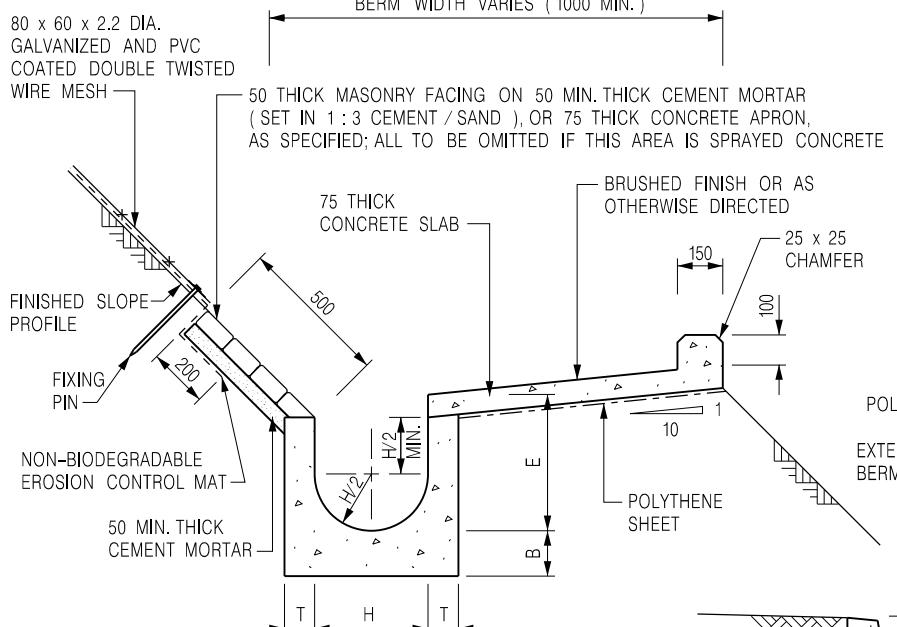
CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE 1:20

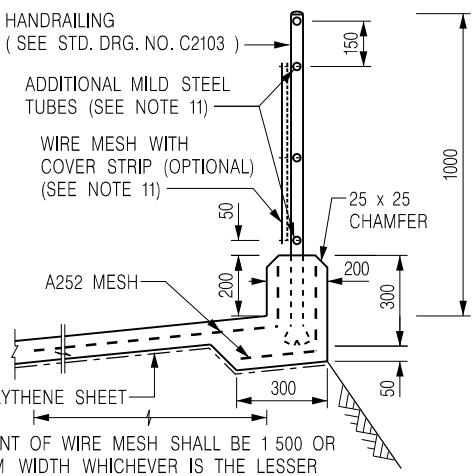
DATE JAN 1991

DRAWING NO.

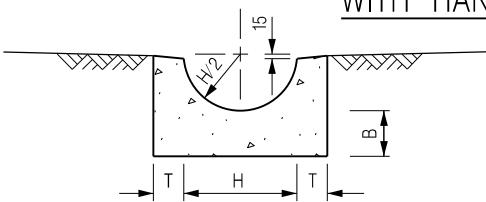
C2406 /2A



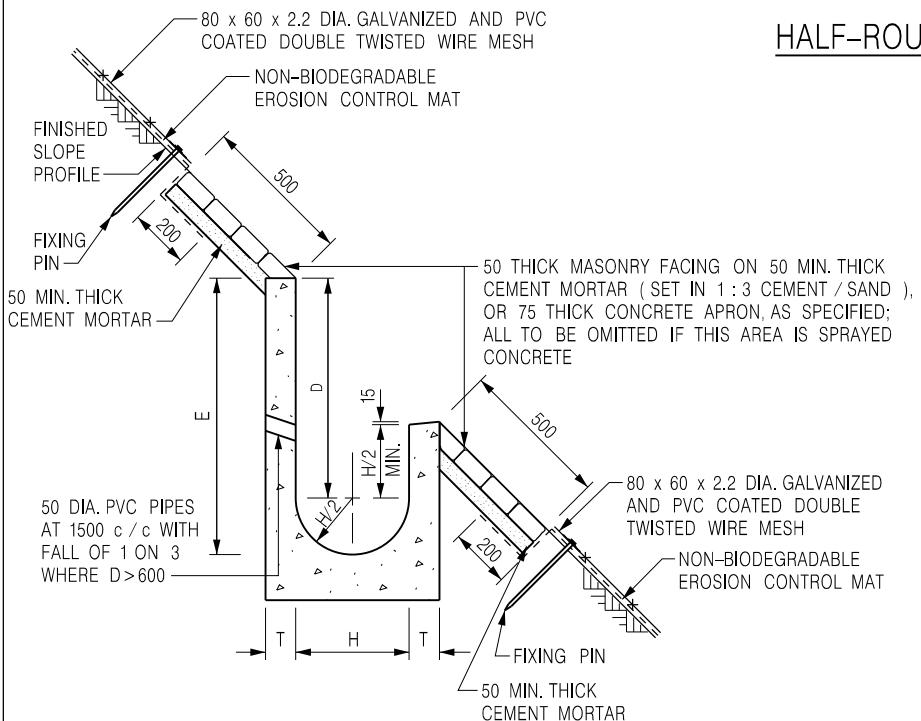
U-CHANNELS CONSTRUCTED
ON BERM



DETAILS OF BERM
WITH HANDRAILING



HALF-ROUND CHANNEL



U-CHANNELS NOT CONSTRUCTED
ON BERM

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WIRE MESH ON BERM. (SEE STD DRG. NO. C2511/E)
11. THE WIRE MESH ON HANDRAILING IS OPTIONAL. THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO. C2103)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

J	DETAILS OF HANDRAILING AMENDED.	Original Signed	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

DETAILS OF HALF-ROUND
AND U-CHANNELS (TYPE A -
WITH MASONRY APRON)

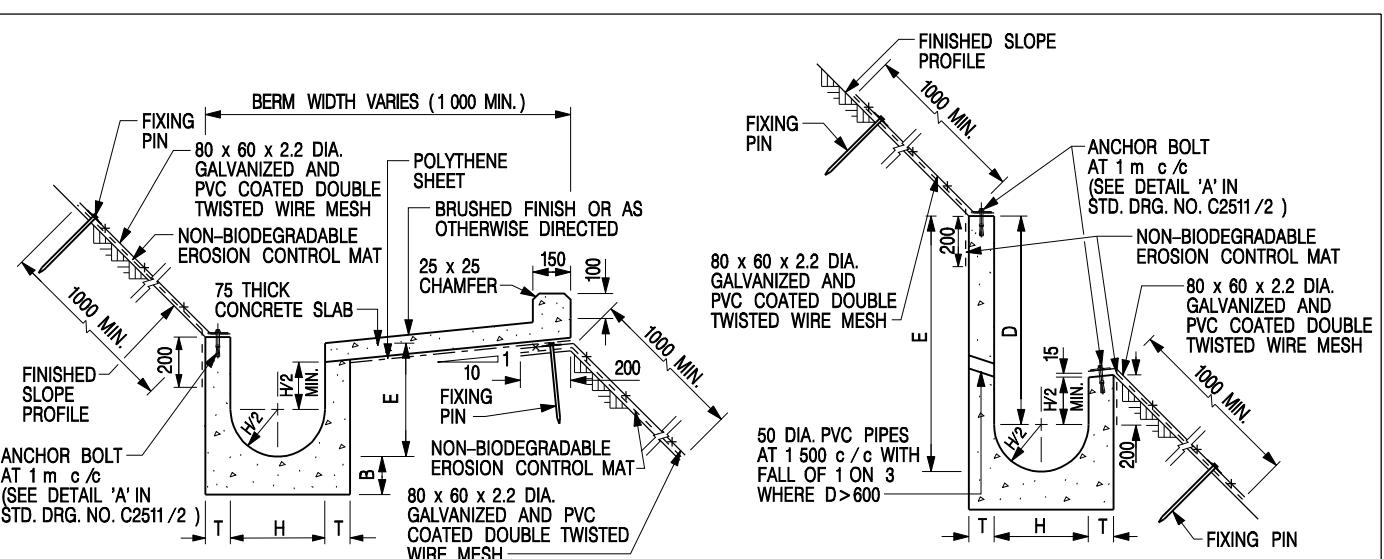


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1:25

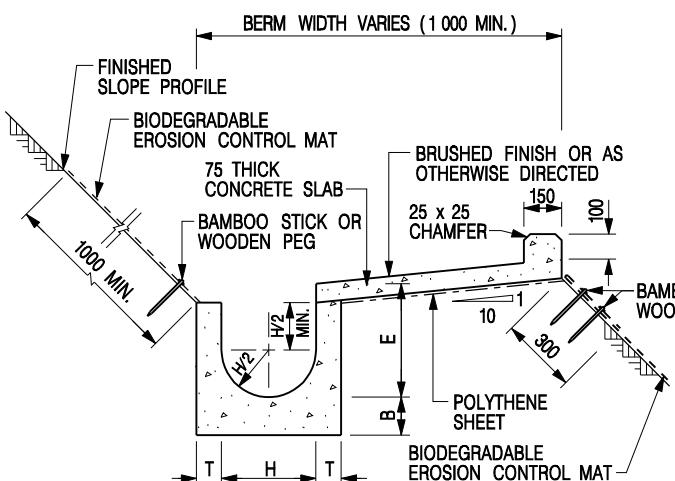
DATE JAN 1991

**DRAWING NO.
C2409J**

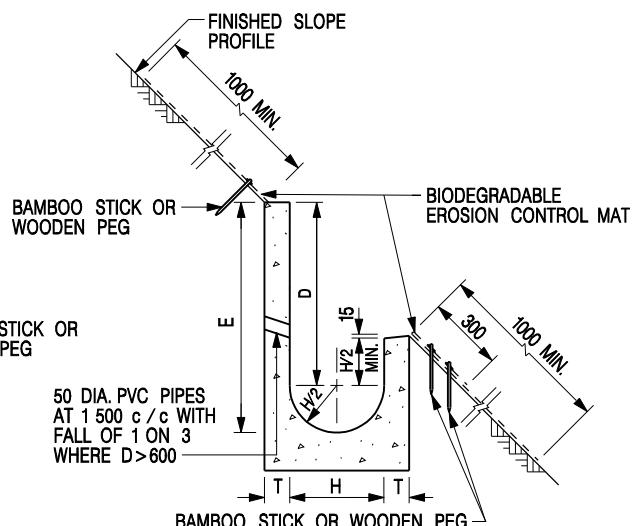


**U-CHANNELS CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT**

**U-CHANNELS NOT CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT**

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.

9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

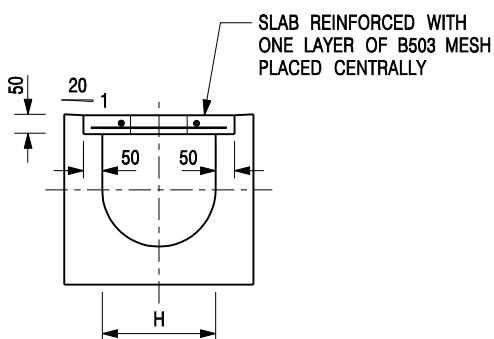
I	MINOR AMENDMENT.	Original Signed	DATE
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92
REF.	REVISION	SIGNATURE	DATE

**DETAILS OF HALF-ROUND AND
U-CHANNELS (TYPE B - WITH
EROSION CONTROL MAT APRON)**

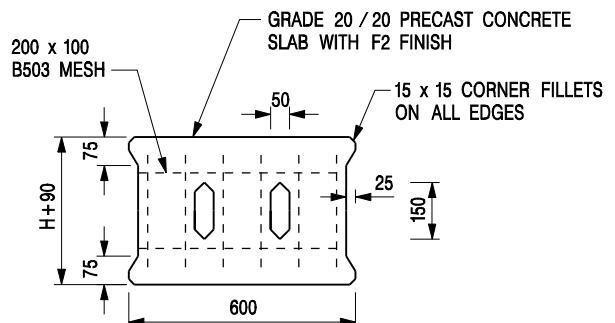


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE	DIAGRAMMATIC	DRAWING NO.
DATE	JAN 1991	C24101



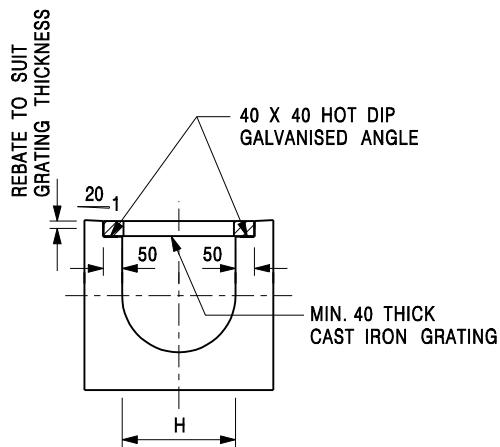
TYPICAL SECTION



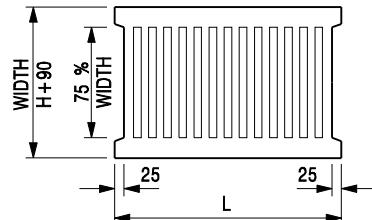
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**



**Extract of Town Planning Board Guidelines for
Application for Development within Green Belt Zone
under Section 16 of the Town Planning Ordinance
(TPB PG-No. 10)**

The relevant assessment criteria are as follows:

- (a) There is a general presumption against development (other than redevelopment) in a “Green Belt” (“GB”) zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use.
- (b) An application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas. With the exception of New Territories Exempted Houses, a plot ratio up to 0.4 for residential development may be permitted.
- (c) Applications for New Territories Exempted Houses with satisfactory sewage disposal facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers.
- (d) Redevelopment of existing residential development will generally be permitted up to the intensity of the existing development.
- (e) Applications for government/institution/community (G/IC) uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available. The plot ratio of the development site may exceed 0.4 so as to minimize the land to be allocated for G/IC uses.
- (f) Passive recreational uses which are compatible with the character of surrounding areas may be given sympathetic consideration.
- (g) The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment.
- (h) The vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided.
- (i) The proposed development should not overstrain the capacity of existing and

planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.

- (j) The proposed development must comply with the development controls and restrictions of areas designated as water gathering grounds.
- (k) The proposed development should not overstrain the overall provision of G/IC facilities in the general area.
- (l) The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- (m) Any proposed development on a slope or hillside should not adversely affect slope stability.

Previous s.16 Applications Covering the Application Site

Approved Application

<u>Application No.</u>	<u>Zoning</u>	<u>Development/Use</u>	<u>Date of Consideration</u>
A/YL-PS/704	“GB”	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years	1.3.2024 (Revoked on 1.9.2025)

Rejected Applications

<u>Application No.</u>	<u>Zoning</u>	<u>Development/Use</u>	<u>Date of Consideration</u>	<u>Rejection Reasons</u>
A/YL-PS/108	“GB”	Temporary Open and Covered Storage of Waste Paper for a Period of 3 Years	5.7.2002 (TPB)	(1), (2), (3), & (4)
A/YL-PS/218	“GB”	Temporary Open Storage of Timber, Plastic and Metal for a Period of 3 Years	24.6.2005	(1), (2), (3), (4) & (5)
A/YL-PS/232	“GB”	Temporary Open Storage of Construction Materials (Iron, Steel and Stone) for a Period of 3 Years	21.4.2006 (TPB)	(1), (2), (3), (4) & (5)

Rejection Reasons

- (1) Not in line with planning intention of the area/the “GB” zone.
- (2) Not compatible with surrounding land uses.
- (3) the proposed development could not demonstrate that adverse traffic, drainage and environmental impacts on the surrounding areas would not be caused.
- (4) setting an undesirable precedent.
- (5) Not in line with the general intention of Town Planning Board Guidelines No. 13C.

Similar s.16 Application within the same “GB” Zone in the past 5 years

Approved Application

<u>Application No.</u>	<u>Development/Use</u>	<u>Date of Consideration</u>
A/YL-PS/655	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities for a Period of 5 Years and Land Filling	1.6.2022

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- no adverse comment on the application; and
- the application site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government.

2. Traffic

Comments of the Commissioner for Transport (C for T):

No adverse comment on the application.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

No adverse comment on the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the application from a drainage point of view;
- should the application be approved by the Town Planning Board, a condition should be stipulated the approval letter requiring the applicant to submit a revised drainage proposal, and to maintain the proposed drainage facilities to the satisfaction of DSD; and
- regarding the submitted drainage proposal, the applicant should note his advisory comments at **Appendix V**.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations (FSIs) being provided to his satisfaction; and
- in consideration of the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposal FSIs to his department for approval.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application as there is no record of approval granted by the Building Authority (BA) for the existing structure at the application site, he is not in a position to offer comments on its suitability for the use proposed in the application; and
- it is noted that eight structures are erected in the application. Before any new building works (including containers / open sheds as temporary buildings, demolition and land filling etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO.

6. **Environment**

Comments of the Director of Environmental Protection (DEP):

- no objection to the application;
- his advisory comments are at **Appendix VI**.

7. **Other Departments**

The following departments has no comment on the application:

- Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- Commissioner of Police (C of P);
- Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD);
- Director of Agriculture, Fisheries and Conservation (DAFC); and
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD).

Recommended Advisory Clauses

- (a) should you fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (b) failure to reinstate the application site (the Site) as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (c) to note the comments of District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that the lot owner(s) shall apply to his office for a Short Term Waiver (STW) to permit the structures erected within the private lots. Applications for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that such application will be approved. The STW application, if approved, will be subject to such terms and conditions, including among others the payment of rent or fee, as may be imposed by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.
- (d) to note the comments of the Commissioner for Transport (C for T) that:
 - (i) the applicant is reminded that sufficient space within the Site should be provided for maneuvering of vehicles;
 - (ii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period; and
 - (iii) the local track connecting to Long Ping Road is not managed by her department. The land status of that local track should be checked with LandsD. The management and maintenance responsibilities of that local access road should be clarified with the relevant lands and maintenance authorities accordingly;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains. HyD shall not be responsible for the maintenance of any access road connecting the Site with Long Ping Road;
- (f) to note the comments of the Director of Environmental Protection (DEP) that:
 - (i) no public announcement system, portable loudspeaker or audio amplification system is allowed to be used on the site during the planning approval period;
 - (ii) the applicant is reminded to follow the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspect of Temporary Uses and Open Storage Sites” issued by the Environmental Protection Department (EPD);
 - (iii) to follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes

(ProPECCPNs). If septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of ProPECC PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department” including completion of percolation test and certification by Authorized Person;

- (iv) to provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
- (v) to meet the statutory requirements under relevant environmental legislation;

(g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that regarding the submitted drainage proposal:

- (i) the gradients of the proposed u-channels should be shown on the drainage plan;
- (ii) please advise if any site formation/ land filling works to be carried out under this application. Please note that the overland flow from the adjacent lands should not be affected;
- (iii) please review if any external catchment areas should be considered, particularly ground levels from the northern and western sides of the Site is higher;
- (iv) the applicant should check and ensure the hydraulic capacity of the existing drainage facilities would not be adversely affected by the captioned development. Please submit calculation demonstrating the downstream drainage system receiving the discharge from the development has adequate spare capacity to accommodate the runoff;
- (v) please advise why u-channel is not provided at the northern, eastern and western side of the Site. Please advise how the overland flow from the above area of the site could be properly intercepted and discharged. Peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the Site and to intercept the overland flow from the adjacent lands;
- (vi) please clearly indicate the proposed discharged drains with size and gradient on drainage plan;
- (vii) please indicate clearly the full alignment of the discharge path from the Site all the way down to the ultimate discharge point (e.g. a well-established stream course/public drainage system);
- (viii) the existing drainage facilities, to which the stormwater of the development from the Site would discharge, are not maintained by this office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made. Also, DSD noticed that the proposed drainage connection(s) to the surrounding/downstream area(s) will run through other private lot(s). The applicant shall demonstrate that the proposed drainage construction / improvement / modification works and the operation of the

drainage can be practicably implemented;

- (ix) please provide site photos to show latest condition and existence of the drainage facilities which receive the discharge from the Site;
- (x) please clarify whether any walls or hoarding would be erected along the site boundary. Where walls or hoarding are erected/ laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site;
- (xi) please provide more cross sections. Cross sections showing the existing and proposed ground levels of the Site with respect to the adjacent areas should be given;
- (xii) the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc; and
- (xiii) the applicant(s) shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the Site.

(h) to note the comments of the Director of Fire Services (D of FS) that:

- (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicant is advised to submit relevant layout plans incorporated with the proposed FSIs for his approval;
- (ii) the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy;
- (iii) the location of where the proposed FSIs to be installed should be clearly marked on the layout plans; and
- (iv) the applicant is reminded that if the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and

(i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
- (ii) the Site does not abut on a specified street of not less than 4.5m wide, its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
- (iii) if the existing structures are erected on leased land without approval of

Building Authority (BA), they are unauthorized building works (UBW) under the Building Ordinance (BO) and should not be designated for any proposed use under the captioned application;

- (iv) for UBW erected on leased land, enforcement action may be taken by the BA to effect their removal in accordance with prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under BO;
- (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of B(P)R; and
- (vi) detailed checking under BO will be carried out at the building plan submission stage.

Urgent Return receipt Expand Group Restricted Prevent Copy

tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2025年11月16日星期日 3:23
收件者: tpbpd/PLAND
主旨: A/YL-PS/765 DD 122 Ping Shan GB
類別: Internet Email

Dear TPB Members,

So 704 approved on 1 Mar 2024 but of course conditions not fulfilled again.

According to the Applicant: "The previous withdrawal was due to the drainage department not responding within the deadline".

Members should request confirmation of this and also ask to see aerial images of the site to see what exactly is going on.

The lots are GB and should not have been approved for dodgy operations in the first place.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Saturday, 17 February 2024 2:06 AM HKT
Subject: Re: A/YL-PS/704 DD 122 Ping Shan GB

Apologies, re typo, this refers to A.YL-PS/704

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 9 February 2024 2:41 AM HKT
Subject: A/YL-PS/703 DD 122 Ping Shan GB

A/YL-PS/703 SHOULD READ 704
Lots 914, 915, 916 (Part) and 917 (Part) in D.D. 122, Ping Shan
Site area: About 2,780sq.m
Zoning: "Green Belt"
Applied use: Hobby Farm / 3 Vehicle Parking

Dear TPB Members,

Urgent Return receipt Expand Group Restricted Prevent Copy

701 Application for Animal Boarding was deferred in Dec, so back to the drawing board and now its fall back option, Hobby Farm.

I am certainly not fooled and it is time that members of the board act like adults.

This application is nothing more than an excuse to continue brownfield operations.

Previous objections relevant and upheld.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 10 November 2023 2:53 AM HKT

A/YL-PS/701

Lots 914, 915, 916 (Part) and 917 (Part) in D.D. 122, Ping Shan

Site area: About 2,780sq.m

Zoning: "Green Belt"

Applied use: Animal Boarding Establishment / 5 Vehicle Parking

Dear TPB Members,

Animal Boarding, give over. The application is an existing brownfield operation and the intention is to gain an easy route approval.

The lots have been used for open storage for years despite rejection for this use in 2005. All trees and vegetation were removed decades ago.

Members should question if any action was taken to address the unapproved land use.

It is quite clear that ABE is being used as a cover for unapproved operations and members have a duty to look into matters.

Mary Mulvihill

Urgent Return receipt Expand Group Restricted Prevent Copy

2

tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2025年12月11日星期四 2:58
收件者: tpbpd/PLAND
主旨: A/YL-PS/765 DD 122 Ping Shan GB
類別: Internet Email

Dear TPB Members,

Since the original deadline we have had the disastrous fire in Tai Po that has revealed many disturbing issues with regard to the manner in which lax monitoring on the part of many government depts has allowed a culture of indifference to regulations to permeate.

The operator had ample time to fulfill conditions. Time for zero tolerance.

Also it is disturbing to note that the site and other lots to the north that were rejected for Open Storage in 2005 are annotated as OS on the OZP plan.

Perhaps a member could take the initiative to question this?

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Sunday, 16 November 2025 3:22 AM HKT
Subject: A/YL-PS/765 DD 122 Ping Shan GB

Dear TPB Members,

So 704 approved on 1 Mar 2024 but of course conditions not fulfilled again.

According to the Applicant: "The previous withdrawal was due to the drainage department not responding within the deadline".

Members should request confirmation of this and also ask to see aerial images of the site to see what exactly is going on.

The lots are GB and should not have been approved for dodgy operations in the first place.

Mary Mulvihill

Urgent Return receipt Expand Group Restricted Prevent Copy

2

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Saturday, 17 February 2024 2:06 AM HKT
Subject: Re: A/YL-PS/704 DD 122 Ping Shan GB

Apologies, re typo, this refers to A.YL-PS/704

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 9 February 2024 2:41 AM HKT
Subject: A/YL-PS/703 DD 122 Ping Shan GB

A/YL-PS/703 SHOULD READ 704
Lots 914, 915, 916 (Part) and 917 (Part) in D.D. 122, Ping Shan
Site area: About 2,780sq.m
Zoning: "Green Belt"
Applied use: Hobby Farm / 3 Vehicle Parking

Dear TPB Members,

701 Application for Animal Boarding was deferred in Dec, so back to the drawing board and now its fall back option, Hobby Farm.

I am certainly not fooled and it is time that members of the board act like adults.

This application is nothing more than an excuse to continue brownfield operations.

Previous objections relevant and upheld.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 10 November 2023 2:53 AM HKT

A/YL-PS/701

Lots 914, 915, 916 (Part) and 917 (Part) in D.D. 122, Ping Shan

Site area: About 2,780sq.m

Zoning: "Green Belt"

Applied use: Animal Boarding Establishment / 5 Vehicle Parking

Dear TPB Members,

Animal Boarding, give over. The application is an existing brownfield operation and the intention is to gain an easy route approval.

The lots have been used for open storage for years despite rejection for this use in 2005. All trees and vegetation were removed decades ago.

Members should question if any action was taken to address the unapproved land use.

It is quite clear that ABE is being used as a cover for unapproved operations and members have a duty to look into matters.

Mary Mulvihill