

2025年11月11日  
此文件在 收到 城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 2025-11-11  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
  - & Please attach documentary proof 請夾附證明文件
  - ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/TL-TT/747
	Date Received 收到日期	2025-11-11

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

Leung Sin Man 梁倩雯

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

LEUNG MING KIN 梁明堅

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories	
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 181 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 104 sq.m 平方米 <input checked="" type="checkbox"/> About 約	
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	Nil sq.m 平方米 <input checked="" type="checkbox"/> About 約	



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Tai Tong Outline Zoning Plan No. S/YL-TT/20
(e) Land use zone(s) involved 涉及的土地用途地帶	"Village Type Development" ("V")
(f) Current use(s) 現時用途	<p>Temporary Eating Place (Outside Seating Accommodation of a Restaurant)</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>

- ☒ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 27/8/2025 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>

- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 27/8/2025 (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

Temporary Eating Place (Outside Seating Accommodation of a Restaurant)

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☒ year(s) 年 ..... 3 .....☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**

Proposed uncovered land area 擬議露天土地面積	77	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	104	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	8		
Proposed domestic floor area 擬議住用樓面面積	Nil	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	104	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	104	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Height of temporary shelter(OSA) is 4m

**Proposed number of car parking spaces by types 不同種類停車位的擬議數目**

Private Car Parking Spaces 私家車車位	N/A
Motorcycle Parking Spaces 電單車車位	N/A
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A
Others (Please Specify) 其他 (請列明)	N/A

**Proposed number of loading/unloading spaces 上落客貨車位的擬議數目**

Taxi Spaces 的士車位	N/A
Coach Spaces 旅遊巴車位	N/A
Light Goods Vehicle Spaces 輕型貨車車位	N/A
Medium Goods Vehicle Spaces 中型貨車車位	N/A
Heavy Goods Vehicle Spaces 重型貨車車位	N/A
Others (Please Specify) 其他 (請列明)	N/A

Proposed operating hours 擬議營運時間

06:00 to 22:00 daily. (include public holidays) .....

(d) Any vehicular access to the site/subject building?  
是否有車路通往地盤/  
有關建築物?

Yes 是

☒ There is an existing access. (please indicate the street name, where appropriate)  
有一條現有車路。(請註明車路名稱(如適用))

Tai Tong Shan Road .....

☐ There is a proposed access. (please illustrate on plan and specify the width)  
有一條擬議車路。(請在圖則顯示，並註明車路的闊度)

No 否

(e) Impacts of Development Proposal 擬議發展計劃的影響

(If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)

(i) Does the development proposal involve alteration of existing building?  
擬議發展計劃是否包括現有建築物的改動?

Yes 是

☐ Please provide details 請提供詳情

No 否

☒

(ii) Does the development proposal involve the operation on the right?  
擬議發展是否涉及右列的工程?

Yes 是

☐ (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  
(請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)

☐ Diversion of stream 河道改道

☐ Filling of pond 填塘

Area of filling 填塘面積 ..... sq.m 平方米 ☐ About 約

Depth of filling 填塘深度 ..... m 米 ☐ About 約

☐ Filling of land 填土

Area of filling 填土面積 ..... sq.m 平方米 ☐ About 約

Depth of filling 填土厚度 ..... m 米 ☐ About 約

☐ Excavation of land 挖土

Area of excavation 挖土面積 ..... sq.m 平方米 ☐ About 約

Depth of excavation 挖土深度 ..... m 米 ☐ About 約

No 否

☒

(iii) Would the development proposal cause any adverse impacts?  
擬議發展計劃會否造成不良影響?

On environment 對環境

Yes 會 ☐No 不會 ☒

On traffic 對交通

Yes 會 ☐No 不會 ☒

On water supply 對供水

Yes 會 ☐No 不會 ☒

On drainage 對排水

Yes 會 ☐No 不會 ☒

On slopes 對斜坡

Yes 會 ☐No 不會 ☒

Affected by slopes 受斜坡影響

Yes 會 ☐No 不會 ☒

Landscape Impact 構成景觀影響

Yes 會 ☐No 不會 ☒

Tree Felling 砍伐樹木

Yes 會 ☐No 不會 ☒

Visual Impact 構成視覺影響

Yes 會 ☐No 不會 ☒

Others (Please Specify) 其他 (請列明)

Yes 會 ☐No 不會 ☒



	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>N/A</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
**位於鄉郊地區或受規管地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

Please refer to Chapter 6 of the Supplementary Planning Statement



**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



Leung Sin Man

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

10/9/2025

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories
Site area 地盤面積	181 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Tai Tong Outline Zoning Plan No. S/YL-TT/20
Zoning 地帶	"Village Type Development" ("V")
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____  <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 years



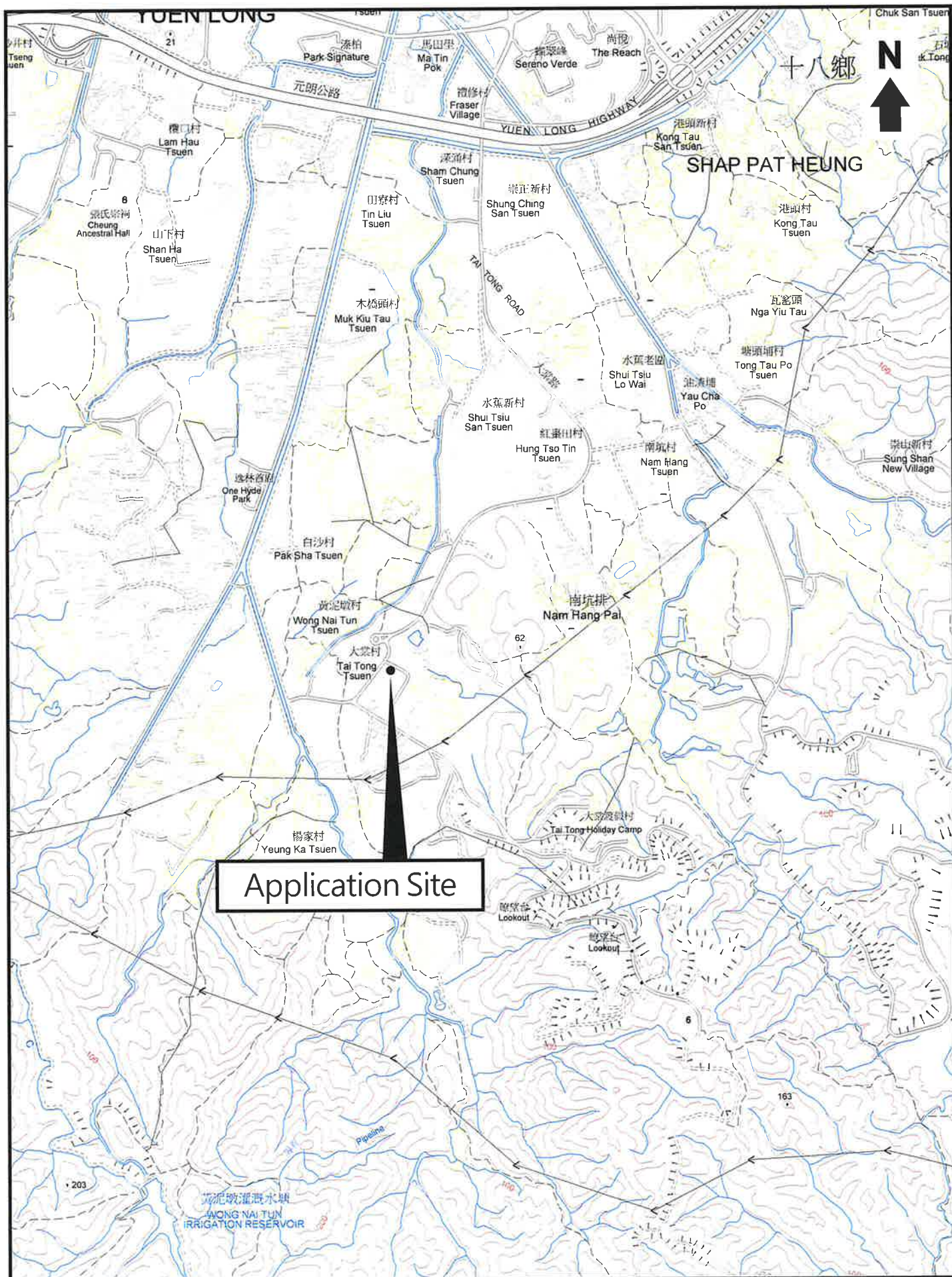
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	104 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.57 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	8	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A <input type="checkbox"/> (Not more than 不多於) m 米	
		N/A <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
	Non-domestic 非住用	4 <input checked="" type="checkbox"/> (Not more than 不多於) m 米	
		1 <input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
(iv) Site coverage 上蓋面積	57 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		N/A
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		N/A N/A N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		N/A
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		N/A N/A N/A N/A N/A N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Site Plan, Plan Showing the General Area, Extract from Tai Tong Outline Zoning Plan No. S/YL-TT/20		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。





Extract Plan Based on Map  
Series HM20C of Sheet 6

## Location Plan

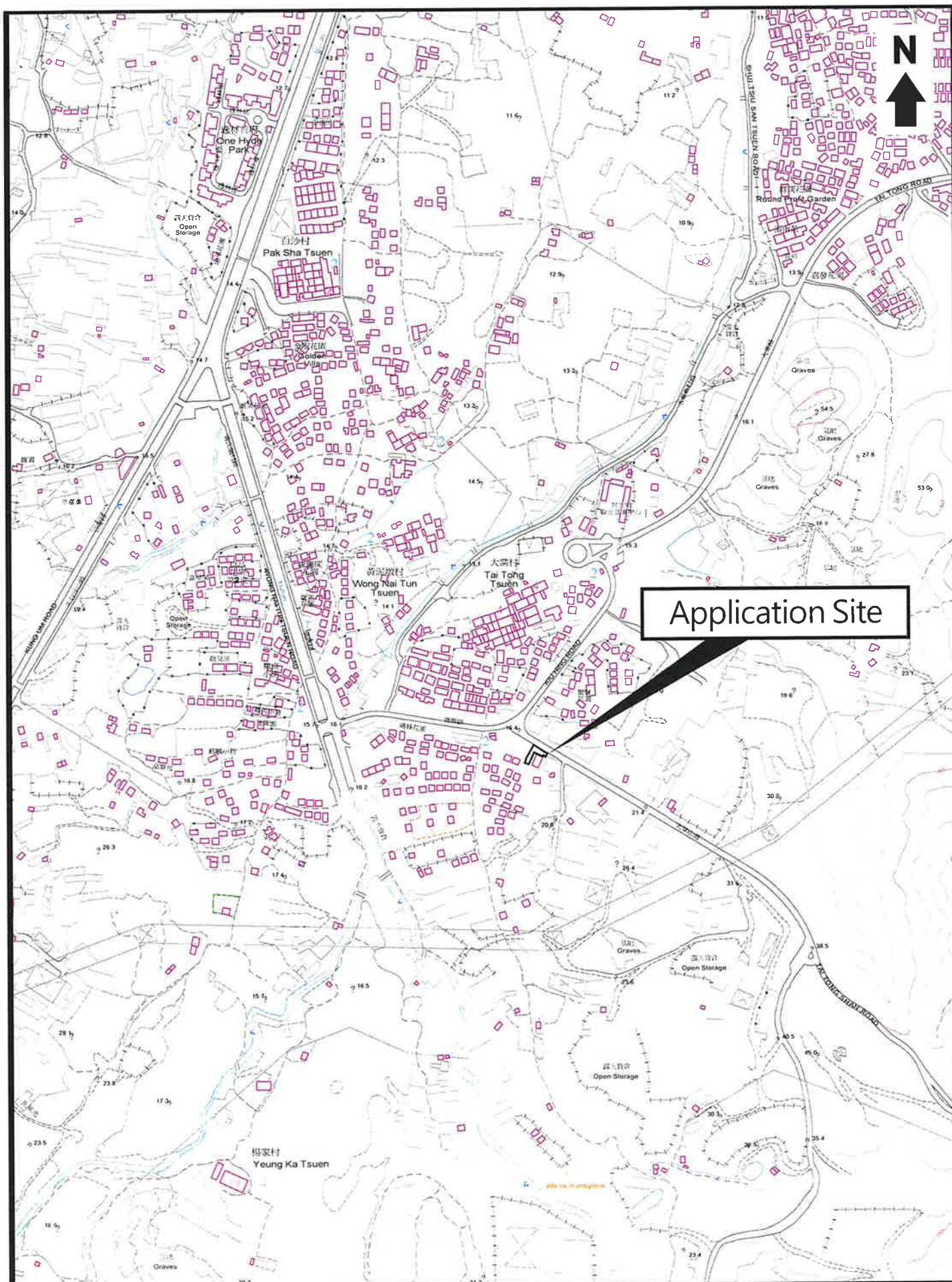
## FIGURE 1

For Identification Purpose  
Date: 26.08.2025









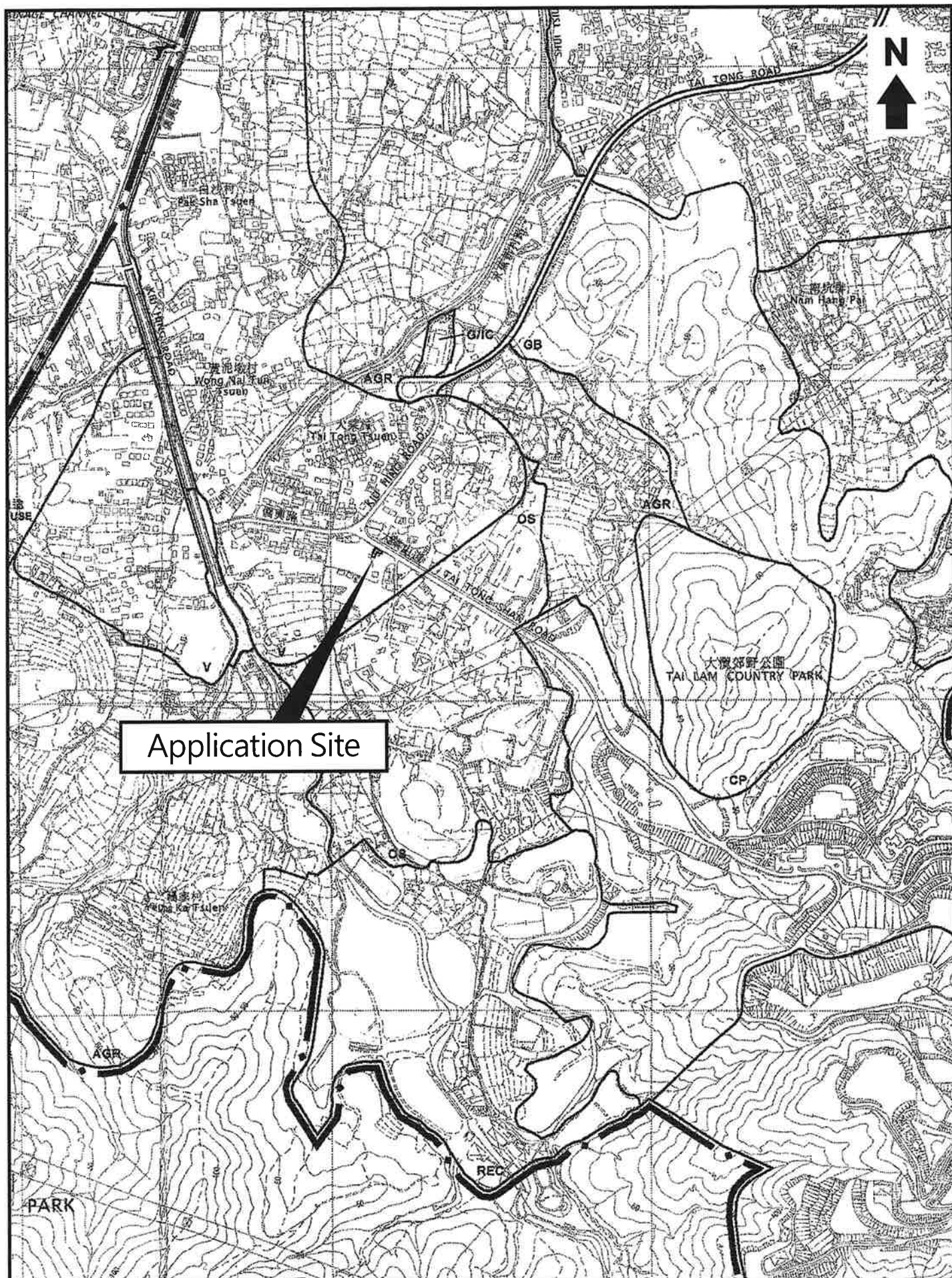
Extracted Plan Based on Map  
Series HP5C of Sheet No  
6-NW-D

### Plan Showing the General Area

### FIGURE 3

For Identification Purpose  
Date: 26.08.2025

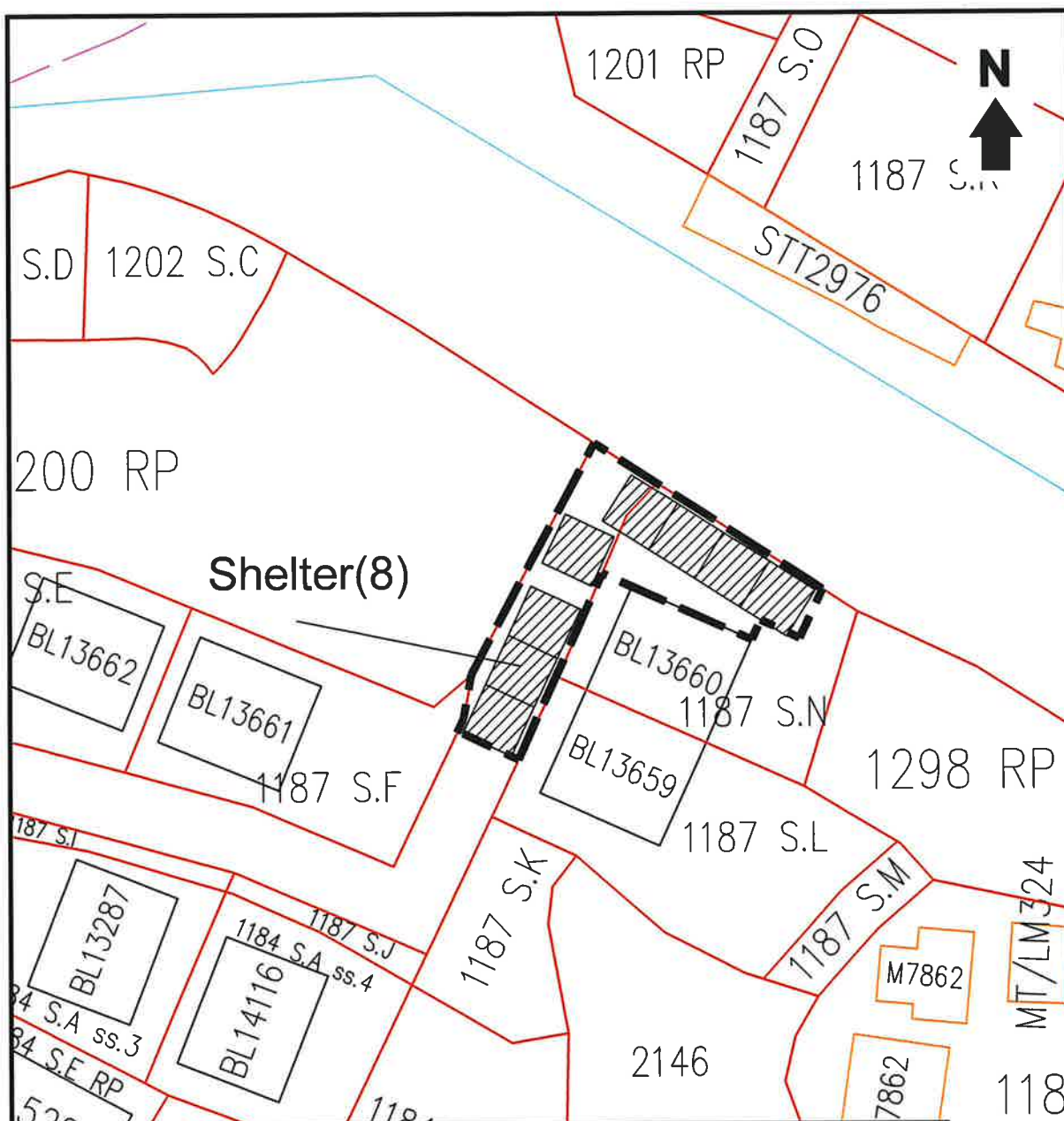




Extract from Tai Tong Outline Zoning Plan No.  
S/YL-TT/20

# **FIGURE 4**

For Identification Purpose  
Date:26.08.2025



#### Details of Structures:

Nos of Structure	Size of each shelter	Usage	Total Floor Area (m <sup>2</sup> )	No. of Storey	Height(m)
8	3.6m x 3.6m=12.96(m <sup>2</sup> )	Seating out areas	103.68	1	4

#### LEGEND:

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Shelters for Temporary Outside Seating Accommodation (OSA) of the Restaurant

#### Layout Plan

Lots 1187 S.N (Part), 1187 S.L (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, N.T.

#### FIGURE 5

For Identification Purpose  
Date: 26.08.2025

**Application for Permission under Section 16 of  
the Town Planning Ordinance (Cap. 131)**

**Temporary Eating Place (Outside Seating Accommodation  
of a Restaurant) for a Period of Three Years  
in “Village Type Development” Zone  
at Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117,  
Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories**

**SUPPLEMENTARY PLANNING STATEMENT**

**Applicant: Leung Sin Man**

**Sep 2025**



## **Executive Summary**

This application is to seek a planning permission for temporary eating place (outside seating accommodation of a restaurant ("OSA")) (the "Proposed Development") for a period of three years at Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories (the "Application Site").

The Application Site, covering an area of 181 square metres, abuts Tai Tong Shan Road, Yuen Long. It is currently used for an OSA of the ground floor restaurant of two NTEHs (House Nos. 196 and 197). The Application Site consists of eight 1-storey (4m high) shelters with a total floor area of about 104sq.m. for the OSA of the restaurant. There will be no parking space provided within the Application Site.

The Proposed Development located in Tai Tong, Yuen Long with good transportation networks. It is mainly catered for the local villagers in Tai Tong Tsuen, Wong Nai Tun Tsuen and Pak Sha Tsuen, the workers at surrounding open storage sites as well as visitors/tourists in the nearby tourist spots such as Tai Lam Country Park, Po Leung Kuk Jockey Club Tai Tong Holiday Camp and Tai Tong Organic Ecopark. It also serves as a gathering ground and for launching social activities and functions for the local villagers.

The Application Site falls within the "Village Type Development" ("V") zone on the Tai Tong Outline Zoning Plan No. S/YL-TT/20. The Proposed Development falls within the broad definitions of 'Eating Place' which is a use listed under Column 2 of the OZP. In accordance to the OZP, uses under Column 2 may be permitted with or without conditions on application to the Town Planning Board (the "Board").

The Proposed Development is considered to meet the planning criteria as specified under the Town Planning Board Guidelines for Application for Eating Place within "Village Type Development" Zone in Rural Areas (TPB PG-No. 15A). When looking at the surrounding land uses, most of the sites are currently occupied by commercial facilities, VHS and tourist spots.

The Application Site is the subject of one previous approved application (Nos. A/YL-TT/606) for eating place (Outside Seating Accommodation of a Restaurant) use since 2023. There are 9 similar approved applications (No. A/YL- TT/114, 149, 192, 249, 280, 324, 335, 407 and 497) for temporary eating place/canteen/restaurant uses covering 3 sites within or straddling the subject "V" zone on the OZP.

The justifications of this application are: in line with the planning intention of "V" zone; compliance with TPB PG-No.15A; compatible with surrounding land uses; and site with previous and similar planning approvals. The Applicant therefore respectfully requests the Board to approve this application for a period of 3 years.

## 行政摘要

這宗規劃申請擬議在新界元朗大棠大棠山道丈量約份第 117 約地段第1187 號 N 分段(部份)及 1187 號餘段(部份) (“申請地點”)，用作臨時食肆(餐廳戶外座位區)(“擬議發展”)，為期三年。

申請地點毗鄰元朗大棠山路，面積約為 181 平方米。目前用作小型屋宇(第 196 和 197 號) 地下餐廳的戶外座位區。申請地點內設有八個一層(4 米高) 的臨時上蓋，總樓面面積約為 104平方米。申請地點內不提供泊車位。

擬議發展位於元朗大棠，具有良好的交通網絡。擬議發展主要為大棠村、黃泥墩村、白沙村村民；鄰近露天存放地盤工人以及到訪鄰近旅遊點如大欖郊野公園、保良局賽馬會大棠渡假村及大棠有機生態園的遊客提供一個食肆，同時亦為本地村民提供聚會及舉辦社區活動的地點。

申請地點座落於大棠分區計劃大綱編號S/YL-TT/20 中的“鄉村式發”地帶。根據大綱圖的規定，申請用途於“鄉村式發展”地帶屬第二欄 的用途，須向城規會提出申請。

擬議發展符合城市規劃委員會規劃指引編號 15A《擬在「鄉村式發展」地帶內開設食肆的規劃申請》（城規會規劃指引編號 15A）。周邊大部分土地用作商業設施、村屋及旅遊景點，擬議發展與附近土地用途協調。

申請地點涉及一宗獲城規會批准作臨時食肆用途的規劃申請( 編號A/YL-TT/606) 。另外，申請地點所座落的“鄉村式發展”地帶內亦有9 宗同類用途申請(編號 A/YL-TT/114、149、192、249、280、324、335、407 及 497)之前已獲規劃許可。

這宗規劃申請的理由為：符合“鄉村式發展”地帶的規劃意向；符合城規會規劃指引編號第 15A；與附近土地用途協調；及申請地點及鄰近同類用途之前已獲規劃許可。因此，申請人希望城規會批准三年的臨時用途。

**SUMMARY OF APPLICATION**

<b>Applicant:</b>	Ms. Leung Sin Man
<b>Applied Use:</b>	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 Years
<b>Existing Use:</b>	Temporary Eating Place (Outside Seating Accommodation of a Restaurant)
<b>Location</b>	Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories
<b>Site Area:</b>	Private Land: 181 sq. m. Total: About 181 sq. m.
<b>Lease</b>	Block Government Lease demised as agricultural use
<b>Statutory Plan:</b>	Tai Tong Outline Zoning Plan No. S/YL-TT/20
<b>Zoning:</b>	Village Type Development ("V")
<b>TPB Guidelines:</b>	Application for Eating Place within "Village Type Development" Zone in Rural Areas (TPB PG-No. 15A)
<b>Previous Applications:</b>	A/YL-TT/606 approved on 13.10.2023 A/YL-TT/373 rejected on 4.3.2016 A/YL-TT/366 rejected on 4.12.2015 A/YL-TT/321 approved on 23.5.2014



## 1. INTRODUCTION

- 1.01 This application is prepared by Ms. Leung Sin Man (the "Applicant") to the Town Planning Board (the "Board") to seek a planning permission for temporary eating place (outside seating accommodation of a restaurant ("OSA")) (the "Proposed Development") for a period of three years at Lots 1187 S.N (Part) and 1187 RP (Part) in DD 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories (the "Application Site").
- 1.02 The Application Site, covering an area of 181 square metres, abuts Tai Tong Shan Road, Yuen Long. It is currently used for an OSA of the ground floor restaurant of two NTEHs (House Nos. 196 and 197).
- 1.03 The Application Site falls within the "Village Type Development" ("V") zone on the Tai Tong Outline Zoning Plan (OZP) No. S/YL-TT/20. The Proposed Development falls within the broad definitions of 'Eating Place' which is a use listed under Column 2 of the OZP. In accordance to the OZP, uses under Column 2 may be permitted with or without conditions on application to the Board.
- 1.04 The Town Planning Board Guidelines for Application for Eating Place within "Village Type Development" Zone in Rural Areas (TPB PG-No. 15A) is relevant to this application. The Proposed Development is considered to meet the planning criteria as specified under the TPB PG-No.15A. When looking at the surrounding land uses, most of the sites are currently occupied by commercial facilities, private vehicle parks, VHs and tourist spots, including Tai Lam Country Park, Po Leung Kuk Jockey Club Tai Tong Holiday Camp and Tai Tong Organic Ecopark.
- 1.05 The Application Site is the subject of one previous approved application (Nos. A/YL-TT/606) for eating place use since 2023. There are 9 similar approved applications (No. A/YL-TT/114, 149, 192, 249, 280, 324, 335, 407 and 497) for temporary eating place/canteen/restaurant uses covering 3 sites within or straddling the subject "V" zone on the OZP.
- 1.06 The following sections are intended to help facilitate the Board's decision, and will briefly describe the Application Site and its surroundings, give details of the Proposed Development and provide justifications in support of the application.

## 2. SITE CONTEXT

### Location

- 2.01 The Application Site abuts Tai Tong Shan Road, Tai Tong, Yuen Long. It is located approximately 5 km south of Yuen Long New Town. It lies approximately 180 meters to the south of Tai Tong Tsuen and to the immediate east of the junction of Kiu Hing Road and Tai Tong Shan Road. **Figure 1** shows the Application Site in its regional context.

### **Existing Site Conditions**

- 2.02 The Application Site covers an area of approximately 181 square metres. It is hard paved, generally flat and regular in shape. It is located at the west and north of the NTEHs (House No. 196 and No.197). The ground floor of the NTEHs have been converted into a restaurant, kitchen, and washrooms. Eight temporary shelters are erected on the Application Site and extended from the NTEHs as an OSA of the restaurant.

### **Surrounding Land Uses**

- 2.03 The surrounding area is predominantly rural residential in character with a mixture of residential dwellings, car park, restaurants, village stores, village café, open storage yards and some abandoned structures. A plan showing the Application Site in the context of its local surrounds is in **Figure 2**.

### **Access**

- 2.04 Pedestrian can access to the Application Site from Tai Tong Shan Road which is one of the major roads to the nearby tourist spots.

### **Land Status**

- 2.05 According to the Land Registry, the Application Site comprises of Lots 1187 S.N (Part) and 1187 RP (Part) in DD117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories which demised as agricultural land. A plan showing the configuration of these lots is in **Figure 3**.

### **Statutory Plan**

- 2.06 The Application Site falls within an area zoned "Village Type Development" ("V") on the Tai Tong OZP No. S/YL-TT/20. According to the Explanatory Statement accompanying the OZP, the planning intention of this zone is to designate both existing recognized villages and areas of land considered suitable for village expansion. An extract of the OZP is in **Figure 4**.
- 2.07 According to the Notes of the OZP, 'Eating Place', unless on the ground floor (G/F) of a New Territories Exempted House (NTEH), is a Column 2 use within the "V" zone, which requires planning permission from the Board. However, a selected range of uses including commercial, community and recreational uses may be permitted within this zone on application to the Board on the basis that these uses would serve the needs of villagers and would not adversely affect the character of villages. In order not to jeopardize the planning intention of "V" zone, the Applicant intends to use the Application Site on a temporary basis.

### **3. DEVELOPMENT PROPOSAL**

#### **Site Layout and Design**

- 3.01 The Application Site is an existing open area for dining purposes located outside the NTEHs (see **Figure 5**). The ground floor of the NTEHs, located at the south of the Application Site is used for the restaurant, kitchen and washrooms. The Application Site consists of eight 1-storey (4m) shelters with a total floor area of about 104sq.m. for the OSA of the restaurant.

#### **Site Operations**

- 3.02 The proposed hours of operation at the Application Site are restricted between 6:00a.m. to 10:00 p.m. from Mondays to Sundays, including public holidays. Peak hours will fall between 11:30a.m. to 2:30p.m. during weekdays.

#### **Traffic Arrangement**

- 3.03 The Application Site is located within walking distance of the nearby village settlements. For people who are from outside of the neighbourhood, they can make use of the public transportation network, such as mini-bus, bus, taxi to the Application Site. There will be no parking space provided within the Application Site.

#### **Drainage and Sewage Facilities**

- 3.04 The Proposed Development is currently served by the drainage facilities of the NTEHs (restaurant on the ground floor) that will be maintained by the Applicant for the current application. Septic tank and soakaway system have already been installed according to Professional Persons Environmental Consultative Committee Practice Notes ("ProPECC PN") No. 5/93 for sewage treatment and disposal.

#### **Fire Services Installations**

- 3.05 Should this application be approved, the Applicant is committed to design and complete the Fire Services Installations (FSIs) to the satisfaction of the Director of Fire Services to ensure that the eating place will be operated in a safe manner.

### **4. JUSTIFICATIONS**

#### **In Line with the Planning Intention**

- 4.01 The Application Site is zoned "V" on the OZP, and the applied use is under Column 2 of the Notes for which the Board's permission must be sought. It is a commercial and community use which serves the needs of villagers as well as supports the social and economic development of the surrounding villages. In this regard, the Proposed Development is in line with the planning intention of the "V" zone.



#### **Compliance with TPB PG-No. 15A**

- 4.02 The Proposed Development is considered to meet the planning criteria as specified under the TPB PG-No.15A for assessing planning applications, the reasons are:

##### Suitable Location

- 4.03 The Application Site is located at the fringe of several villages like Tai Tong Tsuen and enjoys direct access from the main road i.e. Tai Tong Shan Road where most of the commercial facilities are located. It is considered as a suitable location for the Proposed Development.

##### No Adverse Drainage, Sewage or Fire Safety Impacts

- 4.04 The Applicant has provided appropriate drainage facilities at the NTEHs to support the Proposed Development. Septic tank and soakaway system have already been installed to deal with the sewage discharge. In this regard, no adverse drainage and sewage impacts are anticipated.
- 4.05 The Applicant will provide all the required FSIs within the Application Site. In this connection, no adverse fire safety impacts are anticipated.

##### In the Vicinity of Recreation Uses and Tourist Attractions

- 4.06 The existing eating place is located to the west of the recreational uses and tourist attraction spots, including Tai Lam Country Park including the sweat gum forest, the thousands island, Po Leung Kuk Jockey Club Tai Tong Holiday Camp and Tai Tong Organic EcoPark and serves as a catering facility for the visitors and tourists.

##### No Adverse Traffic Impact

- 4.07 Apart from local villagers/residents, other visitors/ hikers can walk or make use of the public transportation network serving the area to the Application Site. The Application Site is well served by public transportation with bus, mini-bus, taxi running along Tai Tong Shan Road and Kiu Hing Road.

#### **Compatible with Surrounding Land Uses**

- 4.08 The Application Site is situated in the fringe of the "V" zone where most commercial activities of Tai Tong Tsuen are located. Land uses to the north of the Application Site across Tai Tong Shan Road include canteen, village stores and Shap Pat Heung District Resident Association Office. It is well served by public transportation.

### **Site with Previous and Similar Planning Approvals**

- 4.09 The Board previously approved one eating place use on the Application Site since 2023. A number of planning approvals have also been granted by the Board for the similar eating place/canteen/restaurant uses within or straddling the subject "V" zone on the OZP in the past. This indicates that the Application Site is suitable for eating place (OSA) use on a temporary basis.

## **5. CONCLUSION**

- 5.01 The Proposed Development is a catering facility, which intends to provide an additional choice for dining for the nearby villagers and people working in and visiting the area. Apart from providing food services, the Proposed Development also provides a venue for various village/religious functions, which is mostly needed for the area, especially for Shap Pat Heung of Yuen Long.
- 5.02 The Application Site falls within the "V" zone and, as evidenced by the existing surrounding land uses, has been a popular location for supporting commercial activities. It is considered that the Proposed Development is compatible in land use terms and that there will not be any interface problems as a result. The Applicant commits to comply with all the approval conditions should this application be approved. The application is also complied with TPB PG-No. 15A. It is anticipated that the proposed use will not generate any adverse traffic, drainage, sewage or Fire Service Safety and environmental impacts on the surrounding areas.
- 5.03 For the reason stated above, the Proposed Development is considered a suitable temporary use in this location and the Board is therefore invited to consider it favourably.

Sep 2025

---

**From:** [REDACTED]  
**Sent:** Tuesday, November 18, 2025 2:49 PM  
**To:** tpbpd/PLAND <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Subject:** 有關申請編號：A/L-TT/747 補充文件



你好，  
有關申請編號：A/L-TT/747 補充文件見附件  
附件中的新版本將會替代2025年11月14日所提交的文件  
詳見附件，謝謝



城市規劃委員會  
香港北角渣華道 333 號  
北角政府合署 15 樓  
秘書處  
E-mail : Tpbpd@pland.gov.hk  
Fax No. 28770245

敬啟者:

新界元朗丈量約份 117 約第 1187 S.N 號(部份) 及  
第 1187 RP 號(部份)

申請編號: A/YL-TT/747

梁倩雯 是標題地段的申請人, 之前批准的申請編號是 A/YL-TT/606  
由於 渠務處未能接受上述的渠務設施渠口的闊度和深度, 被 貴署取消規劃  
許可。

現在渠務已經改善工程完工, 並由本人繼續申請作為臨時食肆戶  
外餐廳用途。

如有查詢, 可致電 [REDACTED] 與鄧先生聯絡

此致

申請人:

  
梁倩雯

通訊處: [REDACTED]

日期: 二 0 二五年十一月十四日

## Drainage Proposal

Planning Application No. A/YL-TT/747

for Proposed Temporary Eating Place (Outside Seating  
Accommodation (OSA) of a Restaurant) for a Period of 3 Years  
at Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong  
Shan Road, Tai Tong, Yuen Long, N.T.

(HT23145)

18 November 2025

### Drainage Consultant:

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED



Checked & approved by

K C LEE  
*RPE(Civil)*

A handwritten signature in black ink, appearing to be 'K C LEE'.

## **1. Background**

- 1.1 A Drainage Proposal in compliance with the planning approval condition (a) of the Planning Application No. A/YL-TT/606 for proposed temporary eating place (outside seating accommodation (OSA) of a restaurant) for a period of 3 years at Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories (the ‘subject site’) was accepted by Planning Department (‘PlanD’) on 5 March 2025. Copies of the afore-mentioned PlanD’s acceptance letter and the Figure D3 – ‘Stormwater Discharge Route of the Subject Site’ contained in the accepted Drainage Proposal are enclosed in **Appendix A** of this report for reference.
- 1.2 Implementation of the accepted drainage proposal would require excavation for laying drain at the junction of Kiu Hing Road and Tai Tong Shan Road which is a busy road junction especially during holidays. In order to minimize disturbance to the public, it is therefore proposed to amend the accepted drainage proposal in this report such that no excavation at the junction of Kiu Hing Road and Tai Tong Shan Road would be required.

## **2. Scope of this Submission**

- 2.1 Rainwater may cause flooding if it is not properly collected, conveyed and discharged. This Drainage Proposal is to demonstrate how the rainwater falling on or flowing to the subject site will be collected, conveyed and discharged without causing any adverse drainage impacts on the subject site and its surroundings.

## **3. The Subject Site and Development**

- 3.1 The subject site comprises of Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Tai Tong, Yuen Long, New Territories. It encroaches upon Tai Tong Shan Road with a total site area of about 181m<sup>2</sup>. A Site Location Plan is shown in **Figure D1**.
- 3.2 The subject site mainly comprises eight 4m single-storey shelters for OSA of an existing restaurant on the ground floor of two NTEHs at Lots 1187 S.N and 1187 S.L in D.D.117. The Town Planning Board approved layout plan is shown in **Figure D2**.

## **4. Existing Drainage Conditions of the Site**

- 4.1 The subject site is now mainly occupied by eight 4m single-storey shelters (with a total floor area of about 104m<sup>2</sup>) with the remaining site area hard paved with floor tiles. It

is bounded by Tai Tong Shan Road on the northeast side and adjoining paved areas of adjacent developments on the remaining three sides.

- 4.2 At present, there is a 750mm diameter stormwater drain running under Tai Tong Shan Road to carry the flows received from the area and discharge the flows into an existing nullah at Kiu Hing Road to the west.
- 4.3 To the east of the subject site is another site under Planning Application No. A/YL-TT/596 under which a drainage proposal had been approved by and implemented to the satisfaction of relevant Government departments. Stormwater collected by the drainage system of the afore-mentioned site is discharged via a 525 to 600mm diameter underground drain into an existing manhole (SMH1031162) at Tai Tong Shan Road. There is no significant change in the drainage conditions of the subject area since the acceptance of the Drainage Proposal under Planning Application No. A/YL-TT/596 of which a copy is enclosed in **Appendix B** of this report for reference.
- 4.4 Besides, there are also existing surface channels collecting surface runoff in the adjacent developments on the western side of the subject site. Layout of the existing surface channels in the adjacent developments on the eastern and western side of the subject site is shown in **Figure D3R**.
- 4.5 Current conditions of the subject site and its surrounding are shown in the following photos (photo taking locations are shown in **Figure D3R**):



Photo 1 – Front elevation of the subject site taken on Tai Tong Shan Road



Photo 2 – View toward the eastern corner of the subject site





Photo 3 – View along the entrances of the single-storey shelters (1)



Photo 4 – View along the entrances of the single-storey shelters (2)



Photo 5 – Existing 375mm surface channel running along the northwest subject site boundary



Photo 6 – View to corridor between the subject site and the adjacent site under previously approved Planning Application No. A/YL-TT/596 from Tai Tong Shan Road



Photo 7 – View from the corridor between the subject site and the adjacent site under previously approved Planning Application No. A/YL-TT/596 toward Tai Tong Shan Road



Photo 8 – View of the adjacent site under previously approved Planning Application No. A/YL-TT/596 along Tai Tong Shan Road





Photo 9 – Existing Catchpit CP7 of the adjacent site under previously approved Planning Application No. A/YL-TT/596



Photo 10 – Existing 525HR surface channel connecting between the existing Catchpit CP7 and the existing terminal manhole of the adjacent site under previously approved Planning Application No. A/YL-TT/596



Photo 11 – Existing terminal manhole and connection manhole of the adjacent site under previously approved Planning Application No. A/YL-TT/596



Photo 12 – View of the location of the existing terminal manhole and connection manhole of the adjacent site under previously approved Planning Application No. A/YL-TT/596 and the existing stormwater manhole (SMH1031162) at Tai Tong Shan Road

## 5. Proposed Drainage Works

- 5.1 The existing ground level of the subject site will be maintained, and no site formation works nor ground levelling works will be carried out.

- 5.2 No fence wall/hoarding will be constructed along the subject site boundary. Gutter will be installed at the edge of the roof to collect rainwater of the subject development at which peripheral channels cannot be provided due to insufficient space between the structure and the subject site boundary. The gutters will discharge into the internal drainage system of the subject development, hence, no rainwater would flow outside the subject site boundary.
- 5.3 Surface U channels are proposed to collect all surface runoff at the subject site. All the surface water collected from the subject site will be conveyed via a proposed catchpit with trap into an existing catchpit, i.e. CP7, of the adjacent site to the east completed under Planning Application No. A/YL-TT/596.
- 5.4 There is overlapping among the catchment areas of the subject site, its adjacent western development and the adjacent eastern development under the approved Planning Application No. A/YL-TT/596 as shown in **Figure D4R**. It has been taken into consideration in the hydraulic assessment contained in this report.
- 5.5 In order to enhance management of the drainage system of the subject site, it is proposed to divert the section of the existing 375 U-channel along the western boundary of the subject site such that the flows inside it would be discharged into the internal drainage system of the subject site instead of flowing away separately to the west.
- 5.6 A Proposed Drainage Arrangement of the subject development is shown in **Figure D5R** and **D6R**, and site cross sections are shown in **Figure D7R**. Details of the proposed catchpit with trap are shown in **CEDD Standard Drawing No. C2406/1**.

## **6. Drainage Calculations**

- 6.1 Assessment criteria is based on the recommendation set out in the Stormwater Drainage Manual (Fifth edition, Jan 2018) (SDM) and its Corrigendum Nos. 1/2022, 1/2024 and 2/2024 issued by DSD. Design Return Period of 50 years (recommended for 'Village Drainage' in SDM) is being adopted.
- 6.2 The corresponding runoffs under rainfall intensity for specific return period are worked out with reference to Rational Method. Brandy-Williams method is used in calculation of the time of concentration. A uniformly distributed rainfall with an intensity is determined by the Intensity-Duration-Frequency. With referenced to

Table 3a - Storm Constants for different return periods of HKO Headquarters from SDM, the rainfall profiles are derived based on the following equation:

$$i = \frac{a}{(t_d + b)^c}$$

where  $i$  = extreme mean intensity in mm/hr,  
 $t_d$  = duration in minutes ( $t_d \leq 240$ ), and  
 $a, b, c$  = storm constants given in the table below

Return Period (years)	50
a	505.5
b	3.29
c	0.355

A 16.0% rainfall increase is adopted in the hydraulic calculation to cater for effects due to climate change in accordance with the table 28 with projection to End of 21st Century (it is very conservative, as the subject application is only for 3 years) as stipulated in the item (e) and (k) of the SDM - Corrigendum No. 1/2022. Besides, taking into consideration of design allowance in End of 21st Century, a further 12.1% rainfall increase is incorporated into the hydraulic assessment.

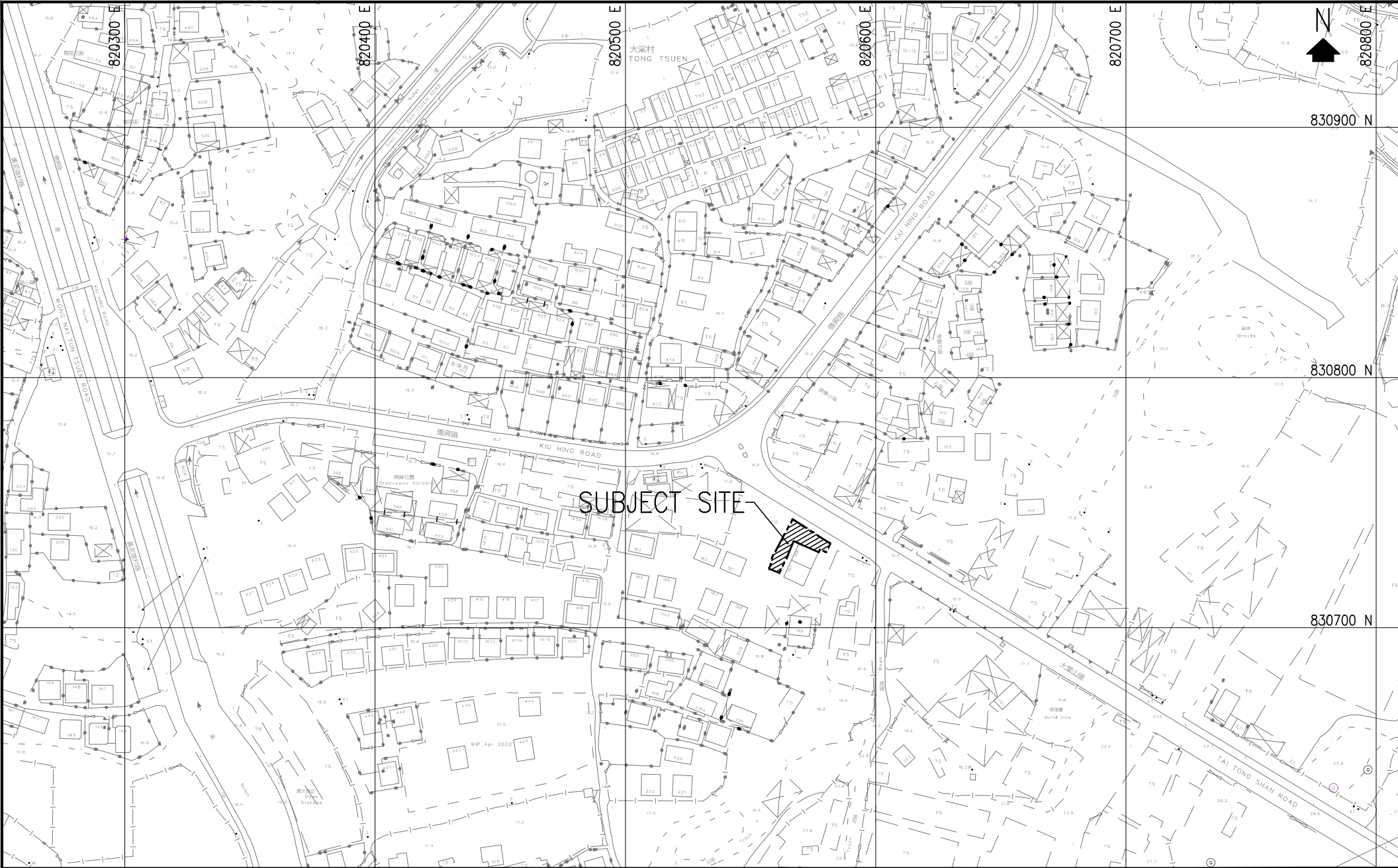
- 6.3 Hydraulic assessment is enclosed in the **Appendix C**. 10% reduction in flow area has been incorporated to cater for potential deposition of sediment in stormwater channels and pipes as recommended in the SDM. The proposed channels and underground drainage were designed to cater for the estimated runoff under the designed rainstorms. With respect to the calculation, the proposed stormwater drainage system is capable to cater for the surface runoff without causing any adverse drainage impacts on the subject site and its surroundings.
- 6.4 However, with reference to the hydraulic assessment in the **Appendix C**, the existing 525HR channel at 1 in 150 gradient of the adjacent site at which the stormwater would be discharged into might not have sufficient capacity to receive the discharge. It is therefore proposed to upgrade the subject 525HR channel to 600UC at 1 in 150 gradient.
- 6.5 Since all channels/pipes would have sufficient spare capacity, no water backup will occur at the upstream under rainstorms of 50-year (or lower) return periods.



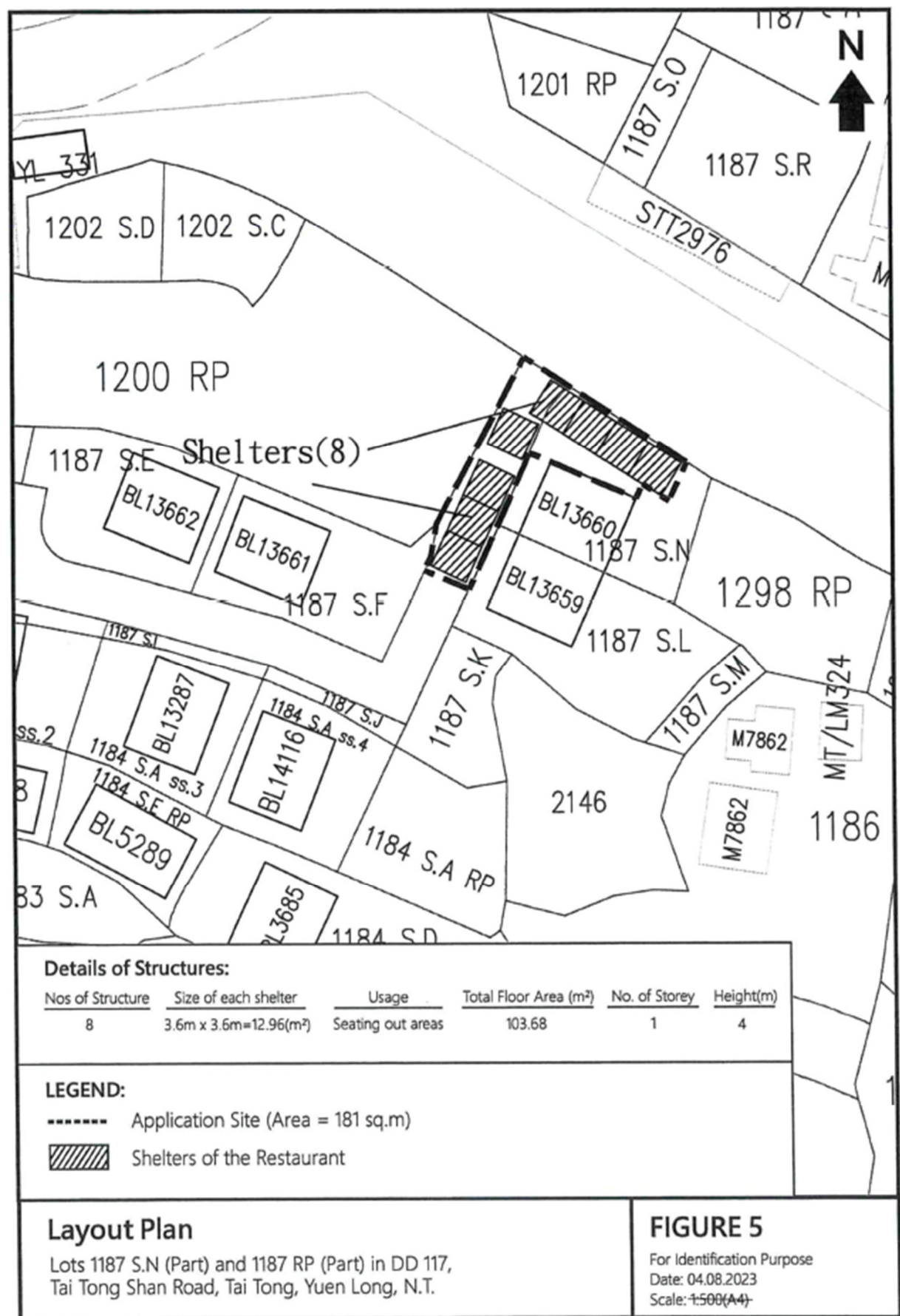
## **7. Conclusions**

- 7.1 The subject development will be for temporary Eating Place (Outside Seating Accommodation (OSA) of a Restaurant) for a period of three years. No site formation nor ground levelling works is required at the subject site. No fence wall/hoarding along the subject site boundary will be constructed. There would be no significant changes in its drainage conditions except the section of the existing 375 U-channel along the western subject site boundary is proposed to be diverted such that the flows inside it would flow into the internal drainage system of the subject site instead of flowing separately to the west.
- 7.2 Proposed U channels would satisfactorily collect and convey surface runoff of the subject site to the discharge point at the eastern corner and from which discharges into the existing Catchpit CP7 and then into the upgraded 600mm UC of the adjacent site under Planning Application No. A/YL-TT/596 via a terminal catchpit with trap.
- 7.3 The flow collected from the subject development together with those collected from the adjacent site under Planning Application No. A/YL-TT/596 will be discharged via the existing 525 to 600mm diameter underground drain into the existing 750mm diameter drain at Tai Tong Shan Road. The 750mm diameter drain would carry the flow to an existing nullah at Kiu Hing Road to the further west.
- 7.5 In conclusion, the subject development would not alter the existing drainage conditions and pattern of the area. The proposed U channels will manage the stormwater flow of the subject site properly. A section of the existing 525HR channel of the adjacent site under Planning Application No. A/YL-TT/596 should be upgraded to 600UC at 1 in 150 gradient. In conclusion, the proposed drainage amendment is acceptable and its implementation would minimize disturbance to the public. The subject development would not cause any adverse drainage impact onto the area.

HA23145\_TaiTongShanRoadDRAWINGG33145\_Figure\_D1 D2 D3 & D4.dwg, 1/3/2024 14:40:06, DWG To Pdf.pc3



<div>LEGEND</div> <div>----- SUBJECT SITE BOUNDARY</div>		<div>TITLE</div> <div>SITE LOCATION PLAN</div>		<div>何田顧問工程師有限公司</div> <div>HO TIN &amp; ASSOCIATES</div> <div>CONSULTING ENGINEERS LIMITED</div>	
				<div>SCALE</div> <div>1 : 2000 – A4</div>	<div>DRAWING No.</div> <div>FIGURE D1</div>

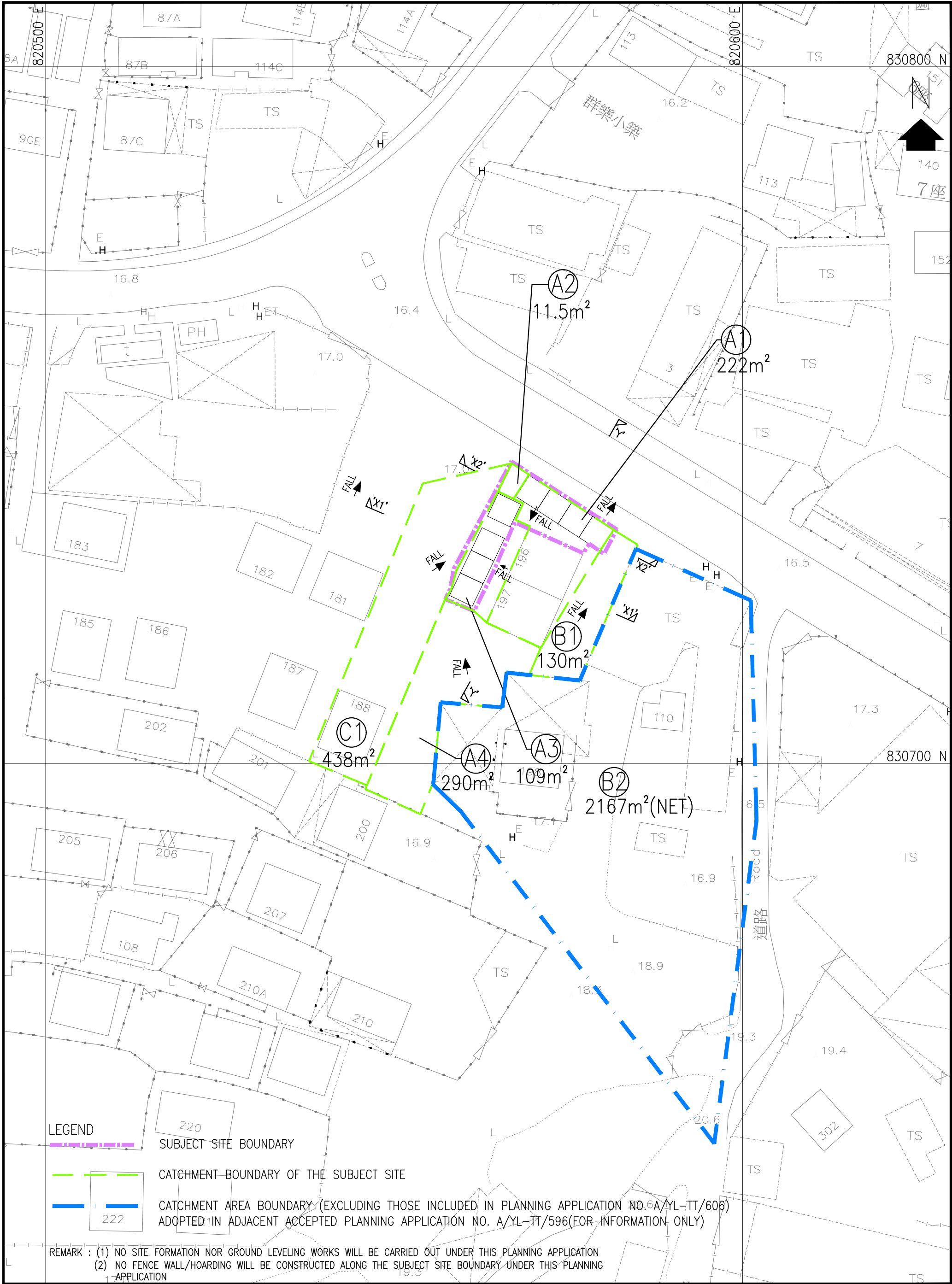


**Figure D2 - The Town Planning Board Approved Layout Plan**



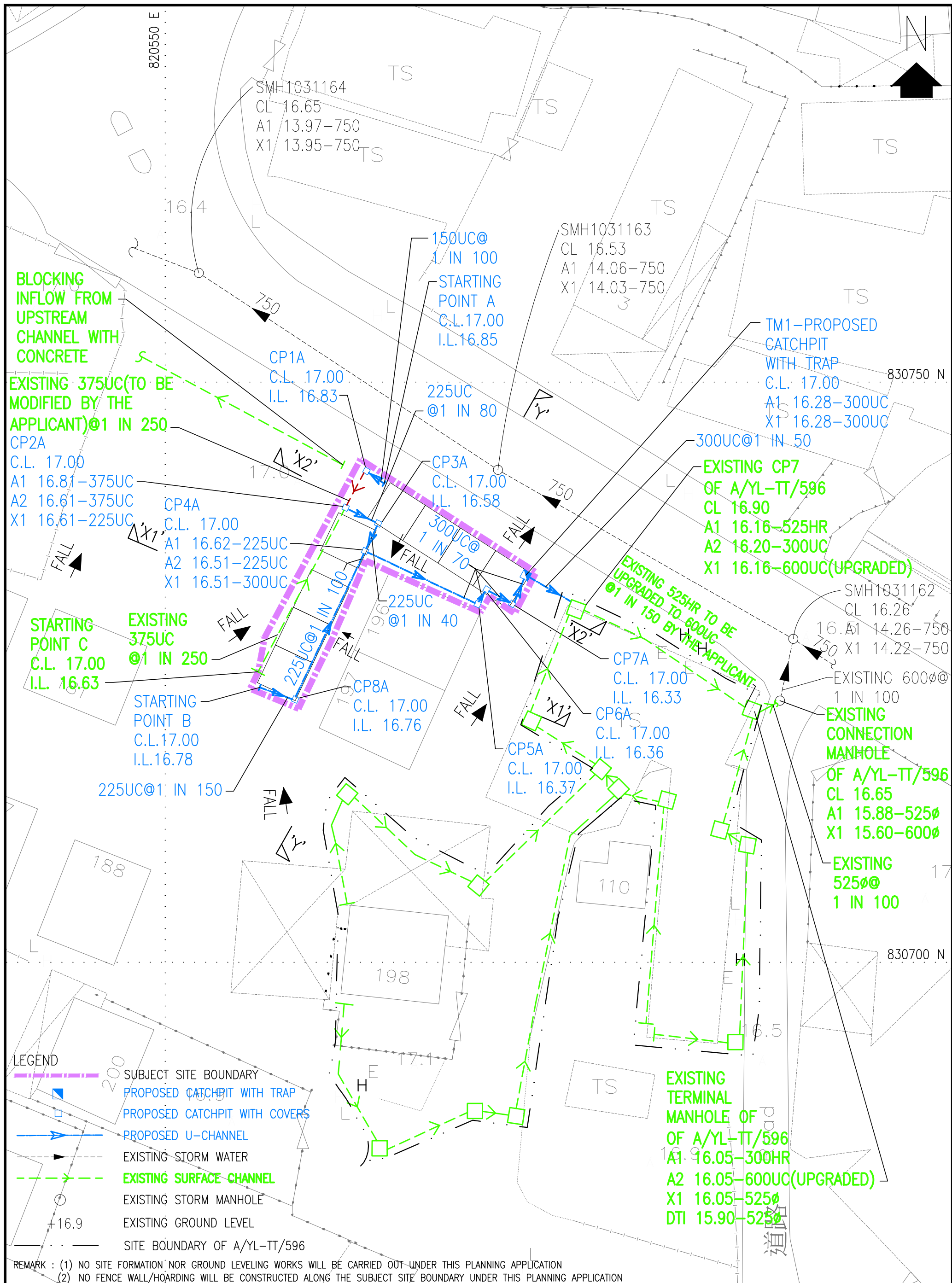


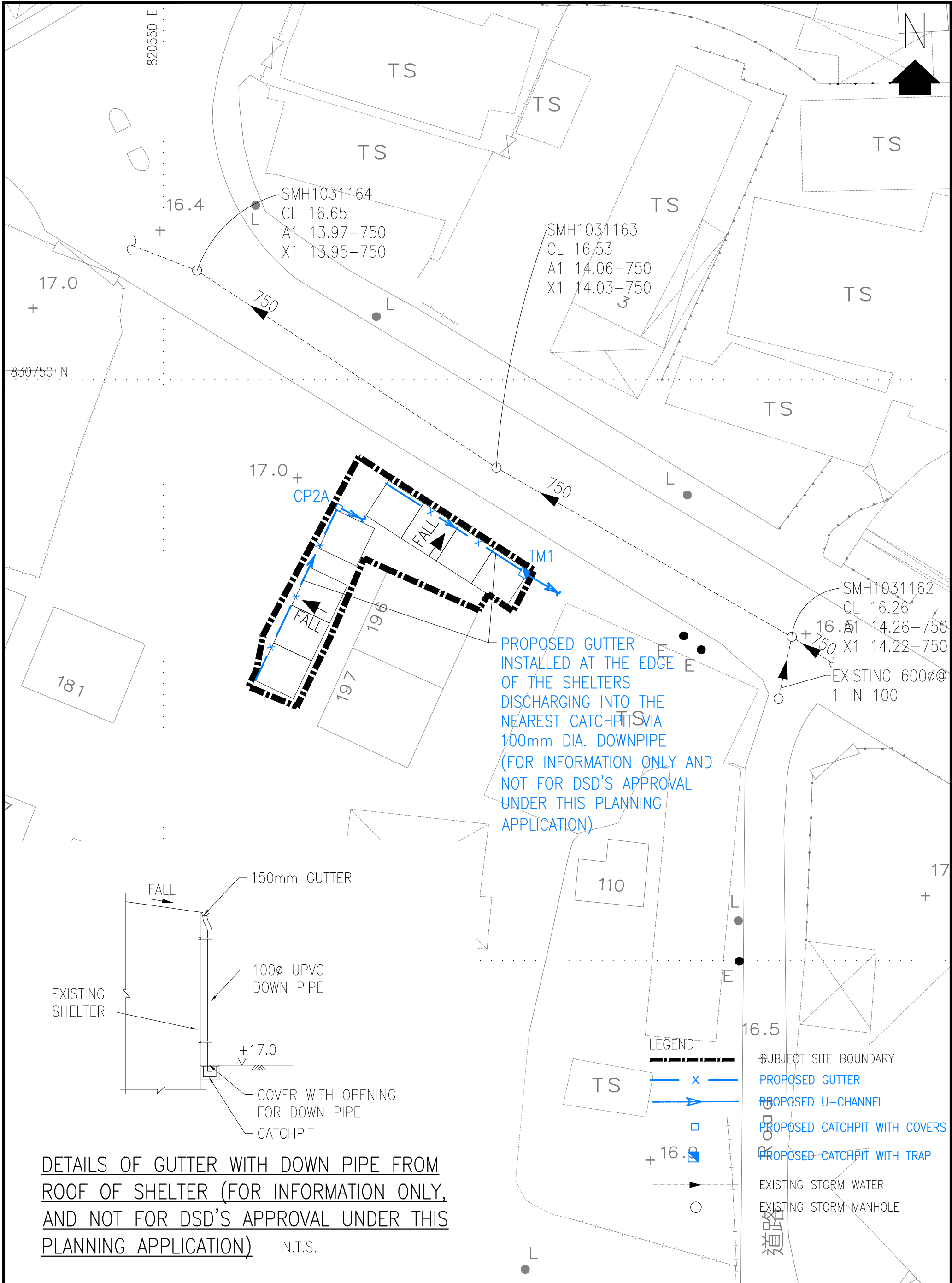
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PROJECT		何田顧問工程師有限公司 <b>HO TIN &amp; ASSOCIATES</b> CONSULTING ENGINEERS LIMITED	
TITLE	STORMWATER CATCHMENT AREAS OF THE SUBJECT SITE AND THE ADJACENT WESTERN DEVELOPMENT OVERLAPPING WITH THAT ADOPTED IN THE ADJACENT ACCEPTED PLANNING APPLICATION NO. A/YL-TT/596	SCALE	DRAWING No.
		1 : 500 - A3	FIGURE D4R

H:\23145\_TaiTongShanRoad\DRAWING\23145\_Figure\_D1 D2 D3R\_01 D4R\_02 D5R\_02 D6R & D7R\_01.dwg, 12/5/2025 9:01:24





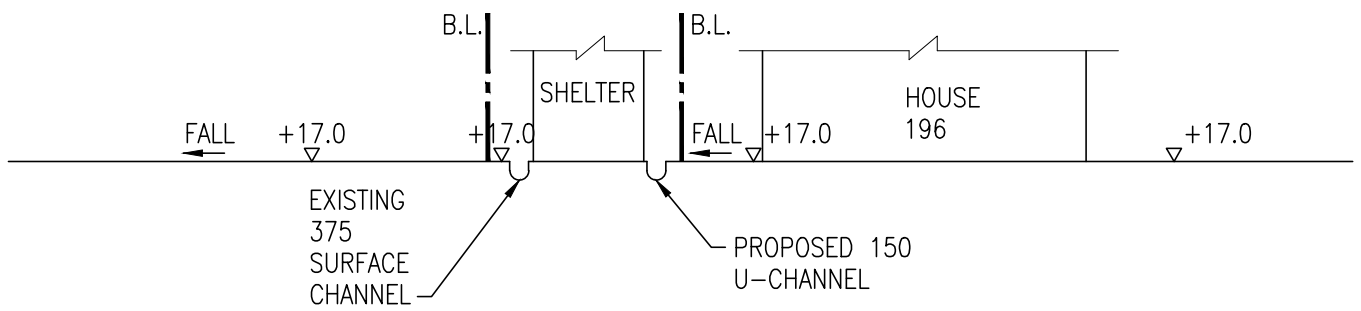
PROJECT

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

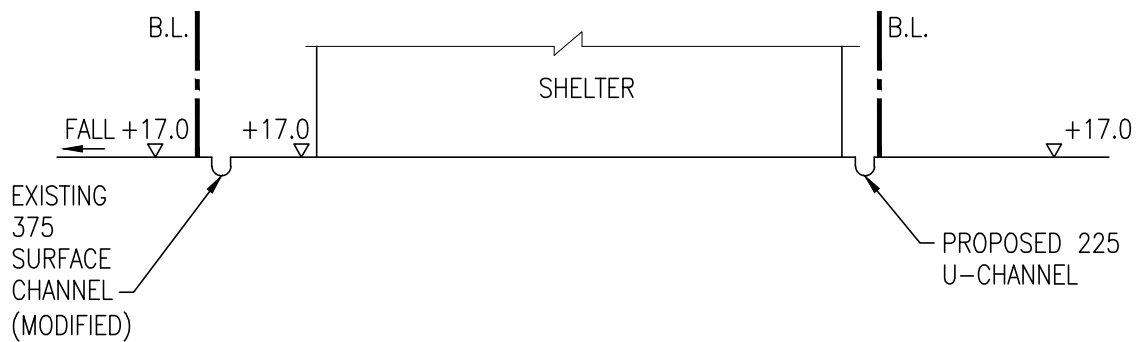
TITLE  
ROOF DRAINAGE ARRANGEMENT PLAN  
(FOR INFORMATION ONLY AND NOT FOR DSD'S APPROVAL UNDER THIS PLANNING APPLICATION)

SCALE  
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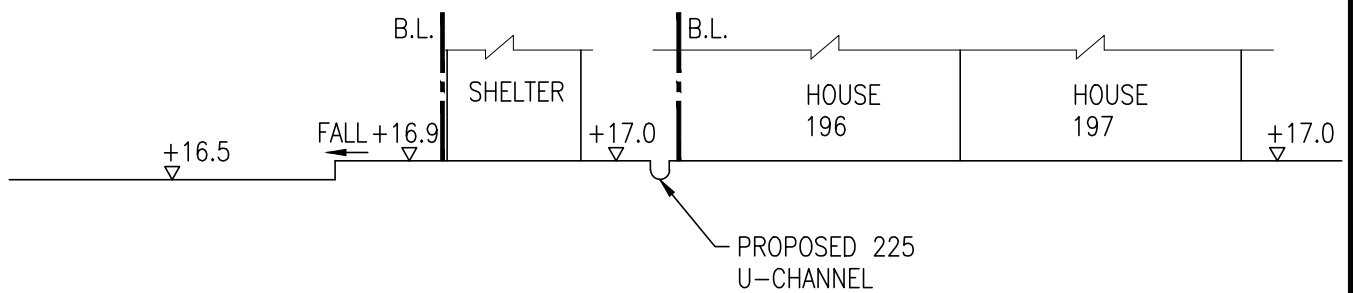
DRAWING No.  
FIGURE D6R



SECTION X1 - X1



SECTION X2 - X2



SECTION Y - Y

REMARK : (1) NO SITE FORMATION NOR GROUND LEVELING WORKS WILL BE CARRIED OUT UNDER THIS PLANNING APPLICATION  
 (2) NO FENCE WALL/HOARDING WILL BE CONSTRUCTED ALONG THE SUBJECT SITE BOUNDARY UNDER THIS PLANNING APPLICATION

LEGEND  
 - - - - - SUBJECT SITE BOUNDARY

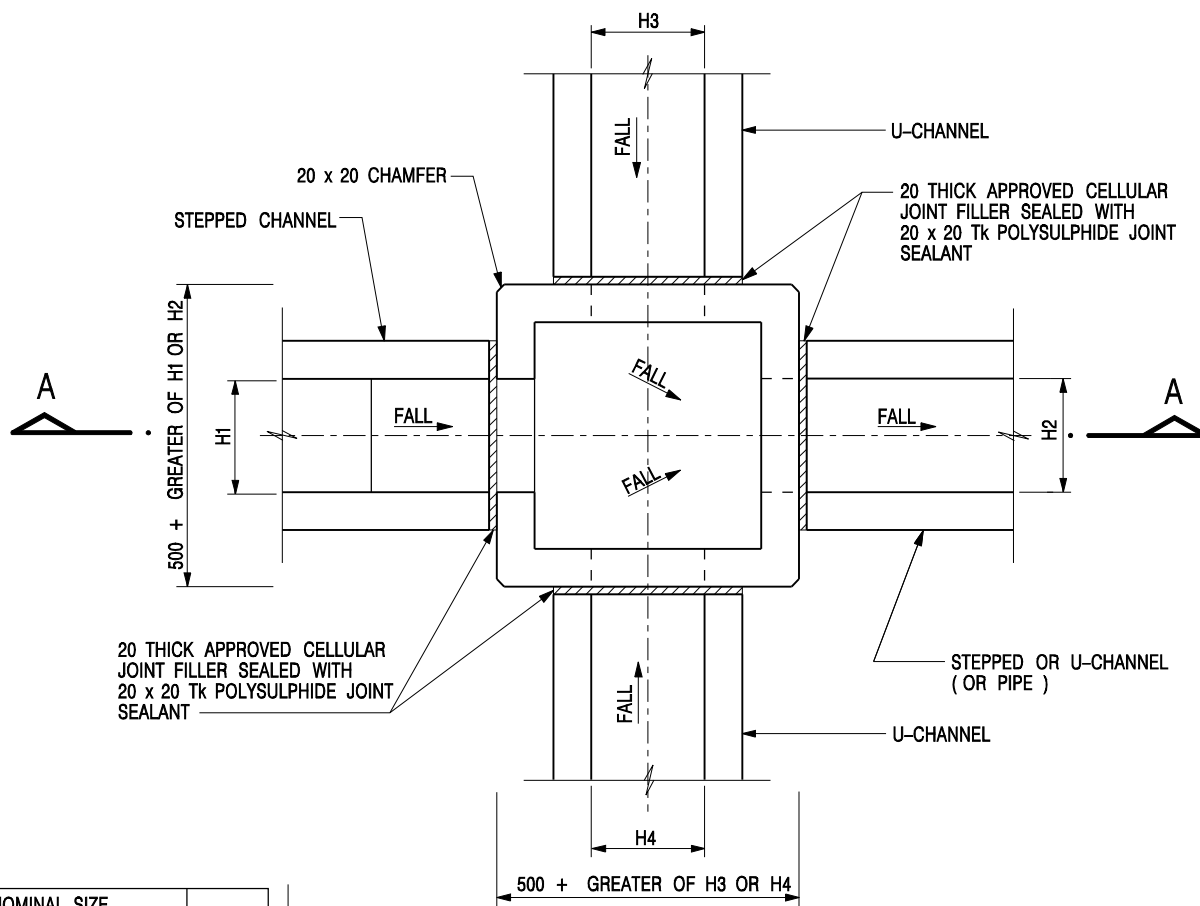
何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
 CONSULTING ENGINEERS LIMITED

TITLE  
 SITE CROSS SECTIONS

SCALE  
 1 : 200 - A4

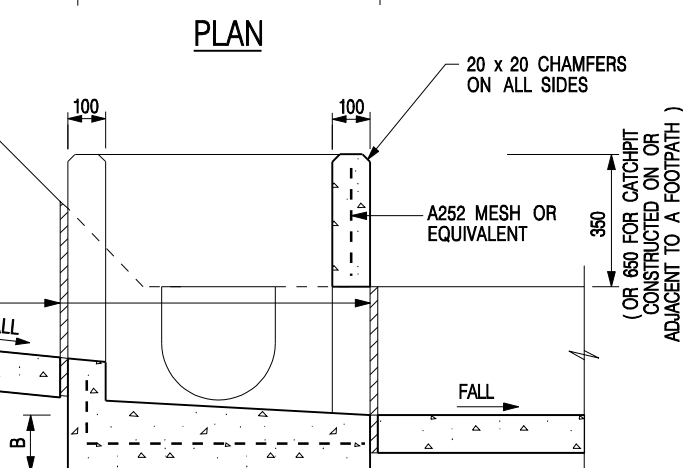
DRAWING No.  
 FIGURE D7R



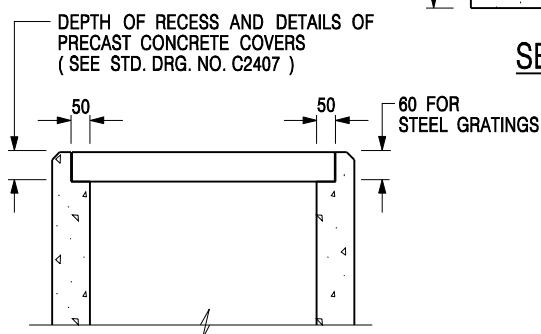


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



### SECTION A - A




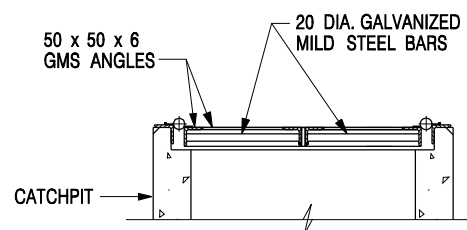
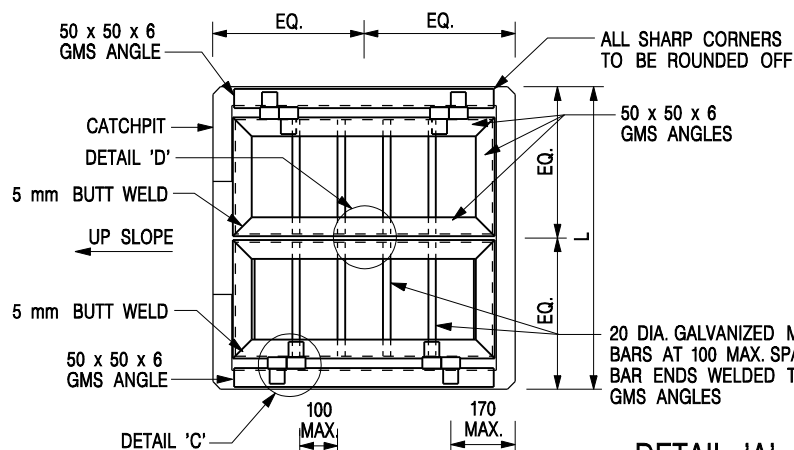
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#### NOTES:

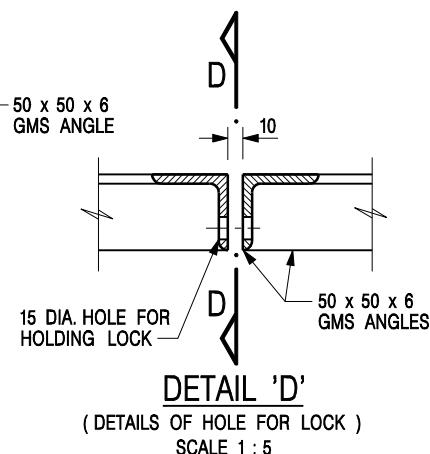
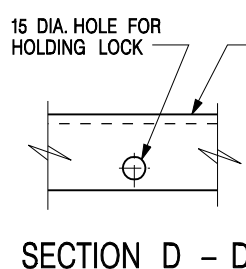
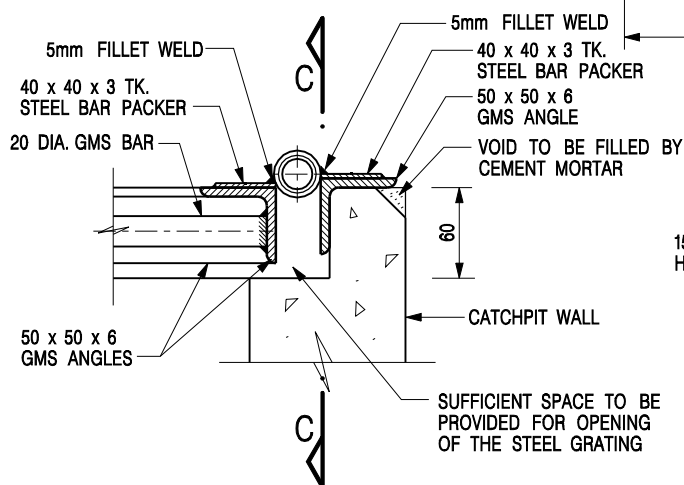
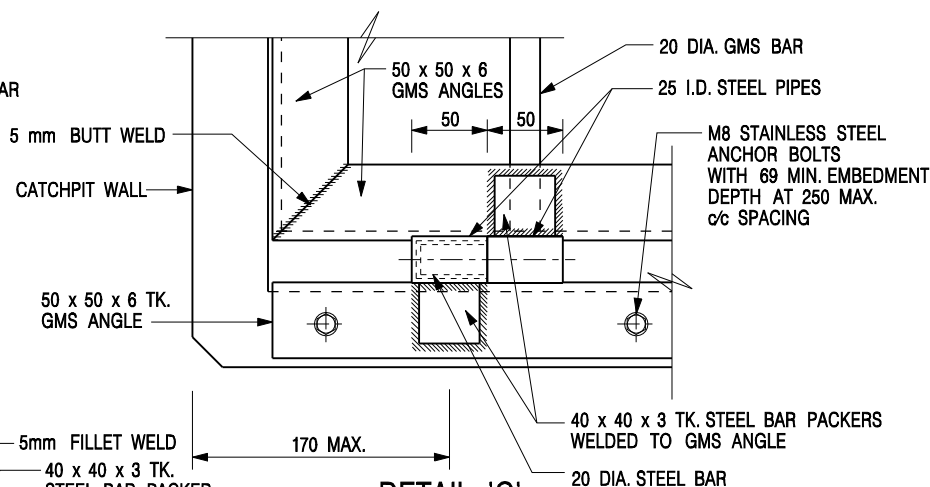
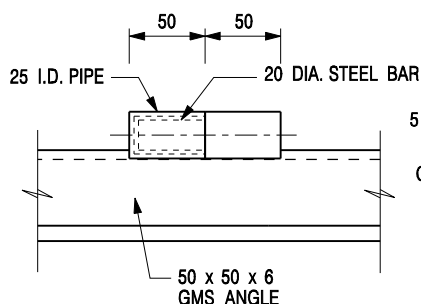
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

## STANDARD CATCHPIT DETAILS (SHEET 1 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
<div><div>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</div></div>			
SCALE 1 : 20		DRAWING NO. C2405 /1	
DATE JAN 1991			




**DETAIL 'A'**  
(DETAILS OF DOUBLE SIDE OPENING STEEL GRATING FOR L>900mm )  
SCALE 1 : 20

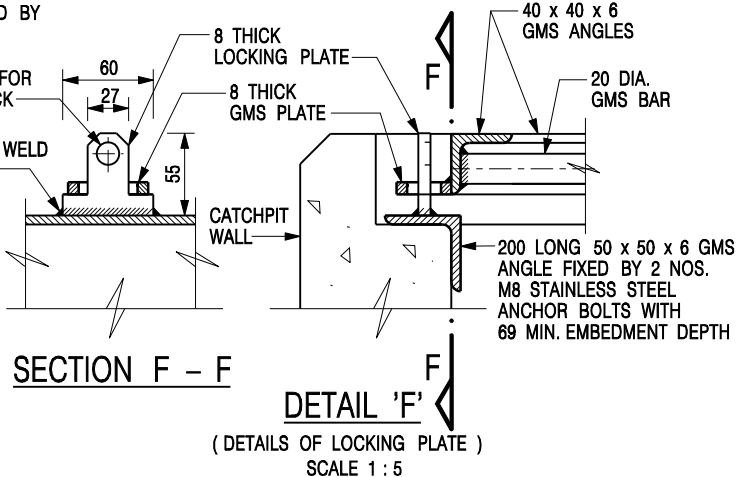
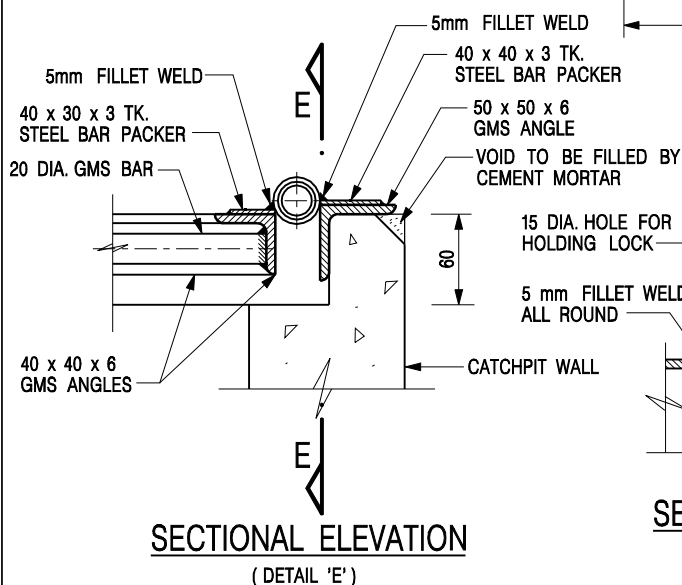
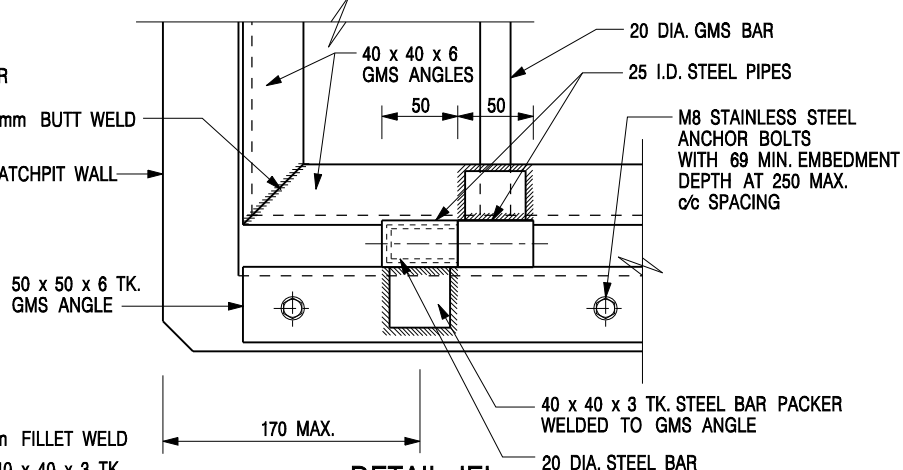
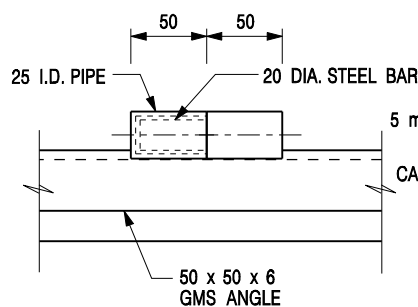
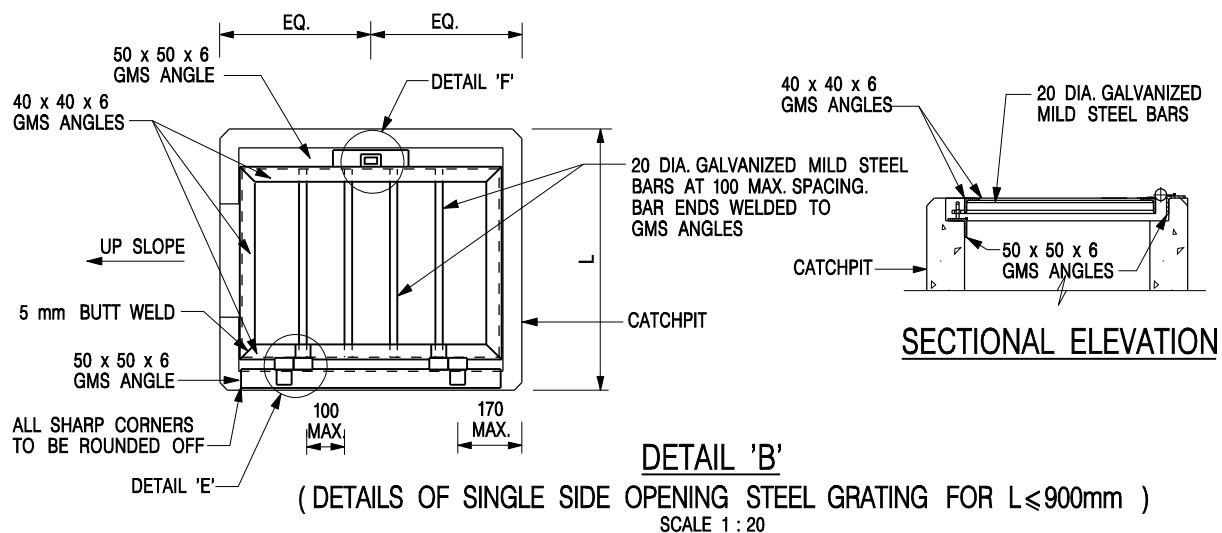


**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

**STANDARD CATCHPIT DETAILS**  
(SHEET 2 OF 5)


-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> AS SHOWN <b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> <b>C2405 /2</b>	

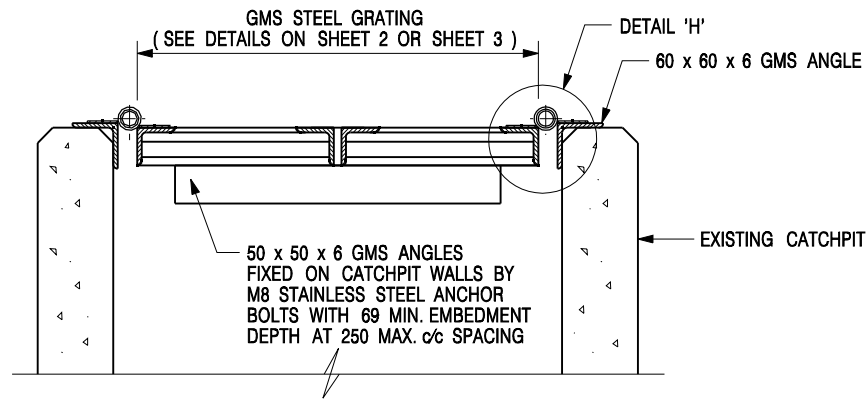


**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

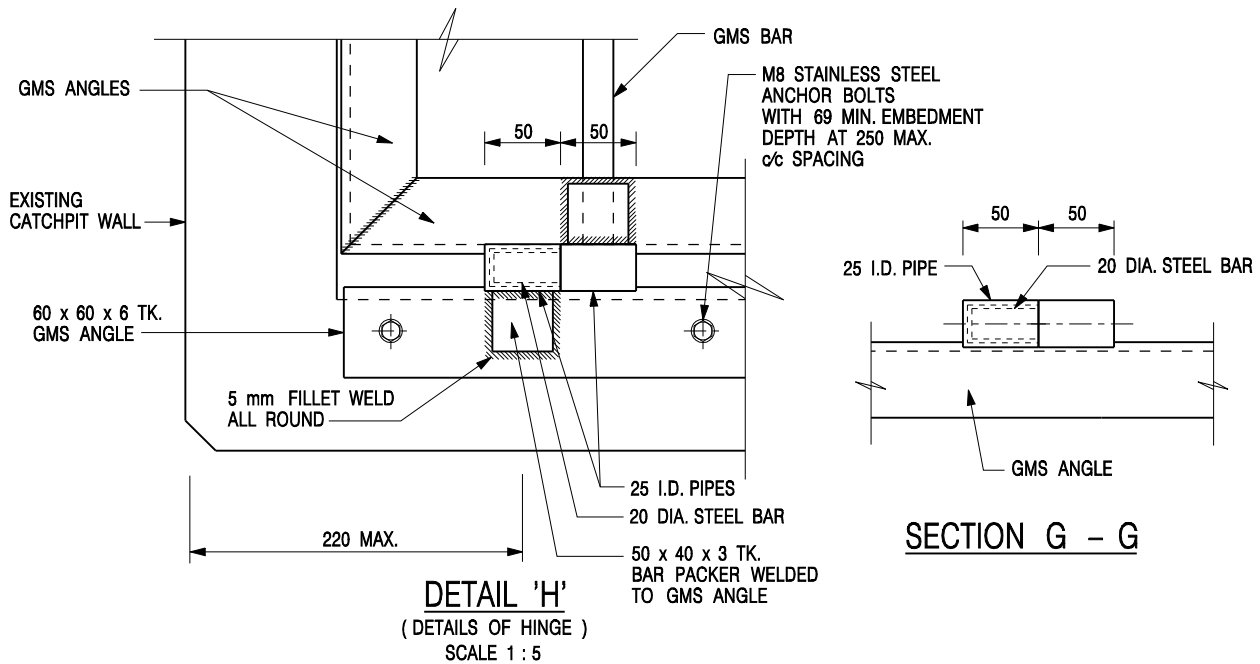
**STANDARD CATCHPIT DETAILS**  
(SHEET 3 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> AS SHOWN <b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> <b>C2405 /3</b>	

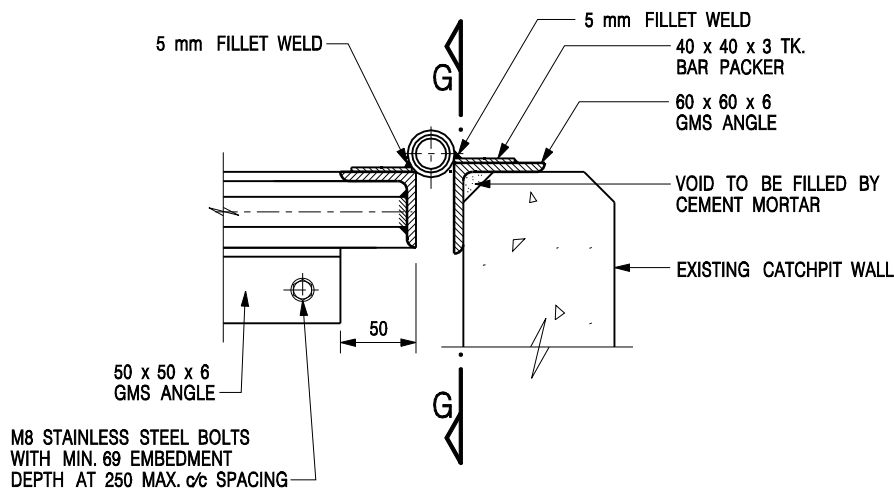


### DETAIL 'G' - DETAILS OF STEEL GRATING CONSTRUCTED ON EXISTING CATCHPIT

SCALE 1 : 10



### SECTION G - G




### SECTIONAL ELEVATION

(DETAIL 'H')

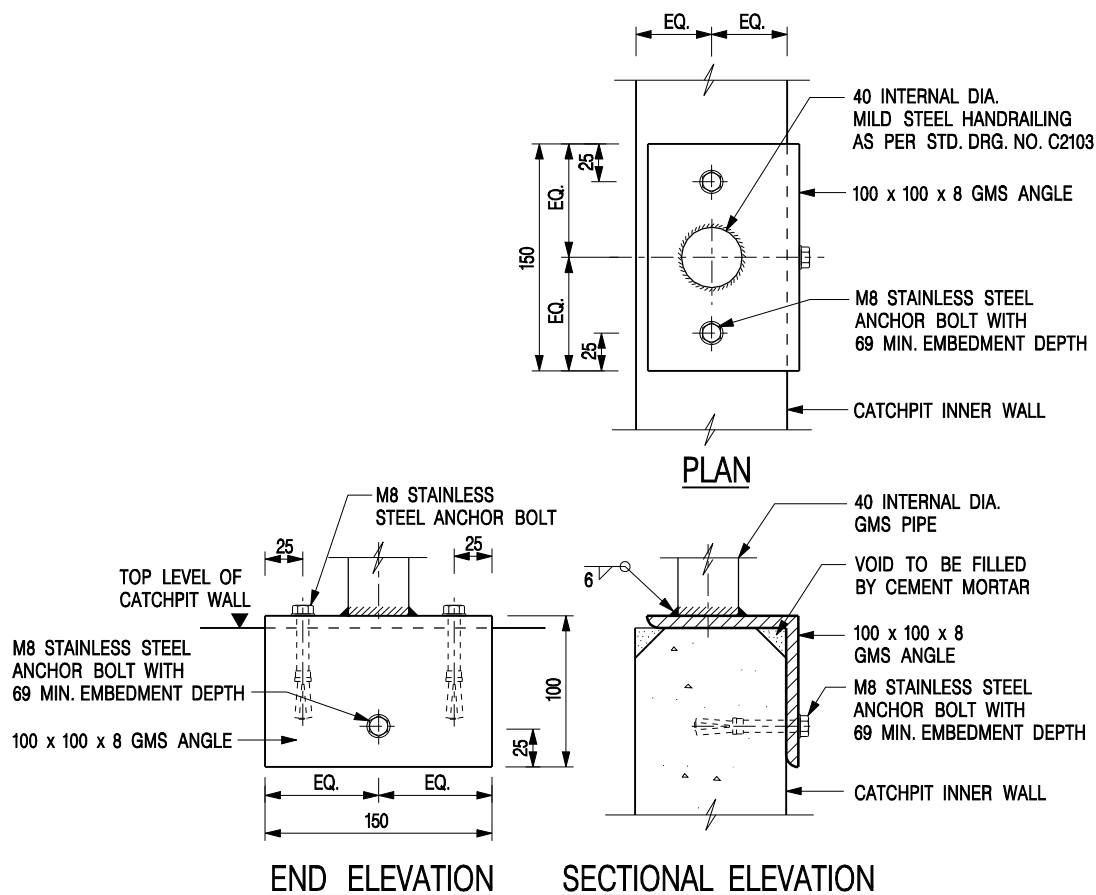
#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS  
(SHEET 4 OF 5)

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REF.	REVISION	SIGNATURE	DATE
<div><div>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</div></div>			
SCALE AS SHOWN		DRAWING NO. C2405 /4	
DATE JAN 1991			






### DETAIL 'J' – FIXING DETAILS FOR HANDRAILING ON TOP OF CATCHPIT WALL

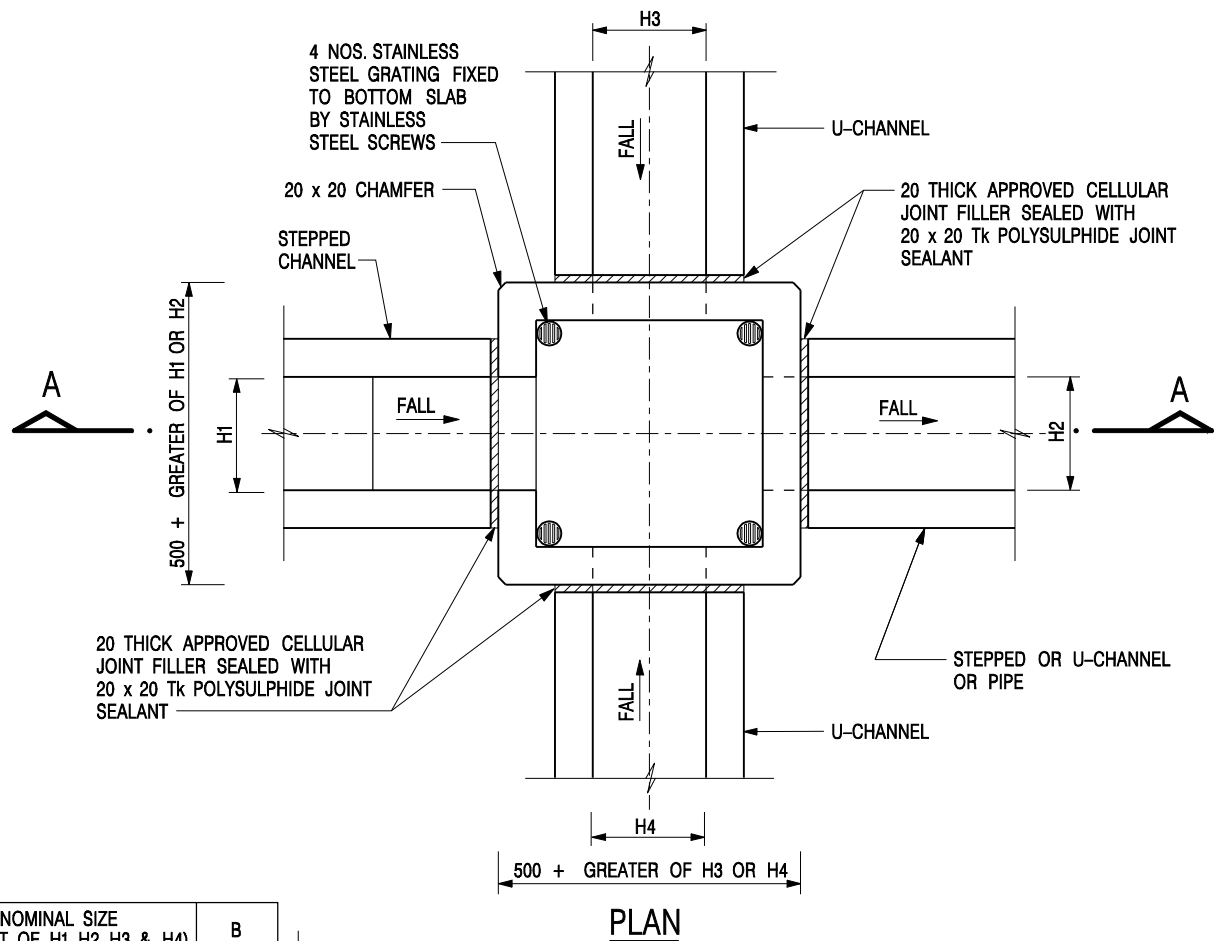
SCALE 1 : 5

#### NOTES:

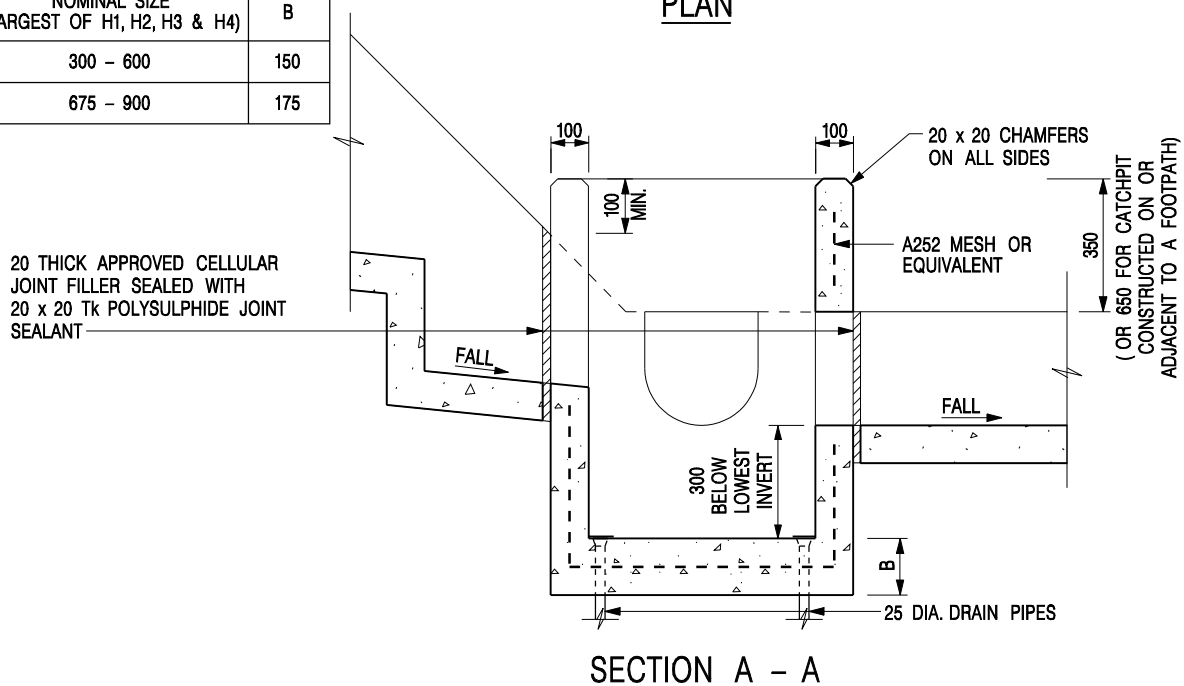
- ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL CONCRETE SHALL BE GRADE 20 /20.
- CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
- FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
- CONCRETE TO BE COLOURED AS SPECIFIED.
- FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAILS ON SHEET 2 OR SHEET 3 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
- IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'J' ON SHEET 5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
- MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 mm c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
- FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON SHEET 4.
- ALL STEEL ANGLES SHALL COMPLY WITH BS EN 10025 AND BS EN 10056.
- UNLESS OTHERWISE SPECIFIED, ALL WELDS SHALL BE 5 mm CONTINUOUS FILLET WELDS.
- ALL WELDS SHALL BE CHIPPED, GROUND SMOOTH, BRUSHED TO REMOVE SLAG PRIOR TO HOT-DIP GALVANIZATION.
- ALL STEELWORK SHALL BE HOT-DIP GALVANIZED TO BS EN ISO 1461. ALL EXPOSED STEELWORK SURFACES SHALL BE TREATED AND PAINTED IN ACCORDANCE WITH THE GENERAL SPECIFICATION.
- SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

STANDARD CATCHPIT DETAILS  
(SHEET 5 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
<div><div>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</div></div>			
SCALE AS SHOWN		DRAWING NO. C2405 /5	
DATE JAN 1991			




NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

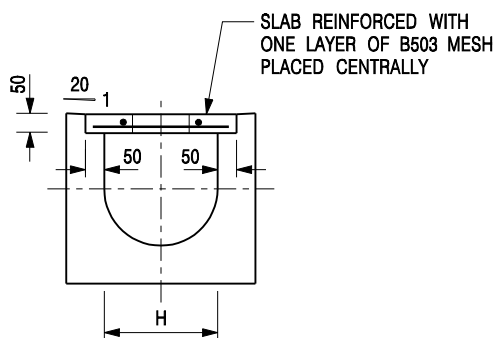


**NOTES:**

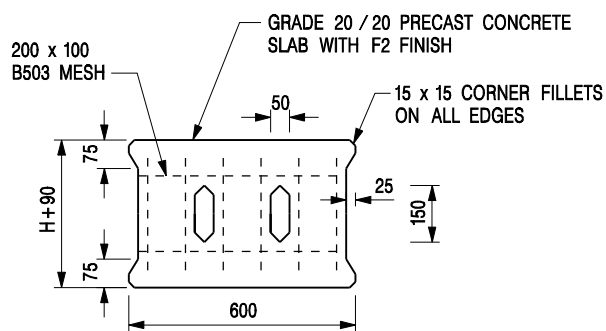
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> 1 : 20	
		<b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> C2406 /1	



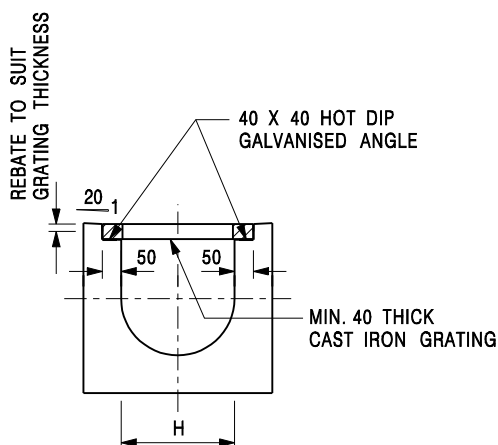
TYPICAL SECTION



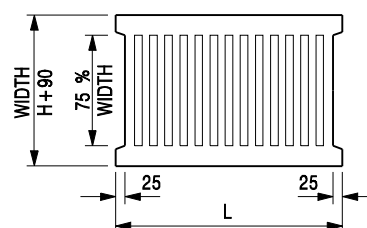
PLAN OF SLAB

### U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

### U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

#### NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- H=NOMINAL CHANNEL SIZE.
- ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
- FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

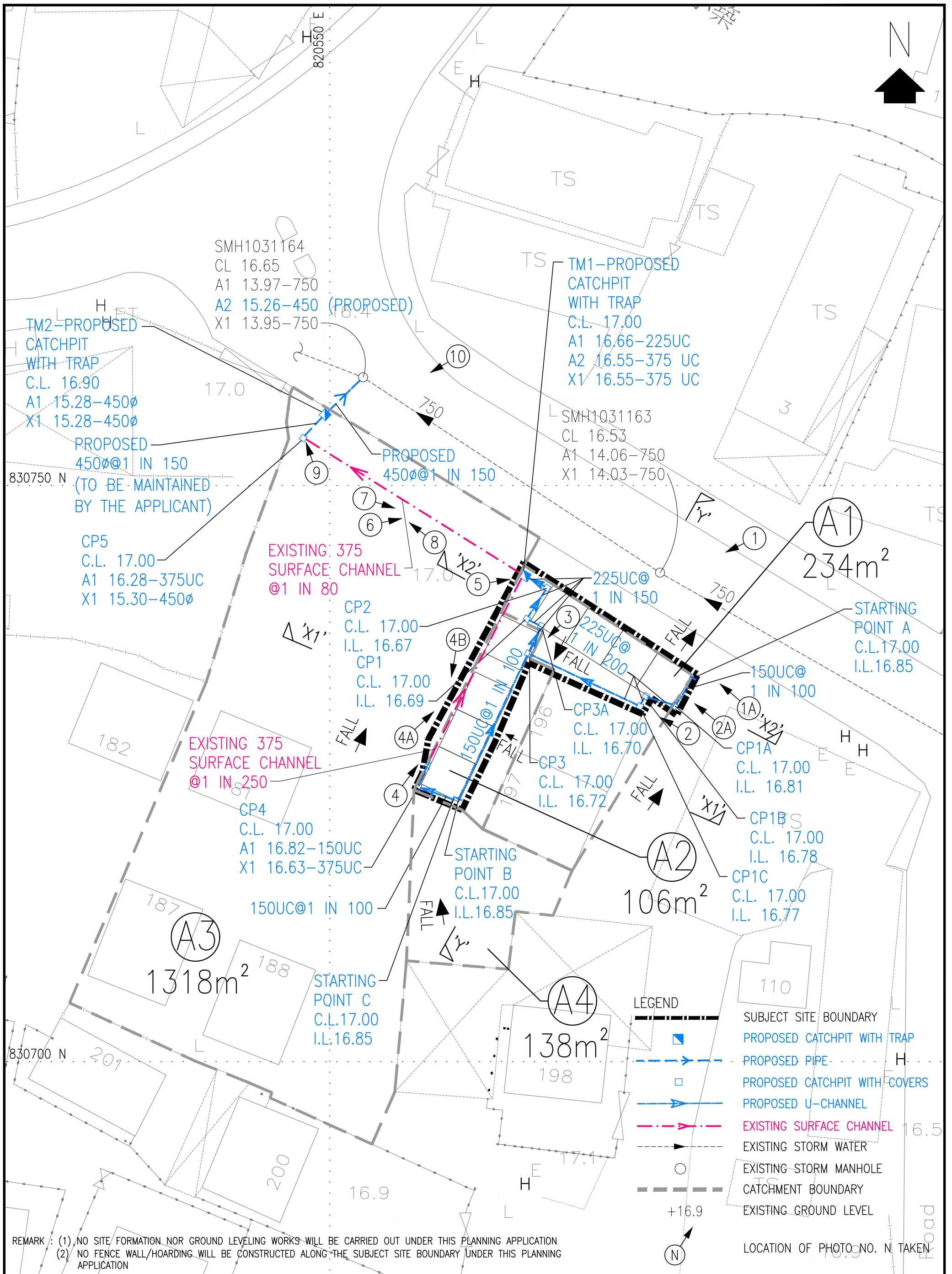
**DATE** JAN 1991

**DRAWING NO.**  
**C2412E**



**Appendix A – Copies of Relevant Documents of the Originally Approved  
Drainage Proposal under Planning Application No. A/YL-  
TT/606**

H:\23145\_TaiTongShanRoad\DRAWING\23145\_Figure\_D1 D2 D3\_06 & D4.dwg, 3/3/2025 17:45:29



PROJECT

TITLE

STORMWATER DISCHARGE ROUTE  
OF THE SUBJECT SITE

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

SCALE

1 : 300 - A3

DRAWING No.

FIGURE D3

## 規 劃 署

屯門及元朗西規劃處  
香港新界沙田上禾輦路一號  
沙田政府合署 14 樓



## By Post Planning Department

Tuen Mun and Yuen Long West  
District Planning Office  
14/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin, N.T.  
Hong Kong

來函檔號 Your Reference  
本署檔號 Our Reference ( ) in TPB/A/YL-TT/606  
電話號碼 Tel. No. : 2158 6286  
傳真機號碼 Fax No. : 2489 9711

5 March 2025

Leung Tsz Lan

Dear Sir/Madam,

### **Compliance with Approval Condition (a)** **Planning Application No. A/YL-TT/606**

I refer to your submission dated 3.3.2025 for compliance with the captioned approval condition (a) on the submission of a drainage proposal. The Drainage Services Department (DSD) has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied** with. Please find detailed comments at **APPENDIX**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has **not** been complied with.

Should you have any queries on the departmental comments, please contact Mr. Jeff TSE (Tel: 2300 1627) of DSD or the undersigned.

Yours faithfully,

( Ms. Eva TAM )  
for District Planning Officer/  
Tuen Mun and Yuen Long West  
Planning Department

C.C.  
CE/MN of DSD (Attn.: Mr. Jeff TSE)

Internal  
CTP/TPB (2)  
ET/MC/mc



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Planning a Future of Boundless Opportunities

Comments of the Chief Engineer/Mainland North of Drainage Services Department  
(CE/MN of DSD)

---

- i) The applicant should implement the drainage facilities on site in accordance with the agreed drainage proposal.
- ii) The applicant is required to rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system.
- iii) The existing 375mm u-channel, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant(s) shall resolve any conflict/disagreement arisen for discharging the runoff from the application site(s) to the proposed discharge point(s). In the case that it is a local village drains, DO/YL should be consulted. Moreover, the applicant(s) should ensure that this drainage system and the existing downstream drains/channels/streams have adequate capacity to convey the additional runoff from the application site(s). Regular maintenance should be carried out by the applicant(s) to avoid blockage of the system.
- iv) The proposed development would neither obstruct overland flow nor adversely affected any existing natural streams, village drains, ditches and the adjacent areas.
- v) The applicant should resolve any conflict /disagreement with relevant lot owner(s) and seek permission from DLO/YL for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government Land, where required, outside the application site(s).
- vi) It is noted that a section of the new proposed 450mm pipe will be located within private land (CP5 to TM2 as indicated in Figure D3). Please be reminded that DSD shall not maintain all such drains and manholes proposed to be laid within private lots adjacent to the development. The applicant has to confirm the future maintenance responsibilities of such drains and manholes.
- vii) The applicant shall submit a duly completed Form HBP1 with a cross cheque covering the technical audit fee and a plan showing the details of the proposed drainage connection works to this Division for formal application for the required connection(s). Upon my acceptance of the connection application, the applicant shall carry out the proposed connection works in accordance with DSD Standard Drawings at the resources of the applicant. The connection

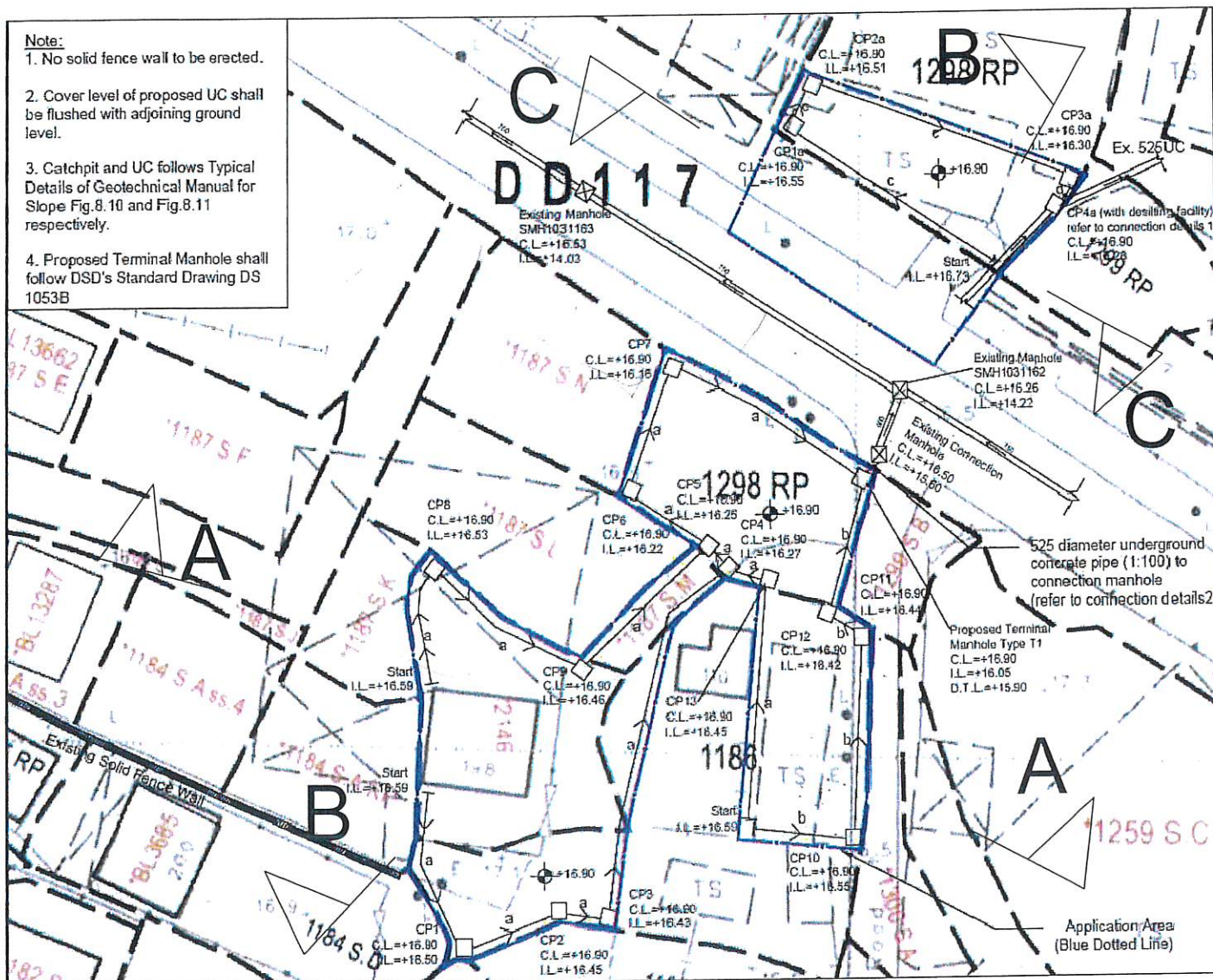


pipe outside the private lot boundaries shall be handed over to DSD for maintenance after satisfactory technical audit by DSD.

**Appendix B – Copies of the Previously Approved Drainage Proposal under  
Planning Application No. A/YL-TT/596**

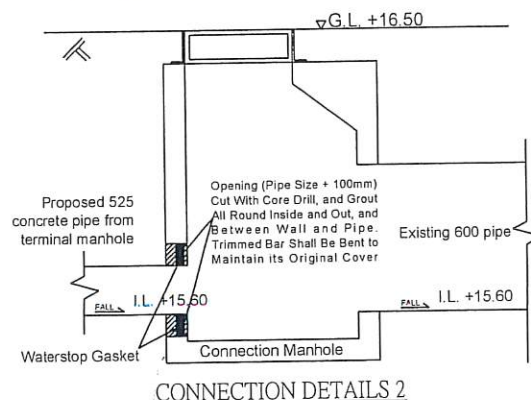
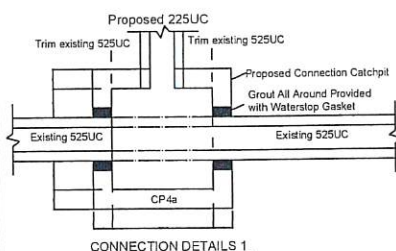
30 AUG 2017

- Note:**
1. No solid fence wall to be erected.
  2. Cover level of proposed UC shall be flushed with adjoining ground level.
  3. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
  4. Proposed Terminal Manhole shall follow DSD's Standard Drawing DS 1053B



**LEGEND**

- ☐ CP Proposed CatchPit
- ☐ TM Proposed Terminal Manhole Type T1
- Proposed
  - a: 525HR(1:150)
  - b: 300HR(1:150)
  - c: 225UC(1:100)
 with Cast Iron Cover
- ☒ Existing Manhole
- Existing Underground Pipe



正宏工程顧問公司

CHING WAN ENGINEERING CONSULTANTS CO.

Project:

Proposed Temporary Eating Place for a Period of 3 Years at Lots 1186(part), 1187S.M., 1298RP(part), 2146 in DD117 and adjoining Government Land, Tai Tong, Yuen Long, N.T.

Title:

Drainage Proposal

Drawn by:

DM

Date:

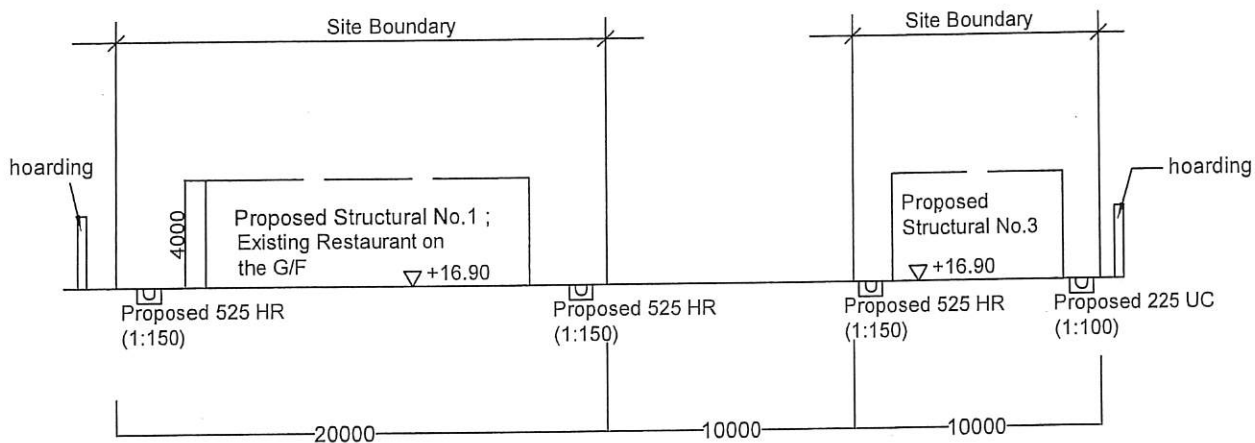
8 Mar 2017

Check by:

DM

Scale:

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### Section A-A

#### LEGEND

- ☐ CP Proposed CatchPit
- ☐ TM Proposed Terminal Manhole Type T1

→ Proposed 300UC(1:100)/  
450HR(1:150) with Cast  
Iron Cover

☒ Existing Manhole

 Existing Underground Pipe

#### Note:

1. Cover level of proposed UC shall be flushed with adjoining ground level.
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
3. Proposed Terminal Manhole shall follow DSD's Standard Drawing DS 1053B

正宏工程顧問公司

CHING WAN ENGINEERING CONSULTANTS CO.

Project

**Proposed Temporary Eating Place for a Period of 3 Years at Lots 1184S.A.ss.4 (part), 1184S.A.RP(part), 1186(part), 1187S.F.(par), 1187S.J.~S.N., 1187RP(part), 1200RP(part), 1298RP(part), 2146 in DD117 and adjoining Government Land, Tai Tong, Yuen Long, N.T. (A/YL-TT/366)**

Title:

Drainage Proposal

DD117-TT366

Drawn by:

DM

Date:

21 Feb 2016

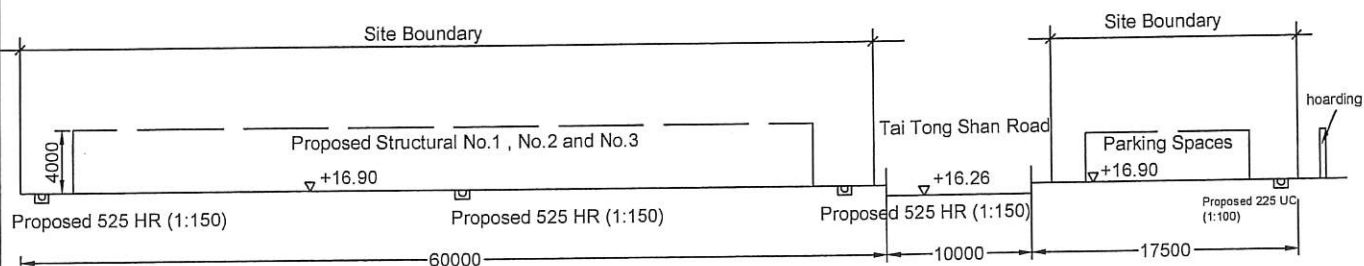
Check by:

DM

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## Section B-B

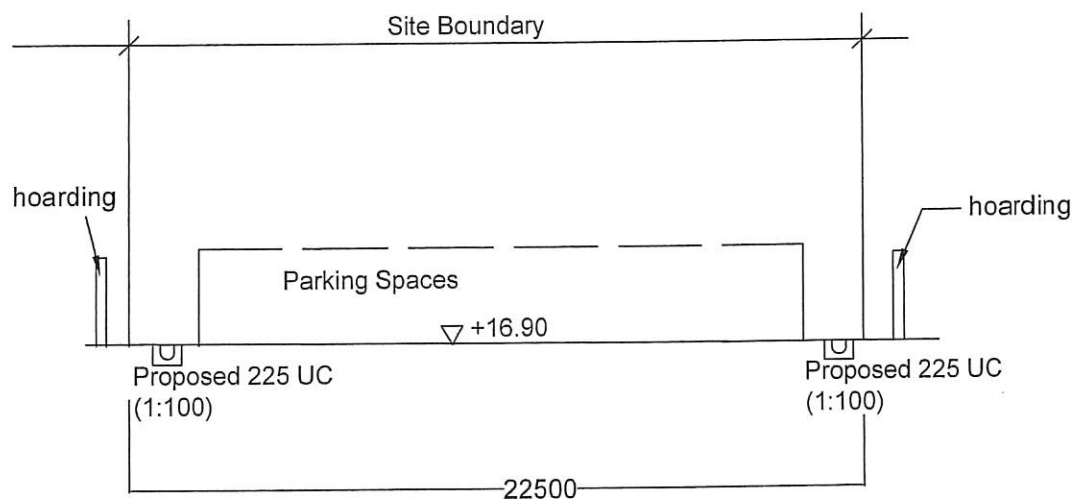
### LEGEND

- ☐ CP Proposed CatchPit
- ☐ TM Proposed Terminal Manhole Type T1
- Proposed 300UC(1:100)/450HR(1:150) with Cast Iron Cover
- ☒ Existing Manhole
- Existing Underground Pipe

### Note:

1. Cover level of proposed UC shall be flushed with adjoining ground level.
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
3. Proposed Terminal Manhole shall follow DSD's Standard Drawing DS 1053B

<p>正宏工程顧問公司</p> <p>CHING WAN ENGINEERING CONSULTANTS CO.</p>	<p>Title:</p> <p>Drainage Proposal</p>	<p>DD117-TT366</p>
<p>Project:</p> <p><b>Proposed Temporary Eating Place for a Period of 3 Years at Lots 1184S.A.ss.4 (part), 1184S.A.RP(part), 1186(part), 1187S.F.(par), 1187S.J.~S.N., 1187RP(part), 1200RP(part), 1298RP(part), 2146 in DD117 and adjoining Government Land, Tai Tong, Yuen Long, N.T. (A/YL-TT/366)</b></p>	<p>Drawn by:</p> <p>DM</p>	<p>Date:</p> <p>21 Feb 2016</p>
	<p>Check by:</p> <p>DM</p>	<p>Scale:</p> <p>----</p>



## Section C-C

### LEGEND

- ☐ CP Proposed CatchPit
- ☐ TM Proposed Terminal Manhole Type T1

→ Proposed 300UC(1:100)/  
450HR(1:150) with Cast  
Iron Cover

- ☒ Existing Manhole

— (Size) — Existing Underground Pipe

### Note:

1. Cover level of proposed UC shall be flushed with adjoining ground level.
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
3. Proposed Terminal Manhole shall follow DSD's Standard Drawing DS 1053B

正宏工程顧問公司

CHING WAN ENGINEERING CONSULTANTS CO.

Project

**Proposed Temporary Eating Place for a Period of 3 Years at Lots 1184S.A.ss.4 (part), 1184S.A.RP(part), 1186(part), 1187S.F.(par), 1187S.J.~S.N., 1187RP(part), 1200RP(part), 1298RP(part), 2146 in DD117 and adjoining Government Land, Tai Tong, Yuen Long, N.T. (A/YL-TT/366)**

Title:

Drainage Proposal

DD117-TT366

Drawn by:

DM

Date:

21 Feb 2016

Check by:

DM

Scale:

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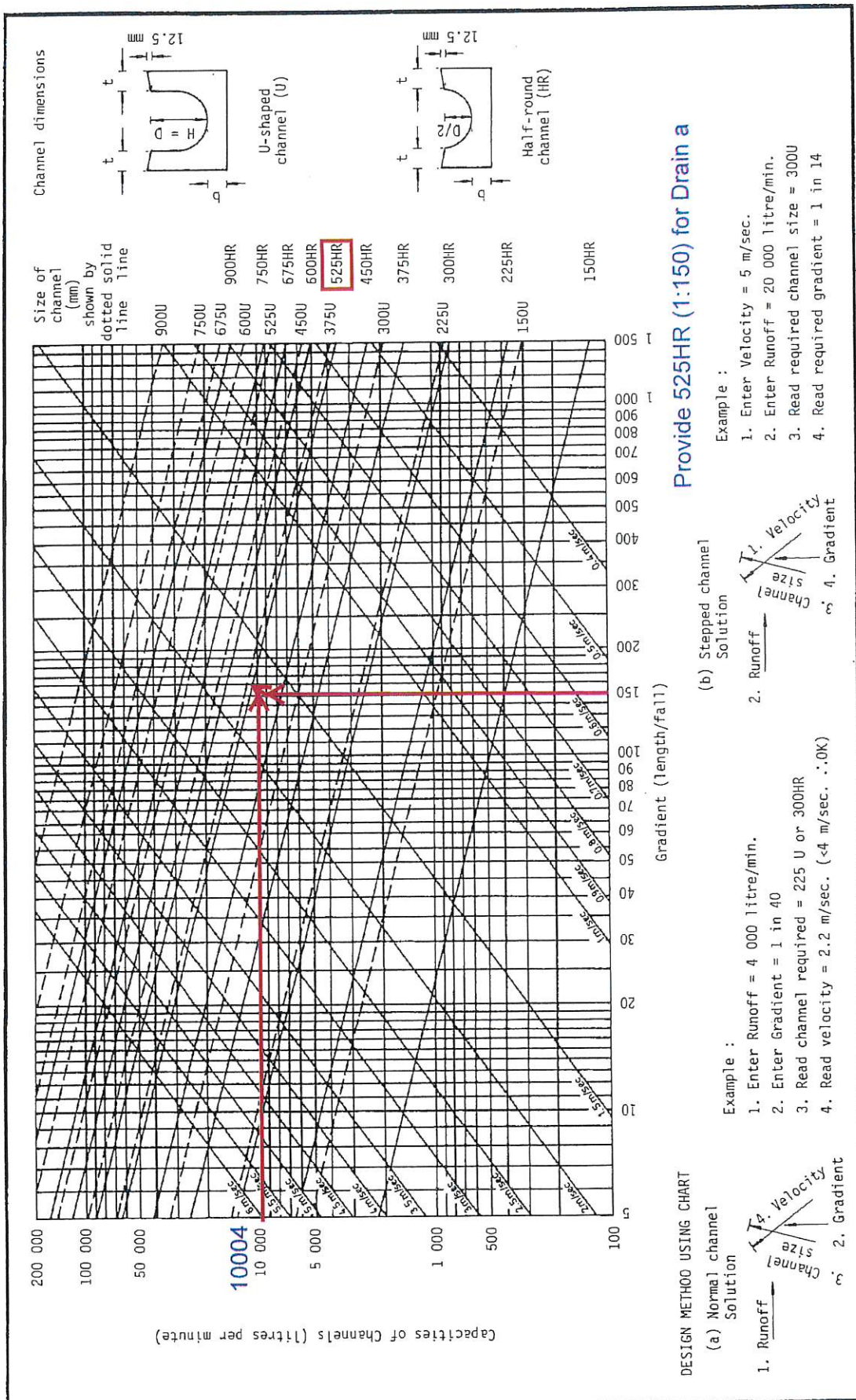


Figure 8.7 - Chart for the Rapid Design of Channels



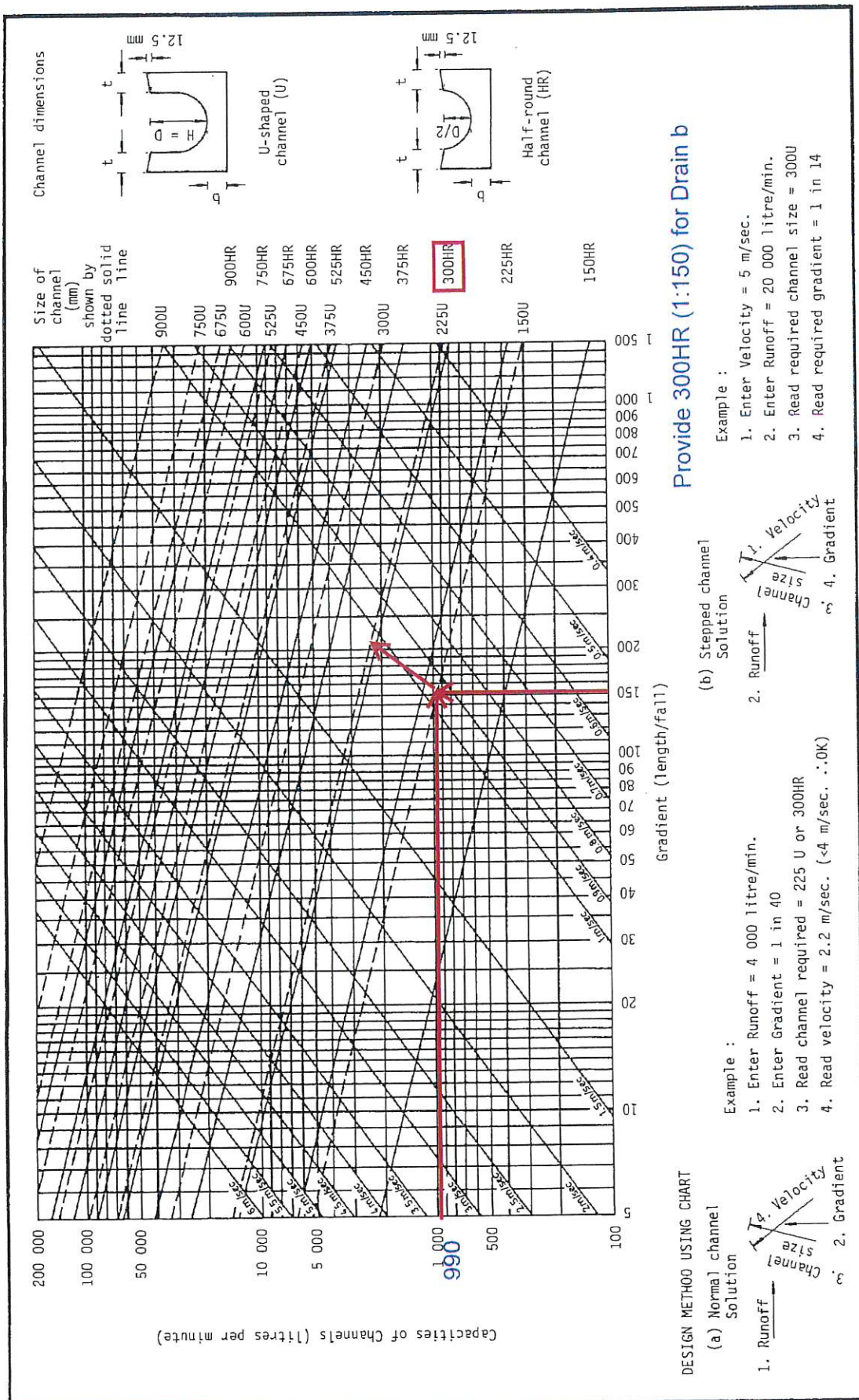


Figure 8.7 - Chart for the Rapid Design of Channels

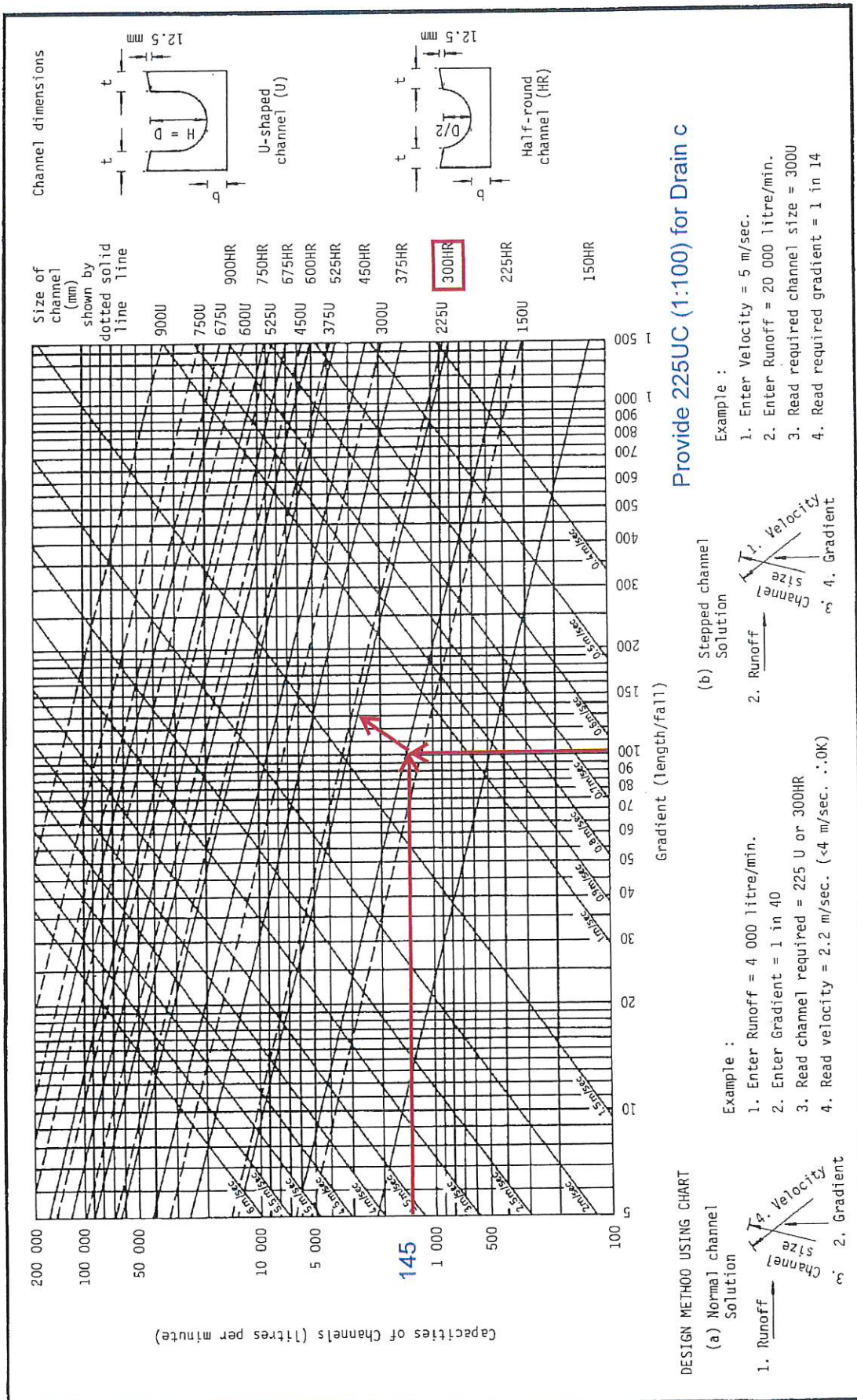
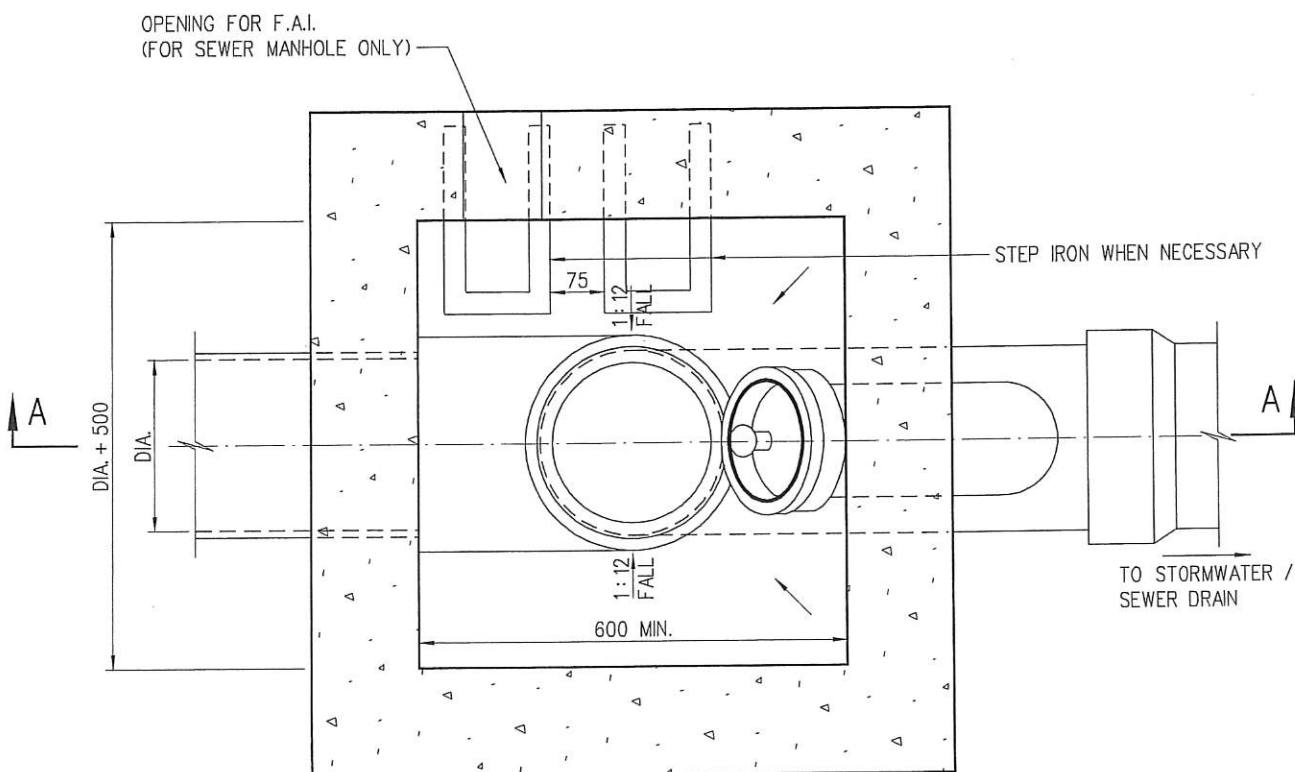


Figure 8.7 - Chart for the Rapid Design of Channels





**SECTIONAL PLAN**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. CONCRETE IS TO BE GRADE 30/20.
3. PIPE DIAMETER OF PIPE TO BE LESS THAN OR EQUAL TO 450 mm.

B	REDRAWN BY CAD	ORIGINAL SIGNED	8.8.2001
A	GENERAL REVIEW	ORIGINAL SIGNED	2.2.2001
REV.	DESCRIPTION	SIGNATURE	DATE

**TERMINAL MANHOLE  
TYPE T1**

**DRAINAGE SERVICES DEPARTMENT**

REFERENCE

DRAWING No.

SCALE

1:10

**DS 1053B**  
( SHEET 1 OF 2 )



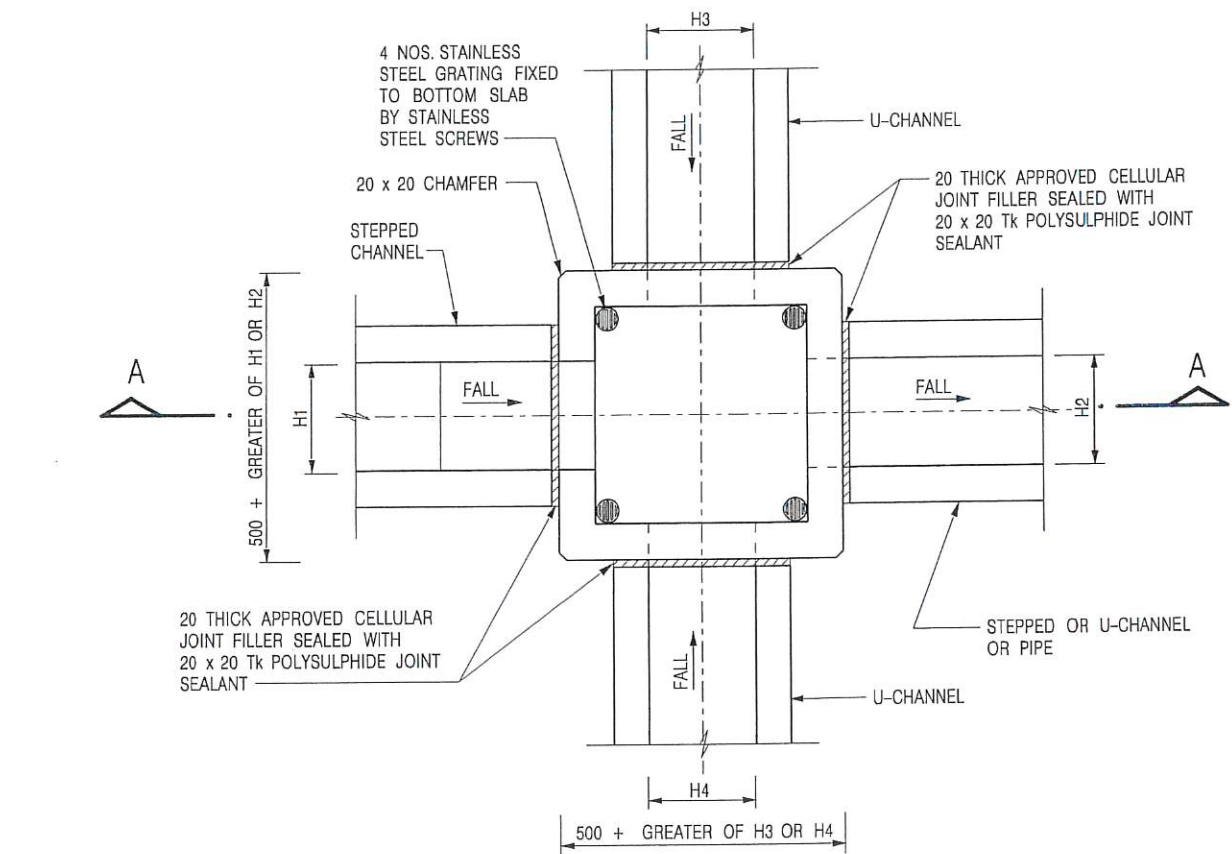
B	REDRAWN BY CAD	ORIGINAL SIGNED	8.8.2001
A	GENERAL REVIEW	ORIGINAL SIGNED	2.2.2001
<b>REV.</b>	<b>DESCRIPTION</b>	<b>SIGNATURE</b>	<b>DATE</b>

# TERMINAL MANHOLE TYPE T1

## DRAINAGE SERVICES DEPARTMENT

REFERENCE	DRAWING No.  DS 1053B ( SHEET 2 OF 2 )
SCALE  1 : 10	

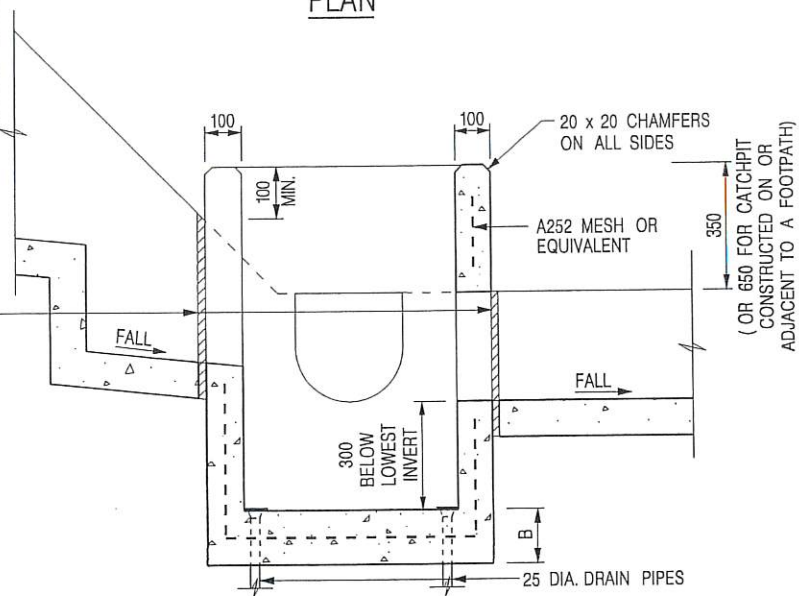




PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



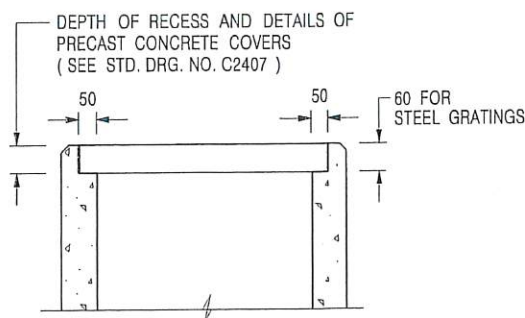
CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /1



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 / 2**

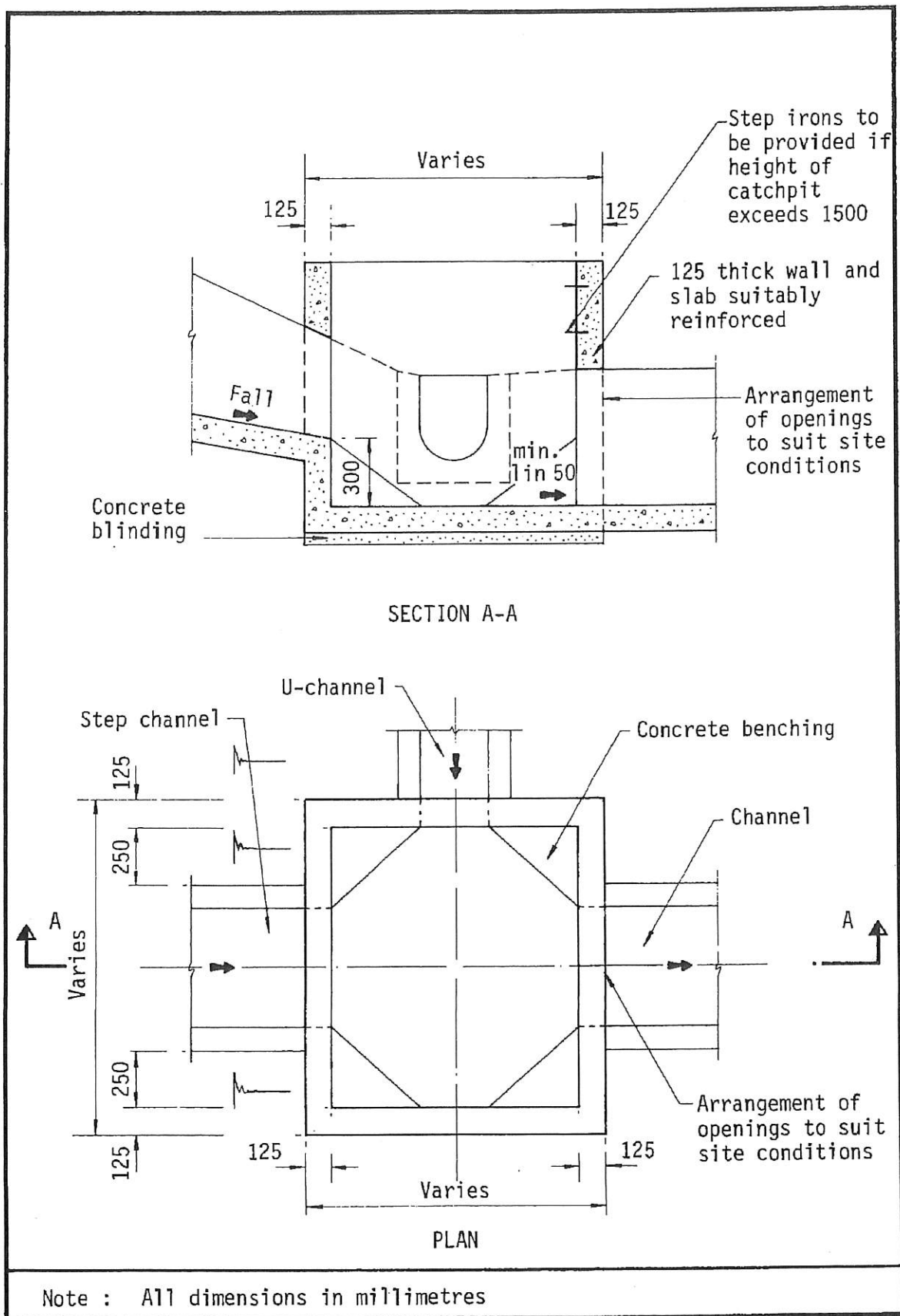


Figure 8.10 - Typical Details of Catchpits

## **Appendix C – Hydraulic Assessment**



Assessment of Hydraulic Capacities of the Drainage System for 1 in 50 year design return period

Using Rational Method

Design Flow = 0.278CIA m<sup>3</sup>/s for grassland (heavy soil) - steep, C = 0.35  
for concrete/hard paved surface, C = 0.95

Using Manning Equation

Design Mean Velocity = R<sup>1.49</sup>/n(RS<sup>0.48</sup>)<sup>1/2</sup> and n= 0.015 for concrete pipe with fair surface

Using Gumbel Solution in frequency analysis

Rainfall intensity = a / (t<sub>b</sub>+b)<sup>c</sup> where a= 505.5 , b= 3.29 and c= 0.355 in 50 year design return period  
referenced from Table 3a in SDM Corrigendum No. 1/2024 - Storm Constants for Different Return Periods of HKO Headquarters

Using Bransby William's Equation (for channel flow)

Inlet time t<sub>i</sub> = 0.14465L / (H<sup>1.48</sup>A<sup>0.78</sup>) or 2 when the distance is too short

Using Colebrook's White Equation (for pipe flow)

V = - 5.74 (8gDs) × log [(k<sub>s</sub> / 3.7D) + (2.51v / D × 5.74 (8gDs))]

Parameters Input

k<sub>s</sub> (mm) = 0.6 k<sub>s</sub> (m) = 0.0006  
v (m<sup>2</sup>/s) = 1.00E-06  
g (m<sup>2</sup>/s) = 9.81

(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	(14)	(15)	(16)	(17)	(18)	(19)	(20)	(21)	(22)	(23)	(24)	(25)	(26)	(27)	(28)	(29)	
USCP/USMH	DSCP/DSMH	RELEVANT CATCHMENT	USGL (mPD)	DSGL (mPD)	USIL (mPD)	DSL (mPD)	INVERT DIFF. (m)	LENGTH L (m)	SLOPE s	SLOPE 1 IN 100	INLET TIME t <sub>i</sub> (min)	TIME OF FLOW INSIDE CHANNEL/ DRAIN t <sub>c</sub> (min) = L/V (i.e. Column (9) + Column (25) + 60)	TIME OF CONCENTRATION t <sub>c</sub> (min)	RAINFALL INTENSITY (mm/hr)	RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (+16.0%) (mm/hr) [refer to item (e) and (k) in SDM Corrigendum No. 1/2022]	ADOPTED RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (+16.0%) & DESIGN ALLOWANCE (12.1%) (mm/hr) [refer to item (e), (k) and (n) in SDM Corrigendum No. 1/2022]	RUNOFF COEF. C	SUB-CATCHMENT AREA (m <sup>2</sup> ) (refer to Figure D4R)	EFF. AREA (m <sup>2</sup> )	CUM. EFF. AREA (m <sup>2</sup> )	DESIGN FLOW (m <sup>3</sup> /s)	SIZE (mm)	CHANNEL TYPE	VELOCITY (m/s)	FLOW CAPACITY (m <sup>3</sup> /s)	90% FLOW CAPACITY (m <sup>3</sup> /s)	SPARE CAPACITY (m <sup>3</sup> /s)	Occupancy of the Proposed Pipe / Channel	
Start Point B	CP8A	A4	17.00	17.00	16.78	16.76	0.02	3.00	0.007	150	2.00	0.05	2.05	278.89	323.52	362.66	0.95	290	276	276	0.028	225	UC	0.99	0.04	0.040	0.013	68.6%	OK!
CP8A	CP4A	A4 + A3	17.00	17.00	16.76	16.62	0.14	13.50	0.010	100	2.05	0.18	2.23	275.55	319.63	358.31	0.95	109	104	379	0.038	225	UC	1.22	0.06	0.050	0.012	76.2%	OK!
Start Point C	CP2A	C1	17.00	17.00	16.63	16.61	0.01	3.00	0.004	250	2.00	0.05	2.05	278.97	323.60	362.76	0.95	438	416	416	0.042	375	UC	1.08	0.14	0.122	0.080	34.3%	OK!
Start Point A	CP1A	A2	17.00	17.00	16.85	16.83	0.02	2.00	0.010	100	2.00	0.04	2.04	279.16	323.83	363.01	0.95	12	11	11	0.001	150	UC	0.93	0.02	0.017	0.016	6.6%	OK!
CP1A	CP2A	ditto	17.00	17.00	16.63	16.61	0.01	3.00	0.004	250	2.04	0.05	2.08	278.31	322.84	361.90	0.95	0	0	11	0.001	375	UC	1.08	0.14	0.122	0.121	0.9%	OK!
CP2A	CP3A	A2 + C1	17.00	17.00	16.61	16.58	0.04	3.00	0.013	80	2.08	0.04	2.12	277.63	322.06	361.02	0.95	0	0	427	0.043	225	UC	1.36	0.06	0.055	0.013	77.4%	OK!
CP3A	CP4A	A2 + C1 + A1	17.00	17.00	16.58	16.51	0.06	2.50	0.025	40	2.12	0.02	2.14	277.24	321.60	360.51	0.95	222	211	638	0.064	225	UC	1.93	0.09	0.078	0.014	81.6%	OK!
CP4A	CP5A	A1 + A2 + A3 + A4 + C1	17.00	17.00	16.51	16.37	0.14	10.00	0.014	70	2.14	0.09	2.23	275.55	319.64	358.31	0.95	0	0	1,017	0.101	300	UC	1.76	0.14	0.128	0.026	79.4%	OK!
CP5A	CP6A	ditto	17.00	17.00	16.37	16.36	0.01	1.00	0.014	70	2.23	0.01	2.24	275.38	319.44	358.10	0.95	0	0	1,017	0.101	300	UC	1.76	0.14	0.128	0.026	79.4%	OK!
CP6A	CP7A	ditto	17.00	17.00	16.36	16.33	0.03	2.00	0.014	70	2.24	0.02	2.26	275.05	319.06	357.66	0.95	0	0	1,017	0.101	300	UC	1.76	0.14	0.128	0.026	79.3%	OK!
CP7A	TM1 - Terminal Catchpit with trap	ditto	17.00	17.00	16.33	16.28	0.04	3.00	0.014	70	2.26	0.03	2.29	274.55	318.48	357.02	0.95	0	0	1,017	0.101	300	UC	1.76	0.14	0.128	0.027	79.1%	OK!
TM1 - Terminal Catchpit with trap	CP7 (Planning Application No. A/YL-TT/596)	A1 + A2 + A3 + A4 + B1 + C1	17.00	16.90	16.28	16.20	0.08	4.00	0.020	50	2.29	0.03	2.32	274.00	317.84	356.29	0.95	130	124	1,140	0.113	300	UC	2.09	0.17	0.151	0.038	74.8%	OK!
CP7 (Planning Application No. A/YL-TT/596)	Terminal Manhole (Planning Application No. A/YL-TT/596)	A1 + A2 + A3 + A4 + B1 + C1 + B2	16.90	16.90	16.16	16.05	0.11	17.00	0.007	150	2.32	0.20	2.52	270.59	313.88	351.86	0.95	2,523	2,397	3,537	0.346	525	HR	1.41	0.15	0.137	-0.209	252.7%	Not OK! Need to be upgraded
Terminal Manhole (Planning Application No. A/YL-TT/596)	Connection Manhole (Planning Application No. A/YL-TT/596)	ditto	16.90	16.65	15.90	15.88	0.02	2.00	0.010	100	2.52	0.01	2.54	270.34	313.60	351.54	0.95	0	0	3,537	0.346	525	pipe	2.24	0.48	0.436	0.091	79.2%	OK!
Connection Manhole (Planning Application No. A/YL-TT/596)	SMH1031162	ditto	16.65	16.26	15.60	14.76	0.04	4.00	0.010	100	2.54	0.03	2.57	269.89	313.07	350.96	0.95	0	0	3,537	0.345	600	pipe	2.44	0.69	0.620	0.275	55.7%	OK!
TM1 - Terminal Catchpit with trap	CP7 (Planning Application No. A/YL-TT/596)	A1 + A2 + A3 + A4 + B1 + C1	17.00	16.90	16.28	16.20	0.08	4.00	0.020	50	2.29	0.03	2.32	274.00	317.84	356.29	0.95	130	124	1,140	0.113	300	UC	2.09	0.17	0.151	0.038	74.8%	OK!
CP7 (Planning Application No. A/YL-TT/596)	Terminal Manhole (Planning Application No. A/YL-TT/596)	A1 + A2 + A3 + A4 + B1 + C1 + B2	16.90	16.90	16.16	16.05	0.11	17.00	0.007	150	2.32	0.15	2.47	271.47	314.91	353.02	0.95	2,523	2,397	3,537	0.347	600	UC	1.91	0.61	0.553	0.206	62.7%	OK!
Terminal Manhole (Planning Application No. A/YL-TT/596)	Connection Manhole (Planning Application No. A/YL-TT/596)	ditto	16.90	16.65	15.90	15.88	0.02	2.00	0.010	100	2.47	0.01	2.49	271.23	314.62	352.69	0.95	0	0	3,537	0.347	525	pipe	2.24	0.48	0.436	0.090	79.5%	OK!
Connection Manhole (Planning Application No. A/YL-TT/596)	SMH1031162	ditto	16.65	16.26	15.60	14.76	0.04	4.00	0.010	100	2.49	0.03	2.51	270.77	314.10	352.10	0.95	0	0	3,537	0.346	600	pipe	2.44	0.69	0.620	0.273	55.9%	OK!

A1 = 222  
A2 = 11.5  
A3 = 109  
A4 = 290  
Total = 632.5  
  
B1 = 130  
B2 [A/YL-TT/596 (net)] = 2523  
  
C1 = 438

600.88

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**From:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Sent:** Thursday, December 18, 2025 12:16 PM  
**To:** tmylwdpo\_pd/PLAND <tmylwdpo@pland.gov.hk>  
**Cc:** Kiff Kit Fu YIU/PLAND <kkfyiu@pland.gov.hk>  
**Subject:** Fw: A/YL-TT/747 回覆環保署意見

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**From:** [REDACTED]  
**Sent:** Thursday, December 18, 2025 12:14 PM  
**To:** tpbpd/PLAND <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Cc:** Kevin Ting Hong LAM/PLAND <[kthlam@pland.gov.hk](mailto:kthlam@pland.gov.hk)>  
**Subject:** A/YL-TT/747 回覆環保署意見

你好，有關回覆環保署意見的文件  
詳見附件，謝謝

## Responses to Departmental Comments

Departmental Comments		Responses
<b>A. Environmental Protection Department (EPD) [Email dated 16.12.2025]</b> <b>(Contact Person: Jeremy FONG, Tel: 2835 2164)</b>		
1.	<p>Please confirm whether the subject site will be properly design and maintain adequate mechanical ventilation and necessary pollution control measures to avoid accumulation of aerial emissions and minimise oily fume and cooking odour emissions to the nearby air sensitive receivers including nearby residents by making reference to EPD's Pamphlet "Control of Oily Fume and Cooking Odour from Restaurant and Food Business" which is available at EPD's website; and</p>	<p>1. Noted. A mechanical ventilation system is provided in the premises to avoid accumulation of aerial emissions and minimize oily fume and cooking odour emissions to the nearby air-sensitive receivers, including nearby residents. The Annual Inspection Certificate (see Appendix A) and a photographic record of the existing ventilation system (see Appendix B) for the proposed development are attached.</p>
2.	<p>Please confirm whether all wastewater collected from kitchen and washing areas, including that from basins, sinks and floor drains, should be discharged via a grease trap in accordance with the requirements of EPD's ProPECC PN 1/23, including grease trap should be capable of providing at least 20 minutes retention during peak flow.</p>	<p>2. Noted. According to the information provided by the contractor who installed the grease traps, the design and specification of the grease traps are in accordance with the requirements as stipulated by EPD.</p>

FSD Ref. 消防處檔號:

Contractor Ref. 承建商檔號: WS5572025

☐ Re-submission 再遞交

<i>Annual Inspection Certificate</i> <i>Ventilation of Scheduled Premises Regulation</i>	年檢證書 附表所列處所通風設施規例
---	----------------------

Address of Premises Inspected: 經視察處所的地址: (footnote <sup>1</sup> 註腳 <sup>1</sup> )	G/F, 197 Tai Tong Tsuen (Section L of Lot 1187 in DD 117), Yuen Long, NT						
Premises Type: 處所類別: (footnote <sup>2</sup> 註腳 <sup>2</sup> )	<table border="0"> <tr> <td><input checked="" type="checkbox"/> Restaurant 食肆</td> <td><input type="checkbox"/> Dancing Establishment 跳舞場所</td> </tr> <tr> <td><input type="checkbox"/> Theatre 劇院</td> <td><input type="checkbox"/> Cinema 戲院</td> </tr> <tr> <td><input type="checkbox"/> Funeral Parlour 殯儀館</td> <td><input type="checkbox"/> Factory Canteen 工廠食堂</td> </tr> </table>	<input checked="" type="checkbox"/> Restaurant 食肆	<input type="checkbox"/> Dancing Establishment 跳舞場所	<input type="checkbox"/> Theatre 劇院	<input type="checkbox"/> Cinema 戲院	<input type="checkbox"/> Funeral Parlour 殯儀館	<input type="checkbox"/> Factory Canteen 工廠食堂
<input checked="" type="checkbox"/> Restaurant 食肆	<input type="checkbox"/> Dancing Establishment 跳舞場所						
<input type="checkbox"/> Theatre 劇院	<input type="checkbox"/> Cinema 戲院						
<input type="checkbox"/> Funeral Parlour 殯儀館	<input type="checkbox"/> Factory Canteen 工廠食堂						



I have inspected every damper, filter and precipitator that are present in the ventilating system(s) that embody(ies) the use of ducting or trunking of the above premises on 16/05/2025 (completion date of inspection). In accordance with the Regulation 6 of the Ventilating of Scheduled Premises Regulation, Cap. 132CE, Laws of Hong Kong, I certify that all dampers / filters / precipitators (delete where inappropriate), except those specified below, are in safe and efficient working order :-

本人已於 16/05/2025 (完成檢查日期) 檢查上述處所敷設有管道或幹槽的通風系統內的每個氣閘、過濾器及聚塵器裝置。現根據香港法例第 132CE 章《附表所列處所通風設施規例》第6條，本人確證除下列裝置外，所有氣閘 / 過濾器 / 聚塵器 (刪除不適用者) 均在操作上安全和有效。

Defects observed 存在缺點 ☐

<sup>1</sup> (The address indicated on the licence should be used.) (必須根據牌照上顯示的地址)  
<sup>2</sup> (Tick as indicated on the licence) (根據牌照上顯示的類別加上 X 號)



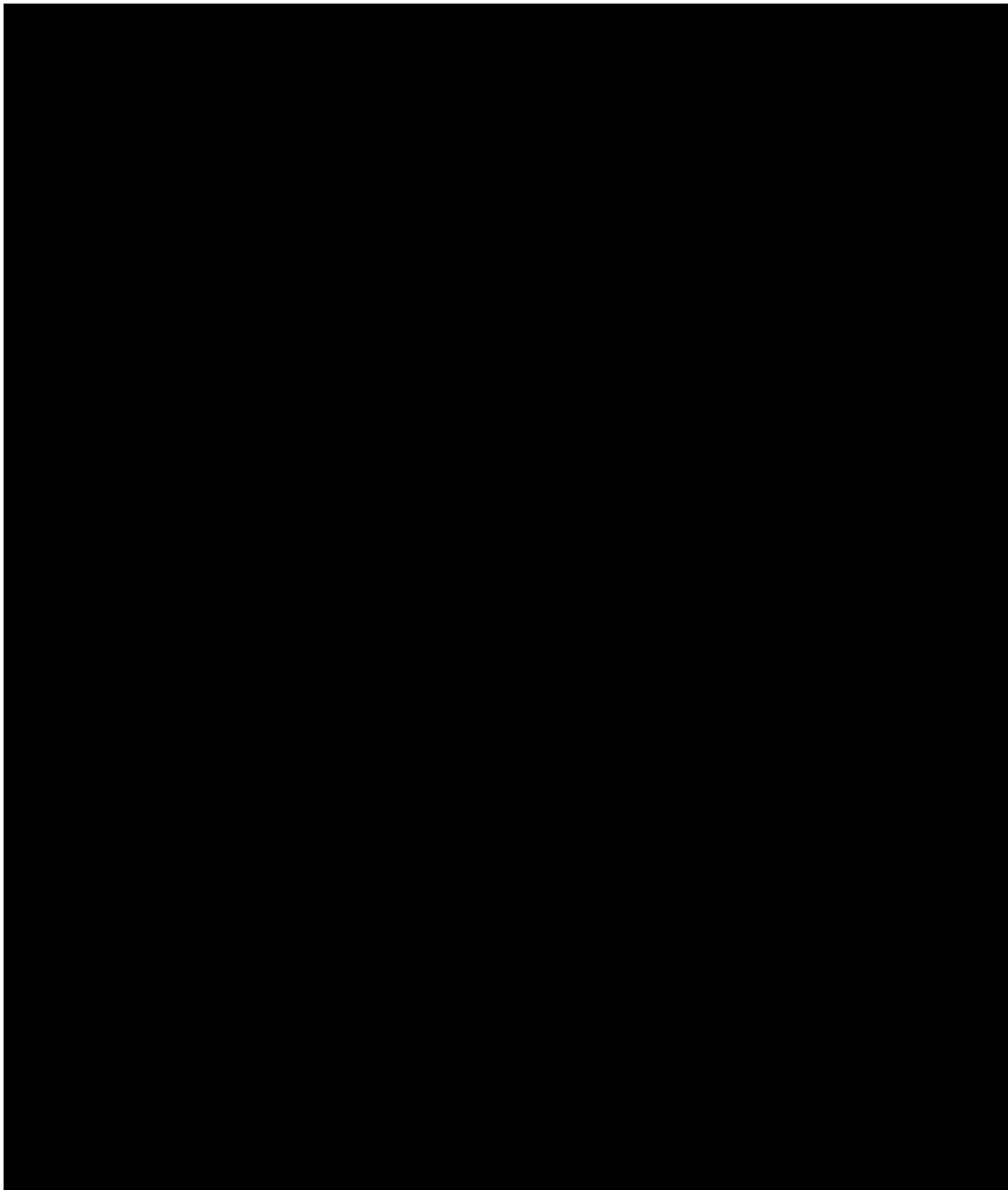


☐ Partial Submission 只提交了一部份

Location excluded from inspection 未有檢查的地點 (footnote iv 註腳iv)

NIL

Registered Specialist Contractor (Ventilation Works Category) : 註冊專門承建商 (通風系統工程類別):		Chop of Registered Specialist Contractor (Ventilation Works Category) : 註冊專門承建商 (通風系統工程類別) 的蓋章:	
Harbour Air-Cond. & Elect. Eng. Co. Limited		For and on behalf of Harbour Air-Cond. & Elect. Eng. Co. Ltd 港檢冷氣電器工程有限公司	
Registered address : 註冊地址:			
Flat 3, Block C, 3/F, Scenery Garden, 21-29 Sui Wo Road, Fo Tan, Sha Tin, NT			
Telephone: 電話:	1. [REDACTED]	Signature of Authorised Signatory (AS) (授權人士簽署)	
	2. [REDACTED]		
	3.		
Registration Number : 註冊編號:	SC(V)4 / 2020	KUNG WING SANG (Full Name of AS in BLOCK letters) (授權人士姓名)	
Date of Issue of Certificate : 證明書發出日期:	16/05/2025		
Remarks: 備注:			



**Application No. A/YL-TT/747**

**Photographic Record of the existing pollution control measures**



**(Photo Taken on 17.12.2025)**

**Relevant Extracts of Town Planning Board Guidelines No. 15A for  
‘Application for Eating Place within “Village Type Development” Zone in  
Rural Areas under Section 16 of the Town Planning Ordinance’**

The relevant planning criteria for assessing applications include:

- (a) the eating place use should not create environmental nuisance or cause inconvenience to the residents nearby. Such use should preferably be located at the fringe of a village area, e.g. area abutting the main road. For any eating place use that is situated amidst the existing village houses, sympathetic consideration may only be given if there are no objections from local residents;
- (b) the eating place use should not have any adverse traffic impact on its surrounding areas nor should it affect any pedestrian circulation in the area;
- (c) sympathetic consideration may be given if the eating place use would not have adverse impacts on drainage, sewage disposal facilities or fire safety aspects;
- (d) for any application on open ground as an extension to ground floor eating place in a NTEH or as a free-standing development, the eating place use should not adversely affect the land availability for village type development. Application sites with configuration/dimensions which are not suitable to be delineated separately for village type development or which are considered not suitable for village type development (e.g. within 20m of public roads constructed/ maintained by the Highways Department or 15m of other local public roads), sympathetic consideration may be given by the Board on individual merits;
- (e) for a village located adjacent to recreational uses or tourist attraction spots, favourable consideration may be given to eating place use which will provide catering facilities to serve the visitors and tourists. In such circumstances, adequate car-parking spaces should be provided to serve the eating place use as required by the Transport Department. If it is impossible to provide car parking spaces at the application site, the applicant should demonstrate that there are adequate car-parking facilities conveniently located in the vicinity to serve the eating place use; and
- (f) all other statutory or non-statutory requirements of relevant government departments should be met.



**Previous Applications covering the Application Site**

**Approved Applications**

	<b>Application No.</b>	<b><u>Development(s)/Use(s)</u></b>	<b>Date of Consideration (RNTPC)</b>
1	A/YL-TT/272	Temporary Eating Place for a Period of 3 Years	10.12.2010 [revoked on 10.2.2013]
2	A/YL-TT/321	Temporary Eating Place for a Period of 3 Years	23.5.2014 [revoked on 23.5.2015]
3	A/YL-TT/606	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 Years	13.10.2023 [revoked on 13.7.2025]

**Rejected Applications**

	<b>Application No.</b>	<b><u>Development(s)/Use(s)</u></b>	<b>Date of Consideration (RNTPC)</b>	<b>Rejection Reason(s)</b>
1	A/YL-TT/366	Temporary Eating Place for a Period of 3 Years	4.12.2015	(1), (2)
2	A/YL-TT/373	Temporary Eating Place for a Period of 1 Year	4.3.2016	(1), (2)

**Rejection Reason(s):**

- (1) Not in line with the planning intention.
- (2) Fail to demonstrate that the proposal would not cause adverse traffic, drainage and fire safety impacts on the surrounding area.

**Similar Applications within the Subject “Village Type Development” Zone  
on the Tai Tong Outline Zoning Plan in the Past Five Years**

**Approved Applications**

	<b><u>Application No.</u></b>	<b><u>Development(s)/Use(s)</u></b>	<b><u>Date of Consideration (RNTPC)</u></b>
1	A/YL-TT/596	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 Years	23.6.2023 [revoked on 23.6.2024]
2	A/YL-TT/599	Renewal of Planning Approval for Temporary Canteen for a Period of 3 Years	25.8.2023
3	A/YL-TT/681	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 Years	2.5.2025

**Government Departments' General Comments**

**1. Traffic**

(a) Comments of the Commissioner for Transport:

- No comment on the application.
- Advisory comments as detailed in **Appendix V**.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department:

- No adverse comment on the application.
- Advisory comments as detailed in **Appendix V**.

**2. Environment**

Comments of the Director of Environmental Protection:

- No objection to the application.
- No environmental complaint concerning the application site (the Site) has been received in the past three years.
- Advisory comments as detailed in **Appendix V**.

**3. Drainage**

Comments of the Chief Engineer/Mainland North of Drainage Services Department:

- No objection to the application from the public drainage point of view and no adverse comment on the submitted drainage proposal provided that all existing drains/watercourse should be maintained and the overland flow from adjacent lands should not be affected.
- The applicant is required to implement and maintain the agreed proposal for the applied use to the satisfaction of the Director of Drainage Services or of the Town Planning Board.
- Advisory comments as detailed in **Appendix V**.

**4. Fire Safety**

Comments of the Director of Fire Services:

- No in-principle objection to the proposal subject to the fire service installations being provided to the Site.
- Advisory comments as detailed in **Appendix V**.

## **5. Food and Environmental Hygiene**

Comments of the Director of Food and Environmental Hygiene:

- No adverse comment on the application.
- A General Restaurant Licence (Shop Signed: 大棠有機園有限公司 Tai Tong Organic Valley Co. Limited) has been issued for the premises at G/F, Lot 1187 S.L. in D.D 117, 197 Tai Tong Tsuen, Tai Tong Road, Yuen Long, New Territories whilst no approval for Outside Seating Accommodation (OSA) has been given to the aforesaid food premises and no application for an OSA has been received by his department as at 11.12.2025. No complaint was received by his office concerned the Site.
- Advisory comments as detailed in **Appendix V**.

## **6. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- No objection to the application.
- Advisory comments as detailed in **Appendix V**.

## **7. District Officer's Comments**

Comment of the District Officer (Yuen Long), Home Affairs Department:

His office has not received any comments on the application from the village representatives in the vicinity of the Site.

## **8. Other Departments**

The following departments have no objection to/ no comment on the application:

- Director of Electrical and Mechanical Services;
- Chief Engineer/Construction, Water Supplies Department;
- Project Manager (West), Civil Engineering and Development Department;
- Director of Agriculture, Fisheries and Conservation; and
- Commissioner of Police.



**Recommended Advisory Clauses**

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
  - (i) the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
  - (ii) Building Licence No. 13660 was issued to permit erection of one three-storey building with roof-over area of 65.03m<sup>2</sup> for non-industrial purposes to Lot No. 1187 S.N. in D.D. 117 and it is the New Territories Exempted Houses governed by Cap. 121. As stipulated in the Building Licence, except for the building site, the remainder of the lot shall not be built upon and shall continue to be used for agricultural or garden purposes;
  - (iii) the applied use and structures to be erected on the remainder of the lot are in breach of conditions of the Building Licence;
  - (iv) there are unauthorized structure(s) and/or uses on Lot 1187 RP in D.D. 117 which is/are already subject to lease enforcement actions according to case priority. The lot owner(s) should rectify/apply for regularization on the lease breaches as demanded by LandsD; and
  - (v) the lot owner(s) will need to apply to LandsD for a Short Term Waiver (STW) to (i) waive the user restriction as stipulated in the Building Licence, (ii) permit the structures to be erected, and/or (iii) regularize any irregularities on site, if any. The application for STW will be considered by LandsD in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (d) to note the comment of the Commissioner for Transport that:

no parking, queuing and reverse movement of vehicles on public road are allowed;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
  - (i) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
  - (ii) HyD should not be responsible for maintaining any access connecting the Site

with Tai Tong Shan Road;

- (f) to note the comments of the Chief Engineer/Mainland North of Drainage Services Department that:
- (i) the applicant should implement the drainage facilities on site in accordance with the agreed drainage proposal;
  - (ii) the applicant is required to rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system;
  - (iii) the existing 525mm HR u-channel, to which the applicant proposed to discharge the stormwater from the Site was not maintained by his office. The applicant shall resolve any conflict/disagreement arisen for discharging the runoff from the Site to the proposed discharge point(s). In the case that it is a local village drains, District Officer (Yuen Long), Home Affairs Department should be consulted;
  - (iv) the proposed 300mm u-channel connecting from TM1 to CP 7 will be only located within private lot(s) and the applicant will take up the management and maintenance responsibility of these drains;
  - (v) DSD shall not maintain all such drains and manholes proposed to be laid within private lots;
  - (vi) the applied use would neither obstruct overland flow nor adversely affected any existing natural streams, village drains, ditches and the adjacent areas; and
  - (vii) the applicant should consult DLO/YL, LandsD and seek consent from relevant lot owners for any works to be carried out outside his lot boundary before commencement of the drainage works;
- (g) to note the comments of the Director of Environmental Protection:
- (i) to follow the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites” issued by Environmental Protection Department (EPD) to minimize the potential environmental nuisances on the surrounding area;
  - (ii) the Site should be properly design and maintain adequate mechanical ventilation and necessary pollution control measures to avoid accumulation of aerial emissions and minimise oily fume and cooking odour emissions to the nearby air sensitive receivers including nearby residents by making reference to EPD’s Pamphlet “Control of Oily Fume and Cooking Odour from Restaurant and Food Business” which is available at EPD’s website; and
  - (iii) all wastewater collected from kitchen and washing areas, including that from basins, sinks and floor drains, should be discharged via a grease trap in accordance with the requirements of EPD's ProPECC PN 1/23, including grease trap should be capable of providing at least 20 minutes retention during peak flow;

- (h) to note the comments of Director of Food and Environmental Hygiene that:
- (i) no FEHD's facilities will be affected;
  - (ii) proper licence/permit issued by the FEHD is required if there is any food business/catering service/activities regulated by the FEHD under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. The operation of any eating place should be under a food licence issued by the FEHD. If the operator intends to operate a restaurant business in the territory, a restaurant licence should be obtained from FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132). For the operation of other types of food business, relevant food licences should also be obtained from FEHD in accordance with Cap. 132. Under the Food Business Regulation, Cap. 132X, a Food Factory Licence should be obtained from FEHD for food business which involves the preparation of food for sale for human consumption off the premises before commencement of such business. The application for food business licences under Cap.132, if acceptable by FEHD, will be referred to relevant government departments for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
  - (iii) when choosing a premises for food business licences, the applicant must ensure that the operation of food business at the subject premises is in compliance with the requirements imposed under the legislation administered by his department, other government departments and the relevant authorities. No part of a food premises shall be located in, under or over any structures built without the approval and consent of the Building Authority (BA). Applicants should satisfy the FEHD that their premises applying for a food business licence be (i) free of unauthorised building works; (ii) in compliance with Government lease conditions; and (iii) in compliance with statutory plan restrictions, otherwise the FEHD will not process the application for a licence further;
  - (iv) whenever restaurant licensees wish to include an Outside Seating Accommodation (OSA) into their licensed premises, they are required to submit application to FEHD by filling in the application form together with 8 copies of proposed layout cum OSA plan and 5 copies of 1:1000 location map for approval. If the application of OSA is acceptable for further processing, FEHD will refer it to the relevant departments including such as Buildings Department, Transport Department, Fire Services Department, Planning Department, Home Affairs Department, Lands Department for clearance. A Letter of Requirements on the captioned would be issued if no objection was raised by the departments concerned and the OSA licence will be issued upon full compliance of all the requirements;
  - (v) from the restaurant licensing point of view, no shelters other than movable sunshades and the like should be allowed in the OSA. Prior approval and consent must be obtained from the BA under the Buildings Ordinance (BO) (Cap. 123) for the construction of awnings or other supporting structures. The main licensing criteria for OSA in respect of Hygiene Requirements are as following:
    - (a) an OSA should normally be annexed to restaurant premises, i.e. food and

beverages need not be conveyed through an intervening public thoroughfare;

- (b) additional food preparation space and scullery area equivalent to 1/10 of the OSA area should be provided inside the roofed-over restaurant premises;
  - (c) adequate sanitary and ablution facilities should be provided within the roofed-over area of the premises for use by the customers; and
  - (d) area in a backyard/open yard where there are no waste/soil pipes or manholes prejudicing the hygienic operation of the OSA will also be considered;
- (vi) the operation of the eating place must not cause any environmental nuisance to the surrounding. The refuse generated by the proposed eating place are regarded as trade refuse. The management or owner of the site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity; and
- (vii) proper licence issued by his department is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public Entertainment Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement ride and mechanical device which is designed for amusement, a Place of Public Entertainment Licence (or Temporary Place of Public Entertainment Licence) should be obtained from FEHD whatever the general public is admitted with or without payment;
- (i) to note the comments of the Director of Fire Services that:
- (i) the layout plans for the proposed fire service installations (FSIs) should be drawn to scale and depicted with dimensions and nature of occupancy;
  - (ii) the location of the proposed FSIs to be installed should be clearly marked on the layout plans; and
  - (iii) if the applied structures are required to comply with the Buildings Ordinance (BO) (Cap 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans; and
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;



- (iii) for unauthorized building works (UBWs) erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under the BO;
- (iv) eight structures are applied in the application. Before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBWs under the BO. An Authorized Person should be appointed as the coordinator for the applied building works in accordance with the BO;
- (v) if the applied use is subject to issue of a license, the applicant should be reminded that any existing structures on the Site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority;
- (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings which are subject to the control of Part VII of the B(P)R; and
- (vii) detailed checking under the BO will be carried out at building plan submission stage.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

**tpbpd/PLAND**

1 to 105

寄件者: [REDACTED]  
寄件日期: 2025年12月12日星期五 11:37  
收件者: tpbpd/PLAND  
主旨: A/YL-TT/747 規劃申請支持信105封  
附件: 20251212113029.pdf  
  
類別: Internet Email

致城規會秘書處：

題述項目詳見附件，謝！

香港市民

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

支持 A/YL-TT/747 規劃申請  
新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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吾等為元朗大棠村村代表及十八鄉鄉事委員會副主席，對於標題所述之申請表示支持。

上述申請擬增設戶外座位區，可供食客有不同的選擇，在春夏秋冬四季的日與夜享受不同的鄉村景色。亦方便輪椅使用者或推嬰兒車食客在餐廳戶外區進食，自由度更大。

另一方面，上址位近大棠山道，有眾多愛好踏單車人士光顧，戶外座位將更方便單車主人進食及看管其愛車，惠及鄉郊及市區市民，締造城鄉共融的氛圍。食客可因應喜好而選擇室內或室外座位區，讓消費者有更多的選擇權，必然深受歡迎。

故本人大力支持是項 A/YL-TT/747 規劃申請。

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梁智峯  
元朗十八鄉大棠村村代表  
十八鄉鄉事委員會副主席

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李樹芳  
元朗十八鄉大棠村村代表

2025 年 12 月 10 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

何 歡 笑  
十八鄉元朗南居民

二零二五年十二月九日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0003

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



---

大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通工具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0005

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)


---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0006

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）


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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0007

城規會秘書處：


新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

  
大棠山道工作者

2025 年 12 月 9 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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---

十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)


---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。



香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0010

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0011

城規會秘書處：

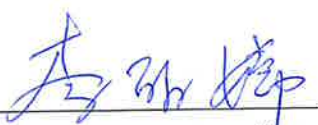
新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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大棠山道工作者

2025 年 12 月 9 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
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敬請批准是項規劃申請。



香港市民

10/12/2025



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0013

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0014

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

  
大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。

  
十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
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敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0017

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

---

A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0018

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通工具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。



香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0021

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0022

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



大棠山道工作者

2025 年 12 月 9 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)


---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

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敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0025

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

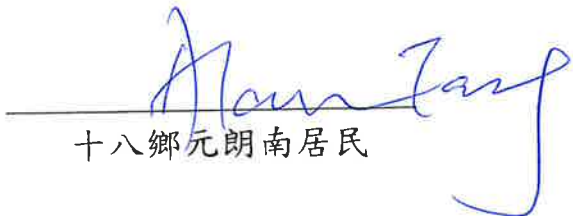
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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十八鄉寵物主人

2025 年 12 月 8 日



城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

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敬請批准是項規劃申請。



---

香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0029

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

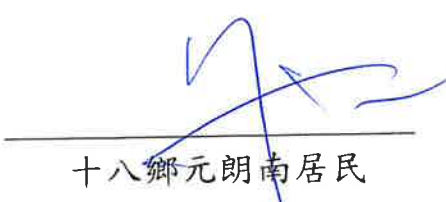
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。



---

十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0030

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處


敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。

  
香港市民

10/12/2025



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0033

敬啟者：

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Long, New Territories  
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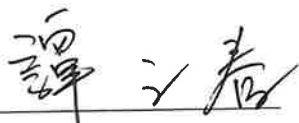
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0034

敬啟者：

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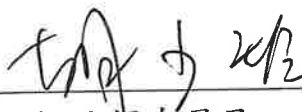
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處


敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

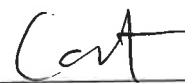
敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)

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十八鄉寵物主人

2025 年 12 月 8 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0038

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0040

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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大棠山道工作者

2025 年 12 月 9 日

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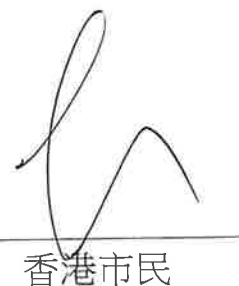
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支持 A/YL-TT/747 規劃申請

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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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---

大棠山道工作者

2025 年 12 月 9 日



城規會秘書處：

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- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。



香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。



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十八鄉元朗南居民

二零二五年十二月九日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

---

大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

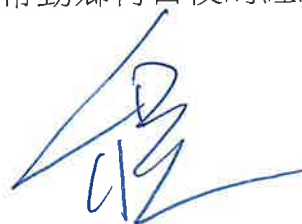
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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
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敬請批准是項規劃申請。



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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

---

Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。



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十八鄉元朗南居民

二零二五年十二月九日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0050

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



---

大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



---

十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。



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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0053

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）


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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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故請批准是項申請。



十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

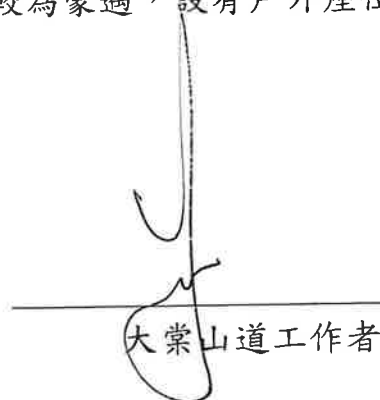
新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0055

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

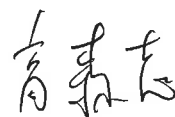
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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故請批准是項申請。



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十八鄉元朗南居民

二零二五年十二月九日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0056

城規會秘書處：

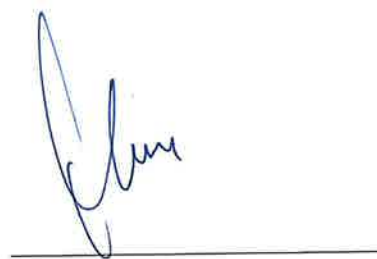
新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)


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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。



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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
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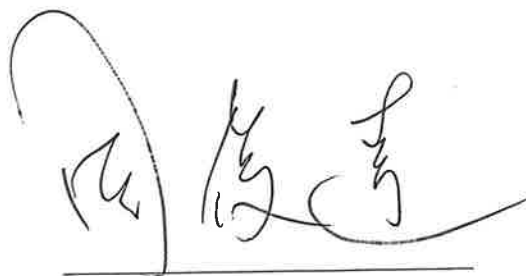
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0060

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

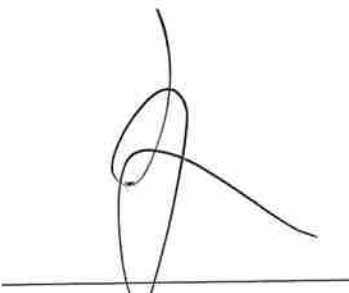
敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通工具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日



城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。



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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0063

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

Mary Lee

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0064

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



---

大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



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十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0066

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

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敬請批准是項規劃申請。



香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



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十八鄉寵物主人

2025 年 12 月 8 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)


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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

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敬請批准是項規劃申請。



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香港市民  
10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0070

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

---

十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）


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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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故請批准是項申請。



十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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---

十八鄉寵物主人

2025 年 12 月 8 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

  
大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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大棠山道工作者

2025 年 12 月 9 日

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敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



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十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0077

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0079

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

  
大棠山道工作者

2025 年 12 月 9 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通工具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0081

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

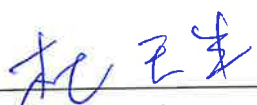
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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！



---

大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

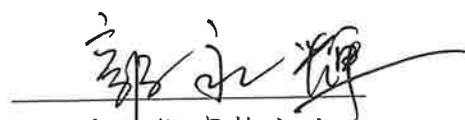
敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。

  
十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。



十八鄉元朗南居民

二零二五年十二月九日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0087

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

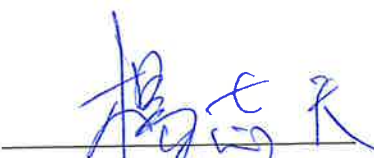
敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。

  
十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

---

支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
- 2) 以大棠山道楓香林、千島湖及元荃古道為例，每年紅葉盛放吸引本地及外地遊人行山或郊遊，如設有食肆及餐廳戶外座位區成為旅遊配套，有利經濟發展。
- 3) 申請地段位處鄉村式發展土地，符合土地用途。帶動鄉村日夜的經濟，乃實踐特區政府一直呼籲的留港消費，故深表支持。

敬請批准是項規劃申請。

  
香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0090

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）


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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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吾等為元朗十八鄉元朗南居民，得悉標題項目擬於元朗大棠山道設餐廳戶外座位區，此舉將有利周邊村落如大棠村、山咀、水蕉新村、紅棗田村、崇正新村、白沙村、黃泥墩村、大棠山道居民以至行山及旅遊人士的需要。於鄉郊提供便民的設施及帶動鄉村經濟，相信亦能提升鄉郊就業，對於退休後的健全人士以至學生兼職等，均有就近工作的機會，增加就業。

故請批准是項申請。

  
十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

申請餐廳戶外座位區若然成功，將可提供更多座位而毋須等位，方便只得半小時用餐的我們。

附近有眾多貯物用地從業員亦多為煙民或言談較為豪邁，設有戶外座位區可分隔不同類型的食客，吾等簽署表示支持！

  
大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。



十八鄉寵物主人

2025 年 12 月 8 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0093

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

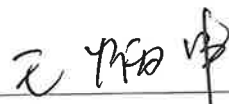
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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。

  
香港市民  
10/12/2025



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）


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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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故請批准是項申請。



十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

---

我們是元朗大棠山道工作的人士，一致贊成 TT/747 的規劃申請。

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

吾等為元朗十八鄉居民，居於鄉郊區街坊多養有寵物，不論狗隻或雀鳥皆為家人一份子，出外時亦會帶同。然而「動物友善食肆」並不多，不少食店拒絕動物進內。上址申請食肆位處鄉郊區，如設戶外座位則可供寵物和主人一同進餐，必然深受人寵歡迎，亦有助締造社會和諧。更可分隔吸煙人士或喜愛露天進餐的食客，提供多樣性的座位區，讓消費者有更多選擇及不影響其他人，實為大眾之利。加上申請位置鄰近巴士總站及可乘搭公共交通公具前往，交通流量不受影響，百利而無一害，故簽署支持。

  
十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

- 1) 特區政府催谷經濟，現時不少店鋪倒閉結業，難得有投資者選擇於鄉郊區創業，深表支持。
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敬請批准是項規劃申請。



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香港市民

10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0099

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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臨時食肆(餐廳戶外座位區)(為期 3 年)

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十八鄉寵物主人

2025 年 12 月 8 日



香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段(部份)及第 1187 餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)

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支持 A/YL-TT/747 規劃申請

我們同意題述有關規劃申請，支持理據如下：

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敬請批准是項規劃申請。

  
香港市民  
10/12/2025

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

敬啟者：

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Lots 1187 S.N (Part) and 1187 RP (Part) in D.D. 117, Tai Tong Shan Road, Yuen  
Long, New Territories  
新界元朗大棠山道丈量約份第 117 約地段第 1187 號 N 分段（部份）及第 1187  
號餘段（部份）

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A/YL-TT/747 臨時食肆（餐廳戶外座位區）（為期 3 年）

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十八鄉元朗南居民

二零二五年十二月九日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會

0103

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
第 1187 號 N 分段及第 1187 號餘段(部份)  
臨時食肆(餐廳戶外座位區)(為期 3 年)  
支持 A/YL-TT/747 規劃申請

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大棠山道工作者

2025 年 12 月 9 日

香港北角渣華道 333 號  
北角政府合署 15 樓  
城市規劃委員會  
秘書處

敬啟者：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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十八鄉寵物主人

2025 年 12 月 8 日

城規會秘書處：

新界元朗大棠大棠山道丈量約份第 117 約地段  
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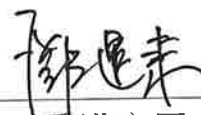
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香港市民

10/12/2025