

2025年06月20日

此文件在 城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on 20 JUN 2025
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;
興建「新界豁免管制屋宇」;**
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in
rural areas or Regulated Areas; and
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時
用途/發展;及**
- (iii) **Renewal of permission for temporary use or development in rural areas or
Regulated Areas
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501198 2/6 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/TWW/134
	Date Received 收到日期	20 JUN 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Tong Wai Shan Judy (Now known as Tong Kei Yuk Judy)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

LANBASE SURVEYORS LIMITED 宏基測量師行有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	NO. 313 CASTLE PEAK ROAD – TING KAU, NEW TERRITORIES LOT NO. 405 IN DD 399
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 512.917 sq.m 平方米 <input type="checkbox"/> About 約 Not exceeding 384.675 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	NIL sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	APPROVED TSUEN WAN WEST OUTLINE ZONING PLAN NO. S/TWW/21
(e) Land use zone(s) involved 涉及的土地用途地帶	RESIDENTIAL (GROUP C)
(f) Current use(s) 現時用途	A 2-STOREY RESIDENTIAL DEVELOPMENT (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at26/05/2025..... (DD/MM/YYYY), this application involves a total of5..... "current land owner(s)"[#].
根據土地註冊處截至2025..... 年5..... 月26..... 日的記錄，這宗申請共牽涉5..... 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified “current land owner(s)”#
已通知 名「現行土地擁有人」#。

Details of the “current land owner(s)”# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)” on 27/05/2025 (DD/MM/YYYY)#&
於 27/05/2025 (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書*

(Copy of the “Request for Consent” and the record of registered mail are enclosed for reference.)

- Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟 (見夾附的「要求同意書」副本及掛號郵遞記錄。)
- published notices in local newspapers on _____ (DD/MM/YYYY)*
於 _____ (日/月/年)在指定報章就申請刊登一次通知*

- posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)*
於 _____ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知*

- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)*
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會*

Others 其他

- others (please specify)
其他 (請指明)

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段(倘適用)及處所(倘有)分別提供資料

6. Type(s) of Application 申請類別

- Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Non-domestic part 非住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Total 總計	sq.m 平方米	<input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

(iii) For Type (iii) application 供第(iii)類申請

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量，包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1"> <thead> <tr> <th data-bbox="483 1413 778 1541">Name/type of installation 裝置名稱/種類</th> <th data-bbox="778 1413 949 1541">Number of provision 數量</th> <th data-bbox="949 1413 1453 1541">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸(米)(長x闊x高)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸(米)(長x闊x高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸(米)(長x闊x高)											

(iv) For Type (iv) application 供第(iv)類申請

(a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –

請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- Plot ratio restriction 地積比率限制 From 由 0.4 to 至 0.75
- Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- Site coverage restriction 上蓋面積限制 From 由% to 至 %
- Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至
.....mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- Non-building area restriction 非建築用地限制 From 由m to 至 m
- Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development 擬議用途/發展

MINOR RELAXATION OF PLOT RATIO RESTRICTION FOR PERMITTED HOUSE DEVELOPMENT

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- Proposed gross floor area (GFA) 擬議總樓面面積 Not exceeding 384,675 sq.m 平方米 About 約
- Proposed plot ratio 擬議地積比率 Not exceeding 0.75 About 約
- Proposed site coverage 擬議上蓋面積 Not exceeding 40 % About 約
- Proposed no. of blocks 擬議座數 1
- Proposed no. of storeys of each block 每座建築物的擬議層數 2 storeys 層
- include 包括 storeys of basements 層地庫
- exclude 不包括 storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 20.42 mPD 米(主水平基準上) About 約
(measured up to main roof level) m 米 About 約

Domestic part 住用部分

GFA 總樓面面積 Not exceeding 384.675 sq. m 平方米 About 約

number of Units 單位數目 1

average unit size 單位平均面積 Not exceeding 384.675 sq. m 平方米 About 約

estimated number of residents 估計住客數目 6

Non-domestic part 非住用部分

GFA 總樓面面積

eating place 食肆 and Shop and Services sq. m 平方米 About 約

hotel 酒店 sq. m 平方米 About 約

(please specify the number of rooms
請註明房間數目)

office 辦公室 sq. m 平方米 About 約

shop and services 商店及服務行業 sq. m 平方米 About 約

Government, institution or community facilities (please specify the use(s) and concerned land
政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)
.....
.....
.....

other(s) 其他 (please specify the use(s) and concerned land
area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)
.....
.....
.....

Open space 休憩用地 (please specify land area(s) 請註明地面面積)

private open space 私人休憩用地 sq. m 平方米 Not less than 不少於

public open space 公眾休憩用地 sq. m 平方米 Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....1.....G/F.....	E&M Rooms, Bedrooms, Store Room, Maid Rooms, Utility Room, ..Bath Room, Guest Suite, Garden Room and Family Room.....
.....1/F.....	..Bed Room, Study Room, Living Room, Dining Room, Powder ..Room, Kitchen and Terrace.....
.....Roof.....	..E&M Room, Flat Roof and Jacuzzi.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Garden

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)
(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))
(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

5/2029

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8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.
 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情
	No 否	<input checked="" type="checkbox"/>

Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約
	No 否	<input checked="" type="checkbox"/>

Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>

Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)
 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)

.....

.....

.....

.....

.....

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



ROCK K. M. TSANG

Name in Block Letters
姓名（請以正楷填寫）

Applicant 申請人 / Authorised Agent 獲授權代理人

DIRECTOR

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

Member 會員 / Fellow of 資深會員

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他

on behalf of
代表

LANBASE SURVEYORS LIMITED 宏基測量師行有限公司

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

03/06/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量^②

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

^② Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
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Location/address 位置/地址	NO. 313 CASTLE PEAK ROAD – TING KAU, NEW TERRITORIES LOT NO. 405 IN DD 399
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Site area 地盤面積	512.917	sq. m 平方米 <input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	sq. m 平方米 <input type="checkbox"/> About 約)

Plan 圖則	APPROVED TSUEN WAN WEST OUTLINE ZONING PLAN NO. S/TWW/21
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Zoning 地帶	“RESIDENTIAL (GROUP C)”
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Applied use/ development 申請用途/發展	MINOR RELAXATION OF PLOT RATIO RESTRICTION FOR PERMITTED HOUSE DEVELOPMENT
--	---

(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率	sq.m 平方米		Plot Ratio 地積比率	
	Domestic 住用	384.675	<input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	0.75
Non-domestic 非住用		<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於		<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	1		
	Non-domestic 非住用			
	Composite 綜合用途			

(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
		20.42 (measured up to main roof level)	mPD 米(主水平基準上) <input checked="" type="checkbox"/> (Not more than 不多於)
		2	Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	Not exceeding 40% <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	1		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明) Location Plan, Lot Index Plan and Extracts of Approved Tsuen Wan West	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<hr/> Outline Zoning Plan No. S/TWW/21		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及/或水的污染)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

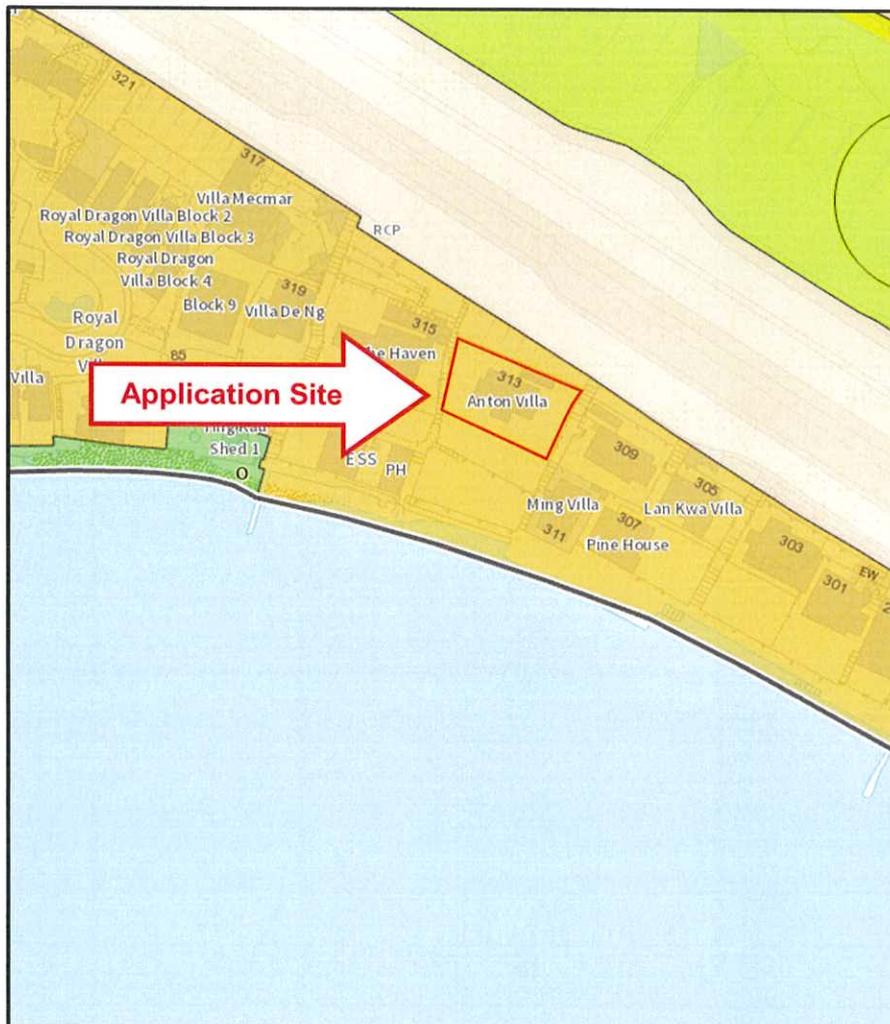
Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

**Planning Application
under Section 16 of the
Town Planning Ordinance (Cap.131)**

**Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau
(Lot No. 405 in DD 399)
New Territories**

PLANNING STATEMENT



Prepared by

LANBASE Surveyors Ltd.

June 2025

EXECUTIVE SUMMARY

The Application Site is No. 313 Castle Peak Road – Ting Kau (Lot No. 405 in DD 399), New Territories. The Applicant intends to redevelop the Application Site into a 2-storey house with plot ratio of 0.75.

The Application Site, with an area of about 512.917m², is zoned “Residential (Group C)” (“R(C)”) on the Approved Tsuen Wan West Outline Zoning Plan No. S/TWW/21 (“OZP”) gazetted on 24 November 2023. “House” is always permitted within the “R(C)” zone.

In accordance with the Notes of the OZP, the maximum plot ratio of 0.4 may, upon obtaining permission of the Town Planning Board (“the Board”) on application under section 16 of the Town Planning Ordinance, be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Board.

The Proposed House Development has a gross floor area of not exceeding 384.675m², plot ratio of not exceeding 0.75, site coverage of not exceeding 40% and building height of 20.42mPD (about) (measured up to main roof level).

The Application is justified on the following grounds:

- In Line with Planning Intention
- Compatible with the Surrounding Development Intensity
- Compatible with the Surrounding Land Uses
- Approval of Similar Applications in the Vicinity

In view of the abovementioned justifications, we sincerely hope that Members of the Board will give favourable consideration to and approve this Application.

報告摘要

申請地盤為新界青山公路-汀九段313號 (丈量約份第399約地段第405號)。申請人現申請重建有關地盤為一幢2層高及地積比率0.75倍的屋宇。

申請地盤面積約512.917平方米。申請地盤位於2023年11月24日公布的荃灣西分區計劃大綱核准圖編號S/TWW/21 (下稱「該圖」) 上劃為「住宅 (丙類)」(“R(C)”) 的區域內，「屋宇」乃經常准許用途。

根據該圖的註釋，申請人可就《城市規劃條例》第16條向城市規劃委員會提出申請，或可獲准把最高的地積比率由0.4倍最多增至0.75倍，但必須採取措施，以減輕青山公路的噪音對擬議發展計劃的影響，而有關措施必須符合城市規劃委員會的要求。

擬建中的屋宇總樓面面積將不超過384.675平方米，地積比率將不超過0.75倍，上蓋面積將不超過40%及建築物高度(計算至主屋頂水平)約主水平面20.42米。

本申請將符合以下發展理據：

- 符合規劃意向
- 與週邊發展強度相適應
- 與週邊土地用途相容
- 附近類似批准申請

根據以上闡述的發展理據，我們謹此祈望城規會可就是次的規劃申請給予考慮及批准。

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1. INTRODUCTION

- 1.1 The Application Site is No. 313 Castle Peak Road – Ting Kau (Lot No. 405 in DD 399), New Territories. According to the Approved Tsuen Wan West Outline Zoning Plan No. S/TWW/21 (“OZP”) gazetted on 24 November 2023, the Application Site falls within “Residential (Group C)” (“R(C)”) zone. Please refer to the extracts of the OZP and the relevant Notes at **Appendix 1**.
- 1.2 Currently standing on the Application Site a 2-storey residential development.
- 1.3 The Applicant, Tong Wai Shan Judy (Now known as Tong Kei Yuk Judy), is one of the registered owners^{*1} of the Application Site. The Applicants are seeking approval from the Town Planning Board (“the Board”) to develop the Application Site into a house with plot ratio of 0.75 (“the Proposed House Development”).
- 1.4 In accordance with to the Notes of the OZP, the maximum plot ratio of 0.4 may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning Ordinance, be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Board.
- 1.5 Lanbase Surveyors Limited has been commissioned to submit a planning application, on behalf of the Applicants, for the Proposed House Development with plot ratio 0.75 under section 16 of the Town Planning Ordinance (Cap. 131).
- 1.6 This Planning Statement serves to describe the existing condition of the Application Site and its surrounding environment, to give details of the Proposed House Development and to provide planning justifications for the Board’s consideration.

^{*1} Registered Owners
Tong Wai Lun William
Tong Wai Hon David
Tong Wai Yin Teresa
Tong Wai Shan Judy (Now known as Tong Kei Yuk Judy) (**Applicant**)
Tong Leu So Hing (Now known as Leu So Hing)

2. APPLICATION SITE

2.1 Application Site

2.1.1 The Application Site occupies an area of about 5,521ft², i.e. 512.917m². It is quadrilateral in shape.

2.1.2 The Application Site is located at No. 313 Castle Peak Road – Ting Kau (Lot No. 405 in DD 399), New Territories. Please refer to the Location Plan and Lot Index Plan at **Appendix 2** and **Appendix 3** respectively.

2.2 Existing Condition

Currently standing on the Application Site a 2-storey residential development.

2.3 Lease Particulars

The lot is governed by New Grant No. 3248 for building purpose subject to the General and Special Conditions in Government Notification No. 364 of 1934 as amended by Government Notification No. 50 of 1940 and Additional Special Conditions specified. One of the lease conditions is that the height of any building shall not exceed 25 feet (7.62m) nor shall any building exceed 2 storeys in height.

3. LOCALITY AND ENVIRONMENT

3.1 The Application Site is located on the southern side of Castle Peak Road – Ting Kau with residential developments to the north, east and west. The site front on to Ting Kau Beach and enjoys a panoramic sea view.

3.2 Please refer to the Location Plan and Lot Index Plan at **Appendix 2** and **Appendix 3** respectively.

4. ACCESSIBILITY

The Application Site cannot be directly accessed by vehicles. Residents could access the Application Site on foot from Castle Peak Road – Ting Kau via the staircases.

5. PLANNING CONTEXT

- 5.1 The Application Site falls within the “Residential (Group C)” (“R(C)”) zone on the Approved Tsuen Wan West Outline Zoning Plan No. S/TWW/21 (“OZP”) gazetted on 24 November 2023. “House” is always permitted within the R(C)zone.
- 5.2 According to the Notes of the OZP, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of maximum plot ratio of 0.4 and a maximum building height of 3 storeys including car park or the plot ratio and the height of the existing building(s), whichever is the greater.
- 5.3 The maximum plot ratio of 0.4 set out above may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning ordinance, be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Town Planning Board.
- 5.4 In determining the maximum plot ratio above, any floor space that is constructed or intended for use solely as car park, loading/unloading bay, plant room, caretaker’s office and caretaker’s quarters, or recreational facilities for the use and benefit of all the owners or occupiers of the building, provided such uses and facilities are ancillary and directly related to the development or redevelopment, may be disregarded.
- 5.5 Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio or building height restrictions stated above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- 5.6 Please refer to an extract of the OZP and Notes at **Appendix 1**.

6. PROPOSED DEVELOPMENT

6.1 The Proposal

The Applicant intends to redevelop the Application Site to a 2-storey house with plot ratio 0.75. The Notes of the OZP stipulates that the maximum plot ratio may be increased from 0.4 to 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction to the Board.

6.2 Development Parameters

The proposed development particulars are set out below:

Site Area	:	512.917 m ² (about)	
Proposed Domestic GFA	:	Not exceeding 384.675 m ²	*1
Plot Ratio	:	Not exceeding 0.75	
Site Coverage	:	Not exceeding 40%	*2
No. of Houses	:	1 no.	
No. of Units	:	1 no.	
Building Height	:	20.42mPD (about) measured up to main roof level	
Absolute Building Height	:	7.62m (about) measured up to main roof level	
Number of Storeys	:	2 storeys	

Notes:

- 1. The GFA shown in the Proposed Floor Layout Plans at **Appendix 4** is 384.470m² (corresponding to plot ratio of 0.7496). The proposed GFA of not exceeding 384.675m² (corresponding to plot ratio of 0.75) is intended to allow flexibility for general building plan submission.*
- 2. The floor area of G/F shown in the Proposed Floor Layout Plans at **Appendix 4** is 199.45 m² (corresponding to Site Coverage 38.89%). The proposed Site Coverage of not exceeding 40% is intended to allow flexibility for general building plan submission.*

6.3 Noise Consideration

A Noise Impact Assessment (NIA) has been carried out to predict the potential noise impact that may be arising from surrounding traffic and fixed noise source on the Proposed House Development. The prediction of road traffic noise shows that all noise sensitive rooms in the Proposed House Development would comply with the 70dB(A) noise criterion. No noise mitigation measures are required. Besides, no significant fixed noise source in the vicinity of the Proposed House Development has been identified. It is concluded that the Proposed House Development would not be affected by any adverse noise impact. Please refer to the details of NIA Report at **Appendix 5**.

7. JUSTIFICATIONS

7.1 In Line with Planning Intention

7.1.1 The Application Site falls within the “Residential (Group C)” zone, which is intended for low rise, low density residential developments. “House” is always permitted within the “R(C)” zone. According to the Notes, upon obtaining permission of the Board on application, the maximum plot ratio may be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Board.

7.1.2 The NIA has demonstrated that all noise sensitive rooms in the Proposed House Development would comply with the 70dB(A) noise criterion. No noise impact from Castle Peak Road on the Proposed House Development is anticipated. The Proposed House Development is therefore in accordance with the planning intention and the Notes of the OZP.

7.2 Compatible with the Surrounding Development Intensity

The Proposed House Development with plot ratio 0.75 and a building height of 2 storeys complies with the development restrictions under the OZP. The development scale is similar to the other residential developments in the vicinity. The Application Site is well served by public transport and is suitable for low-rise, low-density house development. The Proposed House Development is compatible with the low-rise, low-density residential developments in the area.

7.3 Compatible with the Surrounding Land Uses

The Proposed House Development will be compatible with the adjacent low-rise residential developments within the “R(C)” zones in the vicinity. The Application Site fronts onto Ma Wan Channel with view of Ting Kau Bridge and is surrounded by greenery. Hence, the Application Site is highly suitable for high quality residential development.

7.4 Approval of Similar Applications in the Vicinity

It is noted that similar applications in the vicinity of the Application Site were approved by the Board. The similar applications are summarized as follow:

Application No.	Approval Date	Zoning	Proposed Use	Address
A/TWW/127	27/10/2023	“R(C)”	Proposed House at Plot Ratio 0.75	Lot No. 407 in DD 399
A/TWW/105	1/3/2013	“R(C)”	Proposed House at Plot Ratio 0.75	Lots Nos. 253 S.A RP, 261, 388 and adjoining Government Land in D.D.399
A/TWW/103	2/9/2011	“R(C)”	Proposed House at Plot Ratio 0.75	Lot No. 408 in DD 399 & the Extension Thereto
A/TWW/101	15/4/2011	“R(C)”	Proposed House at Plot Ratio 0.75	Lots Nos. 253 S.A RP, 261 and 388 in D.D.399
A/TWW/100	26/11/2010	“R(C)”	Proposed House at Plot Ratio 0.75	Lots Nos. 253 S.A RP, 261 and 388 in D.D.399

The Board’s decision to approve these applications reveals that the subject area is suitable for residential development at plot ratio of 0.75.

8. CONCLUSION

- 8.1 The Applicants intend to seek approval from the Town Planning Board to develop No. 313 Castle Peak Road – Ting Kau (Lot No. 405 in DD 399) into a house with plot ratio of 0.75.
- 8.2 In accordance with to the Notes of the Approved Tsuen Wan West Outline Zoning Plan No. S/TWW/21, the maximum plot ratio of 0.4 of “Residential (Group C)” zone may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning Ordinance, be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Board.
- 8.3 The Proposal is desirable and justified for the following reasons:
- The NIA has demonstrated that all noise sensitive rooms in the Proposed House Development would comply with the 70dB(A) noise criterion. No noise impact from Castle Peak Road on the Proposed House Development is anticipated.
 - The Proposed House Development is compatible with the surrounding development intensity and surrounding land uses.
 - Similar applications in the vicinity of the Application Site were approved by the Board. These Board’s decision reveals that the subject area is suitable for residential development at plot ratio of 0.75.
- 8.4 In light of the justifications presented in this planning statement, we sincerely request members of the Board to give favourable consideration to this Application.

Appendix 1

**Extracts of the Tsuen Wan West Outline Zoning Plan
No. S/TWW/21 and the Relevant Notes**



RESIDENTIAL (GROUP C)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Flat Government Use (Police Reporting Centre, Post Office only) House Utility Installation for Private Project	Ambulance Depot Eating Place Educational Institution Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Hotel Institutional Use (not elsewhere specified) Library Petrol Filling Station Place of Recreation, Sports or Culture Private Club Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Residential Institution School Shop and Services Social Welfare Facility Training Centre

Planning Intention

This zone is intended primarily for low-rise, low-density residential developments where commercial uses serving the residential neighbourhood may be permitted on application to the Town Planning Board.

Remarks

- (1) On land designated “Residential (Group C)”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys including car park, or the plot ratio and the height of the existing building, whichever is the greater.

(Please see next page)

RESIDENTIAL (GROUP C) (cont'd)Remarks (cont'd)

- (2) The maximum plot ratio of 0.4 set out in paragraph (1) above may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning Ordinance, be increased to a maximum of 0.75, provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Town Planning Board.
- (3) On land designated “Residential (Group C) 1”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum plot ratio of 0.75 and a maximum building height of 3 storeys including car park, or the plot ratio and the height of the existing building, whichever is the greater.
- (4) On land designated “Residential (Group C) 2”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the restrictions stipulated in paragraph (1) above. The maximum plot ratio and building height may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning Ordinance, be increased to a maximum plot ratio of 1.2 and a maximum building height of 3 storeys above one level of car park provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Town Planning Board.
- (5) On land designated “Residential (Group C) 3”, no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of the restrictions stipulated in paragraph (1) above. The maximum GFA and building height may, upon obtaining permission of the Town Planning Board on application under section 16 of the Town Planning Ordinance, be increased to a maximum GFA of 7,268m² and a maximum building height of 5 storeys above one level of car park provided that the noise impact from Castle Peak Road on the proposed development would be mitigated to the satisfaction of the Town Planning Board.
- (6) On land designated “Residential (Group C) 4”, no new development, addition to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys including car park.
- (7) In determining the relevant maximum plot ratio/GFA for the purposes of paragraphs (1), (2), (3), (4), (5) and (6) above, any floor space that is constructed or intended for use solely as car park, loading/unloading bay, plant room and caretaker’s office, or caretaker’s quarters and recreational facilities for the use and benefit of all the owners or occupiers of the building, provided such uses and facilities are ancillary and directly related to the development or redevelopment, may be disregarded.

(Please see next page)

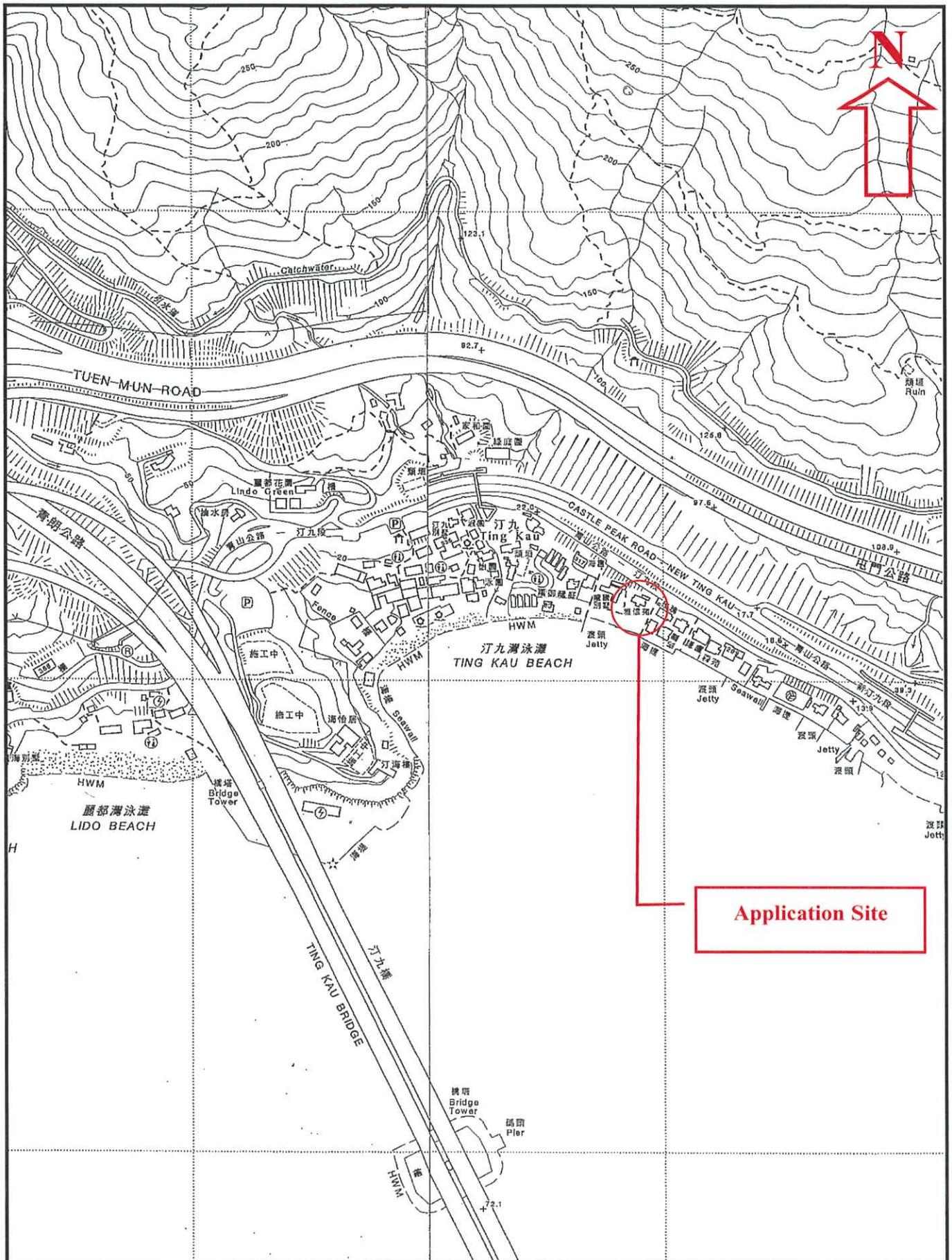
RESIDENTIAL (GROUP C) (cont'd)

Remarks (cont'd)

- (8) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio, GFA and/or building height restrictions stated in paragraphs (1), (2), (3), (4), (5) and (6) above, may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

Appendix 2

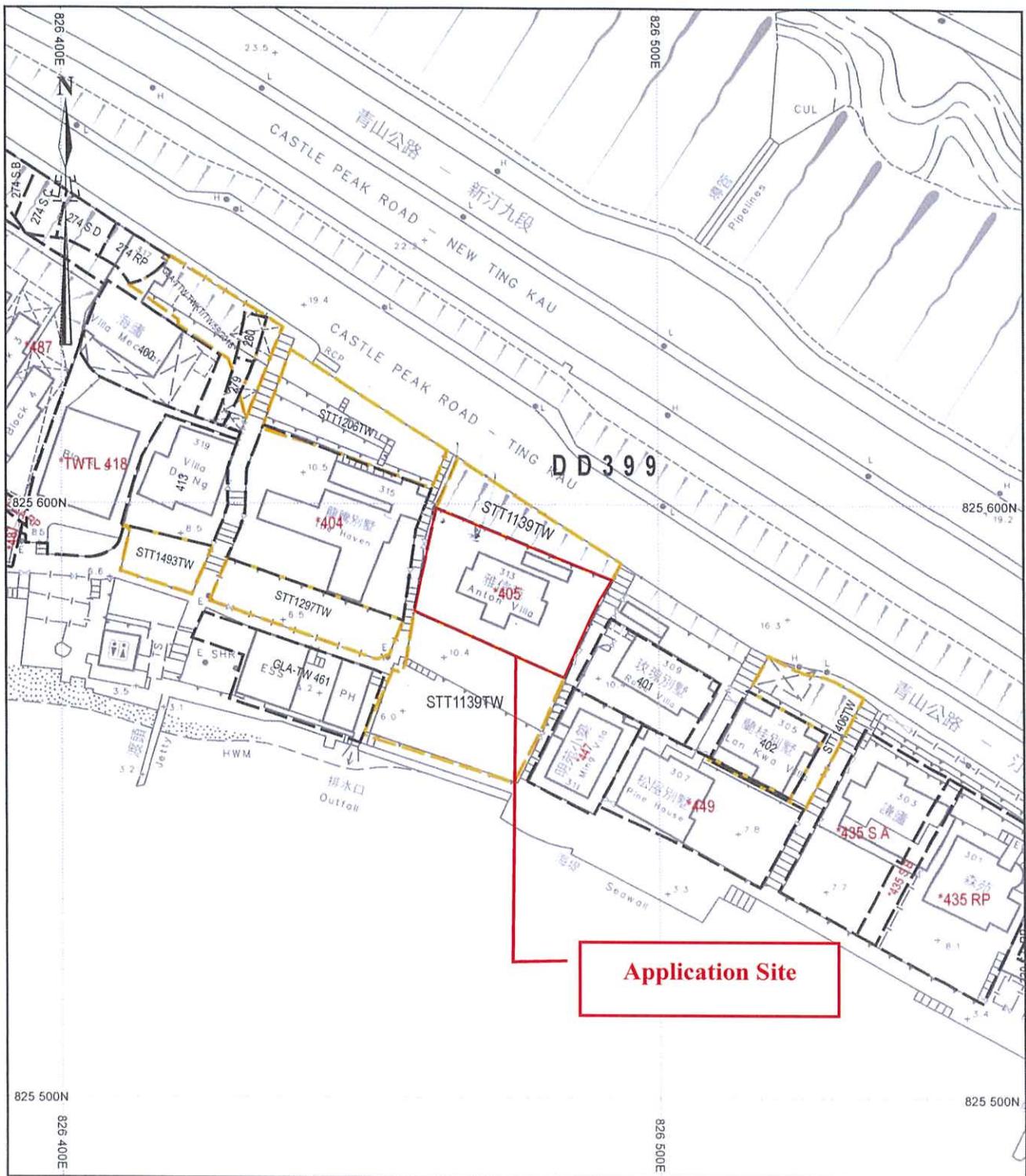
Location Plan



Appendix 3

Lot Index Plan

地段索引圖 LOT INDEX PLAN



地政總署測繪處 Survey and Mapping Office, Lands Department

比例尺 SCALE 1 : 1 000



Locality : _____
 Lot Index Plan No. : ags_S00000125741_0001
 District Survey Office : Lands Information Center
 Date : 09-Apr-2024
 Reference No. : 6-SE-18D

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Disclaimer: The Government shall not be responsible for any loss or damage howsoever arising from the use of this plan or in reliance upon its correctness, completeness, timeliness or accuracy.

Appendix 4

Proposed Floor Layout Plans

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

SITE BOUNDARY

BRIDGE ACCESS

TOP ROOF

FLAT ROOF

JACUZZI

FLAT ROOF

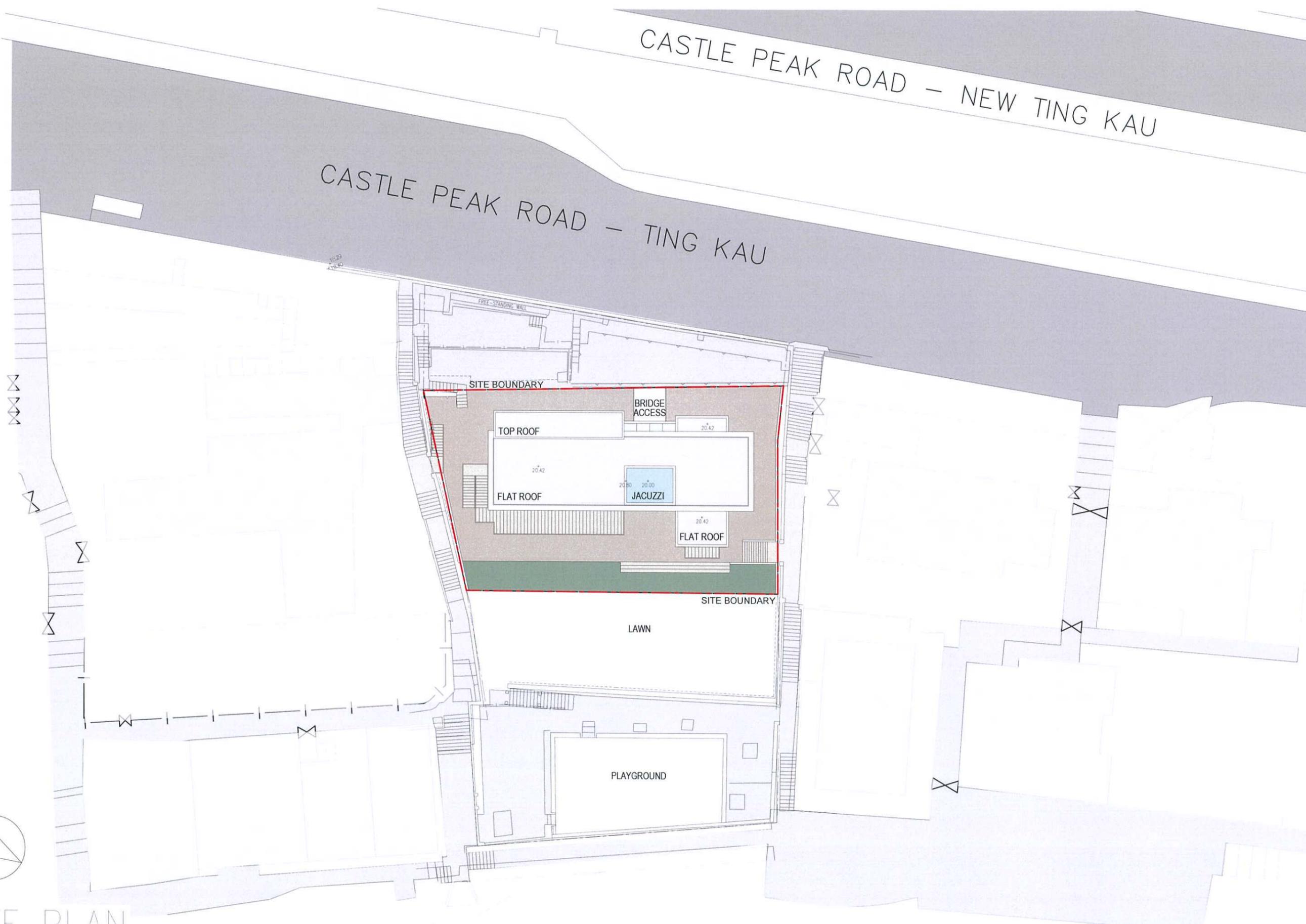
SITE BOUNDARY

LAWN

PLAYGROUND

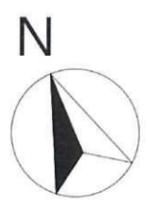
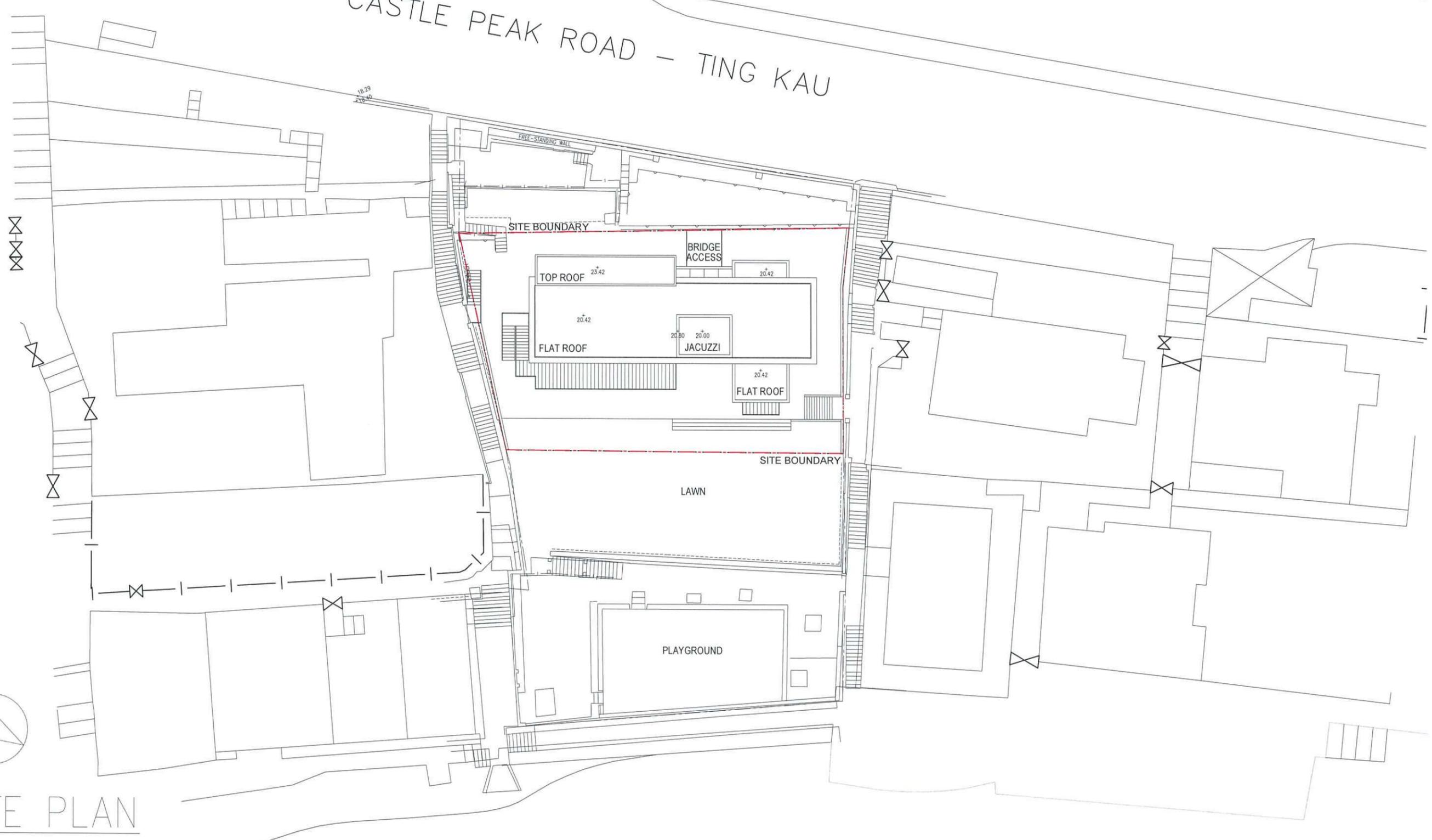


SITE PLAN
1:300

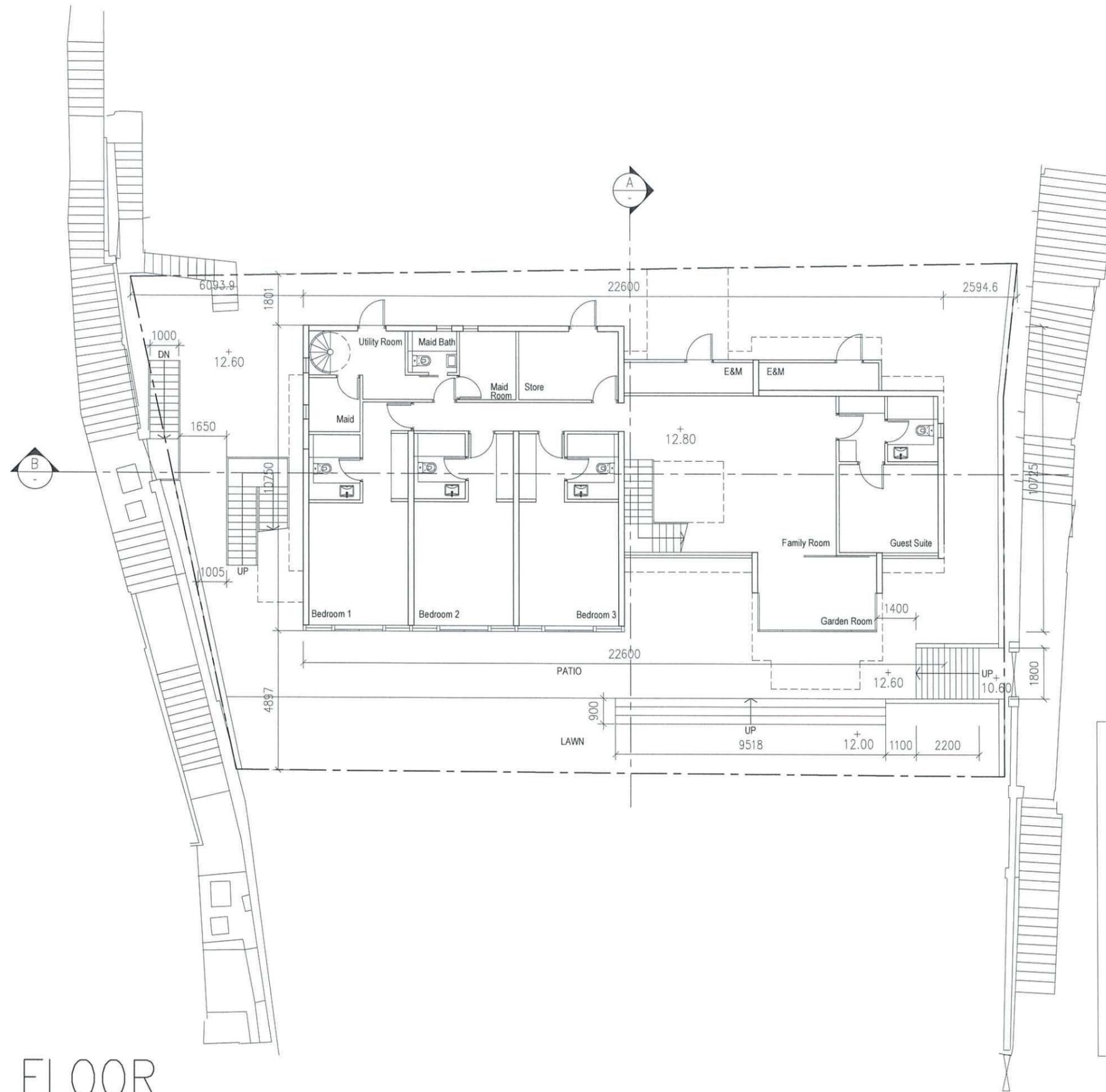


CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU



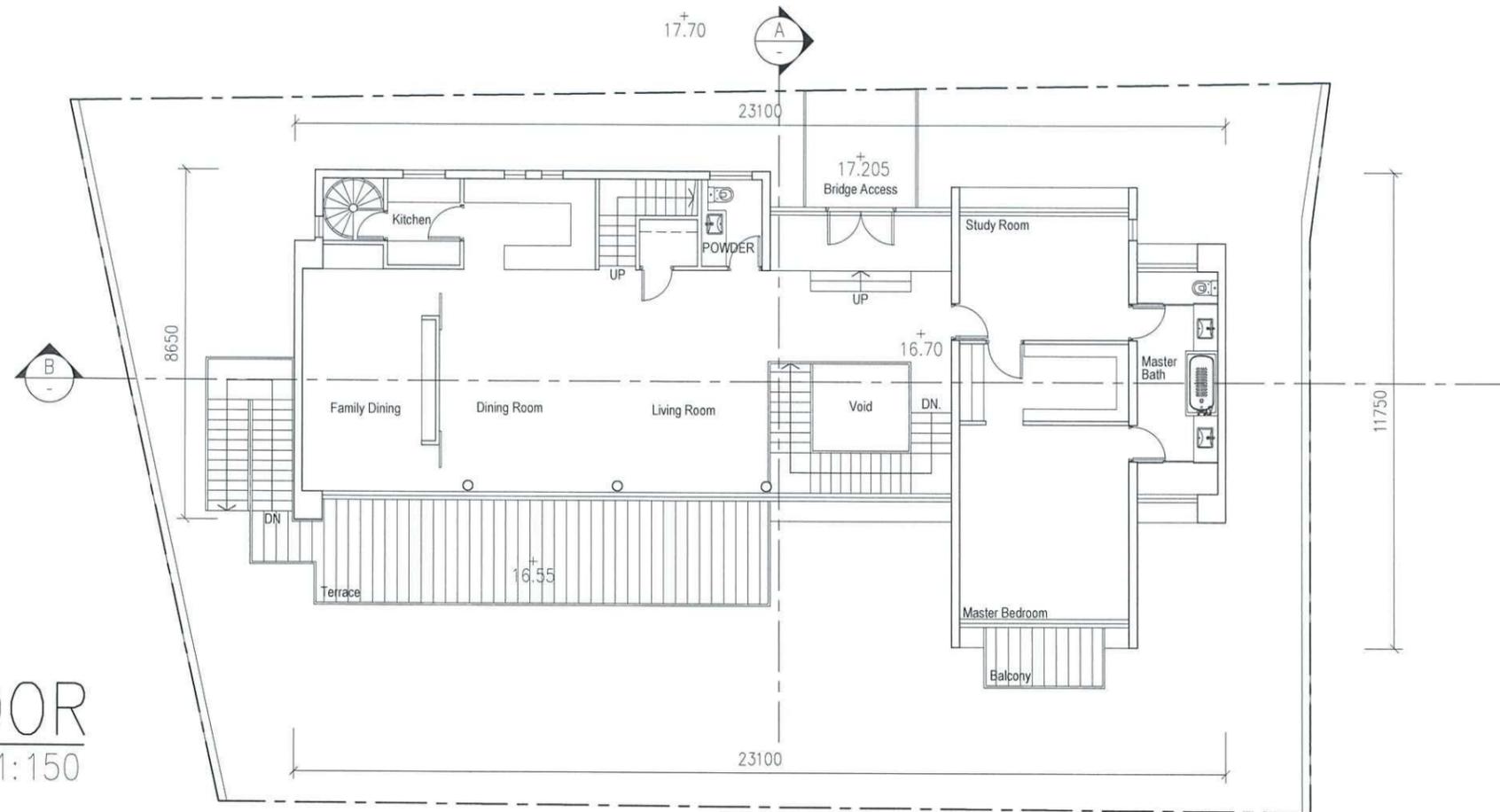
SITE PLAN
1:300



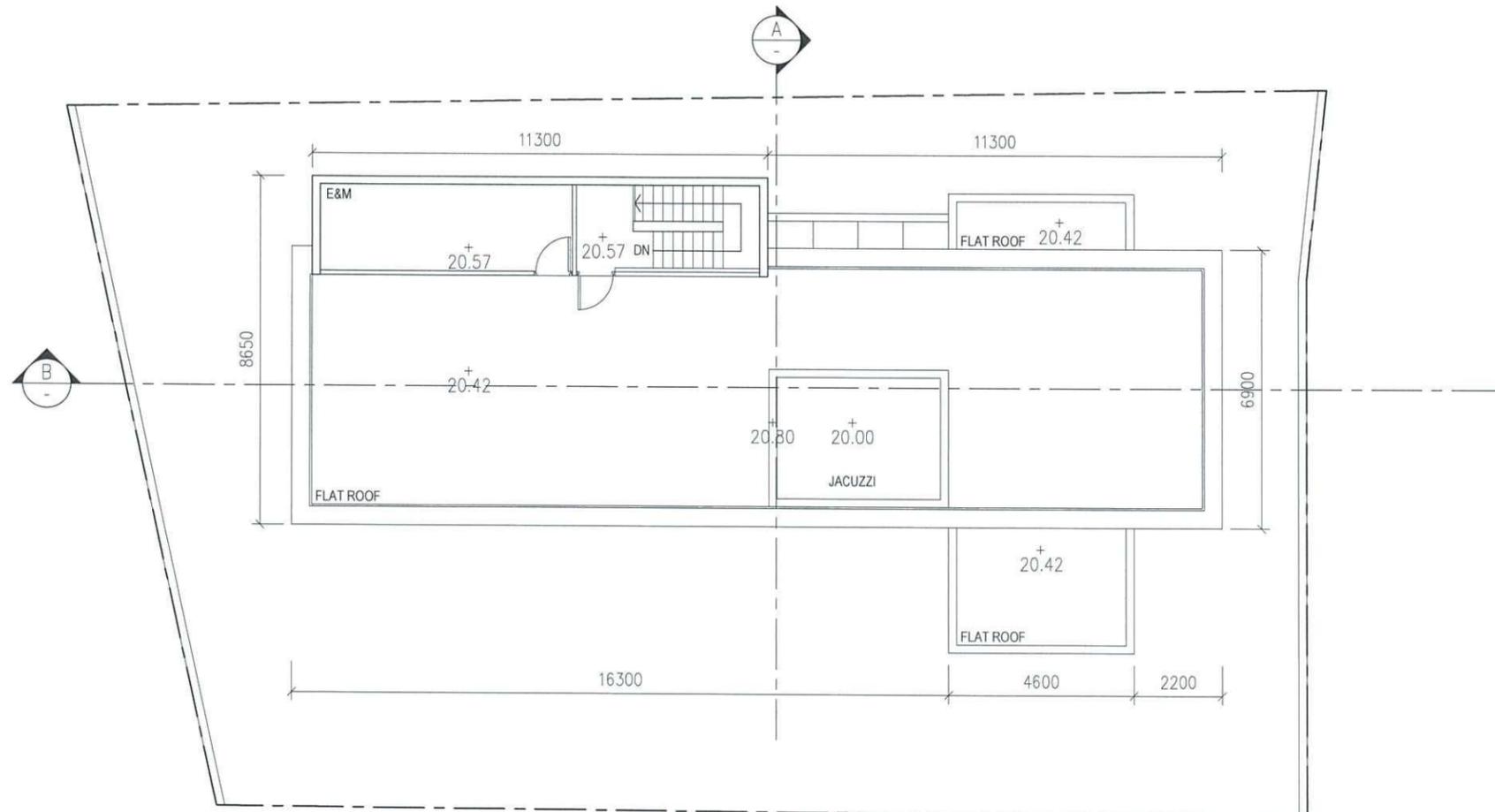
SITE AREA: 512.917 s.m.
 PROPOSED DOMESTIC GFA:
 NOT EXCEEDING 384.675 s.m.
 P.R. NOT EXCEEDING 0.75
 1/F: 185.02 s.m.
 G/F: 199.45 s.m.
 Total=384.470/512.917 s.m.
 = 0.7496 < 0.75 (P.R.)
 PROPOSED SITE COVERAGE:
 NOT EXCEEDING 40%
 = 199.45 / 512.917 s.m.
 = 38.89% < 40%

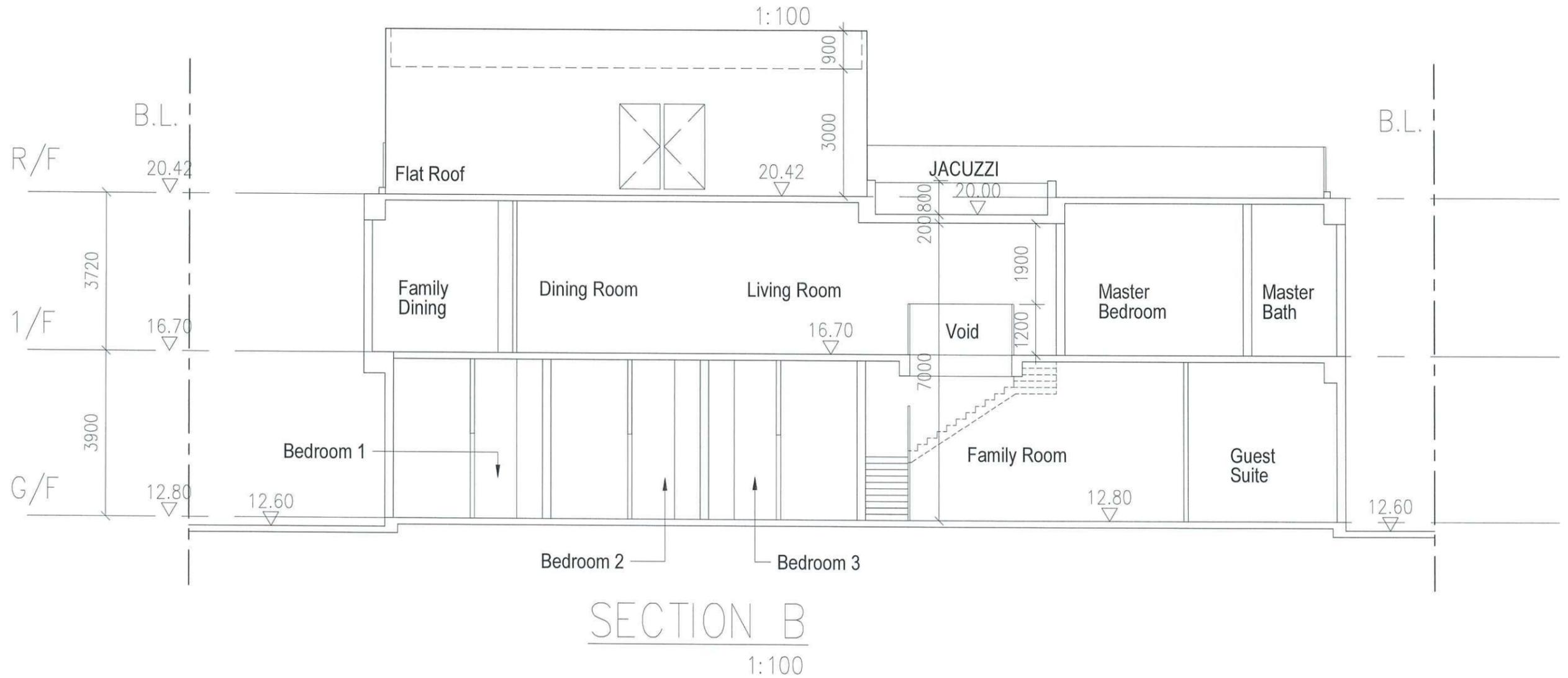
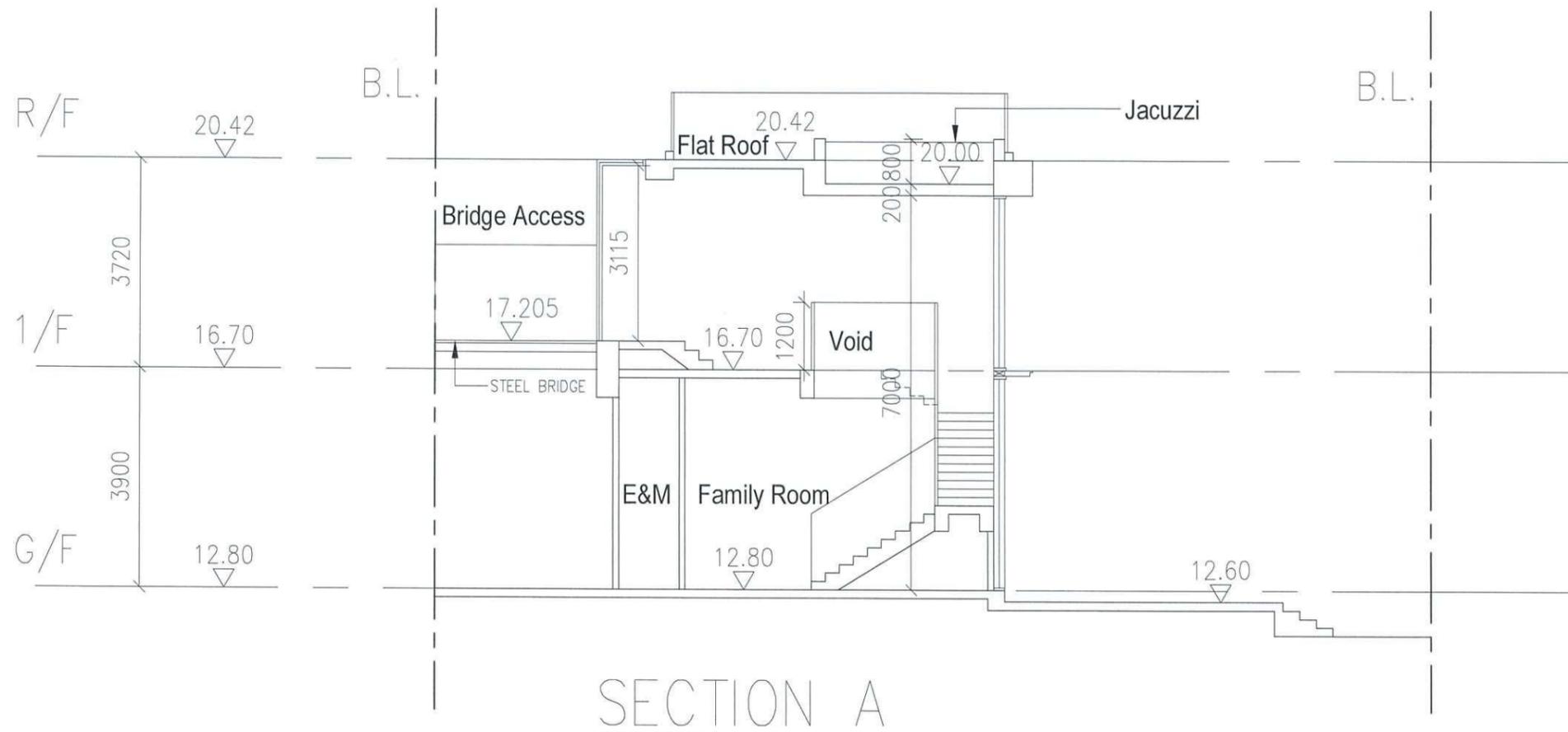
GROUND FLOOR
 1:150

1ST/ FLOOR
1:150



ROOF
1:150





Appendix 5

Noise Impact Assessment Report

**Section 16 Application for
Proposed Redevelopment of Anton Villa at
313 Castle Peak Road, Ting Kau, New Territories**

Environmental Noise Impact Assessment

Prepared for:
Lanbase Surveyors Limited

Prepared by:
Westwood Hong & Associates Limited

Report No.:
22598-N1

Date:
31 March 2025

Ir K. K. Lu	FHKIOA, MIOA, MCIBSE, MHKIE, MASA, APEC Engineer
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Figure 3	Identified Potential Fixed Noise Sources
Figure 4	Computer Plot of Road Scheme

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Appendix 2	Photographs Taken on Site
Appendix 3	Traffic Forecast for Year 2044 (provided by CTA Consultants Limited)
Appendix 4	Predicted Road Traffic Noise Levels for All Floors (Base Scenario)

AIMS

To assess noise impacts on the proposed redevelopment of Anton Villa at 313 Castle Peak Road in Ting Kau.

To recommend noise mitigation measures for the proposed Development, if necessary, and to assess the suitability of the proposed building layout and the recommended noise mitigation measures according to relevant requirements in the Hong Kong Planning Standards & Guidelines (HKPSG).

SUMMARY

Noise assessments have been conducted to predict the noise impacts at the proposed Development.

For road traffic noise, all the noise sensitive rooms will comply with the stipulated 70dB(A) noise criterion. Therefore, no noise mitigation measures would be required.

Site survey has been conducted to investigate the fixed noise sources in the vicinity of the proposed Development. No adverse noise impact on the proposed Development due to fixed noise sources is anticipated.

1. INTRODUCTION

- 1.1 Westwood Hong & Associates Ltd (WHA) was commissioned to conduct an environmental noise impact assessment for the proposed redevelopment of Anton Villa at 313 Castle Peak Road in Ting Kau (the “proposed Development”). Figure 1 shows the location of the proposed Development.
- 1.2 This environmental noise impact assessment report supports the Section 16 Planning Application for the proposed Development.
- 1.3 This report has been prepared based on the architectural drawings provided by the project architect Ronald Lu & Partners (Hong Kong) Ltd.
- 1.4 This report presents assessments of the following:
- Road traffic noise affecting the proposed Development
 - Fixed noise sources affecting the proposed Development
 - Fixed noise sources from the proposed Development

2. SITE LOCATION & BUILDING LAYOUT

Site Location

- 2.1 The project site is adjoining Castle Peak Road which is located to the north. The beach is located to the south (Figure 1).

Building Layout

- 2.2 The proposed Development comprises a 2-storey house. The architectural drawings are provided in Appendix 1. The development parameters are summarised in Table 2.1.

Table 2.1 Development Parameters of the Proposed Development

	Parameters
Zoning	“Residential (Group C)” on Approved Tsuen Wan West Outline Zoning Plan No. S/TWW/21
Site Area	About 513m ²
Number of Residential Units	1 house
Number of Residential Storeys	2 storeys
Height of Building	20.42mPD
Completion Year	2029

3. NOISE CRITERIA

Road Traffic Noise Criterion

- 3.1 According to the HKPSG^[1], road traffic noise criterion for domestic premises is 70dB(A) L10(1 hour) at the external facades for the hour having the peak traffic flow. This noise criterion applies to the domestic premises which rely on opened windows for ventilation.

Noise Criteria for Fixed Noise Sources

- 3.2 For fixed noise sources, the criterion is determined based on the statutory Acceptable Noise Levels (ANL) stipulated in “Technical Memorandum for the Assessment of Noise from Places other than Domestic Premises, Public Places or Construction Sites”^[2] (IND – TM). The HKPSG also states that in order to plan for a better environment, all planned fixed noise sources should be so located and designed that when assessed in accordance with the TM, the level of the intruding noise at the façade of the nearest sensitive use should be at least 5dB(A) below the appropriate ANL shown in Table 2 of the IND – TM or, in the case of the background being 5dB(A) lower than the ANL, should not be higher than the background.
- 3.3 The project site is located in low density residential area consisting of low-rise developments, and not being affected by any Influencing Factor (IF) (e.g. industrial area or major road). With reference to the IND – TM, an Area Sensitivity Rating (ASR) of "A" was assumed for the proposed Development.

Table 3.1 ANLs for Day, Evening and Night Time Periods

Time Period	ANLs (Leq (30 mins))		
	ASR "A"	ASR "B"	ASR "C"
Day (0700 to 1900 hours) and evening (1900 to 2300 hours)	60dB(A)	65dB(A)	70dB(A)
Night (2300 to 0700 hours)	50dB(A)	55dB(A)	60dB(A)

Note: In any event, the ASR and the ANLs adopted in this report are only indicative and they are used for assessment only. It should be noted that noise from fixed noise sources is controlled under section 13 of the Noise Control Ordinance. Therefore, the ASRs and ANLs determined in this report shall not prejudice the Noise Control Authority's discretion to determine noise impact due to fixed noise sources on the basis of prevailing legislation and practices being in force, and taking account of contemporary conditions/ situations of adjoining land uses. The assessment of noise impacts due to fixed noise sources in this report shall not bind the Noise Control Authority in the context of law enforcement against any of the noise from fixed noise sources being assessed.

- 3.4 The assessment criteria for fixed noise sources for the proposed Development should refer to the ANLs in Table 3.1.
- 3.5 As mentioned in Section 3.2, the noise criteria for the noise from planned fixed sources are ANL – 5dB(A) or the prevailing background noise levels, whichever is lower. Site measurements were made at the nearby noise sensitive receiver on 28 March 2025, the prevailing background noise levels are summarised in Table 3.2 below. The measurement locations are provided in Figure 2.

Table 3.2 Noise Measurement Results

Location	Noise Sensitive Receiver	Measurement Results, dB(A), L90 (1 hour)
Loc 1	No. 315 Castle Peak Road, The Haven	Daytime: 59 – 60 Night-time: 51 – 52 (Façade)

- 3.6 The prevailing background noise levels of the identified noise sensitive receivers were higher than ANL – 5dB(A). Therefore, the ANL – 5dB(A) are used as the criteria for noise from planned fixed sources (i.e. 55dB(A) for daytime, and 45dB(A) for night-time).

4. SITE INSPECTION*Site Survey*

- 4.1 Site survey was conducted on 28 March 2025. Photographs taken on site are given in Appendix 2.

Observations on Site

- 4.2 Road traffic noise from the Castle Peak Road was identified as the dominant noise source affecting the proposed Development.

Fixed Noise Sources in the Vicinity

- 4.3 Site survey has been conducted within 300m assessment area of the project site. The photos taken on site are provided in Appendix 2. In the vicinity of the project site, there are mainly residential houses.
- 4.4 The identified potential fixed noise source is summarised in Table 4.1 and illustrated in Figure 3.

Table 4.1 Identified Potential Fixed Noise Sources

Source ID	Industrial Site	Observation on site
A	Ting Kau Sewage Pumping Station Substation	No industrial noise was observed

- 4.5 Site survey revealed that there was no significant noise was emitted from this potential fixed noise sources. Hence, adverse noise impacts from this potential fixed noise source to the proposed Development are not anticipated.

5. ROAD TRAFFIC NOISE IMPACT ASSESSMENT

- 5.1 The noise prediction has been conducted by employing the WS Atkins RoadNoise 2000^[3] computer software.

Traffic Forecast

- 5.2 The occupation year of the proposed Development is 2029, the maximum traffic in 15 years after occupation of the proposed Development (i.e. 2044) has been adopted for the purpose of the road traffic noise assessment.
- 5.3 The traffic forecast for Year 2044 was provided by the Traffic Consultant (CTA Consultants Limited), which is given in Appendix 3. The definition of heavy vehicles in the U.K. Department of Transport's "Calculation of Road Traffic Noise" (CRTN)^[4] has been adopted. The computer plot of the noise prediction model is shown in Figure 4.

Noise Assessment Points for Road Traffic Noise Assessment

- 5.4 Noise assessment points are assigned to all ventilation openings to rooms of noise sensitive use (e.g. living and dining rooms, bedrooms / master bedrooms). The location of assessment points are illustrated in Figure A4 of Appendix 4.
- 5.5 The assessment points are taken at the height of 1.2m above each residential floor and 1m away from the façade of openable windows of the noise sensitive rooms.

Methodology of Road Traffic Noise Impact Assessment

- 5.6 The road traffic noise levels at the proposed Development have been predicted based on the predicted traffic flows in Year 2044 and in accordance with the procedures given in the CRTN. The predicted road traffic noise levels at the building facades include a 2.5dB(A) facade reflection and correction factors for gradient, distance, view angle, barriers and road surface material.
- 5.7 The study area of the road traffic noise assessment would be 300m from the site boundary. The roads within the study area are included in the assessment. According to the Hong Kong Environmental Database (HKED), the Tuen Mun Road is applied with Low Noise Road Surface. For other roads, impervious surface are adopted in the noise prediction model.

Predicted Road Traffic Noise Levels (Base Scenario)

- 5.8 The predicted road traffic noise levels are presented in Appendix 4 for all Noise Sensitive Receivers (NSRs) of the proposed Development. All the noise sensitive rooms in the proposed Development would comply with the stipulated 70dB(A) noise criterion. Therefore, no noise mitigation measures are required.

6. NOISE IMPACT ASSESSMENT OF FIXED NOISE SOURCES

Identified Fixed Noise Source Affecting the Proposed Development

- 6.1 There was an identified fixed noise source of Ting Kau Sewage Pumping Station Substation within the study area. Site survey revealed that no industrial noise from this sewage pumping station substation was observed. Therefore, no adverse noise impact due to fixed noise sources is anticipated.

Fixed Noise Sources in the Proposed Development

- 6.2 The noise emissions from any planned fixed noise sources associated with the proposed Development would be designed to meet the relevant criteria stipulated in the HKPSG (i.e. ANL – 5dB(A) as mentioned in Section 3).
- 6.3 The acoustic performance of the fixed noise sources would be reviewed during detailed design stage. If found necessary, acoustic treatments such as provision of acoustic silencers and acoustic enclosures shall be proposed in order to comply with the relevant noise requirements in the HKPSG.
- 6.4 The location of the fixed noise sources in the proposed Development and the required noise mitigation measures will be reviewed in the detailed design stage.

7. CONSTRUCTION NOISE IMPACT

7.1 The major construction activities of the project site include site formation, backfilling and superstructure, etc. Construction noise will be generated by the use of Powered Mechanical Equipment (PME) such as excavator and dump truck, etc. during the construction work. Given that the details of the construction programme and plant inventory are not available at this stage, a qualitative assessment is then conducted.

7.2 With the implementation of standard practices recommended in the ProPECC PN 1/24 “Minimizing Noise from Construction Activities”, adverse construction noise impact is normally not anticipated. The recommended mitigation measures are summarized below.

Standard Practice for Construction Phase

7.3 The recommended practices below would be considered in all worksites as good practices to limit noise emissions at the source:-

- Good site practices to limit noise emissions at the source;
- Use of quality powered mechanical equipment (QPME);
- Use of site hoarding as noise barrier to screen noise at ground level of NSRs;
- Use of temporary noise barriers, noise enclosure and acoustic mat to screen noise from relatively static PMEs; and
- Alternative use of plant items within one worksite, wherever practicable.

7.4 The above recommended practices would need to be implemented in worksites as good practices where appropriate. Reference shall also be made to EPD’s recommended pollution control clauses for construction contracts.

8. CONCLUSION

- 8.1 Noise assessments have been conducted to predict the noise impacts at the proposed Development.
- 8.2 An assessment has been conducted to predict the road traffic noise impacts on the proposed Development. The prediction of road traffic noise was carried out based on the traffic forecast for Year 2044. For the Base Scenario (without any noise mitigation measures), all noise sensitive rooms in the proposed Development would comply with the 70dB(A) noise criterion. Therefore, no noise mitigation measures are required.
- 8.3 Site survey has been conducted to investigate the fixed noise sources in the vicinity of the proposed Development, no significant fixed noise source was identified. The proposed Development would not be affected by the fixed noise sources.

9. REFERENCES

- [1] "Hong Kong Planning Standards & Guidelines" of March 2014 of Hong Kong Government.
- [2] "Technical Memorandum for the Assessment of Noise from Places Other than Domestic Premises, Public Places or Construction Sites" (IND – TM) issued under the Noise Control Ordinance.
- [3] "RoadNoise 2000" computer software of WS Atkins Noise and Vibration, England.
- [4] "Calculation of Road Traffic Noise" of the Department of Transport, Welsh Office, UK.

Westwood Hong & Associates Ltd

PROJECT: 22598

Section 16 Application for Proposed Redevelopment of Anton Villa at 313 Castle Peak Road, Ting Kau, N.T.

TITLE:

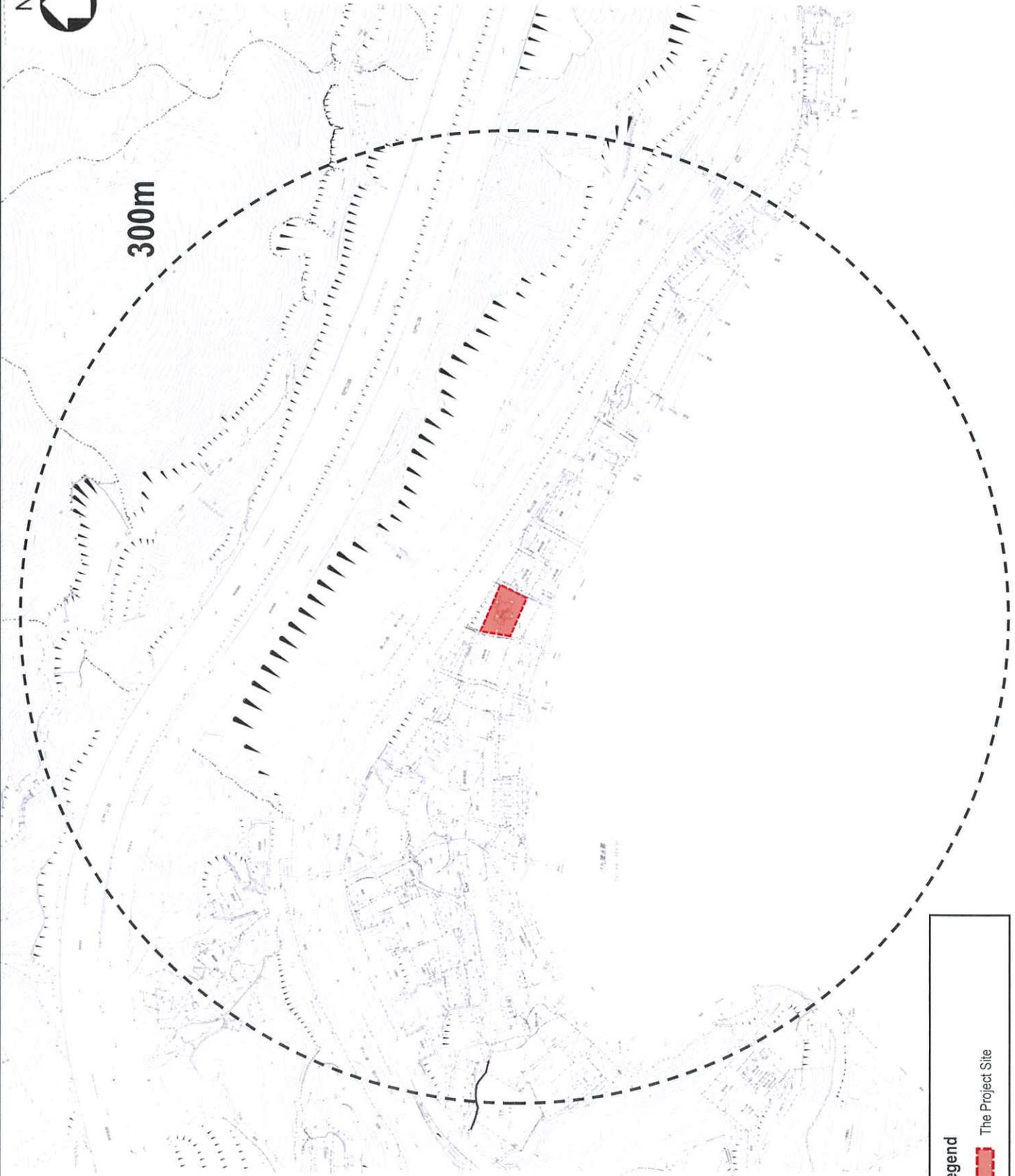
Site Location

FIGURE

1

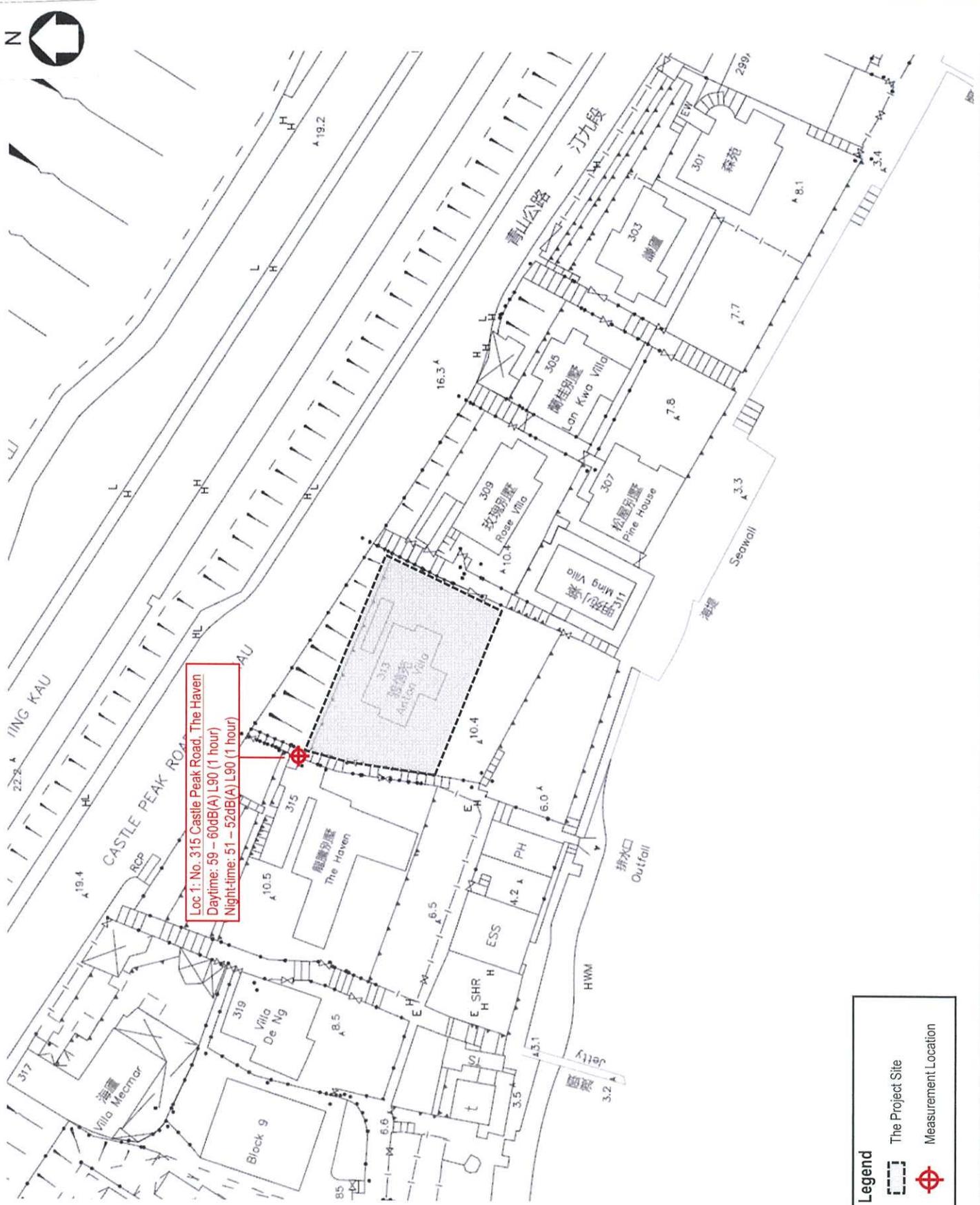


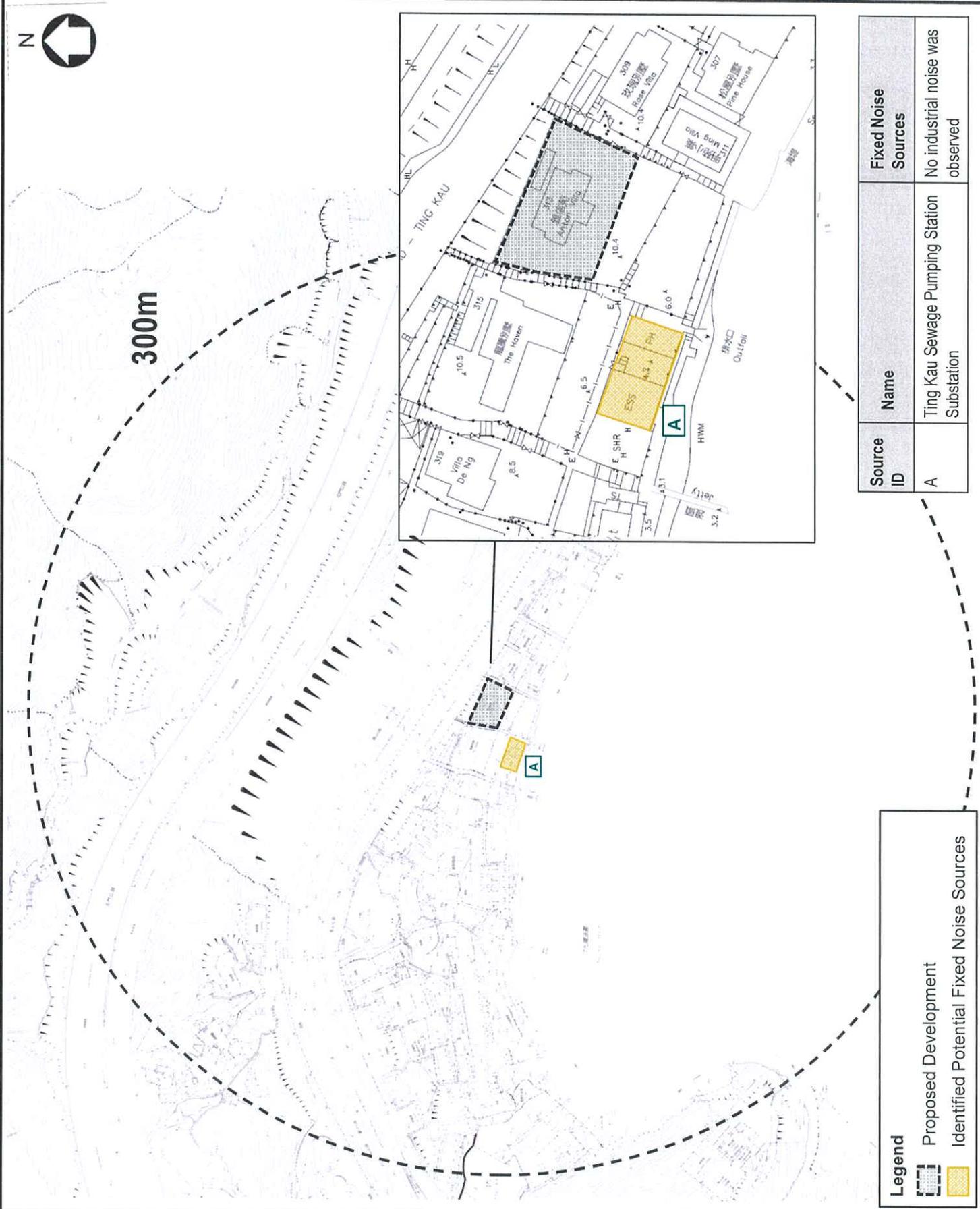
300m



Legend

 The Project Site





Source ID	Name	Fixed Noise Sources
A	Ting Kau Sewage Pumping Station Substation	No industrial noise was observed

Legend

- Proposed Development
- Identified Potential Fixed Noise Sources

Westwood Hong & Associates Ltd

PROJECT: 22598

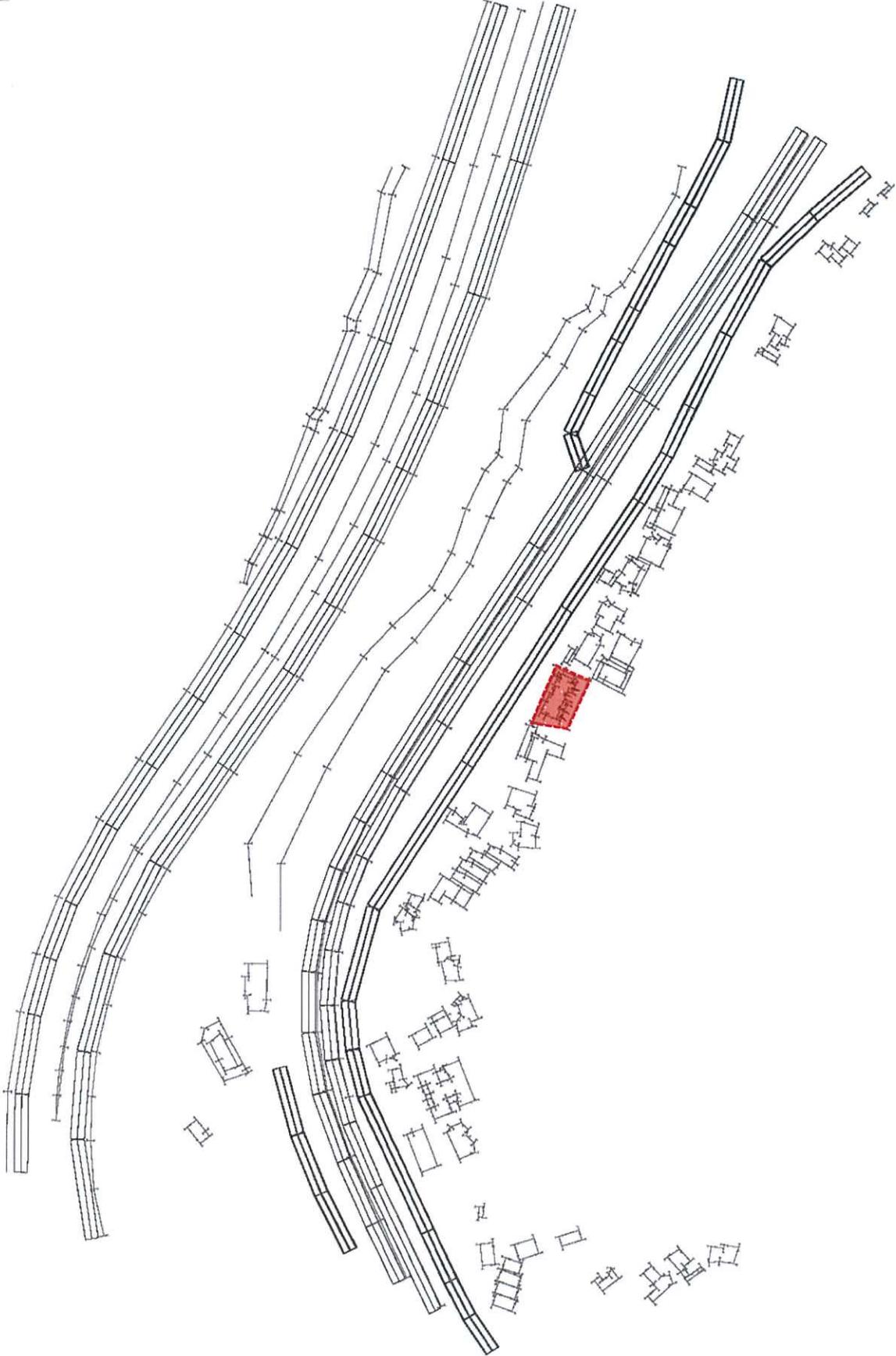
Section 16 Application for Proposed Redevelopment of Anton Villa at 313 Castle Peak Road, Ting Kau, N.T.

TITLE:

Computer Plot of Road Scheme

FIGURE

4



Legend



The Project Site

APPENDIX 1

ARCHITECTURAL DRAWINGS

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

SITE BOUNDARY

BRIDGE ACCESS

TOP ROOF

FLAT ROOF

JACUZZI

FLAT ROOF

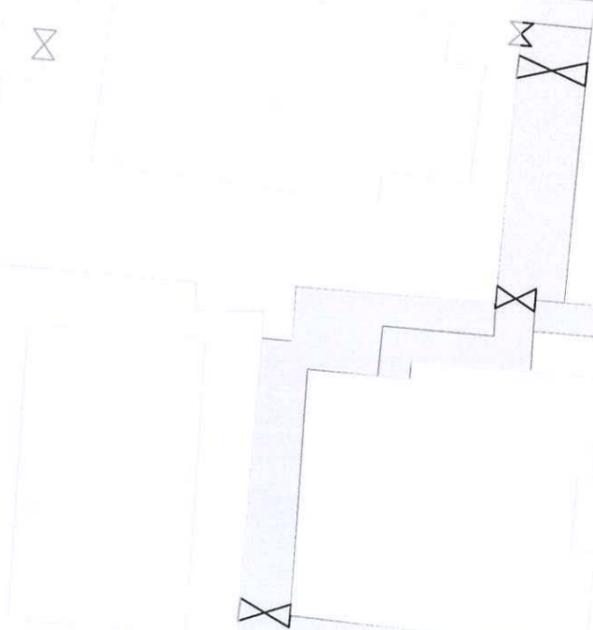
SITE BOUNDARY

LAWN

PLAYGROUND

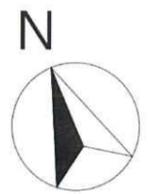
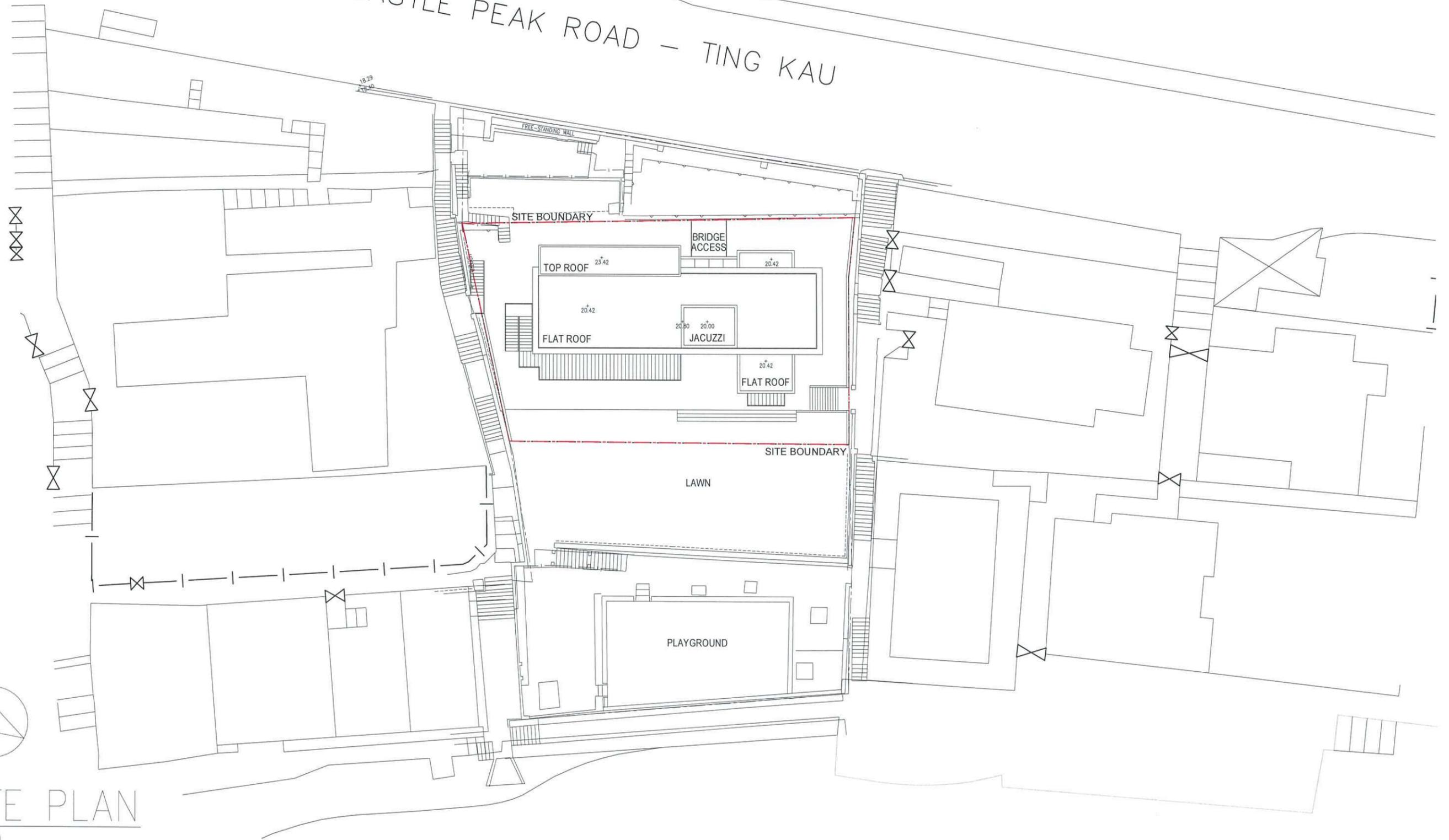


SITE PLAN
1: 300



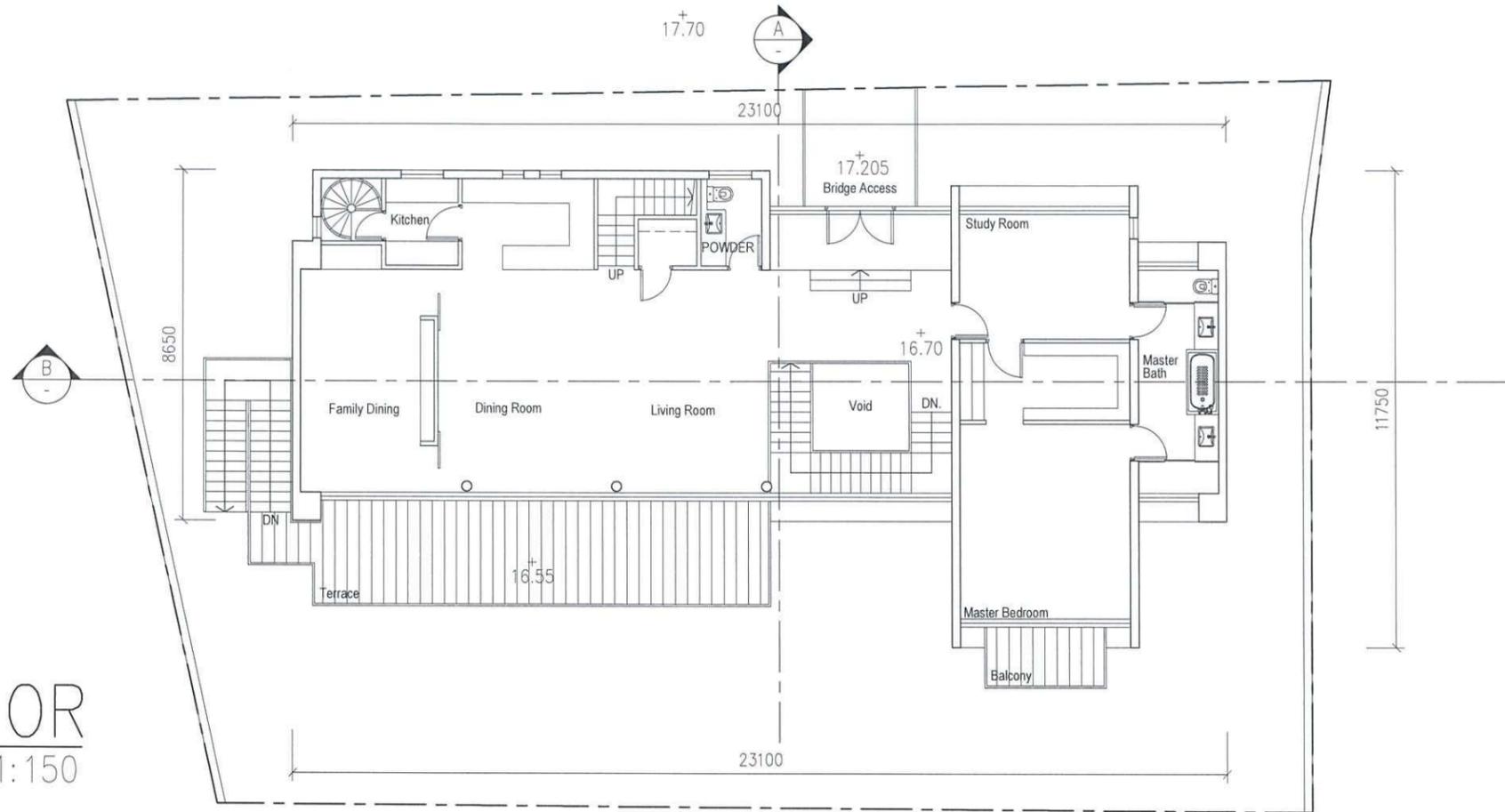
CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

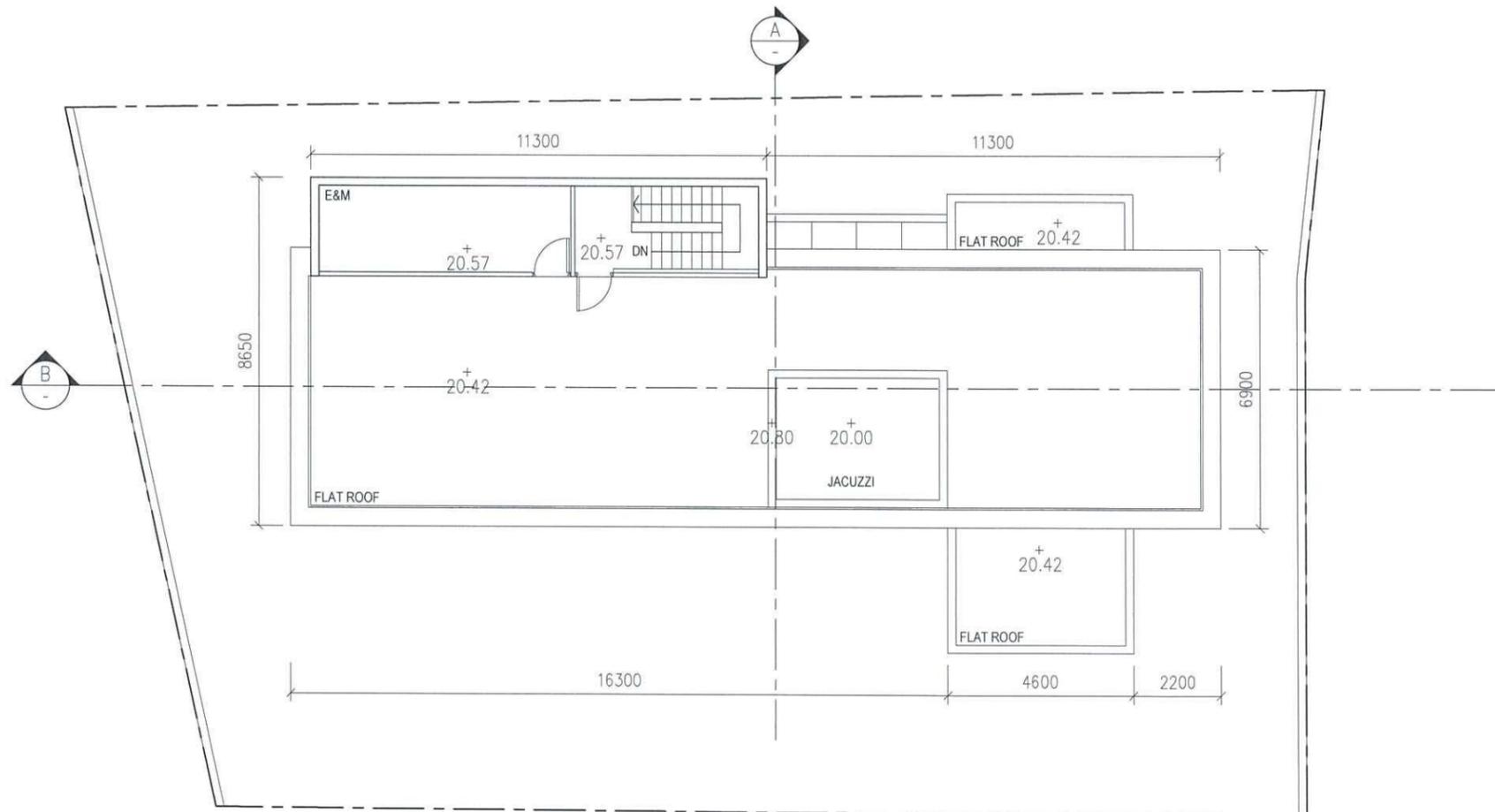


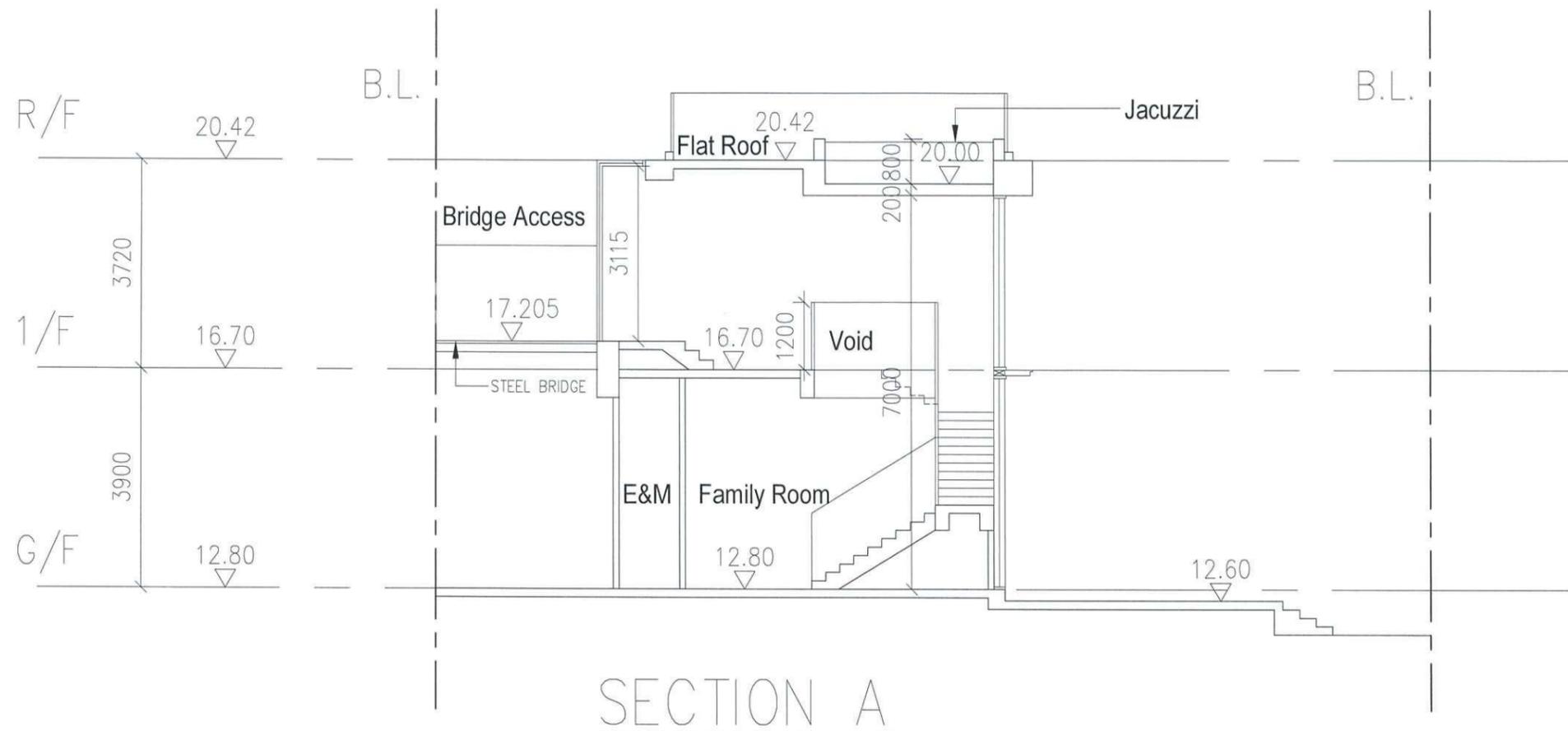
SITE PLAN
1:300

1ST/ FLOOR
1:150



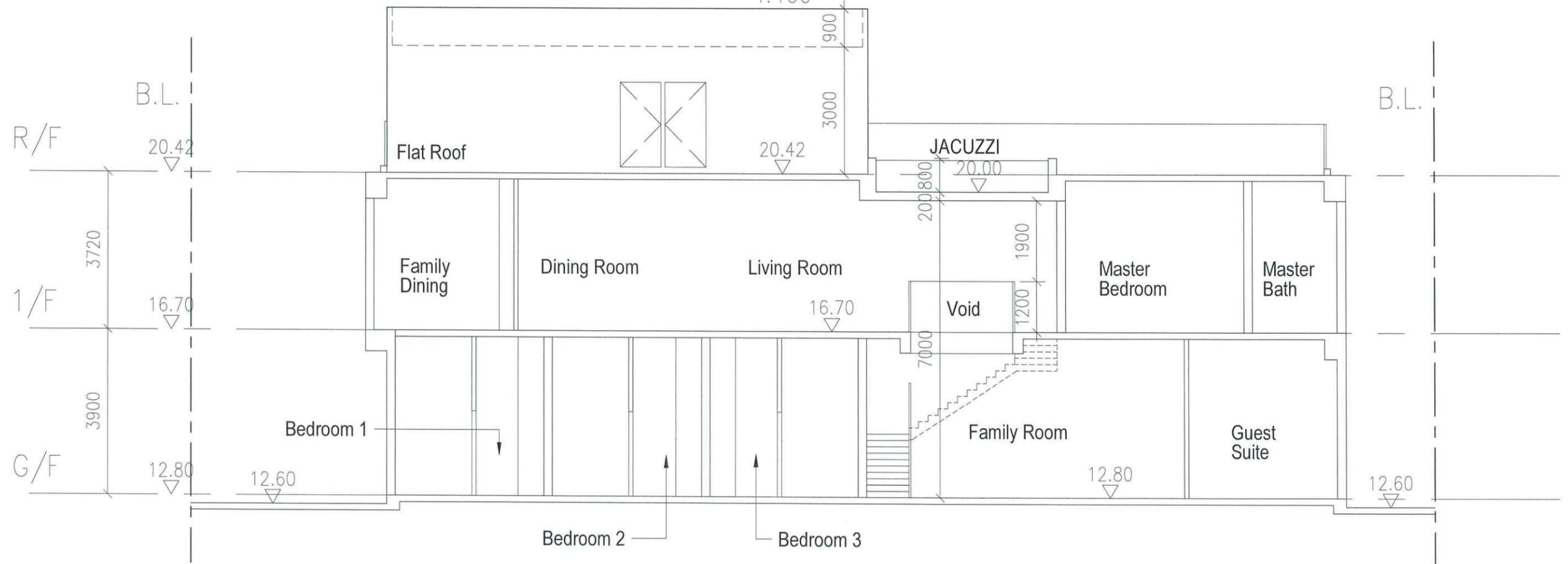
ROOF
1:150





SECTION A

1:100



SECTION B

1:100

APPENDIX 2

PHOTOGRAPHS TAKEN ON SITE

Westwood Hong & Associates Ltd

PROJECT: 22598

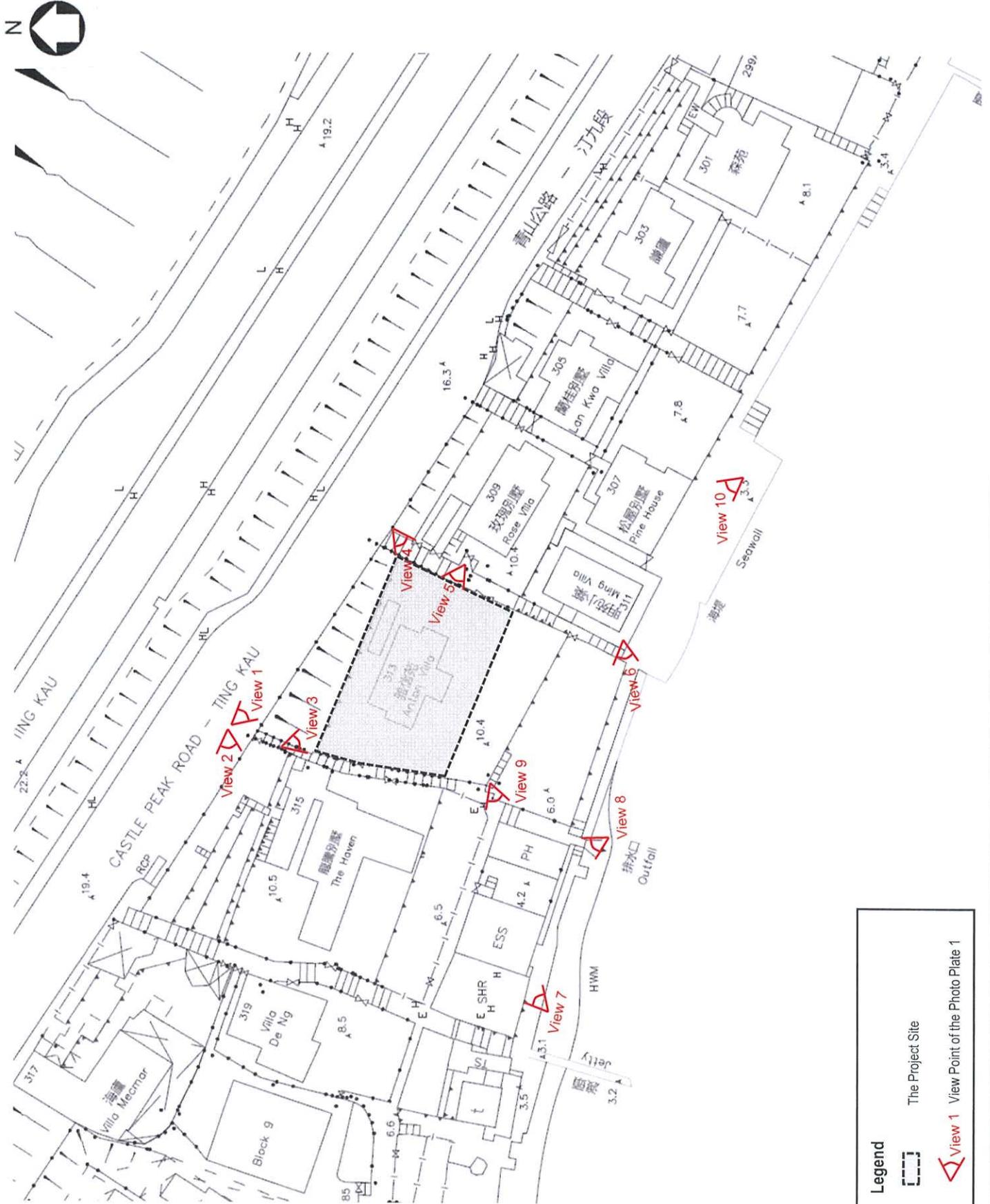
Section 16 Application for Proposed Redevelopment of Anton Villa at 313 Castle Peak Road, Ting Kau, N.T.

TITLE:

View Points of Site Photos

FIGURE

A2



Legend

- The Project Site
- View 1 View Point of the Photo Plate 1

Project Site



Plate 1: Project Site



Plate 2: The adjoining residential house, no. 315 Castle Peak Road

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PROJECT: 22598
Section 16 Application for Proposed
Redevelopment of Anton Villa at 313
Castle Peak Road, Ting Kau, N.T.

TITLE:

Photographs taken on Site

FIGURE

A2-1



Plate 3: The existing house of the Project Site



Plate 4: The existing house of the Project Site

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 Section 16 Application for Proposed
 Redevelopment of Anton Villa at 313
 Castle Peak Road, Ting Kau, N.T.

TITLE:

Photographs taken on Site

FIGURE

A2-2



Plate 5: The existing house of the Project Site

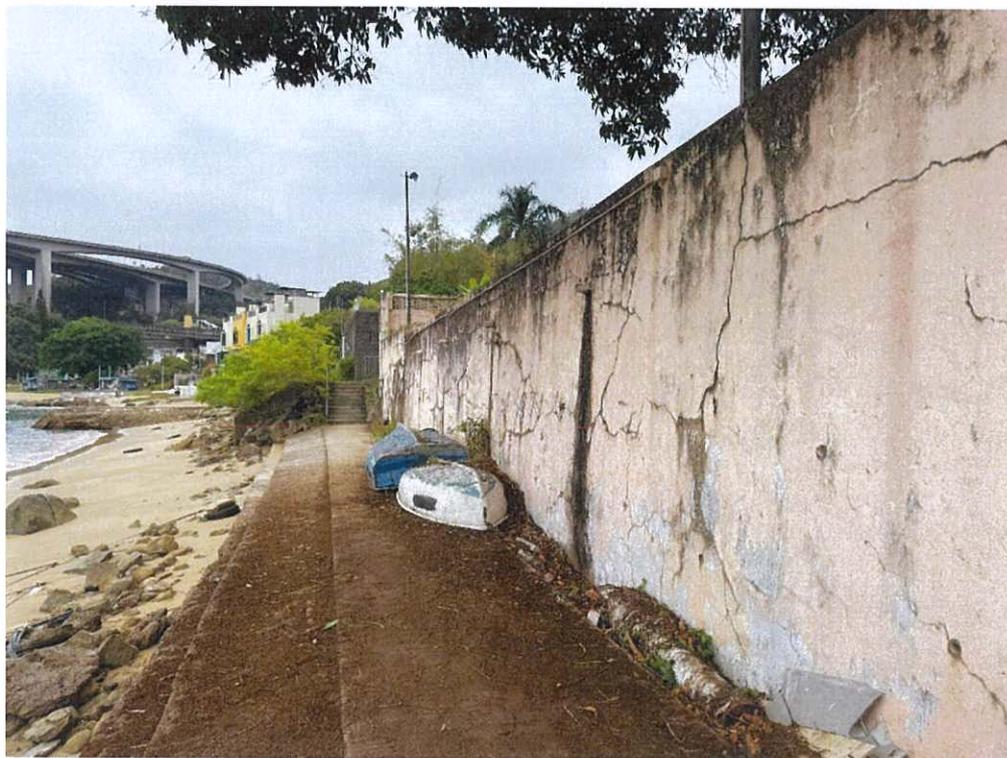


Plate 6: The existing house of the Project Site

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Section 16 Application for Proposed
Redevelopment of Anton Villa at 313
Castle Peak Road, Ting Kau, N.T.

TITLE:

Photographs taken on Site

FIGURE

A2-3



No industrial noise observed



Plate 7: Ting Kau Sewage Pumping Station Substation



Plate 8: The structure building of Sewage Pumping Station Substation

Westwood Hong & Associates Ltd

TITLE:

FIGURE

PROJECT: 22598

Section 16 Application for Proposed
Redevelopment of Anton Villa at 313
Castle Peak Road, Ting Kau, N.T.

Photographs taken on Site

A2-4

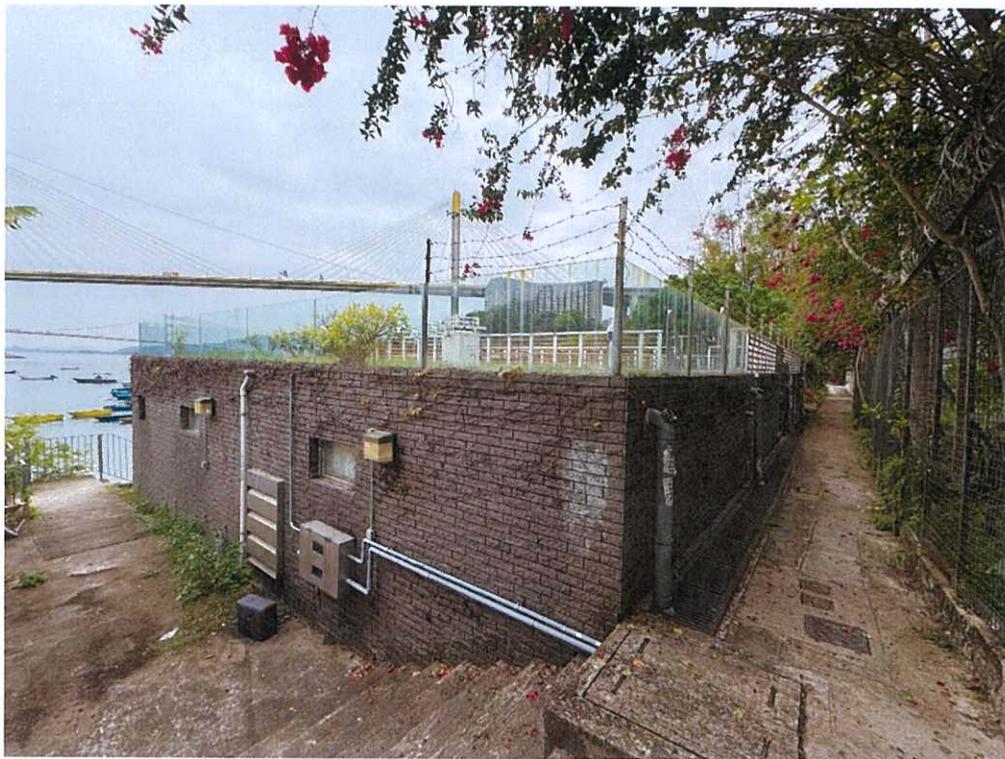


Plate 9: The structure building of Sewage Pumping Station Substation



Plate 10: The adjoining residential houses

Westwood Hong & Associates Ltd

PROJECT: 22598
 Section 16 Application for Proposed
 Redevelopment of Anton Villa at 313
 Castle Peak Road, Ting Kau, N.T.

TITLE:

Photographs taken on Site

FIGURE

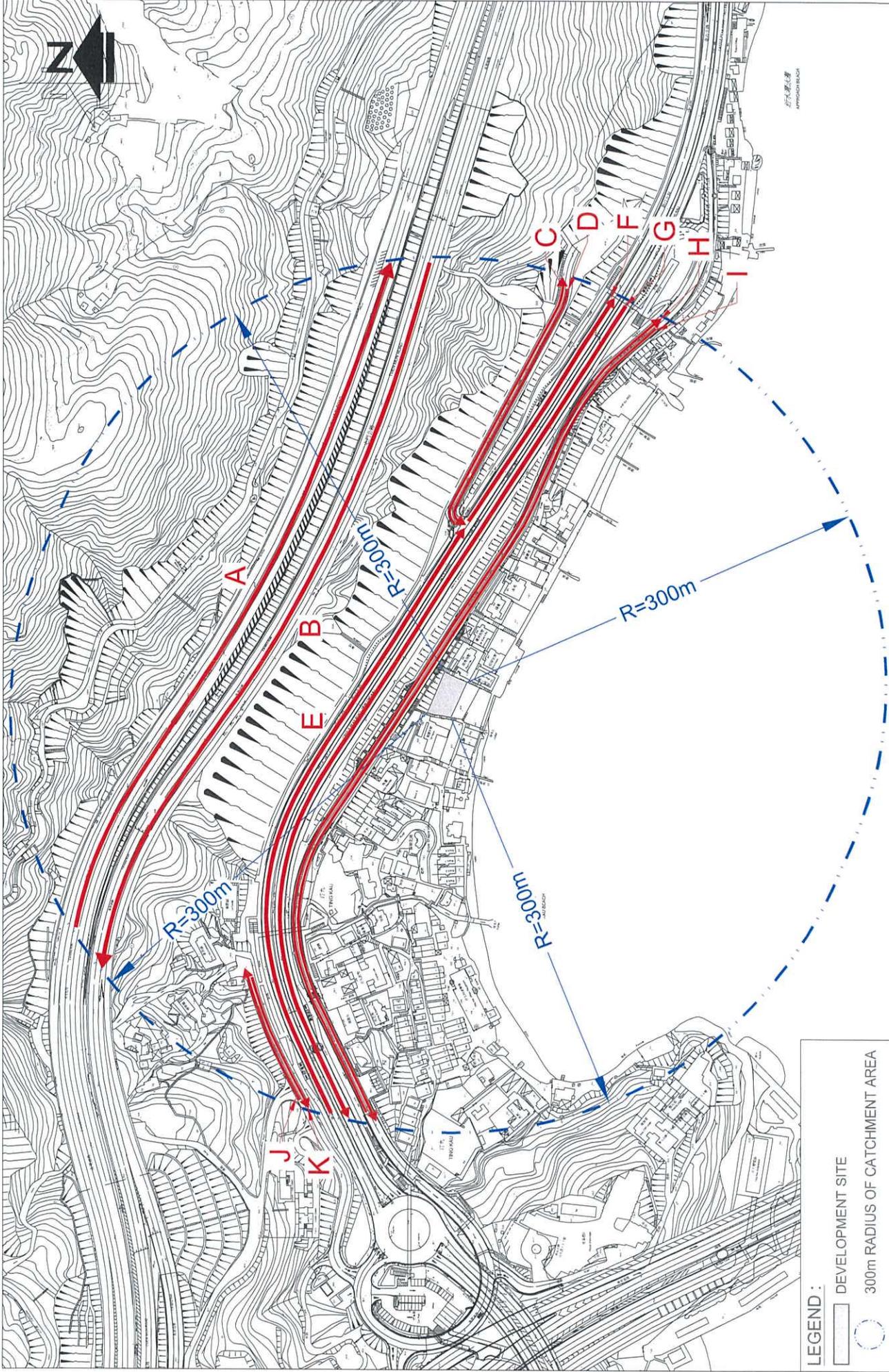
A2-5

APPENDIX 3

TRAFFIC FORECAST FOR YEAR 2044
(provided by CTA Consultants Limited)

24100HK**S16 Traffic Study Proposal at Anton Villa, 313 Castle Peak Road, Ting Kau**
TRAFFIC FORECAST FOR TRAFFIC NOISE IMPACT ASSESSMENT

Link No.	Road Name	Speed	Direction	Year 2044			
				AM Peak		PM Peak	
				Traffic Flow (veh/hr)	HV%	Traffic Flow (veh/hr)	HV%
A	Tuen Mun Road	70	EB	3820	37%	2660	42%
B	Tuen Mun Road	70	WB	2050	45%	3320	29%
C	Local Road	50	EB	10	20%	10	20%
D	Local Road	50	WB	10	20%	10	20%
E	Castle Peak Road - New Ting Kau	70	EB	460	38%	240	25%
F	Castle Peak Road - New Ting Kau	70	EB	460	39%	240	25%
G	Castle Peak Road - New Ting Kau	70	WB	190	33%	390	16%
H	Castle Peak Road - Ting Kau	50	EB	10	20%	10	20%
I	Castle Peak Road - Ting Kau	50	WB	60	52%	80	18%
J	Ting Yat Road	50	EB	10	20%	10	20%
K	Ting Yat Road	50	WB	10	20%	10	20%



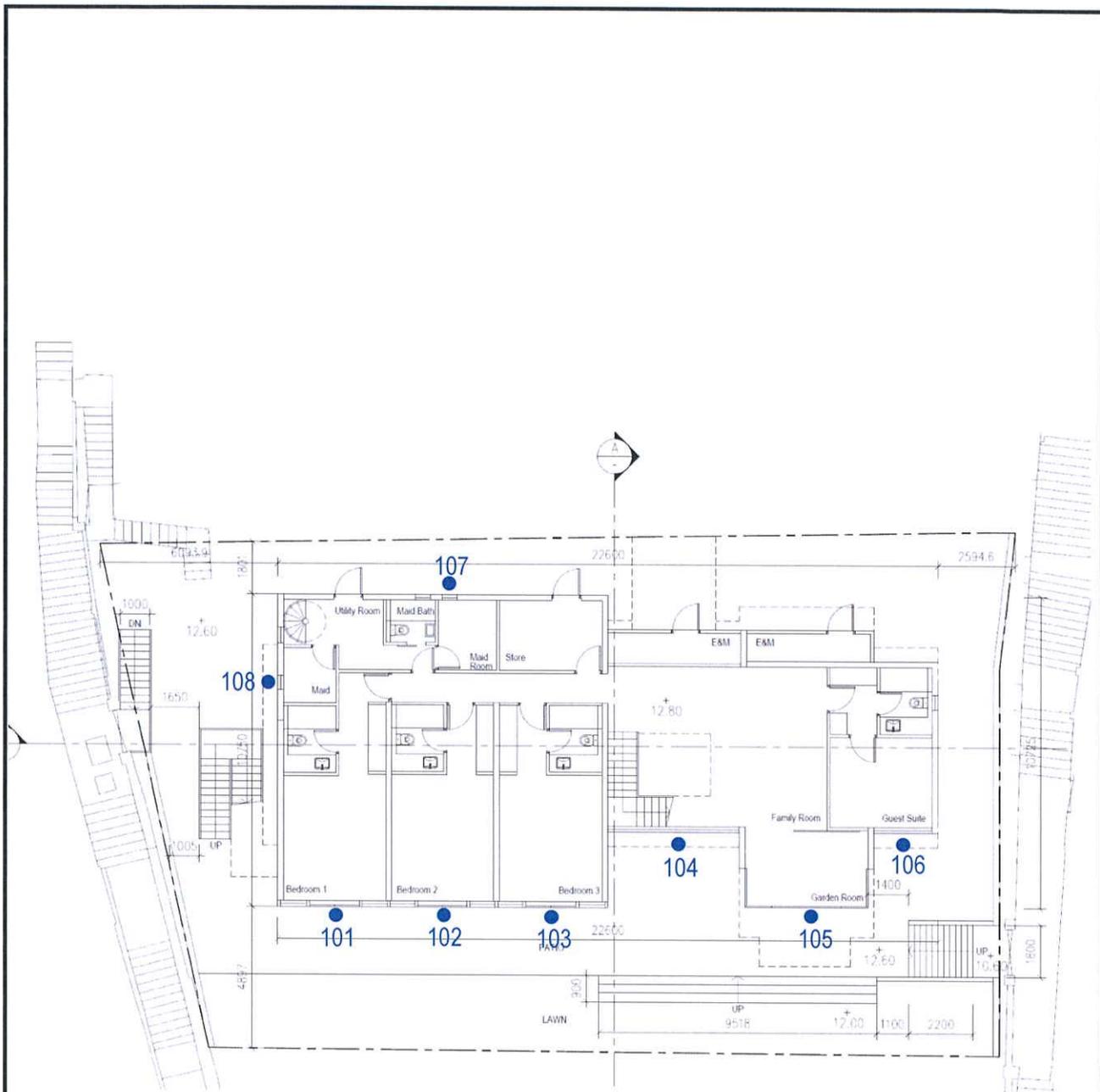
LEGEND :

	DEVELOPMENT SITE
	300m RADIUS OF CATCHMENT AREA

PROJECT TITLE: S16 Traffic Study Proposal at Anton Villa, 313 Castle Peak Road, Ting Kau	
FIGURE NO: 1	DRAWING TITLE: INDEX PLAN
PROJECT NO: 24100HK	SCALE: 1 : 3600 @A4
DATE: 13 MAR 2025	

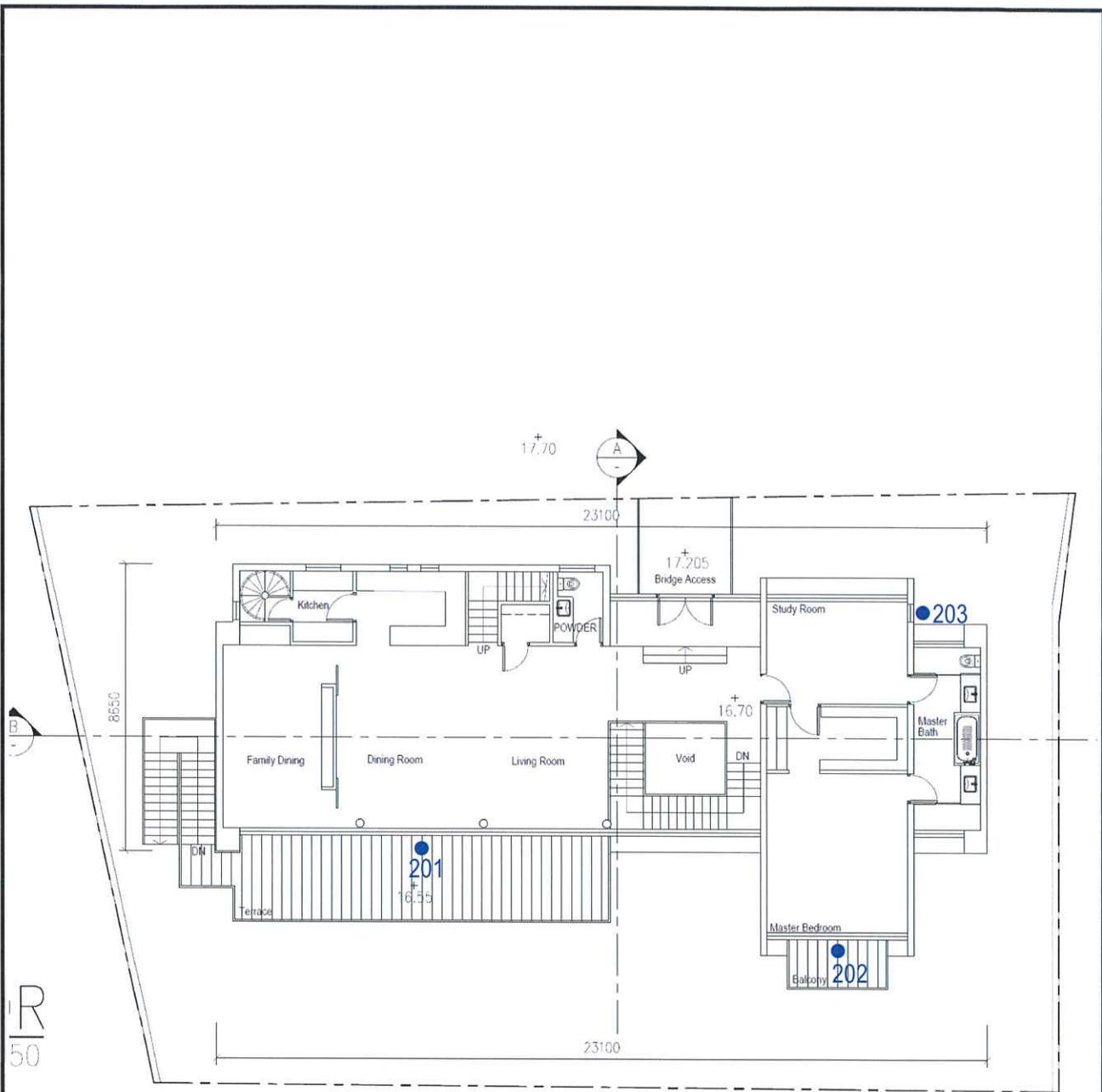
APPENDIX 4

PREDICTED ROAD TRAFFIC NOISE LEVELS FOR ALL FLOORS (BASE SCENARIO)



Ground Floor

<p>Westwood Hong & Associates Ltd</p>	<p>TITLE:</p>	<p>FIGURE</p>
<p>PROJECT: 22598 Section 16 Application for Proposed Redevelopment of Anton Villa at 313 Castle Peak Road, Ting Kau, N.T.</p>	<p>Location of Assessment Points (Road Traffic Noise)</p>	<p>A4-1</p>



First Floor

<p>Westwood Hong & Associates Ltd</p>	<p>TITLE:</p>	<p>FIGURE</p>
<p>PROJECT: 22598 Section 16 Application for Proposed Redevelopment of Anton Villa at 313 Castle Peak Road, Ting Kau, N.T.</p>	<p>Location of Assessment Points (Road Traffic Noise)</p>	<p>A4-2</p>

Job No. : 22598
 Job Title : Anton Villa
 Scenario: Unmitigated

Floor	Height of Assessment Point (mPD)	Receiver										
		101	102	103	104	105	106	107	108	201	202	203
1	14.0	47.7	42.5	42.0	38.4	44.5	56.3	59.1	59.0			
2	17.9									45.8	49.1	68.0

max 47.7 42.5 42.0 38.4 44.5 56.3 59.1 59.0 45.8 49.1 68.0

宏 基 測 量 師 行

9/F, Hecny Tower, 9 Chatham Road South, Tsim Sha Tsui, Kowloon, Hong Kong

Tel: (852) [REDACTED] Fax: (852) 2739 1913 Email: [REDACTED]

香港九龍尖沙咀漆咸道南9號均輝大廈9樓

Estate Agent Licence (Company) No. C-006243 地產代理(公司)牌照號碼:C-006243

19 August 2025

Our Ref.: TW/TPN/2608BA/L04

Secretary

Town Planning Board

15/F, North Point Government Offices

333 Java Road, North Point

Hong Kong

By Email and Post

Dear Sir/Madam,

**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW134)**

We refer to the captioned case and the departmental comments received, and would like to respond as follows so as to re-activate the planning application.

	Comments	Response
1.	Comments from Tsuen Wan and West Kowloon District Planning Office, PlanD (Contact Person: Ms. Jacqueline CHAN // Tel: 2417 6686)	
L.	Please clarify whether the building height is “about 20.42mPD (measured up to main roof level)” or “not more than 20.42mPD (measured up to main roof level)”.	We wish to clarify that the building height is "about 20.42mPD (measured up to main roof level".
2.	Drawings 1 and 2 of Appendix 4 (Proposed Floor Layout Plans) — Please explain the meaning of the colours used in Drawing 1 by adding legends as necessary.	Please refer to supplementary attachment.

Our Ref.: TW/TPN/2608BA/L04

2.	<p>Comments from Geotechnical Engineering Office, CEDD (Contact Person: Ms. Celia YANG // Tel: 2762 5372)</p>	
1.	<p>The subject planning application could affect or be affected by Feature Nos. 6SE-D/FR57, 6SE-D/FR203, 6SE-D/R113, 6SE-D/R114, 6SE-D/R115, 6SED/R158 and 6SE-D/R215, and meets the criteria for submission of a Geotechnical Planning Review Report (GPRR). Location plan of the slopes is enclosed for your reference (Annex A). In accordance with the Guidance Notes on Application for Permission under Section 16 of the Town Planning Ordinance (Cap. 131), the applicant should submit a GPRR to support the application. The requirement of a GPRR is as attached (Annex B).</p>	<p>According to the OZP, noise issue is the ONLY concern for the captioned s.16 application for relaxation of plot ratio restriction. With this application; any issue on geotechnical matters shall be dealt with at General Building Plan submission stage.</p>
2.	<p>Please be reminded to submit the proposed building works to the Buildings Department for approval as required under the provisions of the Buildings Ordinance.</p>	<p>Noted.</p>

Our Ref.: TW/TPN/2608BA/L04

	Comments	Response
3.	Comments from Transport Department (Contact Person: Mr. Stanley SIN // Tel: 2399 2233)	
	<p>It is noted that the submission does not include a Traffic Impact Assessment (TIA).</p> <p>The applicant should provide a TIA to clarify the potential traffic implications arising from the proposed development and the assessment should include but not limited to the followings:</p> <ul style="list-style-type: none"> i) additional traffic generation and attraction arising from this development; ii) vehicular access, parking provisions and loading/unloading facilities, if any; iii) pedestrian connectivity between the development and public footpath. 	<ul style="list-style-type: none"> - Despite the proposed increase in plot ratio, the proposed redevelopment being continued to be a single-family residence will not result in any increase in number of residents. - There is no vehicular access, parking and loading/unloading facility in the proposed house development that is the same as its current condition. - Pedestrian movements of the residents will continue to use the existing public footpath on the east of the Application Site without alteration. - In view of the above, no adverse traffic implications of any kind are anticipated.
4.	Comments from Landscape Unit, Urban Design & Landscape Section, PlanD (Contact Person: Mr. Justin OR // Tel: 3565 3948)	
	<p>Although “no tree felling” is required as mentioned in Part 9 of the application form no. S16-I, Appendix 2 (Photographs taken on site) and the 2024 aerial photos indicate that landscape resources, i.e. existing tree(s), are located within the application site. In the absence of a tree/vegetation survey, the Applicant should clarify whether the proposed public utility installation and</p>	<p>According to the OZP, noise issue is the ONLY concern for the captioned s.16 application for relaxation of plot ratio restriction, therefore, any tree issues shall only be dealt with at General Building Plan submission stage.</p>

Our Ref.: TW/TPN/2608BA/L04

<p>associated excavation works will not affect landscape resources. Additionally, the applicant should supplement the submission with a board-brush tree survey, along with additional section(s), site photos(s), or other relevant illustration(s) to effectively demonstrate the alignment of proposed works and whether “no tree felling” is required to facilitate TPB’s consideration.</p>	
<p>5. Comments from Urban Design Unit, Urban Design & Landscape Section, PlanD (Contact Person: Mr. Justin HO // Tel: 3565 3937)</p>	
<p>Para. 7.2 — Please supplement the range of building setbacks measured from the site boundary and briefly advise whether fresh air ventilation is still allowed by the proposed development.</p>	<p>Please find the building setbacks measured from the site boundary below and refer to drawings at Appendix 4 of the Planning Statement for details.</p> <ul style="list-style-type: none"> - NE Side: about 1800mm - SE Side: about 2594mm - SW Side: about 4897mm - NW Side: about 6093mm <p>With the stepping site condition facing the coastal and adequate building setback from the site boundary, windows for habitable spaces are facing to open air and fresh air ventilation is still allowed by the proposed development.</p>

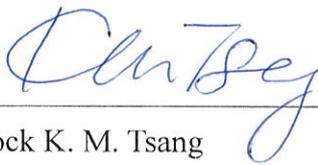
Our Ref.: TW/TPN/2608BA/L04

Should you have any queries, please feel free to contact our Ms. Cherin Ng or the undersigned at [REDACTED]

Yours faithfully,

For and on behalf of

LANBASE SURVEYORS LIMITED



Rock K. M. Tsang

Director

RK/CN

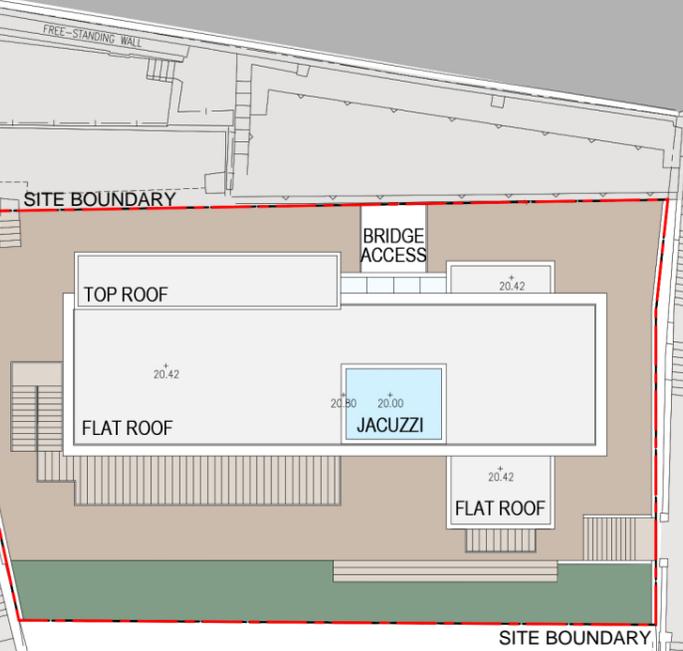
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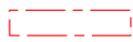
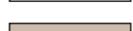
c.c. Client

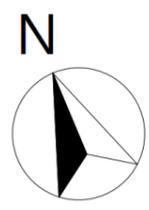
DPO/ Tsuen Wan and West Kowloon (Attn: Miss Iris Yik)

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU



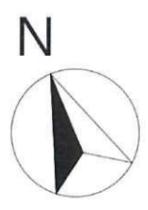
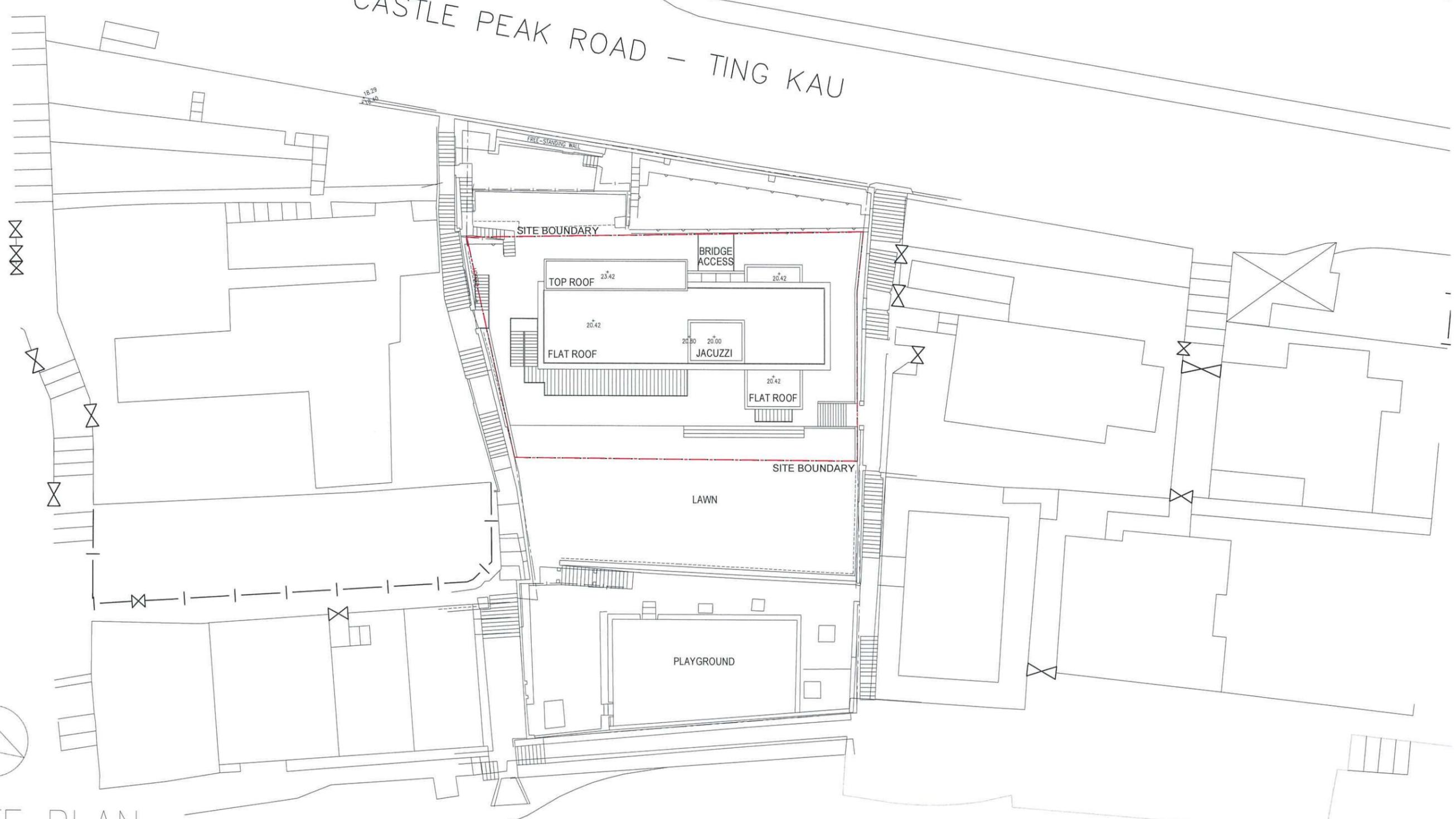
- LEGENDS:
-  SITE BOUNDARY
 -  JACUZZI
 -  GLASS CEILING
 -  CONCRETE ROOF
 -  LANDSCAPE
 -  TIMBER DECK
 -  GARDEN
 -  SURROUNDING PAVEMENTS
 -  SURROUNDING BUILDINGS
 -  SURROUNDING LANDS
 -  MAIN ROAD



SITE PLAN
1:300

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU



SITE PLAN
1:300

LEGENDS:
[Red dashed line symbol] SITE BOUNDARY

宏 基 測 量 師 行

9/F, Hecny Tower, 9 Chatham Road South, Tsim Sha Tsui, Kowloon, Hong Kong
Tel: (852) 2301 1869 Fax: (852) 2739 1913 E-mail: info@lanbase.com.hk

香港九龍尖沙咀漆咸道南9號均輝大廈9樓
Estate Agent Licence (Company) No. C-006243 地產代理(公司)牌照號碼:C-006243

Our Ref.: TW/TPN/2608BA/L05

2 October 2025

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email and Post

Dear Sir/Madam,

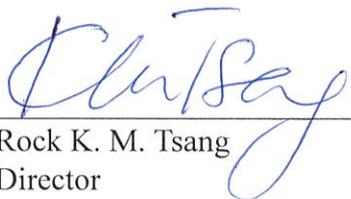
**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories *
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW/134)**

We refer to the captioned case and the comments received from Landscape Unit, Urban Design & Landscape Section.

We attach herewith the Tree Survey Report for your reference. According to the Tree Survey Report, the construction works for the proposed development will lead to disturbance of the seven surveyed existing trees. None of the disturbed trees within the Application Site fulfils the requirements for transplanting, therefore the seven trees are recommended to be felled.

Should you have any queries, please feel free to contact our Ms. Cherin Ng or the undersigned at [REDACTED]

Yours faithfully,
For and on behalf of
LANBASE SURVEYORS LIMITED



Rock K. M. Tsang
Director
RK/CN

Encl.

c.c. Client

DPO/ Tsuen Wan and West Kowloon (Attn: Ms. Jacqueline Chan)

**Section 16 Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
For a Permitted House Development
At Lot No. 405 in D.D. 399,
No. 313 Castle Peak Road, Ting Kau**

Tree Survey Report

30 Sep 2025

Prepared by:	LUK Ka Chun, Ray
Position	Registered Arborist No. TM422516
Date:	30 Sept 2025
Signature:	
Revision No.:	0

CONTENTS

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2	THE PROPOSED REDEVELOPMENT	4
3	RESULTS OF THE TREE SURVEY	5
3.1	EXISTING VEGETATION	5
3.2	RECOMMENDATION	5

APPENDIX

- Appendix A – Tree Survey Plan*
- Appendix B – Tree Survey Schedule*
- Appendix C – Photographic Record of Trees*

1

INTRODUCTION

The Proposed Development of a Permitted House (The Proposed Development) is located at Lot No. 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau. This report is prepared in support of the Proposed Development under this Section 16 Planning Application.

This report outlines the approach and findings of the tree survey and describes the type, number and condition of all existing trees found within the Application Site. Effort was also made to advise the values of the existing vegetation and necessary protection approach. The tree survey was conducted on **25 September 2025**.

The following legislation, standards and guidelines are applicable to the tree survey, felling, and compensatory planting associated with the proposed building works for the project.

- DEVB TCW No. 5/2020 – Registration and Preservation of Old and Valuable Trees; and
- LAO Practice Note No. 6/2023 – Processing of Tree Preservation and Removal Proposals for Building Development in Private Projects – Compliance with Tree Preservation Clause under Lease.

This Tree Preservation Proposal presents:

- The existing tree vegetation; and
- Planting Proposal of the Proposed Development.

2

THE PROPOSED REDEVELOPMENT

The site is situated on a hillside of Ting Kau beside Castle Peak Road – Ting Kau. The existing house is located on a podium, with a retaining wall between the house and the main access road.

The Proposed Redevelopment comprises a 2-storey domestic house. Drawings of the Proposed Redevelopment could be referred to Architect's drawings submitted under the same application.

Due to the construction works, vegetation within the Application Site boundary would be affected by the site formation work. The detailed tree survey shall refer to Section 3 below.

3 RESULTS OF THE TREE SURVEY

3.1 EXISTING VEGETATION

A tree survey was carried out on **25 September 2025** in accordance with LAO PN No. 6/2023. A total of 7 trees within the Site were recorded. The photographic records of these existing trees are in Appendix C. The surveyed existing tree species are outlined below:

Table 1.0 Existing Tree Species Summary (Surveyed Trees)

Scientific Name	Chinese Name	Quantity	Tree No.
<i>Platycladus orientalis</i>	側柏	2	TR8, TR8A
<i>Syzygium jambos</i>	蒲桃	1	TR36
<i>Plumeria rubra</i>	雞蛋花	1	TR21
<i>Dimocarpus longan</i>	龍眼	1	TR27
<i>Averrhoa carambola</i>	楊桃	1	TR26
<i>Dyopsis lutescens</i>	散尾葵	1	TR38
	Total:	7	

The Site is dominated by *Platycladus orientalis* 側柏 (2 nos.) which is common species in Hong Kong planted for landscape use.

No OVT or protected species has been identified in accordance with the DEVB TCW No. 5/2020 – Registration and Preservation of Old and Valuable Trees, and the Forests and Countryside Ordinance respectively.

3.2 RECOMMENDATION

In this Proposed Redevelopment, the construction works will lead to disturbance of seven surveyed existing trees. The trees are growing at the edge of the Site and are close to the building. The proposed building layout has been overlaid on Tree Survey Plan in Appendix A to illustrate the conflict of development and impact on the existing trees. Table 2.0 provides a summary of the recommendation for the treatment of these surveyed existing trees.

Table 2.0 Summary of Tree Recommendation

Recommendation	Number of Trees	Percentage of Trees
Trees to be Retained	0	-
Trees to be Transplanted	0	-
Trees to be Felled	7	100%
Total Number of Trees	7	100%

Felling and Transplanting of Trees

For trees that will be in conflict with the proposed development shall be proposed to be transplanted if they fulfil all the criteria below:

- a. Trees have high amenity value;
- b. Trees with good form and health;
- c. Suitable access;
- d. Tree species able to be transplanted easily;
- e. Trees have suitable size and;
- f. Trees are young to semi-mature.

None of the disturbed trees within the Application Site boundary can fulfil the above requirement and are recommended to be transplanted.

Please refer to the supporting information as follows:

- The existing locations of surveyed trees are shown on the Tree Survey Plan (**Appendix A**)
- The schedule of surveyed trees, together with their size and condition assessment is presented in Tree Assessment Schedule (**Appendix B**)
- Photographic records of Trees are marked on photos (**Appendix C**)

Section 16 Planning Application for
A Permitted House Development
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau



Appendix A – Tree Survey Plan

Appendix B – Tree Survey Schedule

Tree Assessment Schedule

Address: Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau
 Prepared by Registered Arborist
 Field Survey conducted on 25 Sep 2025
 To be read in conjunction with drawing number 3404/01

Tree No.	Botanical Name	Chinese Name	Survey Size			Form	Health Condition	Structural Condition	Amenity Value	Survival Rate after Transplantation	Justification	Recommendation			Remarks
			Height (m)	DBH (mm)	Spread (m)							Retain	Transplant	Fell	
TR8	<i>Platycladus orientalis</i>	圆柏	5.0	168.0	1.0	Poor	Average	Average	Medium	Low			1	in tree pit, codominant trunks, wounds from hard pruning	
TR8A	<i>Platycladus orientalis</i>	圆柏	5.0	199.6	2.0	Average	Average	Average	Medium	Low			1		
TR21	<i>Plumeria rubra</i>	雞蛋花	2.5	175.0	1.5	Poor	Average	Average	Medium	Low			1	in tree pit, wounds from hard pruning	
TR26	<i>Averrhoa carambola</i>	楊桃	7.0	350.0	8.0	Average	Average	Average	Medium	Low			1	in tree pit, codominant trunks, crown close to the house, crown pruning recommended	
TR27	<i>Dimocarpus longan</i>	龍眼	6.0	389.2	5.0	Average	Average	Average	Medium	Low			1	in tree pit, codominant trunks	
TR36	<i>Syzygium jambos</i>	蒲桃	10.0	730.0	7.0	Average	Average	Average	Medium	Low			1	in tree pit, codominant trunks	
TR38	<i>Dyopsis lutescens</i>	散尾葵	9.0	95.0	5.0	Average	Average	Average	Medium	Low			1	multi-stems	

Good	Average	Poor	Good	Average	Poor	Dead	Good	Average	Poor	Excellent	High	Low
0	5	2	0	7	0	0	0	7	0	0	0	0
0%	71%	29%	0%	100%	0%	0%	0%	100%	0%	0%	0%	0%

Surveyed Total no. of trees
7

Legend

Tree Condition / Health
 G Good
 F Fair
 P Poor
 D Dead

Tree Form
 G Good
 F Fair
 P Poor

Structural Condition
 G Good
 F Fair
 P Poor

Justification for Tree Felling

- A low amenity value
- B poor health, structure or form
- C irrecoverable form after transplanting (e.g. transplanting requires substantial crown and root pruning)
- D low chance of survival upon transplanting
- E undesirable species (e.g. *Leucaena leucocephala* which is an invasive, exotic and self-seeding tree), or
- F trees grown under poor conditions which have limited the formation of proper root ball necessary for transplanting

Suitability for Transplanting

- H High Survival Rate expected after transplantation
- M Medium Survival Rate expected after transplantation
- L Low Survival Rate expected after transplantation

Amenity Value

- E Excellent
- G Good
- F Fair
- P Poor

With cultural significance or high functional value or high visual impact, or mature and good health, good condition and good form
 Common species and good health, good condition and good form
 Common species and average health, average condition and average form
 Common species and little or no functional or visual value and poor health, poor condition and poor form

Section 16 Planning Application for
A Permitted House Development
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau



Appendix C – Photographic Record of Trees

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR8(F) - Overview



TR8(F) - Wounds from hard pruning



TR8(F) - Trunk



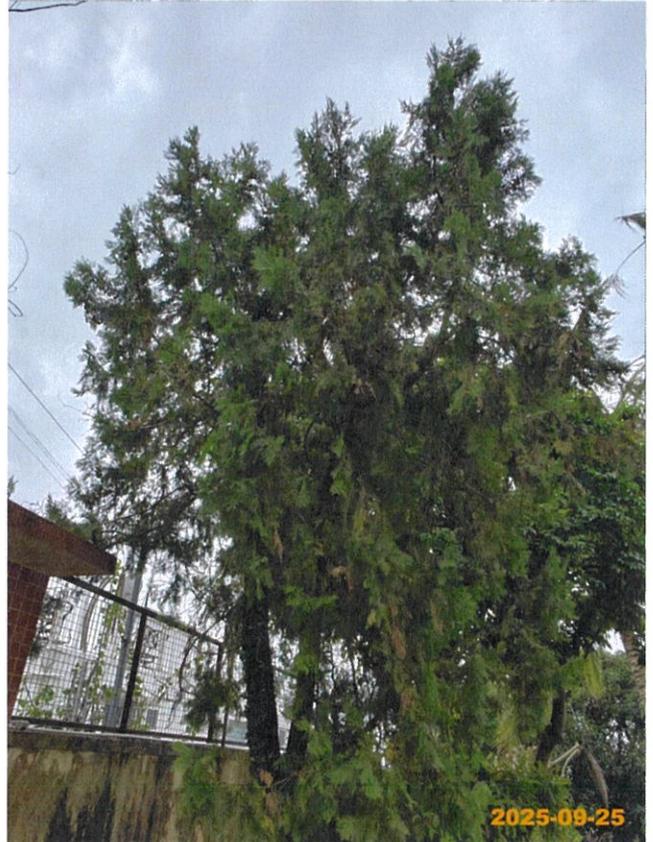
TR8(F) -Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

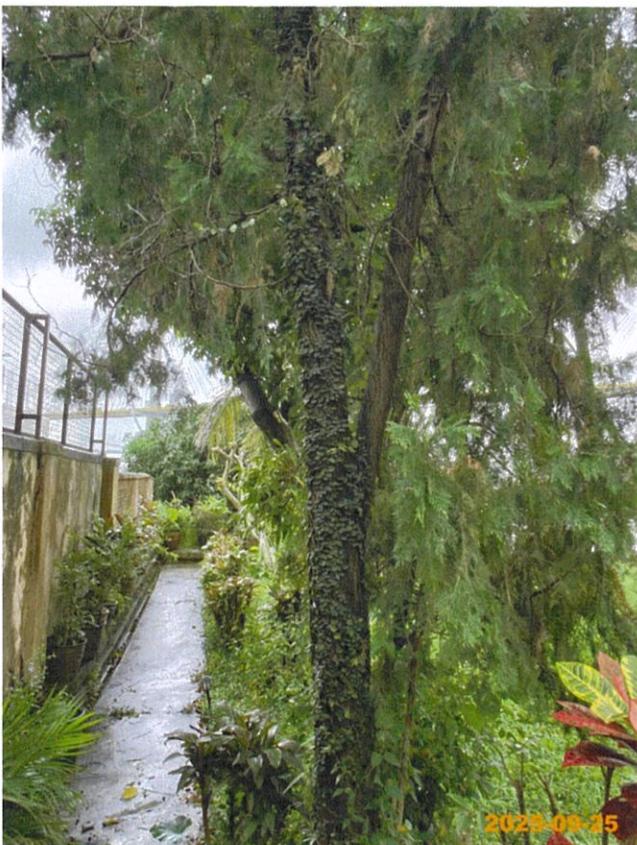
Appendix C - Photographic Records of Existing Trees



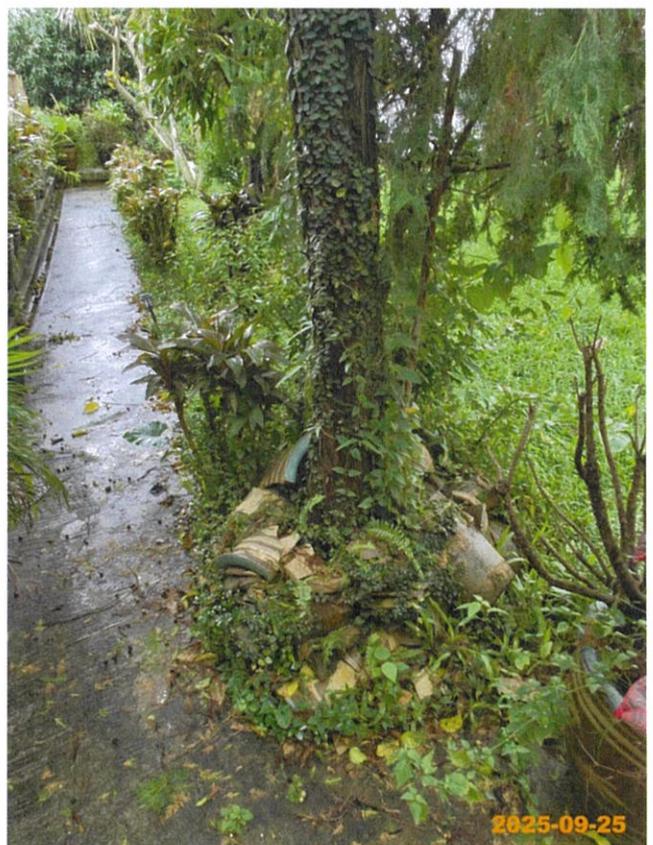
TR8A(F) - Overview



TR8A(F) -Crown



TR8A(F) - Trunk



TR8A(F) - Root plate

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR21(F) - Overview



TR21(F) - Wounds from hard pruning



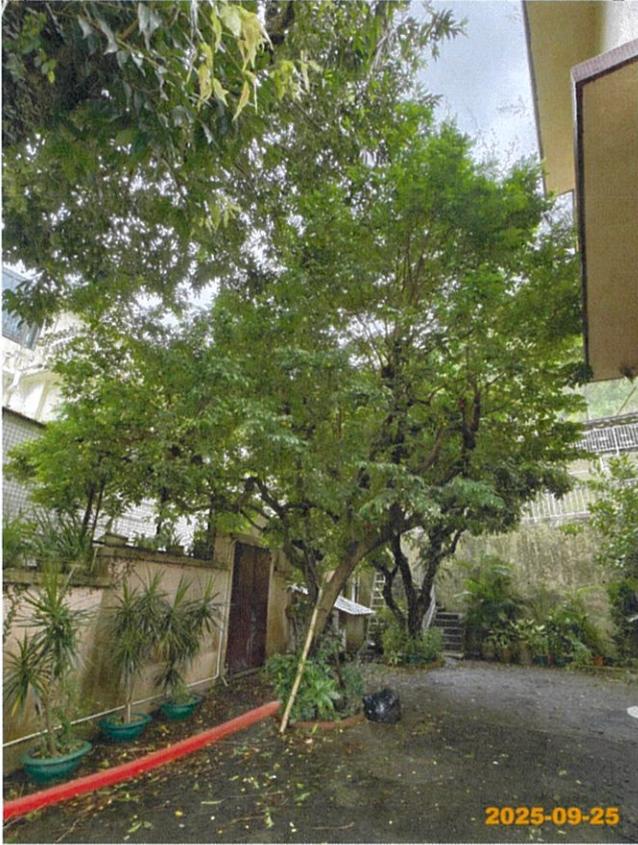
TR21(F) - Root plate



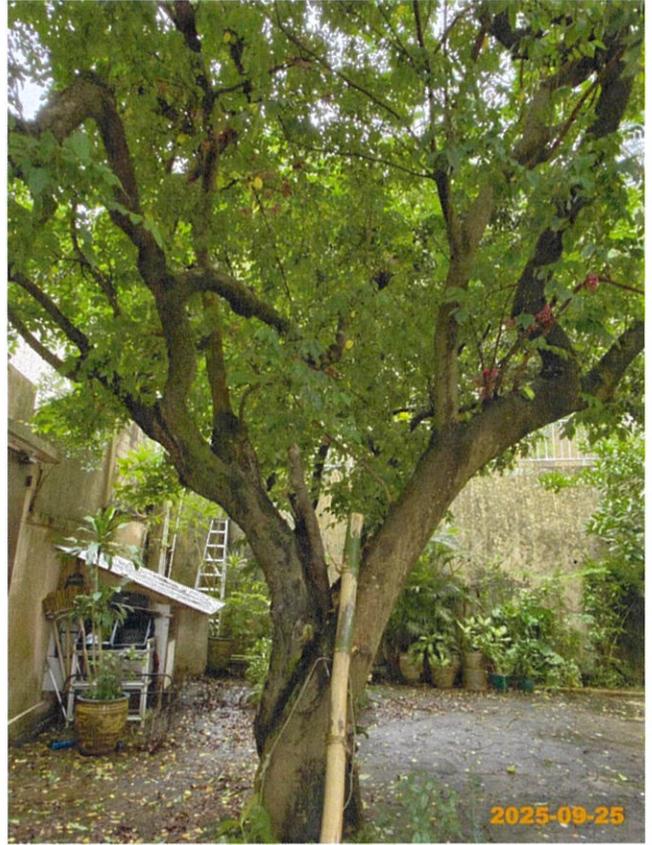
TR21(F) - Trunk

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

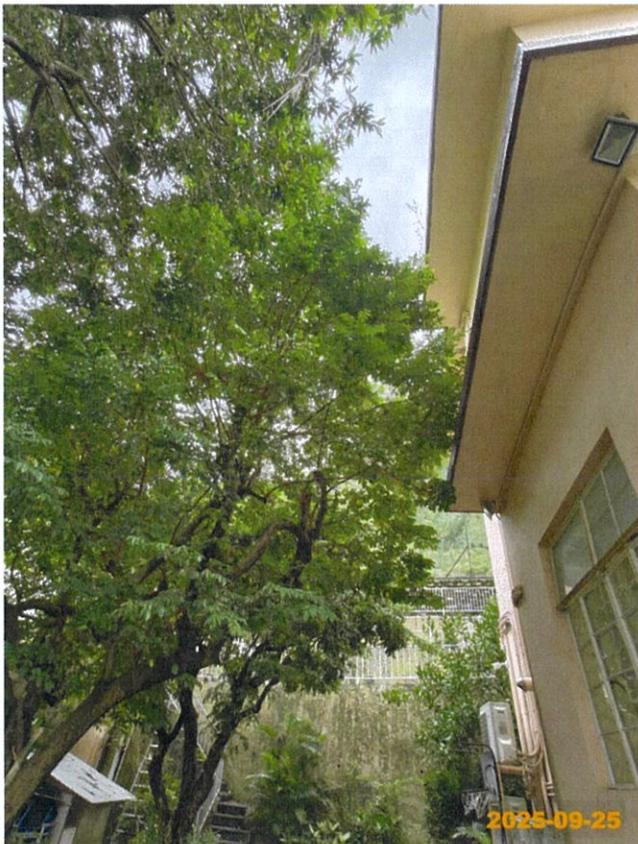
Appendix C - Photographic Records of Existing Trees



TR26(F) - Overview



TR26(F) -Codominant trunks



TR26(F) -Crown close to the house



TR26(F) - Root plate

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR27(F) - Overview



TR27(F) -Crown



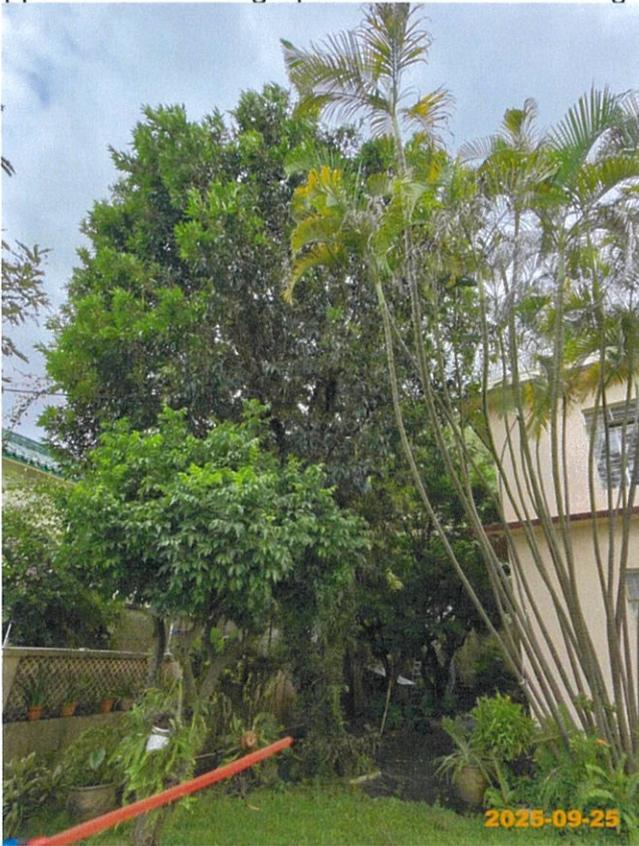
TR27(F) - Root plate



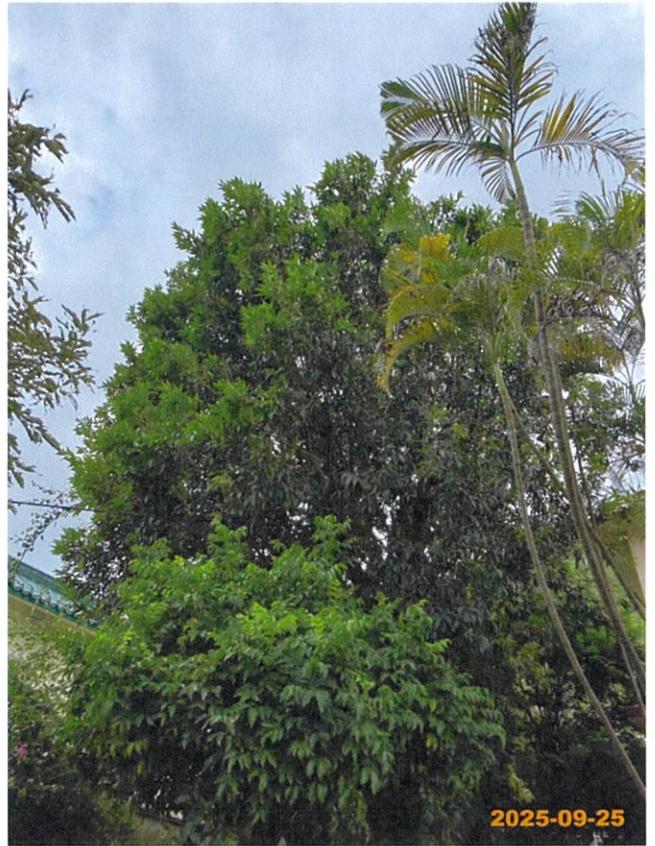
TR27(F) -Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



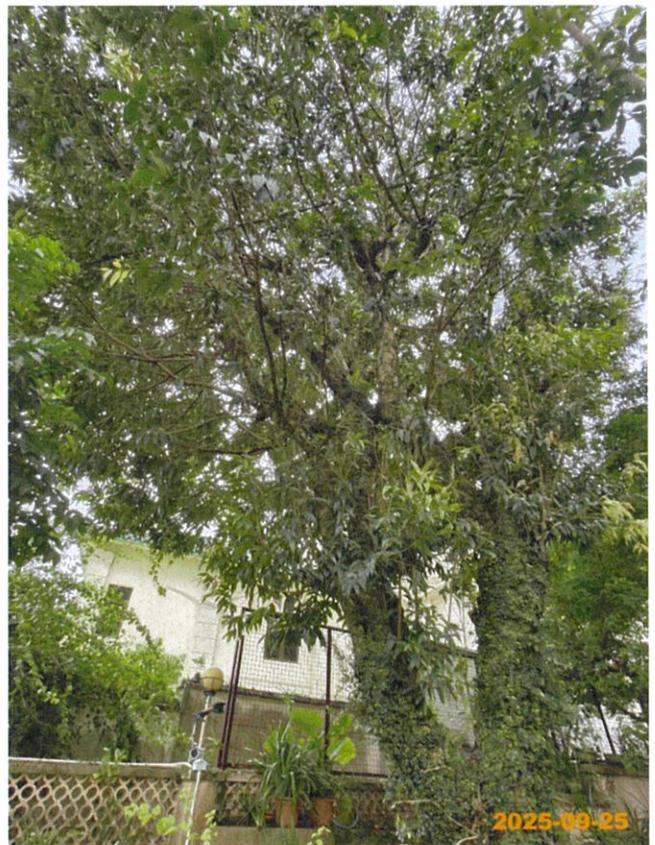
TR36(F) - Overview



TR36(F) -Crown



TR36(F) - Root plate



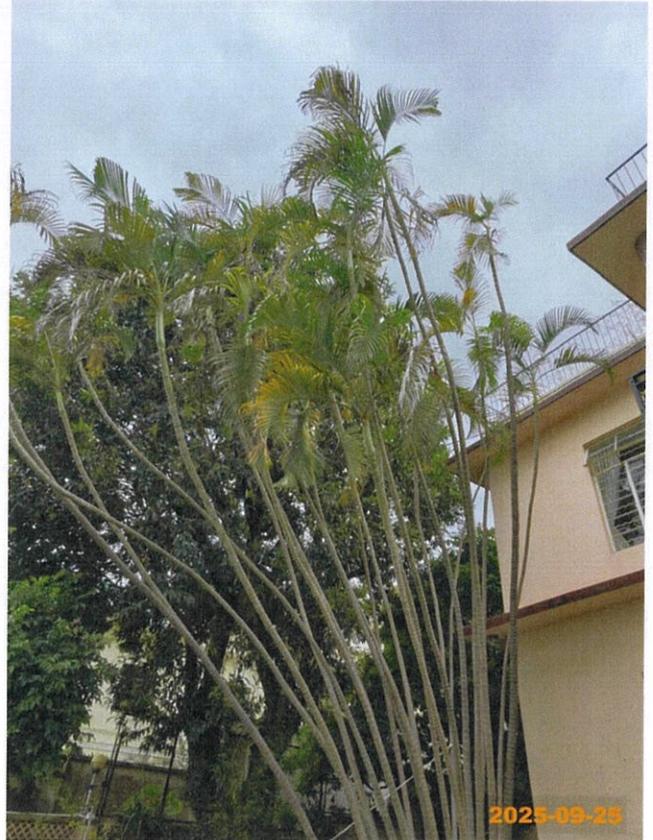
TR36(F) -Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



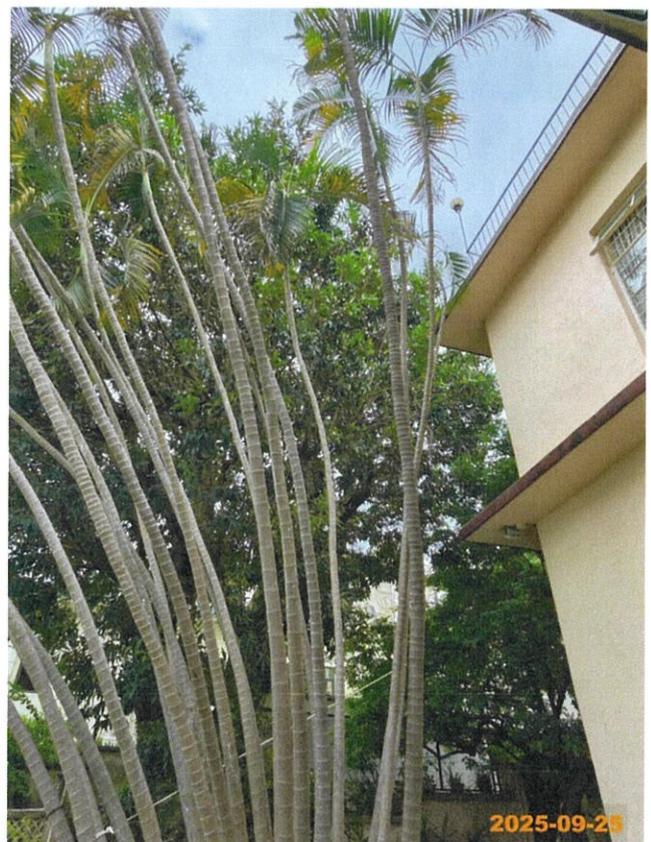
TR38(F) - Overview



TR38(F) -Crown



TR38(F) - Root plate



TR38(F) - Trunk

宏 基 測 量 師 行

9/F, Hecny Tower, 9 Chatham Road South, Tsim Sha Tsui, Kowloon, Hong Kong
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Estate Agent Licence (Company) No. C-006243 地產代理(公司)牌照號碼:C-006243

Our Ref.: TW/TPN/2608BA/L08

27 November 2025

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email and Post

Dear Sir/Madam,

**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW134)**

We refer to the captioned case and the departmental comments received on 15 September 2025, 29 September 2025 and 30 October 2025, and would like to respond as follows.

<u>Comments received on 15 September 2025</u>		
Comments		Responses
Comments from District Planning Office (Contact Person: Ms. Iris YIK // Tel.: 2417 6661)		
1.	Please advise whether the area of the bridge access, as shown on the 1/F floor plan, is included in the GFA calculation.	The shadowed area of bridge access on 1/F should be included in G/F GFA calculation.
2.	It is noted that the lot index plan indicates the lawn area at a level of 10.4mPD, while the G/F floor plan shows the lawn at a level of 12mPD. Please clarify this discrepancy.	To facilitate the foundation design of proposed development, it is proposed to raise up the existing lawn level to 12mPD.

Our Ref.: TW/TPN/2608BA/L08

Comments received on 29 September 2025		
	Comments	Responses
1.	Comments from Buildings Department (Contact Person: Ms. Helie CHAN // Tel.: 2626 1429)	
1	It is noted that 1 structure is proposed in your application. Before any new building works (including demolition, land filling, etc.) are to be carried out on the application site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO.	Comments from Buildings Department are noted and will be observed.
2	The site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively.	
3	The site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage.	
4	If the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the captioned application.	

Our Ref.: TW/TPN/2608BA/L08

	Comments	Responses
5	For UBW erected on leased land, enforcement action may be taken by the Buildings Department to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under the BO.	
6	Any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R.	
7.	Detailed checking under the BO will be carried out at building plan submission stage.	
2.	Comments from Lands Department (Contact Person: Mr. Koby KO // Tel.: 2402 1064)	
	This office reserves our comments on the proposed schematic design which would only be examined in detail during the building plan submission stage. There is no guarantee that the schematic design as presently proposed in the subject S.16 planning application if reflected in future building plan submission(s) will be acceptable under lease.	Noted.

Our Ref.: TW/TPN/2608BA/L08

	Comments	Responses
3.	Comments from Transport Department (Contact Person: Mr. Stanley SIN // Tel.: 2399 2233)	
	The response of the applicant to our previous comments provided only in the R-to-C table is insufficient. Since the planning application lacks a proper section about traffic review or a traffic impact assessment to properly address our traffic concerns, the applicant should include a specific traffic review in the planning application. The relevant section should address our concerns raised and substantiate the reply.	Attached please find the Traffic Review for your reference.
4.	Comments from Landscape Unit, Urban Design & Landscape Section, PlanD (Contact Person: Mr. Justin OR // Tel: 3565 3948)	
	Having reviewed the submission, it is noted that our comment provided vide email regarding the discrepancy of the existing trees between the aerial photos, Appendix 2 (Photographs taken on site) and the Part 9 of the application form no.S16-I, is not fully addressed in the deliverable. Thus, our previous comment remains valid, and the applicant is advised to make reference to the Annex B of “APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131) GUIDANCE NOTES”, regarding the submission of technical assessment of landscape aspect required for the application.	Please refer to our letter dated 2 October 2025 under reference no. TW/TPN/2608BA/L05.

Our Ref.: TW/TPN/2608BA/L08

	Comments	Responses
5.	Comments from Geotechnical Engineering Office, CEDD (Contact Person: Ms. Celia YANG // Tel: 2762 5372)	
	R-to-C item no. 2-1: The subject planning application could affect or be affected by Feature Nos. 6SE-D/FR57, 6SE-D/FR203, 6SE-D/R113, 6SE-D/R114, 6SE-D/R115, 6SE-D/R158 and 6SE-D/R215, and meets the criteria for submission of a Geotechnical Planning Review Report (GPRR) as per our previous memo. In accordance with the Guidance Notes on Application for Permission under Section 16 of the Town Planning Ordinance (CAP 131), please be reminded to submit a GPRR to support the application.	Attached please find the Geotechnical Planning Review Report (3 copies) for your reference.
<u>Comments received on 30 October 2025</u>		
Comments from Landscape Unit, Urban Design & Landscape Section, PlanD (Contact Person: Mr. Justin OR // Tel: 3565 3948)		
1.	A discrepancy in the title is observed between the title of Appendix B (“Tree Survey Schedule” (p. 09)) and the title of the table (“Tree Assessment Schedule”) in Appendix B.	Appendix B in the content page (p.02) and the title of Appendix B (p.09) have been revised from “Tree Survey Schedule” to “Tree Assessment Schedule. The changes in the report are highlighted in yellow for ease of reference.
2.	With reference to Appendix B (Tree Survey Schedule), the column “Survival Rate After Transplantation” under the Tree Assessment Schedule, all trees are rated as “Low” for suitability for transplanting. However, the tree species (e.g., <i>Dyopsis lutescens</i>) is suitable for transplanting under average conditions with no defects. The applicant should critically review the suitability ratings for transplanting the trees. If the current	The low suitability ratings for transplanting all trees remain unchanged after review. Justification for tree felling and explanatory remarks are added to Appendix B “Tree Assessment Schedule” (p.10) for all trees to support the current ratings.

Our Ref.: TW/TPN/2608BA/L08

	Comments	Responses
	ratings would be remained unchanged, explanatory remarks should be added to the Tree Survey Schedule.	
3.	It is noted that seven existing trees are proposed to be felled. However, mitigation measure or compensatory trees are not proposed. The applicant is advised to provide mitigation measure to mitigate / compensate the impact on the existing landscape resources and to illustrate these measures on a Landscape Plan for reference.	We would propose to impose a planning condition requiring to provide the mitigation measure proposal.
4.	<i>Advisory Comment</i> The applicant is reminded that approval of the planning application under Town Planning Ordinance does not imply approval of tree preservation/removal scheme under lease. Thus, the applicant should seek comments and approval from the relevant authority on the tree works concerned and/or compensatory/replacement planting proposal, where appropriate.	Noted.
5.	Please be reminded that the approval of the Planning Application does not imply approval of the site coverage of greenery requirements under BD's PNAP APP-152 and/or under lease. The site coverage of greening calculation should be submitted separately to BD for approval.	Noted.

Our Ref.: TW/TPN/2608BA/L08

Should you have any queries, please feel free to contact our Ms. Cherin Ng or the undersigned at [REDACTED].

Yours faithfully,
For and on behalf of
LANBASE SURVEYORS LIMITED



p.p. Rock K. M. Tsang
Director
RK/CN
Encl.

c.c. Client
DPO/ Tsuen Wan and West Kowloon (Attn: Miss Iris Yik)

**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW134)**

TRAFFIC REVIEW

26 November 2025

1. Background

Lot 405 in DD 399 (the “Application site”) is separated from Castle Peak Road – Ting Kau, by a strip of government land. At present, pedestrian access to the Application Site from Castle Peak Road – Ting Kau is via a staircase which is provided on the east of the Application Site. There is no vehicular access to the Application Site, residents would rely on public transport available in the vicinity.

The Applicants intend to seek approval from the Town Planning Board to redevelop the existing 2-storey residential development erected at the Application Site into a house with plot ratio of 0.75. This traffic review is prepared in support of the planning application.

2. Traffic Review

2.1 No Increase in Number of Residents

Despite the proposed increase in plot ratio from 0.4 to 0.75, the proposed redevelopment being continued to be a single-family residence will not result in any increase in number of residents. No additional traffic is expected.

2.2 Car Parking Facilities

There is no vehicular access, parking and loading/unloading facility in the proposed house development that is the same as its current condition. Residents would rely on public transport available in the vicinity.

2.3 Pedestrian Movements

The pedestrian movements of the residents will continue to use the existing public footpath on the east of the Application Site without alteration.

3. Conclusion

The redevelopment of house will not result in increase of residents. The residents would rely on public transport and access the Application Site via a staircase on the east of the Application Site maintaining the current conditions. No adverse traffic implications of any kind are therefore anticipated.

**Section 16 Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
For a Permitted House Development
At Lot No. 405 in D.D. 399,
No. 313 Castle Peak Road, Ting Kau**

Tree Survey Report

30 Sep 2025

Prepared by:	LUK Ka Chun, Ray
Position	Registered Arborist No. TM422516
Date:	30 Sept 2025
Signature:	
Revision No.:	0

CONTENTS

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3.2	RECOMMENDATION	5

APPENDIX

- Appendix A – Tree Survey Plan*
- Appendix B – Tree **Assessment** Schedule*
- Appendix C – Photographic Record of Trees*
- Appendix D – Tree Protection Plan*
- Appendix E – Photographic Record of Proposed Treatment*

1

INTRODUCTION

The Proposed Development of a Permitted House (The Proposed Development) is located at Lot No. 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau. This report is prepared in support of the Proposed Development under this Section 16 Planning Application.

This report outlines the approach and findings of the tree survey and describes the type, number and condition of all existing trees found within the Application Site. Effort was also made to advise the values of the existing vegetation and necessary protection approach. The tree survey was conducted on **25 September 2025**.

The following legislation, standards and guidelines are applicable to the tree survey, felling, and compensatory planting associated with the proposed building works for the project.

- DEVB TCW No. 5/2020 – Registration and Preservation of Old and Valuable Trees; and
- LAO Practice Note No. 6/2023 – Processing of Tree Preservation and Removal Proposals for Building Development in Private Projects – Compliance with Tree Preservation Clause under Lease.

This Tree Preservation Proposal presents:

- The existing tree vegetation; and
- Planting Proposal of the Proposed Development.

2

THE PROPOSED REDEVELOPMENT

The site is situated on a hillside of Ting Kau beside Castle Peak Road – Ting Kau. The existing house is located on a podium, with a retaining wall between the house and the main access road.

The Proposed Redevelopment comprises a 2-storey domestic house. Drawings of the Proposed Redevelopment could be referred to Architect's drawings submitted under the same application.

Due to the construction works, some of the vegetation would be affected by the site formation work. The detailed tree survey shall refer to Section 3 below.

3 RESULTS OF THE TREE SURVEY

3.1 EXISTING VEGETATION

A tree survey was carried out on **25 September 2025** in accordance with LAO PN No. 6/2023. A total of 7 trees within the Site were recorded. The photographic records of these existing trees are in Appendix C. The surveyed existing tree species are outlined below:

Table 1.0 Existing Tree Species Summary (Surveyed Trees)

Scientific Name	Chinese Name	Quantity	Tree No.
<i>Platycladus orientalis</i>	側柏	2	TR8, TR8A
<i>Syzygium jambos</i>	蒲桃	1	TR36
<i>Plumeria rubra</i>	雞蛋花	1	TR21
<i>Dimocarpus longan</i>	龍眼	1	TR27
<i>Averrhoa carambola</i>	楊桃	1	TR26
<i>Dyopsis lutescens</i>	散尾葵	1	TR38
	Total:	7	

The Site is dominated by *Platycladus orientalis* 側柏 (2 nos.) which is common species in Hong Kong planted for landscape use.

No OVT or protected species has been identified in accordance with the DEVB TCW No. 5/2020 – Registration and Preservation of Old and Valuable Trees, and the Forests and Countryside Ordinance respectively.

3.2 RECOMMENDATION

In this Proposed Redevelopment, the construction works will lead to disturbance of one surveyed existing tree which can be solved by mitigation measure. The proposed building layout has been overlaid on Tree Survey Plan in Appendix A to illustrate the impact on the existing trees. Table 2.0 provides a summary of the recommendation for the treatment of these surveyed existing trees.

Table 2.0 Summary of Tree Recommendation

Recommendation	Number of Trees	Percentage of Trees
Trees to be Retained	7 (1 needed pruning)	100%
Trees to be Transplanted	0	-
Trees to be Felled	0	-
Total Number of Trees	7	100%

7 of total 7 existing trees within Site will be unaffected by the Proposed Redevelopment. They are growing at the edge of the Site, close to the building. The retained trees will be protected and maintained in accordance with the details in Section 25 – Landscape Work in the General Specification for Building (2017) and relevant guidelines promulgated by DEVB. Please also refer to the Tree Protection Plan in Appendix D.

1 no. of tree no. TR26 was grown close to the building in conflict with the works. Pruning of tree crown can avoid future disturbance

Please refer to the supporting information as follows:

- The existing locations of surveyed trees are shown on the Tree Survey Plan (**Appendix A**)
- The schedule of surveyed trees, together with their size and condition assessment is presented in Tree Assessment Schedule (**Appendix B**)
- Photographic records of Trees are marked on photos (**Appendix C**)
- The protection plan of surveyed trees is shown on the Tree Protection Plan (**Appendix D**)
- Photographic records of Proposed Treatment are marked on photos (**Appendix E**)

Appendix A – Tree Survey Plan

*Appendix B – Tree **Assessment** Schedule*

Tree Assessment Schedule

Address: Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Prepared by Registered Arborist

Field Survey conducted on 25 Sep 2025

To be read in conjunction with drawing number: 3404/01

Tree No.	Botanical Name	Chinese Name	Survey Size			Form	Health Condition	Structural Condition	Amenity Value	Survival Rate after Transplantation	Justification	Recommendation			Remarks
			Height (m)	DBH (mm)	Spread (m)							Good / Average / Poor / Dead			
TR8	<i>Platycladus orientalis</i>	側柏	5.0	168.0	1.0	Poor	Average	Average	Medium	Low	B,F			1	in tree pit, codominant trunks, forked trunks wounds from hard pruning, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR8A	<i>Platycladus orientalis</i>	側柏	5.0	199.6	2.0	Average	Average	Average	Medium	Low	F			1	in tree pit, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR21	<i>Plumeria rubra</i>	雞蛋花	2.5	175.0	1.5	Poor	Average	Average	Medium	Low	B,D,F			1	in tree pit, wounds from hard pruning, sparse foliage, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR26	<i>Averrhoa carambola</i>	楊桃	7.0	350.0	8.0	Average	Average	Average	Medium	Low	C,F			1	in tree pit, codominant trunks, fungal fruiting bodies on limb, crooked trunk, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR27	<i>Dimocarpus longan</i>	龍眼	6.0	389.2	5.0	Average	Average	Average	Medium	Low	C,F			1	in tree pit, codominant trunks, included bark, cavity at trunk base, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR36	<i>Syzygium jambos</i>	蒲桃	10.0	730.0	7.0	Average	Average	Average	Medium	Low	C,F			1	in tree pit, codominant trunks, forked trunk, vined trunk, decay at main trunk, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting
TR38	<i>Dyopsis lutescens</i>	散尾葵	9.0	95.0	5.0	Average	Average	Average	Medium	Low	C,F			1	multi-stems, root plate protruding above ground, root restricted by tree pit, grown in confined area covered by concrete that formation of proper root ball is not feasible for transplanting

Good	Average	Poor	Good	Average	Poor	Dead	Good	Average	Poor	Excellent	High	Average	Low
0	5	2	0	7	0	0	0	7	0	0	0	0	0
0%	71%	29%	0%	100%	0%	0%	0%	100%	0%	0%	0%	0%	0%

Surveyed Total no. of trees
7

Legend

Tree Condition / Health
G Good
F Fair
P Poor
D Dead

Tree Form
G Good
F Fair
P Poor

Structural Condition
G Good
F Fair
P Poor

Justification for Tree Felling

- A** low amenity value
- B** poor health, structure or form;
- C** irrecoverable form after transplanting (e.g. transplanting requires substantial crown and root pruning);
- D** low chance of survival upon transplanting;
- E** undesirable species (e.g. *Leucaena leucocephala* which is an invasive, exotic and self-seeding tree); or
- F** trees grown under poor conditions which have limited the formation of proper root ball necessary for transplanting.

Tree Assessment Schedule

Address: Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau
 Prepared by Registered Arborist
 Field Survey conducted on 25 Sep 2025
 To be read in conjunction with drawing number: 3404/01

Tree No.	Botanical Name	Chinese Name	Survey Size			Form	Health Condition	Structural Condition	Amenity Value	Survival Rate after Transplantation	Justification	Recommendation			Remarks
			Height (m)	DBH (mm)	Spread (m)							Good / Average / Poor / Dead			

Suitability for Transplanting

- H** High Survival Rate expected after transplantation
- M** Medium Survival Rate expected after transplantation
- L** Low Survival Rate expected after transplantation

Amenity Value

- E** Excellent With cultural significance or high functional value or high visual impact ,or mature and good health, good condition and good form.
- G** Good Common species and good health, good condition and good form.
- F** Fair Common species and average health, average condition and average form.
- P** Poor Common species and little or no functional or visual value and poor health, poor condition and poor form.

Appendix C – Photographic Record of Trees

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR8(F) - Overview



TR8(F) - Wounds from hard pruning



TR8(F) - Trunk



TR8(F) - Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



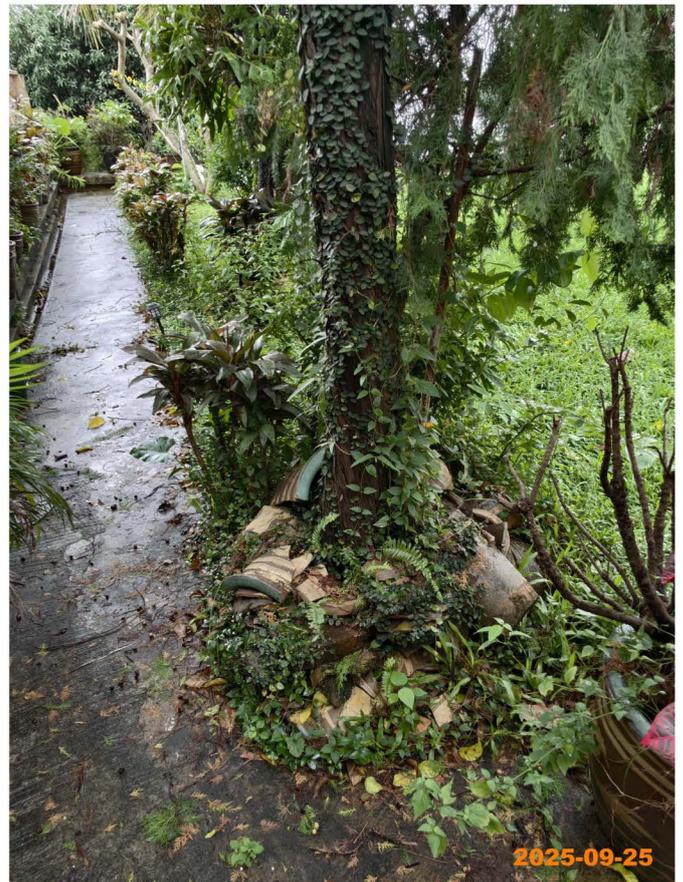
TR8A(F) - Overview



TR8A(F) -Crown



TR8A(F) - Trunk



TR8A(F) - Root plate

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



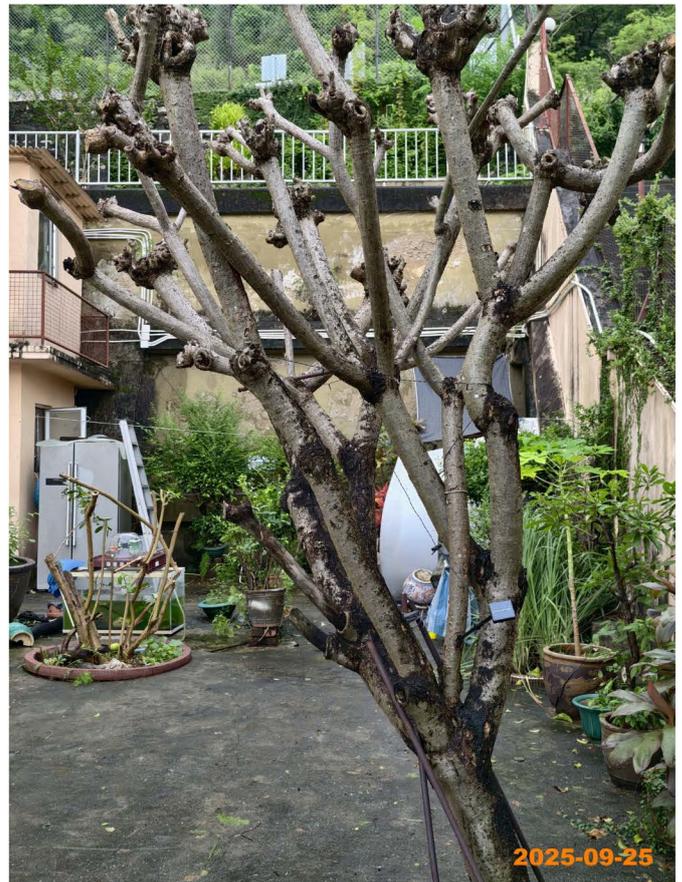
TR21(F) - Overview



TR21(F) - Wounds from hard pruning



TR21(F) - Root plate



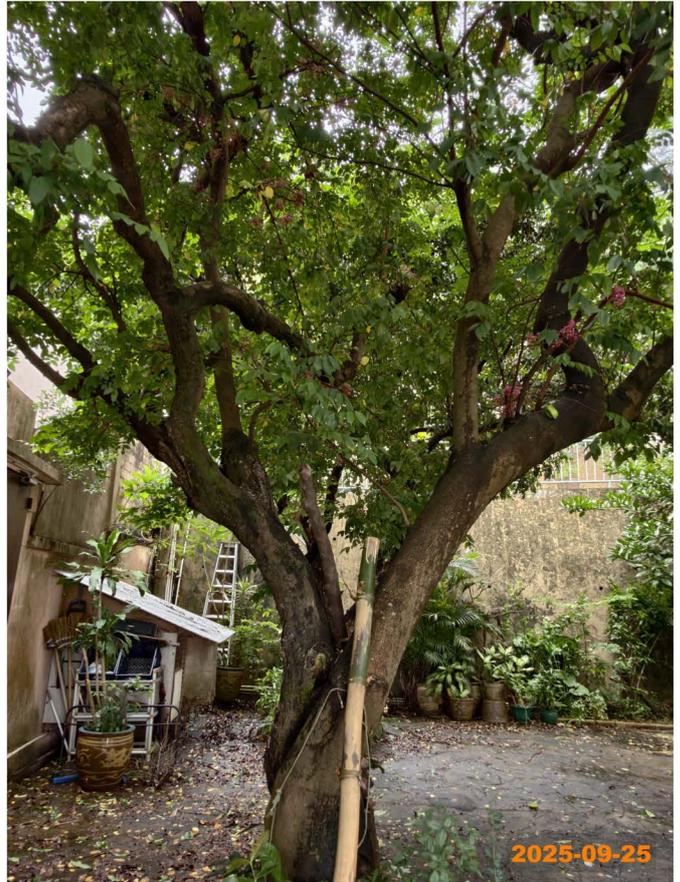
TR21(F) - Trunk

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR26(F) - Overview



TR26(F) -Codominant trunks



TR26(F) -Crown close to the house



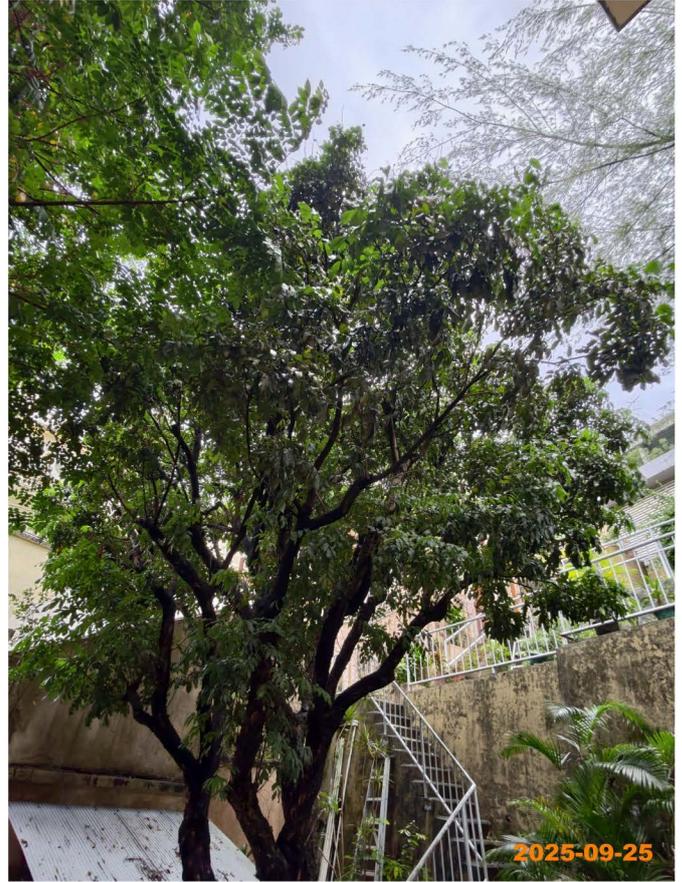
TR26(F) - Root plate

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



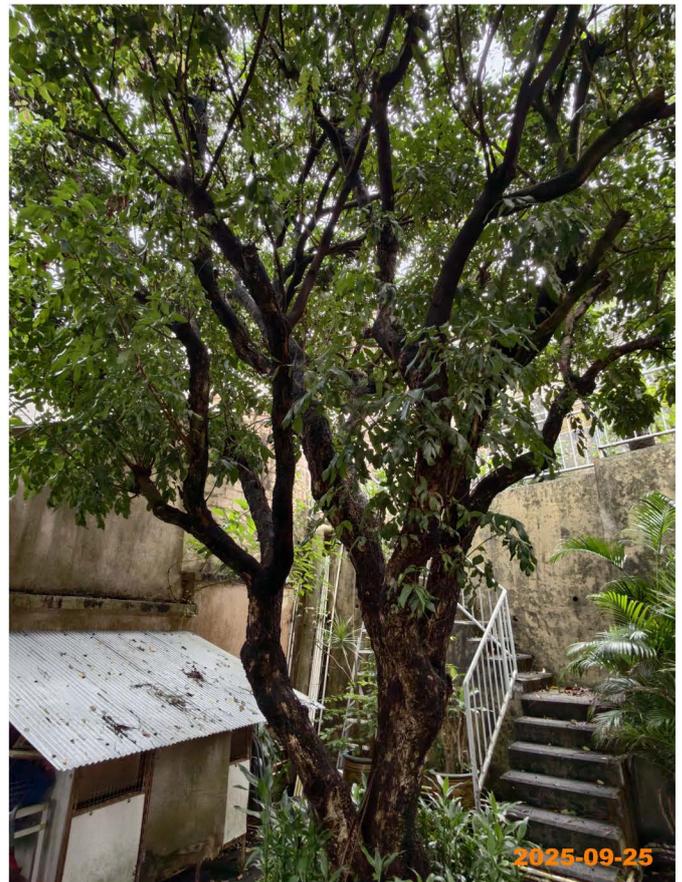
TR27(F) - Overview



TR27(F) - Crown



TR27(F) - Root plate



TR27(F) -Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR36(F) - Overview



TR36(F) -Crown



TR36(F) - Root plate



TR36(F) -Codominant trunks

Section 16 Planning Application for Proposed Redevelopment of a House
At Lot 405 in D.D.399, No. 313 Castle Peak Road, Ting Kau

Appendix C - Photographic Records of Existing Trees



TR38(F) - Overview



TR38(F) - Crown

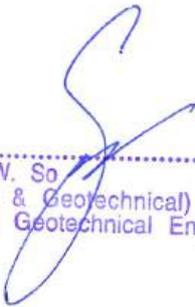


TR38(F) - Root plate



TR38(F) - Trunk

Geotechnical Planning Review Report
for
The Proposed Development at
Lot 405 in D.D. 399,
No. 313 Castle Peak Road,
Ting Kau, N.T.



.....
Phillip C. W. So
RPE (Civil & Geotechnical)
Registered Geotechnical Engineer

November 2025

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Figure 1	Location Plan of the Proposed Site
Figure 2	Aerial View of the Proposed Development Site
Figure 3	Registered Man-made Features
Figure 4	Geological Map

Figure 5 Location Plan of the Previous GI

APPENDIX

- Appendix A Proposed Development Plan
- Appendix B Photographs
- Appendix C SIMAR Records
- Appendix D SIS Records Retrieved from CEDD
- Appendix E Extraction of Previous GI Records

1. INTRODUCTION

JMK Consulting Engineers Ltd. was appointed to carry out a Geotechnical Planning Review for the premises at Lot No. 405 in D.D. 399, No. 313 Castle Peak Road at Ting Kau.

This Geotechnical Planning Review Report (GPPR) is made based on desk study and review of available documentary information and proposed development plan (see Appendix A). The geology and site conditions are described. Potential geotechnical constraints are identified in the assessment.

2. THE SITE AND THE FEATURES

The site is located at No. 313 Castle Peak Road, Ting Kau. Site photos taken in October 2025 are presented in Appendix B (see Photos A to I). The site location plan and the aerial view of the proposed development site are presented in Figures 1 and 2, respectively.

According to the available SIMAR reports retrieved from Lands Department and SIS records obtained from Geotechnical Engineering Office (GEO), there are 7 nos. of registered geotechnical features lies within or in the vicinity of the site (see Figure 3). The features and the responsible lots/parties are tabulated below:

Feature No.	Sub-division No.	Responsible Lots/Parties
6SE-D/FR57	1	Lands Department
	2	STT1139TW
6SE-D/R158	1	STT 1139TW
	2	Lands Department
	3	DD399 LOT 405
	4	Lands Department
6SE-D/R114	1	STT1139TW
	2	Lands Department
	3	Lands Department
6SE-D/R113	1	DD399 Lot404
6SE-D/R115	1	DD399 LOT447
	2	DD399 LOT401
6SE-D/R215	1	STT1206TW
6SE-D/FR203	1	Highways Department

A copy of the SIMAR reports and slope records are enclosed in Appendix C and D, respectively. The location of the said features is also presented in Figure 3.

3. DESK STUDY

Desk study has been carried out to search and review the existing building records, previous ground investigation data and geotechnical study reports kept by the Geotechnical Information Unit (GIU) of Geotechnical Engineering Office (GEO) and the Buildings Department (BD).

3.1 Geological Maps

The geology of the Site is shown on the Hong Kong Geological Survey (HKGS) Map Sheet 6 (Yuen Long), 1:20,000-scale, Edition II, HGM20 series. The local geology of the Site is presented in Figure 4 and described below.

3.1.1 Solid Geology

The 1:20,000 scale geological maps indicated that regional area around the Site is underlain by lapilli lithic-bearing coarse ash crystal Tuff (Jty_cat) of the Yim Tin Tsai Formation.

3.1.2 Superficial Geology

Pleistocene to Holocene colluvium (Qd), Holocene beach deposits (Qhb) and marine sand (Qhs) of the Hang Hau Formation are recorded at about 30m to the southwest of the Site.

3.1.3 Structural Geology

No fault or photolineament has been recorded within or in the vicinity of the Site.

3.2 Enhanced Natural Terrain Landslide Inventory

In 1995, the GEO compiled the Natural Terrain Landslide Inventory (NTLI) from an interpretation of high-altitude (8,000ft and above) aerial photographs dated from 1945 to 1994 (King, 1999). In 2007, the GEO produced an Enhanced Natural Terrain Landslide Inventory (ENTLI) using low-altitude (8,000ft and below) aerial photographs to update the NTLI.

In accordance with GEO Report No. 138 (GEO, 2016), landslides are classed as either "Relict" or "Recent", depending on their appearance in aerial photographs. "Relict" landslides are defined as those where the main scarp is well-defined but vegetation has re-established on the scar on the earliest set of available aerial photographs. "Recent" landslides are defined as having occurred within the timespan of the aerial photograph coverage. These are typically identified as having a light tone on the aerial photographs and are bare of vegetation.

No ENTLI has been recorded within and in the vicinity of the Site.

3.3 Historical Landslide Catchment (HLC) Inventory

Historical Landslide Catchments (HLCs) have been defined by GEO based on the results of the ENTLI. Thus, no HLC has been recorded within and in the vicinity of the Site.

3.4 Reported Landslide Incidents

According to the GEO landslide incident records database, no landslide incident has been recorded within and in the vicinity of the Site.

3.5 Relevant Previous Ground Investigation Works

No previous ground investigation has been taken place within the Site. The previous ground investigation report adjacent to the Site has been retrieved and summarized below:

GIU Report No.	GI Station Nos:	Report Title	GI Stations related to Feature No.	Remarks
37207	DH3	Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation	-	-
412272	BH1, TP1, TP2, TP3, TP4, IC1, IC2, HC1, HC2	Feature No. 6SE-D/FR203, Rose Villa, 309 Castle Peak Road, Ting Kau, N.T.	6SE-D/FR203	-
R56707	-	Agreement No. CE 31/2006 (GE) Feature Nos. 6SE-D/FR57 & 6SE-D/R158 No. 311-313, Castle Peak Road, Ting Kau Upgrading Works (Conventional Design Approach) Design Report (Final)	6SE-D/FR57 & 6SE-D/R158	GI logs or GI locations are not available on Ginfo

The details of previous ground investigation logs are presented in Appendix E and the locations of the previous GI is shown in Figure 5.

3.6 DH Orders

According to Ginfo, no DH Orders have been issued to the features within and in the vicinity of the Site.

3.7 Stage 2 Studies

The Stage 2 Studies carried out for the features within and in the vicinity of the Site are summarized below:

Stage 2 Report No..	Feature No.	Prepared in
S2R18/2008	6SE-D/FR57	May 2008
S2R18/2008	6SE-D/R158	May 2008
S2R261/2000	6SE-D/R113	October 2000
S2R209/2005	6SE-D/R115	October 2007
S2R024/2022	6SE-D/R215	February 2024

3.8 Stage 3 Studies

The Stage 3 Studies carried out for the features in the vicinity of the Site are summarized below:

Stage 3 Report No.	Feature No.	Slope Upgrading Works	Checking Certificate No	Maintenance Manual
S3R103/2014	6SE-D/R215	Works suspended	N/A	N/A

4. IMPACTS OF PROPOSED WORKS ON EXISTING SLOPES/RETAINING WALLS

4.1 Feature No. 6SE-D/FR57

Feature no. 6SE-D/FR57 is located at northern end of the Site adjacent to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the feature is about 13m long and 3.3m high with slope gradient of 45° to the horizontal, the wall portion is about 13m long and 4.3m high with slope gradient of 75° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in May 2008. The study concluded that no action is required for this feature. The proposed new works will not modify the existing feature.

4.2 Feature No. 6SE-D/R158

Feature no. 6SE-D/R158 is located at northern end of the Site adjacent to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 18.7m long and 7m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in May 2008. The study concluded that no action is required for this feature. The proposed new works will not modify the existing feature.

4.3 Feature No. 6SE-D/R114

Feature no. 6SE-D/R114 is located at southern end of the Site at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 43m long and 4m high with slope gradient about 87° to the horizontal. The proposed new works will not modify the existing feature.

4.4 Feature No. 6SE-D/R113

Feature no. 6SE-D/R113 is located to the west of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 42m long and 4m high with slope gradient about 80° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R261/2000) prepared by C M Wong & Associates Limited in October 2000. The study recommended issue of type 3 advisory letter to the owners of Lot DD399 Lot 404. The proposed new works will not modify the existing feature.

4.5 Feature No. 6SE-D/R115

Feature no. 6SE-D/R115 is located to the southeast of the Site at house no. 311 Castle Peak Road. According to the SIS record, the wall is about 19m long and 4.1m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R209/2005) prepared by Scott Wilson Limited in October 2007. The study concluded that no action is required for this feature. The proposed new works will not modify the existing feature.

4.6 Feature No. 6SE-D/R215

Feature no. 6SE-D/R215 is located to the northwest of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 30m long and 8.2m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 3 Study Report (S3R103/2014) prepared by Fugro (Hong Kong) Limited in October 2014, but the work was suspended. Local stability check of the feature was then carried out in Stage 2 Study Report (S2R024/2022) prepared by C M Wong & Associates Limited in February 2024. The study recommended issue of advisory letter to the tenant. The proposed new works will not modify the existing feature.

4.7 Feature No. 6SE-D/FR203

Feature no. 6SE-D/FR 203 is located to the east of the Site at house no. 309 Castle Peak Road. According to the SIS record, the feature is about 23m long and 1.8m high with slope gradient of 35° to the horizontal, the wall portion is about 23m long and 4m high with slope gradient of 78° to the horizontal. The proposed new works will not modify the existing feature.

4.8 Impacts from the Proposed Works to the Registered Slope Features

As the aforementioned features have stood from some time without evidence of major distress or instability, it is expected that these features will continue under the present condition. Moreover, there is no intention to modify or reconstruct the registered slope features during the proposed foundation (raft footing) or construction works. However, in view of these features are close (within 10m) to the Site boundary, the stabilities of these features have to be checked with respect to the proposed development and based on the subsurface conditions, ground water conditions and shear strength parameters of soil/rock obtained from a site specific ground investigation. If found necessary, appropriate improvement/upgrading works, including slope re-profiling, installation of soil nails, and provision of raking drains will be carried out to bring up the sub-standard portion of the feature to meet the current geotechnical standard.

5. CONCLUSION

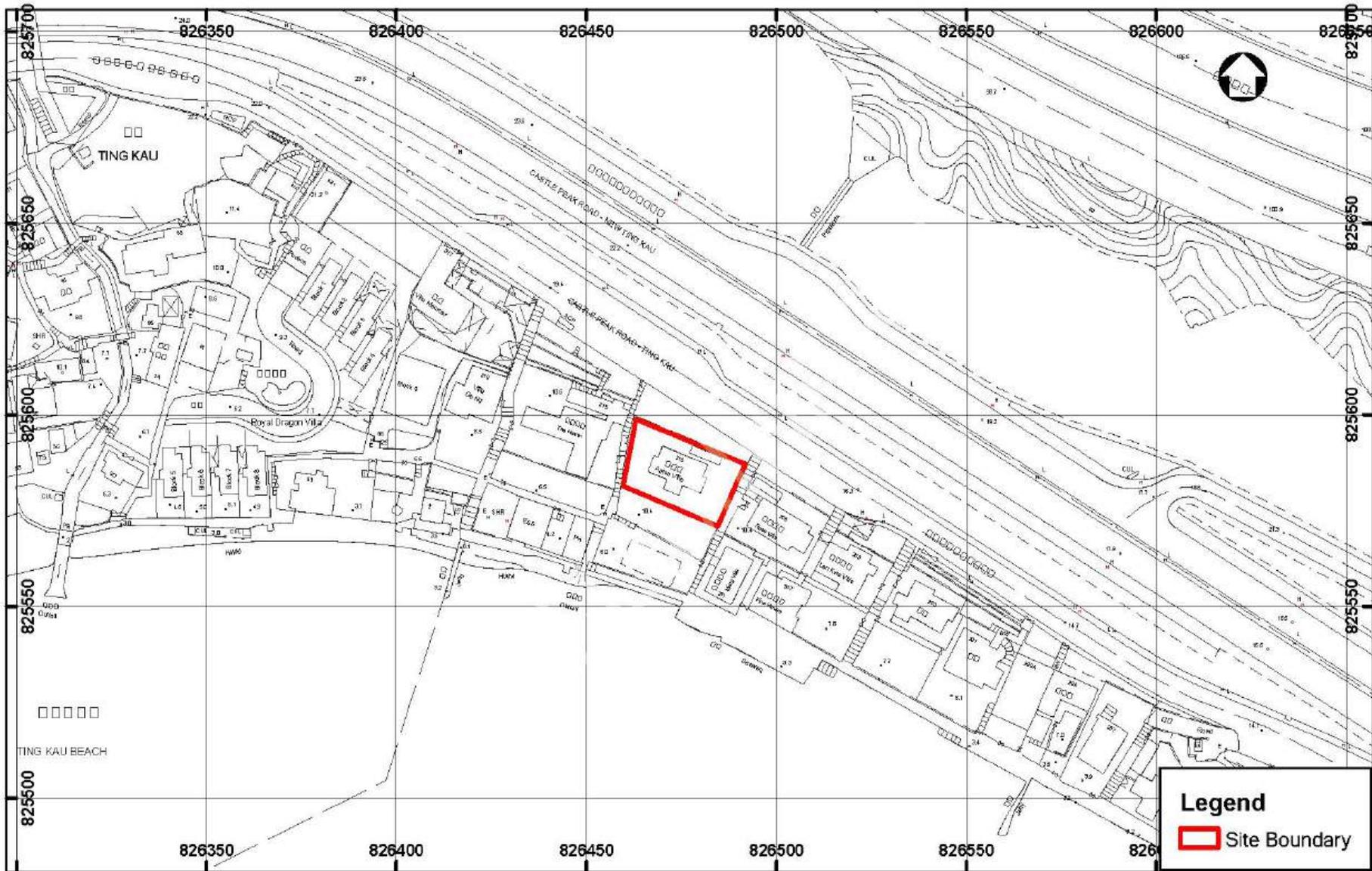
Based on the above discussion, it can be concluded that the proposed development is considered to be feasible from geotechnical point of view. The construction would be straight forward unlikely posting particular problems to the surrounding area under careful planning, proper execution and vigilant supervision.

It is essential to search and review the background information of existing building, geotechnical features and underground services within and in the vicinity of the site. Site investigation is proposed to reveal/confirm the subsoils and the ground regime within and in the vicinity of the site as well as to determine the engineering properties of subsoils and rock. The ground investigation field works should be preceded under supervision of suitably qualified engineers and technically competent persons conforming the requirements specified in the "Code of Practice for Site Supervision 2009" published by the BD.

For safety and cost effective, the foundation design and retaining wall stability assessment and excavation planning should be based on geological horizons inferred from the ground investigation results, groundwater table interpreted from the piezometer/standpipe monitoring records and geotechnical parameters determined and adopted by field and laboratory testing.

A comprehensive precautionary monitoring program including settlement markers, tilting, vibration check points as well as groundwater observation wells shall be implemented to ensure demolition of foundation of existing buildings and substructure construction being carried out safety and soundly.

FIGURES



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Proposed Site

SCALE:
1 : 1500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 1



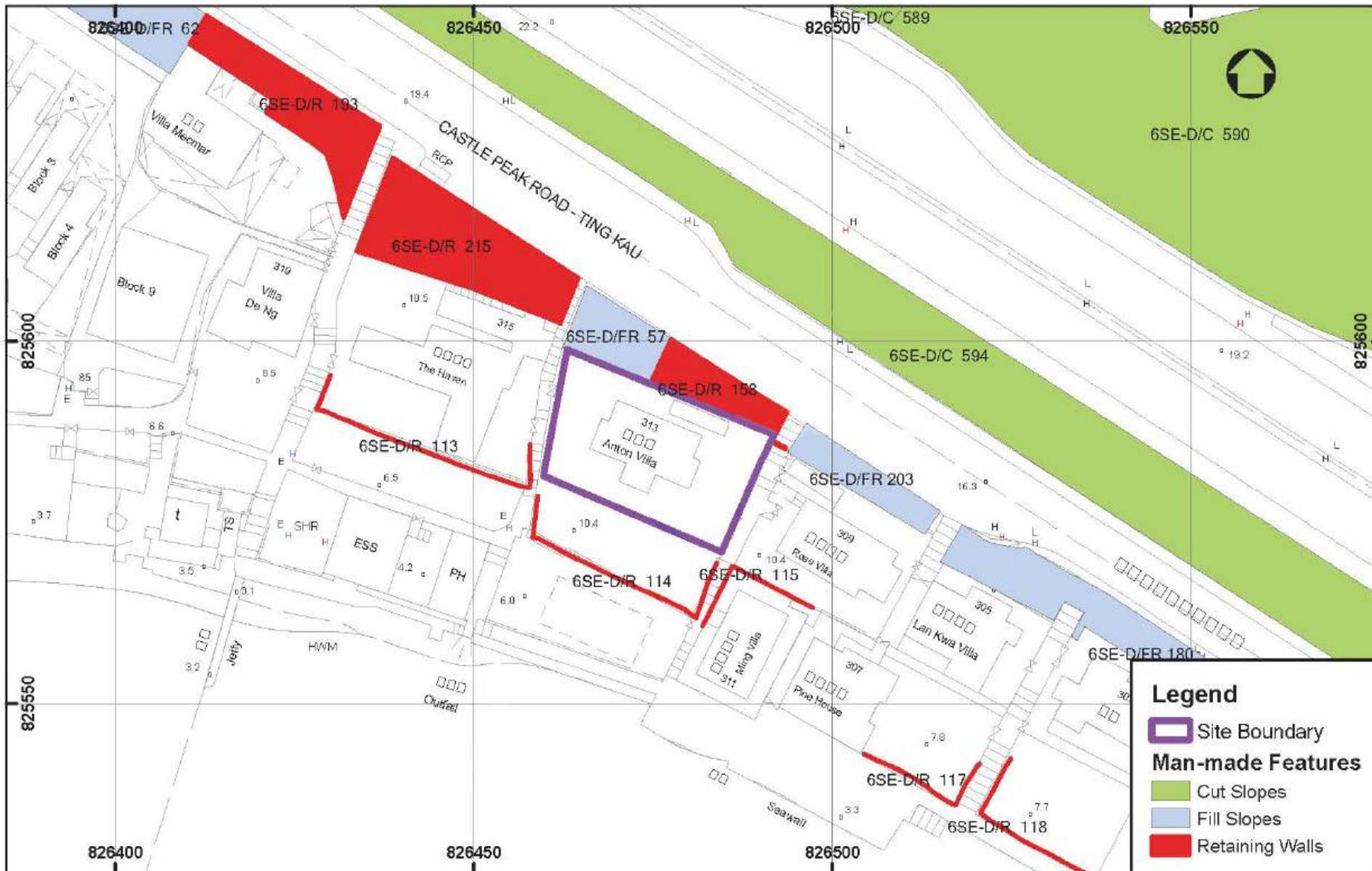
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Aerial View of the Proposed Development Site

SCALE:
1 : 1500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 2



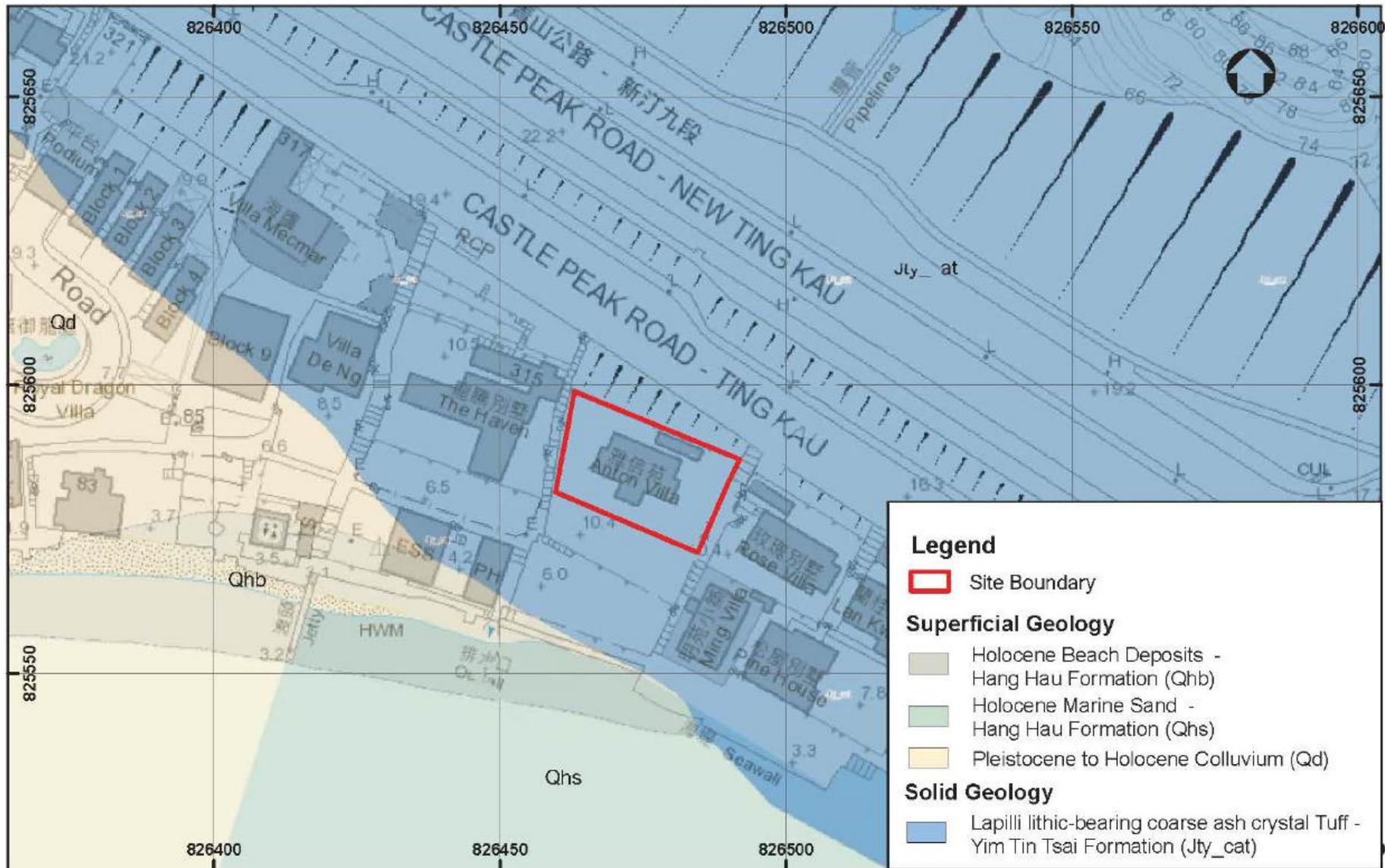
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Registered Man-made Features

SCALE:
1 : 800

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 3



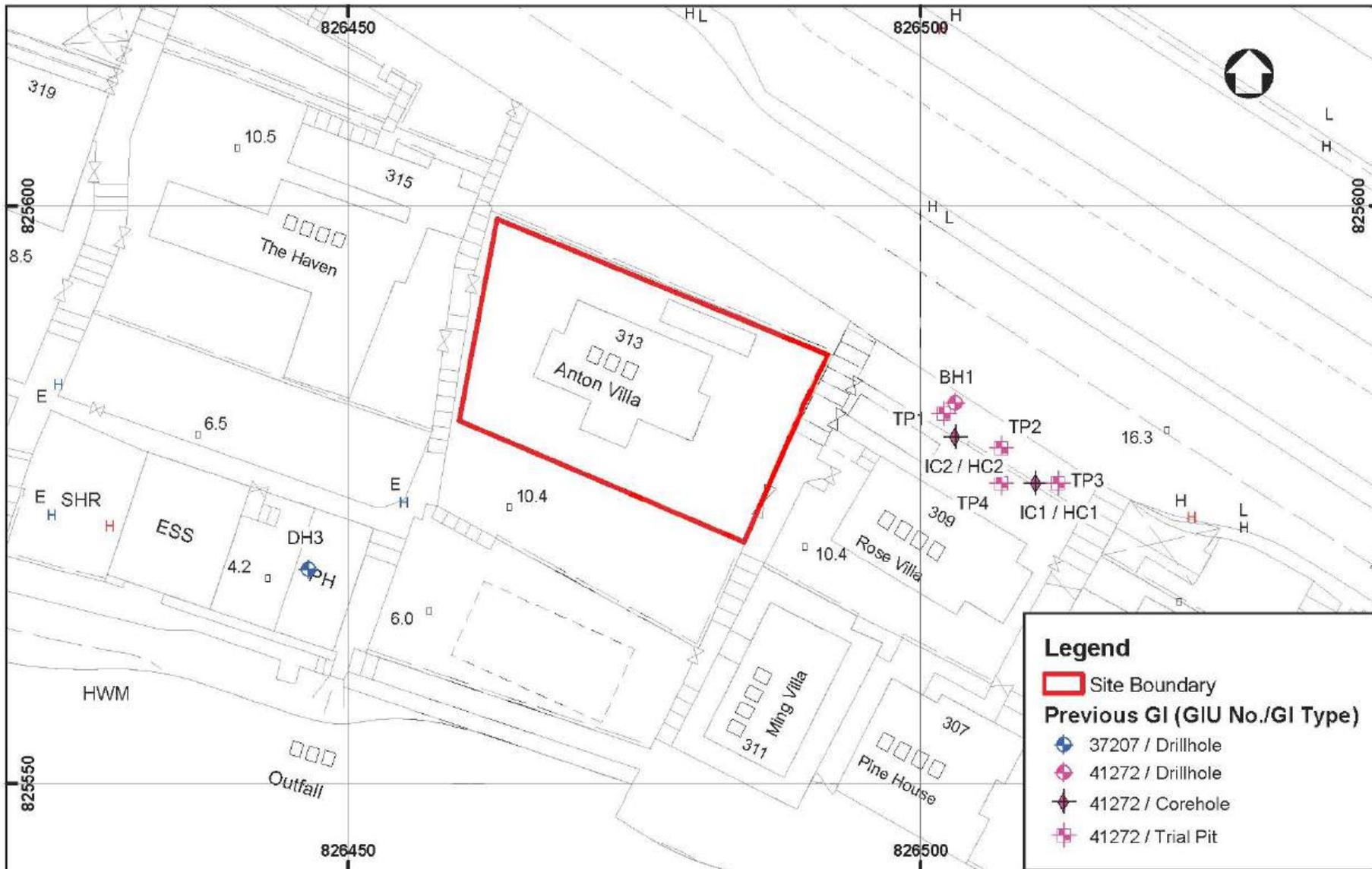
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Geological Map

SCALE:
1 : 1000

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 4



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Previous GI

SCALE:
1 : 500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 5

APPENDIX

Appendix A

Proposed Development Plan

CASTLE PEAK ROAD – NEW TING KAU

CASTLE PEAK ROAD – TING KAU

SITE BOUNDARY

BRIDGE ACCESS

TOP ROOF

FLAT ROOF

FLAT ROOF

SITE BOUNDARY

LAWN

PLAYGROUND

LEGENDS:

- SITE BOUNDARY
- JACUZZI
- GLASS CEILING
- CONCRETE ROOF
- LANDSCAPE
- TIMBER DECK
- GARDEN
- SURROUNDING PAVEMENTS
- SURROUNDING BUILDINGS
- SURROUNDING LANDS
- MAIN ROAD



SITE PLAN
1:300

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

KEEP EXISTING FEATURE CONDITION

NEW CANTILEVER PLATFORM TO CONNECT CASTLE PEAK ROAD

KEEP EXISTING LAWN SO THAT NO ADVERSE EFFECT TO EXISTING FEATURE

SITE BOUNDARY

BRIDGE ACCESS

TOP ROOF 23'42"

FLAT ROOF 20'42"

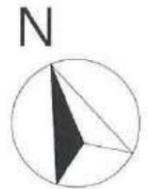
JACUZZI 20'00"

FLAT ROOF 20'42"

SITE BOUNDARY

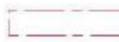
LAWN

PLAYGROUND

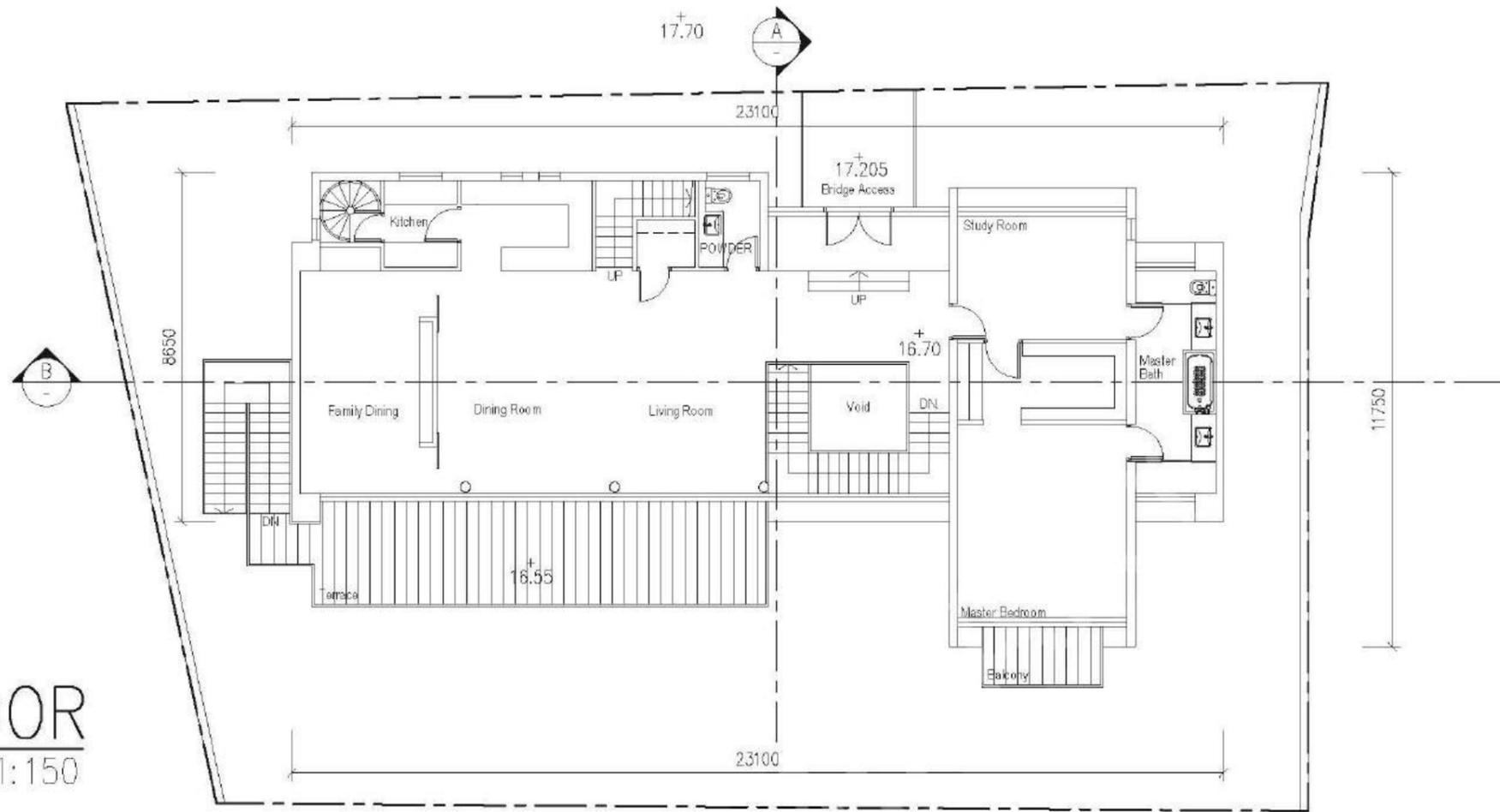


SITE PLAN
1:300

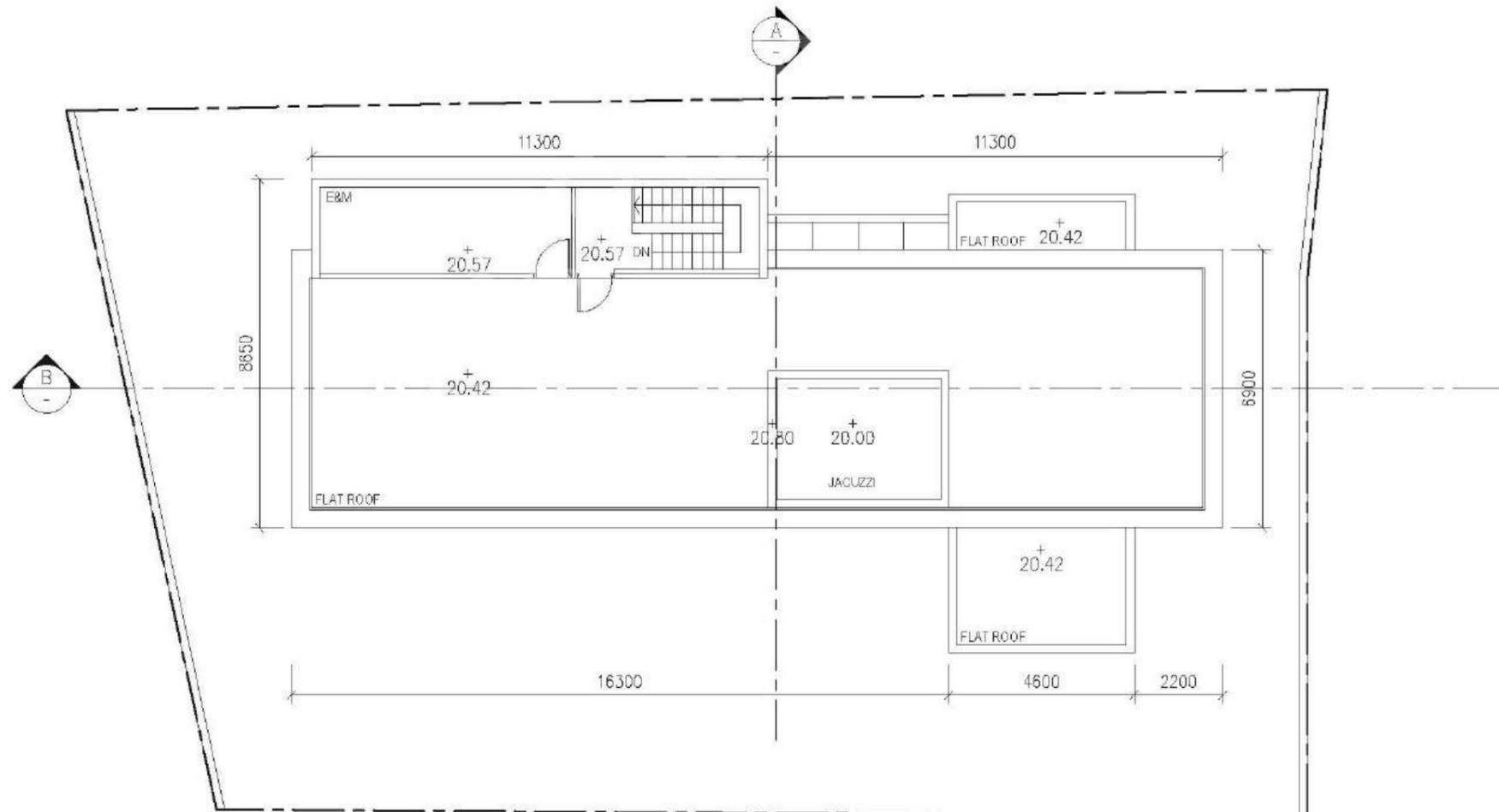
LEGENDS:

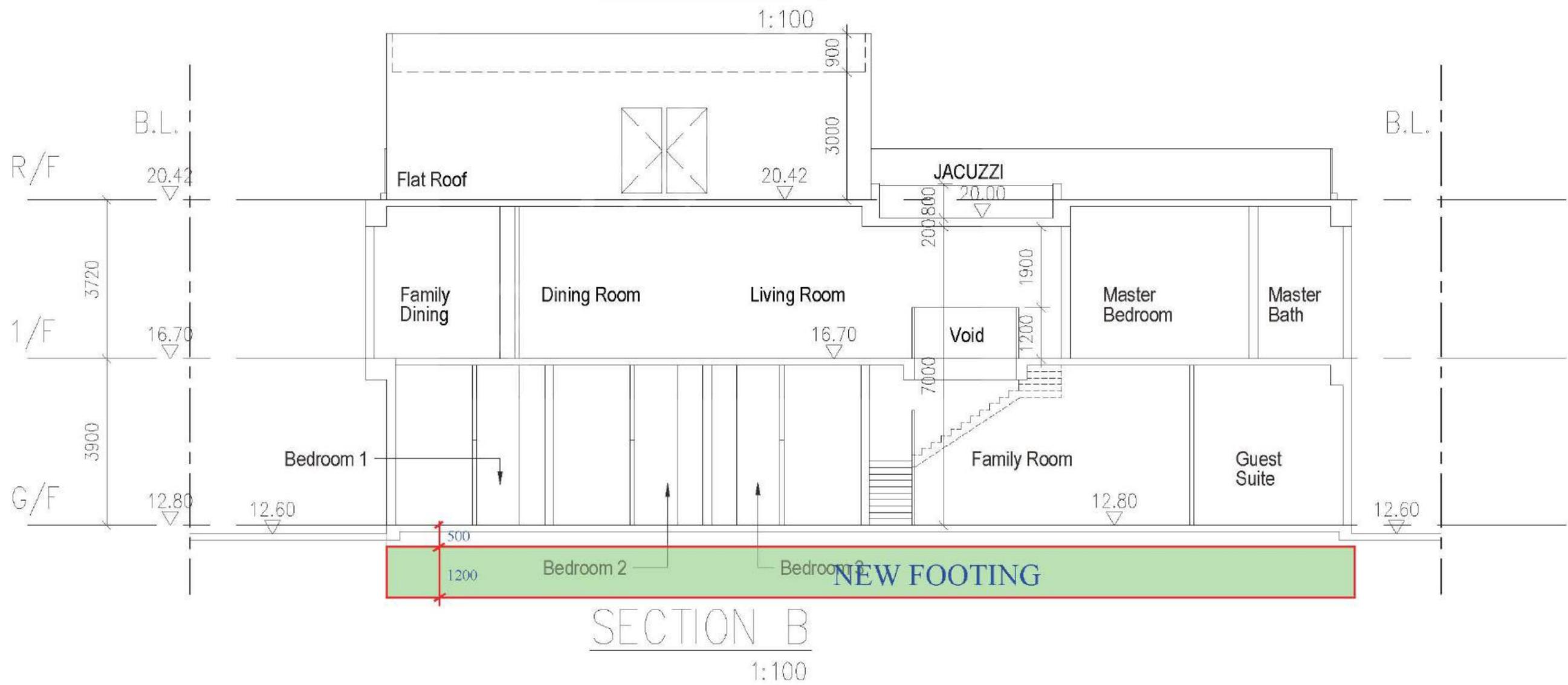
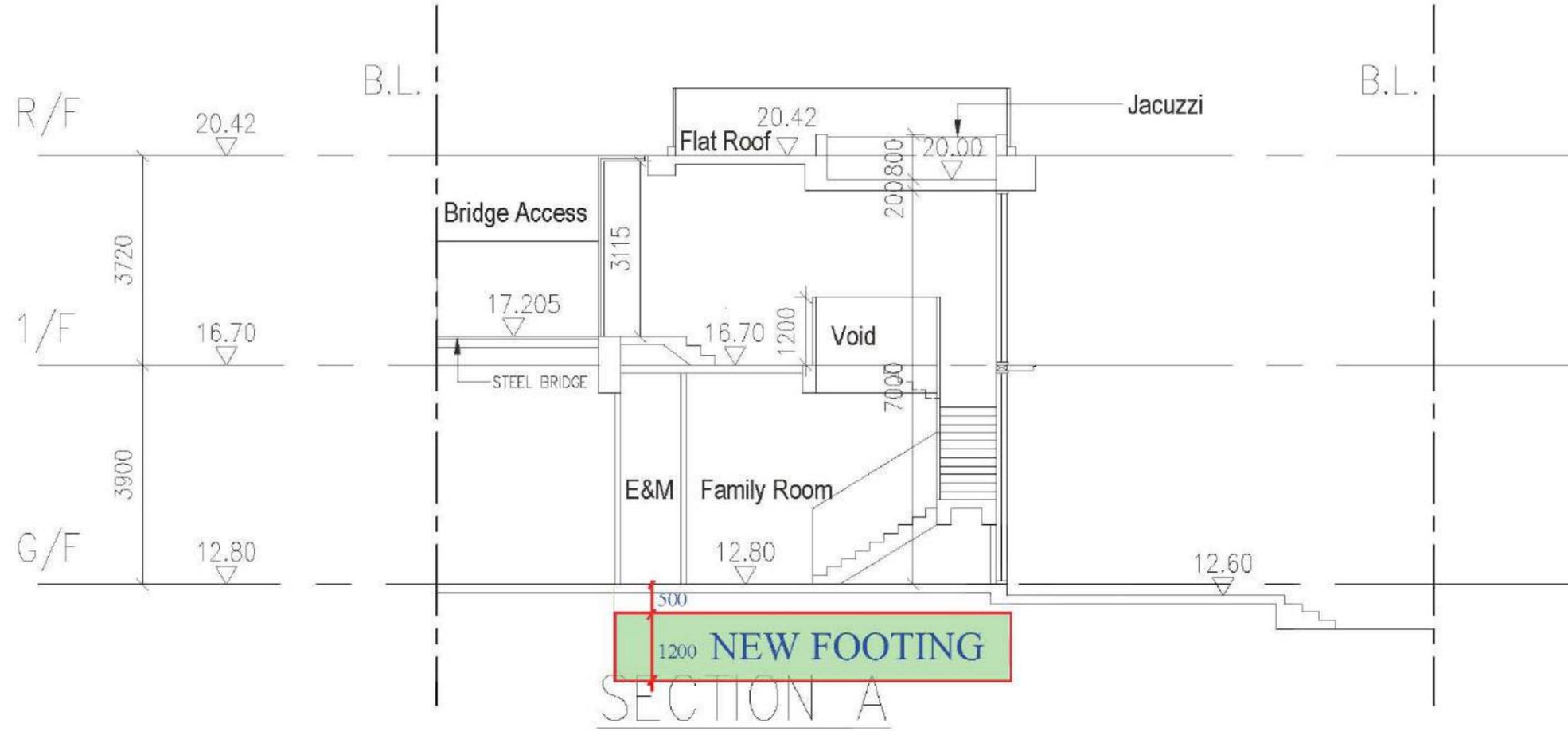
 SITE BOUNDARY

1ST/ FLOOR
1:150



ROOF
1:150

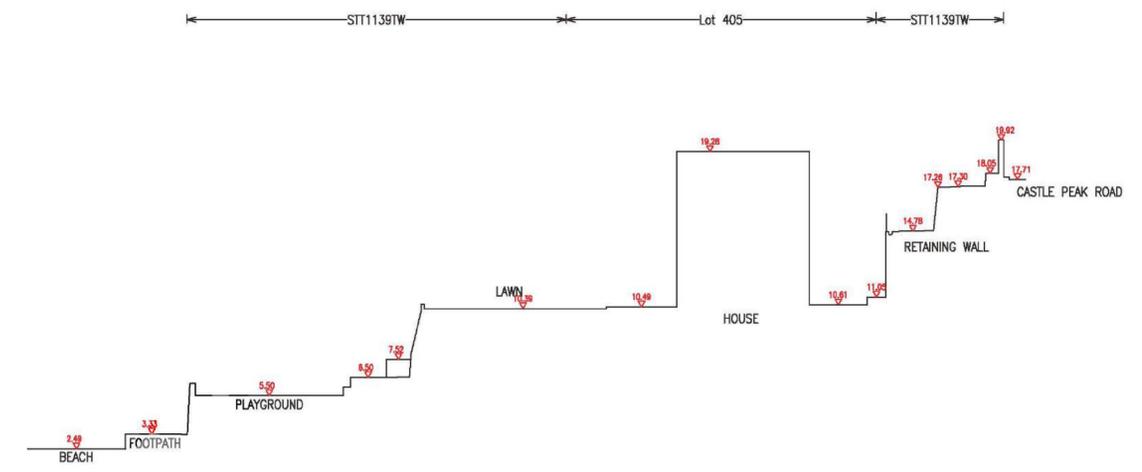




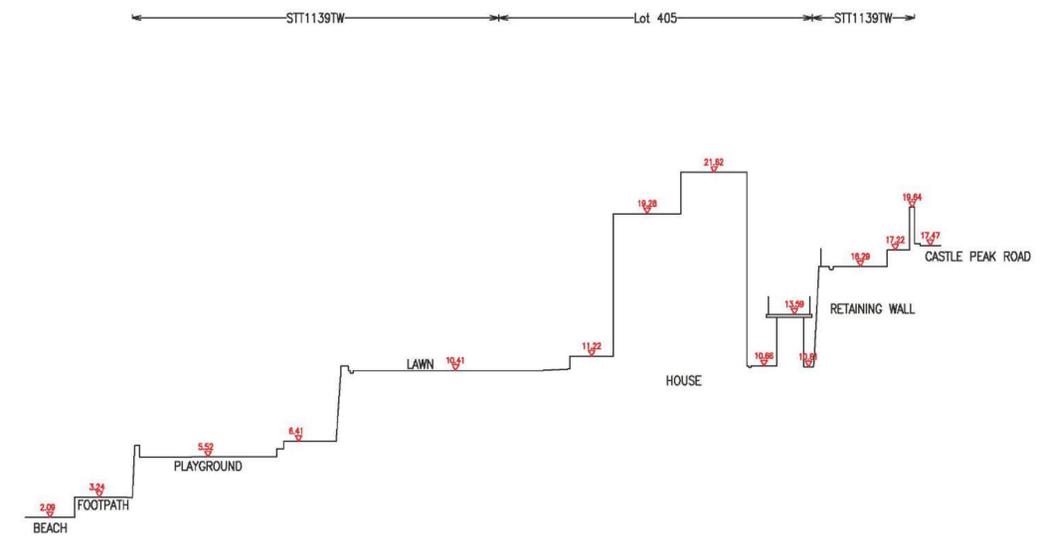


NOTES :
 1. All dimensions are in metres.
 2. All spot level positions are indicated by a cross.
 3. All levels are in metres to Principal Datum (PD) unless noted otherwise.
 4. All co-ordinates are refer to Hong Kong (1980) metric grid co-ordinates system.
 5. Channels are U shaped except where stated, widths are given.

NOTES :
 SUBJECT LOT COORDINATES & DIMENSIONS:
 Boundary Point Bearing Distance Northing Easting
 SUBJECT LOT NO. - LOT 405 IN D.D.399
 A 112°38'05" 31.292 825599.385 826463.008
 B 209°40'01" 4.736 825583.227 826489.546
 C 203°35'41" 13.334 825571.008 826484.209
 D 293°59'33" 27.060 825582.011 826459.487
 E 11°27'23" 17.727 825599.385 826463.008
 AREA = 512.9 sq.m. (about)

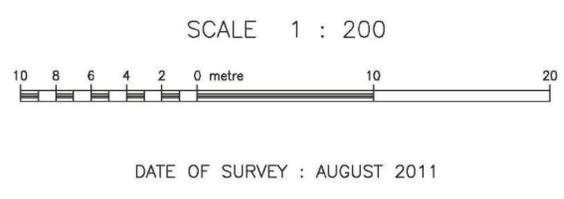


Section A-A'



Section B-B'

ABBREVIATIONS :-		SYMBOLS :-	
BH BORE HOLE	P POST	ROCK BOULDER	HOUSE/BUILDING
BO BOLLARD	PM PARKING METER	DIRECTION OF FLOW	HARD DETAIL
CCN COVERED CHANNEL	RC ROOF	CANOPY	SOFT DETAIL
CL COVER LEVEL	SC SPRAYED CONCRETE	DATE	LOT BOUNDARY
CLF CHAIN LINK FENCE	SCS STOPPED CHANNEL	ARTIFICIAL SLOPE	STT BOUNDARY
CO COLUMN	SEAT	TREE	VERTICAL RETAINING WALL
CONC CONCRETE	SEAT POST	OVER-HANG STRUCTURE LEVEL	OVERHEAD STRUCTURE
CP CATCH PIT	ST STOP	TOP ROOF LEVEL	DRAIN
DC DUCT COVER	STF STOP VALVE		FENCE/HOARDING/RAILING
DP DOWN PIPE	SW SWITCH BOX		
EC ELECTRIC COVER	TL TELEPHONE LIGHT		
EE ELECTRICITY EARTH	TP TELEGRAPH POLE		
EP ELECTRIC POLE	TS TEMPORARY STRUCTURE		
EM ELECTRIC MANHOLE	TV TELEVISION		
FR FIRE HYDRANT	U CHANNEL		
GA GAS VALVE	W WELL		
GR GRAVE	WT WATER TANK		
GU GULLY	TR TREE (GIRTH/HEIGHT/SPREAD)		
HF HANGING FOOTING			
IC INSPECTION COVER			
ICF INSPECTION COVER-FOUL WATER			
ICB INSPECTION COVER-STORM WATER			
IL INVERT LEVEL			
LP LAMP POST			
MB MAIL BOX			
MI MANHOLE			



SUBSTANCE LAB LIMITED
 LOT 405 IN D.D. 399
 NO.313, CASTLE PEAK ROAD
 TING KAU, N.T.
 TOPOGRAPHIC SURVEY

LAND MARKER (1980) H.K. CO., LTD.
 SUITE 1501, ONE MONGKOK ROAD COMMERCIAL CENTRE, KOWLOON
 TEL: 2663 9138 FAX: 2666 9921
 E-MAIL ADDRESS: general@landmarker.com

PLAN NO. 3404/01

REVISION NO.	DESCRIPTIONS	DATE
0		26-AUG-2011
1		16-SEPT-2011
2		14-OCT-2011

DRAWN BY: P.M. WONG
 SURVEYED BY: W.Y. FONG
 APPROVED BY:
 JOSEPH Y C WONG
 AUTHORIZED LAND SURVEYOR MHKIS MRCS RPS(LS)

Appendix B

Photographs



Photo A – General View of the Proposed Development Site, Looking East



Photo B – General View of the Proposed Development Site, Looking West



Photo C – General View of the Feature No. 6SE-D/FR57

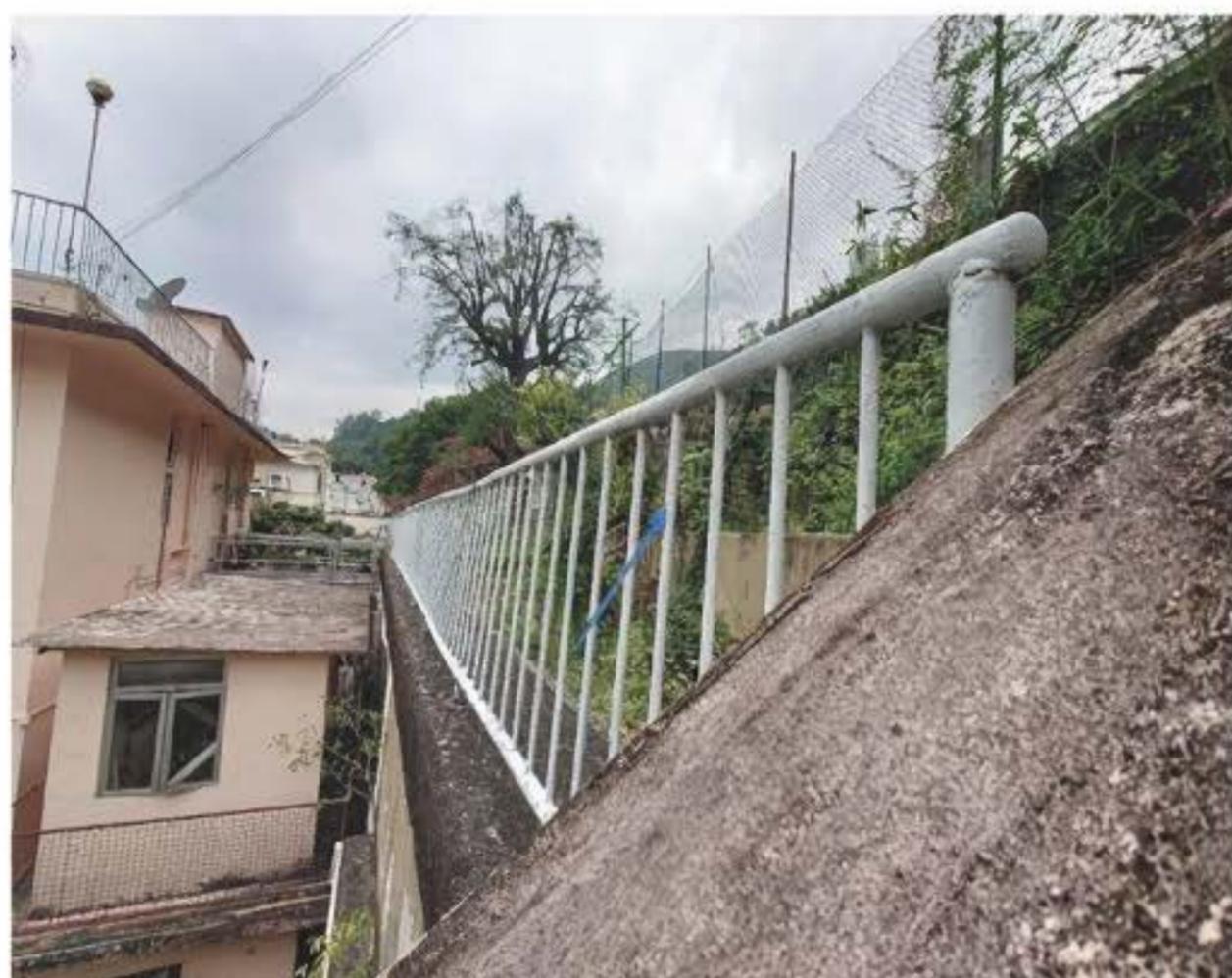


Photo D – General View of the Feature No. 6SE-D/R158



Photo E – General View of the Feature No. 6SE-D/R114



Photo F – General View of the Feature No. 6SE-D/R113



Photo G – General View of the Feature No. 6SE-D/R115

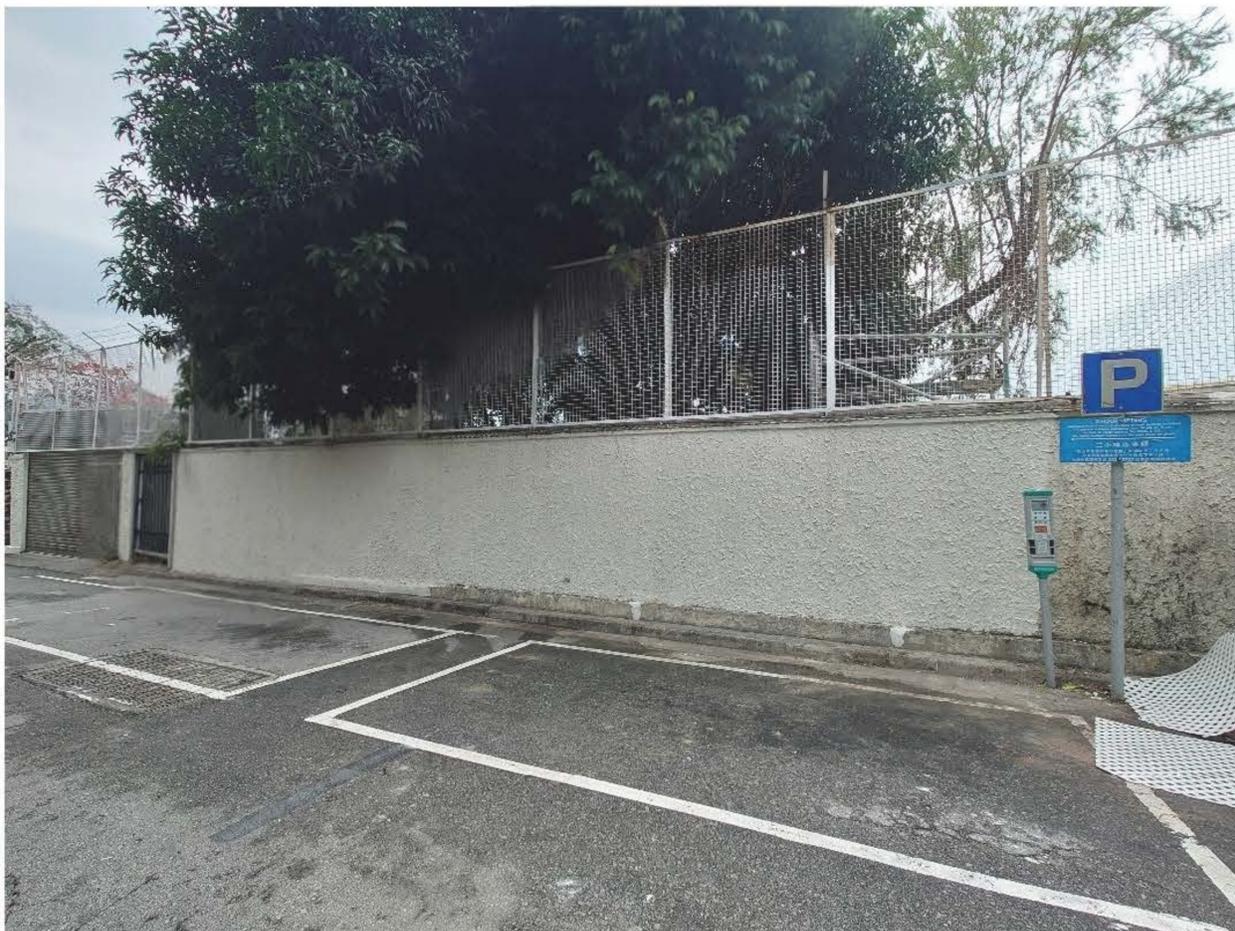


Photo H – General View of the Feature No. 6SE-D/R215



Photo I – General View of the Feature No. 6SE-D/FR203

Appendix C

SIMAR Record

Slope Maintenance Responsibility Report

(6SE-D/R215)

**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

1	6SE-D/R215	Sub-Division	Not Applicable
	Location	Wholly within STT1206TW north of DD399 LOT404 in Ting Kau	
	Responsible Lot/Party	STT1206TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

- End of Report -

Notes:

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- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Search Criteria: 6SE-D/R215

Slope Maintenance Responsibility Report

(6SE-D/R158)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT 1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R158	Sub-Division		2
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	DD399 LOT 405	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
4	6SE-D/R158	Sub-Division		3
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

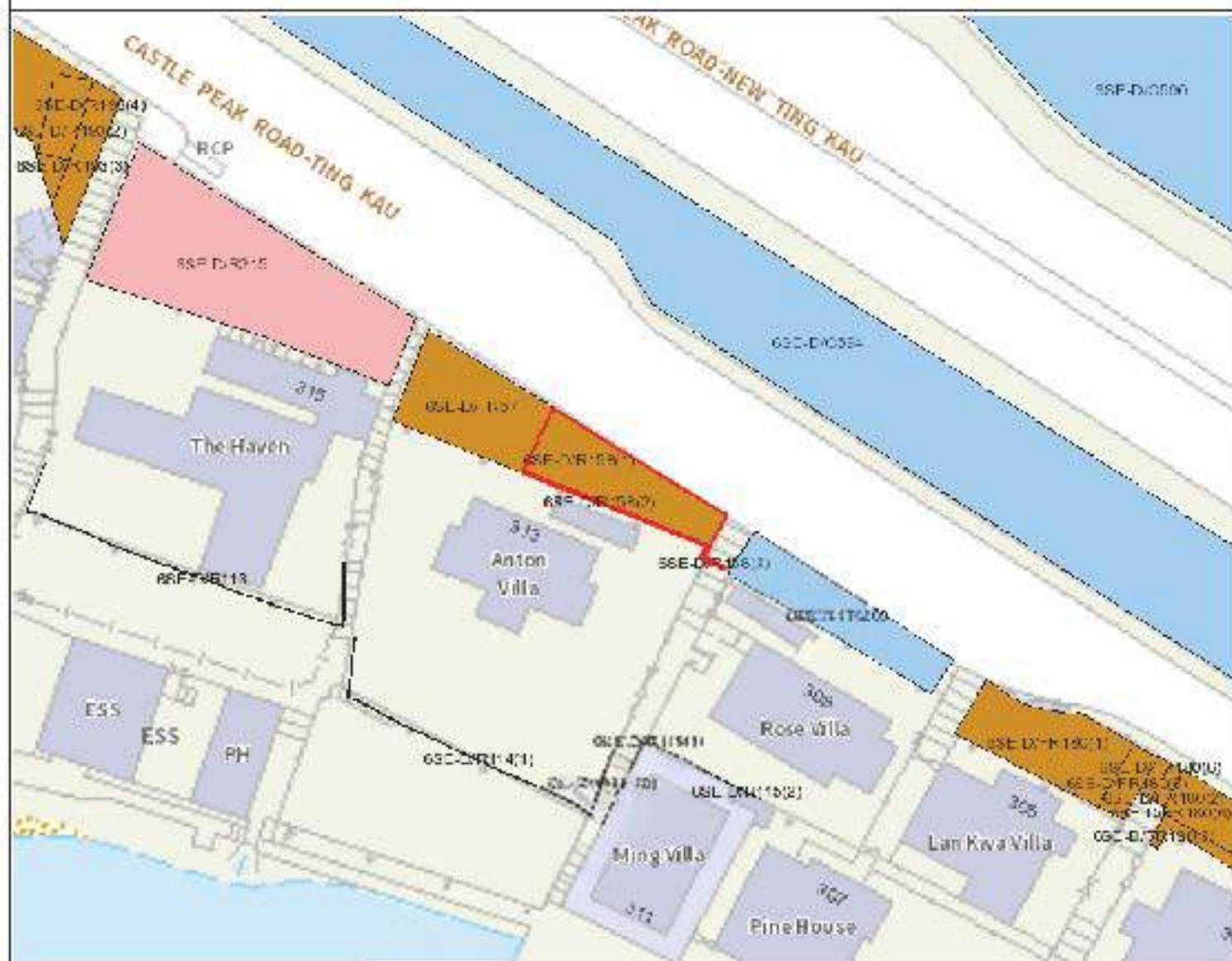
- End of Report -

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Location Plan



Legend

- Slope Area(s)
- - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

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Slope Maintenance Responsibility Report

(6SE-D/R115)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R115	Sub-Division	1
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2	
	Responsible Lot/Party	DD399 LOT447	Maintenance Agent Not Applicable
	Remarks	Not Applicable	
2	6SE-D/R115	Sub-Division	2
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2	
	Responsible Lot/Party	DD399 LOT401	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

- End of Report -

Notes:

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Location Plan



Legend

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- - - - Search Location
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- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
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Slope Maintenance Responsibility Report

(6SE-D/R114)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R114	Sub-Division		1
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R114	Sub-Division		1
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R114	Sub-Division		2
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

- End of Report -

Notes:

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Location Plan



Legend

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- - - - Search Location
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- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/R113)

**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

1	6SE-D/R113	Sub-Division	Not Applicable	
	Location	WITHIN DD399 LOT404		
	Responsible Lot/Party	DD399 Lot404	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

Notes:

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Location Plan



Legend

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- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/FR203)

**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

1	6SE-D/FR203	Sub-Division		Not Applicable
	Location	ADJOINING CASTLE PEAK ROAD - TING KAU IN DEMARCATION DISTRICT 399		
	Responsible Lot/Party	Highways Department	Maintenance Agent	Highways Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

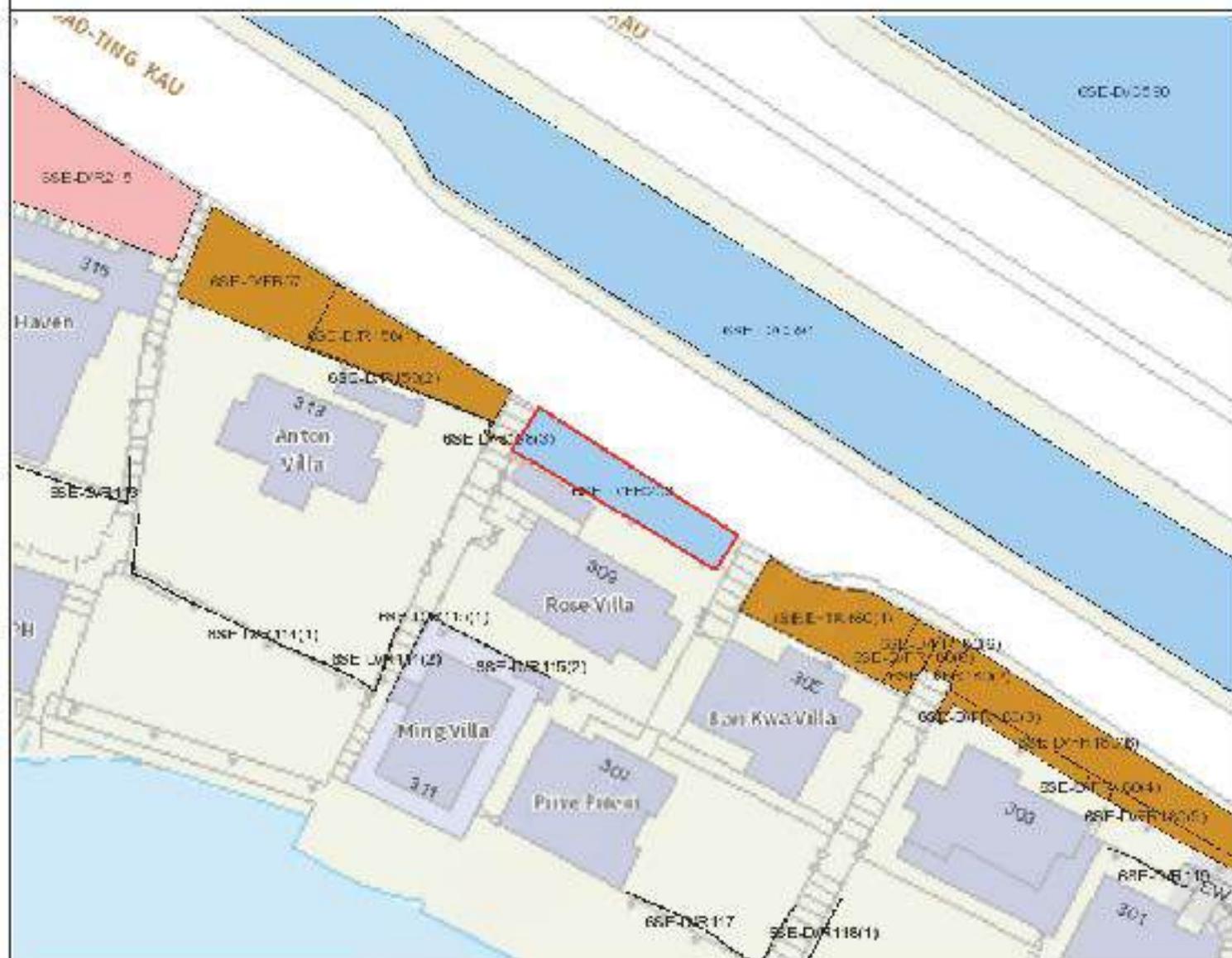
- End of Report -

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Location Plan



Legend

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Slope Maintenance Responsibility Report

(6SE-D/FR57)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	Lands Department	Maintenance Agent Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.	
2	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	STT1139TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

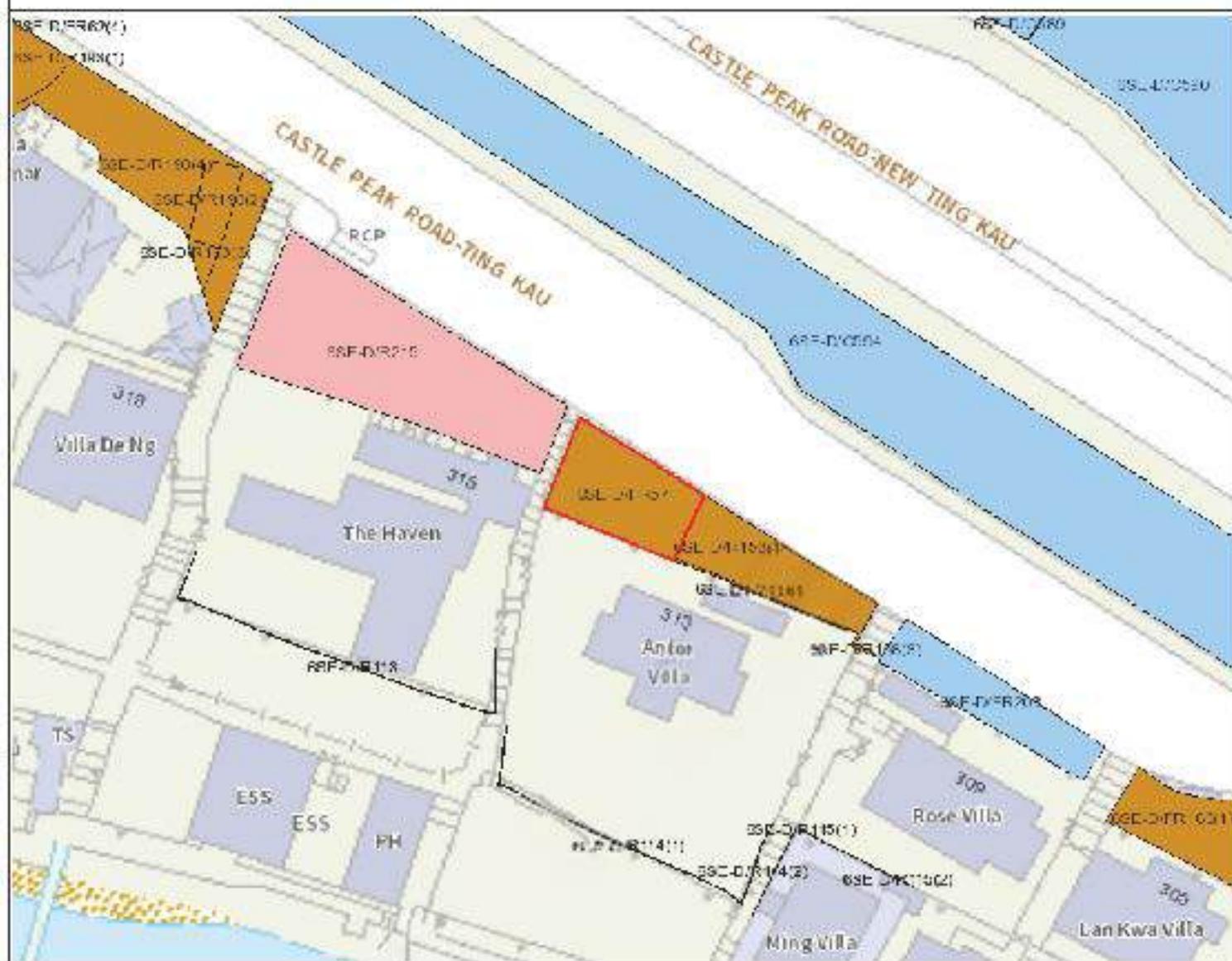
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Appendix D

Slope Records Retrieved from CEDD

BASIC INFORMATION

Location: Castle Peak Road - Ting Kau
Registration Date: 25-09-2012
Ranking Score (NPRS): 3620 (LPMit)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: EI(Lands D)
Approximate Coordinates: Easting : 826448 Northing : 825613

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Residential building
Distance of Facility from Toe (m): 1
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 8.2 Length (m): 30 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: ST11206TW Agent: N/A Land Cat.: 1 Reason Code: 3 MR Endorsement Date: 27-11-2015

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 16-09-2010
Data Source: EI(Lands D)
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: 3 Min. Berm Width (m): 1
 Weepholes: Size (mm): 25 Spacing (m): 1

SERVICES

(1) Utilities Type: Water Main Size(mm): 200 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): N/A
 Aerial Photos: N/A
 Nearest Rainguage Station (Station Number): ()
 Data Collected On: 16-09-2010
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: N/A File Reference: N/A
 Date Served by BD: 08/07/2024
 LPMIS: Agreement No.: CE62/2019 Report No.: S2R024/2022
 Agreement No.: CE23/2011 Report No.: S3R 103/2014

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 1

Type of Crest Facility: Open car park

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 215
Location:	Castle Peak Road - Ting Kau
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	STT1206TW

LPM/LPMit Study

Agreement No.:	CE62/2019
Study Type:	Stage 2 Study
Consultant:	C M Wong & Associates Ltd.
GEO Managing Section / Engineer:	SS / SS1
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N
Study Report No.:	S2R024/2022
Programme / Actual Commencement:	25-01-2022
Programme / Actual Completion:	28-02-2022
Report Recommendation (For Stage 2 Study):	Advisory Letter
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	AL issued on 08/07/2024.

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A

Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 155
Location:	Castle Peak Road - Ting Kau
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed
Responsible Party for Maintenance of Government Portion:	Lands D
Private Lot No.:	STT1206TW

LPM/LPMit Study

Agreement No.:	CE23/2011
Study Type:	Stage 3 Study Under Schedule of Rates Contract
Consultant:	Fugro (HK) Ltd.
GEO Managing Section / Engineer:	LPM3 / CM62
Study Status:	Study completed
Design Approach:	Prescriptive
Option Assessment Accepted:	Y
Study Report No.:	S3R 103/2014
Programme / Actual Commencement:	16-04-2014
Programme / Actual Completion:	15-11-2014
Report Recommendation (For Stage 2 Study):	N/A
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	Feature No. 6SE-D/FR155 under Agreement No. CE23/2011 (GE) has been renamed to 6SE-D/R215. LPM works could not be carried out under GE/2013/29 as MR is changed from HyD to private.

LPM/LPMit Works

Works Contract No.:	GE/2013/29
GEO Managing Section / Engineer:	LPM3 / W1
Contractor:	Geotech Engineering Limited
Progress Status:	Works suspended
Reason of Study Termination / Works Deletion (If Necessary):	MR wholly private
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	0



Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
Registration Date: 28-04-2000
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification: 31-05-2010
Data Source: Project Office
Approximate Coordinates: Easting : 826485 Northing : 825594

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Cottage, licensed and squatter area
Distance of Facility from Toe (m): 0.3
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 7 Length (m): 18.7 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT 1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 27-05-2014
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 27-05-2014
(3) Sub Div.: 2	Mixed Feature	Party: DD399 LOT 405	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-05-2014
(4) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 27-05-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-08-2018
Data Source: Project Office
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)
 Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
 Berm: No. of Berms: 1 Min. Berm Width (m): 2
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_13254 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950-1 (1963),
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-08-2018
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 Remarks: N/A

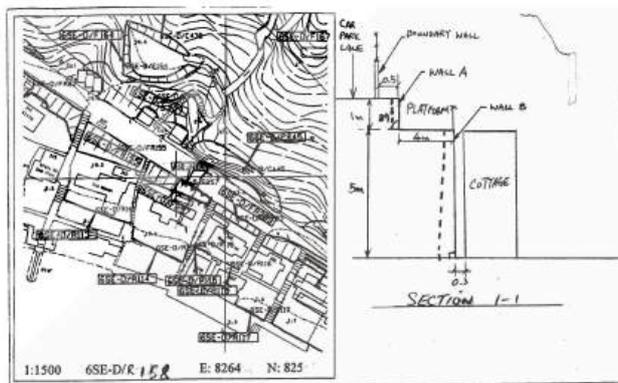
Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
 Upgraded by:
 Prescriptive Design Using GEO Report No. 56: N/A
 Non-prescriptive Design Including Conventional Design: Yes
 Improved by:
 Type 1 / Type 2 Prescriptive Measures: N/A
 Type 3 Prescriptive Measures (not up to upgrading standard): N/A
 Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On: 17-12-1999
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Cottage, licensed and squatter area
 Distance from Toe(m): 0.3
 Type of Crest Facility: Open car park
 Distance from Crest(m): 0
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):

Consequence Category: 1
Engineering Judgement: P
Sign of Seepage: Slope : N/A
Wall : Signs of seepage
Criterion A satisfied: N
Sign of Distress: Slope : N/A
Wall : Minimal(near crest, mid-portion)
Criterion D satisfied: N
Non-routine maintenance required: N
Note: N/A
Masonry wall/Masonry facing: Y
Note: N/A
Consequence category (for critical section): 1
Observations: N/A
Emergency Action Required: N
Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study: Y
Action By: Private

OTHER EXTERNAL ACTION

Check / repair Services: N
Action By: N/A
Non-routine Maintenance: N
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 158
Location: TING AKU, NO.311-313 CASTLE PEAK ROAD
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Mixed
Responsible Party for Maintenance of Government Portion: Lands D
Private Lot No.: STT139TW

LPM/LPMit Study

Agreement No.:	CE47/2005
Study Type:	Stage 2 Study
Consultant:	Maunsell Geotechnical Services Ltd.
GEO Managing Section / Engineer:	SS / SS3
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R18/2008
Programme / Actual Commencement:	23-01-2008
Programme / Actual Completion:	07-09-2008
Report Recommendation (For Stage 2 Study):	No action required
District Check Status:	Exempted from checking
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





BASIC INFORMATION

Location: Rose Villa, Castle Peak Road, Ting Kau, Tsuen Wan, New Territories. Lot No. 401 in D.D. 399
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (Notional)
Date of Formation: pre-1977
Date of Construction/ Modification: 15-07-2011
Data Source: AP
Approximate Coordinates: Easting : 826486 Northing : 825569

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
Distance of Facility from Crest (m): 4.5
Facility at Toe: Residential building
Distance of Facility from Toe (m): 2.5
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.1 Length (m): 19 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Private Feature	Party: DD399 LOT447	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006
(2) Sub Div.: 2	Private Feature	Party: DD399 LOT401	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-11-2011
Data Source: AP
Slope Part Drainage: N/A
Wall Part Drainage: (1) Position: Crest Size(mm): 225

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

(1) Utilities Type: Water Main Size(mm): 25 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10329 Part: 1 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

BACKGROUND INFORMATION

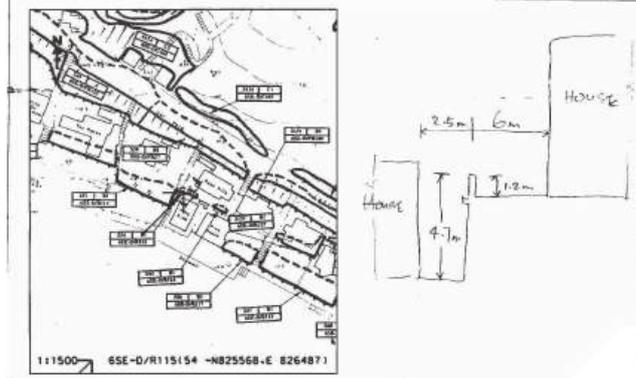
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-11-2011
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 30/05/2008 Notice No.: DH0052/NT/08/C
 Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 17/09/2010 Notice No.: DH0120/NT/10/C
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE10/2003 Report No.: S2R209/2005

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Residential building
 Distance from Toe(m): 2.5
 Type of Crest Facility: Residential building
 Distance from Crest(m): 4.5
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble.
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 115
Location:	MING VILLA DD339 LOT 447, CASTLE PEAK ROAD, TING KAU
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	DD399 Lot447, DD399 Lot401

LPM/LPMit Study

Agreement No.:	CE10/2003
Study Type:	Stage 2 Study
Consultant:	Scott Wilson (HK) Ltd.
GEO Managing Section / Engineer:	SS / SS2
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R209/2005
Programme / Actual Commencement:	30-12-2004
Programme / Actual Completion:	24-03-2006
Report Recommendation (For Stage 2 Study):	DH Order, No action required
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A



SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Feature No. 6SE-D/R 115

Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





BASIC INFORMATION

Location: NO.313, CASTLE PEAK ROAD, TING KAU
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: SIRST
Approximate Coordinates: Easting : 826469 Northing : 825568

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Horticulture garden
Distance of Facility from Crest (m): 0
Facility at Toe: Lightly-used playground
Distance of Facility from Toe (m): 3
Consequence-to-life Category: 2
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 43 Face Angle (deg): 87

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
Data Source: SIRST
Slope Part Drainage: N/A
Wall Part Drainage: (1) Position: Toe Size(mm): 175

SLOPE PART

N/A



WALL PART

Wall Part (1)
 Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 40 Spacing (m): 1.2

SERVICES

(1) Utilities Type: Electricity Size(mm): 0 Location: On crest Remark: Size cannot be determined

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

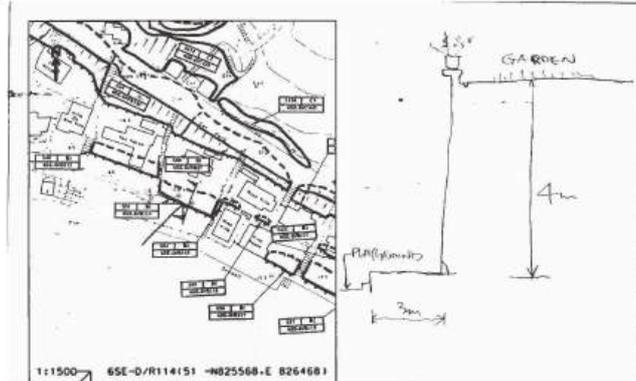
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 3
 Type of Crest Facility: Horticulture garden
 Distance from Crest(m): 0
 Consequence Category: 2
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 2
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble
 Consequence category (for critical section): 2
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO



6SE-D/R114

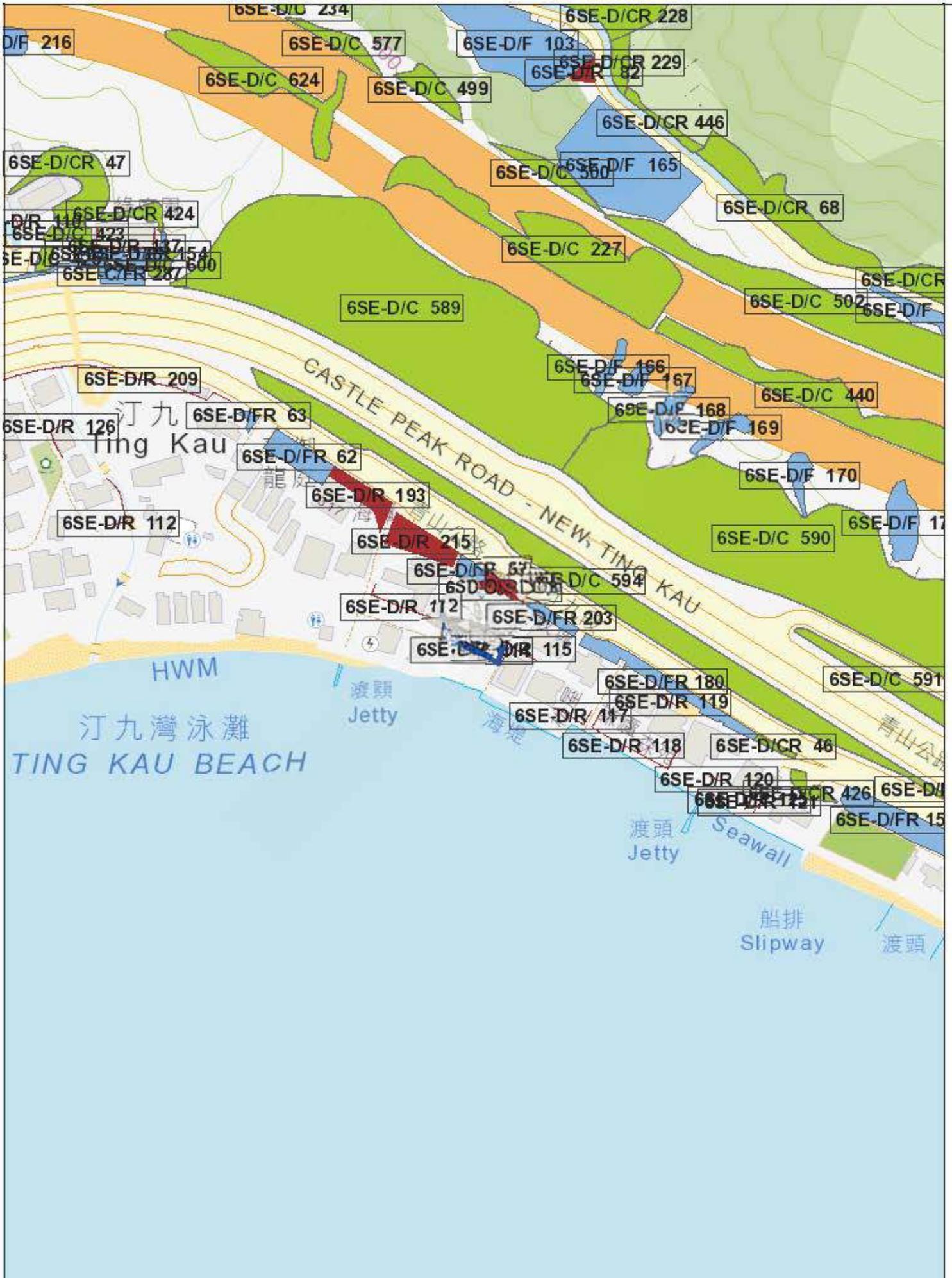
GENERAL VIEW



SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Feature No. 6SE-D/R 114





BASIC INFORMATION

Location: THE HAVEN, CASTLE PEAK ROAD, TING KAU
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (LPMit)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: SIRST
 Approximate Coordinates: Easting : 826442 Northing : 825585

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
 Distance of Facility from Crest (m): 1
 Facility at Toe: Lightly-used playground
 Distance of Facility from Toe (m): 0
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 42 Face Angle (deg): 80

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD399 Lot404 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 05-01-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
 Data Source: SIRST
 Slope Part Drainage: N/A
 Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 65 Spacing (m): 1.2

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

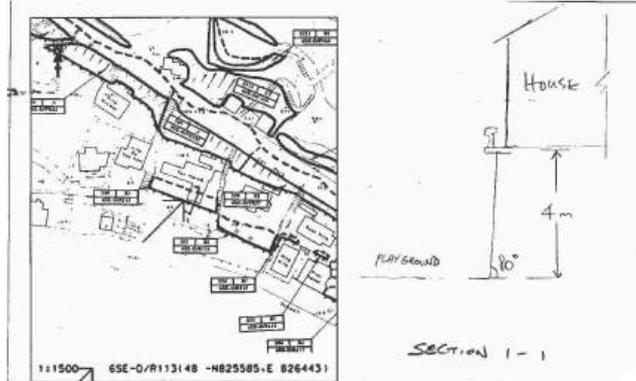
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE79/97 Report No.: S2R261/2000

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Mainly Fine
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 0
 Type of Crest Facility: Residential building
 Distance from Crest(m): 1
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, mid-portion, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: N/A
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study: Y
Action By: Mixed

OTHER EXTERNAL ACTION

Check / repair Services: N
Action By: N/A
Non-routine Maintenance: N
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 113
Location: The Haven, Castle Peak Road, Ting Kau.
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Private
Responsible Party for Maintenance of Government Portion: N/A
Private Lot No.: DD399LOT404

LPM/LPMit Study

Agreement No.: CE79/97
Study Type: Stage 2 Study
Consultant: C M Wong & Associates Ltd.
GEO Managing Section / Engineer: SS / SS1
Study Status: Study completed
Design Approach: Otherwise
Option Assessment Accepted: N/A
Study Report No.: S2R261/2000
Programme / Actual Commencement: 01-06-1998
Programme / Actual Completion: 30-11-2000
Report Recommendation (For Stage 2 Study): Advisory Letter
District Check Status: Checked
Checking Certificate No.: N/A
GEO Engineer's Remarks: # Type 3 Advisory Letter referred to District Division on 4 December 2000.

LPM/LPMit Works

Works Contract No.: N/A
GEO Managing Section / Engineer: N/A / N/A



Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO



6SE-D/R113

GENERAL VIEW



BASIC INFORMATION

Location: CASTLE PEAK ROAD - TING KAU
Registration Date: 27-08-1999
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: EI (HyD)
Approximate Coordinates: Easting : 826505 Northing : 825581

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with moderate traffic density
Distance of Facility from Crest (m): 0
Facility at Toe: Residential building
Distance of Facility from Toe (m): 4
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 1.8 Length (m): 23 Average Angle (deg): 35

WALL PART

(1) Max. Height (m): 4 Length (m): 23 Face Angle (deg): 78

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: HyD Agent: HyD Land Cat.: 5b(iii) Reason Code: 56 MR Endorsement Date: 18-02-2008

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 04-12-2018
Data Source: EI (HyD)
Slope Part Drainage: (1) Position: Toe Size(mm): 225
Wall Part Drainage: (1) Position: Crest Size(mm): 225
(2) Position: Downpipe Size(mm): 225
(3) Position: Toe Size(mm): 200

SLOPE PART



Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
 Material Description: Material type: Soil Geology: N/A
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 300 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_5715 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2007

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: N/A
 Nearest Rainguage Station (Station Number): ()
 Data Collected On: 04-12-2018
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None



ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

Upgraded by:

Prescriptive Design Using GEO Report No. 56: N/A

Non-prescriptive Design Including Conventional Design: Yes

Improved by:

Type 1 / Type 2 Prescriptive Measures: N/A

Type 3 Prescriptive Measures (not up to upgrading standard): N/A

Actual Completion Date: 03-11-2006

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 4

Type of Crest Facility: Road/footpath with moderate traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study:
Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
Action By: N/A
Non-routine Maintenance:
Action By: N/A

PHOTO





SLOPE INFORMATION SYSTEM

GEO TECHNICAL ENGINEERING OFFICE
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Feature No. 6SE-D/FR 203



BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification: 31-05-2010
Data Source: AP
Approximate Coordinates: Easting : 826470 Northing : 825599

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Residential building
Distance of Facility from Toe (m): 3.5
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.3 Length (m): 13 Average Angle (deg): 45

WALL PART

(1) Max. Height (m): 4.3 Length (m): 13 Face Angle (deg): 75

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 29-04-2014
(2) Sub Div.: 0 Mixed Feature Party: STT1139TW Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 29-04-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 08-02-2013
Data Source: AP
Slope Part Drainage: (1) Position: Berm Size(mm): 225
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 100 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): 40 Spacing (m): 1.5



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
Berm: No. of Berms: 2 Min. Berm Width (m): 2.5
Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10491 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 007/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
Map Sheet Reference (1:1000): 6SE-18D
Aerial Photos: Y08950-1 (1963),
Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
Data Collected On: 08-02-2013
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
File/Report: Development Ref. No.: GCMW5/3/16 PT.1 4f30,32 PT.5f112
File/Report: Development Ref. No.: GCMW5/3/16 PT.1 4f30,32 PT.5f112
File/Report: LA Ref. No.: GCMW5/3/16PT1 4f30,32 PT5f112
File/Report: LA Ref. No.: GCMW5/3/16PT1 4f30,32 PT5f112
File/Report: LWC Ref. No.: GC4/1/2-5f7A
File/Report: LWC Ref. No.: GC4/1/2-5f7A

Remarks: N/A
Follow Up Actions: N/A
DH-Order (To Be Confirmed with Buildings Department): None
Advisory Letter (To Be Confirmed with Buildings Department): None
LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
Upgraded by:
Prescriptive Design Using GEO Report No. 56: N/A
Non-prescriptive Design Including Conventional Design: Yes
Improved by:
Type 1 / Type 2 Prescriptive Measures: N/A
Type 3 Prescriptive Measures (not up to upgrading standard): N/A
Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On:
Weather:
District: MW
Section No: 1-1
Height(m):
Type of Toe Facility: Residential building
Distance from Toe(m): 3.5
Type of Crest Facility: Open car park
Distance from Crest(m): 0
Consequence Category:

Engineering Judgement:
Section No: 2-2
Type of Toe Facility:
Distance from Toe(m):
Type of Crest Facility:
Distance from Crest(m):
Consequence Category:
Engineering Judgement:
Sign of Seepage:
Criterion A satisfied:
Sign of Distress:
Criterion D satisfied:
Non-routine maintenance required:
Note:
Masonry wall/Masonry facing:
Note:
Consequence category (for critical section):
Observations: N/A
Emergency Action Required:
Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study:
Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
Action By: N/A
Non-routine Maintenance:
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 57
Location:	TING KAU, NO. 311-313 CASTLE PEAK ROAD
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed



Responsible Party for Maintenance of Government Lands D
 Portion:
 Private Lot No.: STT1139TW

LPM/LPMit Study

Agreement No.: CE47/2005
 Study Type: Stage 2 Study
 Consultant: Maunsell Geotechnical Services Ltd.
 GEO Managing Section / Engineer: SS / SS3
 Study Status: Study completed
 Design Approach: N/A
 Option Assessment Accepted: N/A
 Study Report No.: S2R18/2008
 Programme / Actual Commencement: 23-01-2007
 Programme / Actual Completion: 07-09-2008
 Report Recommendation (For Stage 2 Study): No action required
 District Check Status: Exempted from checking
 Checking Certificate No.: N/A
 GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A
 GEO Managing Section / Engineer: N/A / N/A
 Contractor: N/A
 Progress Status: N/A
 Reason of Study Termination / Works Deletion (If Necessary): N/A
 Forecast Commencement Date: N/A
 Forecast Completion Date: N/A
 Completion Cert. Issued: N/A
 Site Handed Over to Maintenance Department on: N/A
 Estimated Cost for Upgrading (HK\$M): N/A
 Maintenance Manual No.: N/A
 Actual Works: N/A
 No. of Tree Felled: N/A
 No. of Tree Planted (Incl. Transplant): N/A
 % Bare of Slope Surfacing: N/A
 % Vegetated of Slope Surfacing: N/A
 % Shotcrete of Slope Surfacing: N/A
 Other Hard Surface of Slope Surfacing: N/A

PHOTO



Appendix E

Extraction of Previous GI Records



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

DRILLHOLE RECORD

DRILLHOLE No.
BH 1

SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.	CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.76
MACHINE & No.	BM16		N 825582.87
FLUSHING MEDIUM	Foam	GROUND LEVEL	+ 16.30 mPD
		ORIENTATION	Vertical

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
03/12/2004	HW										A 0.45 INSPECTION PIT	+16.30	0.00			Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (FILL)
											B 0.95	+15.30	1.00			Firm, Brown (7.5YR 5/4), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											C 1.45 1.50 T21OI	+14.80	1.50			Grey (N 5/), dappled brown, subangular BOULDERS (SDT) sized up to 320 mm. (COLLUVIUM)
											1 2.40	+13.90	2.40			Firm, Brown (7.5YR 5/4), dappled greyish brown, sandy SILT with some subangular fine gravel sized rock fragments and occasional subrounded cobbles (HDT). (COLLUVIUM)
											2 2.70 2.80 T21OI	+13.50	2.80			Greyish brown (2.5Y 5/2), dappled brown, silty sandy subangular to subrounded COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)
											3 3.20 3.50 T21OI	+12.30	4.00			Extremely weak, greyish brown and light brown, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)
											4 4.60 4.70 4.73 T21OI	+11.57 +11.40	4.73 4.90			Strong, grey, spotted light grey and dark grey, slightly decomposed coarse ash crystal TUFF. Joints are widely spaced, locally very closely spaced, rough planar, extremely narrow to very narrow, manganese stained and iron stained, dipping 10° to 20°.
03/12/2004 04/12/2004	Dry at 18:00 Dry at 08:00										5 5.56 T21OI	+10.74	5.56			From 4.73m to 4.90m: Moderately strong, moderately decomposed TUFF.
											6 5.85 5.96 T21OI	+10.24 +10.10	5.96 6.20			Very weak to weak, grey, dappled brown and dark brown, mottled white, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular fine to coarse GRAVEL)
											7 6.40 T21OI	+9.80	6.40			Weak to moderately strong, grey, dappled light brown, highly decomposed coarse ash crystal TUFF. Joints are extremely closely spaced to very closely spaced, rough planar and rough undulating, very narrow, manganese stained and iron stained, dipping 50° to 60° and 70° to 80°.
											8 7.40 7.50					From 6.06m to 6.20m: No recovery, inferring completely decomposed TUFF.
											9 7.90	+8.30	8.00			From 6.25m to 6.40m: Moderately strong, moderately decomposed TUFF.
04/12/2004	HW 8.00										10 7.90 7.95	+8.30	8.00			Extremely weak to very weak, light brown and greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular to subangular fine gravel) End of Investigation Hole at 8.00m.

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazier sample ▤ Piston sample ▣ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip □ Standpipe tip ⊖ Standard penetration test ⊖ Pressuremeter test ⊖ Water absorption test or Permeability test ⊖ Sonic televiewer test ⊖ Impression packer test ⊖ in-situ vane shear test 	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>LOGGED</td> <td>T. C. Yip</td> </tr> <tr> <td>DATE</td> <td>17/12/2004</td> </tr> <tr> <td>CHECKED</td> <td>G. Whatmore</td> </tr> <tr> <td>DATE</td> <td>18/12/2004</td> </tr> </table>	LOGGED	T. C. Yip	DATE	17/12/2004	CHECKED	G. Whatmore	DATE	18/12/2004	<p style="text-align: center;">REMARKS</p> <ol style="list-style-type: none"> 1. An inspection Pit was excavated by hand to 1.50m 2. A falling head permeability test was carried out from 7.00m to 8.00m 3. A piezometer was installed at 7.00m. 4. A standpipe was installed to 3.60m
LOGGED	T. C. Yip										
DATE	17/12/2004										
CHECKED	G. Whatmore										
DATE	18/12/2004										



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
HC 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826509.87	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825575.71	DATE	30/11/2004 to 01/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.18 mPD	ORIENTATION/DIP	030°/00°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description					
																	No.	Type	Depth		
30/11/2004	NW			100							NW	+12.18	0.00			Reddish grey (10R 6/1), GRANITE MASONRY BLOCKS. (MASONRY WALL)					
				69								NW	+12.18			0.14	Grey (N 5), angular COBBLES sized cement mortar with some angular to subangular fine to coarse gravel sized rock fragments. (RETAINING WALL)				
				50								NW	+12.18			0.50	Greyish brown (2.5Y 5/2), subangular COBBLES (MDT). (COLLUVIUM)				
													1				+12.18	1.20	Firm, brown (7.5YR 5/4), sandy SILT with occasional angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)		
													NW					1.50	Greyish brown (2.5Y 5/2), subangular BOULDERS (MDT) sized up to 250 mm with some subangular cobbles and some subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)		
													NW					2.00	Firm, Greyish brown (2.5Y 5/2), sandy SILT with occasional angular to subangular fine gravel sized rock fragments. (COLLUVIUM)		
													NW					2.20			
													2					2.65			
													2.70								
				30/11/2004 01/12/2004	NW			85									NW	+12.18	3.20		
												4		+12.18	3.44	Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)					
01/12/2004	NW	6.20		80							NW	+12.18	3.70			Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)					
												5				+12.18	4.20	Greyish brown (2.5Y 5/2), silty fine to coarse SAND with some angular to subangular fine to coarse gravel sized rock fragments and occasional subangular cobbles (MDT). (COLLUVIUM)			
												NW					+12.18	4.40	Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with much angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)		
												6					+12.18	4.70	Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)		
													7					+12.18	5.20	Greyish brown (2.5Y 5/2), subangular COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)	
													8					+12.18	5.70	Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with much angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)	
									10			+12.18	6.20	Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)							
																Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with occasional angular to subangular fine gravel) End of Corehole at 6.20m.					

- Small disturbed sample
- Large disturbed sample
- ▬ SPT liner sample
- ▨ U64 undisturbed sample
- ▩ U76 undisturbed sample
- ▧ U100 undisturbed sample
- ▦ Mazier sample
- ▤ Piston sample
- ▣ Environmental Sample
- ▲ Water sample
- Piezometer tip
- ◆ Standpipe tip
- ⊕ Standard penetration test
- ⊖ Pressuremeter test
- ⊗ Water absorption test or Permeability test
- ⊘ Sonic televiewer test
- ⊙ Impression packer test
- ⊚ In-situ vane shear test

LOGGED	T. C. Yip
DATE	18/12/2004
CHECKED	G. Whatmore
DATE	22/12/2004

REMARKS



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
HC 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.98	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825579.84	DATE	01/12/2004 to 02/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.15 mPD	ORIENTATION/DIP	030°/00°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
01/12/2004	NW			70							NW	+12.15	0.00			Reddish grey (10R 6/1), GRANITE MASONRY BLOCKS. (MASONRY WALL)
											1	+12.15	0.50			Brown (7.5YR 5/4) and greyish brown (2.5Y 5/2), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											2	+12.15	1.50			Greyish brown (2.5Y 5/2), sandy SILT with some subangular fine gravel sized rock fragments. (COLLUVIUM)
											3		1.95			
											4		2.45			
											5	+12.15	3.00			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
01/12/2004 02/12/2004				80							6	+12.15	3.25			Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (COLLUVIUM)
											7	+12.15	4.00			Greyish brown (2.5Y 5/2), sandy subangular to subrounded fine to coarse GRAVEL (MDT) with occasional subangular cobbles (MDT). (COLLUVIUM)
				78							8	+12.15	4.54			Firm, greyish brown (2.5Y 5/2), sandy subangular to subrounded fine to coarse GRAVEL (MDT) with occasional subangular cobbles (MDT). (COLLUVIUM)
											9	+12.15	5.00			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
				88							10	+12.15	5.16			Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Slightly sandy SILT with occasional angular to subangular fine gravel)
02/12/2004	NW										11	+12.15	6.00			End of Corehole at 6.00m.

- Small disturbed sample
- Large disturbed sample
- ▬ SPT liner sample
- ▨ U64 undisturbed sample
- ▩ U76 undisturbed sample
- ▧ U100 undisturbed sample
- ▦ Mazier sample
- ▤ Piston sample
- ▣ Environmental Sample
- ▲ Water sample
- Piezometer tip
- ⬮ Standpipe tip
- ⬭ Standard penetration test
- ⬮ Pressuremeter test
- ⬭ Water absorption test or Permeability test
- ⬮ Sonic televiewer test
- ⬭ Impression packer test
- ⬮ In-situ vane shear test

LOGGED	T. C. Yip
DATE	18/12/2004
CHECKED	G. Whatmore
DATE	22/12/2004

REMARKS



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

COREHOLE No.
IC 1

COREHOLE RECORD

SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826509.62	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825575.89	DATE	02/12/2004 to 03/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.20 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
02/12/2004	NW											+12.20	0.00			Reddish grey (10R 6/1), angular BOULDERS (SDG) sized up to 250 mm. (MASONRY WALL) Light brown (7.5YR 6/4), dappled grey, angular to subangular COBBLES (MDT, cement mortar) with some concrete fragments. (MASONRY WALL) Firm, brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM) Extremely weak, greyish brown, dappled grey, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)
												+12.04	0.25			
												+11.92	0.43			
02/12/2004 03/12/2004																Very weak, greyish brown, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular COBBLES) From 4.58m to 5.00m : No recovery, inferring completely decomposed TUFF. From 5.08m to 5.50m : No recovery, inferring completely decomposed TUFF. Wash boring.
03/12/2004	NW															End of Corehole at 6.10m.

- | | |
|---|--|
| <ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample ▨ SPT liner sample ▨ U64 undisturbed sample ▨ U76 undisturbed sample ▨ U100 undisturbed sample ▨ Mazier sample ▨ Piston sample ▨ Environmental Sample | <ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ⬇ Standpipe tip ⬇ Standard penetration test ⬇ Pressuremeter test ⬇ Water absorption test or Permeability test ⬇ Sonic televiewer test ⬇ Impression packer test ⬇ In-situ vane shear test |
|---|--|

LOGGED	T. C. Yip
DATE	17/12/2004
CHECKED	G. Whatmore
DATE	22/12/2004

REMARKS



VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
IC 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826503.41	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 3		N 825579.64	DATE	04/12/2004 to 04/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.17 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.O.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
04/12/2004	NW			75							NW 1 • 0.00 0.49 0.50	+12.17	0.00			Reddish grey (10R 6/1), angular COBBLES (SDG, cement mortar) with some subangular coarse gravel sized rock fragments and occasional concrete fragments. (MASONRY WALL)
											2 • 0.95 1.00	+11.98 +11.85	0.30 0.50			Greyish brown (2.5Y 5/2), silty fine to coarse SAND with some angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)
											3 • 1.45 1.50	+11.21	1.50		V	Firm, greyish brown (2.5Y 5/2), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											4 • 1.95 2.00					Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular fine gravel)
											5 • 2.45 2.50					
											6 • 2.95 3.00	+10.24	3.00		V	Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with occasional subangular fine gravel)
											7 • 3.45 3.50					
											8 • 3.95 4.00					
											9 • 4.45 4.50					
											10 • 4.95 5.00	+8.96	5.00		III	Moderately strong to strong, grey, dappled brown, spotted green and dark green, moderately decomposed coarse ash crystal TUFF.
				90	56	52	8.3	> 20	5.00		NW					5.12
							7.4	> 20	5.33		NW					5.60
							5.70				NW					5.70
04/12/2004	NW 6.00			92	44	20	5.7					+8.31	6.00			End of Corehole at 6.00m.

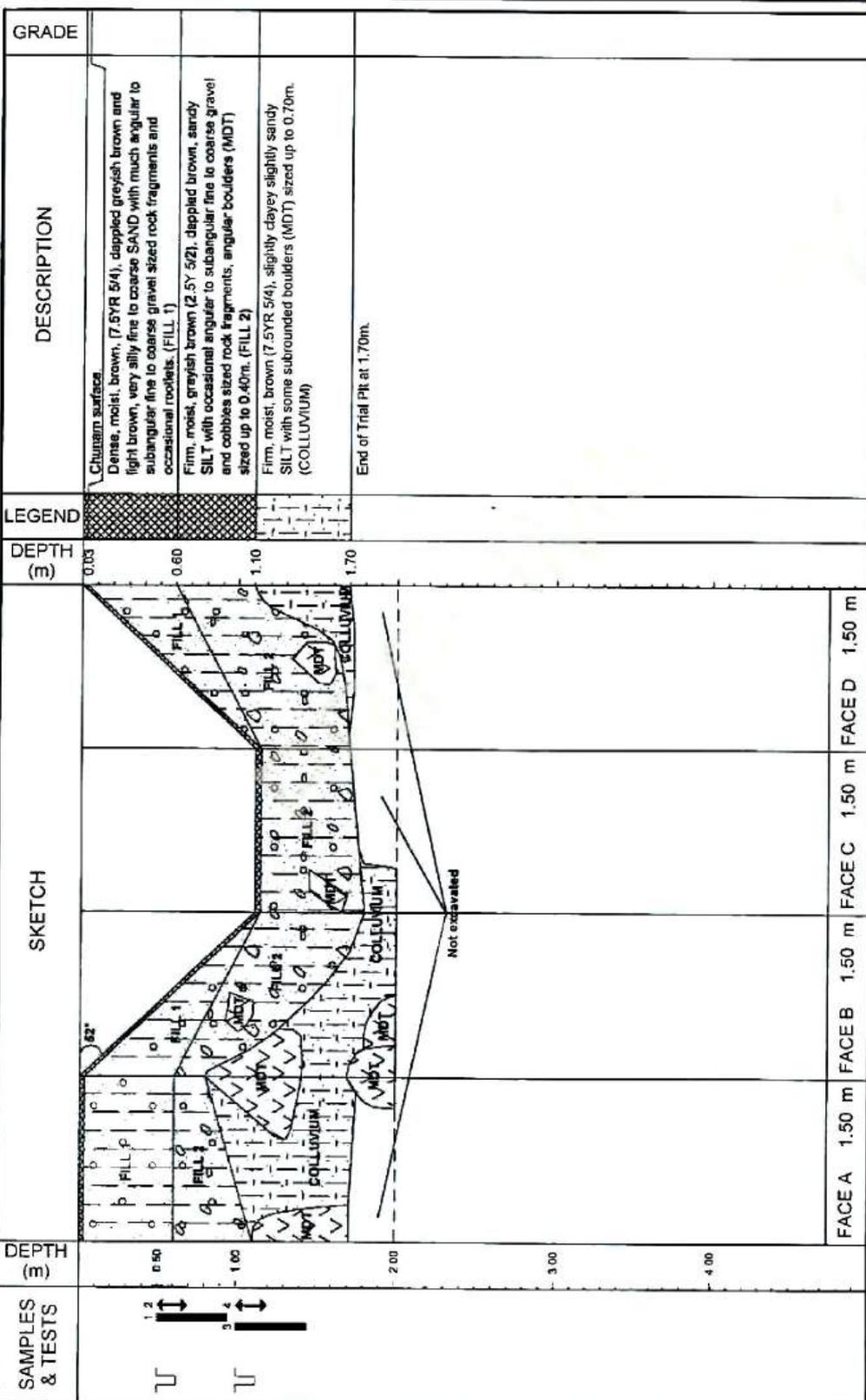
<ul style="list-style-type: none"> ● Small disturbed sample ⊕ Large disturbed sample ⊖ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazier sample ▤ Piston sample ▣ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample ⊡ Piezometer tip ⊠ Standpipe tip ⊞ Standard penetration test ⊟ Pressuremeter test ⊠ Water absorption test or Permeability test ⊞ Sonic televiewer test ⊟ Impression packer test ⊠ In-situ vane shear test 	LOGGED T. C. Yip DATE 18/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL PIT RECORD

TRIAL PIT No.:
TP 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	09/12/2004	CO-ORDINATES	E 826501.95	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	14/12/2004		N 825582.05	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.80 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



CROSS SECTION

PLAN

REMARKS

1. Trial pit was dry during excavation.
2. Trial pit was stable during excavation.
3. Timber shoring over the full height.
4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m.
5. Large disturbed samples were taken at 0.50m and 1.00m.
6. In situ density tests were carried out at 0.50m and 1.00m.
7. MDT = Moderately decomposed TUFF.

SYMBOLS

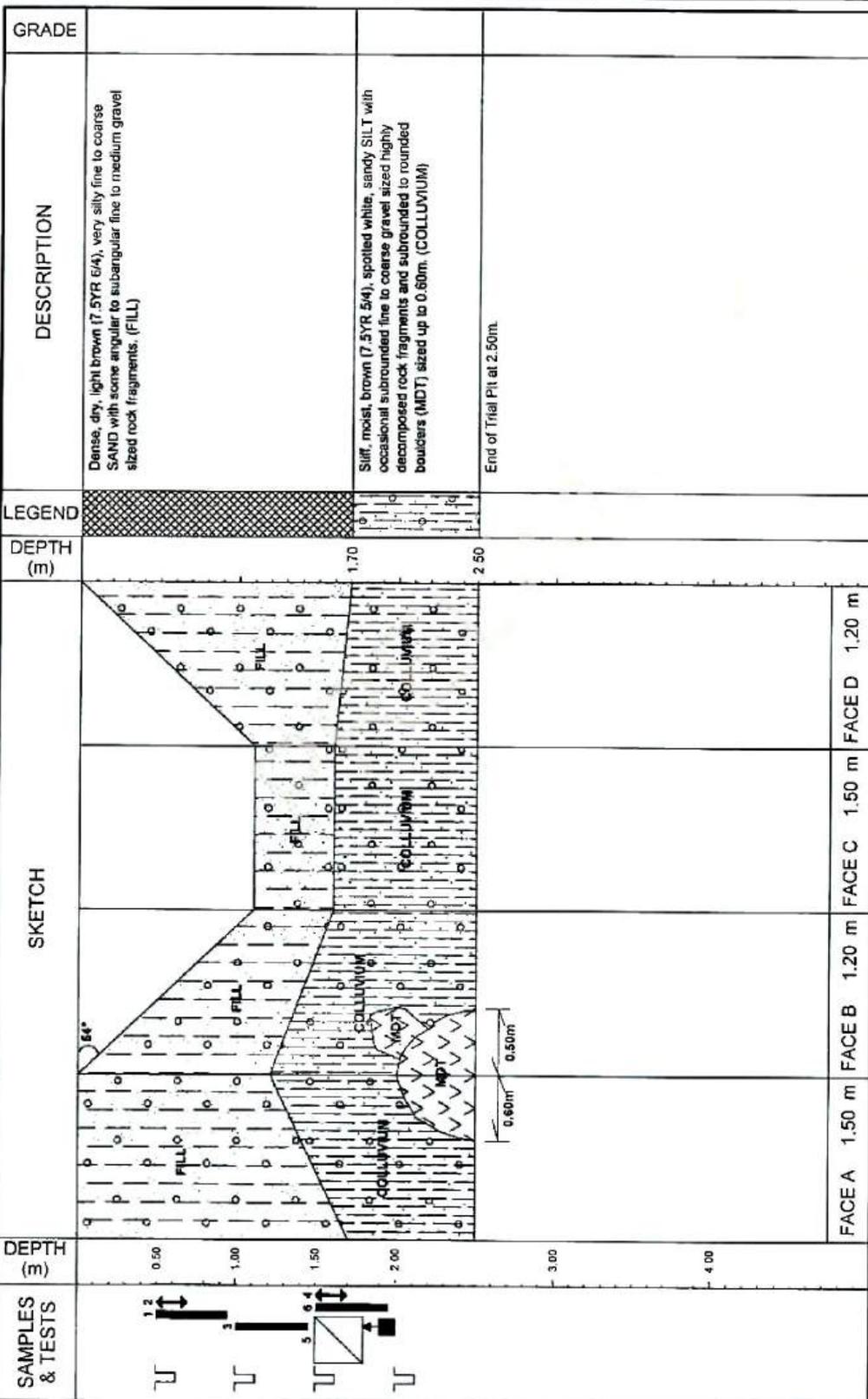
- Small disturbed sample
- Large disturbed sample
- Undisturbed horizontal sample
- Undisturbed vertical sample
- Block sample
- In situ density test
- Water seepage
- Water sample
- Standpipe tip
- Vane shear test
- Percolation test
- Environmental Sample



VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	30/11/2005	CO-ORDINATES	E 826506.88	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	04/12/2004		N 825578.99	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	17/12/2004	GROUND LEVEL	+ 14.54 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



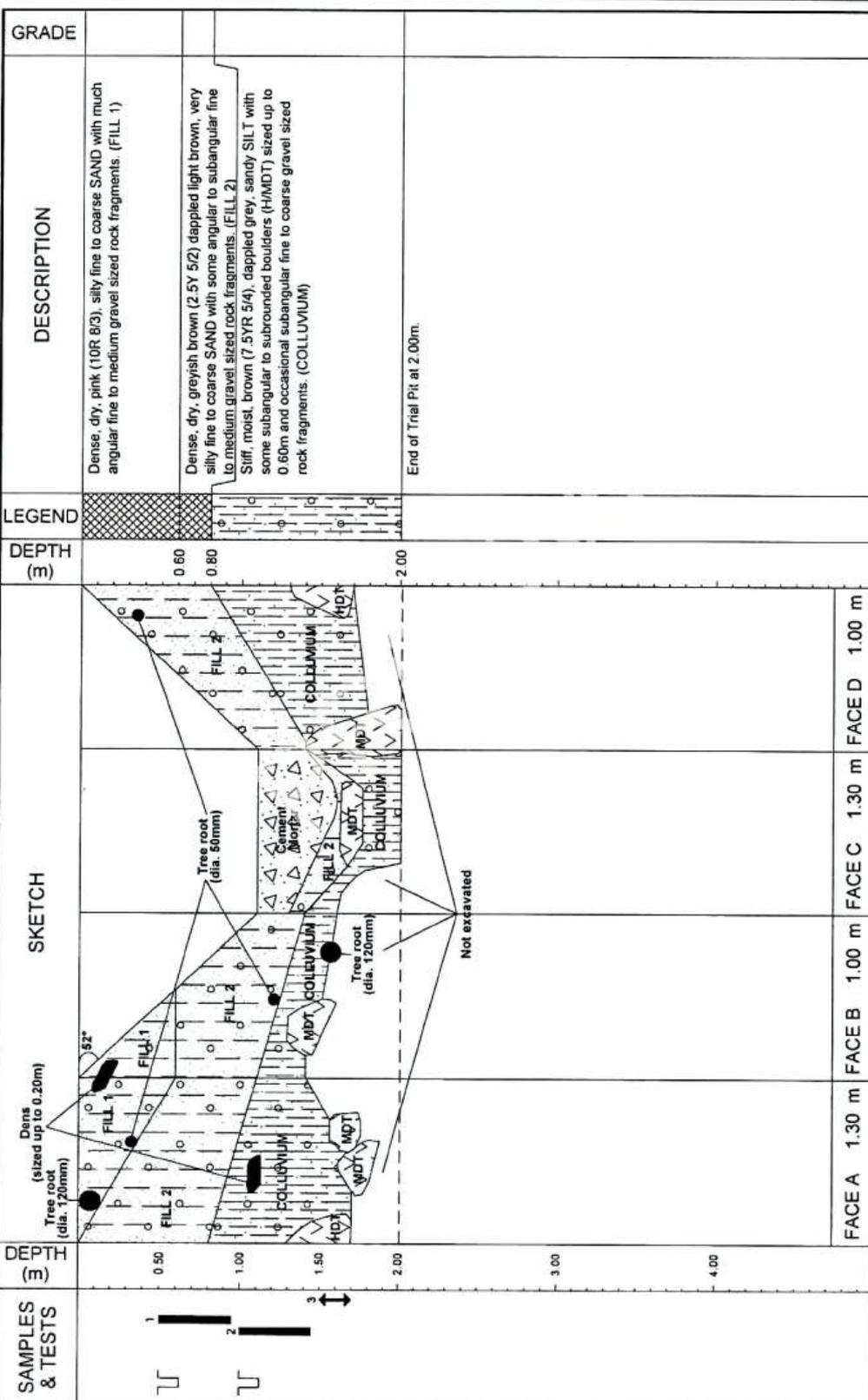
SYMBOLS	Small disturbed sample	REMARKS	CROSS SECTION
	Large disturbed sample		
Undisturbed horizontal sample	<ol style="list-style-type: none"> 1. Trial trench was dry during excavation. 2. Trial trench was stable during excavation 3. Timber shoring over the full height. 4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m, 1.00m to 1.45m and 1.50m to 1.95m. 5. Large disturbed samples were taken at 0.50m and 1.00m. 6. In situ density tests were carried out at 0.50m, 1.00m, 1.50m and 2.00m. 7. A block sample was taken at 1.50m. 8. A standpipe was installed at 2.00m. 9. MDT = Moderately decomposed TUFF. 		
Block sample			<p>1. Trial trench was dry during excavation.</p> <p>2. Trial trench was stable during excavation</p> <p>3. Timber shoring over the full height.</p> <p>4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m, 1.00m to 1.45m and 1.50m to 1.95m.</p> <p>5. Large disturbed samples were taken at 0.50m and 1.00m.</p> <p>6. In situ density tests were carried out at 0.50m, 1.00m, 1.50m and 2.00m.</p> <p>7. A block sample was taken at 1.50m.</p> <p>8. A standpipe was installed at 2.00m.</p> <p>9. MDT = Moderately decomposed TUFF.</p>
In situ density test			
Water seepage			
Water sample			
Standpipe tip			
Vane shear test			
Percolation test			
Environmental Sample			



VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 3
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	02/12/2004	CO-ORDINATES	E 826512.16	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	06/12/2004		N 825575.52	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.46 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



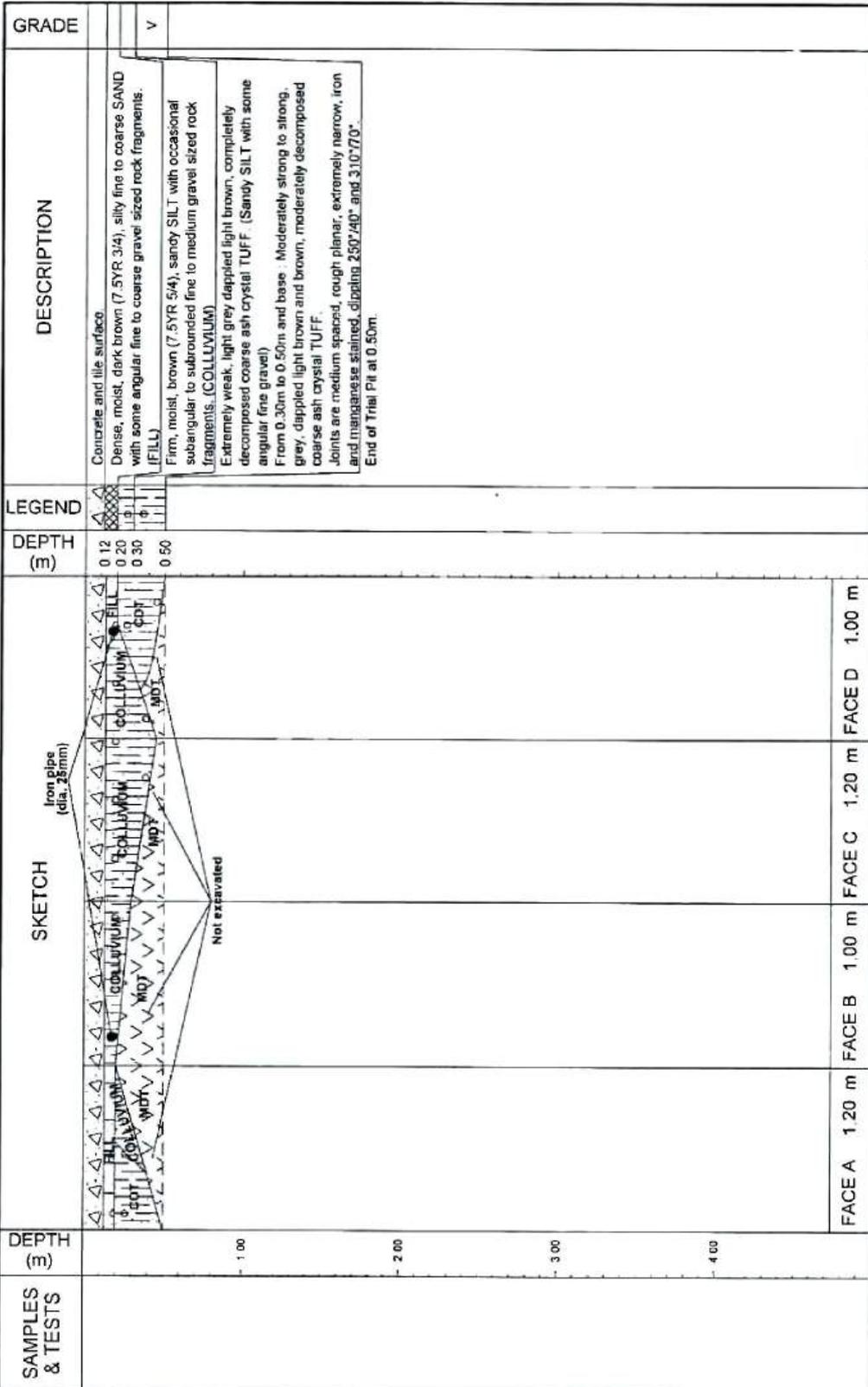
SYMBOLS	Small disturbed sample	REMARKS	CROSS SECTION
	Large disturbed sample		
Undisturbed horizontal sample	1. Trial trench was dry during excavation. 2. Trial trench was stable during excavation. 3. Timber shoring over the full height. 4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m. 5. A large disturbed sample was taken at 1.50m. 6. In situ density tests were carried out at 0.50m and 1.00m. 7. MDT = Moderately decomposed TUFF.	PLAN	
Undisturbed vertical sample			
Block sample		1. Small disturbed sample 2. Large disturbed sample 3. Undisturbed horizontal sample 4. Undisturbed vertical sample 5. In situ density test 6. Water seepage 7. Water sample 8. Standpipe tip 9. Vane shear test 10. Percolation test 11. Environmental Sample	
In situ density test			
Water seepage			
Water sample			
Standpipe tip			
Vane shear test			
Percolation test			
Environmental Sample			



VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL PIT RECORD

TRIAL PIT No.:
TP 4
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.		CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	28/12/2004	CO-ORDINATES	E 826506.90	WORKS ORDER No.
EXCAVATION COMPLETED ON	29/12/2004		N 825576.33	LOGGED BY
				T. C. Yip
BACKFILLED ON	15/01/2005	GROUND LEVEL	+ 11.26 mPD	DATE
				03/01/2005
				CHECKED BY
				G. Whatmore
				DATE
				04/01/2005



SAMPLES & TESTS	SYMBOLS	REMARKS	PLAN	CROSS SECTION
Small disturbed sample Large disturbed sample Undisturbed horizontal sample Undisturbed vertical sample Block sample In situ density test Water seepage Water sample Standpipe tip Vane shear test Percolation test Environmental Sample		1. Trial pit was dry during excavation. 2. Trial pit was stable during excavation. 3. No shoring. 4. CDT = Completely decomposed TUFF 5. MDT = Moderately decomposed TUFF		



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **1** OF **5**

DRILLHOLE RECORD

CONTRACT NO. GE/2001/14

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 825568.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION Vertical	GROUND LEVEL 4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
18/02/2003	PX							INSPECTION PIT	4.48	0.50			Dark brown (7.5YR 3/3) spotted yellowish brown, silty fine to coarse SAND with much angular fine to coarse gravel sized concrete and moderately strong rock fragments. (FILL)
										1.00			Brown (7.5YR 5/3) spotted orange and dark grey, silty fine to coarse SAND with much angular to subangular fine to coarse gravel sized brick, cement grout and occasional moderately strong rock fragments. (FILL)
										1.50			
										2.00			
			60							2.98			
			61					T2101		2.70			Greenish grey (GLE1 5/1) dappled yellowish brown and white, angular to subangular COBBLE with some fine to coarse gravel and occasional boulder sized quartz and strong to moderately strong granite and tuff fragments. (FILL)
	PX 3.40 HX		67					T2101		3.40			From 2.70m to 3.03m : Boulder sized strong tuff fragments.
			67							4.00			From 3.90m to 4.00m : Silty fine to coarse sand with some angular fine to medium gravel sized quartz and rock fragments.
			67						0.98	4.00			Yellowish brown (10YR 5/6) spotted white and green, silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments. (FILL)
			53							5.10			Olive brown (2.5YR 4/4), silty clayey fine to coarse SAND with much subangular to subrounded fine to coarse gravel sized quartz and strong tuff fragments. (FILL)
							18,23 19,15,18,14 N=68			8.20		V	Extremely weak, yellowish brown (10YR 5/4) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz fragments)
										8.65			
										7.10		V	Extremely weak, yellowish brown (10YR 5/5) mottled white and black, completely decomposed, fine to medium grained GRANITE with fractured quartz veins. (Silty fine to coarse SAND with some angular fine to coarse gravel sized quartz fragments)
										8.20		V	Extremely weak, yellowish brown (10YR 5/5) dappled white, completely decomposed, fine to medium grained GRANITE. (Firm, sandy silty CLAY with occasional angular fine gravel sized quartz fragments)
18/02/2003 19/02/2003		1.50m at 18:00 2.40m at 08:00	53										
							9,8 12,14,21,27 N=74			9.30		V	Extremely weak, yellowish brown (10YR 5/4) spotted white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional angular fine gravel sized
										9.75			

- SMALL DISTURBED SAMPLE
- ◻ LARGE DISTURBED SAMPLE
- ◻ SPT LINER SAMPLE
- ◻ U75 UNDISTURBED SAMPLE
- ◻ U100 UNDISTURBED SAMPLE
- ◻ MAZIER SAMPLE
- ◻ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- ▲ STANDPIPE
- ▲ STANDARD PENETRATION TEST
- ▲ PERMEABILITY TEST
- ▲ IMPRESSION PACKER TEST
- ▲ IN-SITU VANE SHEAR TEST
- ▲ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS
 1. Piezometer tip was installed at a depth of 29.40m with piezometer bucket (7 nos.) from the depth of 0.50m to 3.50m at 0.50m intervals.



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **2** OF **6**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 825568.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION Vertical	GROUND LEVEL 4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
10	HX		90					17	-5.22	10.20		V	quartz fragments) Extremely weak, brown (10YR 4/3) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Firm, slightly sandy CLAY with much angular fine to coarse gravel sized quartz fragments)
11			71	0	0	NI		18	-8.32	11.30		V/IV	Extremely weak to very weak, brown (10YR 5/3) dappled white, completely to highly decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some fine to medium gravel sized quartz and rock fragments)
12			95			NA		19	-7.02	12.00		V	From 11.30m to 11.50m : With much subangular fine to coarse gravel sized quartz fragments. Extremely weak, yellowish brown (10YR 5/8) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
13							4.7 8.11.13.15 N=47	20		13.10			
14								21		12.55			
15			92					22		12.55			
16							20.23 25.27.34.14/25.5m (1000ks/250mm)	23	-9.02	14.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
17			92					24		15.18			
18							29.21/75mm 47.53/45mm (1000ks/120mm)	25		15.50			
19			85					26	-12.12	17.10		V	Extremely weak to very weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional subangular fine gravel sized quartz fragments)
20			95					27		18.00			
								28		17.37			
								29		18.00			
								30	-13.02	18.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
								31		19.10			
								32		19.10			
								33	-14.12	19.10		V	Extremely weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Slightly clayey, silty fine to coarse SAND with occasional fine gravel sized quartz and feldspar fragments)

- SMALL DISTURBED SAMPLE
- ▲ LARGE DISTURBED SAMPLE
- SPT LINER SAMPLE
- ▨ U76 UNDISTURBED SAMPLE
- U100 UNDISTURBED SAMPLE
- ▩ MAZER SAMPLE
- ▧ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- ▲ STANDPIPE
- STANDARD PENETRATION TEST
- ⊥ PERMEABILITY TEST
- ▨ IMPRESSION PACKER TEST
- ∨ IN-SITU VANE SHEAR TEST
- ⊥ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **3** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

E 826446.58

DATE FROM **18/02/2003** TO **22/02/2003**

N 825568.57

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
18/02/2003 20/02/2003	HX	1.80m at 18:00 2.40m at 08:00											See sheet 2 of 5 for details.
21			54	0	0	NI		34 35	-15.22	20.20		V/IV	Extremely weak to very weak, yellowish brown (10YR 5/4) spotted white, completely to highly decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some subangular fine to medium gravel sized quartz and rock fragments)
22			50	25	0	15.0		T2101	-16.62	21.60		V/IV	Moderately weak, yellowish brown spotted white, moderately to highly decomposed, fine to medium grained GRANITE. Joints are very closely spaced, smooth undulating and rough planar, extremely narrow to very narrow, iron and manganese oxide stained, soil (<1mm thick) infilled, locally kaolin (<0.5mm thick) infilled, dipping at 0° to 10°, 10° to 20° and 50° to 60°.
23			50					T2101	-17.22	22.20		III/IV	From 20.90m to 21.60m: Highly fractured with some medium gravel sized quartz fragments from 20.90m to 21.05m.
24			30	0	0	NI		37	-19.12	24.10		V/IV	From 21.60m to 22.20m: No core recovered, assumed to be completely to highly decomposed granite.
25			40	0	0	NI		T2101	-19.52	24.50		III/IV	No core recovered, assumed to be completely to highly decomposed GRANITE.
26			95					38	-19.64	24.62		V/IV	Weak to very weak, yellowish brown (10YR 5/5) spotted brown and white, highly to completely decomposed, fine to medium grained GRANITE. (Slightly sandy angular fine to coarse GRAVEL with some cobble sized moderately weak rock fragments)
27			95					39	-19.82	24.80		V/IV	Moderately weak, yellowish brown, locally spotted white, moderately to highly decomposed, highly fractured, fine to medium grained GRANITE.
28								40		26.80			From 24.12m to 24.22m: With some subangular coarse gravel sized quartz fragments.
29			62					41		27.90			From 24.22m to 24.50m: No core recovered, assumed to be completely to highly decomposed granite.
30								42		28.80			No core recovered, assumed to be completely to highly decomposed GRANITE.
								43		28.80			Very weak, yellowish brown (10YR 5/4) mottled brown, completely to highly decomposed, fine to medium grained GRANITE. (Slightly silty fine to coarse SAND with much angular fine to coarse gravel sized weak and moderately weak rock fragments)
								44		28.80			From 24.80m to 25.90m: With some cobble sized moderately weak rock fragments.
								45	-24.92	29.90			

- SMALL DISTURBED SAMPLE
- ▬ LARGE DISTURBED SAMPLE
- ▬ SPT LINER SAMPLE
- ▬ U75 UNDISTURBED SAMPLE
- ▬ U100 UNDISTURBED SAMPLE
- ▬ MAZIER SAMPLE
- ▬ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- STANDPIPE
- ⊥ STANDARD PENETRATION TEST
- ⊥ PERMEABILITY TEST
- ⊥ IMPRESSION PACKER TEST
- ∇ IN-SITU VANE SHEAR TEST
- ⊥ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **4** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES
E 826446.58
N 825568.57

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

DATE FROM **18/02/2003** TO **22/02/2003**

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
20/02/2003 21/02/2003	HX 30.30	1.90m at 18:00 2.50m at 08:00	88	0	0	NI NR		T2101	-25.07 -25.32	30.05 30.30	+	V/IV V/IV III	Extremely weak to very weak, brown (10YR 4/3) dappled white and mottled yellowish brown, completely to highly decomposed, fine to medium grained GRANITE. (Sandy silty CLAY with some angular to subangular fine to coarse gravel sized moderately strong rock fragments) No core recovered, assumed to be completely to highly decomposed GRANITE. Moderately strong, yellowish brown spotted green and white, moderately decomposed, sheared, fine to medium grained GRANITE. Joints are very closely to closely spaced, rough planar, extremely narrow, iron and manganese oxide stained, soil (<1mm thick) infilled, dipping at 20° to 30° and 80° to 90°. From 30.50m to 30.60m: An 80° to 90° joint. From 30.84m to 30.95m: An 80° to 90° joint. From 30.95m to 31.20m: No core recovered, assumed to be completely to highly decomposed granite. Strong to moderately strong, greyish green dappled pink, slightly to moderately decomposed, slightly chloritized, fine to medium grained GRANITE. Joints are very closely spaced, smooth stepped and smooth undulating, extremely narrow, iron and manganese oxide stained, chlorite and calcite coated, dipping at 0° to 10°, 20° to 30° and 50° to 60°. From 32.00m to 32.15m: Moderately weak and moderately to highly decomposed and highly fractured. From 32.40m to 32.50m: Weak and highly decomposed. From 32.50m to 32.95m: Sheared and chloritized. From 32.73m to 32.85m: Moderately weak and moderately to highly decomposed. Strong, greyish pink dappled greyish green, spotted dark green and white, slightly sheared, locally chloritized, slightly decomposed, fine to medium grained GRANITE. Joints are closely to medium spaced, rough planar and rough undulating, locally slickensided undulating, extremely narrow to very narrow, chlorite and calcite coated, locally kaolin (<0.5mm thick) infilled, dipping at 10° to 20°, 20° to 30°, 40° to 50° and 60° to 70°. From 33.37m to 33.55m: With calcite infilled sheared fabric, dipping at 60° to 70°. From 33.37m to 33.85m: Chloritized and sheared. From 33.55m to 33.88m: With some calcite infilled fractures dipping at 60° to 70°. From 34.06m to 34.15m: Moderately weak and moderately to highly decomposed. From 34.06m to 34.50m: Sheared. From 34.25m to 34.34m: Moderately strong and
			72	11	11	NI		T2101	-25.97	30.85	+	V/IV III	
			96	0	0	NI		T2101	-26.22	31.20	+	V/IV III	
			97	14	0			T2101	-26.72	31.70	+	II/III	
			100	0	0			T2101		32.15	+	III/IV II/II IV II/II	
						>20		T2101			+	III/IV II/III	
			85	59	14	NI 12.5 >20 13.3		T2101	-28.39	33.37	+	II	
			94	75	38	NI 6.2		T2101		34.10	+	III/IV II	
			100	100	94	3.9		T2101		34.74	+	III II	
21/02/2003 22/02/2003		2.00m at 18:00 2.45m at 08:00	100	100	93	1.4		T2101		36.15	+	III II	
						7.5		T2101			+	III/IV III	
22/02/2003		1.90m at 12:00	100	100	100	1.0		T2101	-33.55	38.53	+	II	

- SMALL DISTURBED SAMPLE
- ▬ LARGE DISTURBED SAMPLE
- ▬ SPT LINER SAMPLE
- ▬ U78 UNDISTURBED SAMPLE
- ▬ U100 UNDISTURBED SAMPLE
- ▬ MAZIER SAMPLE
- ▬ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- STANDPIPE
- STANDARD PENETRATION TEST
- PERMEABILITY TEST
- IMPRESSION PACKER TEST
- IN-SITU VANE SHEAR TEST
- PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **5** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

E 826446.58

DATE FROM **18/02/2003** TO **22/02/2003**

N 825568.57

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
0.1													moderately decomposed. From 34.50m to 34.70m : A sandy clay (<5mm thick) infilled joint, dipping at 60° to 70°. From 34.74m to 34.81m : Moderately strong and moderately decomposed. From 36.40m to 36.53m : Coarse grained granite. From 36.66m to 36.93m : With some randomly orientated calcite filled microfractures. From 37.20m to 38.53m : Sheared and slightly chloritized. From 37.33m to 37.49m : Moderately weak and moderately to highly decomposed. From 37.49m to 37.71m : Moderately strong and moderately decomposed. From 38.10m to 38.31m : A sheared plane, dipping at 60° to 70°. Hole completed at 38.53m.
0.2													
0.3													
0.4													
0.5													
0.6													
0.7													
0.8													
0.9													
1.0													

- ◆ SMALL DISTURBED SAMPLE △ WATER SAMPLE
- ⬇️ LARGE DISTURBED SAMPLE ▲ PIEZOMETER TIP
- ▨ SPT LINER SAMPLE □ STANDPIPE
- ▩ U76 UNDISTURBED SAMPLE ⊕ STANDARD PENETRATION TEST
- ▩ U100 UNDISTURBED SAMPLE ⊕ PERMEABILITY TEST
- ▨ MAZIER SAMPLE ⊕ IMPRESSION PACKER TEST
- ▩ PISTON SAMPLE ⊕ IN-SITU VANE SHEAR TEST
- ⊕ PACKER TEST

LOGGED K.M. To *JK*
 DATE 24/02/2003
 CHECKED James Lu *JK*
 DATE 25/02/2003

REMARKS

Our Ref.: TW/TPN/2608BA/L09

16 January 2026

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email and By Hand

Dear Sir/Madam,

**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW134)**

We refer to the captioned case and the Slope Maintenance Section of Lands Department's comments received on 12 January 2026.

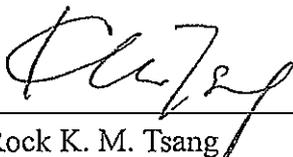
We attach herewith the Responses to Comments together with revised Geotechnical Planning Review Report (3 hard copies) for your consideration.

Should you have any queries, please feel free to contact our Ms. Cherin Ng or the undersigned at [REDACTED].

Yours faithfully,

For and on behalf of

LANBASE SURVEYORS LIMITED



Rock K. M. Tsang

Director

RK/CN

Encl.

c.c. Client

DPO/ Tsuen Wan and West Kowloon (Attn: Ms. Jacqueline Chan)



ISO 9001 : 2015
Certificate No.: CC 1687
(Valuation & Land Administration)

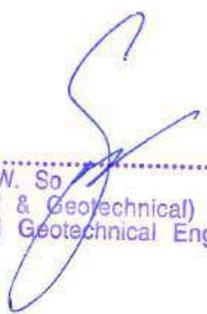


ISO 9001 : 2015
Certificate No.: CC 1687
(Valuation & Land Administration)

Comments from the Chief Geotechnical Engineer/Slope Maintenance, Lands Department:

Comments		Our response
i.	<p><u>Section 2</u></p> <p>The sub-dividing information and the maintenance responsibility information for feature nos. 6SE-D/FR57, 6SE-D/R158 and 6SE-D/R114 is different from that given in the Slope Maintenance Responsibility Information System managed by the Lands Department</p>	Section 2 of the GPRR has revised, highlighted in yellow color for your easy reference.
ii.	<p><u>Section 4.1 & 4.2</u></p> <p>Studies/upgrading works had been carried out for feature nos. 6SE-D/FR57 and 6SE-D/R158. Relevant information should be retrieved and presented;</p>	<p>Section 4.1 and 4.2 of the GPRR has revised, highlighted in yellow color for your easy reference.</p> <p>The GEO Checking Certificates and as-built drawings for feature nos. 6SE-D/FR57 and 6SE-D/R158 are retrieved and attached in a new Appendix F of the GPRR.</p>
iii.	<p><u>Appendix A (particularly cross section A & B and topographic survey plan) and the applicant's response-to-comment addressing comment no. 2 of DPO/TWK's comment given on 15.9.2025</u></p> <p>The applicant proposed to raise up by filling the existing lawn level to +12mPD from the existing ground level (varying from +10.4mPD to +10.8mPD as per the topographic survey). The retaining wall portion of slope features nos. 6SE-D/FR57 and 6SE-D/R158 appears to abut on D.D. 399 Lot 405. If the level of the whole existing lawn area is to be raised, part of the retaining wall of the abovesaid two features would be buried. As such, the applicant has to make clarification on the extents of the existing lawn area level to be raised/modified</p>	<p>The ground floor plan and Section A in Appendix A have revised (Refer to pdf page 21 and 23 of full report respectively).</p> <p>The ground level adjoining to the feature 6SE-D/FR57 and 6SE-D/R158 will keep the same as existing. A new retaining wall, set back from these features, will be proposed to provide a proper maintenance access for these features.</p>
iv.	<p><u>Appendix A (particularly cross section A and topographic survey plan)</u></p> <p>The applicant proposed to construct a bridge access (cantilever platform) at +17.205mPD connecting the proposed development with Castle Peak Road, probably via slope feature no. 6SE-D/R158. The applicant should note that the bridge access would limit the headroom and impose constraints in future maintenance of 6SE-D/R158.</p>	Noted.

Geotechnical Planning Review Report
for
The Proposed Development at
Lot 405 in D.D. 399,
No. 313 Castle Peak Road,
Ting Kau, N.T.



Phillip C. W. So
RPE (Civil & Geotechnical)
Registered Geotechnical Engineer

November 2025

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Figure 1	Location Plan of the Proposed Site
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Figure 5 Location Plan of the Previous GI

APPENDIX

Appendix A Proposed Development Plan

Appendix B Photographs

Appendix C SIMAR Records

Appendix D SIS Records Retrieved from CEDD

Appendix E Extraction of Previous GI Records

Appendix F Records Retrieved from Lands Department (LandsD)

1. INTRODUCTION

JMK Consulting Engineers Limited was appointed to carry out a Geotechnical Planning Review for the premises at Lot No. 405 in D.D. 399, No. 313 Castle Peak Road at Ting Kau.

This Geotechnical Planning Review Report (GPPR) is made based on desk study and review of available documentary information and proposed development plan (see Appendix A). The geology and site conditions are described. Potential geotechnical constraints are identified in the assessment.

2. THE SITE AND THE FEATURES

The site is located at No. 313 Castle Peak Road, Ting Kau. Site photos taken in October 2025 are presented in Appendix B (see Photos A to I). The site location plan and the aerial view of the proposed development site are presented in Figures 1 and 2, respectively.

According to the available SIMAR reports retrieved from Lands Department and SIS records obtained from Geotechnical Engineering Office (GEO), there are 7 nos. of registered geotechnical features lies within or in the vicinity of the site (see Figure 3). The features and the responsible lots/parties are tabulated below:

Feature No.	Sub-division No.	Responsible Lots/Parties
6SE-D/FR57	Not Applicable	Lands Department
	Not Applicable	STT1139TW
6SE-D/R158	1	STT 1139TW
	1	Lands Department
	2	DD399 LOT 405
	3	Lands Department
6SE-D/R114	1	STT1139TW
	1	Lands Department
	2	Lands Department
6SE-D/R113	1	DD399 Lot404
6SE-D/R115	1	DD399 LOT447
	2	DD399 LOT401
6SE-D/R215	1	STT1206TW
6SE-D/FR203	1	Highways Department

A copy of the SIMAR reports and slope records are enclosed in Appendix C and D, respectively. The location of the said features is also presented in Figure 3.

3. DESK STUDY

Desk study has been carried out to search and review the existing building records, previous ground investigation data and geotechnical study reports kept by the Geotechnical Information Unit (GIU) of Geotechnical Engineering Office (GEO). All the information in the desk study were obtained from the available data retrieved from the Civil Engineering and Development Department (CEDD) Geotechnical Information Infrastructure System (Ginfo) website [and Access to Information from Lands Department \(LandsD\)](#).

3.1 Geological Maps

The geology of the Site is shown on the Hong Kong Geological Survey (HKGS) Map Sheet 6 (Yuen Long), 1:20,000-scale, Edition II, HGM20 series. The local geology of the Site is presented in Figure 4 and described below.

3.1.1 Solid Geology

The 1:20,000 scale geological maps indicated that regional area around the Site is underlain by lapilli lithic-bearing coarse ash crystal Tuff (Jty_cat) of the Yim Tin Tsai Formation.

3.1.2 Superficial Geology

Pleistocene to Holocene colluvium (Qd), Holocene beach deposits (Qhb) and marine sand (Qhs) of the Hang Hau Formation are recorded at about 30m to the southwest of the Site.

3.1.3 Structural Geology

No fault or photolineament has been recorded within or in the vicinity of the Site.

3.2 Enhanced Natural Terrain Landslide Inventory

In 1995, the GEO compiled the Natural Terrain Landslide Inventory (NTLI) from an interpretation of high-altitude (8,000ft and above) aerial photographs dated from 1945 to 1994 (King, 1999). In 2007, the GEO produced an Enhanced Natural Terrain Landslide Inventory (ENTLI) using low-altitude (8,000ft and below) aerial photographs to update the NTLI.

In accordance with GEO Report No. 138 (GEO, 2016), landslides are classed as either “Relict” or “Recent”, depending on their appearance in aerial photographs. “Relict” landslides are defined as those where the main scarp is well-defined but vegetation has re-established on the scar on the earliest set of available aerial photographs. “Recent” landslides are defined as having occurred within the timespan of the aerial photograph coverage. These are typically identified as having a light tone on the aerial photographs and are bare of vegetation.

No ENTLI has been recorded within and in the vicinity of the Site.

3.3 Historical Landslide Catchment (HLC) Inventory

Historical Landslide Catchments (HLCs) have been defined by GEO based on the results of the ENTLI. Thus, no HLC has been recorded within and in the vicinity of the Site.

3.4 Reported Landslide Incidents

According to the GEO landslide incident records database, no landslide incident has been recorded within and in the vicinity of the Site.

3.5 Relevant Previous Ground Investigation Works

No previous ground investigation has been taken place within the Site. The previous ground investigation report adjacent to the Site has been retrieved and summarized below:

GIU Report No.	GI Station Nos:	Report Title	GI Stations related to Feature No.	Remarks
37207	DH3	Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation	-	-
412272	BH1, TP1, TP2, TP3, TP4, IC1, IC2, HC1, HC2	Feature No. 6SE-D/FR203, Rose Villa, 309 Castle Peak Road, Ting Kau, N.T.	6SE-D/FR203	-
R56707	-	Agreement No. CE 31/2006 (GE) Feature Nos. 6SE-D/FR57 & 6SE-D/R158 No. 311-313, Castle Peak Road, Ting Kau Upgrading Works (Conventional Design Approach) Design Report (Final)	6SE-D/FR57 & 6SE-D/R158	GI logs or GI locations are not available on Ginfo

The details of previous ground investigation logs are presented in Appendix E and the locations of the previous GI is shown in Figure 5.

3.6 DH Orders

According to Ginfo, no DH Orders have been issued to the features within and in the vicinity of the Site.

3.7 Stage 2 Studies

The Stage 2 Studies carried out for the features within and in the vicinity of the Site are summarized below:

Stage Report No.	Feature No.	Completed in	Report Recommendation
S2R18/2008	6SE-D/FR57	Sep 2008	No action required
S2R18/2008	6SE-D/R158	September 2008	No action required
S2R261/2000	6SE-D/R113	November 2000	Advisory Letter
S2R209/2005	6SE-D/R115	March 2006	No action required for Sub- division No. 1; DH order for Sub-division No. 2;
S2R024/2022	6SE-D/R215	February 2022	Advisory Letter

3.8 Stage 3 Studies

The Stage 3 Studies carried out for the features in the vicinity of the Site are summarized below:

Stage Report No.	Feature No.	Completed in	Report Recommendation
S3R103/2014	6SE-D/R215	November 2014	Construction of mass concrete wall, installation of soil nails and construction of pile wall (Works suspended)

4. IMPACTS OF PROPOSED WORKS ON EXISTING SLOPES/RETAINING WALLS

4.1 Feature No. 6SE-D/FR57

Feature no. 6SE-D/FR57 is located at northern end of the Site adjoining to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the feature is about 13m long and 3.3m high with slope gradient of 45° to the horizontal, the wall portion is about 13m long and 4.3m high with slope gradient of 75° to the horizontal. Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in September 2008. The study concluded that no action is required for this feature.

The feature was modified/upgraded to current standard. The upgrading works completed on 2010 and subsequently checked by GEO (Checking Certificate No.GEO/MW 007/2013, Appendix F refers). The as-built drawings are attached in Appendix F. The proposed new works will not modify the existing feature.

4.2 Feature No. 6SE-D/R158

Feature no. 6SE-D/R158 is located at northern end of the Site adjoining to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 18.7m long and 7m high with slope gradient about 90° to the horizontal. Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in May 2008. The study concluded that no action is required for this feature.

The feature was modified/upgraded to current standard. The upgrading works completed on 2010 and subsequently checked by GEO (Checking Certificate No.GEO/MW 008/2013, Appendix F refers). The as-built drawings are attached in Appendix F. The proposed new works will not modify the existing feature.

4.3 Feature No. 6SE-D/R114

Feature no. 6SE-D/R114 is located at about 2m to the southern end of the Site at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 43m long and 4m high with slope gradient about 87° to the horizontal. The modified/upgrade works of the feature are in progress and will be completed up to current standard. The proposed new works will not modify the existing feature.

4.4 Feature No. 6SE-D/R113

Feature no. 6SE-D/R113 is located at about 2m to the west of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 42m long and 4m high with slope gradient about 80° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R261/2000) prepared by C M Wong & Associates Limited in November 2000. The study recommended issue of type 3 advisory letter to the owners of Lot DD399 Lot 404. The proposed new works will not modify the existing feature.

4.5 Feature No. 6SE-D/R115

Feature no. 6SE-D/R115 is located at about 2m to the southeast of the Site at house no. 311 Castle Peak Road. According to the SIS record, the wall is about 19m long and 4.1m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R209/2005) prepared by Scott Wilson Limited in March 2006. The study concluded that no action is required for sub-division no. 1, while a DH order is recommended for the sub-division no. 2 of this feature. Slope remedial works for sub-division no. 2 were completed and up to current standard in January 2012. The proposed new works will not modify the existing feature.

4.6 Feature No. 6SE-D/R215

Feature no. 6SE-D/R215 is located at about 3m to the northwest of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 30m long and 8.2m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 3 Study Report (S3R103/2014) prepared by Fugro (Hong Kong) Limited in November 2014. It was recommended that construction of mass concrete wall, installation of soil nails and construction of pile wall for the upgrading works, however, the works were suspended as the MR was changed from HyD to private. Local stability check of the feature was then carried out in Stage 2 Study Report (S2R024/2022) prepared by C M Wong & Associates Limited in February 2022. The study recommended issue of an advisory letter to the tenant. The proposed new works will not modify the existing feature.

4.7 Feature No. 6SE-D/FR203

Feature no. 6SE-D/FR 203 is located at about 2m to the east of the Site at house no. 309 Castle Peak Road. According to the SIS record, the feature is about 23m long and 1.8m high with slope gradient of 35° to the horizontal, the wall portion is about 23m long and 4m high with slope gradient of 78° to the horizontal. Feature was modified/upgraded to current standard with Checking Certificate No.GEO/MW 008/2007. The proposed new works will not modify the existing feature.

4.8 Impacts from the Proposed Works to the Registered Slope Features

As the aforementioned features have stood from some time without evidence of major distress or instability, it is expected that these features will continue under the present condition. Moreover, there is no intention to modify or reconstruct the registered slope features during the proposed foundation (raft footing) or construction works. However, in view of these features are close (within 10m) to the Site boundary, the stabilities of these features have to be checked with respect to the proposed development and based on the subsurface conditions, ground water conditions and shear strength parameters of soil/rock obtained from a site specific ground investigation. **The design and construction of the proposed development shall be comprehensively planned and designed to ensure no adverse effects on all adjacent features.** If found necessary, appropriate improvement/upgrading works, including slope re-profiling, installation of soil nails, and provision of raking drains will be carried out to bring up the sub-standard portion of the feature to meet the current geotechnical standard.

5. CONCLUSION

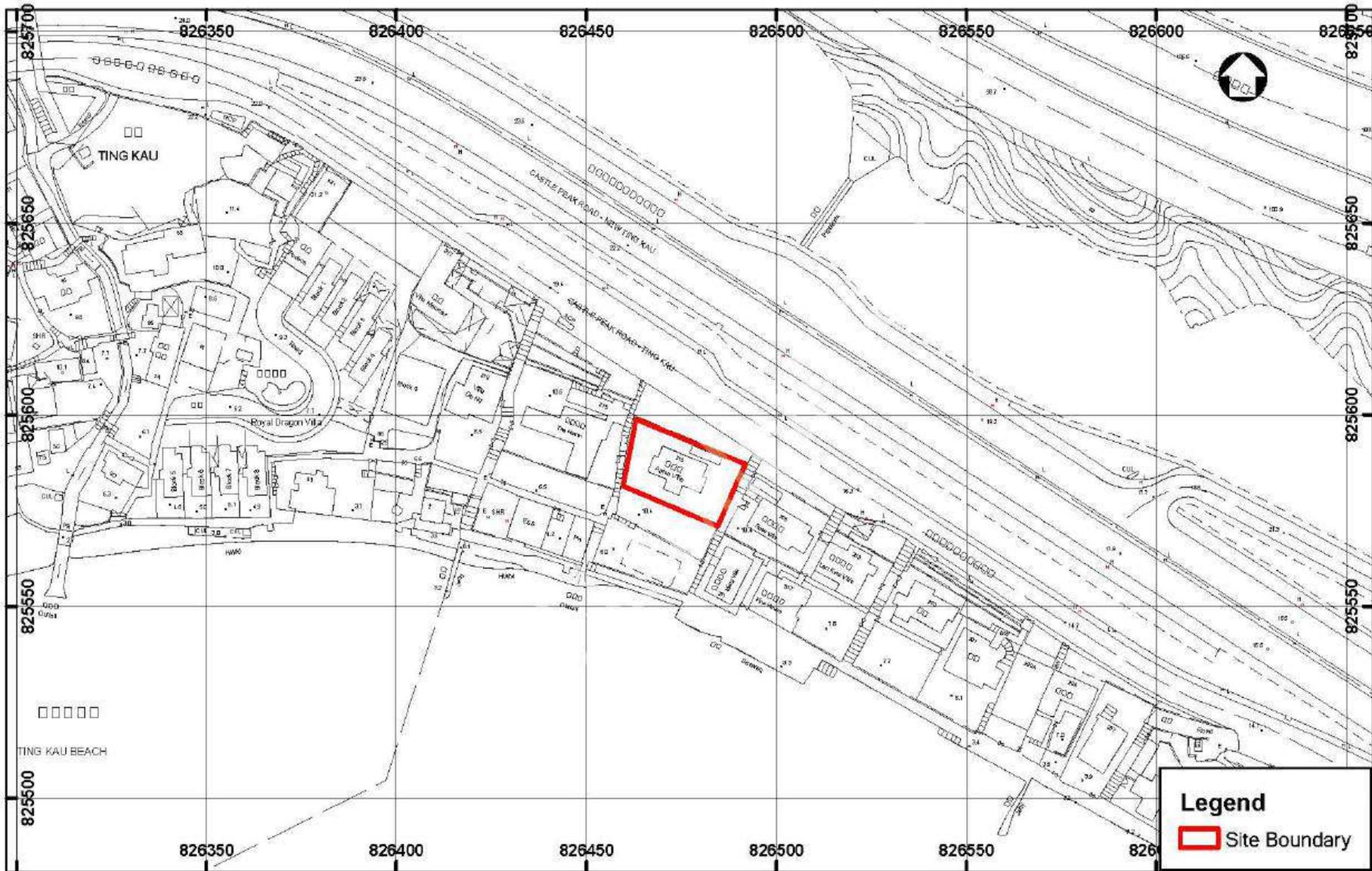
Based on the above discussion, it can be concluded that the proposed development is considered to be feasible from geotechnical point of view. The construction would be straight forward unlikely posting particular problems to the surrounding area under careful planning, proper execution and vigilant supervision.

It is essential to search and review the background information of existing building, geotechnical features and underground services within and in the vicinity of the site. Site investigation is proposed to reveal/confirm the subsoils and the ground regime within and in the vicinity of the site as well as to determine the engineering properties of subsoils and rock. The ground investigation field works should be preceded under supervision of suitably qualified engineers and technically competent persons conforming the requirements specified in the "Code of Practice for Site Supervision 2009" published by the BD.

For safety and cost effective, the foundation design and retaining wall stability assessment and excavation planning should be based on geological horizons inferred from the ground investigation results, groundwater table interpreted from the piezometer/standpipe monitoring records and geotechnical parameters determined and adopted by field and laboratory testing.

A comprehensive precautionary monitoring program including settlement markers, tiling, vibration check points as well as groundwater observation wells shall be implemented to ensure demolition of foundation of existing buildings and substructure construction being carried out safety and soundly.

FIGURES



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Proposed Site

SCALE:
1 : 1500

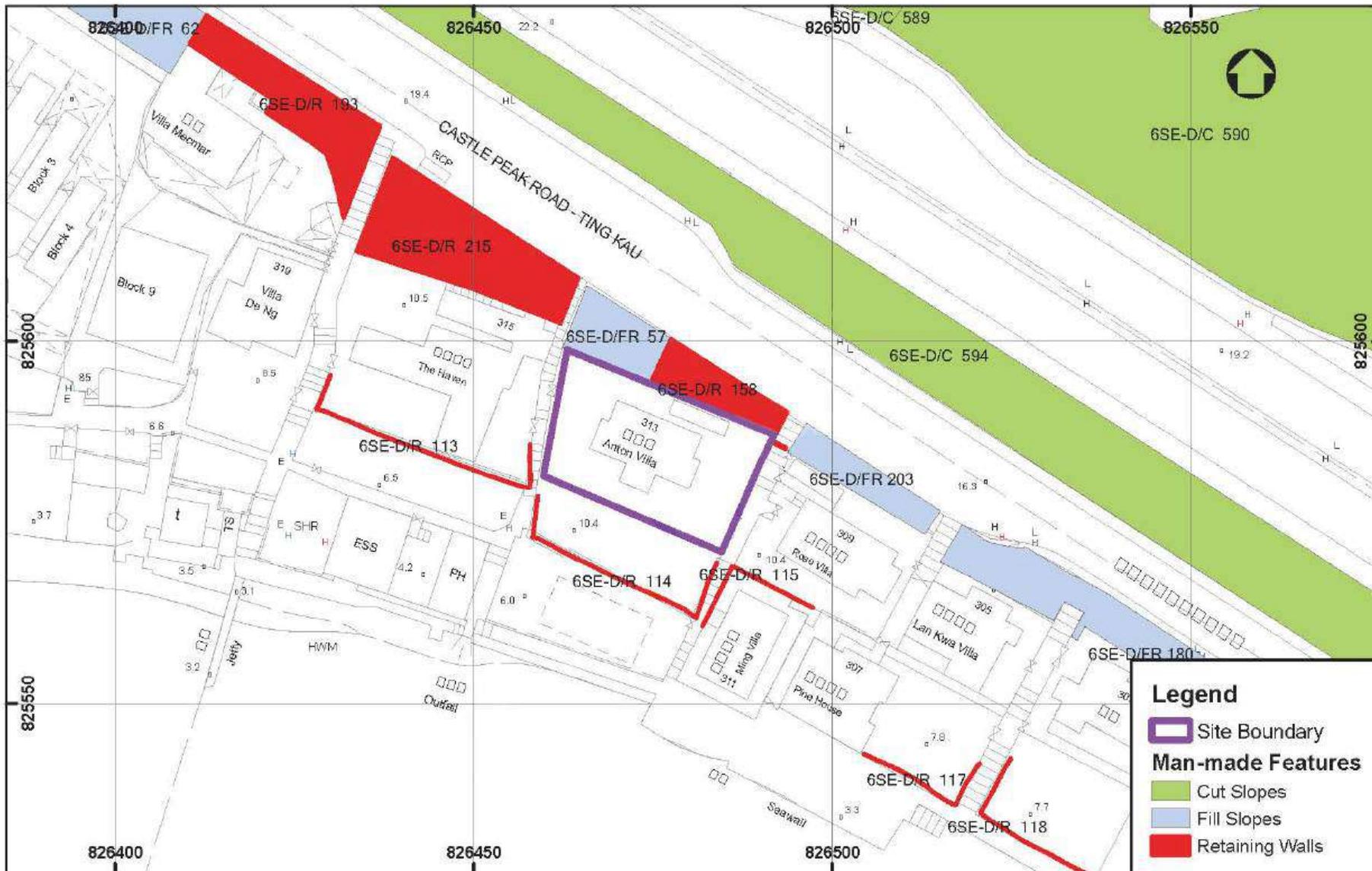
JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 1



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Aerial View of the Proposed Development Site	SCALE: 1 : 1500	JMK Consulting Engineers Ltd.	FIGURE NO : FIGURE 2
--	---------------------------	-------------------------------	--------------------------------



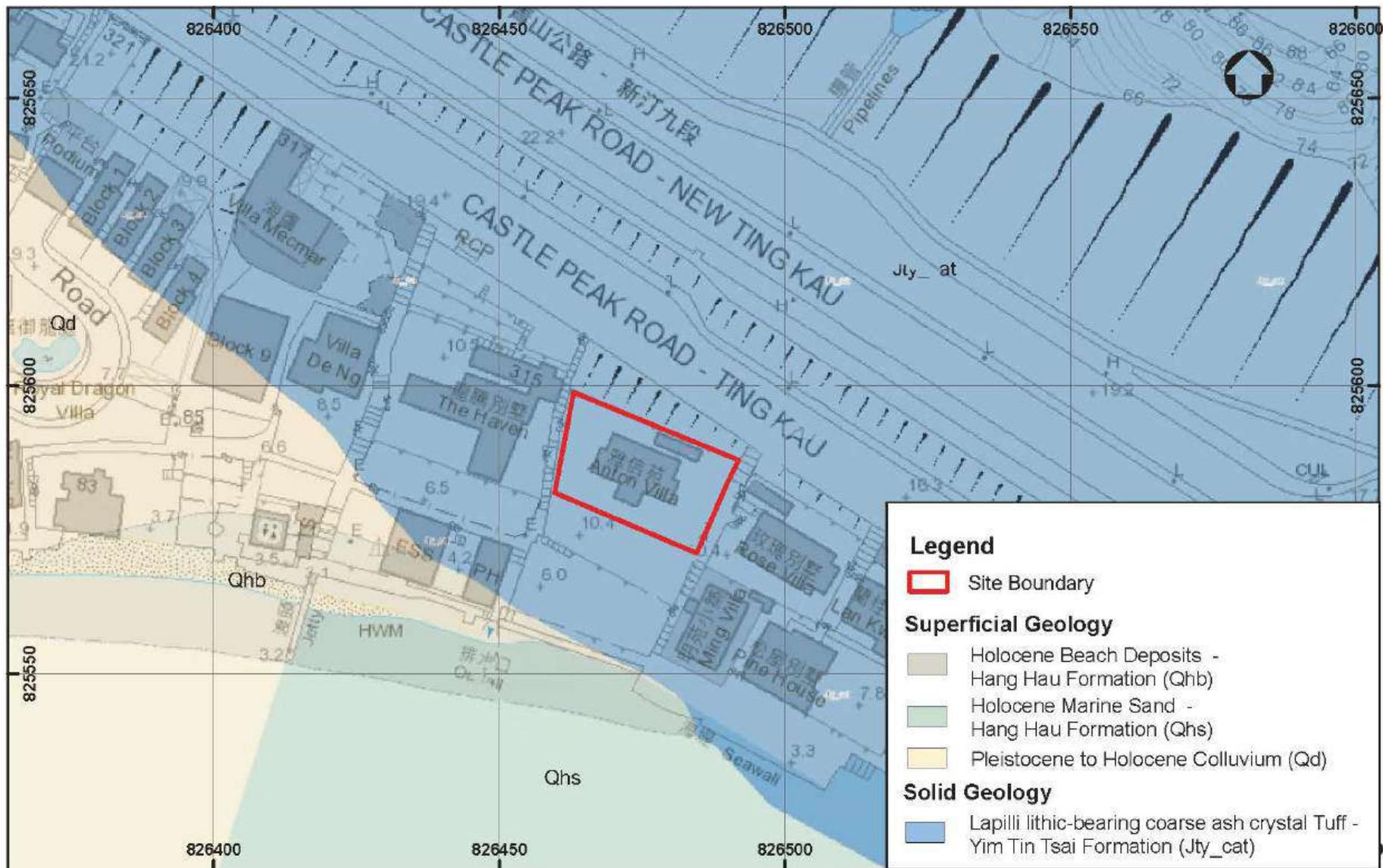
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Registered Man-made Features

SCALE:
1 : 800

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 3



Legend

Site Boundary

Superficial Geology

- Holocene Beach Deposits - Hang Hau Formation (Qhb)
- Holocene Marine Sand - Hang Hau Formation (Qhs)
- Pleistocene to Holocene Colluvium (Qd)

Solid Geology

- Lapilli lithic-bearing coarse ash crystal Tuff - Yim Tin Tsai Formation (Jty_cat)

PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Geological Map

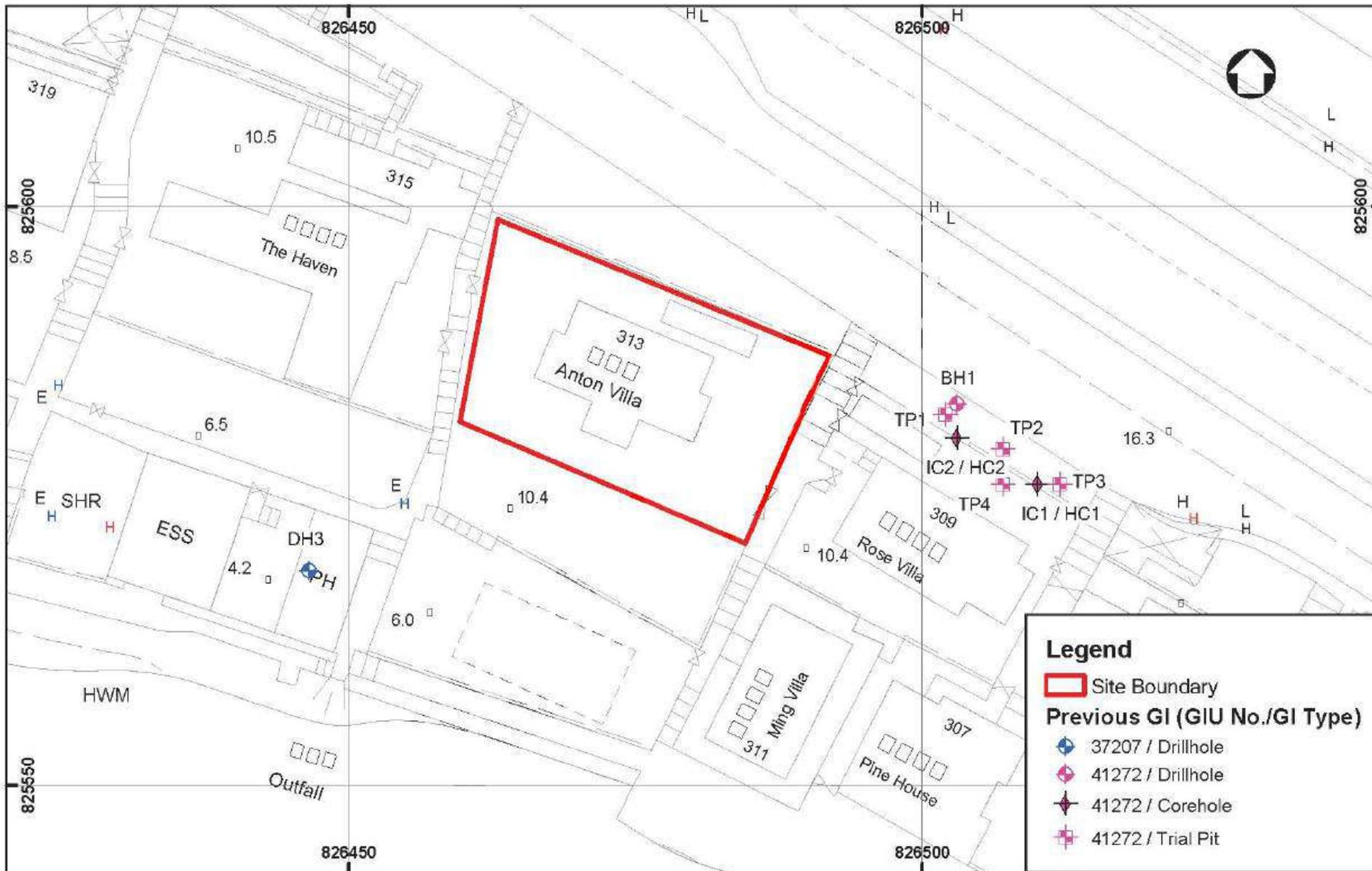
SCALE:

1 : 1000

JMK Consulting Engineers Ltd.

FIGURE NO :

FIGURE 4



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Previous GI

SCALE:
1 : 500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 5

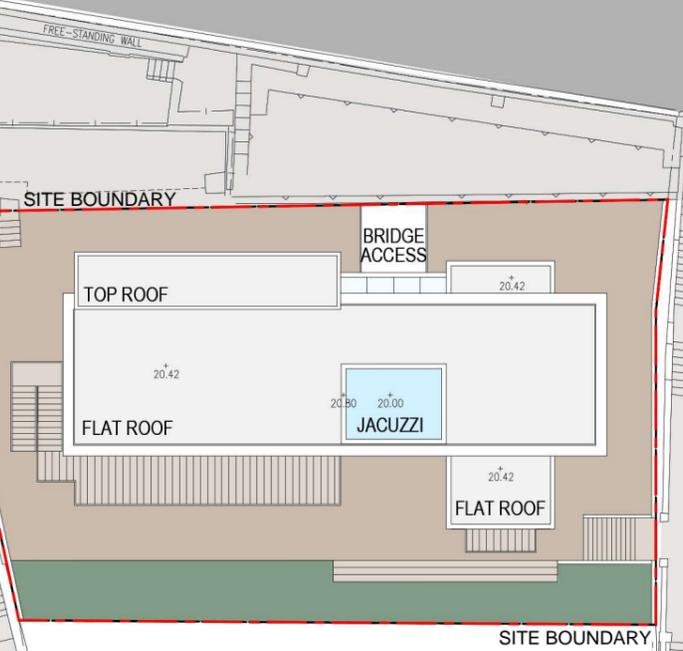
APPENDIX

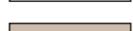
Appendix A

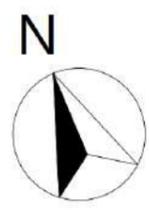
Proposed Development Plan

CASTLE PEAK ROAD – NEW TING KAU

CASTLE PEAK ROAD – TING KAU



- LEGENDS:
-  SITE BOUNDARY
 -  JACUZZI
 -  GLASS CEILING
 -  CONCRETE ROOF
 -  LANDSCAPE
 -  TIMBER DECK
 -  GARDEN
 -  SURROUNDING PAVEMENTS
 -  SURROUNDING BUILDINGS
 -  SURROUNDING LANDS
 -  MAIN ROAD



SITE PLAN
1:300

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

KEEP EXISTING FEATURE CONDITION

NEW CANTILEVER PLATFORM TO CONNECT CASTLE PEAK ROAD

KEEP EXISTING LAWN SO THAT NO ADVERSE EFFECT TO EXISTING FEATURE

SITE BOUNDARY

SITE BOUNDARY

TOP ROOF 23.42

20.42

FLAT ROOF

20.42

JACUZZI

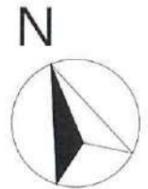
20.00

FLAT ROOF

20.42

LAWN

PLAYGROUND



SITE PLAN
1:300

LEGENDS:

 SITE BOUNDARY

KEEP EXISTING LEVEL
FOR MAINTENANCE
ACCESS OF FEATURE
6SE-D/FR57

KEEP EXISTING LEVEL
FOR MAINTENANCE
ACCESS OF FEATURE
6SE-D/R158

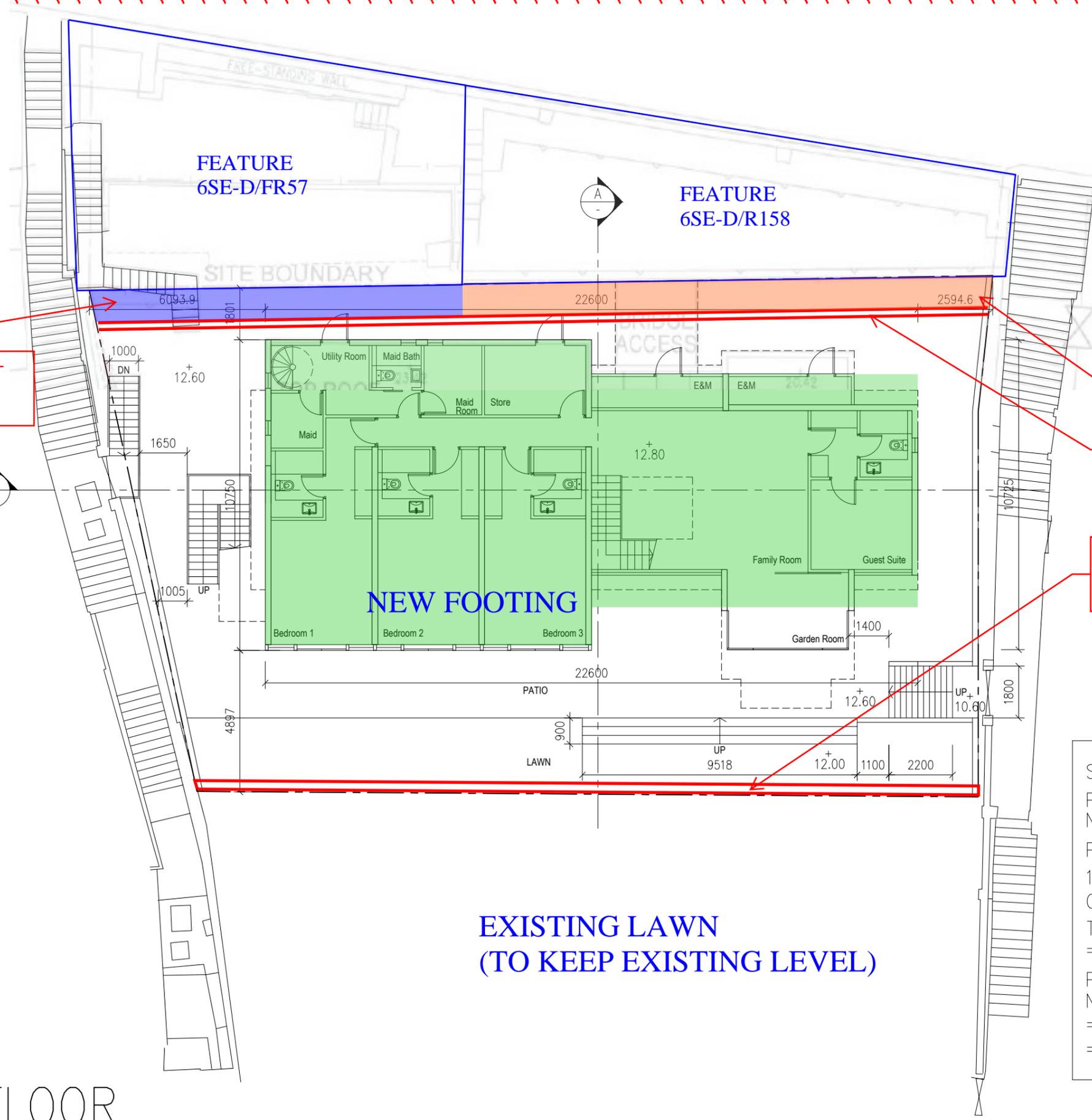
NEW RETAINING WALL
FOR LEVEL DIFFERENCE

NEW RETAINING WALL
FOR RAISING UP THE
LAWN WITHIN SITE
BOUNDARY

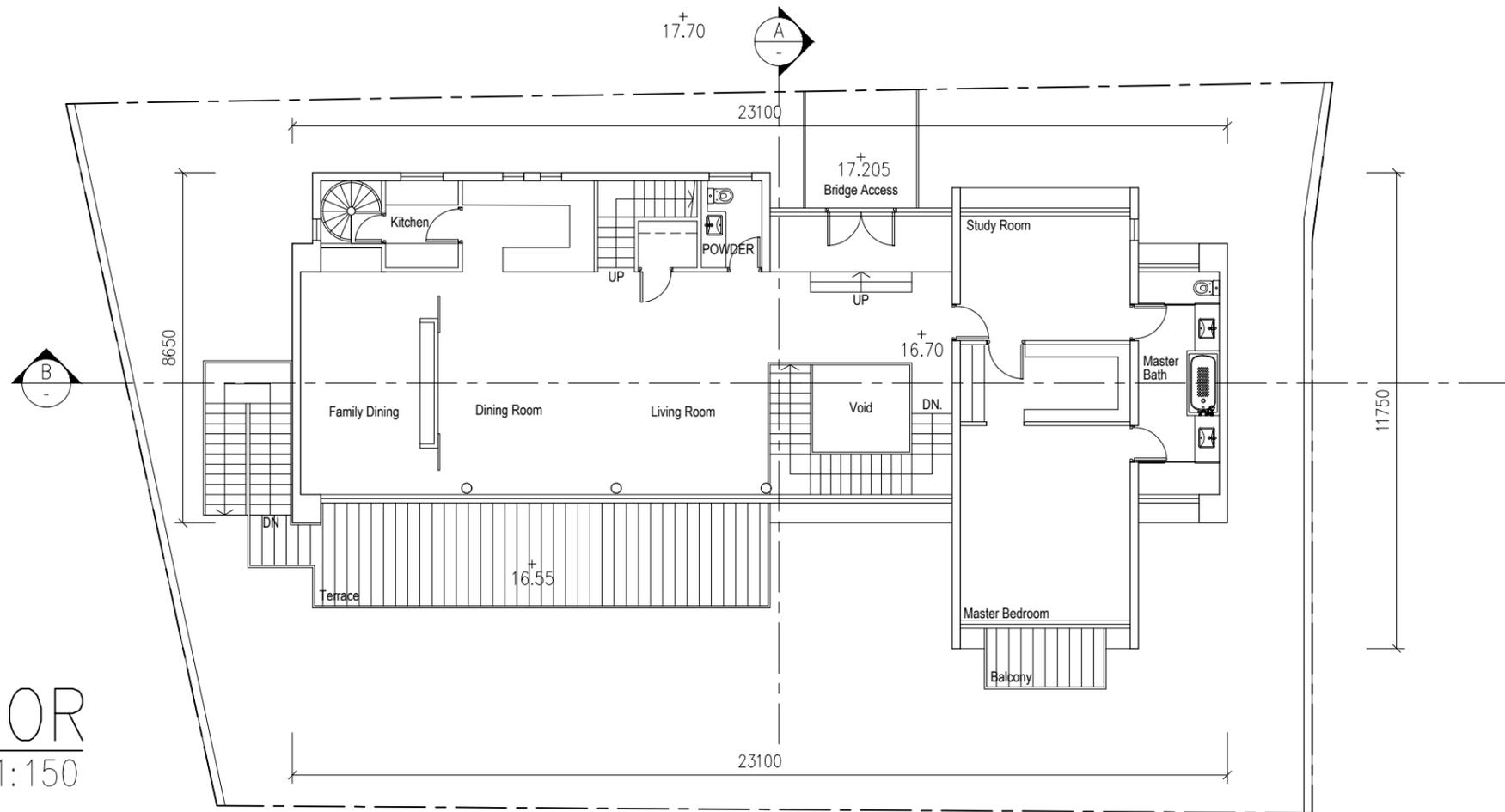
SITE AREA: 512.917 s.m.
PROPOSED DOMESTIC GFA:
NOT EXCEEDING 384.675 s.m.
P.R. NOT EXCEEDING 0.75
1/F: 185.02 s.m.
G/F: 199.45 s.m.
Total=384.470/512.917 s.m.
= 0.7496 < 0.75 (P.R.)
PROPOSED SITE COVERAGE:
NOT EXCEEDING 40%
= 199.45 / 512.917 s.m.
= 38.89% < 40%

GROUND FLOOR

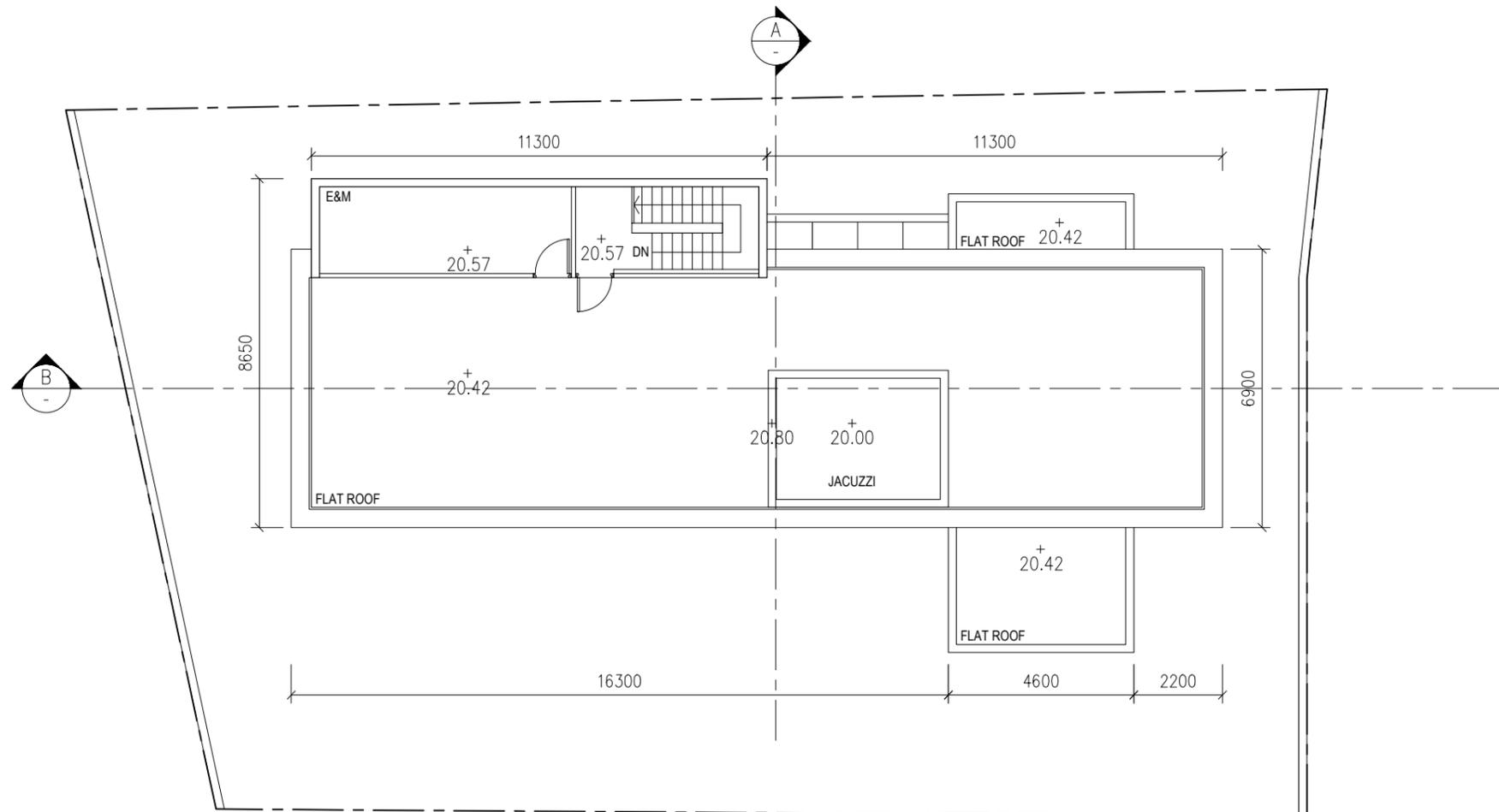
1:150

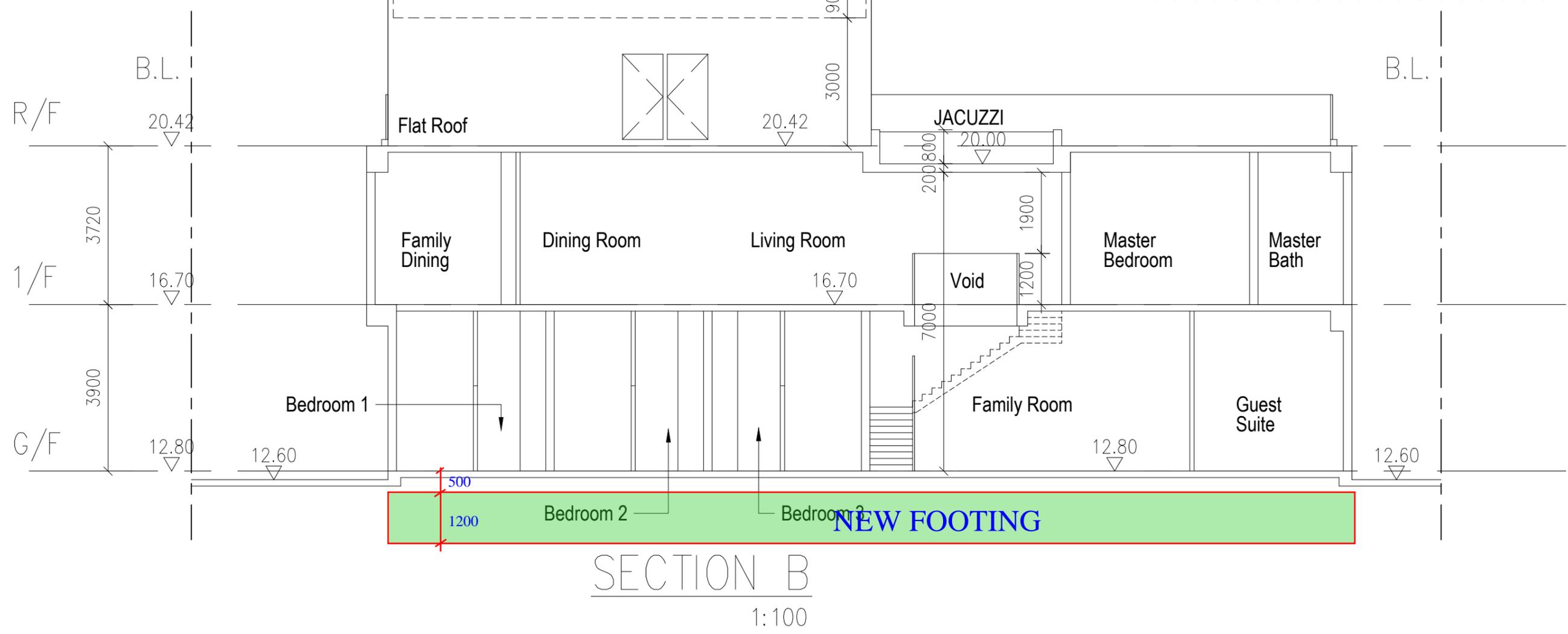
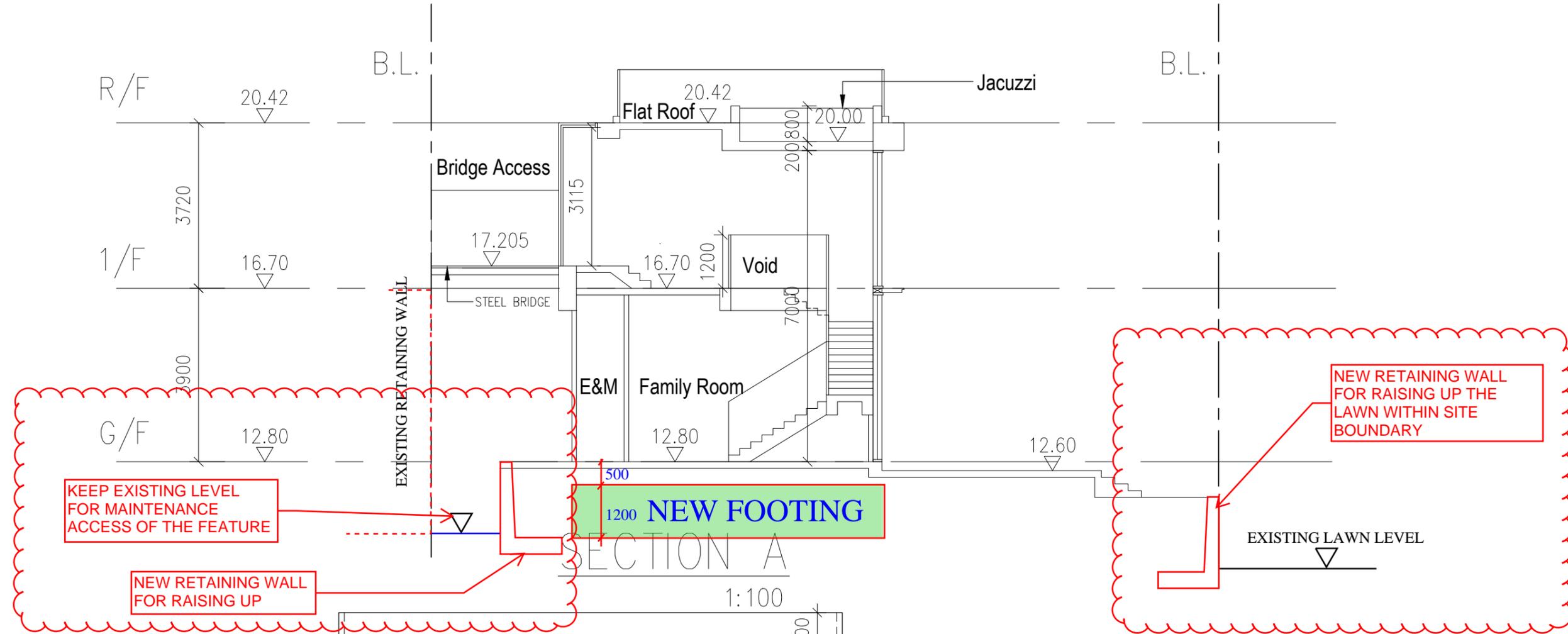


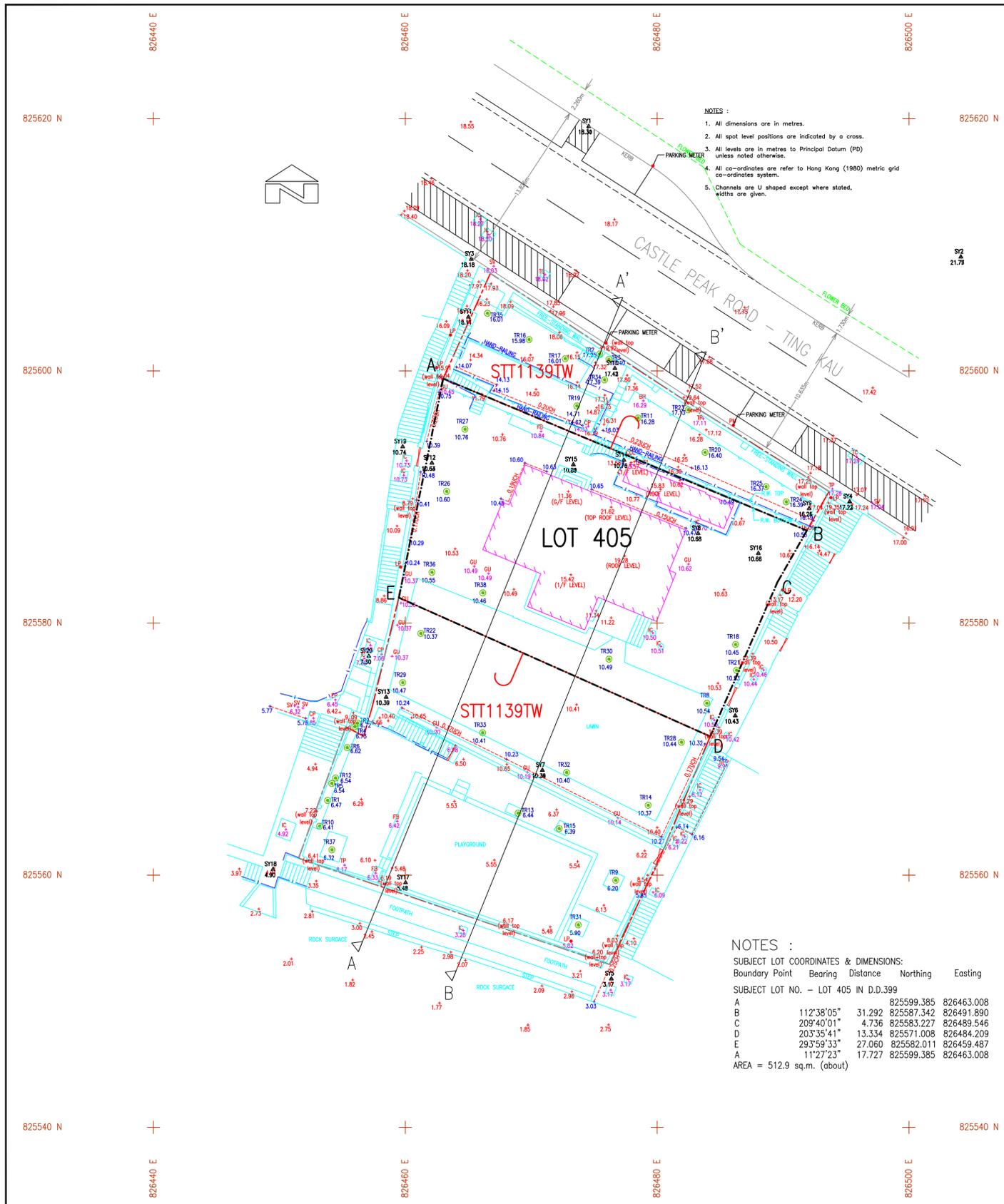
1ST/ FLOOR
1:150



ROOF
1:150

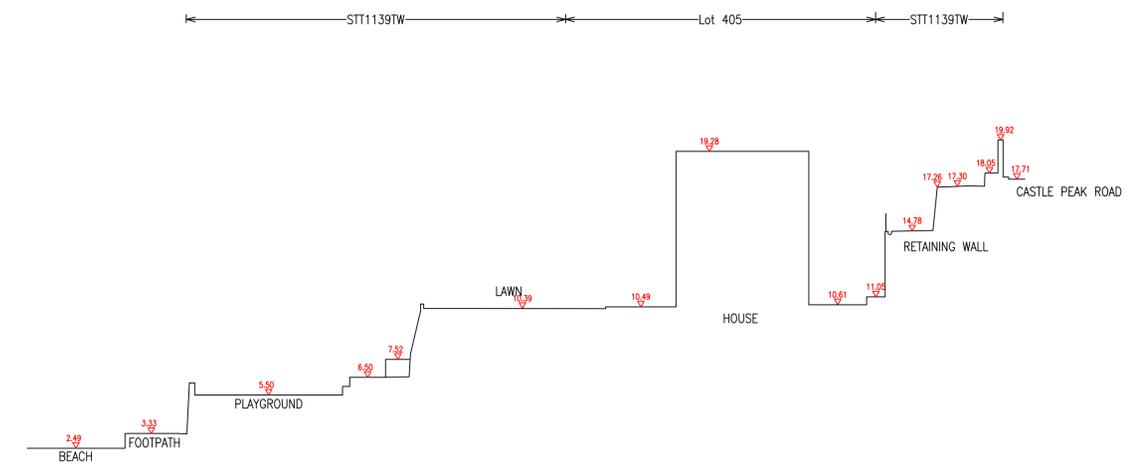




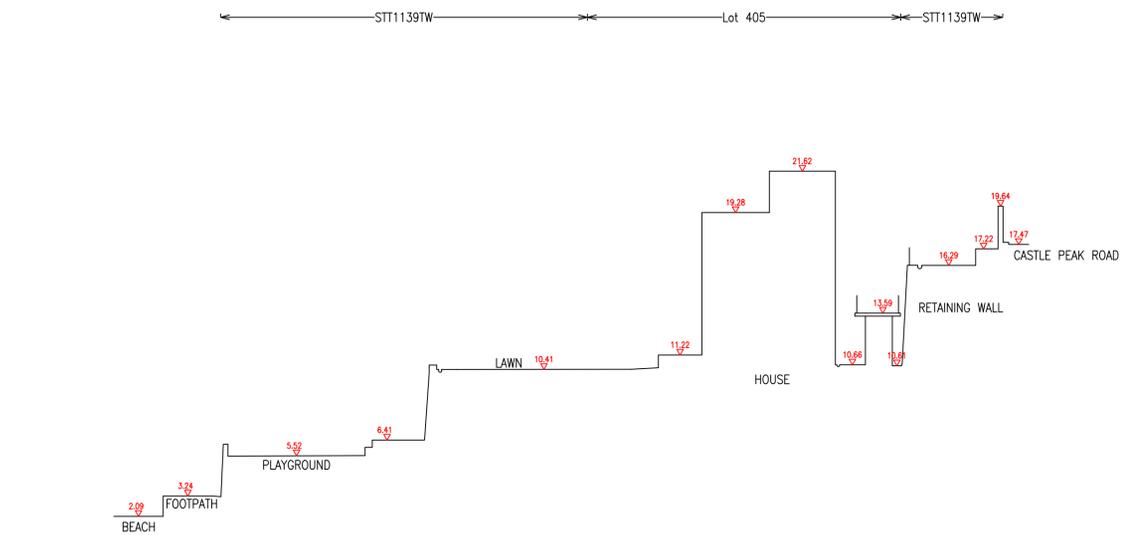


NOTES :
 1. All dimensions are in metres.
 2. All spot level positions are indicated by a cross.
 3. All levels are in metres to Principal Datum (PD) unless noted otherwise.
 4. All co-ordinates refer to Hong Kong (1980) metric grid co-ordinates system.
 5. Channels are U shaped except where stated, widths are given.

NOTES :
 SUBJECT LOT COORDINATES & DIMENSIONS:
 Boundary Point Bearing Distance Northing Easting
 SUBJECT LOT NO. - LOT 405 IN D.D.399
 A 112°38'05" 31.292 825599.385 826463.008
 B 209°40'01" 4.736 825583.227 826489.546
 C 203°35'41" 13.334 825571.008 826484.209
 D 293°59'33" 27.060 825562.011 826459.487
 E 112°27'23" 17.727 825599.385 826463.008
 AREA = 512.9 sq.m. (about)



Section A-A'



Section B-B'

ABBREVIATIONS :-

BH	BORE HOLE
BO	BOLLARD
CO	COVERED CHANNEL
CL	COVER LEVEL
CLF	CHAIN LINK FENCE
CO	CONCRETE
CP	CATCH PIT
DC	DUCT COVER
DP	DOWN PIPE
EC	ELECTRIC COVER
EE	ELECTRICITY EARTH
EP	ELECTRIC POLE
EM	ELECTRIC MANHOLE
FM	FIRE HYDRANT
GA	GAS VALVE
GR	GRAVE
GU	GULLY
HF	HOARDING FOOTING
IC	INSPECTION COVER
ICF	INSPECTION COVER-FOUL WATER
ICS	INSPECTION COVER-STORM WATER
IL	INVERT LEVEL
LP	LAMP POST
MB	MAIL BOX
MH	MANHOLE
P	POST
PM	PARKING METER
RC	ROCK
SC	SPRAWLED CONCRETE
SCS	STEPPED CHANNEL
SH	SHRINE
SI	SIGN POST
ST	SEPTIC TANK
SV	STOP VALVE
SW	SWITCH BOX
TC	TELEPHONE COVER
TL	TRAFFIC LIGHT
TP	TELEGRAPH POLE
TS	TEMPORARY STRUCTURE
TV	TELEPHONE VALVE
UC	U CHANNEL
WE	WELL
WT	WATER TANK
TR	TREE (GIRTH/HEIGHT/SPREAD)

SYMBOLS :-

(Symbol)	ROCK BOULDER
(Symbol)	DIRECTION OF FLOW
(Symbol)	CANOPY
(Symbol)	GATE
(Symbol)	ARTIFICIAL SLOPE
(Symbol)	TREE
(Symbol)	OVER-HANG STRUCTURE LEVEL
(Symbol)	TOP ROOF LEVEL
(Symbol)	HOUSE/BUILDING
(Symbol)	HARD DETAIL
(Symbol)	SOFT DETAIL
(Symbol)	LOT BOUNDARY
(Symbol)	STT BOUNDARY
(Symbol)	VERTICAL RETAINING WALL
(Symbol)	OVERHEAD STRUCTURE
(Symbol)	DRAIN
(Symbol)	FENCE/HOARDING/RAILING



DATE OF SURVEY : AUGUST 2011

SUBSTANCE LAB LIMITED

LOT 405 IN D.D. 399
 NO.313, CASTLE PEAK ROAD
 TING KAU, N.T.

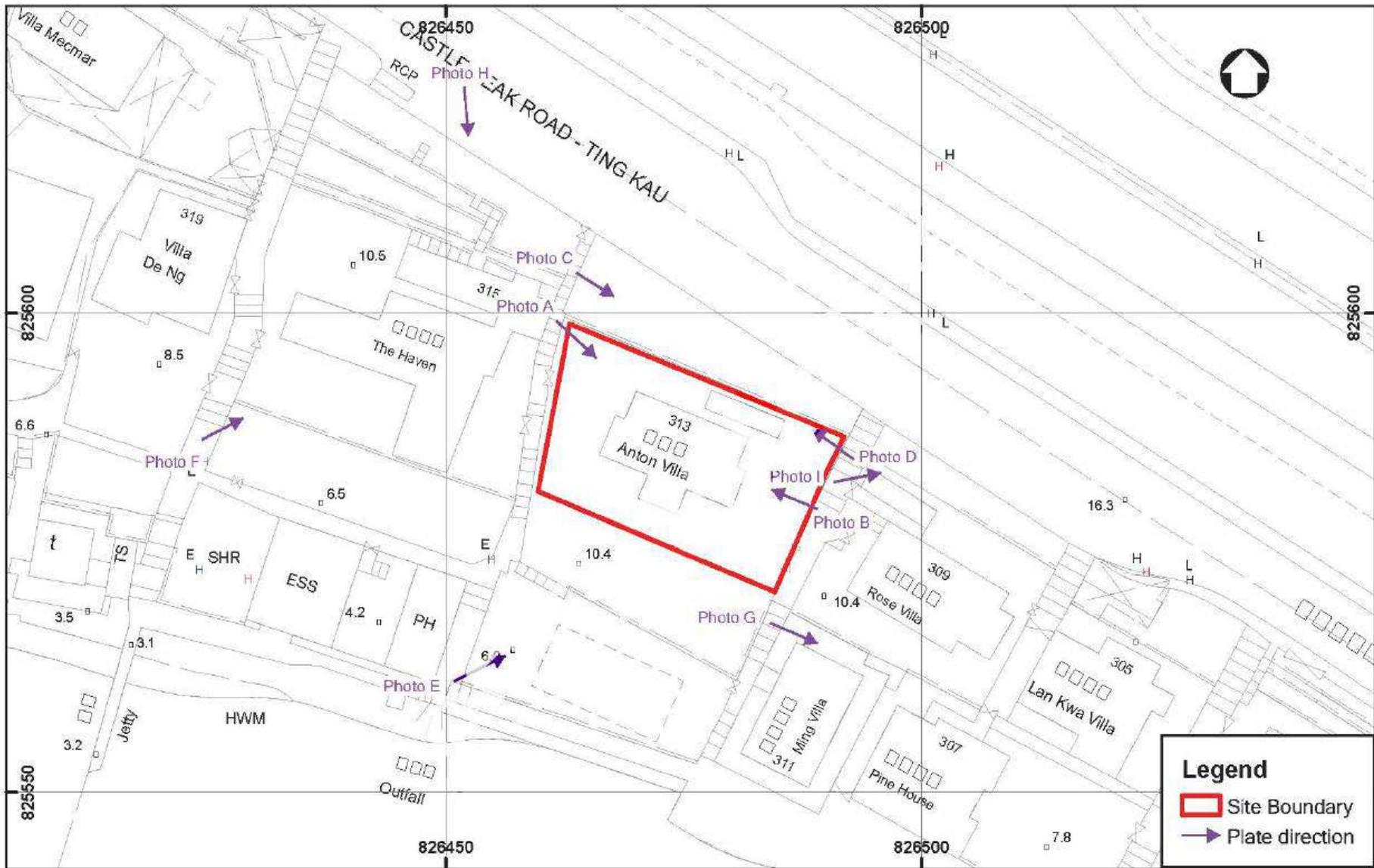
TOPOGRAPHIC SURVEY

LAND MARKER (1980) H.K. CO., LTD.
 SUITE 1501, ONE MONGKOK ROAD COMMERCIAL CENTRE, KOWLOON
 TEL: 2663 9138 FAX: 2666 9921
 E-MAIL ADDRESS: general@landmarker.com

PLAN NO. 3404/01		DRAWN BY: P.M. WONG
REVISION NO.	DESCRIPTIONS	DATE
0		26-AUG-2011
1		16-SEPT-2011
2		14-OCT-2011
		APPROVED BY:
		JOSEPH Y. C. WONG
		AUTHORIZED LAND SURVEYOR MHKS MRCS RPS(LS)

Appendix B

Photographs



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Plate Direction

SCALE:
1 : 1500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE B1



Photo A – General View of the Proposed Development Site, Looking East



Photo B – General View of the Proposed Development Site, Looking West



Photo C – General View of the Feature No. 6SE-D/FR57



Photo D – General View of the Feature No. 6SE-D/R158



Photo E – General View of the Feature No. 6SE-D/R114



Photo F – General View of the Feature No. 6SE-D/R113



Photo G – General View of the Feature No. 6SE-D/R115

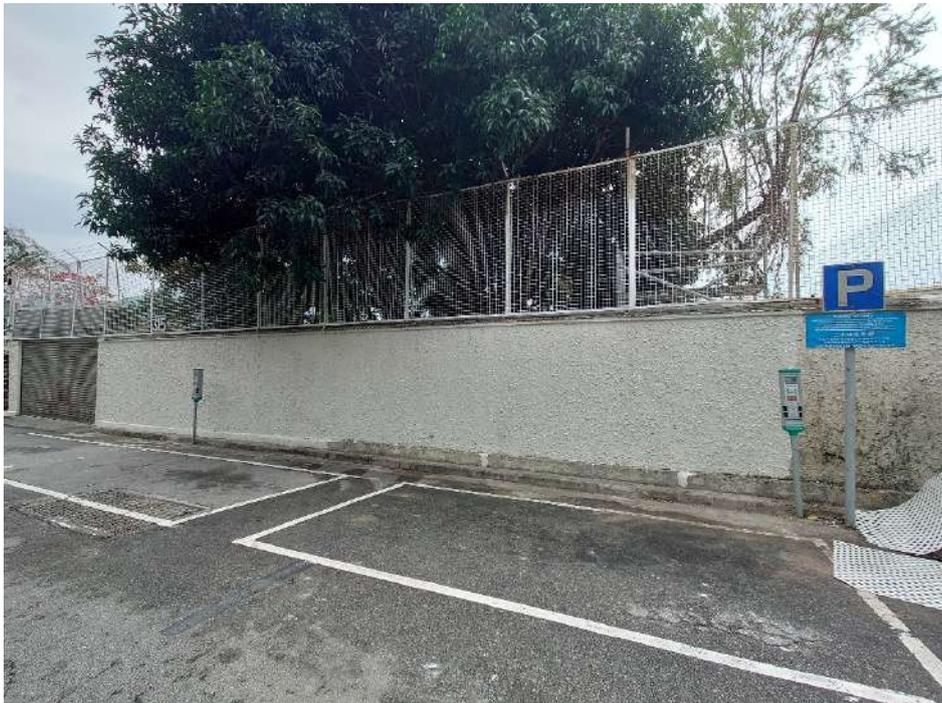


Photo H – General View of the Feature No. 6SE-D/R215



Photo I – General View of the Feature No. 6SE-D/FR203

Appendix C

SIMAR Record

Slope Maintenance Responsibility Report

(6SE-D/R215)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R215	Sub-Division	Not Applicable
	Location	Wholly within STT1206TW north of DD399 LOT404 in Ting Kau	
	Responsible Lot/Party	STT1206TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

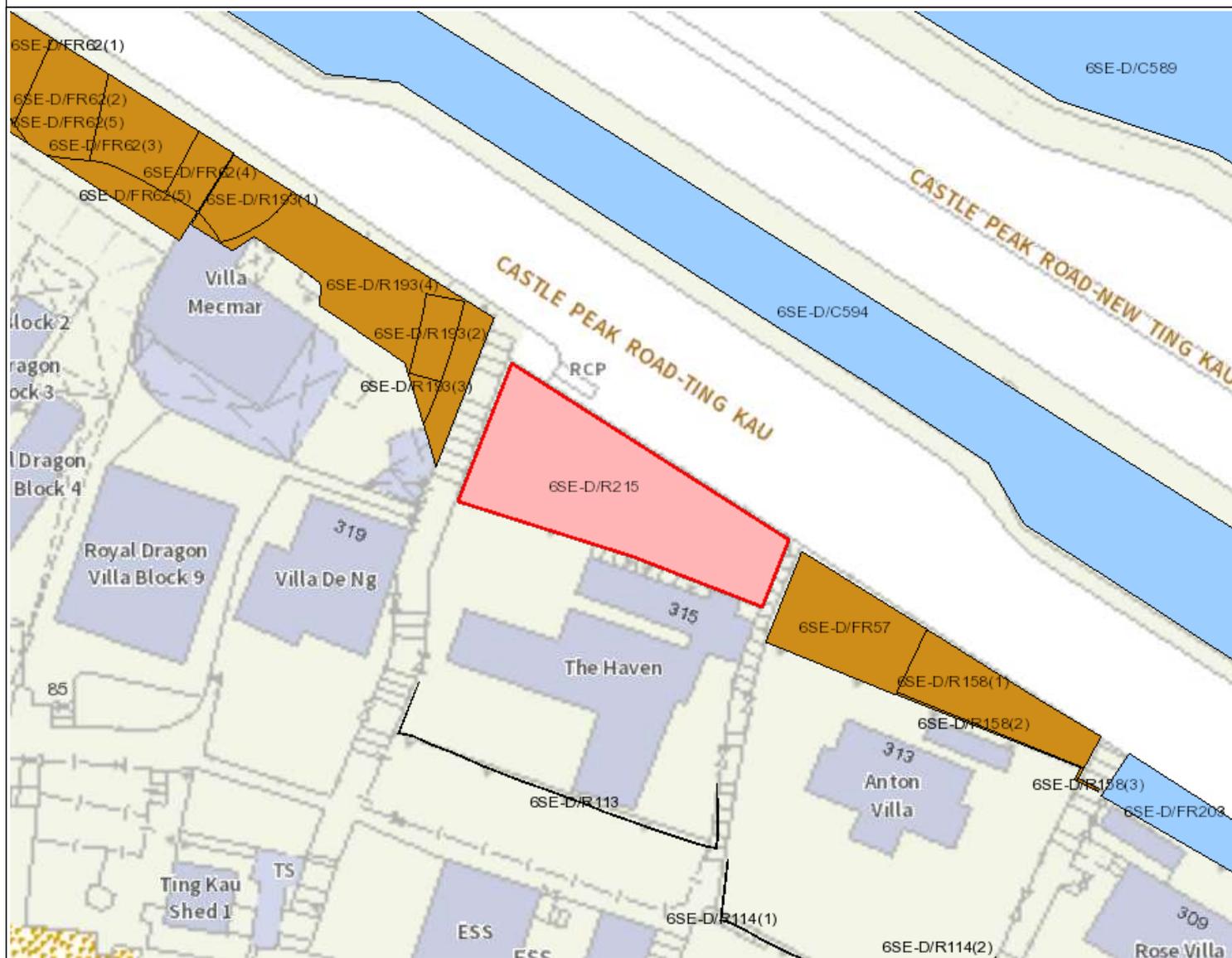
- End of Report -

Notes:

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- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

-  Slope Area(s)
-  Search Location
-  Slope(s) Maintained by Government
-  Slope(s) Maintained by Private Party/Parties
-  Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

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Slope Maintenance Responsibility Report

(6SE-D/R158)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT 1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R158	Sub-Division		2
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	DD399 LOT 405	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
4	6SE-D/R158	Sub-Division		3
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

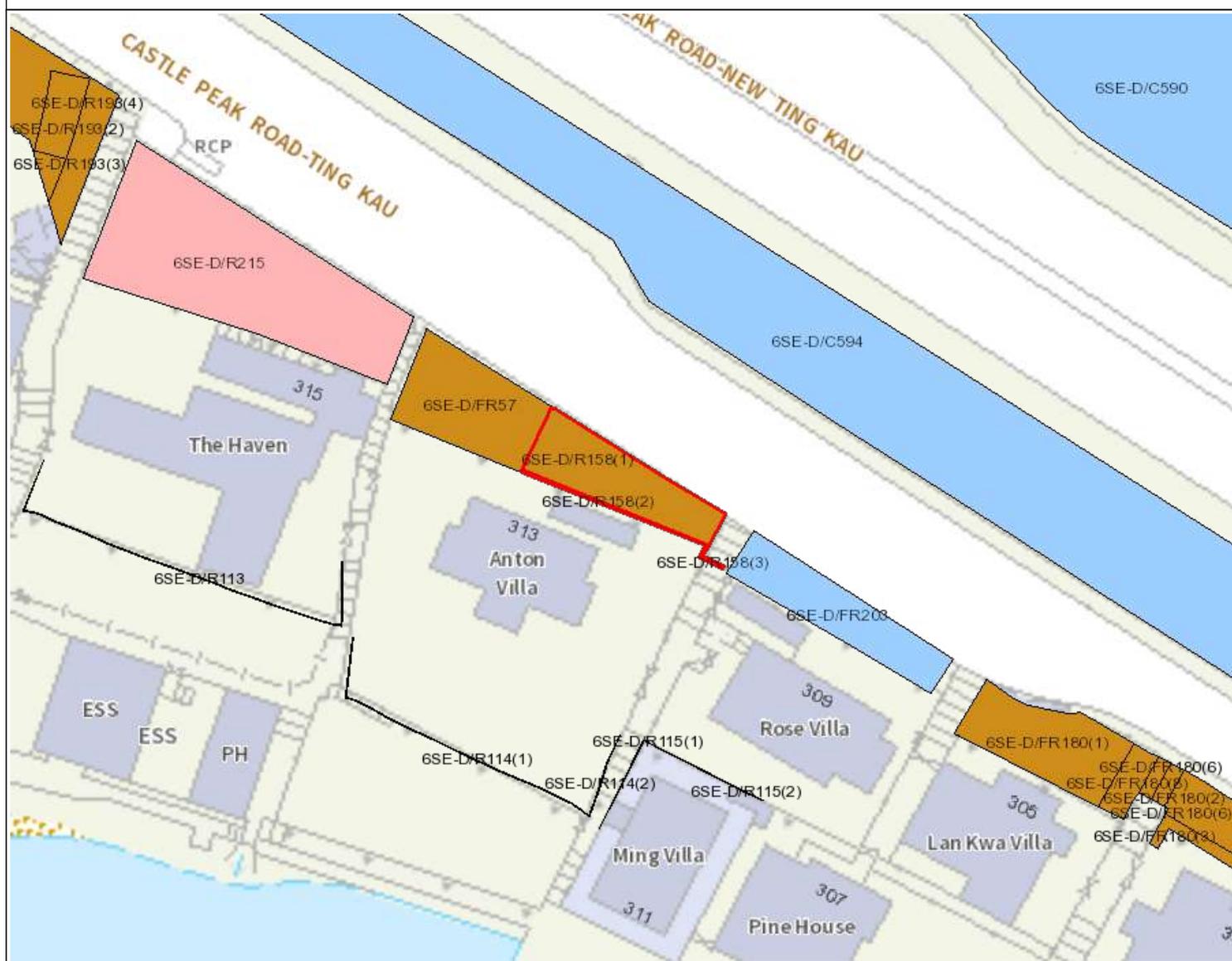
- End of Report -

Notes:

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

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Slope Maintenance Responsibility Report

(6SE-D/R115)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R115	Sub-Division	1	
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2		
	Responsible Lot/Party	DD399 LOT447	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R115	Sub-Division	2	
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2		
	Responsible Lot/Party	DD399 LOT401	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

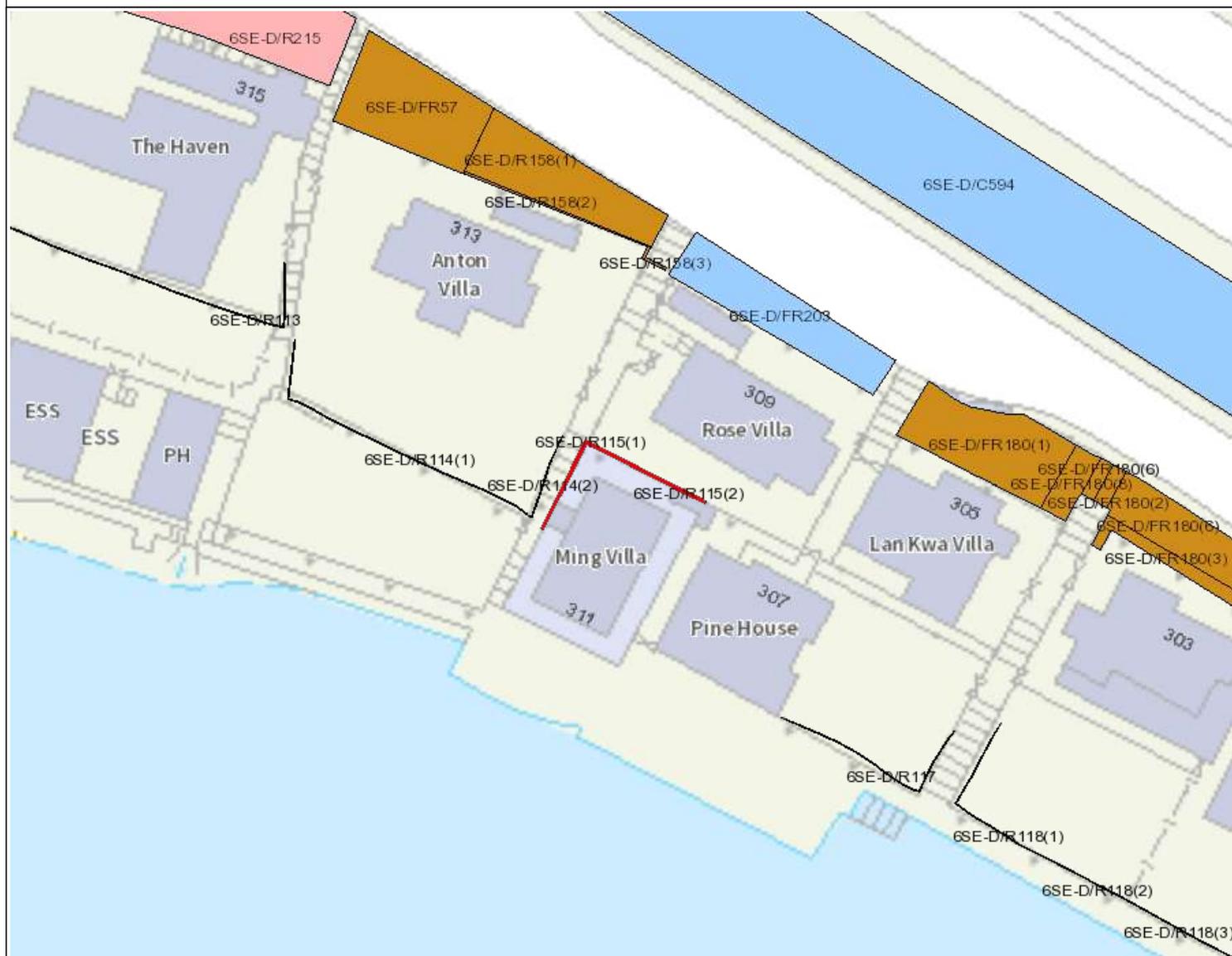
- End of Report -

Notes:

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Location Plan



Legend

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- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/R114)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R114	Sub-Division	1	
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R114	Sub-Division	1	
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R114	Sub-Division	2	
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/R113)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R113	Sub-Division	Not Applicable	
	Location	WITHIN DD399 LOT404		
	Responsible Lot/Party	DD399 Lot404	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

Notes:

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
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Slope Maintenance Responsibility Report

(6SE-D/FR203)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/FR203	Sub-Division	Not Applicable
	Location	ADJOINING CASTLE PEAK ROAD - TING KAU IN DEMARCATION DISTRICT 399	
	Responsible Lot/Party	Highways Department	Maintenance Agent Highways Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.	

- End of Report -

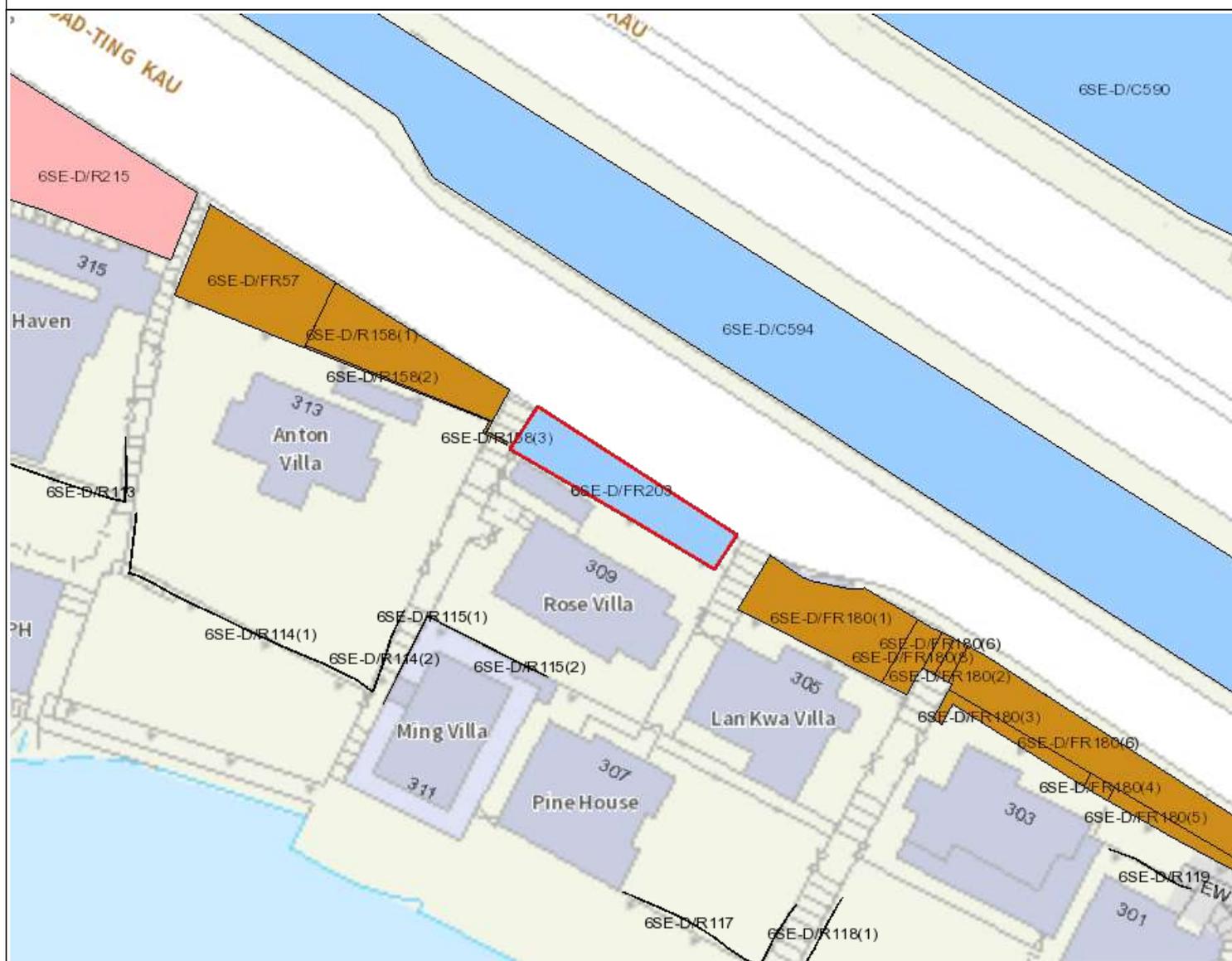
Notes:

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Search Criteria: 6SE-D/FR203

Location Plan



Legend

-  Slope Area(s)
-  Search Location
-  Slope(s) Maintained by Government
-  Slope(s) Maintained by Private Party/Parties
-  Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

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Slope Maintenance Responsibility Report

(6SE-D/FR57)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	Lands Department	Maintenance Agent Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.	
2	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	STT1139TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

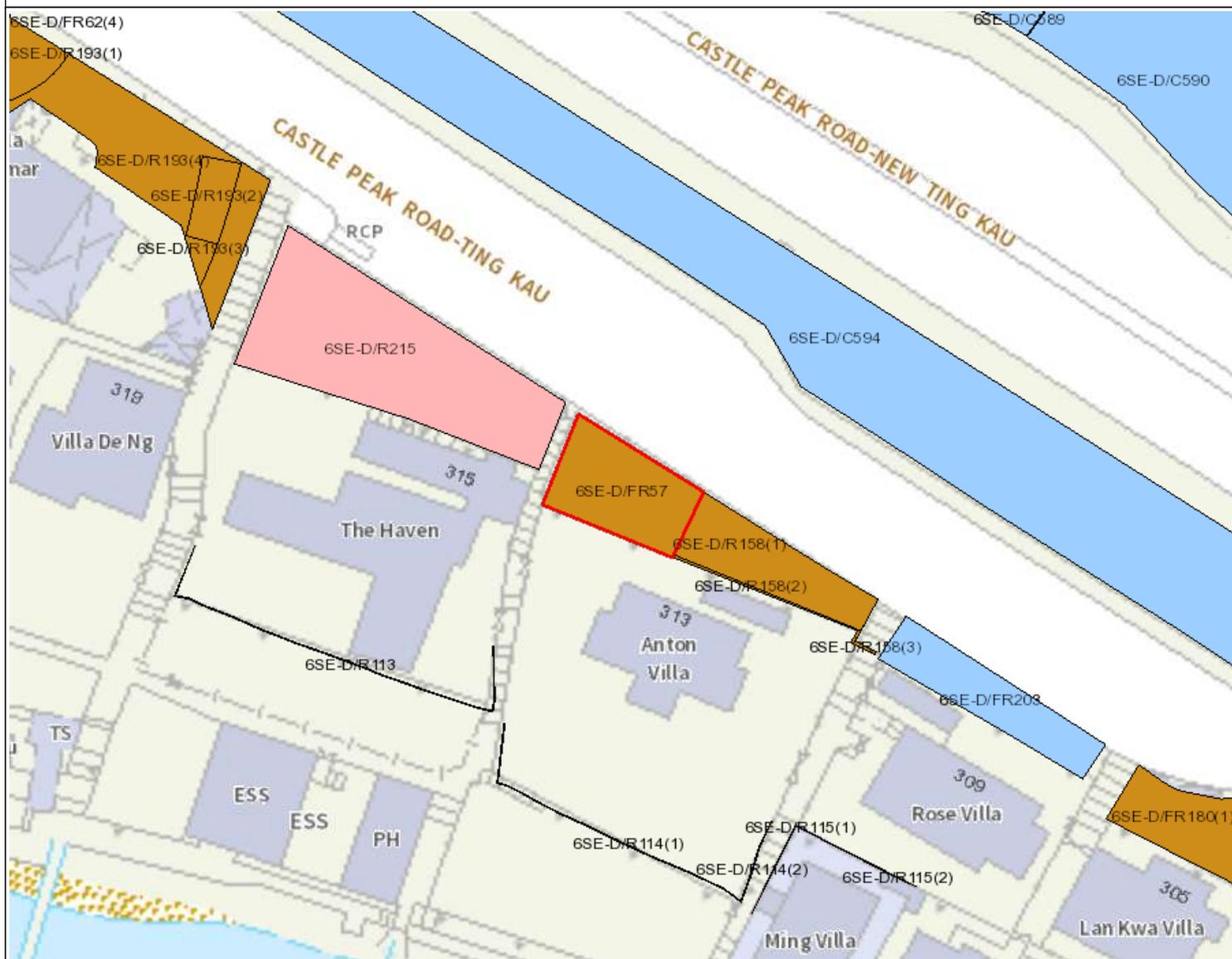
- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

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Location Plan



Legend

-  Slope Area(s)
-  Search Location
-  Slope(s) Maintained by Government
-  Slope(s) Maintained by Private Party/Parties
-  Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 24/10/2025

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Appendix D

Slope Records Retrieved from CEDD



BASIC INFORMATION

Location: Castle Peak Road - Ting Kau
 Registration Date: 25-09-2012
 Ranking Score (NPRS): 3620 (LPMit)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: EI(Lands D)
 Approximate Coordinates: Easting : 826448 Northing : 825613

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
 Distance of Facility from Crest (m): 0
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 1
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 8.2 Length (m): 30 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: STT1206TW Agent: N/A Land Cat.: 1 Reason Code: 3 MR Endorsement Date: 27-11-2015

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 16-09-2010
 Data Source: EI(Lands D)
 Slope Part Drainage: N/A
 Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: 3 Min. Berm Width (m): 1
 Weepholes: Size (mm): 25 Spacing (m): 1

SERVICES

(1) Utilities Type: Water Main Size(mm): 200 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): N/A
 Aerial Photos: N/A
 Nearest Rainguage Station (Station Number): ()
 Data Collected On: 16-09-2010
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: N/A File Reference: N/A
 Date Served by BD: 08/07/2024
 LPMIS: Agreement No.: CE62/2019 Report No.: S2R024/2022
 Agreement No.: CE23/2011 Report No.: S3R 103/2014

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 1

Type of Crest Facility: Open car park

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 215
Location: Castle Peak Road - Ting Kau
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Private
Responsible Party for Maintenance of Government Portion: N/A
Private Lot No.: STT1206TW

LPM/LPMit Study

Agreement No.: CE62/2019
Study Type: Stage 2 Study
Consultant: C M Wong & Associates Ltd.
GEO Managing Section / Engineer: SS / SS1
Study Status: Study completed
Design Approach: N/A
Option Assessment Accepted: N
Study Report No.: S2R024/2022
Programme / Actual Commencement: 25-01-2022
Programme / Actual Completion: 28-02-2022
Report Recommendation (For Stage 2 Study): Advisory Letter
District Check Status: N/A
Checking Certificate No.: N/A
GEO Engineer's Remarks: AL issued on 08/07/2024.

LPM/LPMit Works

Works Contract No.: N/A
GEO Managing Section / Engineer: N/A / N/A
Contractor: N/A
Progress Status: N/A
Reason of Study Termination / Works Deletion (If Necessary): N/A
Forecast Commencement Date: N/A
Forecast Completion Date: N/A
Completion Cert. Issued: N/A
Site Handed Over to Maintenance Department on: N/A
Estimated Cost for Upgrading (HK\$M): N/A
Maintenance Manual No.: N/A

Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 155
Location:	Castle Peak Road - Ting Kau
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed
Responsible Party for Maintenance of Government Portion:	Lands D
Private Lot No.:	STT1206TW

LPM/LPMit Study

Agreement No.:	CE23/2011
Study Type:	Stage 3 Study Under Schedule of Rates Contract
Consultant:	Fugro (HK) Ltd.
GEO Managing Section / Engineer:	LPM3 / CM62
Study Status:	Study completed
Design Approach:	Prescriptive
Option Assessment Accepted:	Y
Study Report No.:	S3R 103/2014
Programme / Actual Commencement:	16-04-2014
Programme / Actual Completion:	15-11-2014
Report Recommendation (For Stage 2 Study):	N/A
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	Feature No. 6SE-D/FR155 under Agreement No. CE23/2011 (GE) has been renamed to 6SE-D/R215. LPM works could not be carried out under GE/2013/29 as MR is changed from HyD to private.

LPM/LPMit Works

Works Contract No.:	GE/2013/29
GEO Managing Section / Engineer:	LPM3 / W1
Contractor:	Geotech Engineering Limited
Progress Status:	Works suspended
Reason of Study Termination / Works Deletion (If Necessary):	MR wholly private
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	0



Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
Registration Date: 28-04-2000
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification: 31-05-2010
Data Source: Project Office
Approximate Coordinates: Easting : 826485 Northing : 825594

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Cottage, licensed and squatter area
Distance of Facility from Toe (m): 0.3
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 7 Length (m): 18.7 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT 1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 27-05-2014
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 27-05-2014
(3) Sub Div.: 2	Mixed Feature	Party: DD399 LOT 405	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-05-2014
(4) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 27-05-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-08-2018
Data Source: Project Office
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)
 Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
 Berm: No. of Berms: 1 Min. Berm Width (m): 2
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_13254 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950-1 (1963),
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-08-2018
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 Remarks: N/A

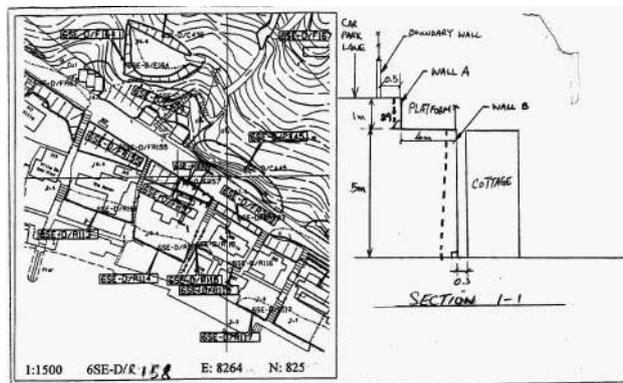
Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
 Upgraded by:
 Prescriptive Design Using GEO Report No. 56: N/A
 Non-prescriptive Design Including Conventional Design: Yes
 Improved by:
 Type 1 / Type 2 Prescriptive Measures: N/A
 Type 3 Prescriptive Measures (not up to upgrading standard): N/A
 Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On: 17-12-1999
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Cottage, licensed and squatter area
 Distance from Toe(m): 0.3
 Type of Crest Facility: Open car park
 Distance from Crest(m): 0
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):

Consequence Category: 1
Engineering Judgement: P
Sign of Seepage: Slope : N/A
Wall : Signs of seepage
Criterion A satisfied: N
Sign of Distress: Slope : N/A
Wall : Minimal(near crest, mid-portion)
Criterion D satisfied: N
Non-routine maintenance required: N
Note: N/A
Masonry wall/Masonry facing: Y
Note: N/A
Consequence category (for critical section): 1
Observations: N/A
Emergency Action Required: N
Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study: Y
Action By: Private

OTHER EXTERNAL ACTION

Check / repair Services: N
Action By: N/A
Non-routine Maintenance: N
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 158
Location: TING AKU, NO.311-313 CASTLE PEAK ROAD
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Mixed
Responsible Party for Maintenance of Government Portion: Lands D
Private Lot No.: STT139TW

LPM/LPMit Study

Agreement No.:	CE47/2005
Study Type:	Stage 2 Study
Consultant:	Maunsell Geotechnical Services Ltd.
GEO Managing Section / Engineer:	SS / SS3
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R18/2008
Programme / Actual Commencement:	23-01-2008
Programme / Actual Completion:	07-09-2008
Report Recommendation (For Stage 2 Study):	No action required
District Check Status:	Exempted from checking
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_13254
SCS Feature	6SE-D/R 158
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 008/2013
Feature Remark	GEO accepted the design report for feature no. 6SE-D/FR57 & 6SE-D/R158 on 10.2.2010.
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2013/02/04
Last Update	08-02-2013
Easting	826477
Northing	825600
-----	-----
File Ref	GCMW 2/E1/6SE-D/R158
ERKS File Ref	MW-30-2025-1-6SE-D/R158
File Title	Ag No. CE31/2006(GE), EMP, Design Report for feature no. 6SE-D/FR57 & 6SE-D/R158, No. 311-313, Castle Peak Road, Ting Kau
Project Type	Public
File Ref Image	Open Image



BASIC INFORMATION

Location: Rose Villa, Castle Peak Road, Ting Kau, Tsuen Wan, New Territories. Lot No. 401 in D.D. 399
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (Notional)
 Date of Formation: pre-1977
 Date of Construction/ Modification: 15-07-2011
 Data Source: AP
 Approximate Coordinates: Easting : 826486 Northing : 825569

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
 Distance of Facility from Crest (m): 4.5
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 2.5
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.1 Length (m): 19 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Private Feature	Party: DD399 LOT447	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006
(2) Sub Div.: 2	Private Feature	Party: DD399 LOT401	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-11-2011
 Data Source: AP
 Slope Part Drainage: N/A
 Wall Part Drainage: (1) Position: Crest Size(mm): 225

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

(1) Utilities Type: Water Main Size(mm): 25 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10329 Part: 1 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

BACKGROUND INFORMATION

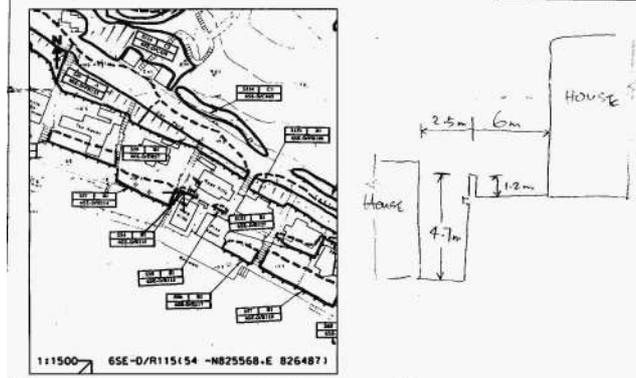
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-11-2011
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 30/05/2008 Notice No.: DH0052/NT/08/C
 Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 17/09/2010 Notice No.: DH0120/NT/10/C
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE10/2003 Report No.: S2R209/2005

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Residential building
 Distance from Toe(m): 2.5
 Type of Crest Facility: Residential building
 Distance from Crest(m): 4.5
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble.
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 115
Location:	MING VILLA DD339 LOT 447, CASTLE PEAK ROAD, TING KAU
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	DD399 Lot447, DD399 Lot401

LPM/LPMit Study

Agreement No.:	CE10/2003
Study Type:	Stage 2 Study
Consultant:	Scott Wilson (HK) Ltd.
GEO Managing Section / Engineer:	SS / SS2
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R209/2005
Programme / Actual Commencement:	30-12-2004
Programme / Actual Completion:	24-03-2006
Report Recommendation (For Stage 2 Study):	DH Order, No action required
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

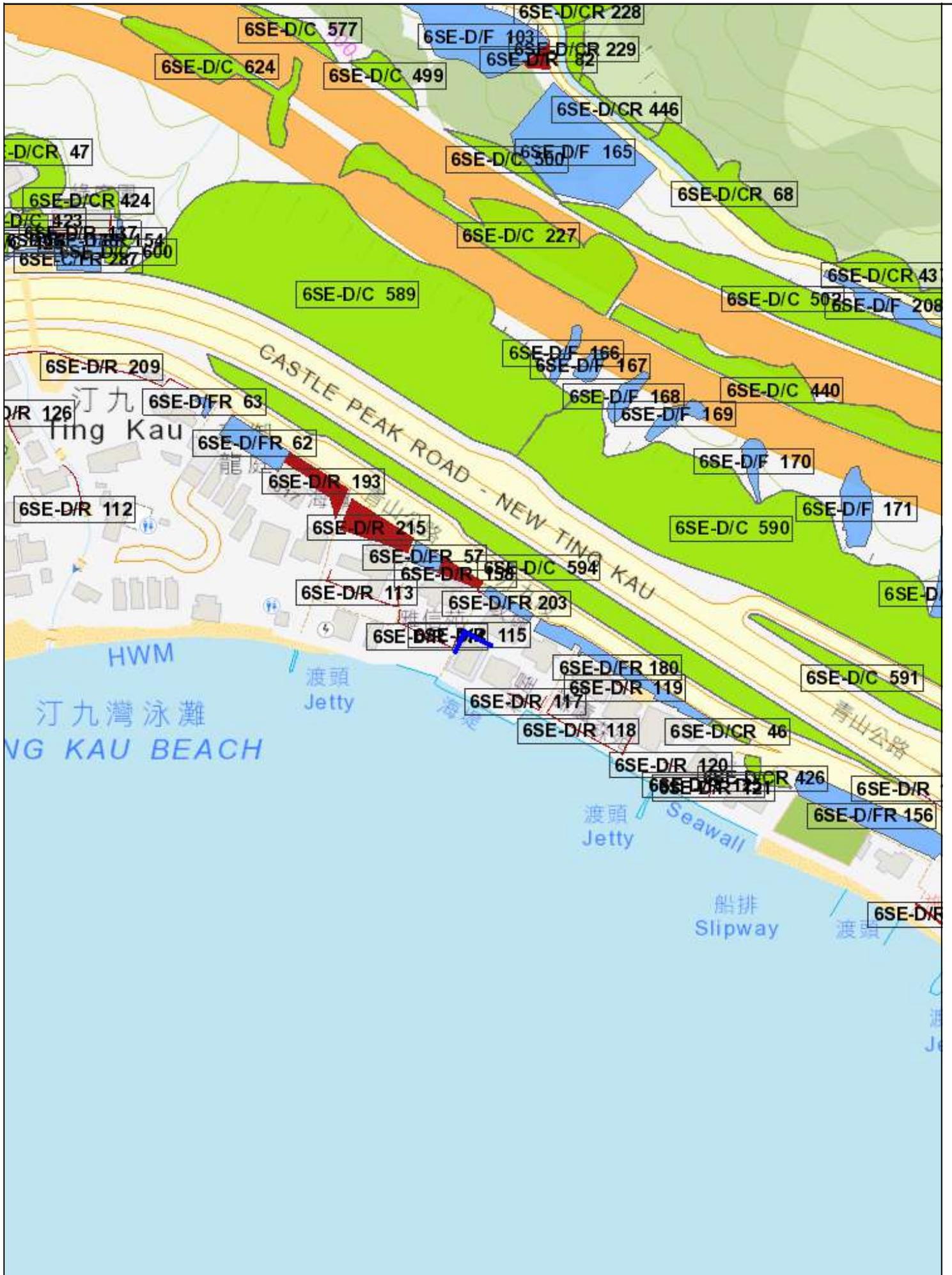
Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A



Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_10329
SCS Feature	6SE-D/R 115
SCS Part	1
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	N/A
Feature Remark	Agreed to BA14 on 06/01/2012 6SE-D/R115 (Sub-Div. 2).
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2012/01/06
Last Update	26-03-2012
Easting	826486
Northing	825568
-----	-----
File Ref	GCMW 3/5/DH131/05/NT
ERKS File Ref	MW-10-2010-4-DH131/05/NT
File Title	ROSA VILLA, CASTLE PEAK ROAD, TING KAU, TSUEN WAN, N.T. - LOT 401 IN DD399 (6SE-D/R115 sub-div. 2)
Project Type	Private
File Ref Image	N/A



BASIC INFORMATION

Location: NO.313, CASTLE PEAK ROAD, TING KAU
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: SIRST
 Approximate Coordinates: Easting : 826469 Northing : 825568

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Horticulture garden
 Distance of Facility from Crest (m): 0
 Facility at Toe: Lightly-used playground
 Distance of Facility from Toe (m): 3
 Consequence-to-life Category: 2
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 43 Face Angle (deg): 87

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
 Data Source: SIRST
 Slope Part Drainage: N/A
 Wall Part Drainage: (1) Position: Toe Size(mm): 175

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 40 Spacing (m): 1.2

SERVICES

(1) Utilities Type: Electricity Size(mm): 0 Location: On crest Remark: Size cannot be determined

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

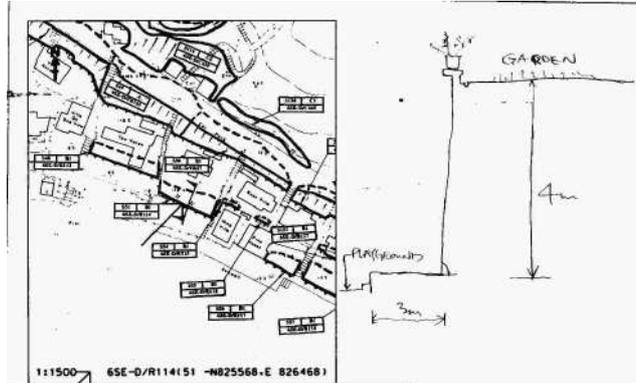
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 3
 Type of Crest Facility: Horticulture garden
 Distance from Crest(m): 0
 Consequence Category: 2
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 2
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble
 Consequence category (for critical section): 2
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

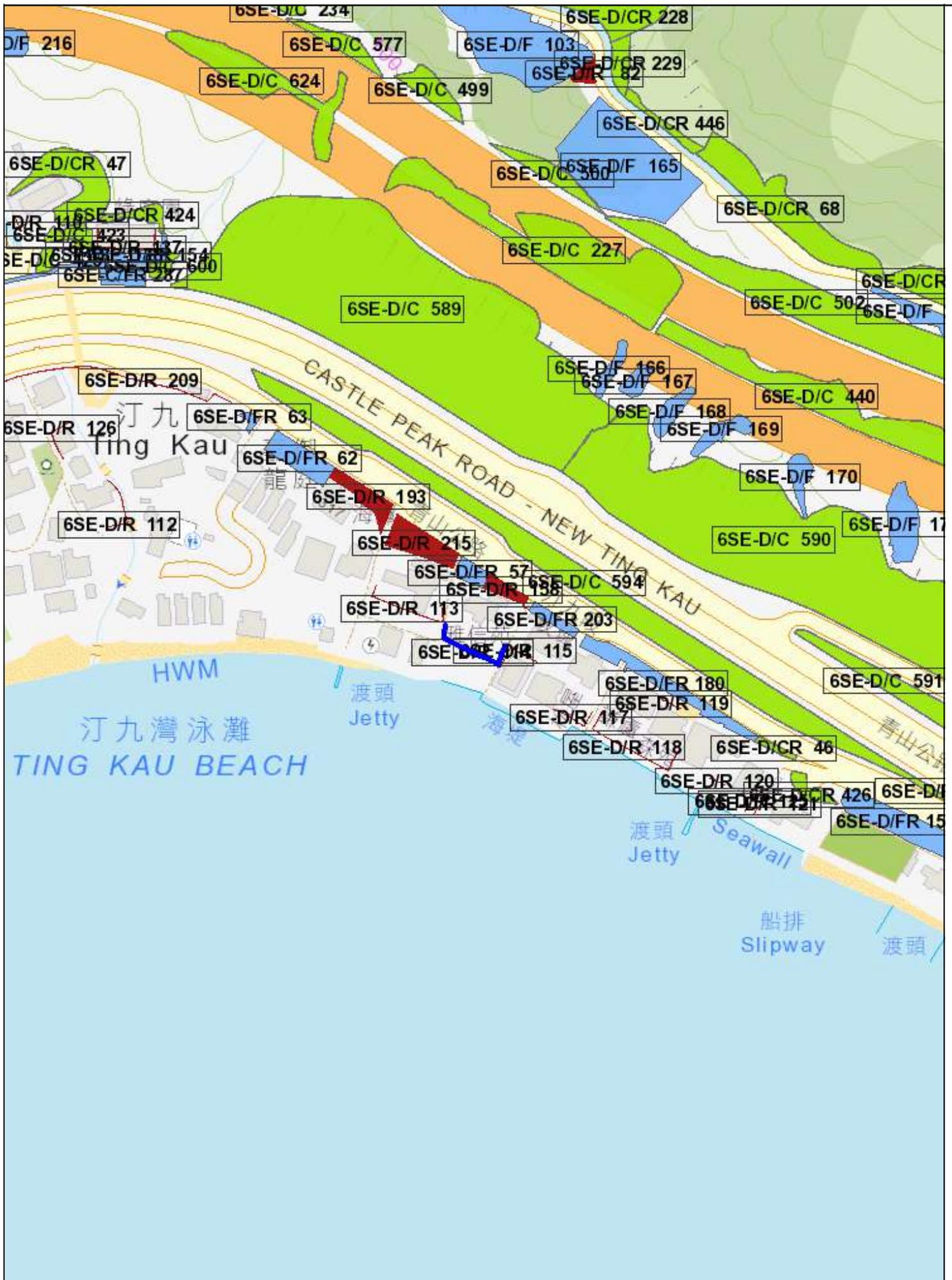
Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO



6SE-D/R114

GENERAL VIEW





BASIC INFORMATION

Location: THE HAVEN, CASTLE PEAK ROAD, TING KAU
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (LPMit)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: SIRST
Approximate Coordinates: Easting : 826442 Northing : 825585

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
Distance of Facility from Crest (m): 1
Facility at Toe: Lightly-used playground
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 42 Face Angle (deg): 80

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD399 Lot404 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 05-01-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
Data Source: SIRST
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 65 Spacing (m): 1.2

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

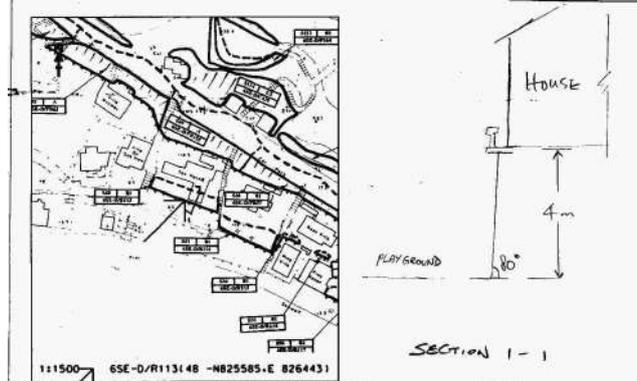
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE79/97 Report No.: S2R261/2000

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Mainly Fine
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 0
 Type of Crest Facility: Residential building
 Distance from Crest(m): 1
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, mid-portion, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: N/A
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 113
Location:	The Haven, Castle Peak Road, Ting Kau.
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	DD399LOT404

LPM/LPMit Study

Agreement No.:	CE79/97
Study Type:	Stage 2 Study
Consultant:	C M Wong & Associates Ltd.
GEO Managing Section / Engineer:	SS / SS1
Study Status:	Study completed
Design Approach:	Otherwise
Option Assessment Accepted:	N/A
Study Report No.:	S2R261/2000
Programme / Actual Commencement:	01-06-1998
Programme / Actual Completion:	30-11-2000
Report Recommendation (For Stage 2 Study):	Advisory Letter
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	# Type 3 Advisory Letter referred to District Division on 4 December 2000.

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A



Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO



6SE-D/R113
GENERAL VIEW



BASIC INFORMATION

Location: CASTLE PEAK ROAD - TING KAU
 Registration Date: 27-08-1999
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: EI (HyD)
 Approximate Coordinates: Easting : 826505 Northing : 825581

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with moderate traffic density
 Distance of Facility from Crest (m): 0
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 4
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

(1) Max. Height (m): 1.8 Length (m): 23 Average Angle (deg): 35

WALL PART

(1) Max. Height (m): 4 Length (m): 23 Face Angle (deg): 78

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: HyD Agent: HyD Land Cat.: 5b(iii) Reason Code: 56 MR Endorsement Date: 18-02-2008

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 04-12-2018
 Data Source: EI (HyD)
 Slope Part Drainage: (1) Position: Toe Size(mm): 225
 Wall Part Drainage: (1) Position: Crest Size(mm): 225
 (2) Position: Downpipe Size(mm): 225
 (3) Position: Toe Size(mm): 200

SLOPE PART



Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
 Material Description: Material type: Soil Geology: N/A
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 300 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_5715 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2007

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: N/A
 Nearest Raining Station (Station Number): ()
 Data Collected On: 04-12-2018
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None



ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

Upgraded by:

Prescriptive Design Using GEO Report No. 56: N/A

Non-prescriptive Design Including Conventional Design: Yes

Improved by:

Type 1 / Type 2 Prescriptive Measures: N/A

Type 3 Prescriptive Measures (not up to upgrading standard): N/A

Actual Completion Date: 03-11-2006

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 4

Type of Crest Facility: Road/footpath with moderate traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

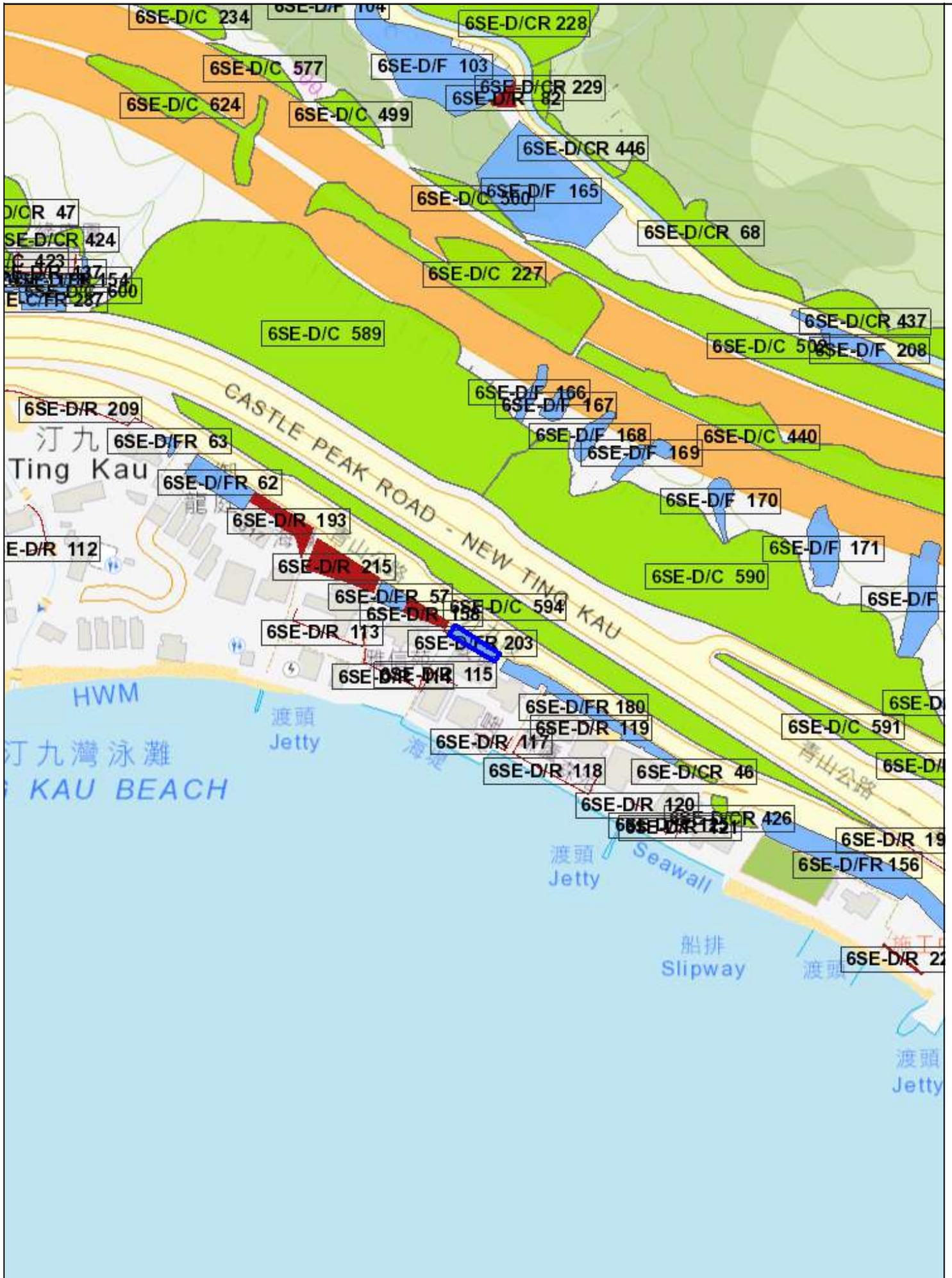
Criterion A/Criterion D: N/A
Action By: N/A
Further Study:
Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
Action By: N/A
Non-routine Maintenance:
Action By: N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_5715
SCS Feature	6SE-D/FR 203
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 008/2007
Feature Remark	N/A
Reviewer	KONG KA FAI
GEO Reply	2007/02/12
Last Update	23-12-2005
Easting	826496
Northing	825588
-----	-----
File Ref	GCMW 2/E1/6SE-D/FR203
ERKS File Ref	MW-30-2025-1-6SE-D/FR203
File Title	EMP (2003-2007) of Roadside Features in NT West for slope 6SE-D/FR203 (Agreement No. CE13/2003(GE))
Project Type	Public
File Ref Image	N/A

BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification: 31-05-2010
Data Source: AP
Approximate Coordinates: Easting : 826470 Northing : 825599

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Residential building
Distance of Facility from Toe (m): 3.5
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.3 Length (m): 13 Average Angle (deg): 45

WALL PART

(1) Max. Height (m): 4.3 Length (m): 13 Face Angle (deg): 75

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 29-04-2014
(2) Sub Div.: 0 Mixed Feature Party: STT1139TW Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 29-04-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 08-02-2013
Data Source: AP
Slope Part Drainage: (1) Position: Berm Size(mm): 225
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 100 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): 40 Spacing (m): 1.5



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
Berm: No. of Berms: 2 Min. Berm Width (m): 2.5
Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10491 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 007/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
Map Sheet Reference (1:1000): 6SE-18D
Aerial Photos: Y08950-1 (1963),
Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
Data Collected On: 08-02-2013
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A



Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
 File/Report: Development Ref. No.: GCMW5/3/16 PT.14f30,32 PT.5f112
 File/Report: Development Ref. No.: GCMW5/3/16 PT.14f30,32 PT.5f112
 File/Report: LA Ref. No.: GCMW5/3/16PT14f30,32 PT5f112
 File/Report: LA Ref. No.: GCMW5/3/16PT14f30,32 PT5f112
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 File/Report: LWC Ref. No.: GC4/1/2-5f7A

Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
 Upgraded by:
 Prescriptive Design Using GEO Report No. 56: N/A
 Non-prescriptive Design Including Conventional Design: Yes
 Improved by:
 Type 1 / Type 2 Prescriptive Measures: N/A
 Type 3 Prescriptive Measures (not up to upgrading standard): N/A
 Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On:
 Weather:
 District: MW
 Section No: 1-1
 Height(m):
 Type of Toe Facility: Residential building
 Distance from Toe(m): 3.5
 Type of Crest Facility: Open car park
 Distance from Crest(m): 0
 Consequence Category:

Engineering Judgement:
Section No: 2-2
Type of Toe Facility:
Distance from Toe(m):
Type of Crest Facility:
Distance from Crest(m):
Consequence Category:
Engineering Judgement:
Sign of Seepage:
Criterion A satisfied:
Sign of Distress:
Criterion D satisfied:
Non-routine maintenance required:
Note:
Masonry wall/Masonry facing:
Note:
Consequence category (for critical section):
Observations: N/A
Emergency Action Required:
Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study:
Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
Action By: N/A
Non-routine Maintenance:
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 57
Location:	TING KAU, NO. 311-313 CASTLE PEAK ROAD
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed



Responsible Party for Maintenance of Government Lands D
 Portion:
 Private Lot No.: STT1139TW

LPM/LPMit Study

Agreement No.: CE47/2005
 Study Type: Stage 2 Study
 Consultant: Maunsell Geotechnical Services Ltd.
 GEO Managing Section / Engineer: SS / SS3
 Study Status: Study completed
 Design Approach: N/A
 Option Assessment Accepted: N/A
 Study Report No.: S2R18/2008
 Programme / Actual Commencement: 23-01-2007
 Programme / Actual Completion: 07-09-2008
 Report Recommendation (For Stage 2 Study): No action required
 District Check Status: Exempted from checking
 Checking Certificate No.: N/A
 GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A
 GEO Managing Section / Engineer: N/A / N/A
 Contractor: N/A
 Progress Status: N/A
 Reason of Study Termination / Works Deletion (If Necessary): N/A
 Forecast Commencement Date: N/A
 Forecast Completion Date: N/A
 Completion Cert. Issued: N/A
 Site Handed Over to Maintenance Department on: N/A
 Estimated Cost for Upgrading (HK\$M): N/A
 Maintenance Manual No.: N/A
 Actual Works: N/A
 No. of Tree Felled: N/A
 No. of Tree Planted (Incl. Transplant): N/A
 % Bare of Slope Surfacing: N/A
 % Vegetated of Slope Surfacing: N/A
 % Shotcrete of Slope Surfacing: N/A
 Other Hard Surface of Slope Surfacing: N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_10491
SCS Feature	6SE-D/FR 57
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 007/2013
Feature Remark	GEO accepted the design report for feature no. 6SE-D/FR57 & 6SE-D/R158 on 10.2.2010.
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2013/02/04
Last Update	07-02-2013
Easting	826465
Northing	825607
-----	-----
File Ref	GCMW 2/E1/6SE-D/FR57
ERKS File Ref	MW-30-2025-1-6SE-D/FR57
File Title	Ag No. CE31/2006(GE), EMP, Design Report for feature no. 6SE-D/FR57 & 6SE-D/R158, No. 311-313, Castle Peak Road, Ting Kau
Project Type	Public
File Ref Image	Open Image

Appendix E

Extraction of Previous GI Records



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

DRILLHOLE RECORD

DRILLHOLE No.
BH 1

SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.	CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.76
MACHINE & No.	BM16		N 825582.87
FLUSHING MEDIUM	Foam	GROUND LEVEL	+ 16.30 mPD
		ORIENTATION	Vertical

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description	
03/12/2004	HW										A 0.45 INSPECTION PIT B 0.85 C 1.45 1.50 T2101 1 2.40 2 2.70 2.80 T2101 3 3.25 3.60 T2101 4 4.60 4.70 4.73 T2101 5 5.56 6 5.96 5.96 T2101 7 6.40 8 7.40 7.50 9 7.90 10 7.95	+16.30	0.00				Grayish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (FILL)
												+15.30	1.00			Firm, Brown (7.5YR 5/4), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)	
												+14.80	1.50			Grey (N 5/), dappled brown, subangular BOULDERS (SDT) sized up to 320 mm. (COLLUVIUM)	
												+13.90	2.40			Firm, Brown (7.5YR 5/4), dappled greyish brown, sandy SILT with some subangular fine gravel sized rock fragments and occasional subrounded cobbles (HDT). (COLLUVIUM)	
												+13.50	2.80			Greyish brown (2.5Y 5/2), dappled brown, silty sandy subangular to subrounded COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)	
												+12.30	4.00			Extremely weak, greyish brown and light brown, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)	
03/12/2004 04/12/2004	Dry at 18:00 Dry at 08:00											+11.57 4.70 4.73	4.73			Strong, grey, spotted light grey and dark grey, slightly decomposed coarse ash crystal TUFF. Joints are widely spaced, locally very closely spaced, rough planar, extremely narrow to very narrow, manganese stained and iron stained, dipping 10° to 20°.	
												+11.40	4.90			From 4.73m to 4.90m: Moderately strong, moderately decomposed TUFF.	
												+10.74	5.56			Very weak to weak, grey, dappled brown and dark brown, mottled white, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular fine to coarse GRAVEL)	
												+10.34 5.96 5.96	5.96			Weak to moderately strong, grey, dappled light brown, highly decomposed coarse ash crystal TUFF. Joints are extremely closely spaced to very closely spaced, rough planar and rough undulating, very narrow, manganese stained and iron stained, dipping 50° to 60° and 70° to 80°.	
												+10.24 6.06 +10.10 6.20 +10.05 6.25 +9.90 6.40	6.20			From 6.06m to 6.20m: No recovery, inferring completely decomposed TUFF.	
												+9.90	6.40			From 6.25m to 6.40m: Moderately strong, moderately decomposed TUFF.	
																Extremely weak to very weak, light brown and greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular to subangular fine gravel)	
04/12/2004	HW 8.00											+8.30	8.00			End of Investigation Hole at 8.00m.	

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazzer sample ▤ Piston sample ▣ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample ◻ Piezometer tip ◻ Standpipe tip ⊕ Standard penetration test ⊖ Pressuremeter test ⊗ Water absorption test or Permeability test ⊘ Sonic televiewer test ⊙ Impression packer test ⊚ in-situ vane shear test 	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>LOGGED</td> <td>T. C. Yip</td> </tr> <tr> <td>DATE</td> <td>17/12/2004</td> </tr> <tr> <td>CHECKED</td> <td>G. Whatmore</td> </tr> <tr> <td>DATE</td> <td>18/12/2004</td> </tr> </table>	LOGGED	T. C. Yip	DATE	17/12/2004	CHECKED	G. Whatmore	DATE	18/12/2004	<p style="text-align: center;">REMARKS</p> <ol style="list-style-type: none"> 1. An inspection Pit was excavated by hand to 1.50m. 2. A falling head permeability test was carried out from 7.00m to 8.00m 3. A piezometer was installed at 7.00m. 4. A standpipe was installed to 3.60m.
LOGGED	T. C. Yip										
DATE	17/12/2004										
CHECKED	G. Whatmore										
DATE	18/12/2004										



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
HC 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826509.87	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825575.71	DATE	30/11/2004 to 01/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.18 mPD	ORIENTATION/DIP	030°/00°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.O.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description	
30/11/2004 01/12/2004	NW			100							NW 0.00 0.14	+12.18	0.00			Reddish grey (10R 6/1), GRANITE MASONRY BLOCKS (MASONRY WALL)	
				69							NW 0.50	+12.18	0.50			Grey (N 5), angular COBBLES sized cement mortar with some angular to subangular fine to coarse gravel sized rock fragments. (RETAINING WALL)	
				50							NW 0.70	+12.18	0.70			Greyish brown (2.5Y 5/2), subangular COBBLES (MDT). (COLLUVIUM)	
											1 NW 1.15 1.20	+12.18	1.20			Firm, brown (7.5YR 5/4), sandy SILT with occasional angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)	
											NW 1.50					Greyish brown (2.5Y 5/2), subangular BOULDERS (MDT) sized up to 250 mm with some subangular cobbles and some subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)	
						100						2 NW 2.00 2.20	+12.18	2.00			Firm, Greyish brown (2.5Y 5/2), sandy SILT with occasional angular to subangular fine gravel sized rock fragments. (COLLUVIUM)
												2 * 2.65 2.70					
												3 * 3.15 3.20	+12.18	3.20			
						83						3 NW 3.44	+12.18	3.44			Greyish brown (2.5Y 5/2), subangular COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)
												4 * 3.65 3.70	+12.18	3.70			Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
30/11/2004 01/12/2004	NW										5 NW 4.15 4.20 4.40	+12.18	4.20			Greyish brown (2.5Y 5/2), silty fine to coarse SAND with some angular to subangular fine to coarse gravel sized rock fragments and occasional subangular cobbles (MDT). (COLLUVIUM)	
										8 * 4.65 4.70	+12.18	4.70			Greyish brown (2.5Y 5/2), subangular COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)		
										7 * 5.15 5.20	+12.18	5.20			Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with much angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)		
										8 * 5.65 5.70					Firm, Brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)		
01/12/2004	NW	6.20								10 * 6.15 6.20	+12.18	6.20			Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with occasional angular to subangular fine gravel). End of Corehole at 6.20m.		

<ul style="list-style-type: none"> • Small disturbed sample ◊ Large disturbed sample ▬ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▪ U100 undisturbed sample ▧ Mazier sample ▦ Piston sample ▥ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample ⊕ Piezometer tip ⊖ Standpipe tip ⊙ Standard penetration test ⊗ Pressuremeter test ⊘ Water absorption test or Permeability test ⊙ Sonic televiewer test ⊖ Impression packer test ⊙ In-situ vane shear test 	LOGGED T. C. Yip DATE 18/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
HC 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 305 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.98	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825579.84	DATE	01/12/2004 to 02/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.15 mPD	ORIENTATION/DIP	030°/00°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
01/12/2004	NW			70							NW	+12.15	0.00			Reddish grey (10R 6/1), GRANITE MASONRY BLOCKS. (MASONRY WALL)
											1	+12.15	0.50			Brown (7.5YR 5/4) and greyish brown (2.5Y 5/2), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											2	+12.15	1.50			Greyish brown (2.5Y 5/2), sandy SILT with some subangular fine gravel sized rock fragments. (COLLUVIUM)
											3		1.95			
											4		2.45			
											5	+12.15	3.00			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
01/12/2004 02/12/2004				80							6	+12.15	3.25			Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (COLLUVIUM)
											7	+12.15	4.00			Greyish brown (2.5Y 5/2), sandy subangular to subrounded fine to coarse GRAVEL (MDT) with occasional subangular cobbles (MDT). (COLLUVIUM)
											8	+12.15	4.45			
				72							9	+12.15	4.95			Firm, greyish brown (2.5Y 5/2), sandy SILT with some subangular to subrounded fine to coarse gravel sized rock fragments. (COLLUVIUM)
				88							10	+12.15	5.00			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
											11	+12.15	5.45			Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Slightly sandy SILT with occasional angular to subangular fine gravel)
02/12/2004	NW											+12.15	6.00			End of Corehole at 6.00m.

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample ▨ SPT liner sample ▨ U64 undisturbed sample ▨ U76 undisturbed sample ▨ U100 undisturbed sample ▨ Mazier sample ▨ Piston sample ▨ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ⊙ Standpipe tip ⊙ Standard penetration test ⊙ Pressuremeter test ⊙ Water absorption test or Permeability test ⊙ Sonic televiwer test ⊙ Impression packer test ⊙ In-situ vane shear test 	LOGGED T. C. Yip DATE 18/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
IC 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826509.62	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825575.89	DATE	02/12/2004 to 03/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.20 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R. Q. D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description	
02/12/2004	NW											+12.20	0.00				
											NW	+12.04	0.25			Reddish grey (10R 6/1), angular BOULDERS (SDG) sized up to 250 mm. (MASONRY WALL)	
											1	0.43 0.43 0.50	0.43			Light brown (7.5YR 6/4), dappled grey, angular to subangular COBBLES (MDT, cement mortar) with some concrete fragments. (MASONRY WALL)	
											2	0.95 1.00				Firm, brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)	
											3	1.45 1.50	+11.24	1.50			
											4	1.95 2.00			V	Extremely weak, greyish brown, dappled grey, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)	
											5	2.45 2.50					
											6	2.95 3.00					
											7	3.45 3.50					
											8	3.95 4.00					
											9	4.45 4.50	+9.31 +9.26	4.50 4.58			
				16	16	0	NR		4.50 4.58		NW				IV	Very weak, greyish brown, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular COBBLES)	
											10	5.00 5.08	+8.99 +8.93	5.00 5.08		V	From 4.58m to 5.00m : No recovery, inferring completely decomposed TUFF.
02/12/2004 03/12/2004											11	5.50	+8.66	5.50			From 5.08m to 5.50m : No recovery, inferring completely decomposed TUFF.
	NW										12		+8.28	6.10			Wash boring.
03/12/2004																End of Corehole at 6.10m.	

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazier sample ▤ Piston sample ▣ Environmental Sample ▲ Water sample ◻ Piezometer tip ◻ Standpipe tip ⬆ Standard penetration test ⊖ Pressuremeter test ⊖ Water absorption test or Penneability test ⊖ Sonic televiewer test ⊖ Impression packer test ⊖ In-situ vane shear test 	LOGGED T. C. Yip DATE 17/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
IC 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826503.41	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 3		N 825579.64	DATE	04/12/2004 to 04/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.17 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.O.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
04/12/2004	NW			75								+12.17	0.00			
											1	NW 0.85 0.50	+11.98 +11.85	0.30 0.50		Reddish grey (10R 6/1), angular COBBLES (SDG cement mortar) with some subangular coarse gravel sized rock fragments and occasional concrete fragments. (MASONRY WALL)
											2	0.85 1.00				Greyish brown (2.5Y 5/2), silty fine to coarse SAND with some angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)
											3	1.45 1.50	+11.21	1.50		Firm, greyish brown (2.5Y 5/2), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											4	1.95 2.00			V	Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular fine gravel)
											5	2.45 2.50				
											6	2.85 3.00	+10.24	3.00	V	Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with occasional subangular fine gravel)
											7	3.45 3.50				
											8	3.95 4.00				
											9	4.45 4.50				
											10	4.95 5.00	+8.98	5.00	III	Moderately strong to strong, grey, dappled brown, spotted green and dark green, moderately decomposed coarse ash crystal TUFF.
				90	56	52	8.3 > 20	5.00 5.12 5.33				NW 5.50				Jointed, moderately strong to strong, grey, dappled brown, spotted green and dark green, moderately decomposed coarse ash crystal TUFF. Joints are very closely spaced to closely spaced, rough planar and rough stepped, extremely narrow to very narrow, manganese stained and iron stained.
04/12/2004	NW 6.00			92	44	20	> 20 8.7	5.60 5.70				NW 6.00	+8.31	6.00		End of Corehole at 6.00m.

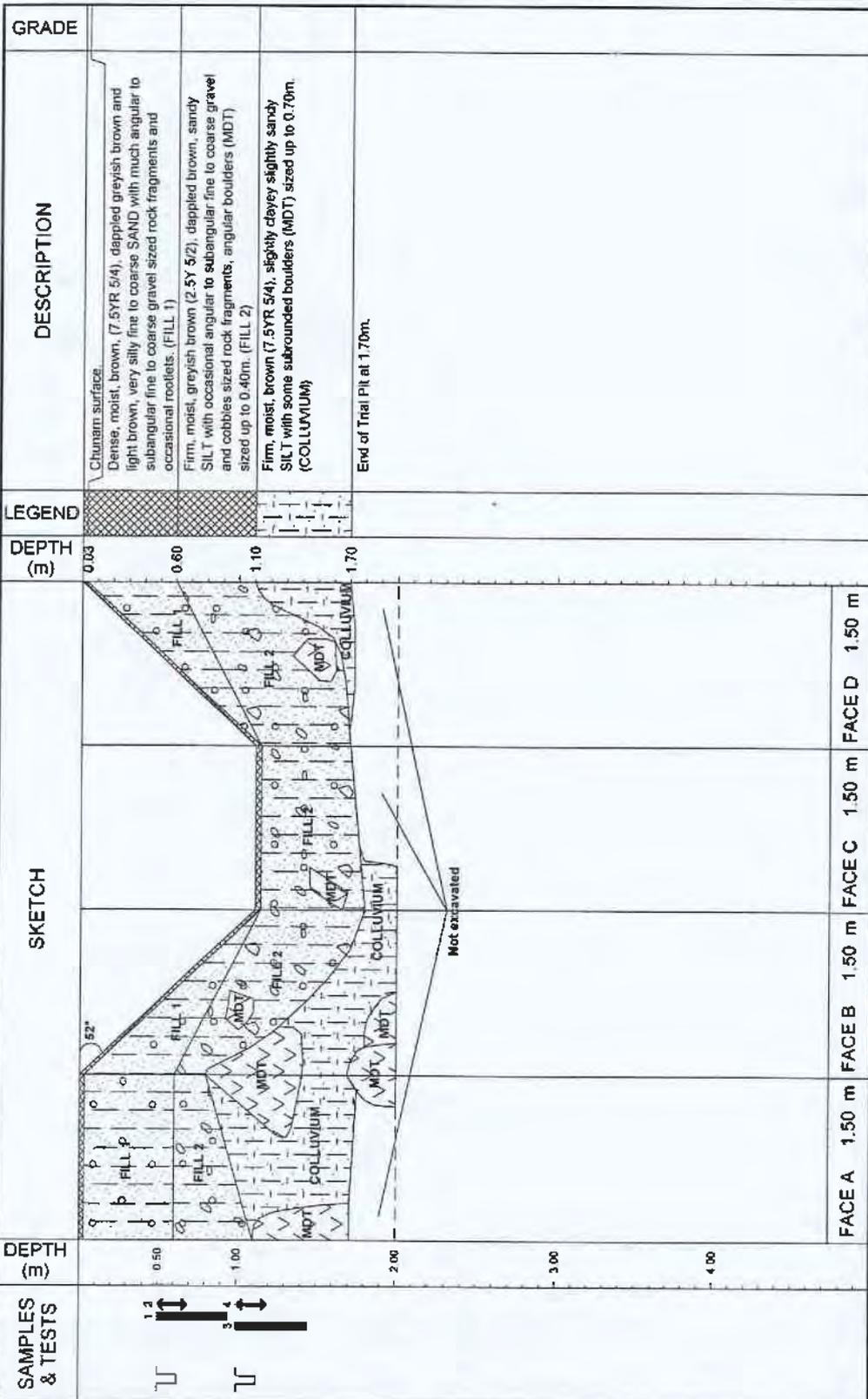
<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ■ U100 undisturbed sample ▧ Mazier sample ▩ Piston sample ■ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ■ Standpipe tip ⊕ Standard penetration test ⊖ Pressuremeter test ⊕ Water absorption test or Permeability test ⊖ Sonic televiewer test ⊕ Impression packer test ⊖ In-situ vane shear test 	LOGGED T. C. Yip DATE 18/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
TRIAL PIT RECORD

TRIAL PIT No.:
TP 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	09/12/2004	CO-ORDINATES	E 826501.95	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	14/12/2004		N 825582.05	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.80 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



CROSS SECTION

PLAN

REMARKS

1. Trial pit was dry during excavation.
2. Trial pit was stable during excavation.
3. Timber shoring over the full height.
4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m.
5. Large disturbed samples were taken at 0.50m and 1.00m.
6. In situ density tests were carried out at 0.50m and 1.00m.
7. MDT = Moderately decomposed TUFF.

SYMBOLS

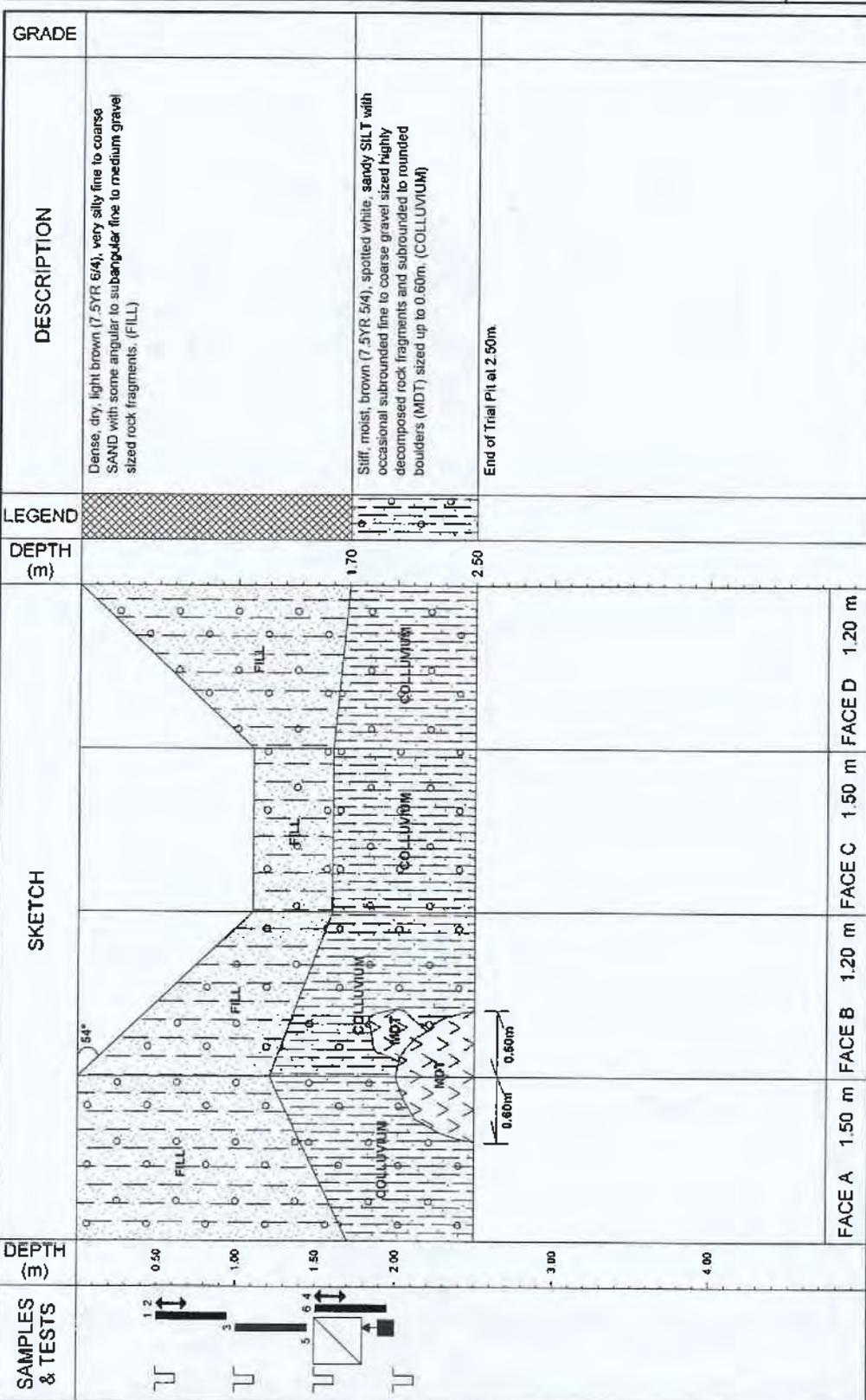
- Small disturbed sample
- Large disturbed sample
- Undisturbed horizontal sample
- Undisturbed vertical sample
- Block sample
- In situ density test
- Water seepage
- Water sample
- Standpipe tip
- Vane shear test
- Percolation test
- Environmental Sample



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	30/11/2005	CO-ORDINATES	E 826506.88	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	04/12/2004		N 825578.99	LOGGED BY	T. C. Yip
BACKFILLED ON	17/12/2004	GROUND LEVEL	+ 14.54 mPD	DATE	14/12/2004
				CHECKED BY	G. Whatmore
				DATE	15/12/2004



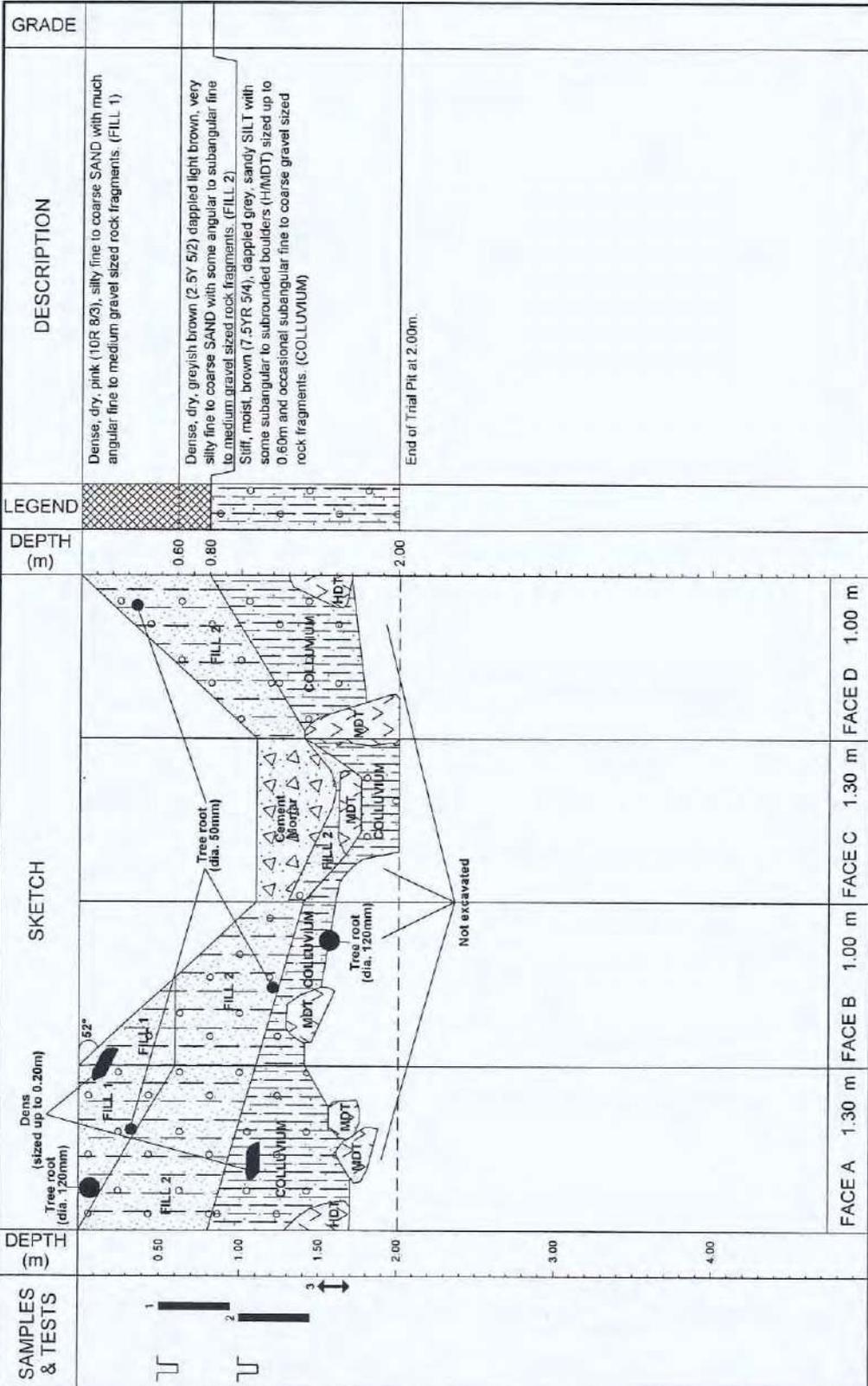
SYMBOLS	Small disturbed sample	REMARKS	CROSS SECTION
	Large disturbed sample		
Undisturbed horizontal sample	<ol style="list-style-type: none"> 1. Trial trench was dry during excavation. 2. Trial trench was stable during excavation. 3. Timber shoring over the full height. 4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m, 1.00m to 1.45m and 1.50m to 1.95m. 5. Large disturbed samples were taken at 0.50m and 1.00m. 6. In situ density tests were carried out at 0.50m, 1.00m, 1.50m and 2.00m. 7. A block sample was taken at 1.50m. 8. A standpipe was installed at 2.00m. 9. MDT = Moderately decomposed TUFF. 		
Undisturbed vertical sample			
Block sample			
In situ density test			
Water seepage			
Water sample			
Standpipe tip			
Vane shear test			
Percolation test			
Environmental Sample			



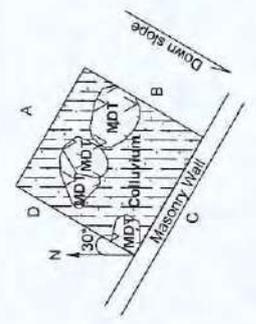
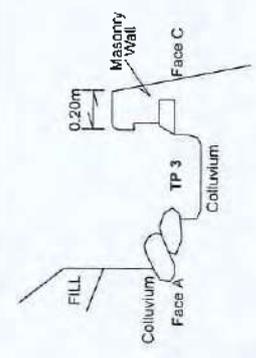
VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 3
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	02/12/2004	CO-ORDINATES	E 826512.16	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	06/12/2004		N 825575.52	LOGGED BY	T. C. Yip
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.46 mPD	DATE	14/12/2004
				CHECKED BY	G. Whatmore
				DATE	15/12/2004



SYMBOLS	Small disturbed sample	REMARKS	CROSS SECTION
	Large disturbed sample		
SYMBOLS	Undisturbed horizontal sample	REMARKS	PLAN
	Undisturbed vertical sample		
SYMBOLS	Block sample	REMARKS	PLAN
	In situ density test		
SYMBOLS	Water seepage	REMARKS	PLAN
	Water sample		
SYMBOLS	Standpipe tip	REMARKS	PLAN
	Vane shear test		
SYMBOLS	Percolation test	REMARKS	PLAN
	Environmental Sample		



1. Trial trench was dry during excavation.
2. Trial trench was stable during excavation.
3. Timber shoring over the full height.
4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m.
5. A large disturbed sample was taken at 1.50m.
6. In situ density tests were carried out at 0.50m and 1.00m.
7. MDT = Moderately decomposed TUFF.



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **1** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 826668.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION	Vertical
		GROUND LEVEL	4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description	
18/02/2003	PX							1	4.48	0.50	[Pattern]		Dark brown (7.5YR 3/3) spotted yellowish brown, silty fine to coarse SAND with much angular fine to coarse gravel sized concrete and moderately strong rock fragments. (FILL)	
							2		1.00				Brown (7.5YR 5/3) spotted orange and dark grey, silty fine to coarse SAND with much angular to subangular fine to coarse gravel sized brick, cement grout and occasional moderately strong rock fragments. (FILL)	
							3		1.50					
							4	2.98	2.00					
			60					T2101		2.70	[Pattern]		Greenish grey (GLE1 5/1) dappled yellowish brown and white, angular to subangular COBBLE with some fine to coarse gravel and occasional boulder sized quartz and strong to moderately strong granite and tuff fragments. (FILL)	
	PX 3.40 HX		57					T2101		3.40				From 2.70m to 3.03m : Boulder sized strong tuff fragments.
			57					T2101		4.00				From 3.90m to 4.00m : Silty fine to coarse sand with some angular fine to medium gravel sized quartz and rock fragments.
			55					5	0.98	4.00	[Pattern]		Yellowish brown (10YR 5/6) spotted white and green, silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments. (FILL)	
			55					6	-0.12	5.10				Olive brown (2.5YR 4/4), silty clayey fine to coarse SAND with much subangular to subrounded fine to coarse gravel sized quartz and strong tuff fragments. (FILL)
							16,23 19,15,18,14 N=66	8	-1.22	6.20	[Pattern]	V	Extremely weak, yellowish brown (10YR 5/4) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz fragments)	
								9		6.65				
								10			[Pattern]	V	Extremely weak, yellowish brown (10YR 5/5) mottled white and black, completely decomposed, fine to medium grained GRANITE with fractured quartz veins. (Silty fine to coarse SAND with some angular fine to coarse gravel sized quartz fragments)	
								11	-2.12	7.10				
		1.50m at 18:00						12	-3.22	8.20	[Pattern]	V	Extremely weak, yellowish brown (10YR 5/5) dappled white, completely decomposed, fine to medium grained GRANITE. (Firm, sandy silty CLAY with occasional angular fine gravel sized quartz fragments)	
18/02/2003 19/02/2003		2.40m at 08:00	53					13						
							0,8 12,14,21,27 N=74	14	-4.32	9.30	[Pattern]	V	Extremely weak, yellowish brown (10YR 5/4) spotted white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional angular fine gravel sized	
								15		9.75				
								16						

- SMALL DISTURBED SAMPLE
- ⬆️ LARGE DISTURBED SAMPLE
- ▬ SPT LINER SAMPLE
- ▨ U75 UNDISTURBED SAMPLE
- ▩ U100 UNDISTURBED SAMPLE
- ▧ MAZIER SAMPLE
- ▩ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- ⬆️ STANDPIPE
- ⬆️ STANDARD PENETRATION TEST
- ⬆️ PERMEABILITY TEST
- ⬆️ IMPRESSION PACKER TEST
- ∇ IN-SITU VANE SHEAR TEST
- ⬆️ PACKER TEST

LOGGED **K.M. To** *Zo*
 DATE **24/02/2003**
 CHECKED **James Lu** *JL*
 DATE **25/02/2003**

REMARKS
 1. Piezometer tip was installed at a depth of 29.40m with piezometer bucket (7 nos.) from the depth of 0.50m to 3.50m at 0.50m intervals.



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **2** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tsang Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 825568.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION Vertical	GROUND LEVEL 4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
	HX		90					17	-5.22	10.20		V	quartz fragments) Extremely weak, brown (10YR 4/3) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Firm, slightly sandy CLAY with much angular fine to coarse gravel sized quartz fragments)
			91	0	0	NI NA		18	-6.32	11.30		V/IV	Extremely weak to very weak, brown (10YR 5/3) dappled white, completely to highly decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some fine to medium gravel sized quartz and rock fragments)
			95					19	-7.62	12.00		V	From 11.30m to 11.50m : With much subangular fine to coarse gravel sized quartz fragments. Extremely weak, yellowish brown (10YR 5/8) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
			92				4.7 8.11,13,15 #47	20		13.10			
								21		13.55			
			92					22		14.00			
								23	-9.02	14.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
							20.23 25.27,34,142 #77mm (100bs/250mm)	24		15.10			
								25		15.50			
								26		16.00			
			92					27		16.00			
							20.21/75mm 47.53/45mm (100bs/120mm)	28	-12.12	17.10		V	Extremely weak to very weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional subangular fine gravel sized quartz fragments)
								29		17.37			
			95					31	-13.02	18.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
			95					32		19.10			
								33	-14.12	19.10		V	Extremely weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Slightly clayey, silty fine to coarse SAND with occasional fine gravel sized quartz and feldspar fragments)

- ◆ SMALL DISTURBED SAMPLE △ WATER SAMPLE
- ↑ LARGE DISTURBED SAMPLE ▲ PNEZOMETER TIP
- SPT LINER SAMPLE ▽ STANDPIPE
- ▨ U76 UNDISTURBED SAMPLE ⊕ STANDARD PENETRATION TEST
- ▩ U100 UNDISTURBED SAMPLE ⊖ PERMEABILITY TEST
- ▧ MAZIER SAMPLE ⊕ IMPRESSION PACKER TEST
- ▩ PISTON SAMPLE ∇ IN-SITU VANE SHEAR TEST
- ⊕ PACKER TEST

LOGGED **K.M. To** *[Signature]*
 DATE **24/02/2003**
 CHECKED **James Lu** *[Signature]*
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **4** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 825588.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION	Vertical
			GROUND LEVEL 4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
30	HX 30.30	1.90m at 18:00	88	0	0	NI		T2101	-25.07	30.05		V/IV	<p>Extremely weak to very weak, brown (10YR 4/3) dappled white and mottled yellowish brown, completely to highly decomposed, fine to medium grained GRANITE. (Sandy silty CLAY with some angular to subangular fine to coarse gravel sized moderately strong rock fragments). No core recovered, assumed to be completely to highly decomposed GRANITE.</p> <p>Moderately strong, yellowish brown spotted green and white, moderately decomposed, sheared, fine to medium grained GRANITE. Joints are very closely to closely spaced, rough planar, extremely narrow, iron and manganese oxide stained, soil (<1mm thick) infilled, dipping at 20° to 30° and 60° to 90°.</p> <p>From 30.50m to 30.60m: An 80° to 90° joint. From 30.84m to 30.95m: An 80° to 90° joint. From 30.95m to 31.20m: No core recovered, assumed to be completely to highly decomposed granite.</p> <p>Strong to moderately strong, greyish green dappled pink, slightly to moderately decomposed, slightly chloritized, fine to medium grained GRANITE. Joints are very closely spaced, smooth stepped and smooth undulating, extremely narrow, iron and manganese oxide stained, chlorite and calcite coated, dipping at 0° to 10°, 20° to 30° and 50° to 60°.</p> <p>From 32.00m to 32.15m: Moderately weak and moderately to highly decomposed and highly fractured. From 32.40m to 32.50m: Weak and highly decomposed. From 32.50m to 32.95m: Sheared and chloritized. From 32.73m to 32.85m: Moderately weak and moderately to highly decomposed.</p> <p>Strong, greyish pink dappled greyish green, spotted dark green and white, slightly sheared, locally chloritized, slightly decomposed, fine to medium grained GRANITE. Joints are closely to medium spaced, rough planar and rough undulating, locally slickensided undulating, extremely narrow to very narrow, chlorite and calcite coated, locally kaolin (<0.5mm thick) infilled, dipping at 10° to 20°, 20° to 30°, 40° to 50° and 60° to 70°.</p> <p>From 33.37m to 33.55m: With calcite infilled sheared fabric, dipping at 60° to 70°. From 33.37m to 33.85m: Chloritized and sheared. From 33.55m to 33.88m: With some calcite infilled fractures dipping at 60° to 70°. From 34.06m to 34.15m: Moderately weak and moderately to highly decomposed. From 34.06m to 34.50m: Sheared. From 34.25m to 34.34m: Moderately strong and</p>
31		2.90m at 08:00	72	11	11	NI		T2101	-25.32	30.30	+	V/IV	
			98	0	0	NI		T2101	-25.97	30.95	+	III	
			98	0	0	NI		T2101	-26.22	31.20	+	V/IV	
			97	14	0			T2101	-26.72	31.70	+	II	
			100	0	0			T2101		32.15	+	III	
						>20		T2101			+	II/IV	
			85	59	14	12.5		T2101	-28.39	33.37	+	II	
			94	75	36	6.2		T2101		34.10	+	III	
			100	100	94	3.8		T2101		34.74	+	II	
								T2101		36.15	+	III	
								T2101		37.49	+	II/IV	
			100	100	100	1.0		T2101		38.53	+	III	
								T2101			+	II	
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GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **5** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

E 826446.58

DATE FROM **18/02/2003** TO **22/02/2003**

N 825568.57

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
													<p>moderately decomposed. From 34.50m to 34.70m : A sandy clay (<5mm thick) infilled joint, dipping at 60° to 70°. From 34.74m to 34.81m : Moderately strong and moderately decomposed. From 36.40m to 36.53m : Coarse grained granite. From 36.66m to 36.93m : With some randomly orientated calcite filled microfractures. From 37.20m to 38.53m : Sheared and slightly chloritized. From 37.33m to 37.49m : Moderately weak and moderately to highly decomposed. From 37.49m to 37.71m : Moderately strong and moderately decomposed. From 38.10m to 38.31m : A sheared plane, dipping at 60° to 70°. Hole completed at 38.53m.</p>

- ▲ SMALL DISTURBED SAMPLE
- ▲ WATER SAMPLE
- ▲ LARGE DISTURBED SAMPLE
- ▲ PIEZOMETER TIP
- ▲ SPT LINER SAMPLE
- ▲ STANDPIPE
- ▲ U76 UNDISTURBED SAMPLE
- ▲ STANDARD PENETRATION TEST
- ▲ U100 UNDISTURBED SAMPLE
- ▲ PERMEABILITY TEST
- ▲ MAZIER SAMPLE
- ▲ IMPRESSION PACKER TEST
- ▲ PISTON SAMPLE
- ▲ IN-SITU VANE SHEAR TEST
- ▲ PACKER TEST

LOGGED K.M. To
 DATE 24/02/2003
 CHECKED James Lu
 DATE 25/02/2003

REMARKS

Appendix F

Records Retrieved from Lands Department (LandsD)



File ref. : GCMW 2/E1/6SE-D/FR57

To Chief Geotechnical Engineer (Slope Maintenance Section), Lands Department

GEO Checking Certificate for Slopes and Retaining Walls
(Ref. GEO/MW007/2013)

Agreement No. and Title : CE 31/2006 (GE), ENHANCED MAINTENANCE PROGRAMME
UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS -
INVESTIGATION, DESIGN AND CONSTRUCTION

Contract No. and Title : 10/LANDS/07, UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS

Appendix A : Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls (Submitted by the Project or Maintenance Department/Office or their Consultants) (Feature No. 6SE-D/FR57)

-
1. I confirm that the design/~~stability assessment~~* of the geotechnical features included in the Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls as given in Appendix A has been found to be satisfactory under the Geotechnical Engineering Office's checking requirements.

Signed : 
(P.L.R. PANG)

Deputy Head of Geotechnical Engineering Office/Mainland
Civil Engineering and Development Department

Date : 4. 2. 2013

* Delete whichever is not applicable.

File ref. : GCMW 2/E1/6SE-D/R158

To Chief Geotechnical Engineer (Slope Maintenance Section), Lands Department

GEO Checking Certificate for Slopes and Retaining Walls
(Ref. GEO/MW008/2013)

Agreement No. and Title : CE 31/2006 (GE), ENHANCED MAINTENANCE PROGRAMME
UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS -
INVESTIGATION, DESIGN AND CONSTRUCTION

Contract No. and Title : 10/LANDS/07, UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS

Appendix A : Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls (Submitted by the Project or Maintenance Department/Office or their Consultants) (Feature No. 6SE-D/R158)

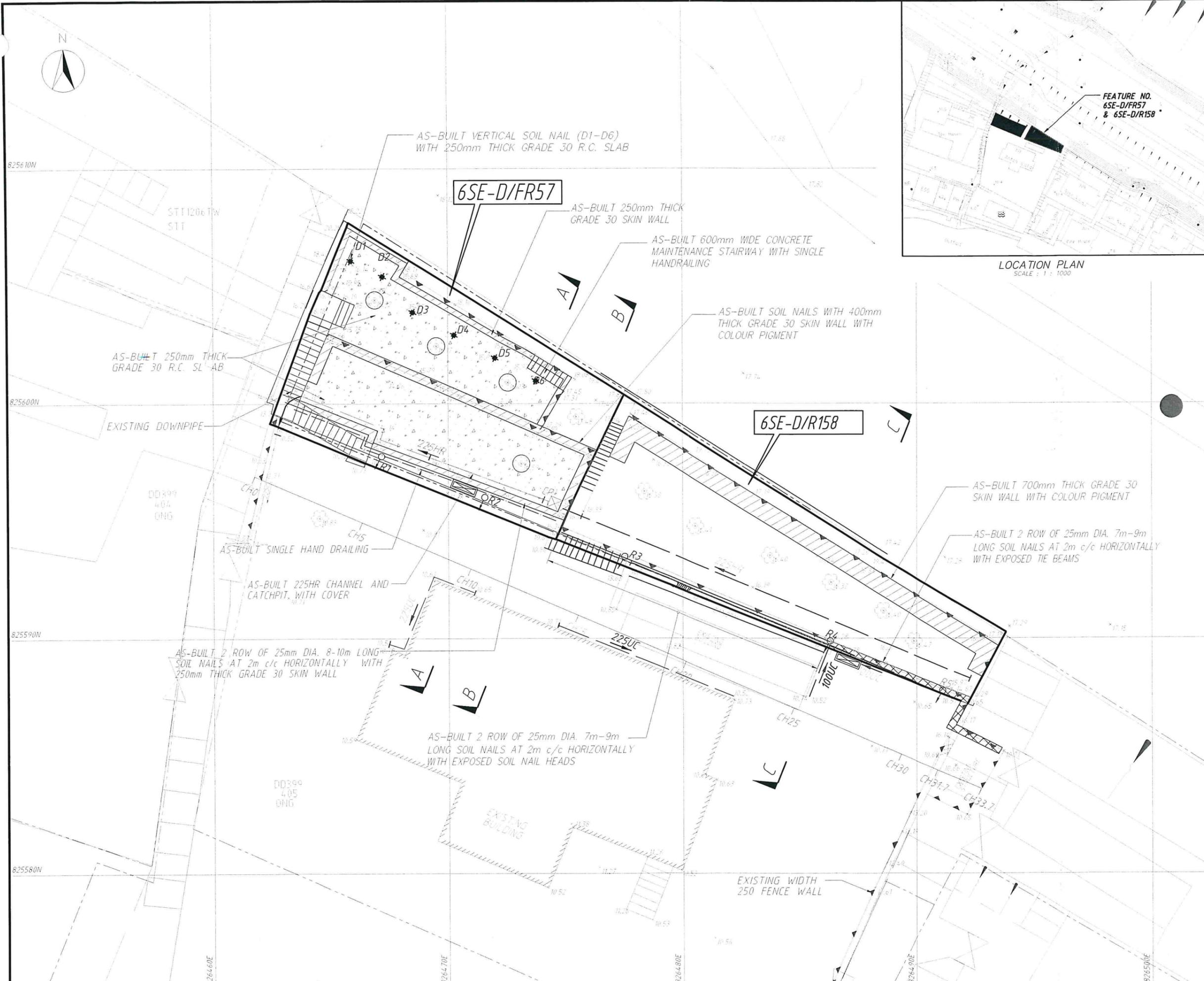
-
1. I confirm that the design/~~stability assessment~~* of the geotechnical features included in the Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls as given in Appendix A has been found to be satisfactory under the Geotechnical Engineering Office's checking requirements.

Signed : 
(P.L.R. PANG)

Deputy Head of Geotechnical Engineering Office/Mainland
Civil Engineering and Development Department

Date : 4.2.2013

* Delete whichever is not applicable.



NOTES:
 1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 3. ALL LEVELS ARE IN METRES ABOVE P.D.

- LEGEND:**
- ADOPTED FEATURE BOUNDARY
 - FEATURE BOUNDARY IN SIS
 - EXISTING CONTOUR LINE
 - EXISTING GROUND LEVEL
 - EXISTING SLOPE
 - AS-BUILT SOIL NAILS
 - CH0 CH1 CHAINAGE (m)
 - SECTION MARK A-A
 - AS-BUILT SKIN WALL
 - AS-BUILT 225mm U-CHANNEL
 - AS-BUILT 225mm HALF ROUND CHANNEL
 - EXISTING 225mm HALF ROUND CHANNEL
 - AS-BUILT 5m LONG TYPE 3 RAKING DRAIN
 - AS-BUILT TIE BEAMS
 - AS-BUILT SINGLE HANDRAILING
 - AS-BUILT 250mm THICK GRADE 30 R.C. SLAB WITH BRUSHED FINISH
 - AS-BUILT CATCHPIT WITH COVER
 - AS-BUILT SLOPE REGISTRATION SIGN PLATE

Attachment 3

No.	Date	Description	Name, Post, company
		AS-BUILT DRAWING	CLB (SAF'S)

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No. 10/LANDS/07

Drawing no.	Rev.	Scale
AS/414/01	0	1:150

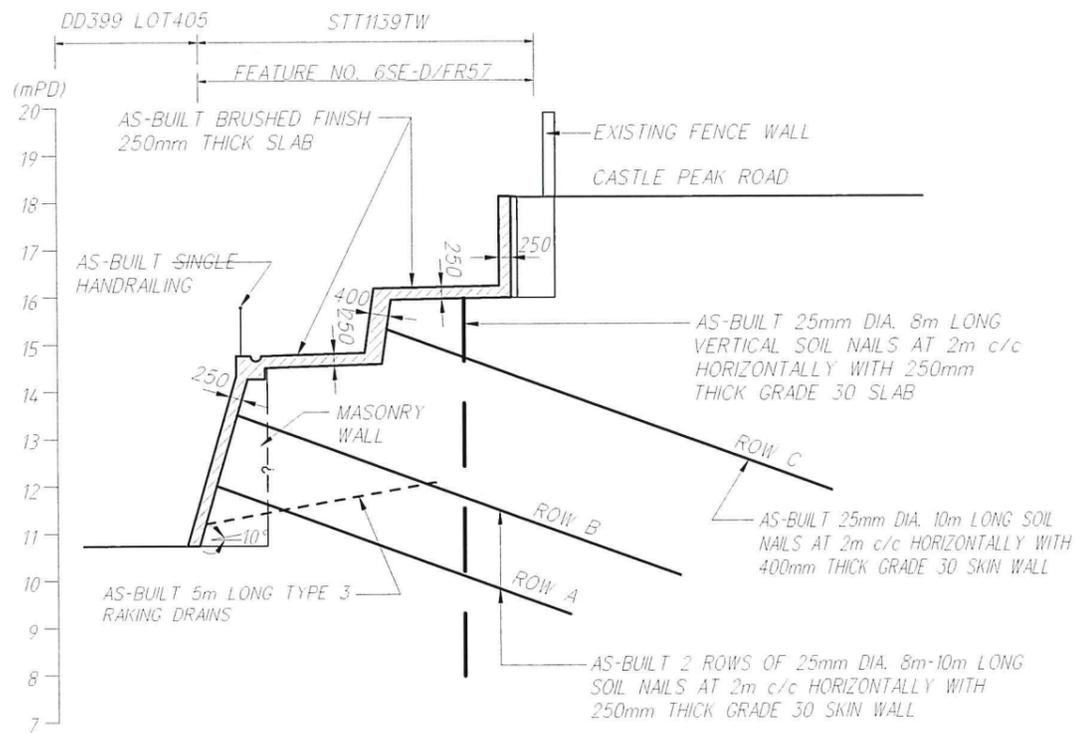
Drawing Title
 FEATURE NO. 6SE-D/FR57 & 6SE-D/R158
 TING KAU, NO. 311-313
 CASTLE PEAK ROAD
 PLAN OF WORKS (AS-BUILT)

Contractor
Fuk Shing Engineering Company Limited

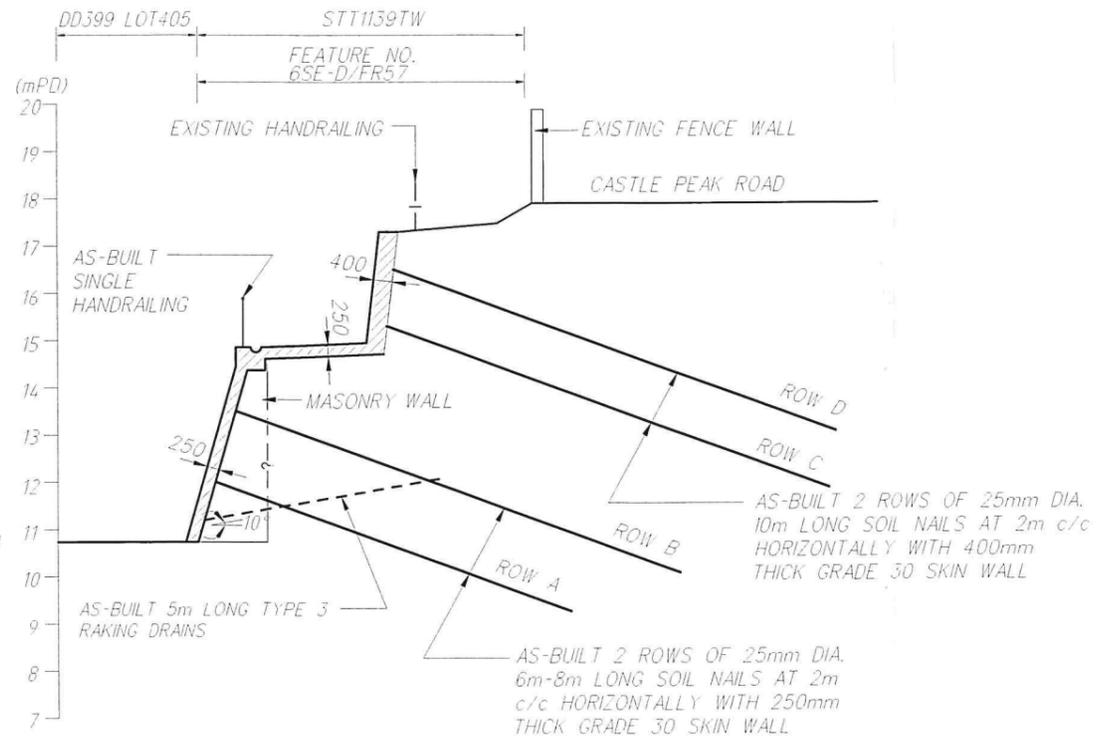
LANDS ADMINISTRATION OFFICE
 SLOPE MAINTENANCE SECTION



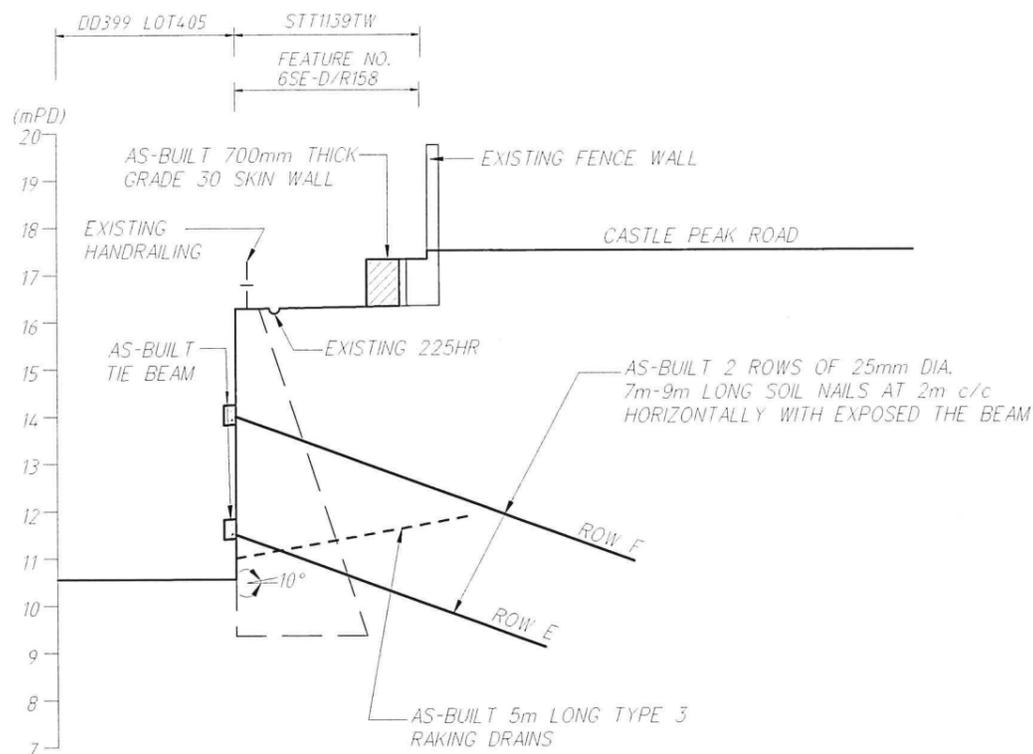
CAD File: Status:



SECTION A-A
SCALE 1:150



SECTION B-B
SCALE 1:150



SECTION C-C
SCALE 1:150

NOTES:

1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
3. ALL LEVELS ARE IN METRES ABOVE P.D.

No.	Date	AS-BUILT DRAWING Description	DLB (SA/FS) Name, Post, company

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.

10/LANDS/07

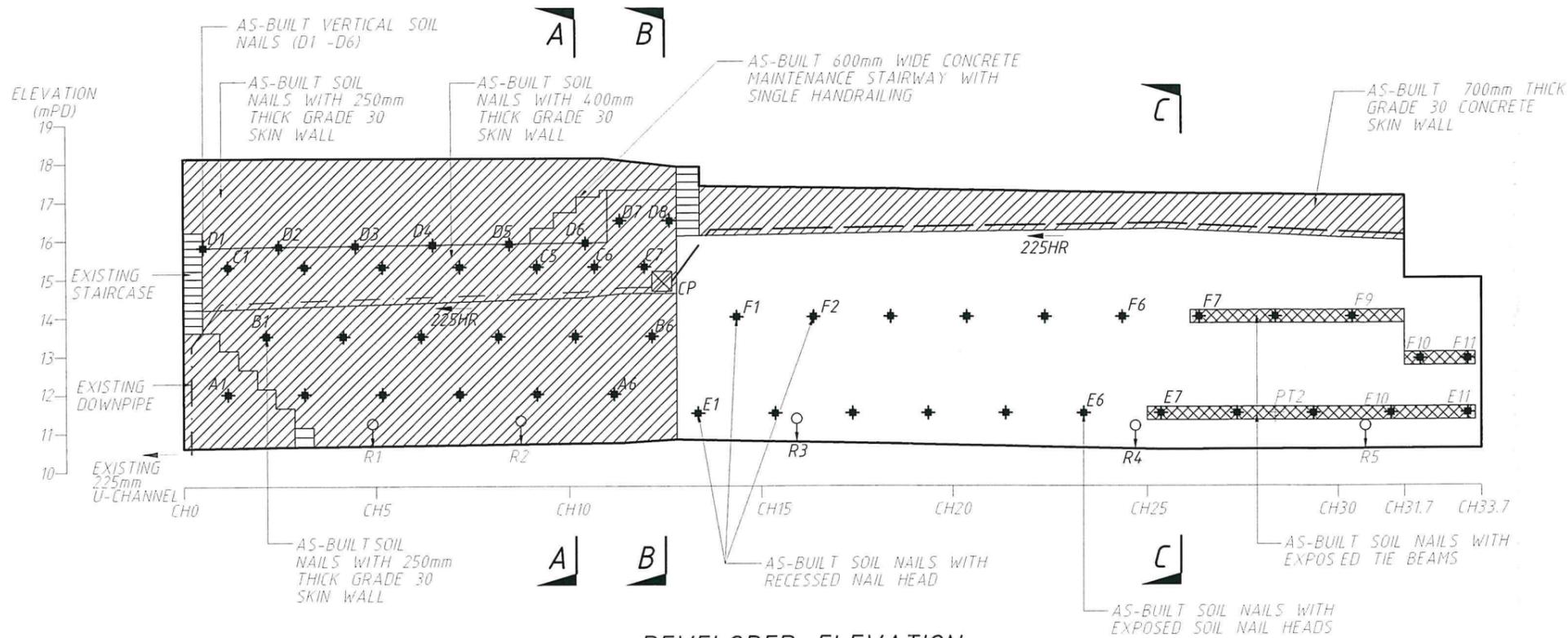
Drawing no.	Rev.	Scale
AS/414/02	0	1:150

Drawing Title
FEATURE NO.6SE-D/FR57 & 6SE-D/R158
TING KAU, NO.311-313
CASTLE PEAK ROAD
SECTIONS (AS-BUILT)

Contractor
Fuk Shing Engineering
Company Limited

LANDS ADMINISTRATION OFFICE
SLOPE MAINTENANCE SECTION





DEVELOPED ELEVATION

SCALE 1:150

NOTES:

- THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS ARE IN METRES ABOVE P.D.

LEGEND:

- FEATURE BOUNDARY
- + + AS-BUILT SOIL NAILS
- AA SECTION MARK A-A
- CH0 CH1 CHAINAGE (m)
- EXISTING 225mm HALF ROUND CHANNEL
- 225HR AS-BUILT 225mm HALF ROUND CHANNEL
- EXISTING SLOPE
- AS-BUILT GRADE 30 SKIN WALL WITH COLOUR PIGMENT
- AS-BUILT BEAM GRADE 30 TIE BEAM
- R1 AS-BUILT 5m LONG TYPE 3 RAKING DRAIN
- CP AS-BUILT CATCHPIT WITH COVER

AS-BUILT SOIL NAIL SCHEDULE

SOIL NAIL NOS.	ELEVATION (mPD)	NO. OF NAILS	HORIZONTAL SPACING (m)	INCLINATION TO HORIZONTAL (DEG)	BAR DIAMETER (mm)	LENGTH (m)	DRILLHOLE DIAMETER (mm)	MIN. BOND LENGTH IN ROCK (m)	SOIL NAIL HEAD (mmxmmxmm)(LENGTHxWIDTH xTHICKNESS)	CASING (m)
A1-A6	+12.0	6	2	20	25	8	100	2	-	4
B1-B6	+13.5	6	2	20	25	10	100	2	-	5
C1-C5	+15.3	5	2	20	25	10	100	2	-	-
C6-C7	+15.3	2	1.3	20	25	10	100	2	-	-
D1-D6	+15.93	6	2	90	25	8	100	2	-	-
D7-D8	+16.5	2	1.3	20	25	10	100	2	-	-
E1-E6	+11.5	6	2	20	25	7	100	2	500x500x250 +	4
E7-E11	+11.5	5	2	20	25	7	100	2	-	5
F1-E6	+14.0	6	2	20	25	9	100	2	500x500x250 +	5
F7-F9	+14.0	3	2	20	25	9	100	2	-	5
F10-F11	+13.0	2	2	20	25	9	100	2	-	5

+ SEE STANDARD DRAWING C2522 (SOIL NAIL HEAD ON CONCRETE WALL SURFACE)

No	Date	Description	AS-BUILT DRAWING	DLB (SAFS)

Contract No.

10/LANDS/07

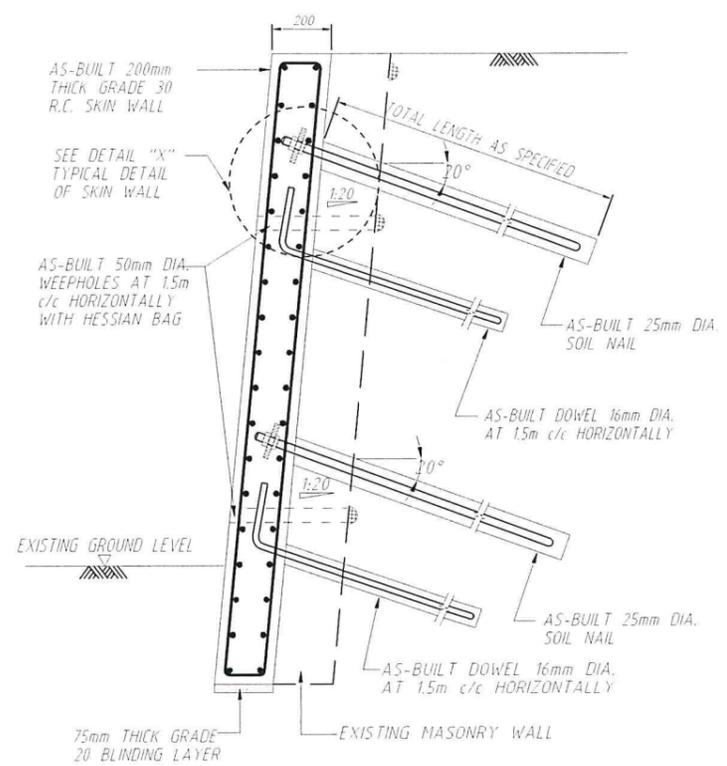
Drawing no.	Rev.	Scale
AS/414/03	0	1:150

Drawing Title
**FEATURE NO.6SE-D/FR57 & 6SE-D/R158
 TING KAU, NO.311-313
 CASTLE PEAK ROAD
 DEVELOPED ELEVATION (AS-BUILT)**

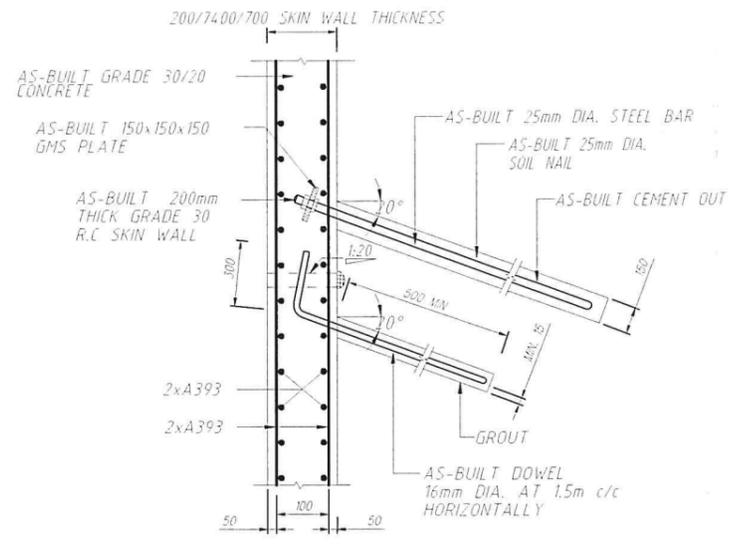
Contractor
**Fuk Shing Engineering
 Company Limited**

**LANDS ADMINISTRATION OFFICE
 SLOPE MAINTENANCE SECTION**

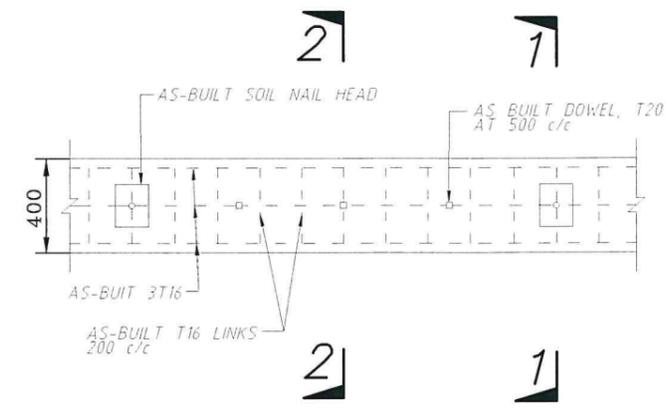




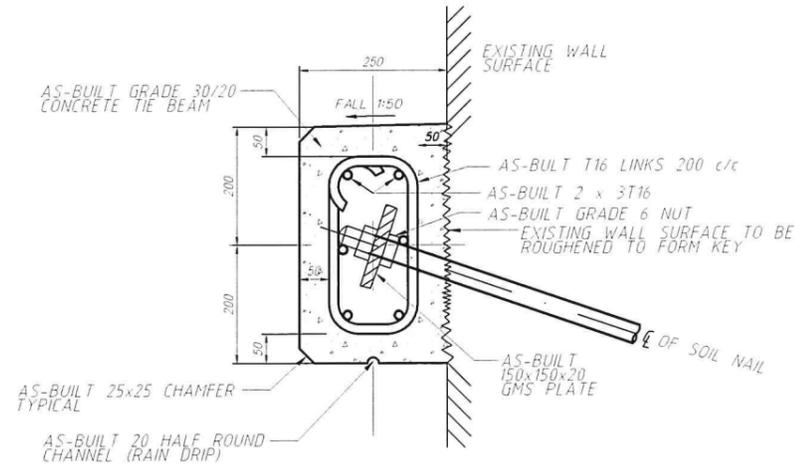
TYPICAL SECTION OF SKIN WALL
N.T.S.



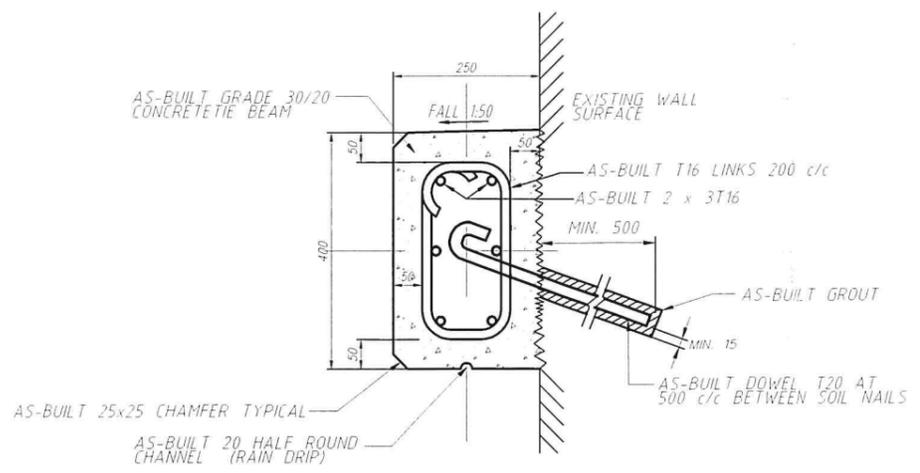
DETAIL "X"
N.T.S.



ELEVATION OF TIE BEAM
N.T.S.



SECTION 1-1
N.T.S.



SECTION 2-2
N.T.S.

- NOTES:**
1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
 2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 3. ALL LEVELS ARE IN METRES ABOVE P.D.
 4. ALL SOIL NAILS WITH DOUBLE CORROSION PROTECTION.

No	Date	Description	DLB (SA,FS)	Name, Post, company

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.
10/LANDS/07

Drawing no.	Rev.	Scale
AS/414/04	0	1:150

Drawing Title
**FEATURE NO.6SE-D/FR57 & 6SE-D/R158
TING KAU, NO.311-313
CASTLE PEAK ROAD
SKIN WALL & TIE BEAM DETAIL (AS-BUILT)**

Contractor
Fuk Shing Engineering Company Limited

**LANDS ADMINISTRATION OFFICE
SLOPE MAINTENANCE SECTION**

**地政總署
Lands Department**

AECOM

Our Ref.: TW/TPN/2608BA/L09

16 January 2026

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

By Email and By Hand

Dear Sir/Madam,

**Planning Application for
Proposed Minor Relaxation of Plot Ratio Restriction
for a Permitted House Development
No. 313 Castle Peak Road – Ting Kau, New Territories
(Lot No. 405 in DD 399)
(Planning Application No. A/TWW134)**

We refer to the captioned case and the Slope Maintenance Section of Lands Department's comments received on 12 January 2026.

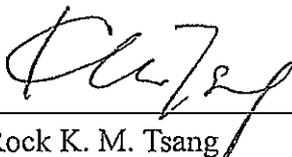
We attach herewith the Responses to Comments together with revised Geotechnical Planning Review Report (3 hard copies) for your consideration.

Should you have any queries, please feel free to contact our Ms. Cherin Ng or the undersigned at [REDACTED].

Yours faithfully,

For and on behalf of

LANBASE SURVEYORS LIMITED



Rock K. M. Tsang

Director

RK/CN

Encl.

c.c. Client

DPO/ Tsuen Wan and West Kowloon (Attn: Ms. Jacqueline Chan)



ISO 9001 : 2015
Certificate No.: CC 1687
(Valuation & Land Administration)

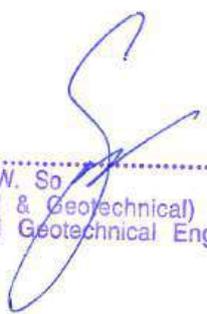


ISO 9001 : 2015
Certificate No.: CC 1687
(Valuation & Land Administration)

Comments from the Chief Geotechnical Engineer/Slope Maintenance, Lands Department:

Comments		Our response
i.	<p><u>Section 2</u></p> <p>The sub-dividing information and the maintenance responsibility information for feature nos. 6SE-D/FR57, 6SE-D/R158 and 6SE-D/R114 is different from that given in the Slope Maintenance Responsibility Information System managed by the Lands Department</p>	Section 2 of the GPRR has revised, highlighted in yellow color for your easy reference.
ii.	<p><u>Section 4.1 & 4.2</u></p> <p>Studies/upgrading works had been carried out for feature nos. 6SE-D/FR57 and 6SE-D/R158. Relevant information should be retrieved and presented;</p>	<p>Section 4.1 and 4.2 of the GPRR has revised, highlighted in yellow color for your easy reference.</p> <p>The GEO Checking Certificates and as-built drawings for feature nos. 6SE-D/FR57 and 6SE-D/R158 are retrieved and attached in a new Appendix F of the GPRR.</p>
iii.	<p><u>Appendix A (particularly cross section A & B and topographic survey plan) and the applicant's response-to-comment addressing comment no. 2 of DPO/TWK's comment given on 15.9.2025</u></p> <p>The applicant proposed to raise up by filling the existing lawn level to +12mPD from the existing ground level (varying from +10.4mPD to +10.8mPD as per the topographic survey). The retaining wall portion of slope features nos. 6SE-D/FR57 and 6SE-D/R158 appears to abut on D.D. 399 Lot 405. If the level of the whole existing lawn area is to be raised, part of the retaining wall of the abovesaid two features would be buried. As such, the applicant has to make clarification on the extents of the existing lawn area level to be raised/modified</p>	<p>The ground floor plan and Section A in Appendix A have revised (Refer to pdf page 21 and 23 of full report respectively).</p> <p>The ground level adjoining to the feature 6SE-D/FR57 and 6SE-D/R158 will keep the same as existing. A new retaining wall, set back from these features, will be proposed to provide a proper maintenance access for these features.</p>
iv.	<p><u>Appendix A (particularly cross section A and topographic survey plan)</u></p> <p>The applicant proposed to construct a bridge access (cantilever platform) at +17.205mPD connecting the proposed development with Castle Peak Road, probably via slope feature no. 6SE-D/R158. The applicant should note that the bridge access would limit the headroom and impose constraints in future maintenance of 6SE-D/R158.</p>	Noted.

**Geotechnical Planning Review Report
for
The Proposed Development at
Lot 405 in D.D. 399,
No. 313 Castle Peak Road,
Ting Kau, N.T.**



Phillip C. W. So
RPE (Civil & Geotechnical)
Registered Geotechnical Engineer

November 2025

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Figure 3	Registered Man-made Features
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Appendix A Proposed Development Plan

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Appendix D SIS Records Retrieved from CEDD

Appendix E Extraction of Previous GI Records

Appendix F Records Retrieved from Lands Department (LandsD)

1. INTRODUCTION

JMK Consulting Engineers Limited was appointed to carry out a Geotechnical Planning Review for the premises at Lot No. 405 in D.D. 399, No. 313 Castle Peak Road at Ting Kau.

This Geotechnical Planning Review Report (GPPR) is made based on desk study and review of available documentary information and proposed development plan (see Appendix A). The geology and site conditions are described. Potential geotechnical constraints are identified in the assessment.

2. THE SITE AND THE FEATURES

The site is located at No. 313 Castle Peak Road, Ting Kau. Site photos taken in October 2025 are presented in Appendix B (see Photos A to I). The site location plan and the aerial view of the proposed development site are presented in Figures 1 and 2, respectively.

According to the available SIMAR reports retrieved from Lands Department and SIS records obtained from Geotechnical Engineering Office (GEO), there are 7 nos. of registered geotechnical features lies within or in the vicinity of the site (see Figure 3). The features and the responsible lots/parties are tabulated below:

Feature No.	Sub-division No.	Responsible Lots/Parties
6SE-D/FR57	Not Applicable	Lands Department
	Not Applicable	STT1139TW
6SE-D/R158	1	STT 1139TW
	1	Lands Department
	2	DD399 LOT 405
	3	Lands Department
6SE-D/R114	1	STT1139TW
	1	Lands Department
	2	Lands Department
6SE-D/R113	1	DD399 Lot404
6SE-D/R115	1	DD399 LOT447
	2	DD399 LOT401
6SE-D/R215	1	STT1206TW
6SE-D/FR203	1	Highways Department

A copy of the SIMAR reports and slope records are enclosed in Appendix C and D, respectively. The location of the said features is also presented in Figure 3.

3. DESK STUDY

Desk study has been carried out to search and review the existing building records, previous ground investigation data and geotechnical study reports kept by the Geotechnical Information Unit (GIU) of Geotechnical Engineering Office (GEO). All the information in the desk study were obtained from the available data retrieved from the Civil Engineering and Development Department (CEDD) Geotechnical Information Infrastructure System (Ginfo) website [and Access to Information from Lands Department \(LandsD\)](#).

3.1 Geological Maps

The geology of the Site is shown on the Hong Kong Geological Survey (HKGS) Map Sheet 6 (Yuen Long), 1:20,000-scale, Edition II, HGM20 series. The local geology of the Site is presented in Figure 4 and described below.

3.1.1 Solid Geology

The 1:20,000 scale geological maps indicated that regional area around the Site is underlain by lapilli lithic-bearing coarse ash crystal Tuff (Jty_cat) of the Yim Tin Tsai Formation.

3.1.2 Superficial Geology

Pleistocene to Holocene colluvium (Qd), Holocene beach deposits (Qhb) and marine sand (Qhs) of the Hang Hau Formation are recorded at about 30m to the southwest of the Site.

3.1.3 Structural Geology

No fault or photolineament has been recorded within or in the vicinity of the Site.

3.2 Enhanced Natural Terrain Landslide Inventory

In 1995, the GEO compiled the Natural Terrain Landslide Inventory (NTLI) from an interpretation of high-altitude (8,000ft and above) aerial photographs dated from 1945 to 1994 (King, 1999). In 2007, the GEO produced an Enhanced Natural Terrain Landslide Inventory (ENTLI) using low-altitude (8,000ft and below) aerial photographs to update the NTLI.

In accordance with GEO Report No. 138 (GEO, 2016), landslides are classed as either “Relict” or “Recent”, depending on their appearance in aerial photographs. “Relict” landslides are defined as those where the main scarp is well-defined but vegetation has re-established on the scar on the earliest set of available aerial photographs. “Recent” landslides are defined as having occurred within the timespan of the aerial photograph coverage. These are typically identified as having a light tone on the aerial photographs and are bare of vegetation.

No ENTLI has been recorded within and in the vicinity of the Site.

3.3 Historical Landslide Catchment (HLC) Inventory

Historical Landslide Catchments (HLCs) have been defined by GEO based on the results of the ENTLI. Thus, no HLC has been recorded within and in the vicinity of the Site.

3.4 Reported Landslide Incidents

According to the GEO landslide incident records database, no landslide incident has been recorded within and in the vicinity of the Site.

3.5 Relevant Previous Ground Investigation Works

No previous ground investigation has been taken place within the Site. The previous ground investigation report adjacent to the Site has been retrieved and summarized below:

GIU Report No.	GI Station Nos:	Report Title	GI Stations related to Feature No.	Remarks
37207	DH3	Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation	-	-
412272	BH1, TP1, TP2, TP3, TP4, IC1, IC2, HC1, HC2	Feature No. 6SE-D/FR203, Rose Villa, 309 Castle Peak Road, Ting Kau, N.T.	6SE-D/FR203	-
R56707	-	Agreement No. CE 31/2006 (GE) Feature Nos. 6SE-D/FR57 & 6SE-D/R158 No. 311-313, Castle Peak Road, Ting Kau Upgrading Works (Conventional Design Approach) Design Report (Final)	6SE-D/FR57 & 6SE-D/R158	GI logs or GI locations are not available on Ginfo

The details of previous ground investigation logs are presented in Appendix E and the locations of the previous GI is shown in Figure 5.

3.6 DH Orders

According to Ginfo, no DH Orders have been issued to the features within and in the vicinity of the Site.

3.7 Stage 2 Studies

The Stage 2 Studies carried out for the features within and in the vicinity of the Site are summarized below:

Stage Report No.	Feature No.	Completed in	Report Recommendation
S2R18/2008	6SE-D/FR57	Sep 2008	No action required
S2R18/2008	6SE-D/R158	September 2008	No action required
S2R261/2000	6SE-D/R113	November 2000	Advisory Letter
S2R209/2005	6SE-D/R115	March 2006	No action required for Sub- division No. 1; DH order for Sub-division No. 2;
S2R024/2022	6SE-D/R215	February 2022	Advisory Letter

3.8 Stage 3 Studies

The Stage 3 Studies carried out for the features in the vicinity of the Site are summarized below:

Stage Report No.	Feature No.	Completed in	Report Recommendation
S3R103/2014	6SE-D/R215	November 2014	Construction of mass concrete wall, installation of soil nails and construction of pile wall (Works suspended)

4. IMPACTS OF PROPOSED WORKS ON EXISTING SLOPES/RETAINING WALLS

4.1 Feature No. 6SE-D/FR57

Feature no. 6SE-D/FR57 is located at northern end of the Site adjoining to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the feature is about 13m long and 3.3m high with slope gradient of 45° to the horizontal, the wall portion is about 13m long and 4.3m high with slope gradient of 75° to the horizontal. Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in September 2008. The study concluded that no action is required for this feature.

The feature was modified/upgraded to current standard. The upgrading works completed on 2010 and subsequently checked by GEO (Checking Certificate No.GEO/MW 007/2013, Appendix F refers). The as-built drawings are attached in Appendix F. The proposed new works will not modify the existing feature.

4.2 Feature No. 6SE-D/R158

Feature no. 6SE-D/R158 is located at northern end of the Site adjoining to the Site boundary at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 18.7m long and 7m high with slope gradient about 90° to the horizontal. Local stability check of the feature was carried out in Stage 2 Study Report (S2R18/2008) prepared by Maunsell Geotechnical Services Limited in May 2008. The study concluded that no action is required for this feature.

The feature was modified/upgraded to current standard. The upgrading works completed on 2010 and subsequently checked by GEO (Checking Certificate No.GEO/MW 008/2013, Appendix F refers). The as-built drawings are attached in Appendix F. The proposed new works will not modify the existing feature.

4.3 Feature No. 6SE-D/R114

Feature no. 6SE-D/R114 is located at about 2m to the southern end of the Site at house no. 313 Castle Peak Road. According to the SIS record, the wall is about 43m long and 4m high with slope gradient about 87° to the horizontal. The modified/upgrade works of the feature are in progress and will be completed up to current standard. The proposed new works will not modify the existing feature.

4.4 Feature No. 6SE-D/R113

Feature no. 6SE-D/R113 is located at about 2m to the west of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 42m long and 4m high with slope gradient about 80° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R261/2000) prepared by C M Wong & Associates Limited in November 2000. The study recommended issue of type 3 advisory letter to the owners of Lot DD399 Lot 404. The proposed new works will not modify the existing feature.

4.5 Feature No. 6SE-D/R115

Feature no. 6SE-D/R115 is located at about 2m to the southeast of the Site at house no. 311 Castle Peak Road. According to the SIS record, the wall is about 19m long and 4.1m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 2 Study Report (S2R209/2005) prepared by Scott Wilson Limited in March 2006. The study concluded that no action is required for sub-division no. 1, while a DH order is recommended for the sub-division no. 2 of this feature. Slope remedial works for sub-division no. 2 were completed and up to current standard in January 2012. The proposed new works will not modify the existing feature.

4.6 Feature No. 6SE-D/R215

Feature no. 6SE-D/R215 is located at about 3m to the northwest of the Site at house no. 315 Castle Peak Road. According to the SIS record, the wall is about 30m long and 8.2m high with slope gradient about 90° to the horizontal.

Local stability check of the feature was carried out in Stage 3 Study Report (S3R103/2014) prepared by Fugro (Hong Kong) Limited in November 2014. It was recommended that construction of mass concrete wall, installation of soil nails and construction of pile wall for the upgrading works, however, the works were suspended as the MR was changed from HyD to private. Local stability check of the feature was then carried out in Stage 2 Study Report (S2R024/2022) prepared by C M Wong & Associates Limited in February 2022. The study recommended issue of an advisory letter to the tenant. The proposed new works will not modify the existing feature.

4.7 Feature No. 6SE-D/FR203

Feature no. 6SE-D/FR 203 is located at about 2m to the east of the Site at house no. 309 Castle Peak Road. According to the SIS record, the feature is about 23m long and 1.8m high with slope gradient of 35° to the horizontal, the wall portion is about 23m long and 4m high with slope gradient of 78° to the horizontal. Feature was modified/upgraded to current standard with Checking Certificate No.GEO/MW 008/2007. The proposed new works will not modify the existing feature.

4.8 Impacts from the Proposed Works to the Registered Slope Features

As the aforementioned features have stood from some time without evidence of major distress or instability, it is expected that these features will continue under the present condition. Moreover, there is no intention to modify or reconstruct the registered slope features during the proposed foundation (raft footing) or construction works. However, in view of these features are close (within 10m) to the Site boundary, the stabilities of these features have to be checked with respect to the proposed development and based on the subsurface conditions, ground water conditions and shear strength parameters of soil/rock obtained from a site specific ground investigation. **The design and construction of the proposed development shall be comprehensively planned and designed to ensure no adverse effects on all adjacent features.** If found necessary, appropriate improvement/upgrading works, including slope re-profiling, installation of soil nails, and provision of raking drains will be carried out to bring up the sub-standard portion of the feature to meet the current geotechnical standard.

5. CONCLUSION

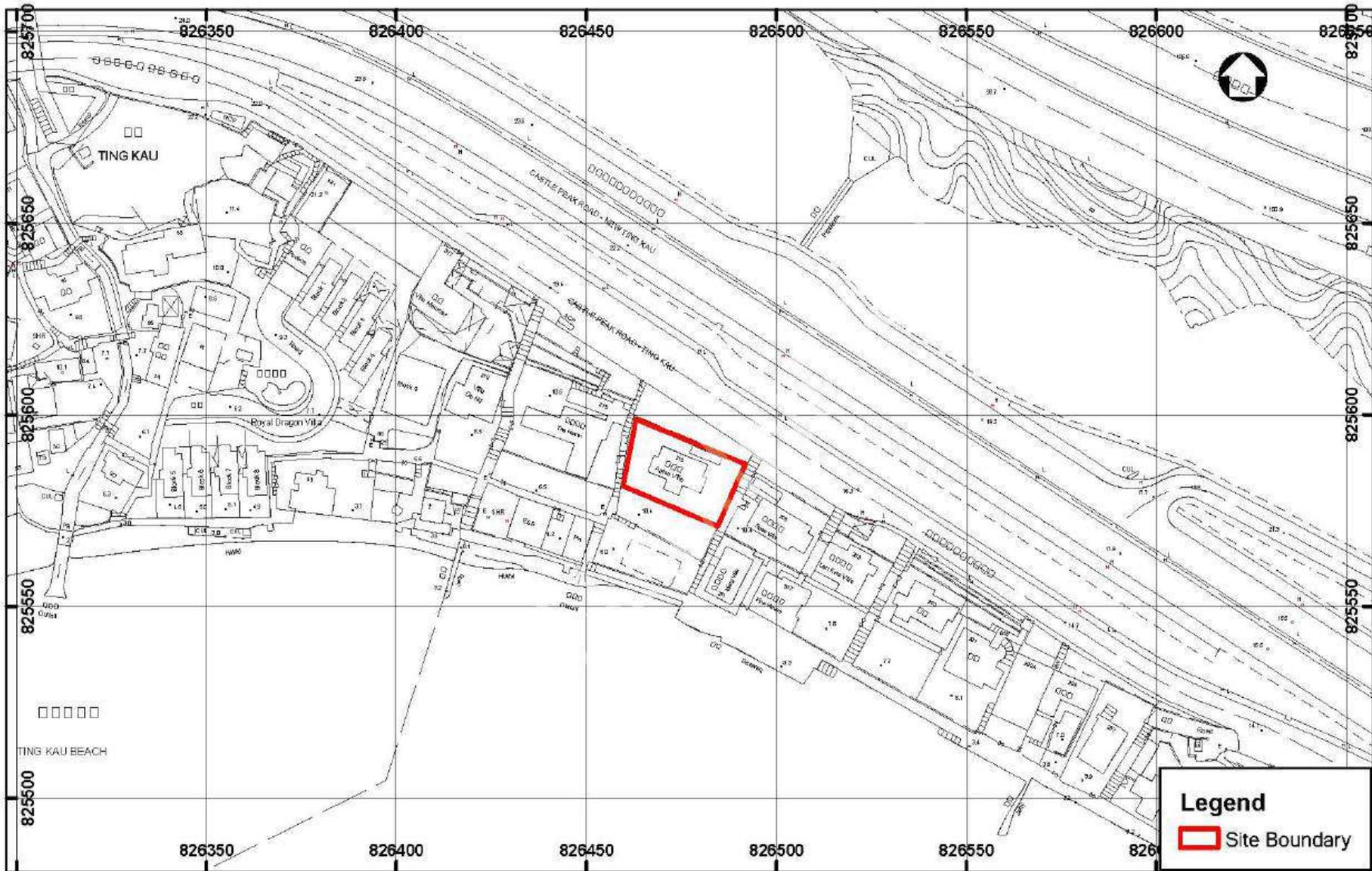
Based on the above discussion, it can be concluded that the proposed development is considered to be feasible from geotechnical point of view. The construction would be straight forward unlikely posting particular problems to the surrounding area under careful planning, proper execution and vigilant supervision.

It is essential to search and review the background information of existing building, geotechnical features and underground services within and in the vicinity of the site. Site investigation is proposed to reveal/confirm the subsoils and the ground regime within and in the vicinity of the site as well as to determine the engineering properties of subsoils and rock. The ground investigation field works should be preceded under supervision of suitably qualified engineers and technically competent persons conforming the requirements specified in the "Code of Practice for Site Supervision 2009" published by the BD.

For safety and cost effective, the foundation design and retaining wall stability assessment and excavation planning should be based on geological horizons inferred from the ground investigation results, groundwater table interpreted from the piezometer/standpipe monitoring records and geotechnical parameters determined and adopted by field and laboratory testing.

A comprehensive precautionary monitoring program including settlement markers, tiling, vibration check points as well as groundwater observation wells shall be implemented to ensure demolition of foundation of existing buildings and substructure construction being carried out safety and soundly.

FIGURES



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Proposed Site

SCALE:
1 : 1500

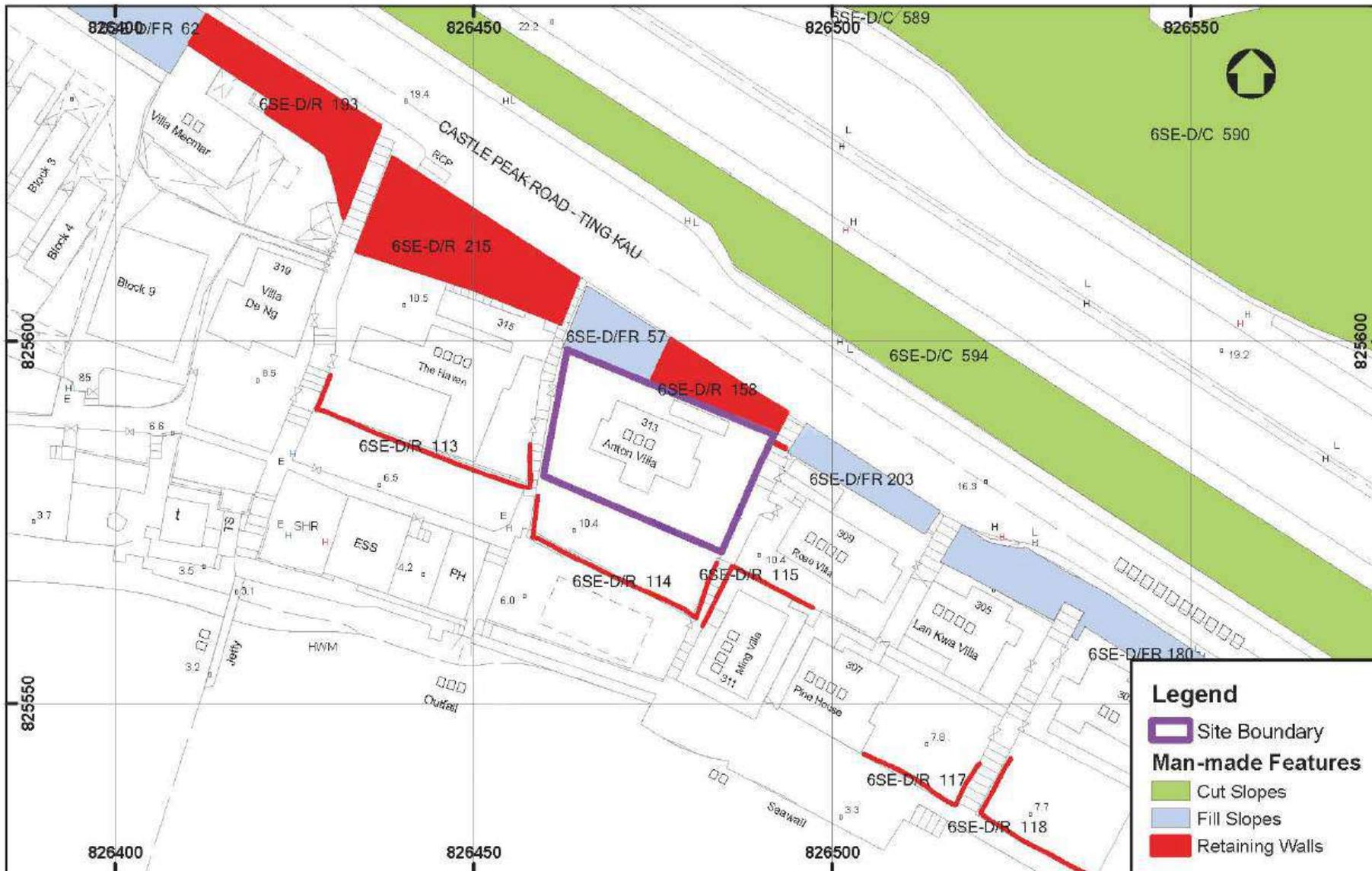
JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 1



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Aerial View of the Proposed Development Site	SCALE: 1 : 1500	JMK Consulting Engineers Ltd.	FIGURE NO : FIGURE 2
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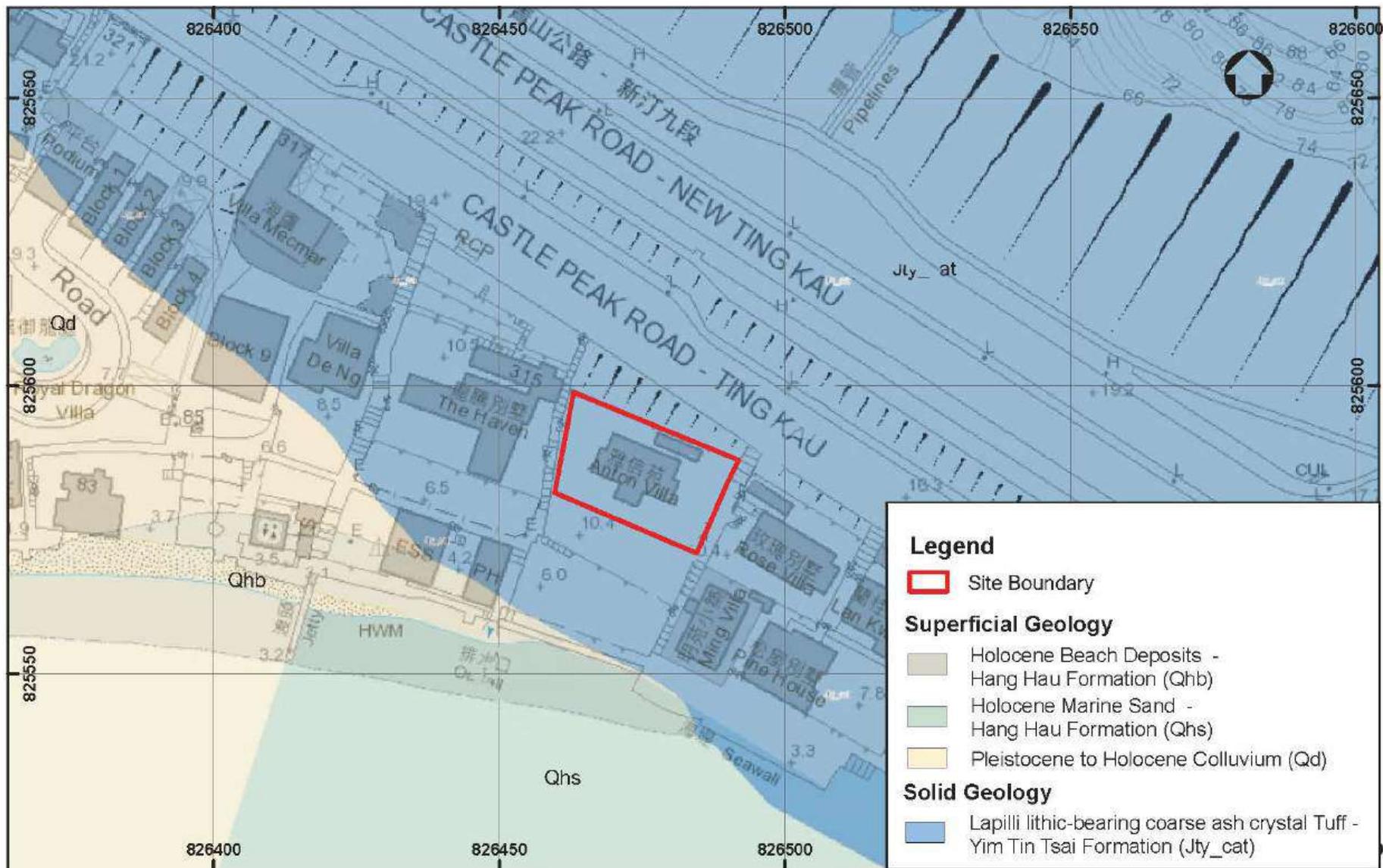
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Registered Man-made Features

SCALE:
1 : 800

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 3



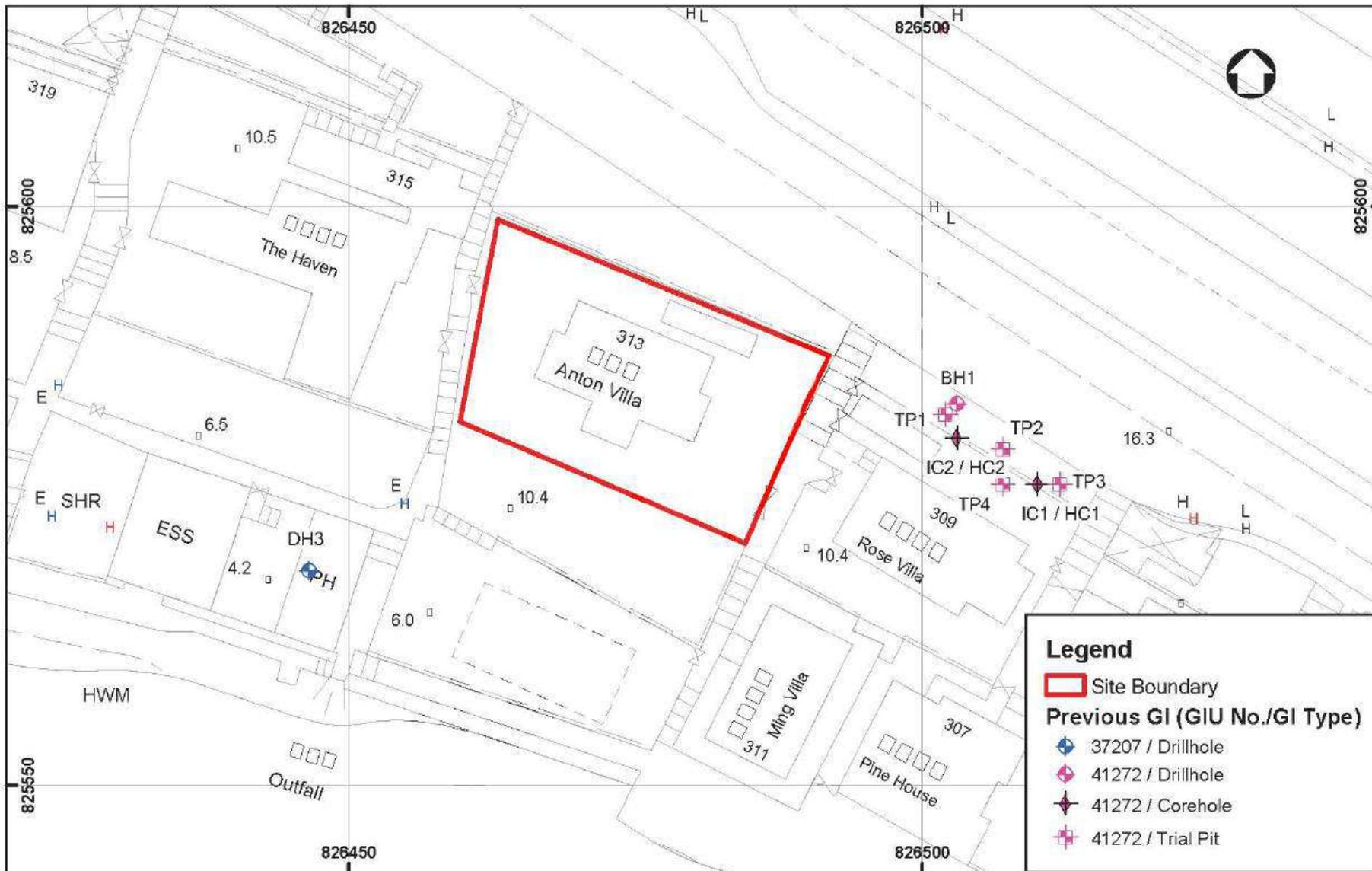
PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Geological Map

SCALE:
1 : 1000

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 4



PROJECT: Proposed Development at Lot 405 in D.D. 399, No. 313 Castle Peak Road, Ting Kau, N. T.

TITLE: Location Plan of the Previous GI

SCALE:
1 : 500

JMK Consulting Engineers Ltd.

FIGURE NO :
FIGURE 5

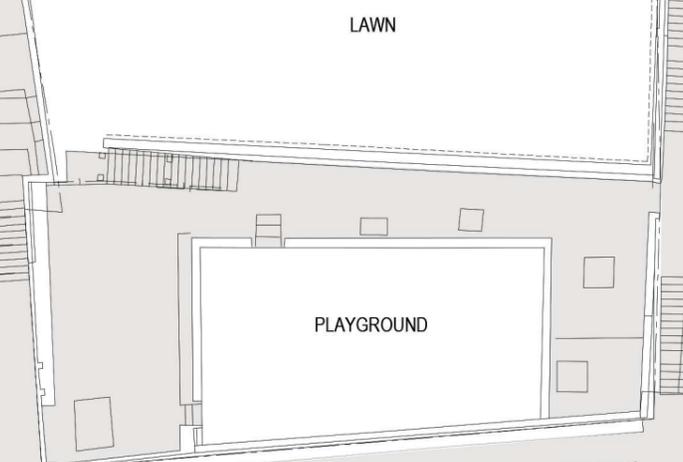
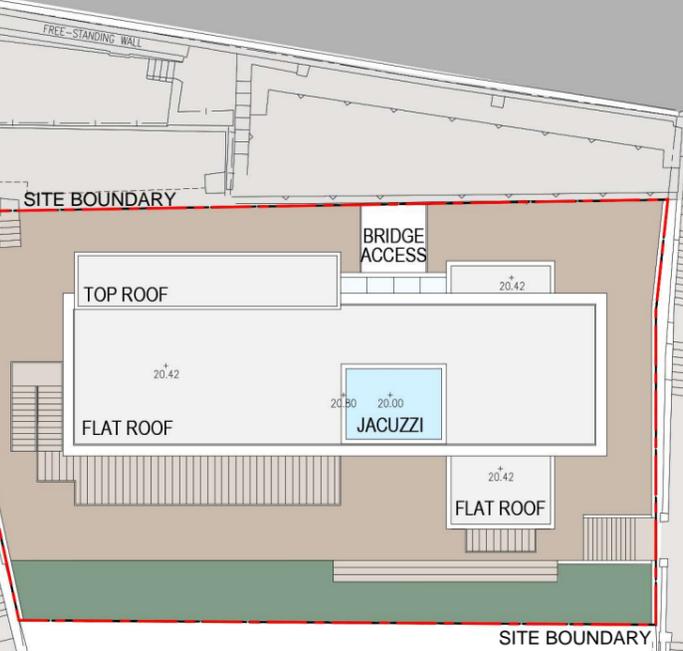
APPENDIX

Appendix A

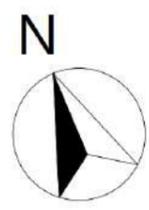
Proposed Development Plan

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU



- LEGENDS:
- SITE BOUNDARY
 - JACUZZI
 - GLASS CEILING
 - CONCRETE ROOF
 - LANDSCAPE
 - TIMBER DECK
 - GARDEN
 - SURROUNDING PAVEMENTS
 - SURROUNDING BUILDINGS
 - SURROUNDING LANDS
 - MAIN ROAD



SITE PLAN
1:300

CASTLE PEAK ROAD - NEW TING KAU

CASTLE PEAK ROAD - TING KAU

KEEP EXISTING FEATURE CONDITION

NEW CANTILEVER PLATFORM TO CONNECT CASTLE PEAK ROAD

KEEP EXISTING LAWN SO THAT NO ADVERSE EFFECT TO EXISTING FEATURE

SITE BOUNDARY

SITE BOUNDARY

TOP ROOF 23.42

20.42

FLAT ROOF

20.42

20.30

20.00

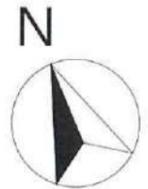
JACUZZI

20.42

FLAT ROOF

LAWN

PLAYGROUND



SITE PLAN
1:300

LEGENDS:

 SITE BOUNDARY

KEEP EXISTING LEVEL
FOR MAINTENANCE
ACCESS OF FEATURE
6SE-D/FR57

KEEP EXISTING LEVEL
FOR MAINTENANCE
ACCESS OF FEATURE
6SE-D/R158

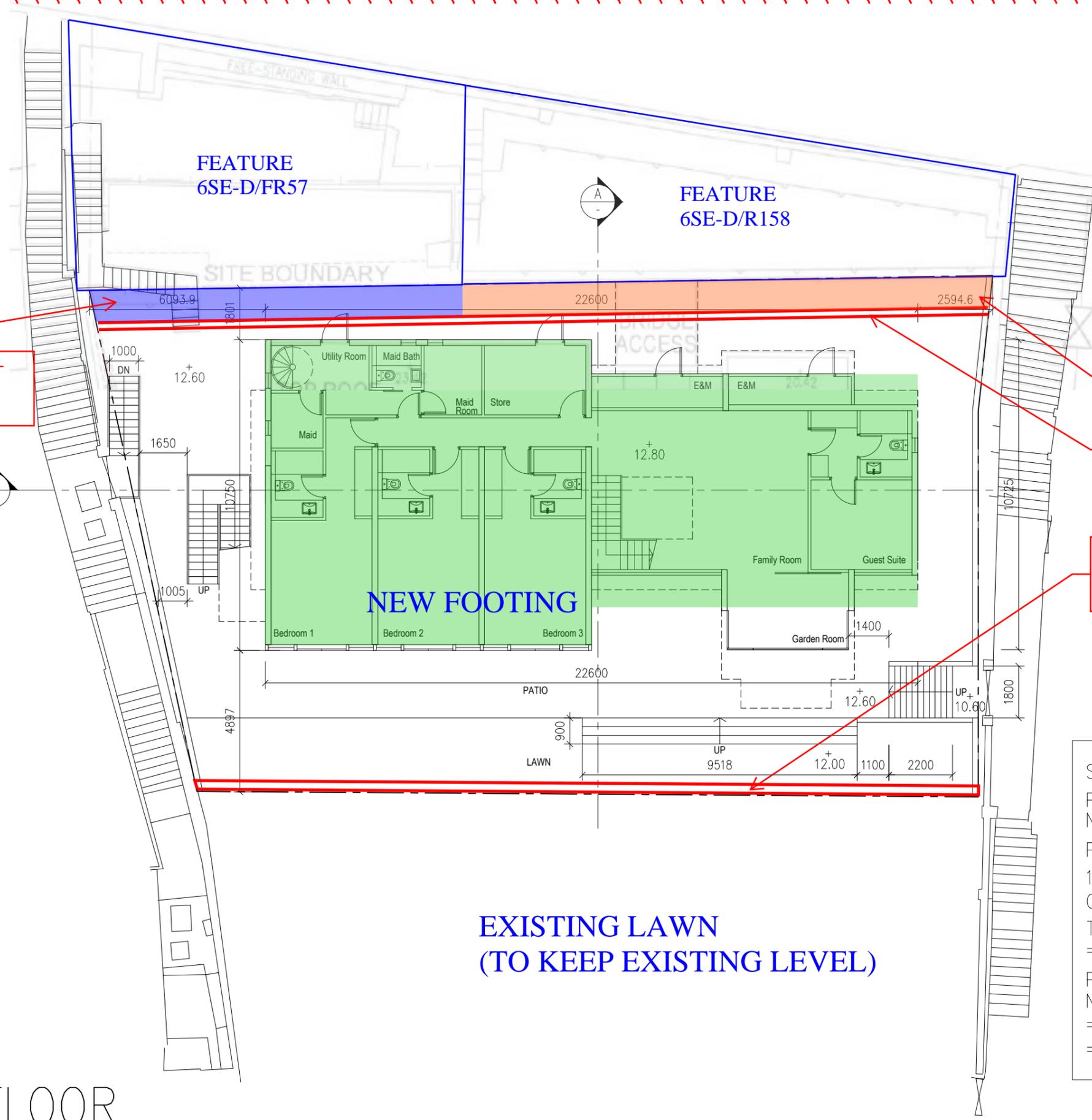
NEW RETAINING WALL
FOR LEVEL DIFFERENCE

NEW RETAINING WALL
FOR RAISING UP THE
LAWN WITHIN SITE
BOUNDARY

SITE AREA: 512.917 s.m.
PROPOSED DOMESTIC GFA:
NOT EXCEEDING 384.675 s.m.
P.R. NOT EXCEEDING 0.75
1/F: 185.02 s.m.
G/F: 199.45 s.m.
Total=384.470/512.917 s.m.
= 0.7496 < 0.75 (P.R.)
PROPOSED SITE COVERAGE:
NOT EXCEEDING 40%
= 199.45 / 512.917 s.m.
= 38.89% < 40%

GROUND FLOOR

1:150



EXISTING LAWN
(TO KEEP EXISTING LEVEL)

FEATURE
6SE-D/FR57

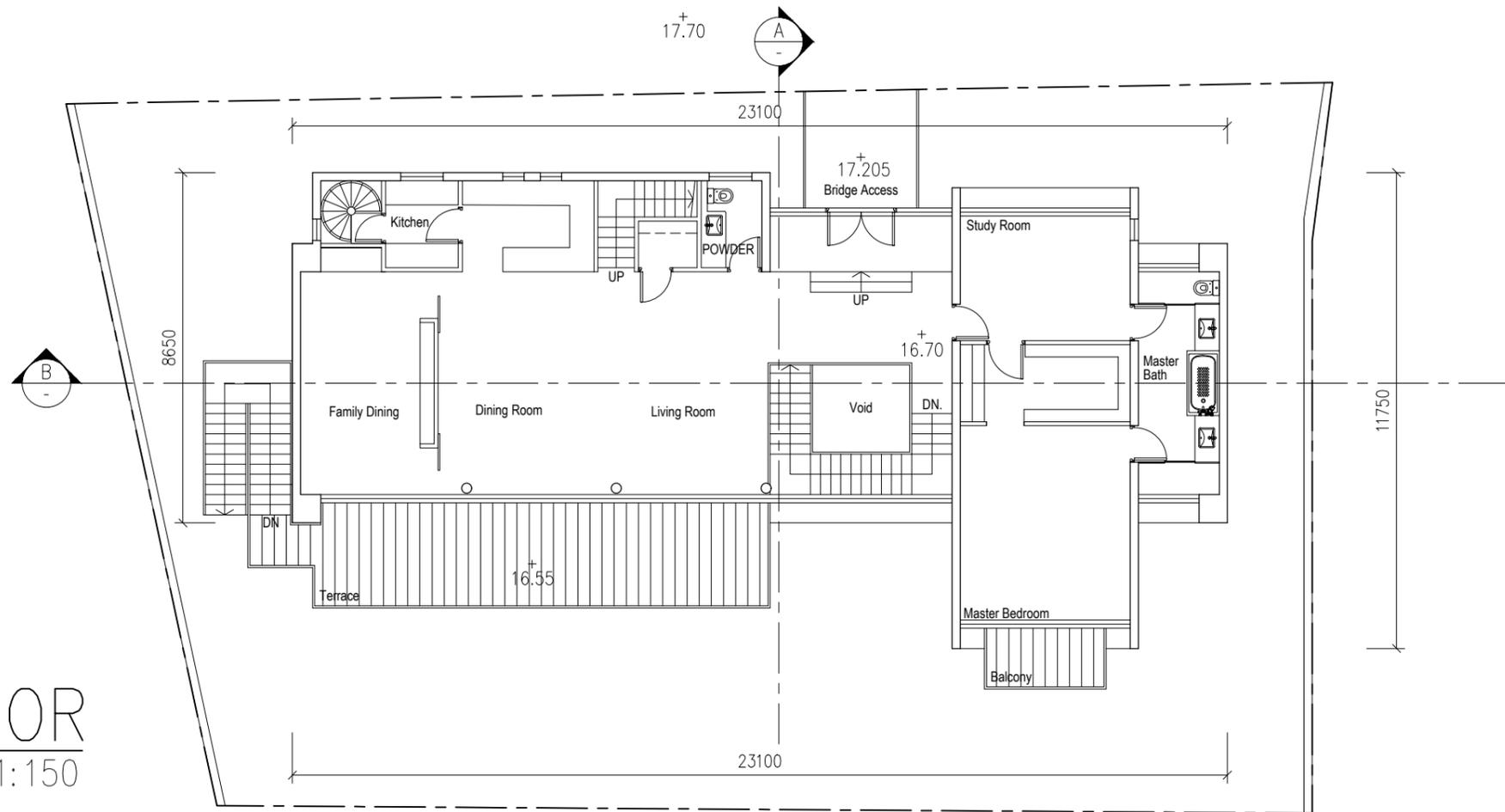
FEATURE
6SE-D/R158

NEW FOOTING

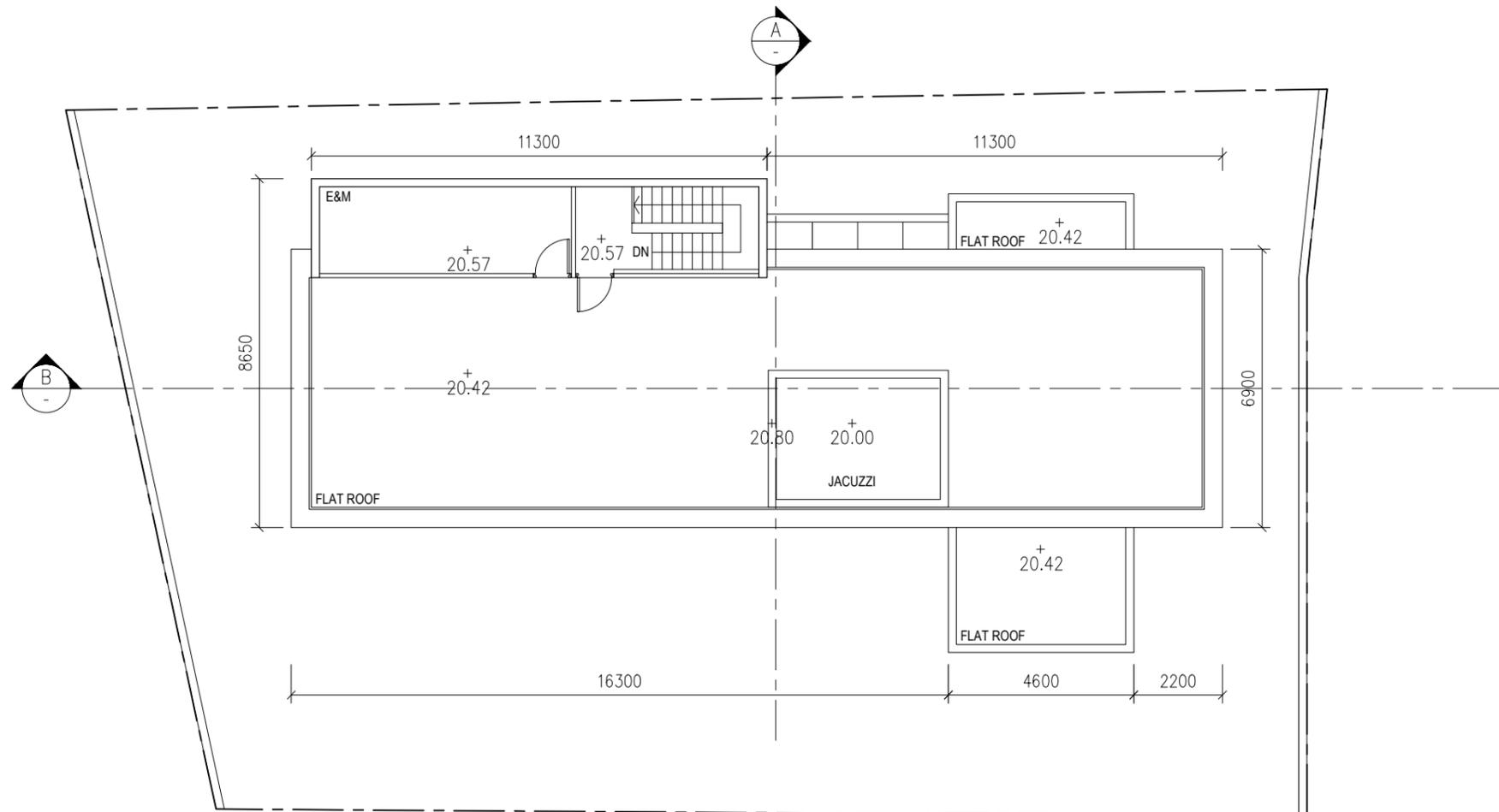
GROUND FLOOR

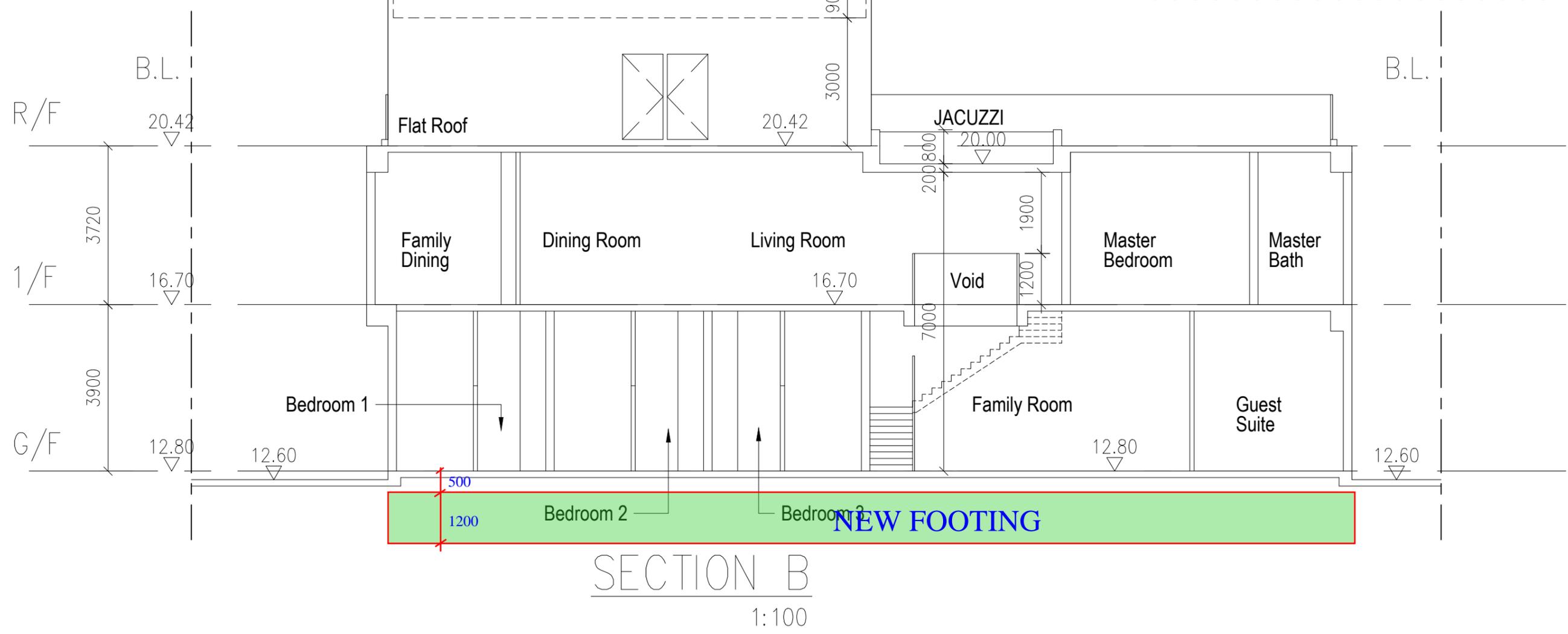
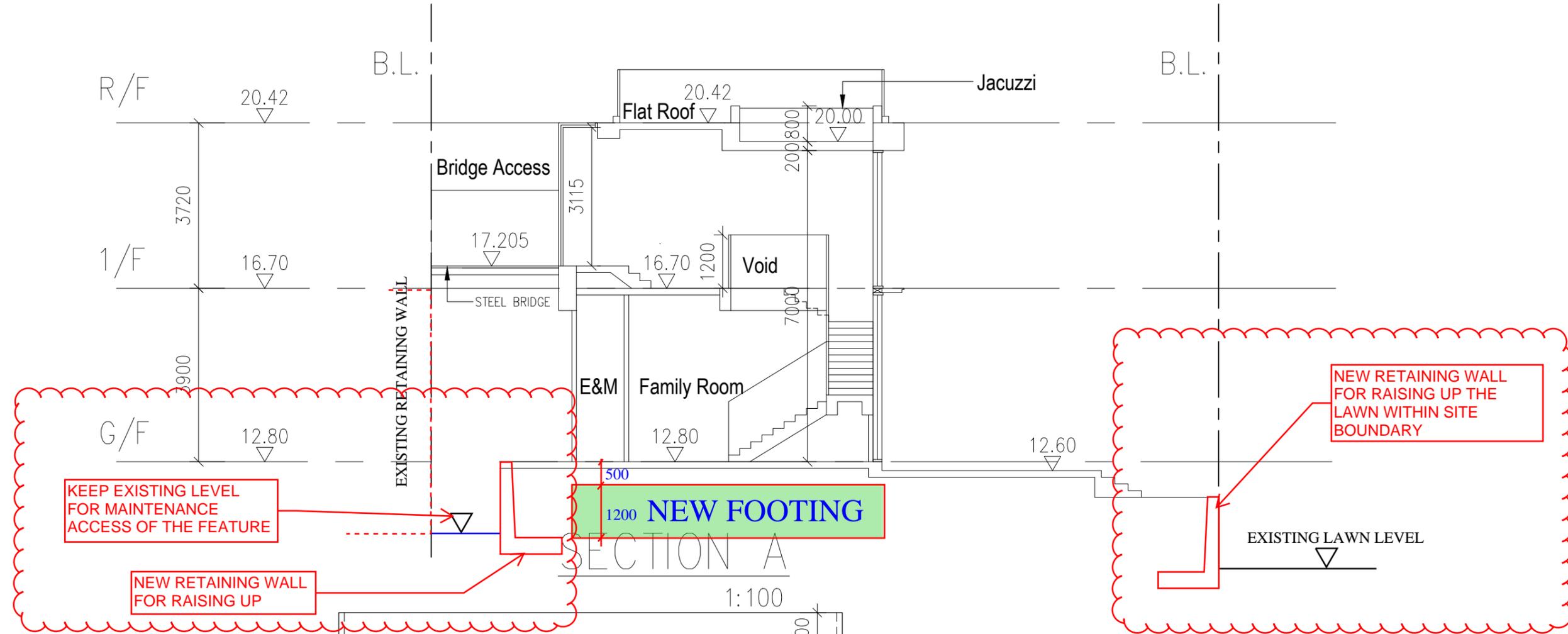
1:150

1ST/ FLOOR
1:150



ROOF
1:150





Appendix B

Photographs



Photo A – General View of the Proposed Development Site, Looking East



Photo B – General View of the Proposed Development Site, Looking West



Photo C – General View of the Feature No. 6SE-D/FR57



Photo D – General View of the Feature No. 6SE-D/R158



Photo E – General View of the Feature No. 6SE-D/R114



Photo F – General View of the Feature No. 6SE-D/R113



Photo G – General View of the Feature No. 6SE-D/R115

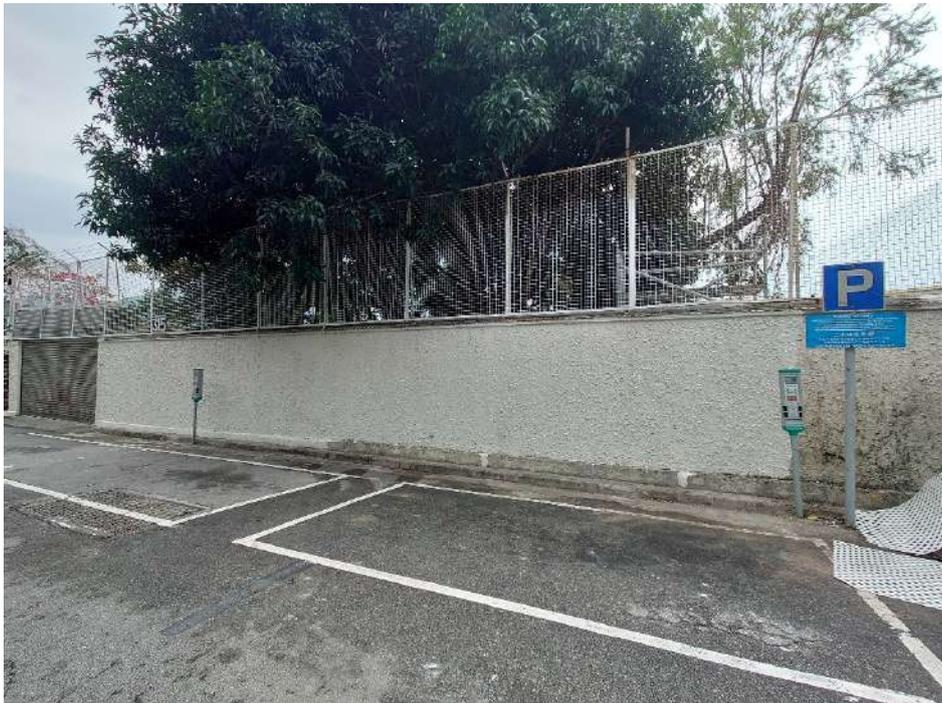


Photo H – General View of the Feature No. 6SE-D/R215



Photo I – General View of the Feature No. 6SE-D/FR203

Appendix C

SIMAR Record

Slope Maintenance Responsibility Report

(6SE-D/R215)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R215	Sub-Division	Not Applicable
	Location	Wholly within STT1206TW north of DD399 LOT404 in Ting Kau	
	Responsible Lot/Party	STT1206TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

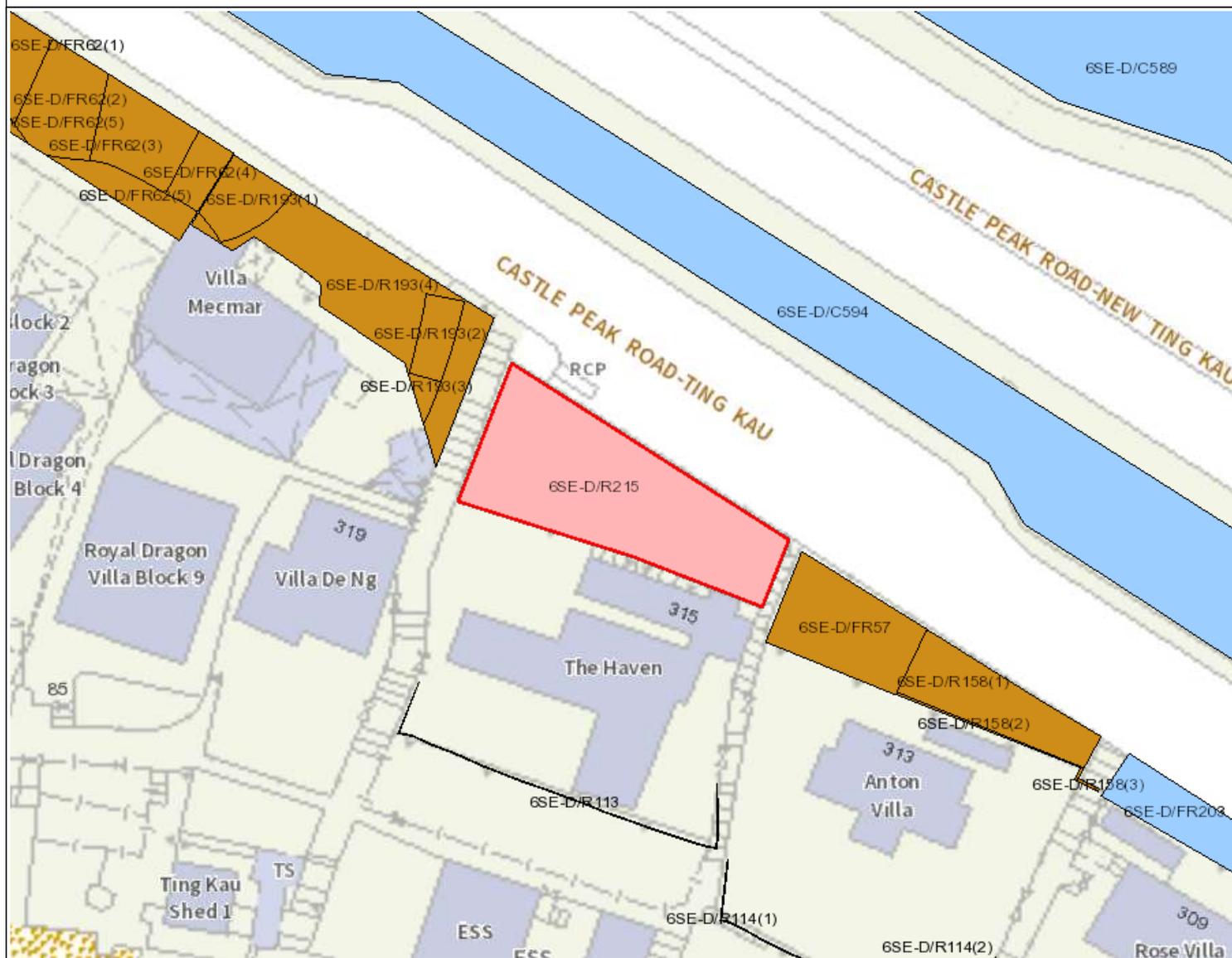
- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Location Plan



Legend

-  Slope Area(s)
-  Search Location
-  Slope(s) Maintained by Government
-  Slope(s) Maintained by Private Party/Parties
-  Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

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Slope Maintenance Responsibility Report

(6SE-D/R158)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT 1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R158	Sub-Division		1
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R158	Sub-Division		2
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	DD399 LOT 405	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
4	6SE-D/R158	Sub-Division		3
	Location	MAINLY WITHIN STT 1139TW AND WITH SMALL PORTIONS WITHIN DD399 LOT 405 AND ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

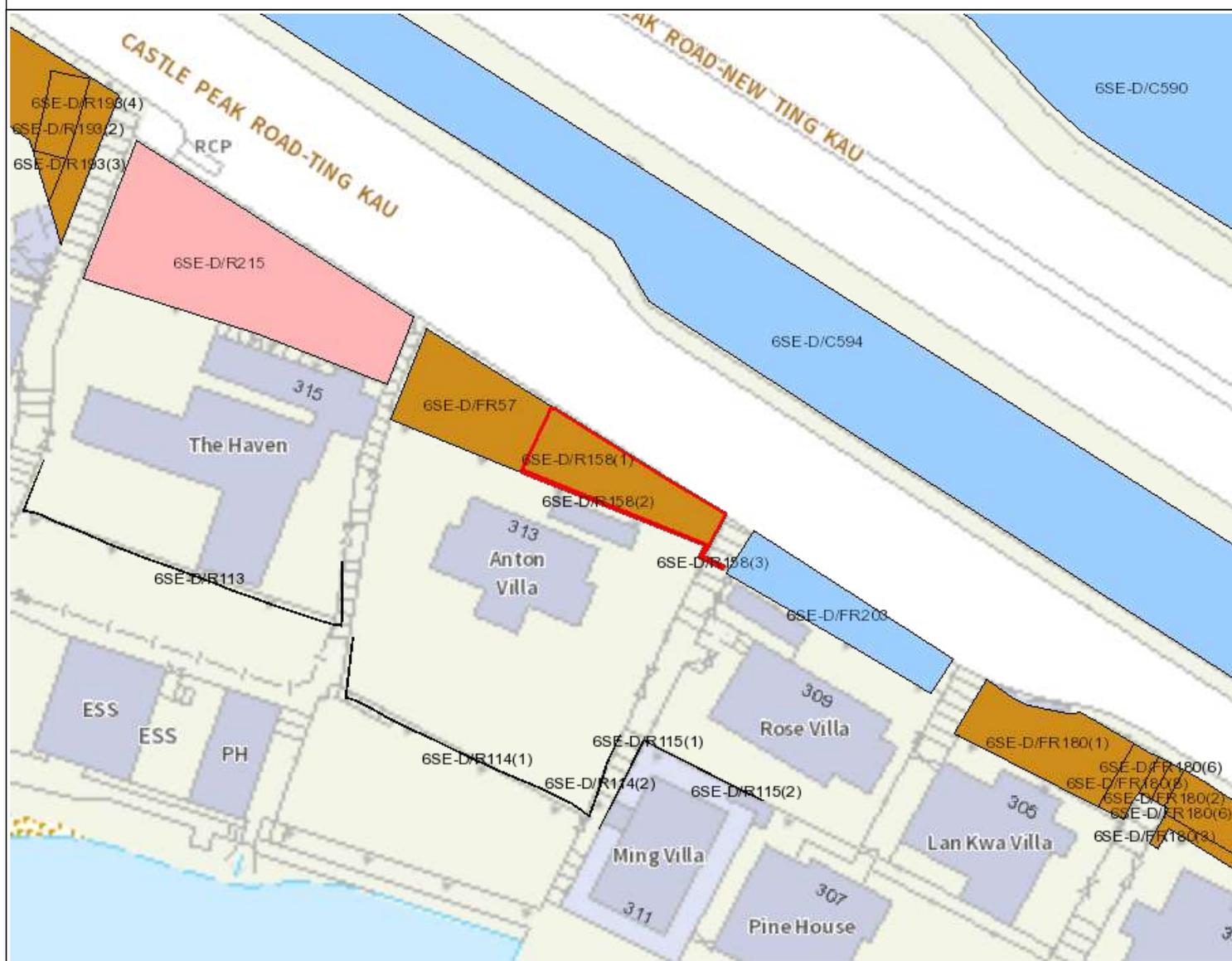
- End of Report -

Notes:

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
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Slope Maintenance Responsibility Report

(6SE-D/R115)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R115	Sub-Division	1	
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2		
	Responsible Lot/Party	DD399 LOT447	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R115	Sub-Division	2	
	Location	SLOPE FALLS IN DD399 LOTS401 & 447 NEAR SPOT LEVEL 17.2		
	Responsible Lot/Party	DD399 LOT401	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

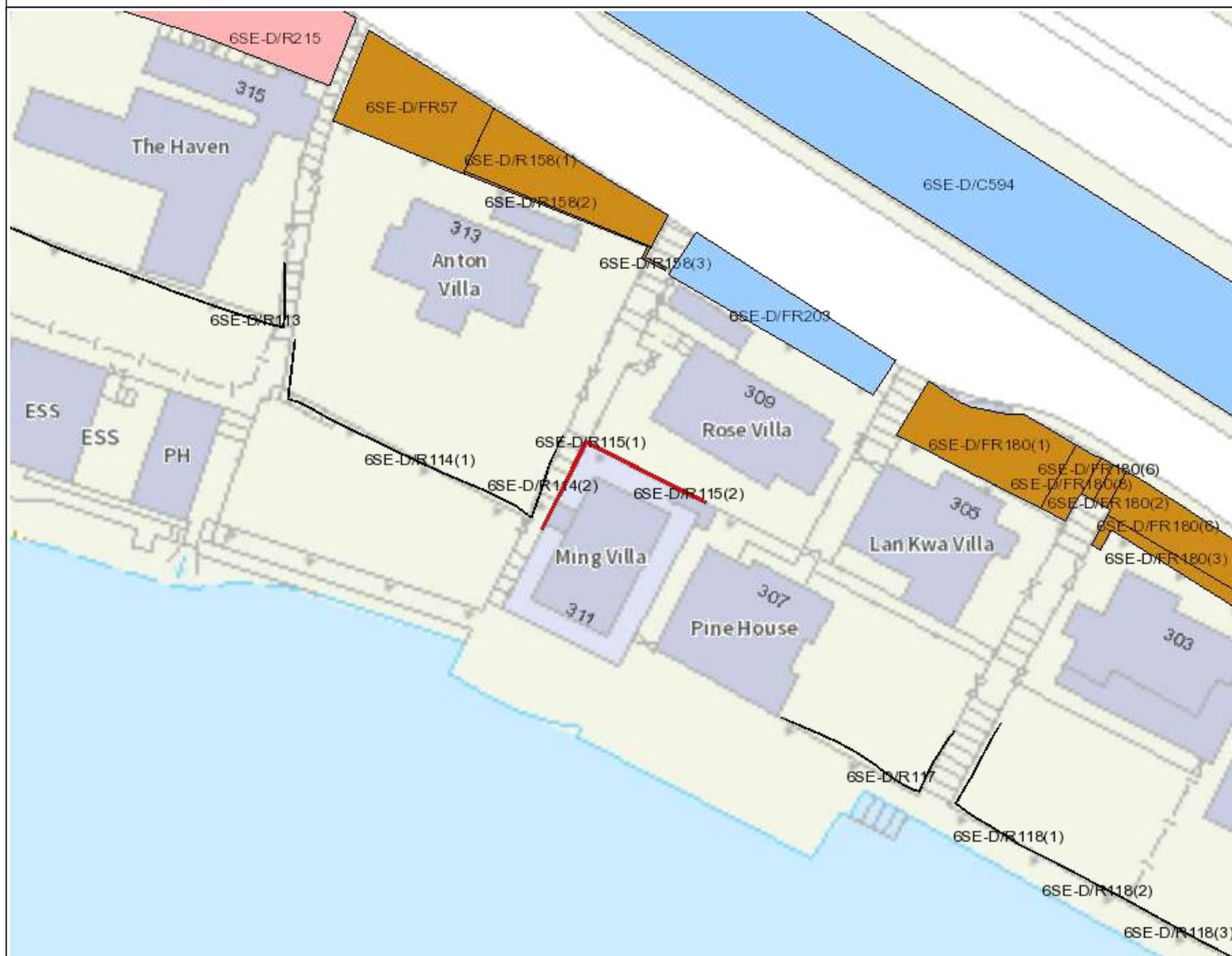
- End of Report -

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Location Plan



Legend

-  Slope Area(s)
-  Search Location
-  Slope(s) Maintained by Government
-  Slope(s) Maintained by Private Party/Parties
-  Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/R114)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R114	Sub-Division		1
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	STT1139TW	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	6SE-D/R114	Sub-Division		1
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
3	6SE-D/R114	Sub-Division		2
	Location	MAINLY WITHIN STT1139TW AND WITH A VERY SMALL PORTION ON UNALLOCATED GOVERNMENT LAND		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

- End of Report -

Notes:

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/R113)



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/R113	Sub-Division	Not Applicable	
	Location	WITHIN DD399 LOT404		
	Responsible Lot/Party	DD399 Lot404	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

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Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/FR203)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/FR203	Sub-Division	Not Applicable
	Location	ADJOINING CASTLE PEAK ROAD - TING KAU IN DEMARCATION DISTRICT 399	
	Responsible Lot/Party	Highways Department	Maintenance Agent Highways Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.	

- End of Report -

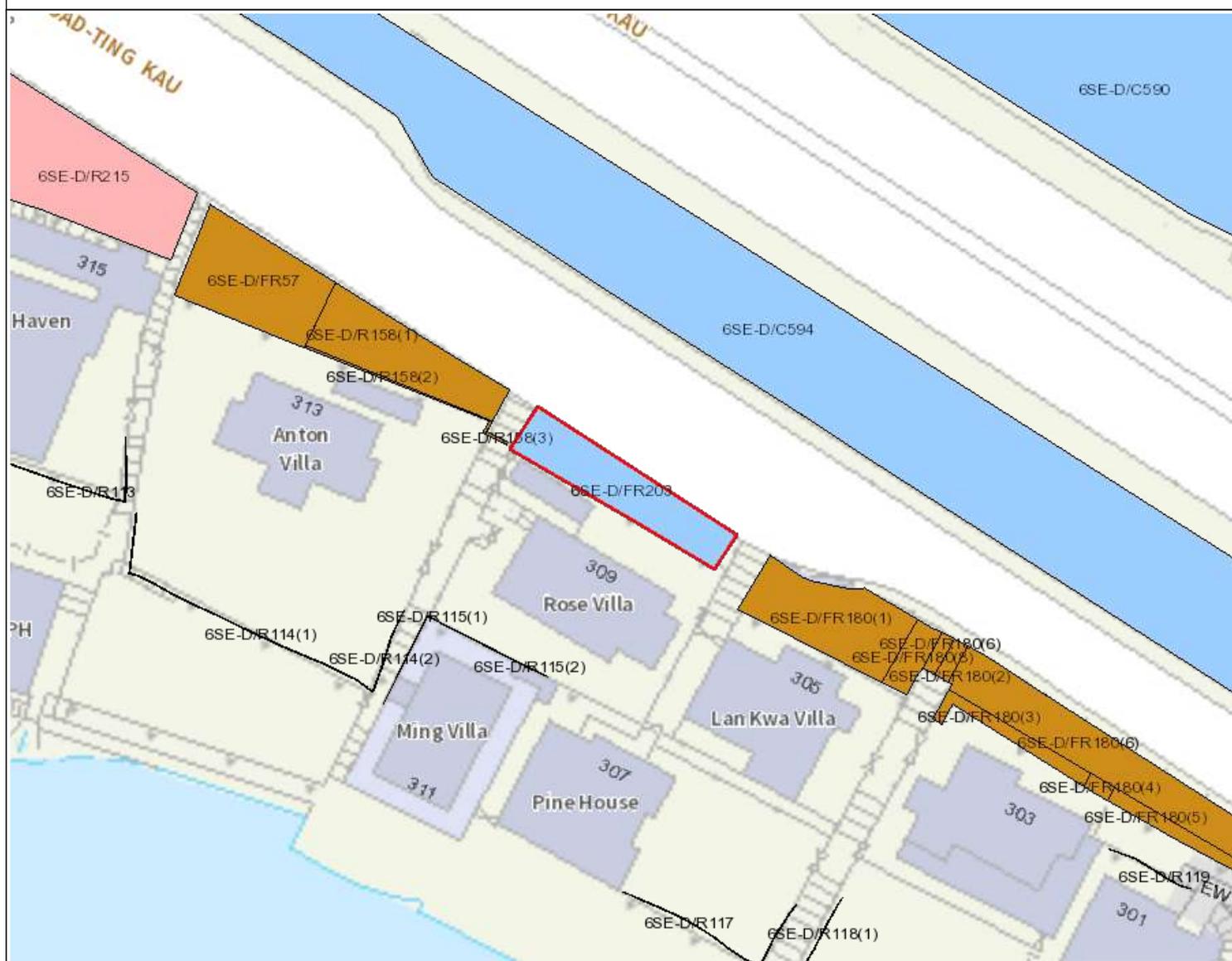
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Search Criteria: 6SE-D/FR203

Location Plan



Legend

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- Search Location
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- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



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Slope Maintenance Responsibility Report

(6SE-D/FR57)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	Lands Department	Maintenance Agent Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.	
2	6SE-D/FR57	Sub-Division	Not Applicable
	Location	WITHIN STT1139TW	
	Responsible Lot/Party	STT1139TW	Maintenance Agent Not Applicable
	Remarks	Not Applicable	

- End of Report -

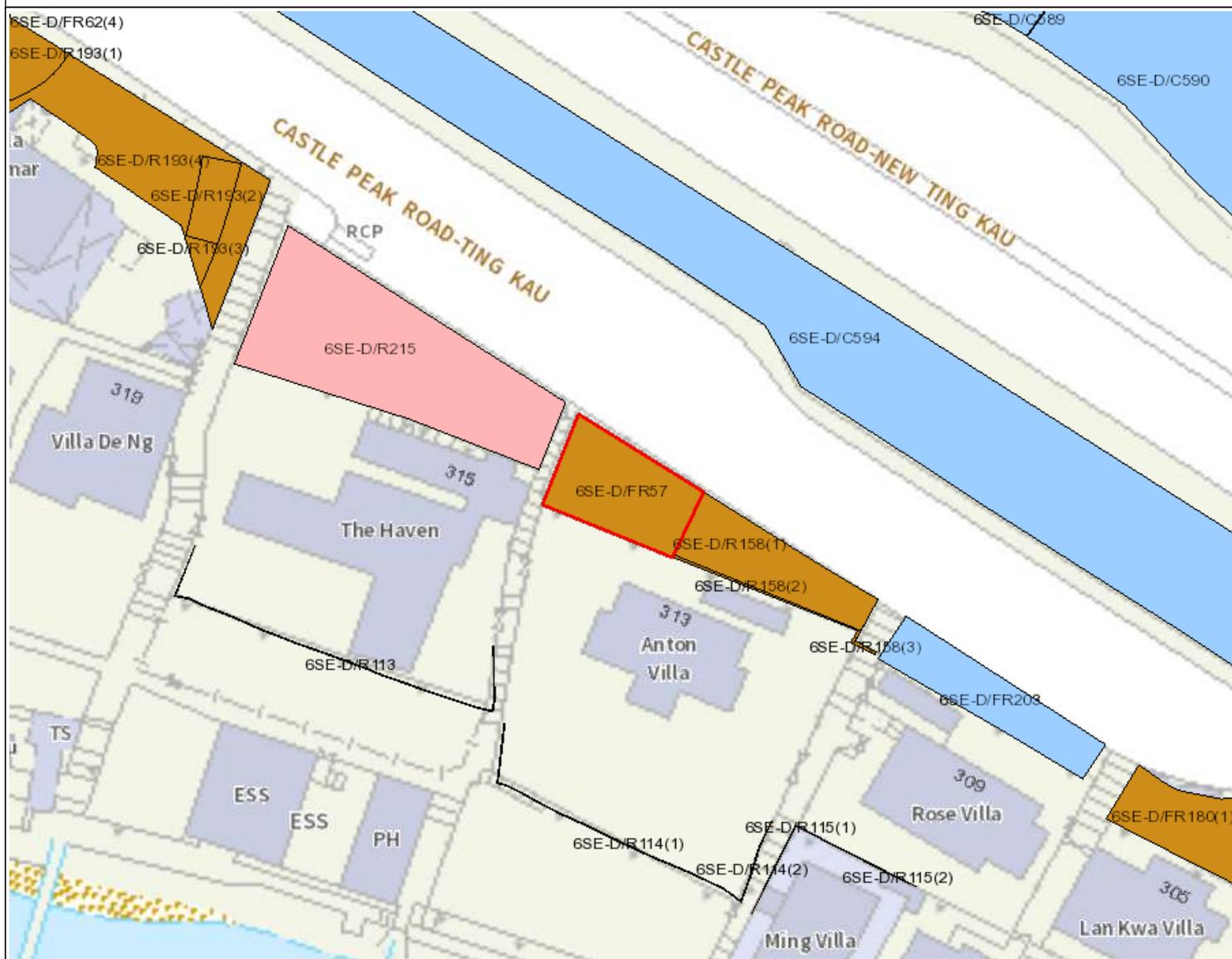
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Search Criteria: 6SE-D/FR57

Location Plan



Legend

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-  Search Location
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Appendix D

Slope Records Retrieved from CEDD



BASIC INFORMATION

Location: Castle Peak Road - Ting Kau
 Registration Date: 25-09-2012
 Ranking Score (NPRS): 3620 (LPMit)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: EI(Lands D)
 Approximate Coordinates: Easting : 826448 Northing : 825613

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
 Distance of Facility from Crest (m): 0
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 1
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 8.2 Length (m): 30 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: STT1206TW Agent: N/A Land Cat.: 1 Reason Code: 3 MR Endorsement Date: 27-11-2015

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 16-09-2010
 Data Source: EI(Lands D)
 Slope Part Drainage: N/A
 Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: 3 Min. Berm Width (m): 1
 Weepholes: Size (mm): 25 Spacing (m): 1

SERVICES

(1) Utilities Type: Water Main Size(mm): 200 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): N/A
 Aerial Photos: N/A
 Nearest Rainguage Station (Station Number): ()
 Data Collected On: 16-09-2010
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: N/A File Reference: N/A
 Date Served by BD: 08/07/2024
 LPMIS: Agreement No.: CE62/2019 Report No.: S2R024/2022
 Agreement No.: CE23/2011 Report No.: S3R 103/2014

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 1

Type of Crest Facility: Open car park

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 215
Location: Castle Peak Road - Ting Kau
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Private
Responsible Party for Maintenance of Government Portion: N/A
Private Lot No.: STT1206TW

LPM/LPMit Study

Agreement No.: CE62/2019
Study Type: Stage 2 Study
Consultant: C M Wong & Associates Ltd.
GEO Managing Section / Engineer: SS / SS1
Study Status: Study completed
Design Approach: N/A
Option Assessment Accepted: N
Study Report No.: S2R024/2022
Programme / Actual Commencement: 25-01-2022
Programme / Actual Completion: 28-02-2022
Report Recommendation (For Stage 2 Study): Advisory Letter
District Check Status: N/A
Checking Certificate No.: N/A
GEO Engineer's Remarks: AL issued on 08/07/2024.

LPM/LPMit Works

Works Contract No.: N/A
GEO Managing Section / Engineer: N/A / N/A
Contractor: N/A
Progress Status: N/A
Reason of Study Termination / Works Deletion (If Necessary): N/A
Forecast Commencement Date: N/A
Forecast Completion Date: N/A
Completion Cert. Issued: N/A
Site Handed Over to Maintenance Department on: N/A
Estimated Cost for Upgrading (HK\$M): N/A
Maintenance Manual No.: N/A

Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 155
Location:	Castle Peak Road - Ting Kau
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed
Responsible Party for Maintenance of Government Portion:	Lands D
Private Lot No.:	STT1206TW

LPM/LPMit Study

Agreement No.:	CE23/2011
Study Type:	Stage 3 Study Under Schedule of Rates Contract
Consultant:	Fugro (HK) Ltd.
GEO Managing Section / Engineer:	LPM3 / CM62
Study Status:	Study completed
Design Approach:	Prescriptive
Option Assessment Accepted:	Y
Study Report No.:	S3R 103/2014
Programme / Actual Commencement:	16-04-2014
Programme / Actual Completion:	15-11-2014
Report Recommendation (For Stage 2 Study):	N/A
District Check Status:	N/A
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	Feature No. 6SE-D/FR155 under Agreement No. CE23/2011 (GE) has been renamed to 6SE-D/R215. LPM works could not be carried out under GE/2013/29 as MR is changed from HyD to private.

LPM/LPMit Works

Works Contract No.:	GE/2013/29
GEO Managing Section / Engineer:	LPM3 / W1
Contractor:	Geotech Engineering Limited
Progress Status:	Works suspended
Reason of Study Termination / Works Deletion (If Necessary):	MR wholly private
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	0



Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO



BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
Registration Date: 28-04-2000
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification: 31-05-2010
Data Source: Project Office
Approximate Coordinates: Easting : 826485 Northing : 825594

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
Distance of Facility from Crest (m): 0
Facility at Toe: Cottage, licensed and squatter area
Distance of Facility from Toe (m): 0.3
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 7 Length (m): 18.7 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT 1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 27-05-2014
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 27-05-2014
(3) Sub Div.: 2	Mixed Feature	Party: DD399 LOT 405	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-05-2014
(4) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 27-05-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-08-2018
Data Source: Project Office
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
 Berm: No. of Berms: 1 Min. Berm Width (m): 2
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_13254 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950-1 (1963),
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-08-2018
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LA Ref. No.: GCMW5/3/16 OP.14f30,32 PT.5f112
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 Remarks: N/A

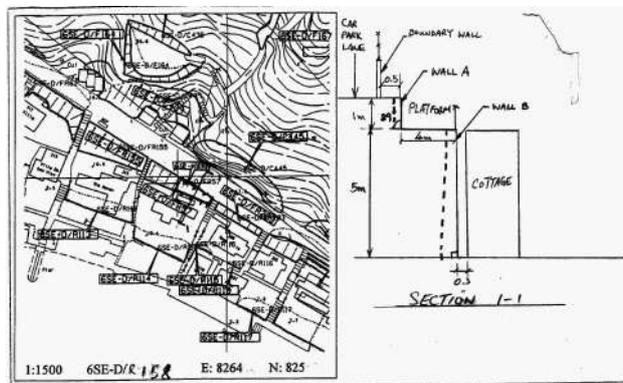
Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
 Upgraded by:
 Prescriptive Design Using GEO Report No. 56: N/A
 Non-prescriptive Design Including Conventional Design: Yes
 Improved by:
 Type 1 / Type 2 Prescriptive Measures: N/A
 Type 3 Prescriptive Measures (not up to upgrading standard): N/A
 Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On: 17-12-1999
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Cottage, licensed and squatter area
 Distance from Toe(m): 0.3
 Type of Crest Facility: Open car park
 Distance from Crest(m): 0
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):

Consequence Category: 1
Engineering Judgement: P
Sign of Seepage: Slope : N/A
Wall : Signs of seepage
Criterion A satisfied: N
Sign of Distress: Slope : N/A
Wall : Minimal(near crest, mid-portion)
Criterion D satisfied: N
Non-routine maintenance required: N
Note: N/A
Masonry wall/Masonry facing: Y
Note: N/A
Consequence category (for critical section): 1
Observations: N/A
Emergency Action Required: N
Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
Action By: N/A
Further Study: Y
Action By: Private

OTHER EXTERNAL ACTION

Check / repair Services: N
Action By: N/A
Non-routine Maintenance: N
Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 6SE-D/R 158
Location: TING AKU, NO.311-313 CASTLE PEAK ROAD
District Council: Tsuen Wan
Maintenance Responsibility (At the Time of Selection): Mixed
Responsible Party for Maintenance of Government Portion: Lands D
Private Lot No.: STT139TW

LPM/LPMit Study

Agreement No.:	CE47/2005
Study Type:	Stage 2 Study
Consultant:	Maunsell Geotechnical Services Ltd.
GEO Managing Section / Engineer:	SS / SS3
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R18/2008
Programme / Actual Commencement:	23-01-2008
Programme / Actual Completion:	07-09-2008
Report Recommendation (For Stage 2 Study):	No action required
District Check Status:	Exempted from checking
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A
Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (if Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_13254
SCS Feature	6SE-D/R 158
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 008/2013
Feature Remark	GEO accepted the design report for feature no. 6SE-D/FR57 & 6SE-D/R158 on 10.2.2010.
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2013/02/04
Last Update	08-02-2013
Easting	826477
Northing	825600
-----	-----
File Ref	GCMW 2/E1/6SE-D/R158
ERKS File Ref	MW-30-2025-1-6SE-D/R158
File Title	Ag No. CE31/2006(GE), EMP, Design Report for feature no. 6SE-D/FR57 & 6SE-D/R158, No. 311-313, Castle Peak Road, Ting Kau
Project Type	Public
File Ref Image	Open Image



BASIC INFORMATION

Location: Rose Villa, Castle Peak Road, Ting Kau, Tsuen Wan, New Territories. Lot No. 401 in D.D. 399
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (Notional)
 Date of Formation: pre-1977
 Date of Construction/ Modification: 15-07-2011
 Data Source: AP
 Approximate Coordinates: Easting : 826486 Northing : 825569

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
 Distance of Facility from Crest (m): 4.5
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 2.5
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.1 Length (m): 19 Face Angle (deg): 90

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Private Feature	Party: DD399 LOT447	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006
(2) Sub Div.: 2	Private Feature	Party: DD399 LOT401	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 17-07-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 03-11-2011
 Data Source: AP
 Slope Part Drainage: N/A
 Wall Part Drainage: (1) Position: Crest Size(mm): 225

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

(1) Utilities Type: Water Main Size(mm): 25 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10329 Part: 1 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

BACKGROUND INFORMATION

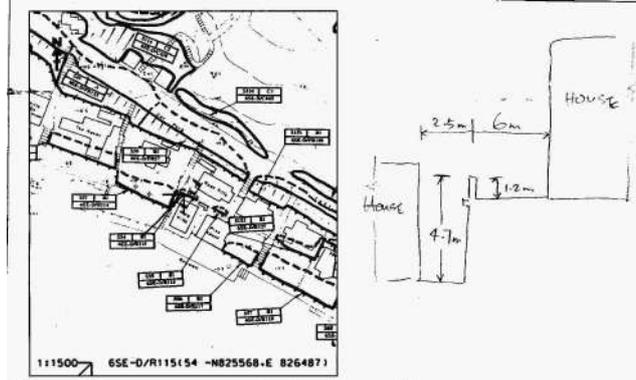
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 03-11-2011
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 30/05/2008 Notice No.: DH0052/NT/08/C
 Date of Recommendation to BD: 05/12/2007 File Reference: DH/0131/05/NT
 Date Served by BD: 17/09/2010 Notice No.: DH0120/NT/10/C
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE10/2003 Report No.: S2R209/2005

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 5 , H2 : 5
 Type of Toe Facility: Residential building
 Distance from Toe(m): 2.5
 Type of Crest Facility: Residential building
 Distance from Crest(m): 4.5
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble.
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 115
Location:	MING VILLA DD339 LOT 447, CASTLE PEAK ROAD, TING KAU
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	DD399 Lot447, DD399 Lot401

LPM/LPMit Study

Agreement No.:	CE10/2003
Study Type:	Stage 2 Study
Consultant:	Scott Wilson (HK) Ltd.
GEO Managing Section / Engineer:	SS / SS2
Study Status:	Study completed
Design Approach:	N/A
Option Assessment Accepted:	N/A
Study Report No.:	S2R209/2005
Programme / Actual Commencement:	30-12-2004
Programme / Actual Completion:	24-03-2006
Report Recommendation (For Stage 2 Study):	DH Order, No action required
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	N/A

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A



Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO





SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_10329
SCS Feature	6SE-D/R 115
SCS Part	1
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	N/A
Feature Remark	Agreed to BA14 on 06/01/2012 6SE-D/R115 (Sub-Div. 2).
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2012/01/06
Last Update	26-03-2012
Easting	826486
Northing	825568
-----	-----
File Ref	GCMW 3/5/DH131/05/NT
ERKS File Ref	MW-10-2010-4-DH131/05/NT
File Title	ROSA VILLA, CASTLE PEAK ROAD, TING KAU, TSUEN WAN, N.T. - LOT 401 IN DD399 (6SE-D/R115 sub-div. 2)
Project Type	Private
File Ref Image	N/A



BASIC INFORMATION

Location: NO.313, CASTLE PEAK ROAD, TING KAU
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: SIRST
 Approximate Coordinates: Easting : 826469 Northing : 825568

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Horticulture garden
 Distance of Facility from Crest (m): 0
 Facility at Toe: Lightly-used playground
 Distance of Facility from Toe (m): 3
 Consequence-to-life Category: 2
 Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 43 Face Angle (deg): 87

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1139TW	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
 Data Source: SIRST
 Slope Part Drainage: N/A
 Wall Part Drainage: (1) Position: Toe Size(mm): 175

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 40 Spacing (m): 1.2

SERVICES

(1) Utilities Type: Electricity Size(mm): 0 Location: On crest Remark: Size cannot be determined

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

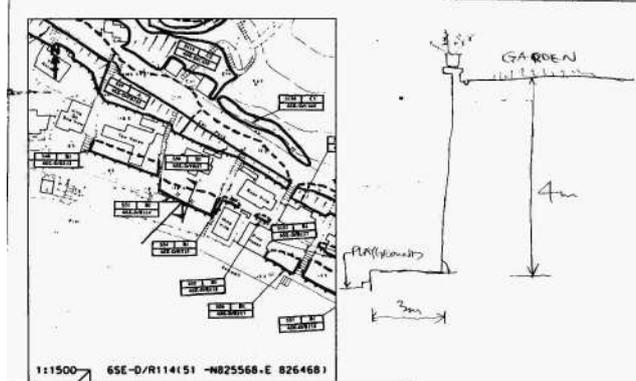
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 File/Report: LA Ref. No.: GCMW5/3/16 pt14, 5/6/16 pt5
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 3
 Type of Crest Facility: Horticulture garden
 Distance from Crest(m): 0
 Consequence Category: 2
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 2
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: Square rubble
 Consequence category (for critical section): 2
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

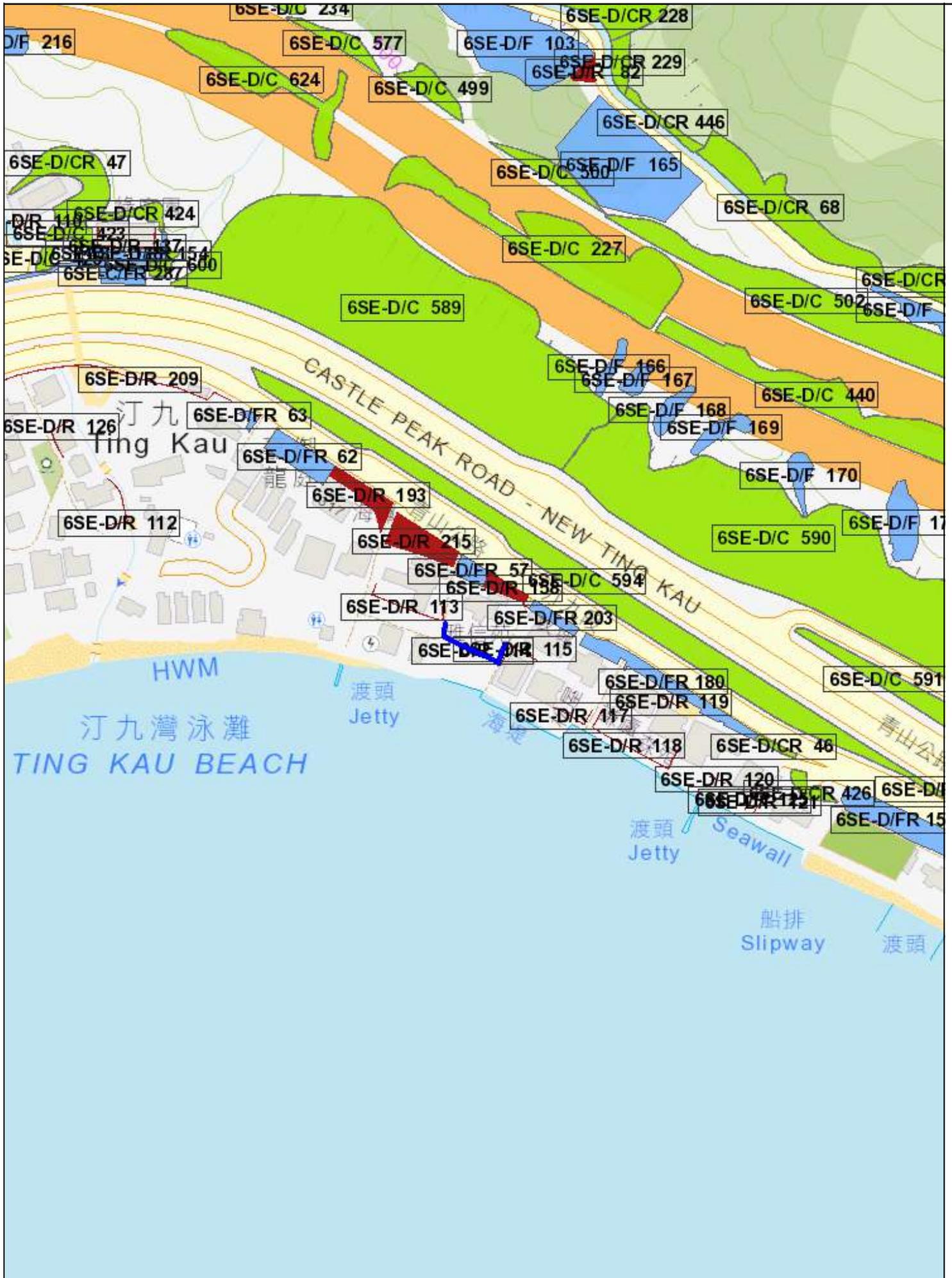
Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO



6SE-D/R114

GENERAL VIEW





BASIC INFORMATION

Location: THE HAVEN, CASTLE PEAK ROAD, TING KAU
Registration Date: 16-03-1998
Ranking Score (NPRS): 0 (LPMit)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: SIRST
Approximate Coordinates: Easting : 826442 Northing : 825585

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Residential building
Distance of Facility from Crest (m): 1
Facility at Toe: Lightly-used playground
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 1
Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 42 Face Angle (deg): 80

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD399 Lot404 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 05-01-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-03-1997
Data Source: SIRST
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

N/A

WALL PART



Wall Part (1)
 Type of Wall: Wall Material: Others Wall Location: Retaining wall with level platform
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 65 Spacing (m): 1.2

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

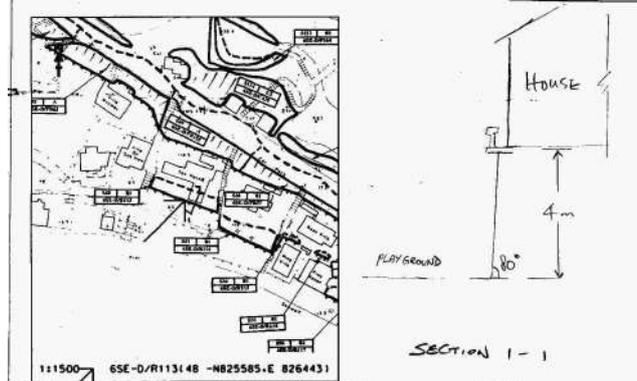
GIU Cell Ref.: 6SE18D4
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: Y08950 (1963), Y08951 (1963)
 Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
 Data Collected On: 20-03-1997
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE79/97 Report No.: S2R261/2000

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

STAGE 1 STUDY REPORT

Inspected On: 20-03-1997
 Weather: Mainly Fine
 District: MW



Section No: 1-1
 Height(m): H1 : 4 , H2 : 4
 Type of Toe Facility: Lightly-used playground
 Distance from Toe(m): 0
 Type of Crest Facility: Residential building
 Distance from Crest(m): 1
 Consequence Category: 1
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category: 1
 Engineering Judgement: P
 Sign of Seepage: Slope : N/A
 Wall : Signs of seepage
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : Minimal(near crest, mid-portion, at toe)
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: Y
 Note: N/A
 Consequence category (for critical section): 1
 Observations: N/A
 Emergency Action Required: N
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/R 113
Location:	The Haven, Castle Peak Road, Ting Kau.
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Private
Responsible Party for Maintenance of Government Portion:	N/A
Private Lot No.:	DD399LOT404

LPM/LPMit Study

Agreement No.:	CE79/97
Study Type:	Stage 2 Study
Consultant:	C M Wong & Associates Ltd.
GEO Managing Section / Engineer:	SS / SS1
Study Status:	Study completed
Design Approach:	Otherwise
Option Assessment Accepted:	N/A
Study Report No.:	S2R261/2000
Programme / Actual Commencement:	01-06-1998
Programme / Actual Completion:	30-11-2000
Report Recommendation (For Stage 2 Study):	Advisory Letter
District Check Status:	Checked
Checking Certificate No.:	N/A
GEO Engineer's Remarks:	# Type 3 Advisory Letter referred to District Division on 4 December 2000.

LPM/LPMit Works

Works Contract No.:	N/A
GEO Managing Section / Engineer:	N/A / N/A



Contractor:	N/A
Progress Status:	N/A
Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

PHOTO



6SE-D/R113
GENERAL VIEW



BASIC INFORMATION

Location: CASTLE PEAK ROAD - TING KAU
 Registration Date: 27-08-1999
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: EI (HyD)
 Approximate Coordinates: Easting : 826505 Northing : 825581

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with moderate traffic density
 Distance of Facility from Crest (m): 0
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 4
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

(1) Max. Height (m): 1.8 Length (m): 23 Average Angle (deg): 35

WALL PART

(1) Max. Height (m): 4 Length (m): 23 Face Angle (deg): 78

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: HyD Agent: HyD Land Cat.: 5b(iii) Reason Code: 56 MR Endorsement Date: 18-02-2008

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 04-12-2018
 Data Source: EI (HyD)
 Slope Part Drainage: (1) Position: Toe Size(mm): 225
 Wall Part Drainage: (1) Position: Crest Size(mm): 225
 (2) Position: Downpipe Size(mm): 225
 (3) Position: Toe Size(mm): 200

SLOPE PART



Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
 Material Description: Material type: Soil Geology: N/A
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Wall at toe
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): N/A Spacing (m): N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 300 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_5715 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 008/2007

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
 Map Sheet Reference (1:1000): 6SE-18D
 Aerial Photos: N/A
 Nearest Raining Station (Station Number): ()
 Data Collected On: 04-12-2018
 Date of Construction, Subsequent Modification and Demolition: N/A
 Related Reports/Files or Documents: N/A
 Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: None



ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)

Upgraded by:

Prescriptive Design Using GEO Report No. 56: N/A

Non-prescriptive Design Including Conventional Design: Yes

Improved by:

Type 1 / Type 2 Prescriptive Measures: N/A

Type 3 Prescriptive Measures (not up to upgrading standard): N/A

Actual Completion Date: 03-11-2006

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Residential building

Distance from Toe(m): 4

Type of Crest Facility: Road/footpath with moderate traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

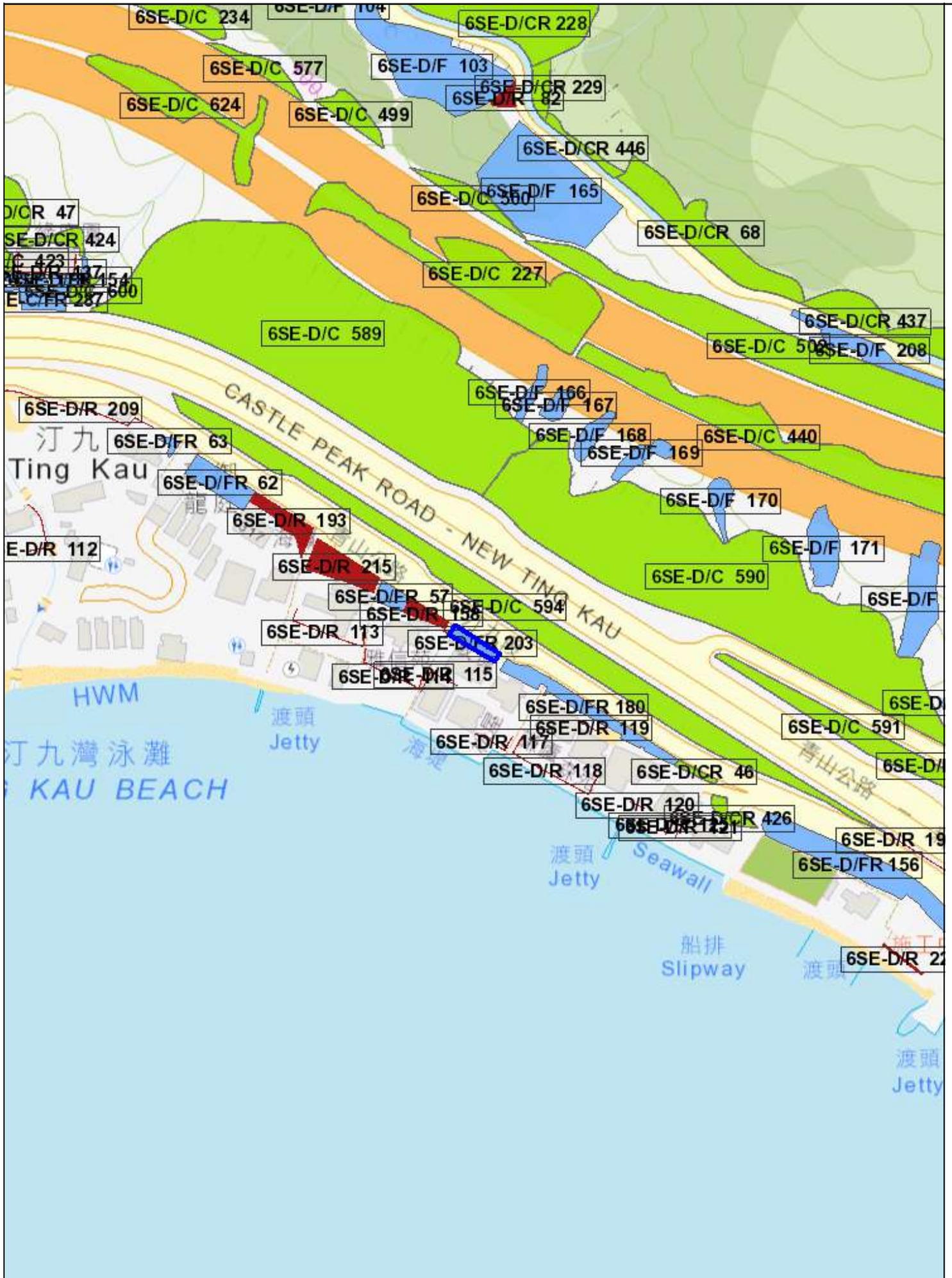
Criterion A/Criterion D: N/A
Action By: N/A
Further Study:
Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
Action By: N/A
Non-routine Maintenance:
Action By: N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_5715
SCS Feature	6SE-D/FR 203
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 008/2007
Feature Remark	N/A
Reviewer	KONG KA FAI
GEO Reply	2007/02/12
Last Update	23-12-2005
Easting	826496
Northing	825588
-----	-----
File Ref	GCMW 2/E1/6SE-D/FR203
ERKS File Ref	MW-30-2025-1-6SE-D/FR203
File Title	EMP (2003-2007) of Roadside Features in NT West for slope 6SE-D/FR203 (Agreement No. CE13/2003(GE))
Project Type	Public
File Ref Image	N/A



BASIC INFORMATION

Location: No. 311-313 Castle Peak Road, Ting Kau
 Registration Date: 16-03-1998
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification: 31-05-2010
 Data Source: AP
 Approximate Coordinates: Easting : 826470 Northing : 825599

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Open car park
 Distance of Facility from Crest (m): 0
 Facility at Toe: Residential building
 Distance of Facility from Toe (m): 3.5
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.3 Length (m): 13 Average Angle (deg): 45

WALL PART

(1) Max. Height (m): 4.3 Length (m): 13 Face Angle (deg): 75

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 29-04-2014
 (2) Sub Div.: 0 Mixed Feature Party: STT1139TW Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 29-04-2014

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 08-02-2013
 Data Source: AP
 Slope Part Drainage: (1) Position: Berm Size(mm): 225
 Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
 Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 100 Other Cover: 0
 Material Description: Material type: Soil Geology: N/A
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 40 Spacing (m): 1.5



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform
Berm: No. of Berms: 2 Min. Berm Width (m): 2.5
Weepholes: Size (mm): 50 Spacing (m): 1.5

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_10491 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: GEO/MW 007/2013

BACKGROUND INFORMATION

GIU Cell Ref.: 6SE18D4
Map Sheet Reference (1:1000): 6SE-18D
Aerial Photos: Y08950-1 (1963),
Nearest Rainguage Station (Station Number): Emmanuel Primary School, 13 Miles, Castle Peak Road(N10)
Data Collected On: 08-02-2013
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1963 After: N/A



Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW2/B2/200
 File/Report: Development Ref. No.: GCMW5/3/16 PT.14f30,32 PT.5f112
 File/Report: Development Ref. No.: GCMW5/3/16 PT.14f30,32 PT.5f112
 File/Report: LA Ref. No.: GCMW5/3/16PT14f30,32 PT5f112
 File/Report: LA Ref. No.: GCMW5/3/16PT14f30,32 PT5f112
 File/Report: LWC Ref. No.: GC4/1/2-5f7A
 File/Report: LWC Ref. No.: GC4/1/2-5f7A

Remarks: N/A
 Follow Up Actions: N/A
 DH-Order (To Be Confirmed with Buildings Department): None
 Advisory Letter (To Be Confirmed with Buildings Department): None
 LPMIS: Agreement No.: CE47/2005 Report No.: S2R18/2008

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 25/09/2025)
 Upgraded by:
 Prescriptive Design Using GEO Report No. 56: N/A
 Non-prescriptive Design Including Conventional Design: Yes
 Improved by:
 Type 1 / Type 2 Prescriptive Measures: N/A
 Type 3 Prescriptive Measures (not up to upgrading standard): N/A
 Actual Completion Date: 31-05-2010

STAGE 1 STUDY REPORT

Inspected On:
 Weather:
 District: MW
 Section No: 1-1
 Height(m):
 Type of Toe Facility: Residential building
 Distance from Toe(m): 3.5
 Type of Crest Facility: Open car park
 Distance from Crest(m): 0
 Consequence Category:



Engineering Judgement:
 Section No: 2-2
 Type of Toe Facility:
 Distance from Toe(m):
 Type of Crest Facility:
 Distance from Crest(m):
 Consequence Category:
 Engineering Judgement:
 Sign of Seepage:
 Criterion A satisfied:
 Sign of Distress:
 Criterion D satisfied:
 Non-routine maintenance required:
 Note:
 Masonry wall/Masonry facing:
 Note:
 Consequence category (for critical section):
 Observations: N/A
 Emergency Action Required:
 Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A
 Action By: N/A
 Further Study:
 Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:
 Action By: N/A
 Non-routine Maintenance:
 Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.:	6SE-D/FR 57
Location:	TING KAU, NO. 311-313 CASTLE PEAK ROAD
District Council:	Tsuen Wan
Maintenance Responsibility (At the Time of Selection):	Mixed



Responsible Party for Maintenance of Government Lands D
 Portion:
 Private Lot No.: STT1139TW

LPM/LPMit Study

Agreement No.: CE47/2005
 Study Type: Stage 2 Study
 Consultant: Maunsell Geotechnical Services Ltd.
 GEO Managing Section / Engineer: SS / SS3
 Study Status: Study completed
 Design Approach: N/A
 Option Assessment Accepted: N/A
 Study Report No.: S2R18/2008
 Programme / Actual Commencement: 23-01-2007
 Programme / Actual Completion: 07-09-2008
 Report Recommendation (For Stage 2 Study): No action required
 District Check Status: Exempted from checking
 Checking Certificate No.: N/A
 GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A
 GEO Managing Section / Engineer: N/A / N/A
 Contractor: N/A
 Progress Status: N/A
 Reason of Study Termination / Works Deletion (If Necessary): N/A
 Forecast Commencement Date: N/A
 Forecast Completion Date: N/A
 Completion Cert. Issued: N/A
 Site Handed Over to Maintenance Department on: N/A
 Estimated Cost for Upgrading (HK\$M): N/A
 Maintenance Manual No.: N/A
 Actual Works: N/A
 No. of Tree Felled: N/A
 No. of Tree Planted (Incl. Transplant): N/A
 % Bare of Slope Surfacing: N/A
 % Vegetated of Slope Surfacing: N/A
 % Shotcrete of Slope Surfacing: N/A
 Other Hard Surface of Slope Surfacing: N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Slope Checking Status

Name	Value
SCS ID	SCS_10491
SCS Feature	6SE-D/FR 57
SCS Part	0
SCS Status	5
Checking Status	Feature modified/upgraded to current standard
Check Cert	GEO/MW 007/2013
Feature Remark	GEO accepted the design report for feature no. 6SE-D/FR57 & 6SE-D/R158 on 10.2.2010.
Reviewer	CHAN HUNG WAI, CORN
GEO Reply	2013/02/04
Last Update	07-02-2013
Easting	826465
Northing	825607
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File Ref	GCMW 2/E1/6SE-D/FR57
ERKS File Ref	MW-30-2025-1-6SE-D/FR57
File Title	Ag No. CE31/2006(GE), EMP, Design Report for feature no. 6SE-D/FR57 & 6SE-D/R158, No. 311-313, Castle Peak Road, Ting Kau
Project Type	Public
File Ref Image	Open Image

Appendix E

Extraction of Previous GI Records



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

DRILLHOLE RECORD

DRILLHOLE No.
BH 1

SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.	CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.76
MACHINE & No.	BM16		N 825582.87
FLUSHING MEDIUM	Foam	GROUND LEVEL	+ 16.30 mPD
		ORIENTATION	Vertical

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description	
03/12/2004	HW										A 0.45 INSPECTION PIT B 0.85 C 1.45 1.50 T2101 1 2.40 2 2.70 2.80 T2101 3 3.25 3.60 T2101 3 3.60 4 4.60 4.70 4.73 T2101 5 5.56 6 5.96 5.96 T2101 7 6.40 8 7.40 7.50 9 7.90 7.90 10 7.95	+16.30	0.00				Grayish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (FILL)
												+15.30	1.00			Firm, Brown (7.5YR 5/4), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)	
												+14.80	1.50			Grey (N 5/), dappled brown, subangular BOULDERS (SDT) sized up to 320 mm. (COLLUVIUM)	
												+13.90	2.40			Firm, Brown (7.5YR 5/4), dappled greyish brown, sandy SILT with some subangular fine gravel sized rock fragments and occasional subrounded cobbles (HDT). (COLLUVIUM)	
												+13.50	2.80			Greyish brown (2.5Y 5/2), dappled brown, silty sandy subangular to subrounded COBBLES (MDT) with some angular to subangular fine to coarse gravel sized rock fragments. (COLLUVIUM)	
												+12.30	4.00			Extremely weak, greyish brown and light brown, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)	
03/12/2004 04/12/2004	Dry at 18:00 Dry at 08:00											+11.57 4.70 4.73	4.73			Strong, grey, spotted light grey and dark grey, slightly decomposed coarse ash crystal TUFF. Joints are widely spaced, locally very closely spaced, rough planar, extremely narrow to very narrow, manganese stained and iron stained, dipping 10° to 20°.	
												+11.40	4.90			From 4.73m to 4.90m: Moderately strong, moderately decomposed TUFF.	
												+10.74	5.56			Very weak to weak, grey, dappled brown and dark brown, mottled white, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular fine to coarse GRAVEL)	
												+10.34 5.96 5.96	5.96			Weak to moderately strong, grey, dappled light brown, highly decomposed coarse ash crystal TUFF. Joints are extremely closely spaced to very closely spaced, rough planar and rough undulating, very narrow, manganese stained and iron stained, dipping 50° to 60° and 70° to 80°.	
												+10.24 6.06 +10.10 6.20 +10.05 6.25 +9.90 6.40	6.20			From 6.06m to 6.20m: No recovery, inferring completely decomposed TUFF.	
												+8.30	8.00			From 6.25m to 6.40m: Moderately strong, moderately decomposed TUFF.	
04/12/2004	HW 8.00															Extremely weak to very weak, light brown and greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular to subangular fine gravel) End of Investigation Hole at 8.00m.	

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazzer sample ▤ Piston sample ▣ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ⊥ Standpipe tip ⊥ Standard penetration test ⊥ Pressuremeter test ⊥ Water absorption test or Permeability test ⊥ Sonic televiewer test ⊥ Impression packer test ⊥ in-situ vane shear test 	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>LOGGED</td> <td>T. C. Yip</td> </tr> <tr> <td>DATE</td> <td>17/12/2004</td> </tr> <tr> <td>CHECKED</td> <td>G. Whatmore</td> </tr> <tr> <td>DATE</td> <td>18/12/2004</td> </tr> </table>	LOGGED	T. C. Yip	DATE	17/12/2004	CHECKED	G. Whatmore	DATE	18/12/2004	<p style="text-align: center;">REMARKS</p> <ol style="list-style-type: none"> 1. An inspection Pit was excavated by hand to 1.50m. 2. A falling head permeability test was carried out from 7.00m to 8.00m 3. A piezometer was installed at 7.00m. 4. A standpipe was installed to 3.60m.
LOGGED	T. C. Yip										
DATE	17/12/2004										
CHECKED	G. Whatmore										
DATE	18/12/2004										



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

COREHOLE No.
HC 2

COREHOLE RECORD

SHEET 1 OF 1

LOCATION	Rose Villa, 305 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826502.98	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825579.84	DATE	01/12/2004 to 02/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.15 mPD	ORIENTATION/DIP	030°/00°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
01/12/2004	NW			70							NW	+12.15	0.00			Reddish grey (10R 6/1), GRANITE MASONRY BLOCKS. (MASONRY WALL)
											1	+12.15	0.50			Brown (7.5YR 5/4) and greyish brown (2.5Y 5/2), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											2	+12.15	1.50			Greyish brown (2.5Y 5/2), sandy SILT with some subangular fine gravel sized rock fragments. (COLLUVIUM)
											3		1.95			
											4		2.00			
											5	+12.15	3.00			
				80							NW	+12.15	3.25			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
01/12/2004 02/12/2004											6		3.45			Greyish brown (2.5Y 5/2), very silty fine to coarse SAND with some angular to subangular fine gravel sized rock fragments. (COLLUVIUM)
											7	+12.15	4.00			Greyish brown (2.5Y 5/2), sandy subangular to subrounded fine to coarse GRAVEL (MDT) with occasional subangular cobbles (MDT). (COLLUVIUM)
											8	+12.15	4.45			
				72							NW	+12.15	4.64			Firm, greyish brown (2.5Y 5/2), sandy SILT with some subangular to subrounded fine to coarse gravel sized rock fragments. (COLLUVIUM)
											9	+12.15	5.00			
				88							NW	+12.15	5.16			Greyish brown (2.5Y 5/2), sandy angular to subangular fine to coarse GRAVEL (MDT). (COLLUVIUM)
											10		5.45			Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Slightly sandy SILT with occasional angular to subangular fine gravel)
02/12/2004	NW										11	+12.15	6.00			End of Corehole at 6.00m.

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample ▨ SPT liner sample ▨ U64 undisturbed sample ▨ U76 undisturbed sample ▨ U100 undisturbed sample ▨ Mazier sample ▨ Piston sample ▨ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ▬ Standpipe tip ⊥ Standard penetration test ⊥ Pressuremeter test ⊥ Water absorption test or Permeability test ⊥ Sonic televiwer test ⊥ Impression packer test ⊥ In-situ vane shear test 	LOGGED DATE CHECKED DATE	T. C. Yip 18/12/2004 G. Whatmore 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
IC 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826509.62	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 9		N 825575.89	DATE	02/12/2004 to 03/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.20 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R. Q. D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
02/12/2004	NW			92								+12.20	0.00			
											NW	+12.04	0.25			Reddish grey (10R 6/1), angular BOULDERS (SDG) sized up to 250 mm. (MASONRY WALL)
											1	0.43 0.43 0.50	0.43			Light brown (7.5YR 6/4), dappled grey, angular to subangular COBBLES (MDT, cement mortar) with some concrete fragments. (MASONRY WALL)
											2	0.95 1.00				Firm, brown (7.5YR 5/4), slightly sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											3	1.45 1.50	+11.24	1.50		
											4	1.95 2.00			V	Extremely weak, greyish brown, dappled grey, completely decomposed coarse ash crystal TUFF. (Very silty fine to coarse SAND with some angular to subangular fine gravel)
											5	2.45 2.50				
											6	2.95 3.00				
											7	3.45 3.50				
											8	3.95 4.00				
											9	4.45 4.50	+9.31 +9.26	4.50 4.58		
				16	16	0	NR				NW	+8.99	5.00		IV	Very weak, greyish brown, highly decomposed coarse ash crystal TUFF. (Recovered as sandy angular COBBLES)
											NW	+8.93	5.08		V	From 4.58m to 5.00m : No recovery, inferring completely decomposed TUFF.
				16	0	0	NR				NW	+8.66	5.50			From 5.08m to 5.50m : No recovery, inferring completely decomposed TUFF.
																Wash boring.
03/12/2004	NW											+8.28	6.10			End of Corehole at 6.10m.

<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample □ SPT liner sample ▨ U64 undisturbed sample ▩ U76 undisturbed sample ▧ U100 undisturbed sample ▦ Mazier sample ▤ Piston sample ▣ Environmental Sample ▲ Water sample ◻ Piezometer tip ◻ Standpipe tip ⬆ Standard penetration test ⊖ Pressuremeter test ⊖ Water absorption test or Penneability test ⊖ Sonic televiewer test ⊖ Impression packer test ⊖ In-situ vane shear test 	LOGGED	T. C. Yip	REMARKS
	DATE	17/12/2004	
	CHECKED	G. Whatmore	
	DATE	22/12/2004	



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
COREHOLE RECORD

COREHOLE No.
IC 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
METHOD	Rotary	CO-ORDINATES	E 826503.41	WORKS ORDER No.	GE/2004/06.40
MACHINE & No.	HD 3		N 825579.64	DATE	04/12/2004 to 04/12/2004
FLUSHING MEDIUM	Water	GROUND LEVEL	+ 12.17 mPD	ORIENTATION/DIP	030°/40°

Drilling Progress	Casing Depth/Size	Water Depth (m)	Water Returns %	Total core Recovery %	Solid core Recovery %	R.O.D.	Fracture Index	F.I. Depths	Test Depths	Tests	Samples No Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
04/12/2004	NW			75								+12.17	0.00			
											1	NW 0.85 0.50	+11.98 +11.85	0.30 0.50		Reddish grey (10R 6/1), angular COBBLES (SDG cement mortar) with some subangular coarse gravel sized rock fragments and occasional concrete fragments. (MASONRY WALL)
											2	0.85 1.00				Greyish brown (2.5Y 5/2), silty fine to coarse SAND with some angular to subangular fine to medium gravel sized rock fragments. (COLLUVIUM)
											3	1.45 1.50	+11.21	1.50		Firm, greyish brown (2.5Y 5/2), sandy SILT with occasional subangular fine gravel sized rock fragments. (COLLUVIUM)
											4	1.95 2.00			V	Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Silty fine to coarse SAND with some angular fine gravel)
											5	2.45 2.50				
											6	2.85 3.00	+10.24	3.00	V	Extremely weak, greyish brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with occasional subangular fine gravel)
											7	3.45 3.50				
											8	3.95 4.00				
											9	4.45 4.50				
											10	4.95 5.00	+8.98	5.00	III	Moderately strong to strong, grey, dappled brown, spotted green and dark green, moderately decomposed coarse ash crystal TUFF.
				90	56	52	8.3 > 20	5.00 5.12 5.33				NW 5.50				Jointed, moderately strong to strong, grey, dappled brown, spotted green and dark green, moderately decomposed coarse ash crystal TUFF. Joints are very closely spaced to closely spaced, rough planar and rough stepped, extremely narrow to very narrow, manganese stained and iron stained.
04/12/2004	NW 6.00			92	44	20	> 20 8.7	5.60 5.70				NW 6.00	+8.31	6.00		End of Corehole at 6.00m.

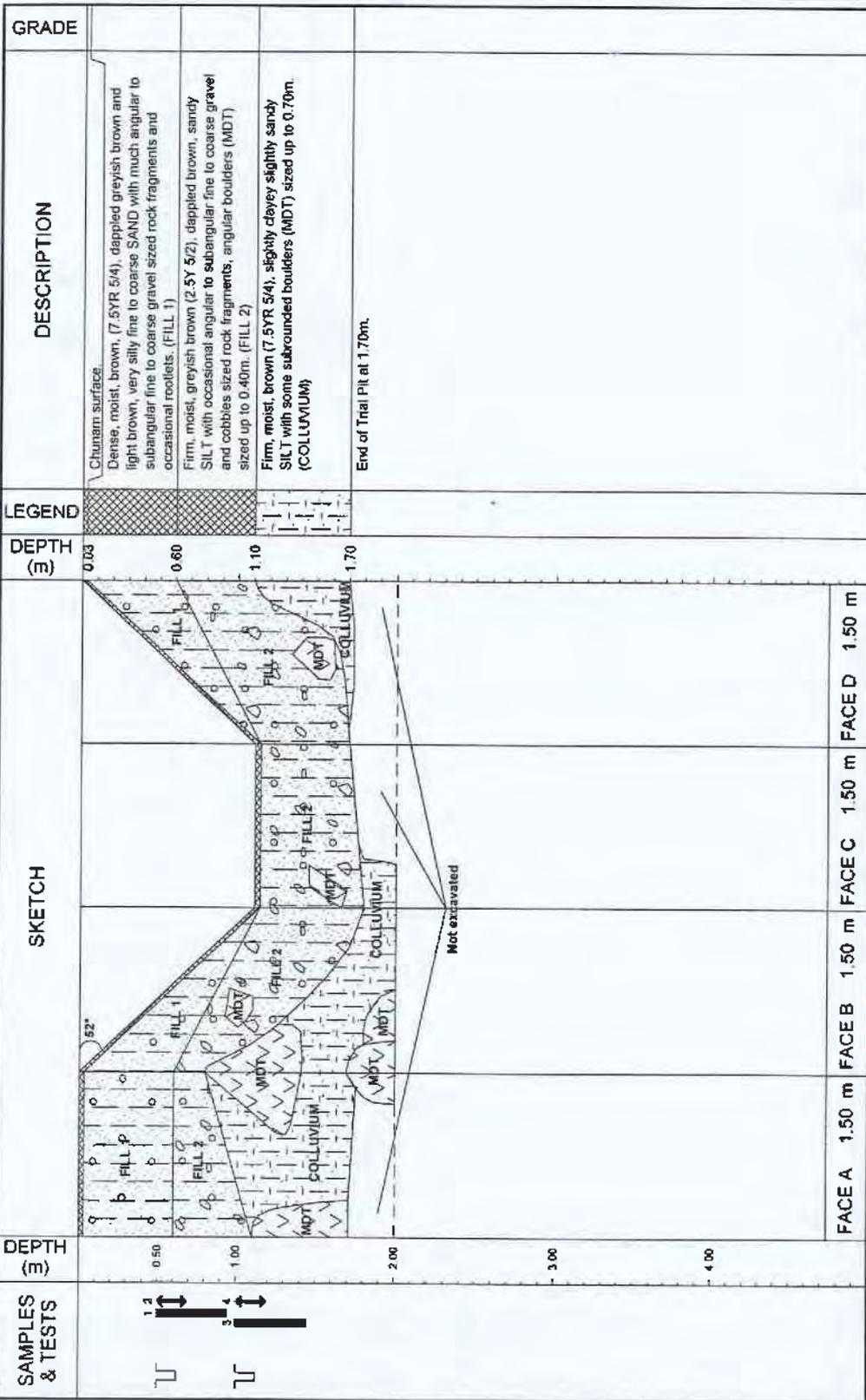
<ul style="list-style-type: none"> ● Small disturbed sample ○ Large disturbed sample ▨ SPT liner sample ▨ U64 undisturbed sample ▨ U76 undisturbed sample ▨ U100 undisturbed sample ▨ Mazier sample ▨ Piston sample ▨ Environmental Sample 	<ul style="list-style-type: none"> ▲ Water sample □ Piezometer tip ▬ Standpipe tip ⊕ Standard penetration test ⊖ Pressuremeter test ⊕ Water absorption test or Permeability test ⊖ Sonic televiewer test ⊕ Impression packer test ⊖ In-situ vane shear test 	LOGGED T. C. Yip DATE 18/12/2004 CHECKED G. Whatmore DATE 22/12/2004	REMARKS
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VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
TRIAL PIT RECORD

TRIAL PIT No.:
TP 1
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	09/12/2004	CO-ORDINATES	E 826501.95	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	14/12/2004		N 825582.05	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.80 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



CROSS SECTION

PLAN

REMARKS

1. Trial pit was dry during excavation.
2. Trial pit was stable during excavation.
3. Timber shoring over the full height.
4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m.
5. Large disturbed samples were taken at 0.50m and 1.00m.
6. In situ density tests were carried out at 0.50m and 1.00m.
7. MDT = Moderately decomposed TUFF.

SYMBOLS

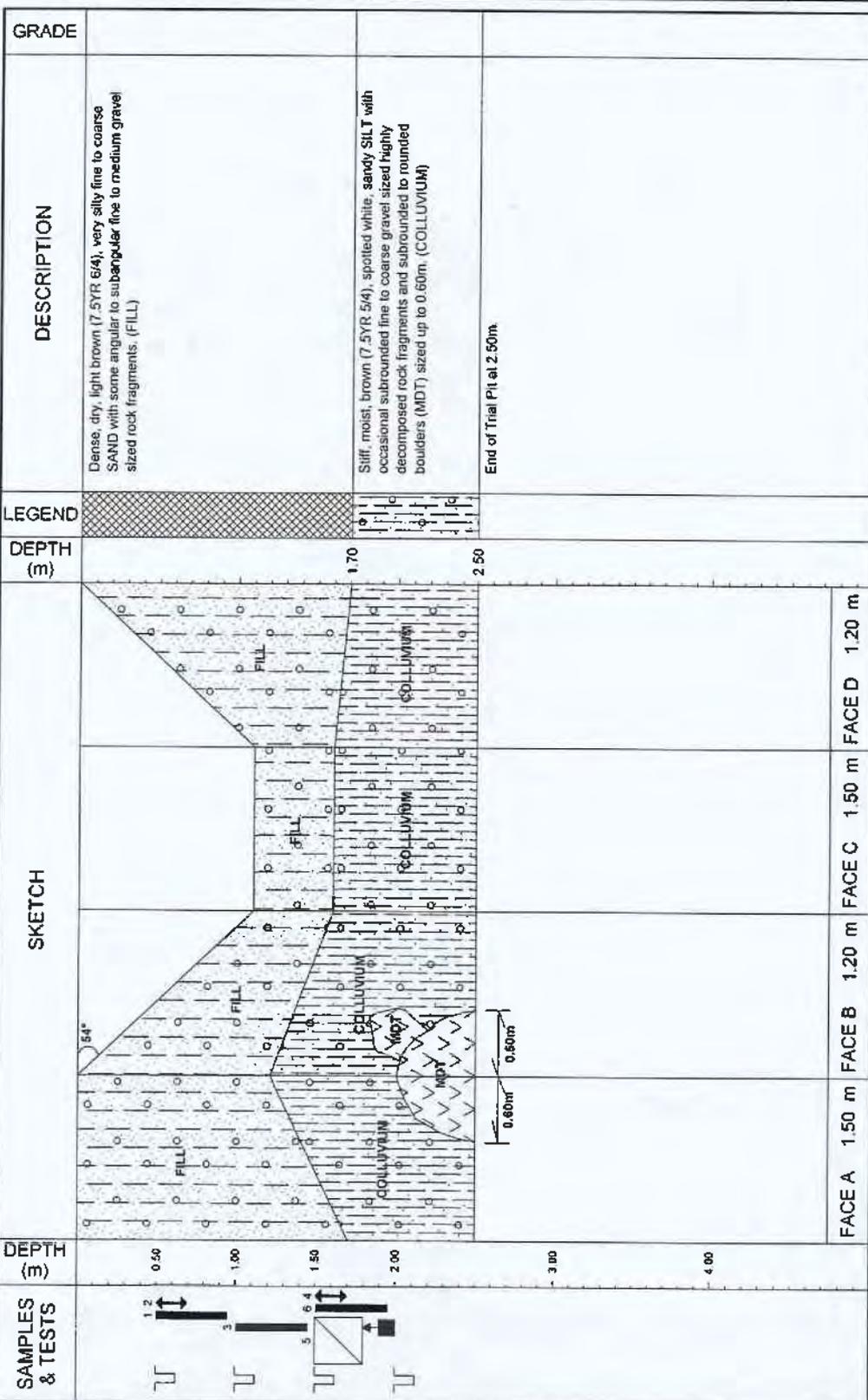
- Small disturbed sample
- Large disturbed sample
- Undisturbed horizontal sample
- Undisturbed vertical sample
- Block sample
- In situ density test
- Water seepage
- Water sample
- Standpipe tip
- Vane shear test
- Percolation test
- Environmental Sample



VIBRO (H.K.) LTD.
SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 2
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	30/11/2005	CO-ORDINATES	E 826506.88	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	04/12/2004		N 825578.99	LOGGED BY	T. C. Yip
BACKFILLED ON	17/12/2004	GROUND LEVEL	+ 14.54 mPD	DATE	14/12/2004
				CHECKED BY	G. Whatmore
				DATE	15/12/2004



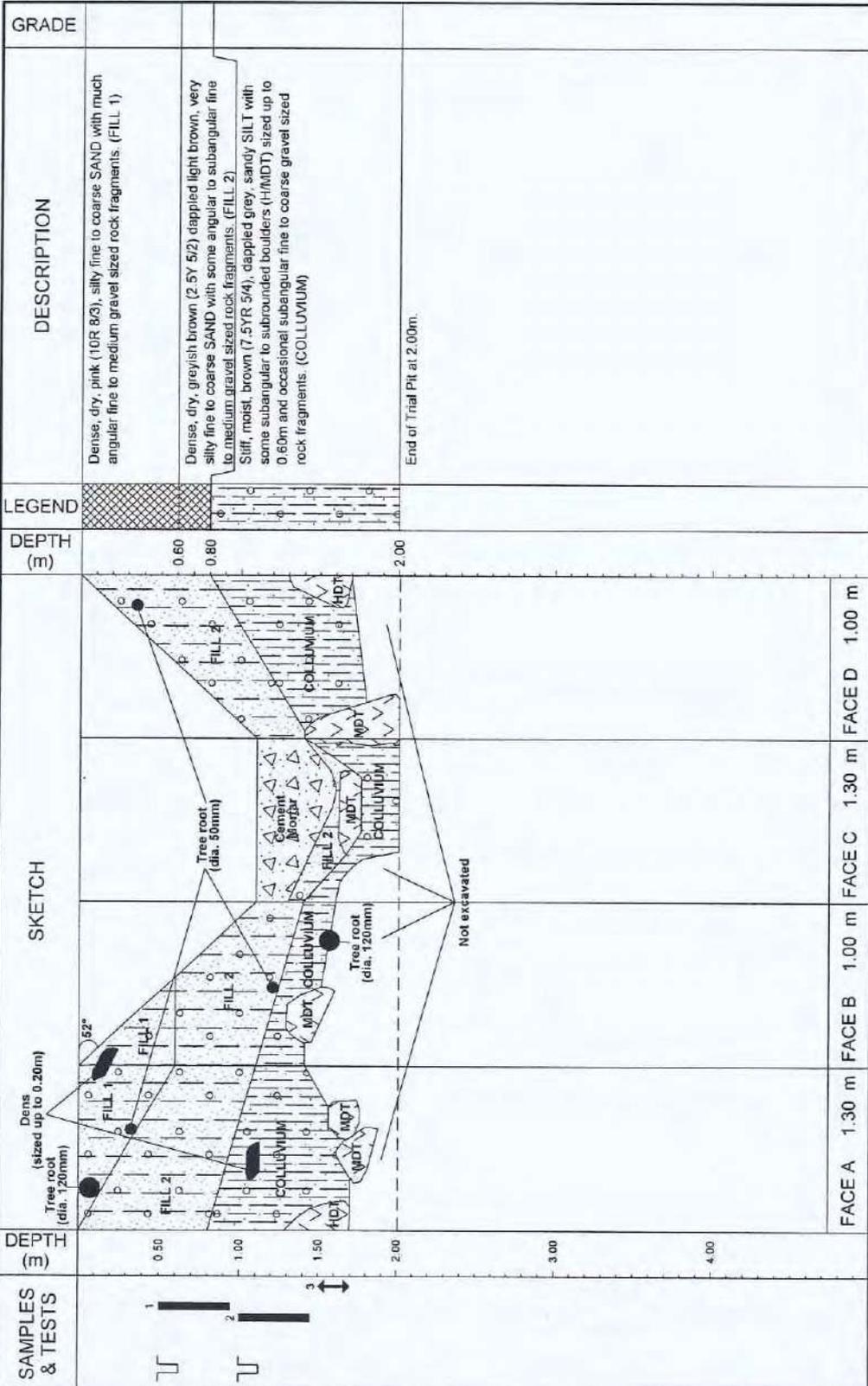
SYMBOLS	Small disturbed sample	REMARKS	CROSS SECTION
	Large disturbed sample		
Undisturbed horizontal sample	<ol style="list-style-type: none"> 1. Trial trench was dry during excavation. 2. Trial trench was stable during excavation. 3. Timber shoring over the full height. 4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m, 1.00m to 1.45m and 1.50m to 1.95m. 5. Large disturbed samples were taken at 0.50m and 1.00m. 6. In situ density tests were carried out at 0.50m, 1.00m, 1.50m and 2.00m. 7. A block sample was taken at 1.50m. 8. A standpipe was installed at 2.00m. 9. MDT = Moderately decomposed TUFF. 		
Undisturbed vertical sample			
Block sample			
In situ density test			
Water seepage			
Water sample			
Standpipe tip			
Vane shear test			
Percolation test			
Environmental Sample			



VIBRO (H.K.) LTD.
 SITE INVESTIGATION DEPARTMENT
TRIAL TRENCH RECORD

TRIAL TRENCH No.:
TP 3
 SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.			CONTRACT No.	GE/2004/06
EXCAVATION STARTED ON	02/12/2004	CO-ORDINATES	E 826512.16	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	06/12/2004		N 825575.52	LOGGED BY	T. C. Yip
				DATE	14/12/2004
BACKFILLED ON	18/12/2004	GROUND LEVEL	+ 14.46 mPD	CHECKED BY	G. Whatmore
				DATE	15/12/2004



CROSS SECTION

PLAN

REMARKS

1. Trial trench was dry during excavation.
2. Trial trench was stable during excavation.
3. Timber shoring over the full height.
4. Undisturbed vertical U100 samples were taken from 0.50m to 0.95m and 1.00m to 1.45m.
5. A large disturbed sample was taken at 1.50m.
6. In situ density tests were carried out at 0.50m and 1.00m.
7. MDT = Moderately decomposed TUFF.

SYMBOLS

- Small disturbed sample
- Large disturbed sample
- Undisturbed horizontal sample
- Undisturbed vertical sample
- Block sample
- In situ density test
- Water seepage
- Water sample
- Standpipe tip
- Vane shear test
- Percolation test
- Environmental Sample



VIBRO (H.K.) LTD.

SITE INVESTIGATION DEPARTMENT

TRIAL PIT No.:

TP 4

TRIAL PIT RECORD

SHEET 1 OF 1

LOCATION	Rose Villa, 309 Castle Peak Road, Ting Kau, N. T.		CONTRACT No.	GE/2004/06	
EXCAVATION STARTED ON	28/12/2004	CO-ORDINATES	E 826506.90	WORKS ORDER No.	GE/2004/06.40
EXCAVATION COMPLETED ON	29/12/2004		N 825576.33	LOGGED BY	T. C. Yip
				DATE	03/01/2005
BACKFILLED ON	15/01/2005	GROUND LEVEL	+ 11.26 mPD	CHECKED BY	G. Whatmore
				DATE	04/01/2005

GRADE	V	DESCRIPTION
		Concrete and tile surface. Dense, moist, dark brown (7.5YR 3/4), silty fine to coarse SAND with some angular fine to coarse gravel sized rock fragments. (FILL) Firm, moist, brown (7.5YR 5/4), sandy SILT with occasional subangular to subrounded fine to medium gravel sized rock fragments. (COLLUVIUM) Extremely weak, light grey dappled light brown, completely decomposed coarse ash crystal TUFF. (Sandy SILT with some angular fine gravel) From 0.30m to 0.50m and base: Moderately strong to strong, grey, dappled light brown and brown, moderately decomposed coarse ash crystal TUFF. Joints are medium spaced, rough planar, extremely narrow, iron and manganese stained, dipping 250°/40° and 310°/70°. End of Trial Pit at 0.50m.
<p>LEGEND</p>		
<p>DEPTH (m)</p> <p>0.12 0.20 0.30 0.50</p>		
<p>SKETCH</p>		
<p>FACE A 1.20 m FACE B 1.00 m FACE C 1.20 m FACE D 1.00 m</p>		
<p>DEPTH (m)</p> <p>- 1.00 - 2.00 - 3.00 - 4.00</p>		
<p>SAMPLES & TESTS</p>		

CROSS SECTION	
PLAN	
REMARKS	<ol style="list-style-type: none"> 1. Trial pit was dry during excavation. 2. Trial pit was stable during excavation. 3. No shoring. 4. CDT = Completely decomposed TUFF. 5. MDT = Moderately decomposed TUFF.
SYMBOLS	<ul style="list-style-type: none"> Small disturbed sample Large disturbed sample Undisturbed horizontal sample Undisturbed vertical sample Block sample In situ density test Water seepage Water sample Standpipe tip Vane shear test Percolation test Environmental Sample



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **1** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 826668.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION	Vertical
		GROUND LEVEL	4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
18/02/2003	PX							INSPECTION PIT	4.48	0.50			Dark brown (7.5YR 3/3) spotted yellowish brown, silty fine to coarse SAND with much angular fine to coarse gravel sized concrete and moderately strong rock fragments. (FILL)
										1.00			Brown (7.5YR 5/3) spotted orange and dark grey, silty fine to coarse SAND with much angular to subangular fine to coarse gravel sized brick, cement grout and occasional moderately strong rock fragments. (FILL)
									2.98	2.00			Greenish grey (GLE1 5/1) dappled yellowish brown and white, angular to subangular COBBLE with some fine to coarse gravel and occasional boulder sized quartz and strong to moderately strong granite and tuff fragments. (FILL)
	PX 3.40 HX							T2101		2.70			From 2.70m to 3.03m : Boulder sized strong tuff fragments.
								T2101		3.40			
								T2101	0.98	4.00			From 3.90m to 4.00m : Silty fine to coarse sand with some angular fine to medium gravel sized quartz and rock fragments.
													Yellowish brown (10YR 5/6) spotted white and green, silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments. (FILL)
									-0.12	5.10			Olive brown (2.5YR 4/4), silty clayey fine to coarse SAND with much subangular to subrounded fine to coarse gravel sized quartz and strong tuff fragments. (FILL)
									-1.22	6.20			Extremely weak, yellowish brown (10YR 5/4) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz fragments)
							18,23 19,15,18,14 N=66			6.65			Extremely weak, yellowish brown (10YR 5/5) mottled white and black, completely decomposed, fine to medium grained GRANITE with fractured quartz veins. (Silty fine to coarse SAND with some angular fine to coarse gravel sized quartz fragments)
									-2.12	7.10			Extremely weak, yellowish brown (10YR 5/5) dappled white, completely decomposed, fine to medium grained GRANITE. (Firm, sandy silty CLAY with occasional angular fine gravel sized quartz fragments)
		1.50m at 18:00							-3.22	8.20			Extremely weak, yellowish brown (10YR 5/5) dappled white, completely decomposed, fine to medium grained GRANITE. (Firm, sandy silty CLAY with occasional angular fine gravel sized quartz fragments)
18/02/2003 19/02/2003		2.40m at 08:00							-4.32	9.30			Extremely weak, yellowish brown (10YR 5/4) spotted white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional angular fine gravel sized
							9,8 12,14,21,27 N=74			9.75			

- SMALL DISTURBED SAMPLE
- ⬆️ LARGE DISTURBED SAMPLE
- ▬ SPT LINER SAMPLE
- ▨ U75 UNDISTURBED SAMPLE
- ▩ U100 UNDISTURBED SAMPLE
- ▧ MAZIER SAMPLE
- ▩ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- ⬆️ STANDPIPE
- ⬆️ STANDARD PENETRATION TEST
- ⬆️ PERMEABILITY TEST
- ⬆️ IMPRESSION PACKER TEST
- ⬆️ IN-SITU VANE SHEAR TEST
- ⬆️ PACKER TEST

LOGGED K.M. To
 DATE 24/02/2003
 CHECKED James Lu
 DATE 25/02/2003

REMARKS
 1. Piezometer tip was installed at a depth of 29.40m with piezometer bucket (7 nos.) from the depth of 0.50m to 3.50m at 0.50m intervals.



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **2** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tsang Village Sewerage Schemes Ground Investigation**

METHOD	Rotary Cored	CO-ORDINATES	WORKS ORDER NO. GE/2001/14.57
MACHINE & NO.	DR128	E 826446.58 N 825568.57	DATE FROM 18/02/2003 TO 22/02/2003
FLUSHING MEDIUM	Air Foam	ORIENTATION Vertical	GROUND LEVEL 4.98 mPD

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
	HX		90					17	-5.22	10.20		V	quartz fragments) Extremely weak, brown (10YR 4/3) mottled white and black, completely decomposed, fine to medium grained GRANITE. (Firm, slightly sandy CLAY with much angular fine to coarse gravel sized quartz fragments)
			91	0	0	NI NA		18	-6.32	11.30		V/IV	Extremely weak to very weak, brown (10YR 5/3) dappled white, completely to highly decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some fine to medium gravel sized quartz and rock fragments)
			95					19	-7.62	12.00		V	From 11.30m to 11.50m : With much subangular fine to coarse gravel sized quartz fragments. Extremely weak, yellowish brown (10YR 5/8) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
			92				4.7 8.11,13,15 #47	20		13.10			
								21		13.55			
			92					22		14.00			
			92					23	-9.02	14.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
							20.23 25.27,34,142 #77mm (100bs/250mm)	24		15.10			
								25		15.50			
								26		16.00			
			92					27		16.00			
							20.21/75mm 47.53/45mm (100bs/120mm)	28	-12.12	17.10		V	Extremely weak to very weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with occasional subangular fine gravel sized quartz fragments)
								29		17.37			
			95					31	-13.02	18.00		V	Extremely weak to very weak, yellowish brown (10YR 5/5) spotted white and green, completely decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some angular fine gravel sized quartz and rock fragments)
			95					32		19.10			
								33	-14.12	19.10		V	Extremely weak, yellowish brown (10YR 5/4) mottled white, completely decomposed, fine to medium grained GRANITE. (Slightly clayey, silty fine to coarse SAND with occasional fine gravel sized quartz and feldspar fragments)

- ◆ SMALL DISTURBED SAMPLE
- ▲ WATER SAMPLE
- ↑ LARGE DISTURBED SAMPLE
- ▲ PNEZOMETER TIP
- SPT LINER SAMPLE
- ▲ STANDPIPE
- ▨ U76 UNDISTURBED SAMPLE
- ▲ STANDARD PENETRATION TEST
- U100 UNDISTURBED SAMPLE
- ⊥ PERMEABILITY TEST
- ▨ MAZIER SAMPLE
- ∩ IMPRESSION PACKER TEST
- ▨ PISTON SAMPLE
- ∩ IN-SITU VANE SHEAR TEST
- ⊥ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **3** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tsang Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

E 826446.58

DATE FROM **18/02/2003** TO **22/02/2003**

N 825568.57

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
18/02/2003 20/02/2003	HX	1.80m at 18:00 2.40m at 08:00											See sheet 2 of 5 for details.
21			24	0	0	NI	150/60mm 100/70mm (100lbs/70mm)	34	-15.22	20.20		V/IV	Extremely weak to very weak, yellowish brown (10YR 5/4) spotted white, completely to highly decomposed, fine to medium grained GRANITE. (Silty fine to coarse SAND with some subangular fine to medium gravel sized quartz and rock fragments)
22			50	25	0	15.0		T2(O)	-15.92	20.90		III/IV	Moderately weak, yellowish brown spotted white, moderately to highly decomposed, fine to medium grained GRANITE. Joints are very closely spaced, smooth undulating and rough planar, extremely narrow to very narrow, iron and manganese oxide stained, soil (<1mm thick) infilled, locally kaolin (<0.5mm thick) infilled, dipping at 0° to 10°, 10° to 20° and 50° to 60°.
23			80						-16.62	21.60		V/IV	From 20.90m to 21.60m: Highly fractured with some medium gravel sized quartz fragments from 20.90m to 21.05m.
24			30	0	0	NI		T2(O)	-17.22	22.20		III/IV	From 21.60m to 22.20m: No core recovered, assumed to be completely to highly decomposed granite.
25			40	0	0	NI			-17.82	22.80		V/IV	No core recovered, assumed to be completely to highly decomposed GRANITE.
26			95				50/50mm 100/50mm (100lbs/50mm)	36	-18.02	23.00		IV/V	Weak to very weak, yellowish brown (10YR 5/5) spotted brown and white, highly to completely decomposed, fine to medium grained GRANITE. (Slightly sandy angular fine to coarse GRAVEL with some cobble sized moderately weak rock fragments)
27			82						-18.12	24.10		III/IV	Moderately weak, yellowish brown, locally spotted white, moderately to highly decomposed, highly fractured, fine to medium grained GRANITE.
28									-18.24	24.22		V/IV	From 24.12m to 24.22m: With some subangular coarse gravel sized quartz fragments.
29									-19.52	24.50		III/IV	From 24.22m to 24.50m: No core recovered, assumed to be completely to highly decomposed granite.
30									-19.64	24.62		V/IV	No core recovered, assumed to be completely to highly decomposed GRANITE.
									-19.82	24.80		V/IV	Very weak, yellowish brown (10YR 5/4) mottled brown, completely to highly decomposed, fine to medium grained GRANITE. (Slightly silty fine to coarse SAND with much angular fine to coarse gravel sized weak and moderately weak rock fragments)
										25.90			From 24.80m to 25.90m: With some cobble sized moderately weak rock fragments.
										26.80			
										27.90			
										28.00			
										28.00			
										29.90			
									-24.52	29.90			

- SMALL DISTURBED SAMPLE
- ◻ LARGE DISTURBED SAMPLE
- ◻ SPT LINER SAMPLE
- ◻ U70 UNDISTURBED SAMPLE
- ◻ U100 UNDISTURBED SAMPLE
- ◻ MAZIER SAMPLE
- ◻ PISTON SAMPLE
- △ WATER SAMPLE
- ▲ PIEZOMETER TIP
- ◻ STANDPIPE
- ◻ STANDARD PENETRATION TEST
- ◻ PERMEABILITY TEST
- ◻ IMPRESSION PACKER TEST
- ◻ IN-SITU VANE SHEAR TEST
- ◻ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS



GEOTECHNICS & CONCRETE ENGG. (H.K.) LTD.
GROUND INVESTIGATION DEPARTMENT

HOLE NO. **DH3**
 SHEET **5** OF **5**

DRILLHOLE RECORD

CONTRACT NO. **GE/2001/14**

PROJECT **Ting Kau and Sham Tseng Village Sewerage Schemes Ground Investigation**

METHOD **Rotary Cored**

CO-ORDINATES

WORKS ORDER NO. **GE/2001/14.57**

MACHINE & NO. **DR128**

E 826446.58

DATE FROM **18/02/2003** TO **22/02/2003**

N 825568.57

FLUSHING MEDIUM **Air Foam**

ORIENTATION **Vertical**

GROUND LEVEL **4.98 mPD**

Drilling Progress	Casing size	Water level (m) & Time	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description
													<p>moderately decomposed. From 34.50m to 34.70m : A sandy clay (<5mm thick) infilled joint, dipping at 60° to 70°. From 34.74m to 34.81m : Moderately strong and moderately decomposed. From 36.40m to 36.53m : Coarse grained granite. From 36.66m to 36.93m : With some randomly orientated calcite filled microfractures. From 37.20m to 38.53m : Sheared and slightly chloritized. From 37.33m to 37.49m : Moderately weak and moderately to highly decomposed. From 37.49m to 37.71m : Moderately strong and moderately decomposed. From 38.10m to 38.31m : A sheared plane, dipping at 60° to 70°. Hole completed at 38.53m.</p>

- ▲ SMALL DISTURBED SAMPLE
- ▲ WATER SAMPLE
- ▲ LARGE DISTURBED SAMPLE
- ▲ PIEZOMETER TIP
- ▲ SPT LINER SAMPLE
- ▲ STANDPIPE
- ▲ U76 UNDISTURBED SAMPLE
- ▲ STANDARD PENETRATION TEST
- ▲ U100 UNDISTURBED SAMPLE
- ▲ PERMEABILITY TEST
- ▲ MAZIER SAMPLE
- ▲ IMPRESSION PACKER TEST
- ▲ PISTON SAMPLE
- ▲ IN-SITU VANE SHEAR TEST
- ▲ PACKER TEST

LOGGED **K.M. To**
 DATE **24/02/2003**
 CHECKED **James Lu**
 DATE **25/02/2003**

REMARKS

Appendix F

Records Retrieved from Lands Department (LandsD)



File ref. : GCMW 2/E1/6SE-D/FR57

To Chief Geotechnical Engineer (Slope Maintenance Section), Lands Department

GEO Checking Certificate for Slopes and Retaining Walls
(Ref. GEO/MW007/2013)

Agreement No. and Title : CE 31/2006 (GE), ENHANCED MAINTENANCE PROGRAMME
UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS -
INVESTIGATION, DESIGN AND CONSTRUCTION

Contract No. and Title : 10/LANDS/07, UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS

Appendix A : Certificate of Design and Completion/~~Stability Assessment*~~ of Slopes and Retaining Walls (Submitted by the Project or Maintenance Department/Office or their Consultants) (Feature No. 6SE-D/FR57)

-
1. I confirm that the design/~~stability assessment*~~ of the geotechnical features included in the Certificate of Design and Completion/~~Stability Assessment*~~ of Slopes and Retaining Walls as given in Appendix A has been found to be satisfactory under the Geotechnical Engineering Office's checking requirements.

Signed : 
(P.L.R. PANG)

Deputy Head of Geotechnical Engineering Office/Mainland
Civil Engineering and Development Department

Date : 4. 2. 2013

* Delete whichever is not applicable.

File ref. : GCMW 2/E1/6SE-D/R158

To Chief Geotechnical Engineer (Slope Maintenance Section), Lands Department

GEO Checking Certificate for Slopes and Retaining Walls
(Ref. GEO/MW008/2013)

Agreement No. and Title : CE 31/2006 (GE), ENHANCED MAINTENANCE PROGRAMME
UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS -
INVESTIGATION, DESIGN AND CONSTRUCTION

Contract No. and Title : 10/LANDS/07, UPGRADING/IMPROVEMENT WORKS TO
LANDS DEPARTMENT SLOPES IN THE TSUEN WAN AND
OUTLYING ISLANDS DISTRICTS

Appendix A : Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls (Submitted by the Project or Maintenance Department/Office or their Consultants) (Feature No. 6SE-D/R158)

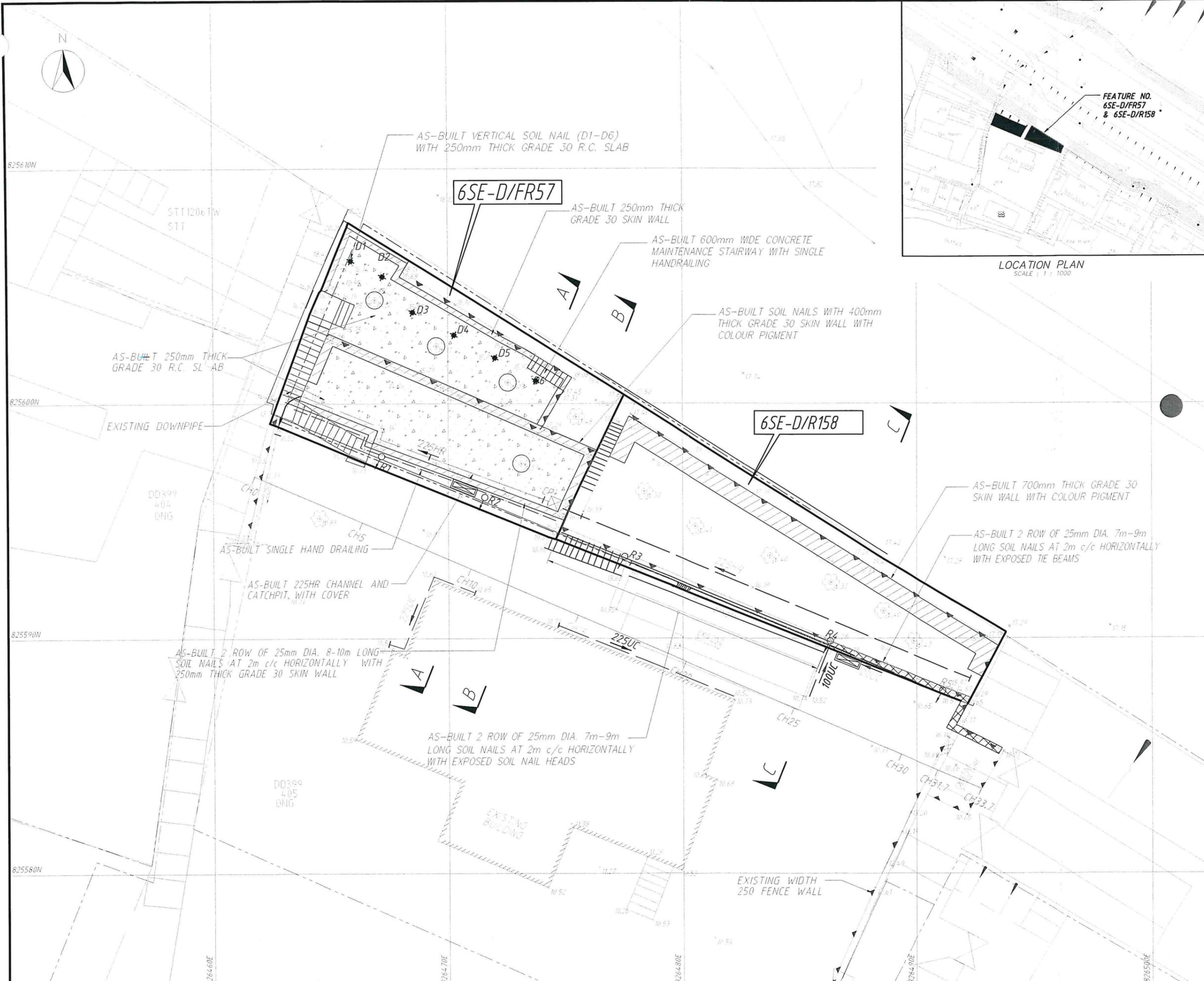
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1. I confirm that the design/~~stability assessment~~* of the geotechnical features included in the Certificate of Design and Completion/~~Stability Assessment~~* of Slopes and Retaining Walls as given in Appendix A has been found to be satisfactory under the Geotechnical Engineering Office's checking requirements.

Signed : 
(P.L.R. PANG)

Deputy Head of Geotechnical Engineering Office/Mainland
Civil Engineering and Development Department

Date : 4.2.2013

* Delete whichever is not applicable.



NOTES:
 1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 3. ALL LEVELS ARE IN METRES ABOVE P.D.

- LEGEND:**
- ADOPTED FEATURE BOUNDARY
 - FEATURE BOUNDARY IN SIS
 - EXISTING CONTOUR LINE
 - EXISTING GROUND LEVEL
 - EXISTING SLOPE
 - AS-BUILT SOIL NAILS
 - CH0 CH1 CHAINAGE (m)
 - SECTION MARK A-A
 - AS-BUILT SKIN WALL
 - 225UC AS-BUILT 225mm U-CHANNEL
 - 225HR AS-BUILT 225mm HALF ROUND CHANNEL
 - 225HR EXISTING 225mm HALF ROUND CHANNEL
 - AS-BUILT 5m LONG TYPE 3 RAKING DRAIN
 - AS-BUILT TIE BEAMS
 - AS-BUILT SINGLE HANDRAILING
 - AS-BUILT 250mm THICK GRADE 30 R.C. SLAB WITH BRUSHED FINISH
 - AS-BUILT CATCHPIT WITH COVER
 - AS-BUILT SLOPE REGISTRATION SIGN PLATE

Attachment 3

No.	Date	Description	Name, Post, company
		AS-BUILT DRAWING	CLB (SAF'S)

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.

10/LANDS/07

Drawing no.	Rev.	Scale
AS/414/01	0	1:150

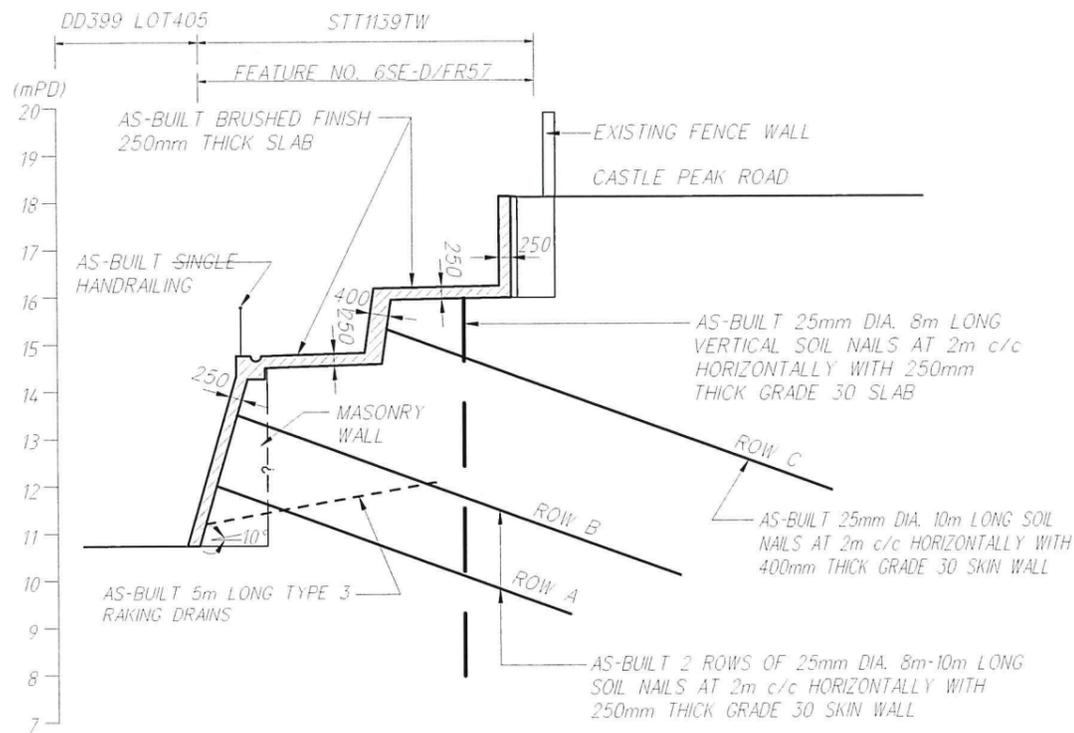
Drawing Title
 FEATURE NO. 6SE-D/FR57 & 6SE-D/R158
 TING KAU, NO. 311-313
 CASTLE PEAK ROAD
 PLAN OF WORKS (AS-BUILT)

Contractor
Fuk Shing Engineering Company Limited

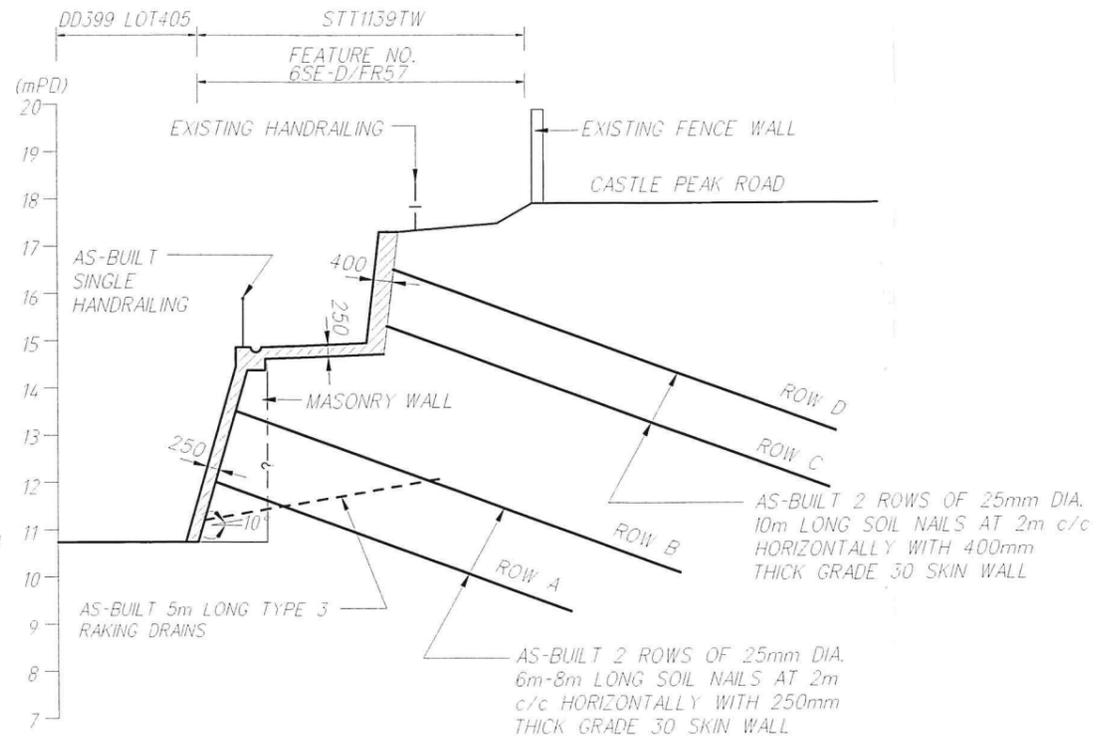
LANDS ADMINISTRATION OFFICE
 SLOPE MAINTENANCE SECTION



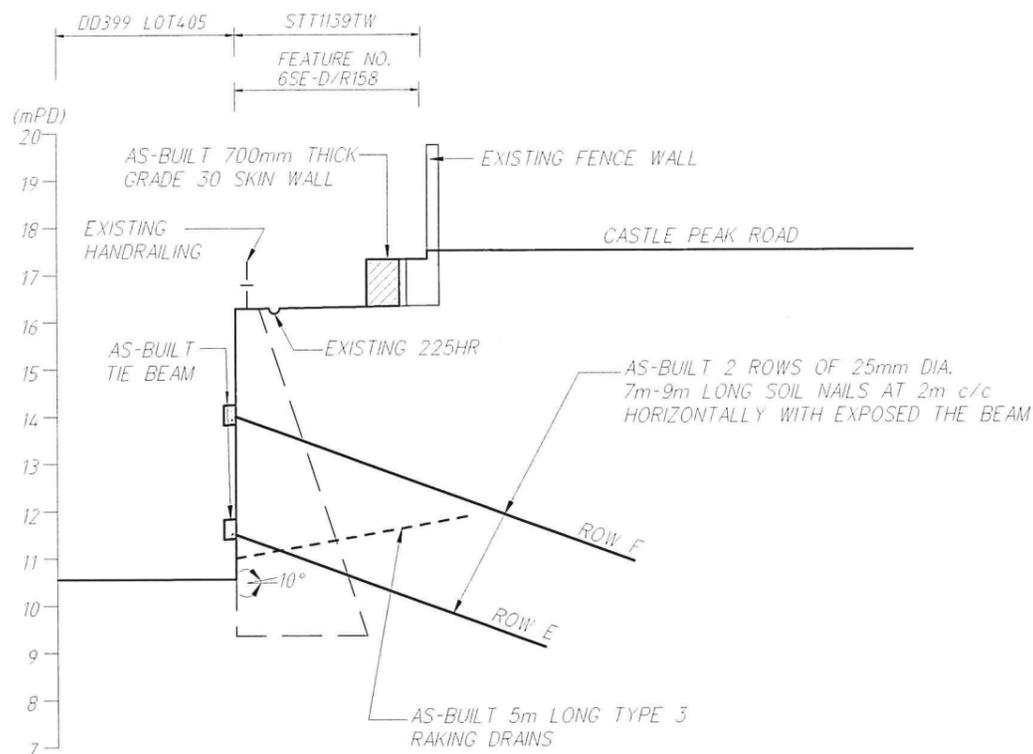
CAD File: Status:



SECTION A-A
SCALE 1:150



SECTION B-B
SCALE 1:150



SECTION C-C
SCALE 1:150

NOTES:

1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
3. ALL LEVELS ARE IN METRES ABOVE P.D.

No.	Date	AS-BUILT DRAWING Description	DLB (SA/FS) Name, Post, company

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.

10/LANDS/07

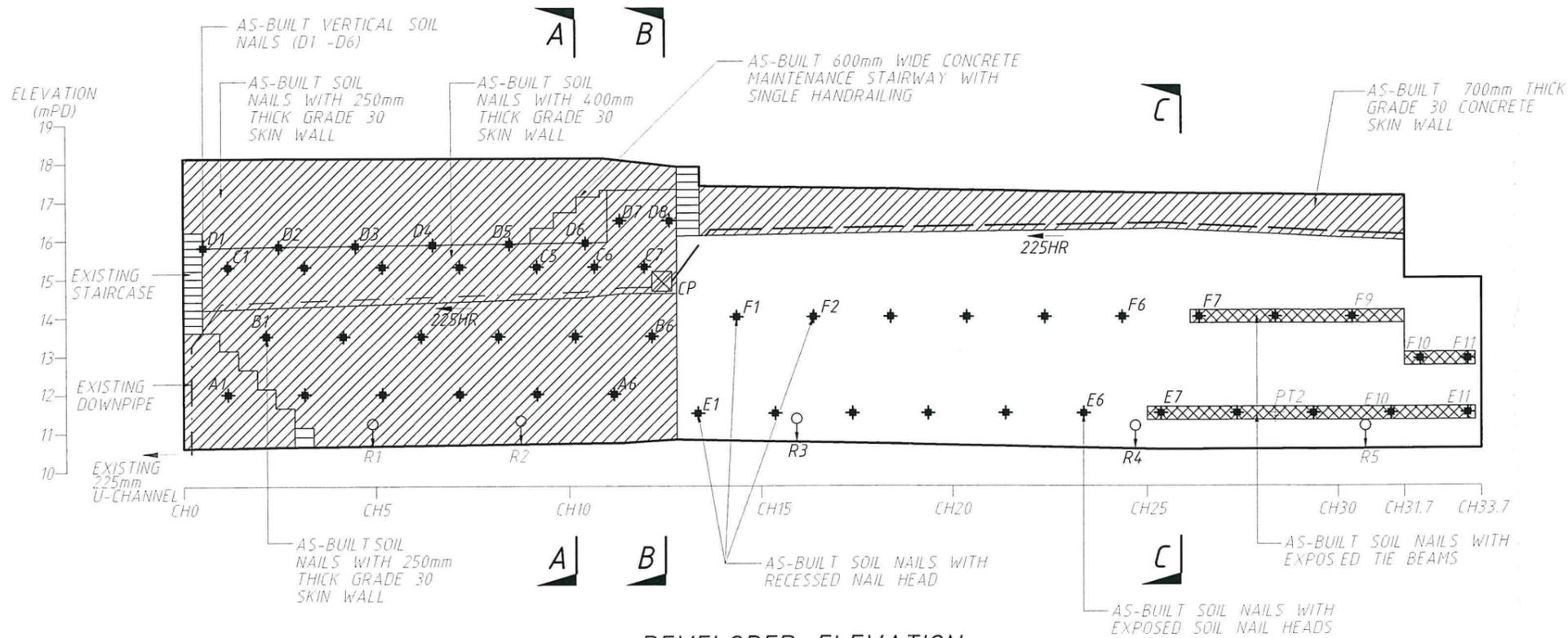
Drawing no.	Rev.	Scale
AS/414/02	0	1:150

Drawing Title
FEATURE NO.6SE-D/FR57 & 6SE-D/R158
TING KAU, NO.311-313
CASTLE PEAK ROAD
SECTIONS
(AS-BUILT)

Contractor
Fuk Shing Engineering
Company Limited

LANDS ADMINISTRATION OFFICE
SLOPE MAINTENANCE SECTION





DEVELOPED ELEVATION

SCALE 1:150

NOTES:

- THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS ARE IN METRES ABOVE P.D.

LEGEND:

- FEATURE BOUNDARY
- + + AS-BUILT SOIL NAILS
- AA SECTION MARK A-A
- CH0 CH1 CHAINAGE (m)
- EXISTING 225mm HALF ROUND CHANNEL
- 225HR AS-BUILT 225mm HALF ROUND CHANNEL
- EXISTING SLOPE
- AS-BUILT GRADE 30 SKIN WALL WITH COLOUR PIGMENT
- AS-BUILT BEAM GRADE 30 TIE BEAM
- R1 AS-BUILT 5m LONG TYPE 3 RAKING DRAIN
- CP AS-BUILT CATCHPIT WITH COVER

AS-BUILT SOIL NAIL SCHEDULE

SOIL NAIL NOS.	ELEVATION (mPD)	NO. OF NAILS	HORIZONTAL SPACING (m)	INCLINATION TO HORIZONTAL (DEG)	BAR DIAMETER (mm)	LENGTH (m)	DRILLHOLE DIAMETER (mm)	MIN. BOND LENGTH IN ROCK (m)	SOIL NAIL HEAD (mmxmmxmm)(LENGTHxWIDTH xTHICKNESS)	CASING (m)
A1-A6	+12.0	6	2	20	25	8	100	2	-	4
B1-B6	+13.5	6	2	20	25	10	100	2	-	5
C1-C5	+15.3	5	2	20	25	10	100	2	-	-
C6-C7	+15.3	2	1.3	20	25	10	100	2	-	-
D1-D6	+15.93	6	2	90	25	8	100	2	-	-
D7-D8	+16.5	2	1.3	20	25	10	100	2	-	-
E1-E6	+11.5	6	2	20	25	7	100	2	500x500x250 +	4
E7-E11	+11.5	5	2	20	25	7	100	2	-	5
F1-E6	+14.0	6	2	20	25	9	100	2	500x500x250 +	5
F7-F9	+14.0	3	2	20	25	9	100	2	-	5
F10-F11	+13.0	2	2	20	25	9	100	2	-	5

+ SEE STANDARD DRAWING C2522 (SOIL NAIL HEAD ON CONCRETE WALL SURFACE)

No	Date	Description	DLB (SAFS)	Name, Post, company

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.
10/LANDS/07

Drawing no. AS/414/03 Rev. 0 Scale 1:150

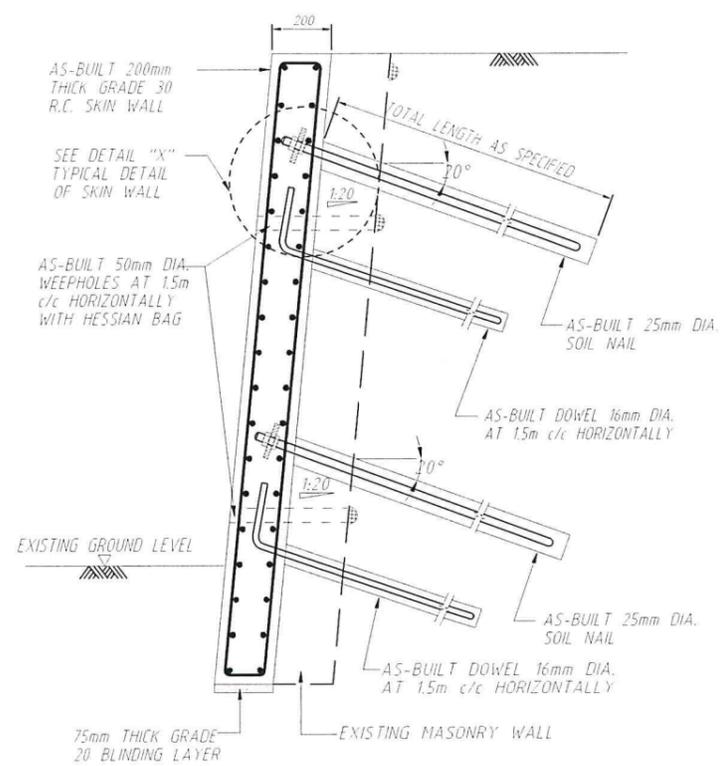
Drawing Title
FEATURE NO.6SE-D/FR57 & 6SE-D/R158 TING KAU, NO.311-313 CASTLE PEAK ROAD DEVELOPED ELEVATION (AS-BUILT)

Contractor
Fuk Shing Engineering Company Limited

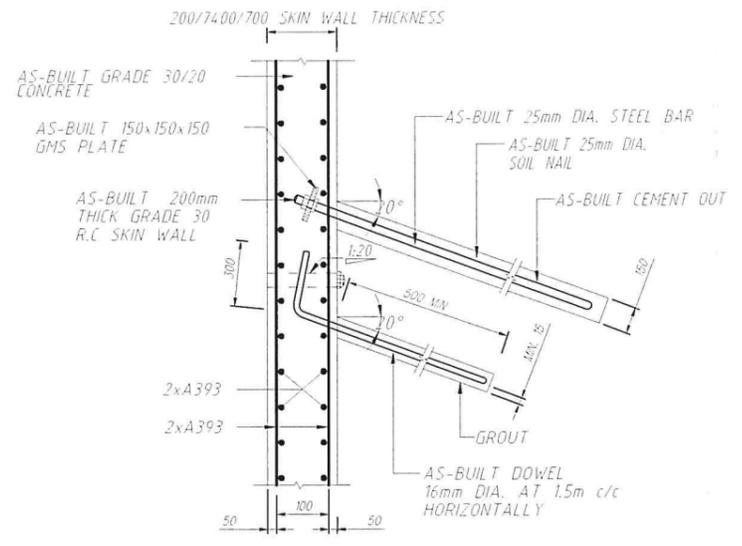
LANDS ADMINISTRATION OFFICE
SLOPE MAINTENANCE SECTION

地政總署
Lands Department

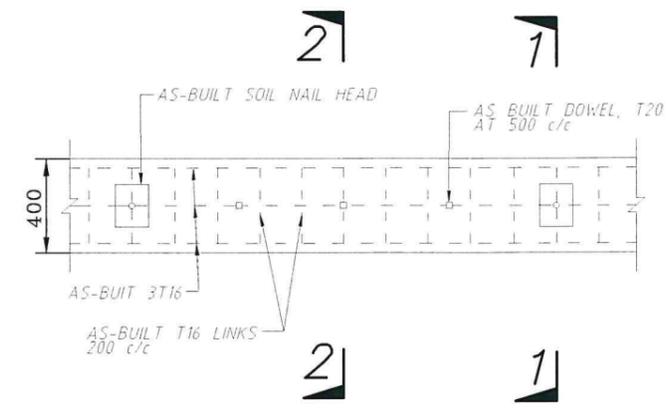
AECOM



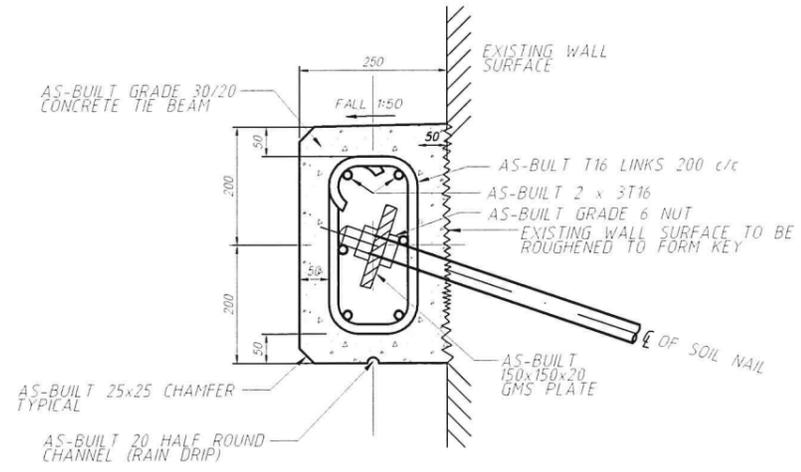
TYPICAL SECTION OF SKIN WALL
N.T.S.



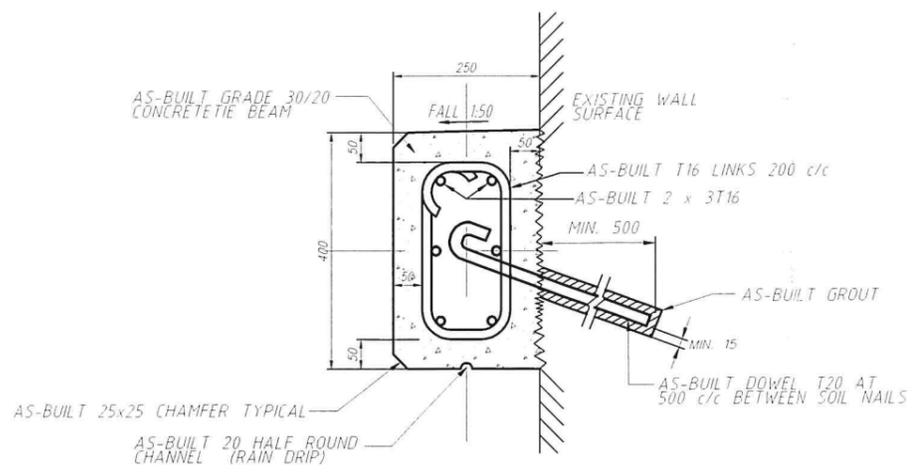
DETAIL "X"
N.T.S.



ELEVATION OF TIE BEAM
N.T.S.



SECTION 1-1
N.T.S.



SECTION 2-2
N.T.S.

- NOTES:**
1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
 2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 3. ALL LEVELS ARE IN METRES ABOVE P.D.
 4. ALL SOIL NAILS WITH DOUBLE CORROSION PROTECTION.

No	Date	Description	DLB (SA,FS)	Name, Post, company

Name	Company	Post	Date
Drawn	FS	Draftsman	
Checked	DEREK LAI	FS	SA

Contract No.
10/LANDS/07

Drawing no.	Rev.	Scale
AS/414/04	0	1:150

Drawing Title
**FEATURE NO.6SE-D/FR57 & 6SE-D/R158
TING KAU, NO.311-313
CASTLE PEAK ROAD
SKIN WALL & TIE BEAM DETAIL (AS-BUILT)**

Contractor
Fuk Shing Engineering Company Limited

**LANDS ADMINISTRATION OFFICE
SLOPE MAINTENANCE SECTION**

**地政總署
Lands Department**

AECOM

Similar Applications within the “Residential (Group C)” (“R(C)”) Zones in Tsuen Wan West

Approved Applications

	Application No.	Proposed Use(s)	Date of Consideration (MPC/TPB)	Approval Conditions
1.	A/TWW/68	Proposed House Development with Plot Ratio of 0.75 at “R(C)” zone and “Village Type Development” (“V”) zone	20.2.2004 (Approved with conditions by TPB on review)	(1) to (4)
2.	A/TWW/80	Proposed Residential Development (Houses) with Plot Ratio of 0.75	12.8.2005 (Approved with conditions by MPC)	(1), (3) to (7)
3.	A/TWW/92	Proposed one Additional Storey on an Existing House with Plot Ratio of 0.75	23.1.2009 (Approved with conditions by MPC)	(4) and (8)
4.	A/TWW/97	Proposed House Development at Plot Ratio of 0.73	6.11.2009 (Approved with conditions by MPC)	(1) and (4)
5.	A/TWW/100	Proposed House Development at Plot Ratio of 0.75	26.11.2010 (Approved with conditions by MPC)	(1), (4) and (7)
6.	A/TWW/101	Proposed House Development at Plot Ratio of 0.75	15.4.2011 (Approved with conditions by MPC)	(1), (4) and (7)
7.	A/TWW/103	Proposed House Development at Plot Ratio of 0.75	2.9.2011 (Approved with conditions by MPC)	(1), (4) and (7)
8.	A/TWW/105	Proposed House Development at Plot Ratio of 0.75	1.3.2013 (Approved with conditions by MPC)	(4) and (7)
9.	A/TWW/110	Proposed House Development at Plot Ratio of 0.75	18.1.2019 (Approved with conditions by MPC)	(1), (4) and (7)
10.	A/TWW/124	Proposed House Development with PR of 0.75 at “R(C)” zone and Minor Relaxation of BH Restriction in “V” zone	17.3.2023 (Approved with conditions by MPC)	(9) and (10)

11.	A/TWW/125	Proposed Minor Relaxation of PR Restriction at Plot Ratio of 0.75 for a Permitted House Development in “R(C)” Zone and Proposed Improvements to the Existing Access Road in “Green Belt” Zone and an area shown as ‘Road’	5.5.2023 (Approved with conditions by MPC)	(11)
12.	A/TWW/127	Proposed Minor Relaxation of Plot Ratio Restriction to 0.75 for Permitted House Development	27.10.2023 (Approved by MPC)	-
13.	A/TWW/131	Proposed Minor Relaxation of Plot Ratio Restriction to 0.75 for Permitted House Development	1.8.2025 (Approved with conditions by MPC)	(1), (3) and (12)

Approval Conditions

- (1) the design, provision and/or implementation of noise mitigation measures (as proposed in the application/Traffic Noise and Air Quality Impact Assessment/Noise Impact Assessment) to the satisfaction of the Director of Environmental Protection (DEP) or of the Town Planning Board (TPB).
- (2) the provision of interim on-site sewage treatment and disposal facilities for the proposed development and the connection to the public sewerage system in Sham Tseng Sewerage Treatment Works to the satisfaction of the DEP or of the TPB.
- (3) the design and provision of vehicular access to the application site (the Site) (from Ting Yat Road) to the satisfaction of the Commissioner for Transport or of the TPB.
- (4) the design and/or provision of an emergency vehicular access, water supplies for fire-fighting, fire-fighting facilities and/or fire service installations to the satisfaction of the Director of Fire Services or of the TPB.
- (5) the design and the provision of on-site sewage treatment and disposal facilities for the proposed development prior to the availability of the public sewerage system to the satisfaction of the DEP or of the TPB.
- (6) the design, provision and future connection and maintenance of the discharge pipe from the on-site sewage treatment plant to the proposed sewer along the Castle Peak Road before and after the availability of public sewerage system to the satisfaction of the Director of Drainage Services (D of DS) or of the TPB.
- (7) the submission and implementation of a tree preservation and/or landscape plan/proposal to the satisfaction of the Director of Planning (D of Plan) or of the TPB.
- (8) all the existing trees on the Site should be preserved and protected throughout the construction period to the satisfaction of the D of Plan or of the TPB.
- (9) the submission of an updated Drainage Impact Assessment for the proposed development and implementation of the drainage scheme identified therein to the satisfaction of the D of DS or of

the TPB.

- (10) the design and provision of the connection from the proposed development to the public sewerage system and the implementation of the mitigation measures identified in the Sewerage Impact Assessment to the satisfaction of D of DS or of the TPB.
- (11) the design and provision of re-aligned access road and slip road to Castle Peak Road, as proposed by the applicant, to the satisfaction of the Director of Highways or of the TPB.
- (12) the submission and implementation of a proposal for protection of water tunnels before commencement of works to the satisfaction of the Director of Water Supplies or of the TPB.

致：城規會

本人曾國威是汀九村原居民村代表，現特此來函，就有關 Lot 405 in D. D. 399 申請編號 A/TWW/134 准許屋宇發展。

就上述發展事宜，本村村民及本人無反對意見，希望在發展及建築期間，不會影響週邊住宅及村民日常生活，在動土及準備開工前希望聯係本人，聯絡電話：曾國威

祝貴處全人工作順利！



曾國威
汀九村村代表

2025-07-05

Seq 2

2

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 **The application no. to which the comment relates**

A/TWW/134 Received on 02/10/2025

意見詳情 (如有需要，請另頁說明)

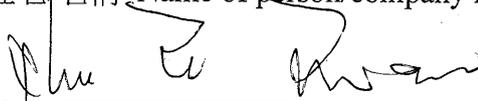
Details of the Comment (use separate sheet if necessary)

建築或施工期間，必須控制好噪音及泥塵，
切勿為鄰居帶來不便。如有工程車出入，要有
員工指導交通，確保行人安全。

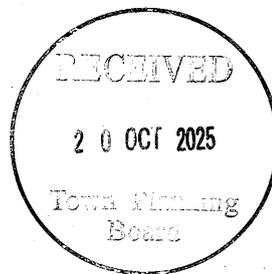
「提意見人」姓名/名稱 Name of person/company making this comment

朱其崑 (鄰居)

簽署 Signature



日期 Date



3

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

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有關的規劃申請編號 The application no. to which the comment relates

A/TWW/134 Received on 02/10/2025

意見詳情 (如有需要，請另頁說明)

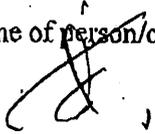
Details of the Comment (use separate sheet if necessary)

本人曾國威是汀九村原居民村代表，就上述地點有業主向規劃署申請擬議屋宇發展（地積比率為 0.75 倍），本人及本村村民對上述申請沒有反對議題，本人希望上述地點在動土及工程開始，如何處理廢料及交通問題，是否影響村民日常生活，因要向村民解釋，所以本人希望承辦商開工前聯絡本人。 聯繫電話 [REDACTED]。

祝貴署全人 工作順利！

「提意見人」姓名/名稱 Name of person/company making this comment 汀九村代表 曾國威

簽署 Signature



日期 Date

2025. 10. 23

Advisory Clauses

- (a) to notify the village representative of Ting Kau Village before commencement of construction as appropriate;
- (b) to ensure that the potential traffic, noise and dust nuisances from the construction will be properly controlled;
- (c) to note the comments of the District Lands Officer/Tsuen Wan and Kwai Tsing, Lands Department (LandsD) that:
 - (i) the proposed schematic design would only be examined in detail during the building plan (BP) submission stage. There is no guarantee that the schematic design in the subject planning application if reflected in future BP submission(s) will be acceptable under lease; and
 - (ii) the subject lot (the Lot) does not abut onto any road and the proposed development intensity should be subject to the Buildings Department's (BD's) comment;
- (d) to note the comments of the Head of the Geotechnical Engineering Office, Civil Engineering and Development Department that:

the proposed building works should be submitted to BD for approval as required under the provisions of the Buildings Ordinance (BO);

- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department that:

slope 6SE-D/FR203, which is currently maintained by his office, is located outside the application site (the Site) and next to the proposed development. Settlement monitoring point(s) may be installed on the slope during design and construction to avoid causing unnecessary damage to the slope due to the proposed construction works. Should there be any damage caused to the slope due to the proposed construction works, it should be reinstated to the prevailing standards and up to the satisfaction of his office at the developer's own cost;

- (f) to note the comments of the Chief Geotechnical Engineer/Slope Maintenance, LandsD that:

the proposed development shall not cause any adverse effect on the slope/retaining wall features abutting the Lot, namely 6SE-D/FR57 and 6SE-D/R158;

- (g) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department that:

- (i) approval of the planning application under Town Planning Ordinance does not imply approval of tree preservation/removal scheme under the lease. Comments and approval from the relevant authority on the tree works

concerned and/or compensatory/replacement planting proposal should be sought, where appropriate; and

- (ii) approval of the planning application does not imply approval of the site coverage of greenery requirements under BD's Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-152 and/or under lease. The site coverage of greening calculation should be submitted separately to BD for approval;
- (h) to note the comments of the Director of Fire Services that:
- (i) detailed fire services requirements will be formulated upon receipt of formal submission of general building plans; and
 - (ii) the emergency vehicular access (EVA) provision in the Site shall comply with the standard as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by BD; and
- (i) to note the comments of the Chief Building Surveyor/New Territories West, BD that:
- (i) before any new building works (including demolition, land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBW) under the BO. An Authorised Person should be appointed as the coordinator for the proposed building works in accordance with the BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and EVA in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at BP submission stage;
 - (iv) if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the application;
 - (v) for UBW erected on leased land, enforcement action may be taken by his department to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary building and are subject to the control of Part VII of the B(P)R; and
 - (vii) detailed checking under the BO will be carried out at BP submission stage.