

2025年 5月 2日

此文件在 收到，城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

2025 -05- 2 -

This document is received on 2025 -05- 2 -.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a ‘✓’ at the appropriate box 請在適當的方格內上加上‘✓’號

2500503

5/3

By hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/16-KTS/1071
	Date Received 收到日期	2025-05-2-

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址 : <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 – 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

青陽(大江埔)有限公司 Ching Yeung (Tai Kong Po) Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Allgain Land Planning Limited 全堅土地規劃有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址／地點／丈量約份及地段號碼 (如適用)	元朗錦田馬鞍崗第113約地段第1595號(部份) Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long
(b) Site area and/or gross floor area involved 涉及的地盤面積及／或總樓面面積	<p><input checked="" type="checkbox"/> Site area 地盤面積 1930 sq.m 平方米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Gross floor area 總樓面面積 908 sq.m 平方米 <input type="checkbox"/> About 約</p>
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 錦田南分區計劃大綱核准圖編號 S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture 「農業」
(f) Current use(s) 現時用途	現時是空置的 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

is the sole "current land owner" #& (please proceed to Part 6 and attach documentary proof of ownership). 是唯一的「現行土地擁有人」 #& (請繼續填寫第 6 部分，並夾附業權證明文件)。

is one of the "current land owners" #& (please attach documentary proof of ownership). 是其中一名「現行土地擁有人」 #& (請夾附業權證明文件)。

is not a "current land owner" #. 並不是「現行土地擁有人」 #。

The application site is entirely on Government land (please proceed to Part 6). 申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)" #. 根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」 #。

(b) The applicant 申請人 –

has obtained consent(s) of "current land owner(s)" #. 已取得 名「現行土地擁有人」 #的同意。

Details of consent of "current land owner(s)" # obtained 取得「現行土地擁有人」 #同意的詳情

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

published notices in local newspapers on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&

posted notice in a prominent position on or near application site/premises on
_____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&

sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[#]&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

others (please specify)
其他 (請指明)

Note: May insert more than one '✓' .

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years 擬議臨時貨倉（危險品倉庫除外）連附屬設施及相關的填土工程（為期3年） (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	1142	.....sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	788	.....sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	8	.....
Proposed domestic floor area 擬議住用樓面面積	0	.....sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	908	.....sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	908	.....sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Please refer to list of Structures

Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	0
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	0

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p>
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<p>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期</p>	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	
	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： <hr/> <hr/>
(e) Approval conditions 附帶條件	<hr/> <hr/> <p>Reason(s) for non-compliance: 仍未履行的原因： <hr/> <hr/> </p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年
	<input type="checkbox"/> month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

請參考附件的申請報告書及擬議發展的計劃細節

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Applicant 申請人 / Authorised Agent 獲授權代理人

Ms Hermose Chong

Manager

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) Member 會員 / Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他

on behalf of Allgain Land Planning Limited

代表

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

27/02/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
 - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
 - facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	元朗錦田馬鞍崗第113約地段第1595號(部份) Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long
Site area 地盤面積	1930 sq. m 平方米 <input type="checkbox"/> About 約 (includes Government land of 包括政府土地 0 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15 錦田南分區計劃大綱核准圖編號 S/YL-KTS/15
Zoning 地帶	Agriculture 「農業」
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years 擬議臨時貨倉（危險品倉庫除外）連附屬設施及相關的填土工程（為期3年）

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Non-domestic 非住用	908 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.47 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Domestic 住用	0	
(iii) Building height/No. of storeys 建築物高度／層數	Non-domestic 非住用	8	
	Domestic 住用	0	m 米 <input type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積		0	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	7	m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目		2	Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)
	Total no. of vehicle parking spaces 停車位總數	40.8 %	<input checked="" type="checkbox"/> About 約
	Private Car Parking Spaces 私家車車位	0	
	Motorcycle Parking Spaces 電單車車位	0	
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0	
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0	
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0	
	Others (Please Specify) 其他 (請列明)	0	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	1	
	Taxi Spaces 的士車位	0	
	Coach Spaces 旅遊巴車位	0	
	Light Goods Vehicle Spaces 輕型貨車車位	1	
	Medium Goods Vehicle Spaces 中型貨車位	0	
	Heavy Goods Vehicle Spaces 重型貨車車位	0	
	Others (Please Specify) 其他 (請列明)	0	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<hr/>		
Site Plan, Location Plan, Paved Ratio Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
預計輕型貨車進出流量報告		
<hr/>		
Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

根據《城市規劃條例》(第 131 章)

第 16 條遞交的許可申請

新界元朗錦田馬鞍崗第 113 約地段第 1595 號(部份)

擬議臨時貨倉 (危險品倉庫除外) 連附屬設施

及相關的填土工程 (為期 3 年)

申請報告書及擬議發展的計劃細節

目 錄

1. 擬議發展細節-----P.1
2. 申請原因-----P.2
3. 擬議發展計劃的各方面影響-----P.3-5

擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章) 第 16 條，提交有關新界元朗錦田馬鞍崗第 113 約地段第 1595 號(部份)的規劃申請，擬在上述地段申請為期三年的臨時貨倉 (危險品倉庫除外) 連附屬設施及相關的填土工程。
2. 申請地點位於元朗錦田錦河路附近，在《錦田南分區計劃大綱核准圖編號 S/YL-KTS/15》上劃為「農業」用途。
3. 申請地盤面積為約 1,930 平方米，上蓋總面積為 788 平方米，露天地方面積為 1,142 平方米，上蓋覆蓋率為 40.8% 。
4. 申請地點將設有八個構築物，用途及面積請參考附件的 List of Structures 。
5. 申請地點涉及約 1600 平方米的填土工程，高約不超過 0.2 米，主要用作固定構築物和上落貨車輛停泊及掉頭用途；在早前在已獲批的規劃申請： A/YL-KTS/991 的時候已進行填土工程，填土物料為混凝土。
6. 申請地點涉及 1 個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。
7. 擬議用途主要用作一層高的臨時倉庫 (不含危險品庫) 存放貨品以及附屬辦公室，主要存放五金零件及五金工具。
8. 擬議倉庫預計每天上班人數為 3-4 人。
9. 申請地點可從錦田錦河路經一條鄉村地區道路前往。
10. 擬議發展的營運時間為星期一至星期六上午九時至下午六時，公眾假期除外。
11. 在營運時間內，送貨司機或客戶需預先電話查詢，看現場是否有空置的臨時上落貨車位，才能前來送貨或取貨，基本上貨倉不會對外開放，沒有訪客，沒有預約的人不能前往貨倉。

申請原因

1. 申請地點是「農業」地帶，而擬議用途為臨時貨倉（危險品倉庫除外）連附屬設施及相關的填土工程（為期 3 年），申請用途不屬「農業」的第一或第二欄用途，因此申請人需向城規會申請規劃許可。
2. 由於政府要落實元朗南及洪水橋發展計劃大綱圖的發展，並已對部份土地進行收地，此舉嚴重影響了一些「露天貯物及港口後勤用途」的用地。由於近年來倉庫的需求不斷增加，申請人提交這申請，同時也在回應業界對另覓土地繼續發展「露天貯物及港口後勤用途」的需求，申請人希望將該地塊用作倉庫，以支援本地倉庫儲存業務。
3. 雖然該場地屬於「農業」地帶，但該場地內多年來都沒有活躍的農業用途，申請地點周圍也被露天倉庫和一些臨時構築物及寮屋包圍，因此擬議的開發被認為與週邊地區並不衝突。因此，暫時批准這個為期三年的臨時申請可以更好地利用荒廢農地，不會損害「農業」地帶的長遠規劃意向。
4. 申請地點現時獲批准作動物寄養所，但因政府收地對倉庫的需求增加，因此申請人重新向城規會申請貨倉用途。
5. 擬議發展只是臨時三年的性質，城市規劃委員會曾批准申請地點附近的地段作相同用途（參考規劃申請編號：A/YL-KTS/997、A/YL-KTS/1020 等），因此申請人懇請城市規劃委員會對本申請作出相同的對待。
6. 申請用途不會破壞土地上的一草一木，與鄰近的「CA」地帶也設置 5 米的緩衝區。
7. 擬議發展涉及填土範圍，用作固定構築物及車輛掉頭用途，不會破壞天然環境，不會砍伐樹木，不會對周邊地區及環境帶來負面影響。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界元朗錦田馬鞍崗第 113 約地段第 1595 號(部份)作為期不超過三年的擬議臨時臨時貨倉（危險品倉庫除外）連附屬設施及相關的填土工程。

擬議發展計劃的各方面影響

1. 土地行政

申請地點涉及一個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及 8 個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從錦田錦河路經鄉村地區道路前往，入口設有約 4 米闊的大閘讓車輛駛進申請地點。

3. 擬議發展的交通安排

- 申請用途只提供一個輕型貨車的上落車位，不設任何停泊車位。
- 擬議倉庫將會採用預約模式運作，客人或司機需要提前電話預約才能前往申請地點。
- 申請人會在營業時間內安排職員負責管理申請地點的出入口車輛流量管制，每次有訪客車輛或送貨車輛要進入申請地點時，都需預先 30 分鐘通知該職員，等職員視察現場後，確保申請地點內有空置車位，才通知司機可以在指定時間內進入申請地點，而該職員亦會站在申請地點的出入口協調車輛出入，指揮交通，確保不會有車輛排隊阻塞出入口或周邊地方。
- 申請人會在營業時間內，安排職員負責管理申請地點出入口的交通，並會在申請地點的入口安裝車輛出入感應警報器。每當有車輛靠近申請地點出入口時，警報器會發出聲響，提醒周邊行人這裡將有車輛出入，叫他們注意路面交通。

4. 環境方面

申請人會按照環保署對臨時倉庫的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時倉庫，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時倉庫，只會在營業時間內上班。

7. 排污方面

申請用途涉及一個流動洗手間(位於構築物 7 內)，申請地點不會興建任何化糞池，申請人會租用流動洗手間供訪客和職員使用，並安排清潔公司每星期前來清潔 1-2 次，以確保衛生。



8. 渠務方面

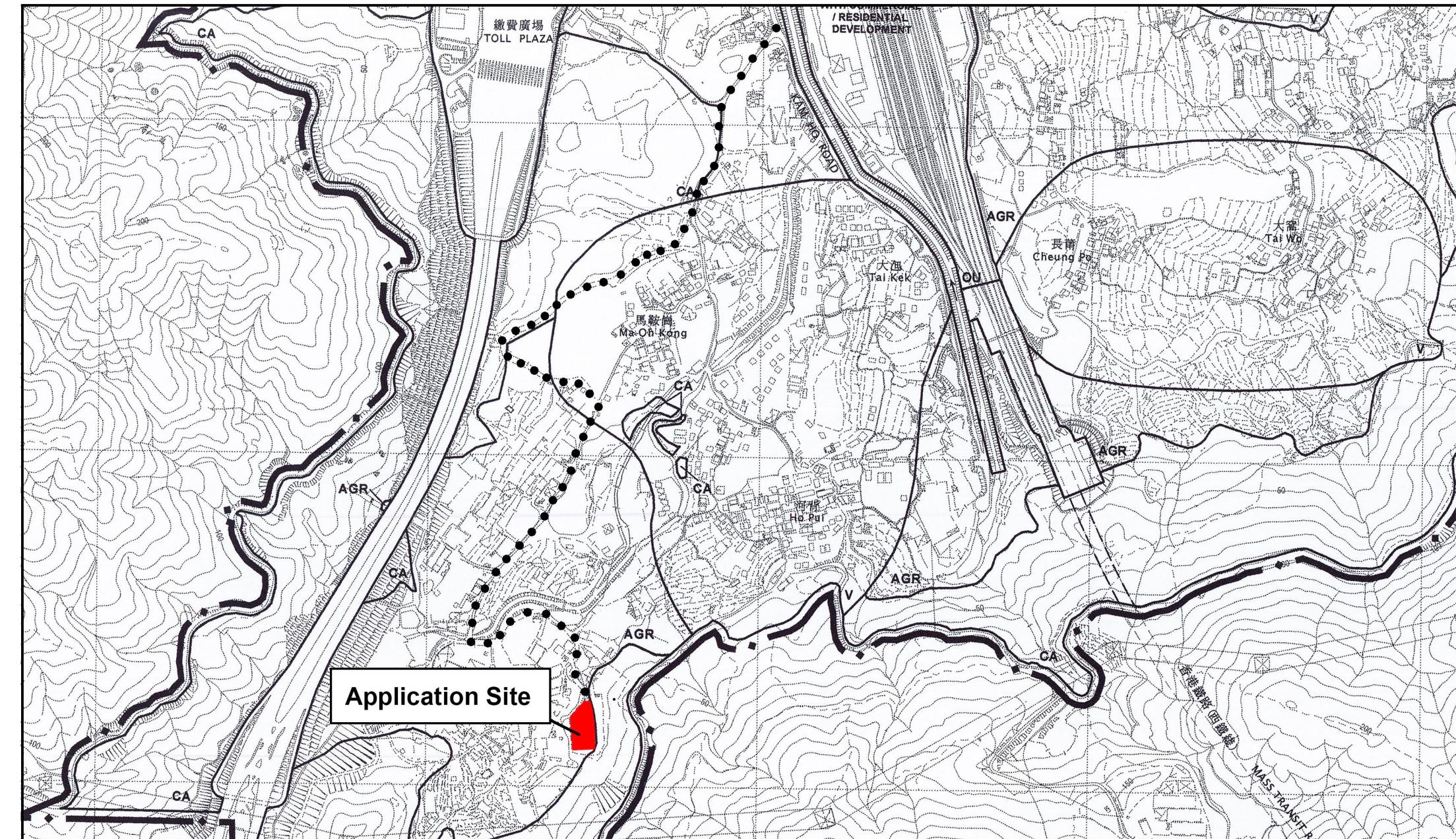
申請人會按照渠務處的指引和要求建造雨水排水渠，不會影響周邊環境。

9. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，
並承諾在規劃許可到期後，還原申請地點。

懇請城市規劃委員會寬大批准新界元朗錦田馬鞍崗第 113 約地段第 1595 號(部份)作為期不超過三年的臨時貨倉 (危險品倉庫除外) 連附屬設施及相關的填土工程。



Project 項目名稱:

Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land at Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long

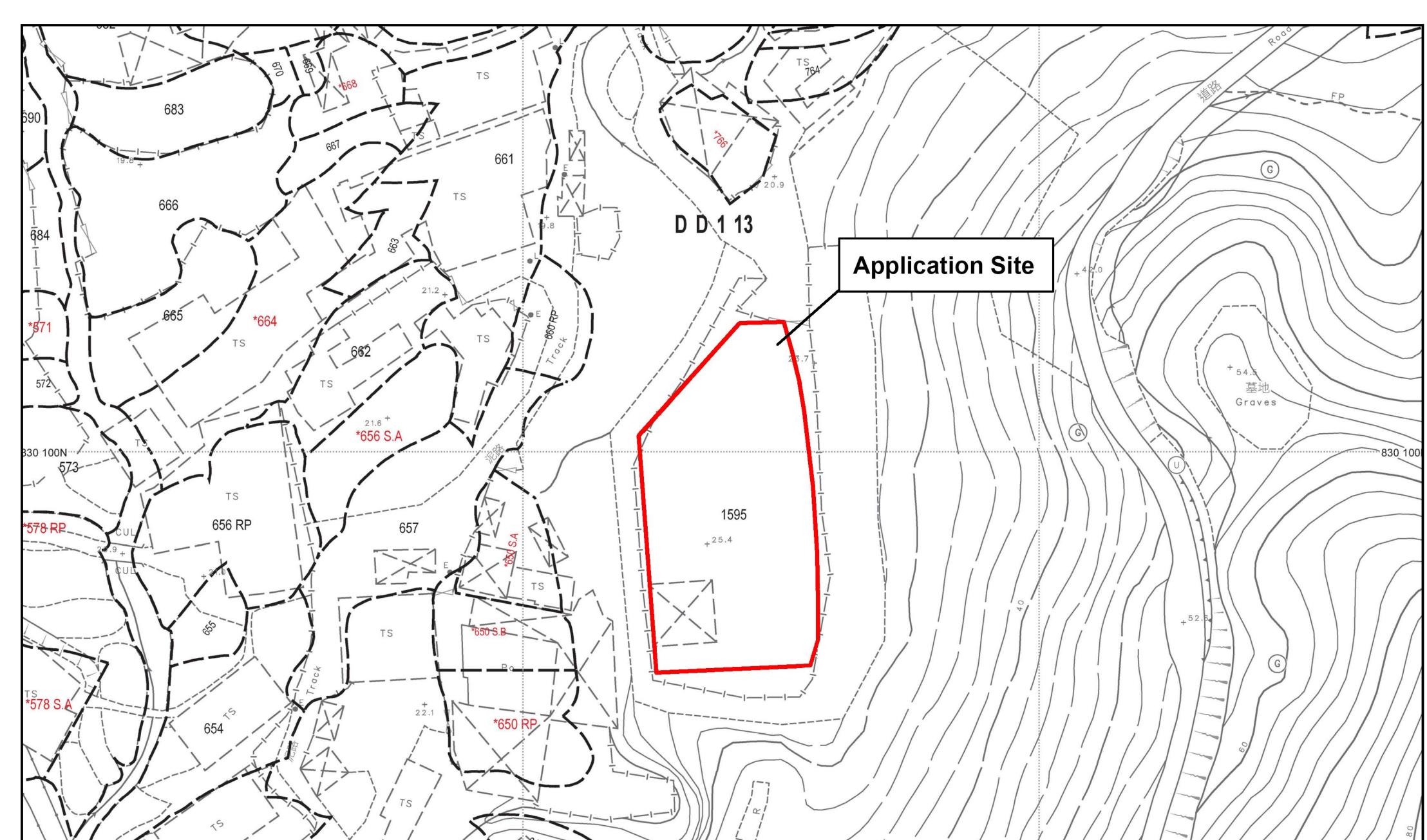
Drawing Title 圖紙標題:

Location Plan

Drawing No. 圖號:
20250222

Remarks 備註:

●●● Vehicular access leading from Kam Ho Road



Project 項目名稱:

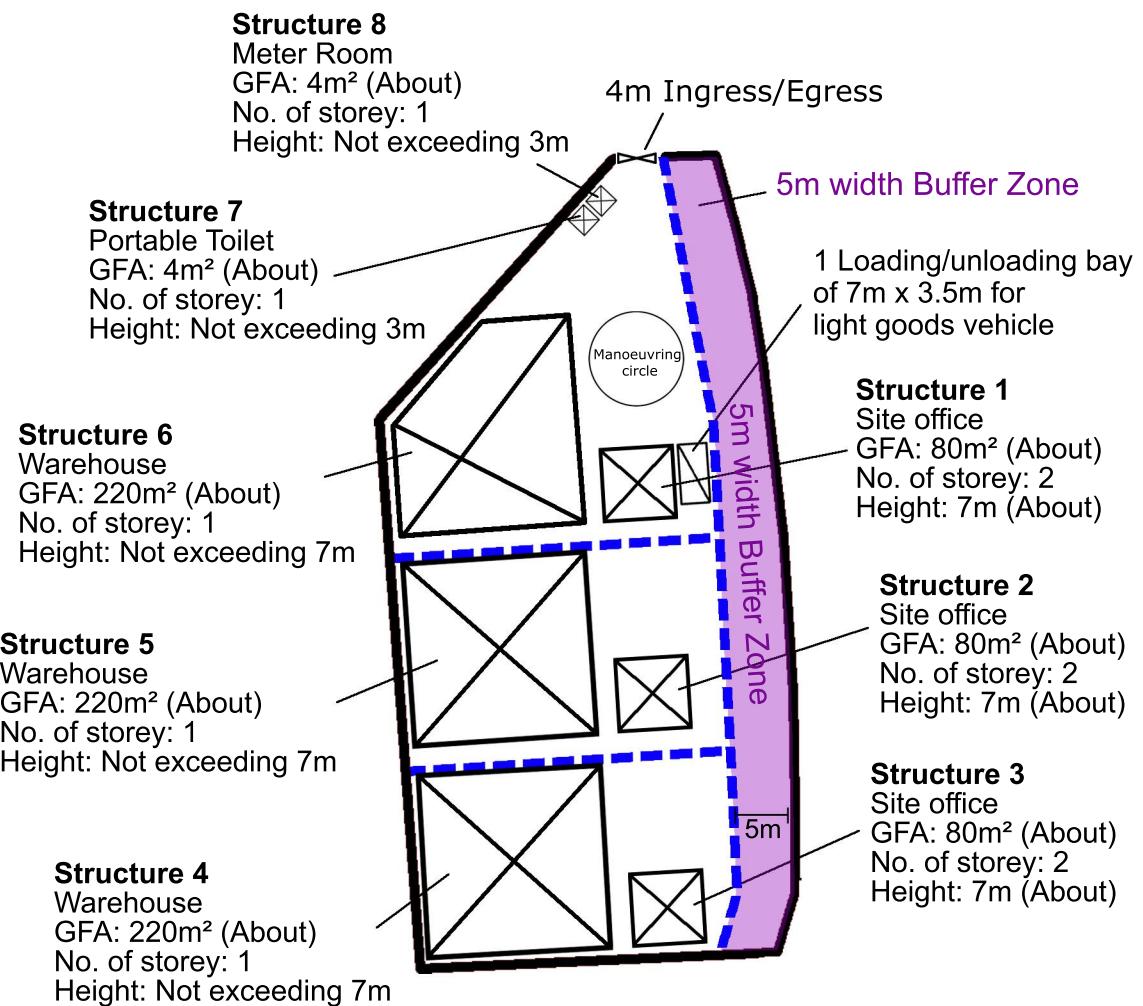
Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land at Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long

Drawing Title 圖紙標題:

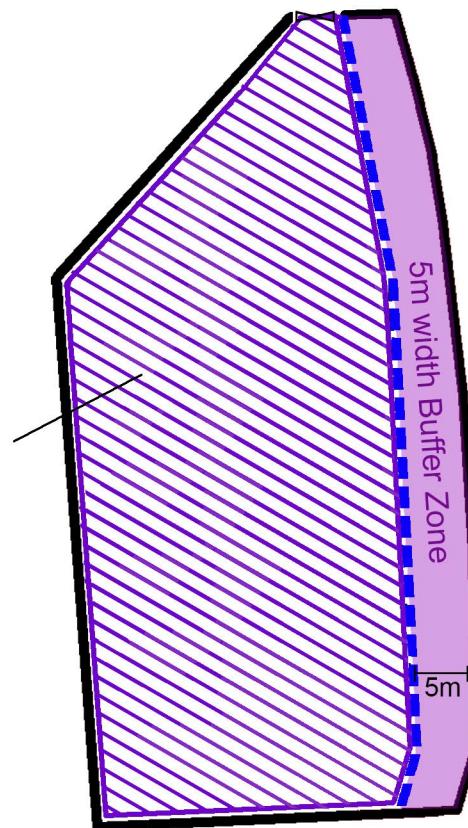
Site Plan

Drawing No. 圖號:
20250222

Remarks 備註:



4m Ingress/Egress



Land Filling Area

For site formation of structures and circulation path
Area: 1600m² (ABOUT)

Existing site level: +25.4mPD (ABOUT)

Proposed site level: +25.6mPD (ABOUT)

Depth of land filling : No more than 0.2m

Land Filling Materials : Concrete

Project 項目名稱:

Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land at Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long

Drawing Title 圖紙標題:

Paved Ratio Plan

Drawing No. 圖號:
20250308

Remarks 備註:

 Land filling area

List of Structures

Structure No.	Usage	Covered Area (m ²)	GFA (m ²)	Proposed Height
1	Site Office	40	80	Not Exceeding 7 m ; 2 Storey
2	Site Office	40	80	Not Exceeding 7 m ; 2 Storey
3	Site Office	40	80	Not Exceeding 7 m ; 2 Storey
4	Warehouse	220	220	Not Exceeding 7 m ; 1 Storey
5	Warehouse	220	220	Not Exceeding 7 m ; 1 Storey
6	Warehouse	220	220	Not Exceeding 7 m ; 1 Storey
7	Portable Toilet	4	4	Not Exceeding 3 m ; 1 Storey
8	Meter Room	4	4	Not Exceeding 3 m ; 1 Storey
Total		788	908	

根據城市規劃條例第 16 條作出規劃許可申請
擬在元朗錦田馬鞍崗第 113 約地段第 1595 號(部份)
作為期三年的臨時貨倉 (危險品倉庫除外) 連附屬設施及相關的填土工程

預計輕型貨車進出流量報告
(星期一至星期六)

時間	進入 (輛)	離開 (輛)
9 : 00 – 10 : 00	0	0
10 : 00 – 11 : 00	0	0
11 : 00 – 12 : 00	0	0
12 : 00 – 13 : 00	0	0
13 : 00 – 14 : 00	1	0
14 : 00 – 15 : 00	0	0
15 : 00 – 16 : 00	0	1
16 : 00 – 17 : 00	0	0
17 : 00 – 18 : 00	0	0
合計(輛)	1	1

申請地點尚未發展，以上數字為預算車輛進出場地記錄。

Urgent Return receipt Expand Group Restricted Prevent Cop;

Michael Chi Kin SO/PLAND

寄件者: [REDACTED]
寄件日期: 2025年06月11日星期三 23:12
收件者: tpbpd/PLAND
副本: Michael Chi Kin SO/PLAND
主旨: A/YL-KTS/1071 : 回應部門意見
附件: A_YL-KTS_1071_回應部門意見.pdf; 附件2 : Temporary Drainage Proposal for A_YL-KTS_1071 (Issue 2).pdf; 附件1 : A_YL-KTS_1071_Layout_Plan..pdf
類別: Internet Email

城規會/規劃處 :

有關規劃申請 : A/YL-KTS/1071 , 現附上回應部門的意見 , 請查收 。

此電郵將取代 2025 年 6 月 10 日的電郵 。

謝謝 。

Ms Chong

[REDACTED]

Planning Application No. A/YL-KTS/1071

Table A: Responses to Departmental Comments

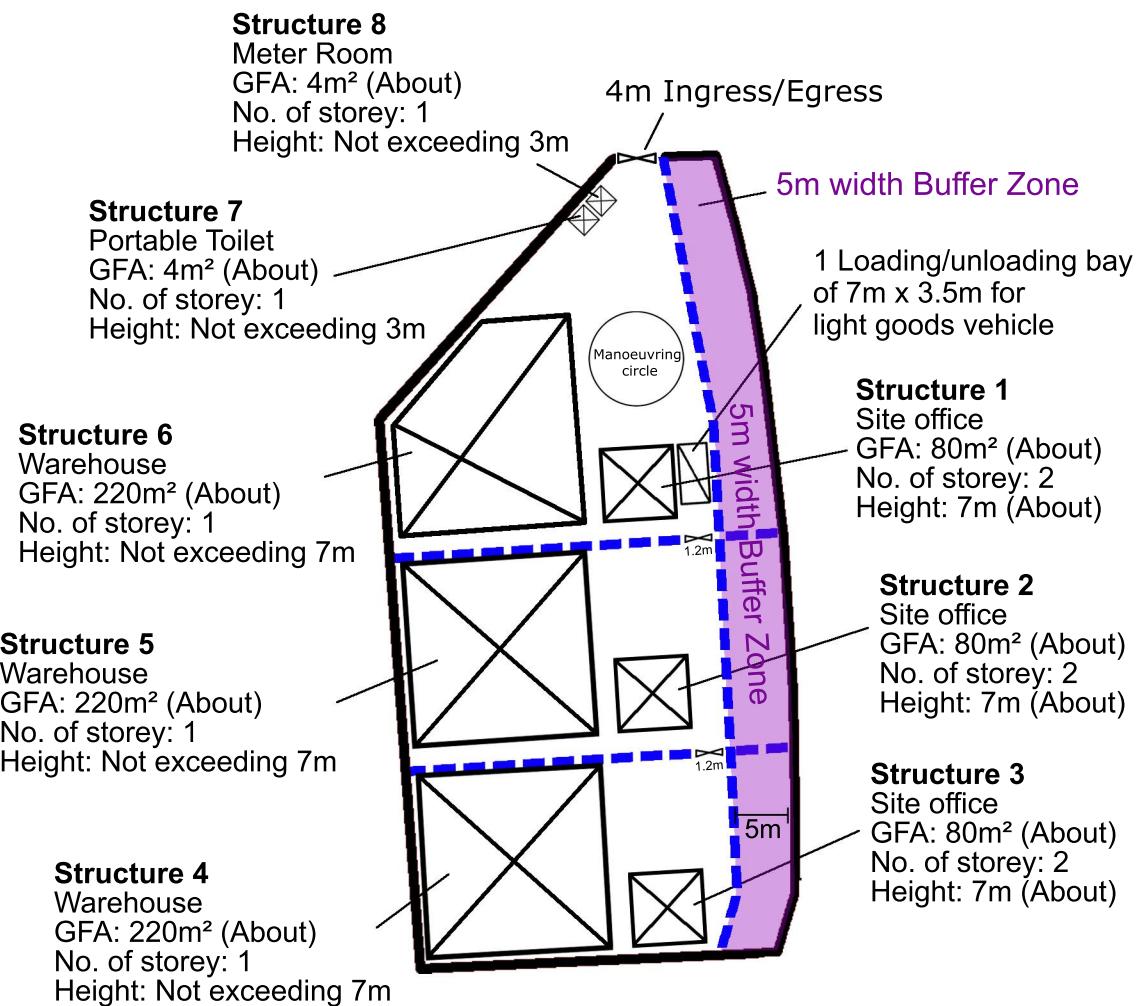
	Departmental Comments	Responses
	Agriculture, Fisheries and Conservation Department	
(a)	<p>It is noted that current activities on the application site may have encroached on the abutting CA zone adjacent to the application site boundary. There is a concern that there will be a possible encroachment and disturbance on the nearby CA zone from the use.</p>	<p>請查閱附件 1 的 Layout Plan，現時申請地點的活動並沒有在 CA 地區及緩衝區內進行，將來也不會擴展開去。申請人確保擬議申請的所有活動不會影響 CA 地區。</p> <p style="text-align: center;">附件 1 : Layout Plan</p>
(b)	<p>It is noted that there is a natural streamcourse to the west of the subject site. The applicant shall clarify whether any measure will be implemented to avoid disturbance to the watercourse nearby during land filling and operation.</p>	<p>申請人已用坑板圍起申請地點，並已做好排水設施，擬議申請不會對西邊的天然河流造成負面影響。</p>

	Departmental Comments	Responses
	Planning Department	
(a)	Please confirm that “no dangerous goods will be stored at the Site. No open storage, assembling, dismantling, maintenance and other workshop activities will be conducted within the Site”.	申請人確認擬議申請的臨時貨倉並不會存放任何危險物品，也不會在現場進行露天存放、修理、組裝、拆卸或工場活動。
	Please confirm that all activities would only be carried out within the application site.	申請人確認所有活動只會在申請範圍內進行。（Layout Plan 上的黑色線範圍內）
	According to the site photos taken, it is noted that fences are erected along the boundary of the application site. Please advise that they should be clearly marked on the layout plan.	請查看附件 1。 黑色粗線就是申請範圍的圍板位置。

	Departmental Comments	Responses
	Drainage Services Department	
(a)	The applicant should include a drainage proposal to support the application.	申請人已做好排水建議書，請看 附件 2 。 附件 2 : Temporary Drainage Proposal
(b)	The applicant is reminded to refer to DSD's Stormwater Drainage Manual and its corrigenda for preparation and submission of drainage assessment/proposal.	申請人知悉。

補充說明

1. 申請地點只設一個大門給貨車和職員進出，緩衝區內（Buffer Zone）不會有任何卸貨活動或職員進出，確保達到緩衝效果。
2. 申請地點內 3 個貨倉是可以互通的，職員可透過中間的小門用手推車送貨。
3. 擬議申請的申請地點早前已獲批准做動物寄養所，但由於元朗廈村及洪水橋近期被政府徵收土地，大量貨倉被逼遷出和要找地方搬，貨倉需求大大提升，因此申請人將擬議申請用途轉成臨時貨倉，以應付貨倉需求急升和回應政府政策。



ISSUE 2

TEMPORARY DRAINAGE PROPOSAL

APPLICATION SITE OF THE PROPOSED
TEMPORARY WAREHOUSE (EXCLUDING
DANGEROUS GOODS GODOWN) WITH
ANCILLARY FACILITIES AND ASSOCIATED FILLING
OF LAND FOR A PERIOD OF 3 YEARS AT LOT
1595 (PART) IN D.D.113, MA ON KONG, KAM
TIN, YUEN LONG.

PROJECT NO. AGLA/TDM/026

PREPARED FOR

APPLICATION NO. A/YL-KTS/1071

9 JUNE 2025

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1 Introduction

1.1 Background

1.1.1 This report presents the Drainage Proposal for supporting the Proposed Temporary d Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years at Lot 1595 (Part) in D.D.113, Ma On Kong, Kam Tin, Yuen Long.

1.1.2 For the site location plan, please refer to the **Appendix A**.

1.2 Objectives of the Report

1.2.1 This report shall be prepared to include the following:

- Identify the potential drainage impact assessment from the proposed Application Site
- recommend and implement all necessary measures to mitigate adverse drainage impacts arising from the application site

1.3 Report Structure

1.3.1 The report contains the following sections:

- Section 1 on Introduction;
- Section 2 on Development Proposal;
- Section 3 on Assessment Criteria;
- Section 4 on Potential Drainage Impact; and
- Section 5 on Conclusion.

2 Development Proposal

2.1 Location of the Application Site

2.1.1 The application Site is located within the Ma On Kong, Kam Tin, with an area of around 1,930m² and ground level varying between + 25.7mPD and + 23.7 mPD. The layout plan is provided in **Appendix B**.

2.1.2 This application site is "Agriculture" zoning, the type of application is the Temporary Use/Development in Rural Areas for a Period of 3 Years.

3 Assessment Criteria

3.1 Design Return Periods

3.1.1 The drainage system in the Application site is to collect surface flows and convey to downstream village drain. The recommended design return periods based on the flood levels for the various drainage systems depend on the drainage system, land use, hazard to public safety and community expectations. The recommended design return period is reproduced in Table 3-1 below:

Table 3-1 Recommended Design Return Periods based on Flood Levels

DESCRIPTION	DESIGN RETURN PERIODS
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage including internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

3.1.2 As per Storm Drainage Manuel (SDM) Section 6.6.2 Urban Drainage Branch and Urban Drainage Trunk Systems *“An ‘Urban Drainage Branch System’ is defined as a group or network of connecting drains collecting runoff from the urban area and conveying stormwater to a trunk drain, river or sea. For a simple definition, the largest pipe size or the equivalent diameter in case of a box culvert in a branch system will normally be less than 1.8m.”*

3.1.3 *“An ‘Urban Drainage Trunk System’ collects stormwater from branch drains and/or river inlets, and conveys the flow to outfalls in river or sea. Pipes with size or diameter equal to or larger than 1.8m are normally considered as trunk drains.”*

3.1.4 As per SDM, since the proposed U-channels are sized smaller than 1.8m, the drainage system would be defined as an urban drainage branch with recommended design return period of 50 years.

3.1.5 The 50 years design return period will be considered to ensure adequacy of the stormwater drainage system.

3.2 Calculation Methodology for Runoff

3.2.1 Peak instantaneous runoff values before and after the development were calculated based on the Rational Method and with recommended physical parameters including runoff coefficient (C) and storm constants for different return periods referred to the SDM, based on the following equation:

$$Q_p = 0.278 C i A$$

where

Q_p = Peak Runoff, m^3/s

C = Runoff Coefficient

i = Rainfall Intensity, mm/hr

A = Catchment Area, km^2

3.2.2 The paved area of the site will account for 1,600 m². For conservative, the runoff coefficient of 1.0 is assumed, such that the all the run-off would be collected from the catchment area without any infiltration as the critical scenario.

3.2.3 Based on the storm constants for 50-year return period recommended in the SDM, the appropriate rainfall intensities (i) are calculated as detailed in **Appendix D**

3.3 Calculation Methodology for Pipe Capacity Checking

3.3.1 Because the catchment areas are less than 1ha, U-channels are recommended to be constructed to collect the stormwater runoff within the site. The collected stormwater should finally be diverted to the downstream via the proposed U-channel system.

3.3.2 For the worst-case scenario, bad condition of concrete pipe is assumed for the Manning's roughness coefficient (coefficient value is 0.016) for calculating capacities of concrete U-channel using Manning's Equation.

3.3.3 Manning's Equation for calculating the channel and pipe capacities is adopted.

4 Potential Drainage Impact

4.1 Existing Site Condition

4.1.1 The adjacent ground surface from southern direction are generally higher than the ground level of application site, external catchment m² shall be considered in the calculation, the application site with a projected area of 1,930 m² with external catchment of 320 m² and the adjacent hilly terrain with external catchment of 5,840 m² are considered as part of the catchment.

4.2 Changes in Drainage Characteristics

4.2.1 The characteristics of the sub-catchment areas are remained unchanged due to the temporary development for the application site, which are paved area.

4.2.2 The application site is fully covered by concrete surface currently. This application does not propose adding any additional concrete area, the difference in surface runoff that can be attributed to this application is negligible. The change in sub-catchment is summarized in Table 4-2.

Table 4-1 Sub-catchment within the site

CATCHMENT	K	AREA (A)
Application Site Area	1.00	1930.0
External Catchment Area	0.30	5840.0
External Catchment Area	1.00	320.0
Total Catchment Area	1.00	4002.0

4.3 Potential Drainage Impact

- 4.3.1 The details of the proposed drainage works are illustrated in **Appendix C**.
- 4.3.2 To effectively convey stormwater away from the application site and minimize the potential impact to the drainage infrastructure of the village area, drainage works consists of U-channels, are proposed to convey the flow to the terminate catchpit with trap (TCP).
- 4.3.3 The runoff from the Application site is collected by U-channels along the boundary and discharged to the terminate catchpit with trap (TCP), which is connected to the further downstream leading to the discharge point of the 300mm Pipe at the western direction of the application site, and eventually lead to the existing village Nullah.
- 4.3.4 The 500mm U-channel receives stormwater from the surface and the upstream catchment. For Conservative, the critical scenario is considered for collecting all the flow leading to the 500mm U-channel. The design calculation of the proposed drainage is provided in **Appendix D**. The design calculation is summarized in Table 4-2.

Table 4-2 Design calculation of the proposed drainage work

DRAINAGE SYSTEM	ESTIMATED FLOW (M ³ /S)	CAPACITY (M ³ /S)	RESERVE CAPACITY
500mm UC	0.263	0.434	39%

Note:

- [1] Rainfall increase due to climate change at the end of 21st century is considered according to stormwater drainage manual Table 28.
- [2] The reserve capacity is calculated by assuming that the 400mm U-channel reach its full capacity for conservative.

- 4.3.5 The design runoff arise from the proposed Application Site is to be discharged into the proposed 500mm UC with the runoff anticipated to be 0.263m³/s, which is within the drainage capacity of the proposed 500mm u-channel of 0.434m³/s with gradient 1:100.
- 4.3.6 Since there are no changes in Drainage Characteristics, it is considered that the drainage discharge from the Application Site will not cause adverse impact to the entire downstream drainage system.
- 4.3.7 All u-channels & catch pits will be constructed according to the CEDD's standard drawings, please refer to the **Appendix E**.

5 Construction Stage

5.1 Temporary Drainage Arrangements

- 5.1.1 Proper measures shall be taken to maintain the existing drainage characteristics of the catchment areas and to minimize drainage impacts associated with the construction works. The principal drainage impacts which are associated with construction of the works have been identified as follows:
 - (a) Erosion of ground materials;
 - (b) Sediment transportation to existing downstream drainage system; and
 - (c) Obstruction to drainage systems.
- 5.1.2 Regular inspections shall be carried out to ensure integrity of the works. These inspections shall cover works under construction as well as recently completed areas.

- 5.1.3 To ensure proper operation of the site drainage channels and desilting facilities, inspection of the perimeter drains shall be carried out on a weekly basis and the desilting facilities shall be cleaned on a daily basis.
- 5.1.4 If excavated materials are not possible to transport away the excavated material within the same day, the material should be covered by tarpaulin/impervious sheets. Stockpiles of construction materials (for examples aggregate, fill materials) of more than 50 m³ in an open area shall also be covered with tarpaulin or similar fabric during rainstorms.
- 5.1.5 All runoff discharged into the existing drainage system will be settled in a silt trap to ensure no sediment will be discharged into the channel. Silt traps will normally be provided along the site drainage immediately upstream of the proposed discharge point to the existing Site. The silt traps will be inspected daily and immediately after each rainstorm.
- 5.1.6 Liaison will be carried out with relevant parties regarding temporary drainage arrangements to ensure that the drainage system is functioning adequately.

6 Conclusions

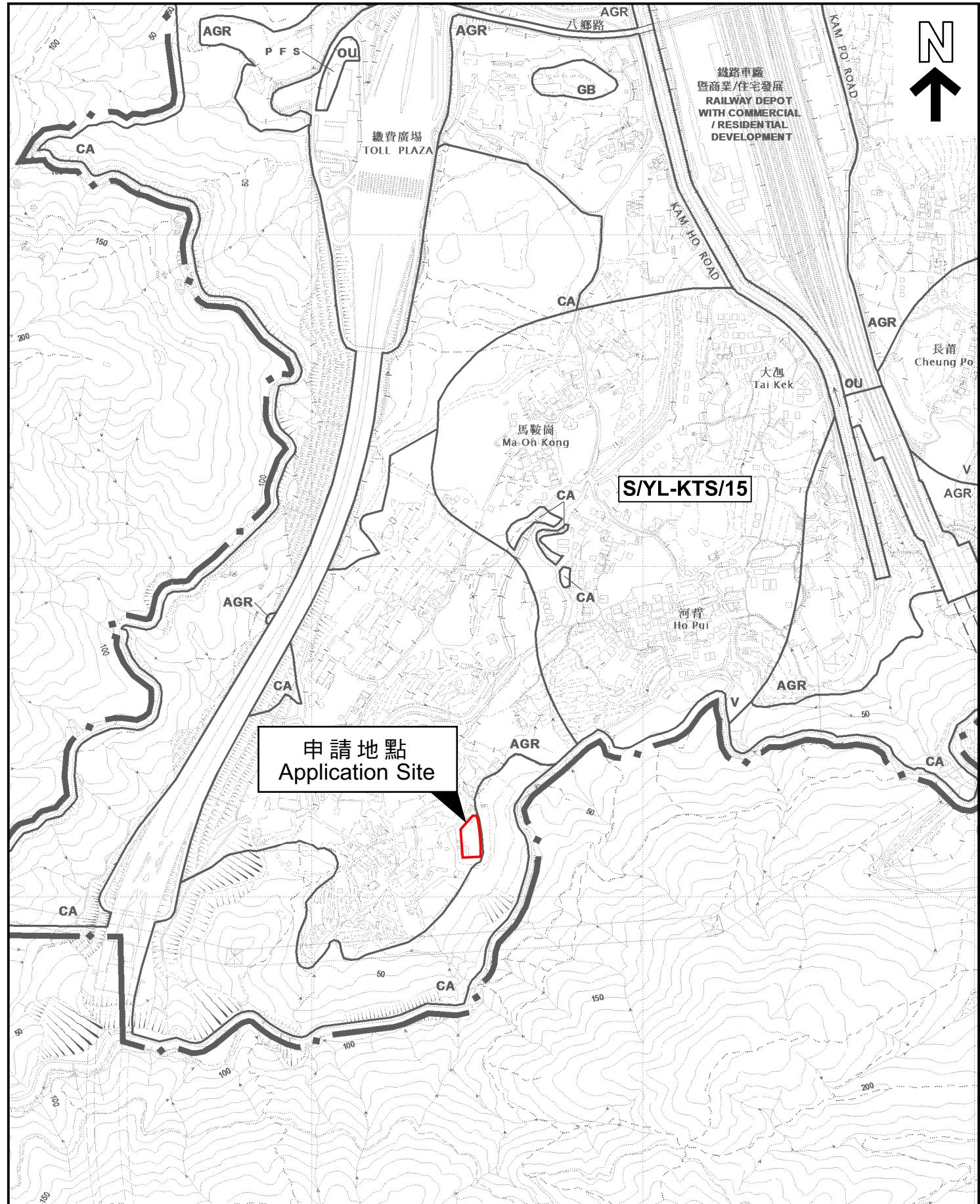
6.1 Conclusion

- 6.1.1 The analysed catchment area of 4,002 m² consists of the site area of the proposed Application Site and the adjacent catchment area.
- 6.1.2 U-channels are proposed to convey runoff from the application site for collection. The proposed U-channels are located along the site boundary which is subject to change to suit the building layout.
- 6.1.3 The assessment reviews the drainage pipe have the sufficient capacity to cater for the drainage flow from the Application Site.
- 6.1.4 Mitigation measures are proposed during the application site proposed Application Site and to ensure that the existing drainage system within the site will not be affected during the construction stage.

END OF TEXT

APPENDIX A

SITE LAYOUT PLAN



本摘要圖於2025年5月6日擬備，
所根據的資料為於2018年12月11日
核准的分區計劃大綱圖編號 S/YL-KTS/15
EXTRACT PLAN PREPARED ON 6.5.2025
BASED ON OUTLINE ZONING PLAN NO.
S/YL-KTS/15 APPROVED ON 11.12.2018

位置圖 LOCATION PLAN

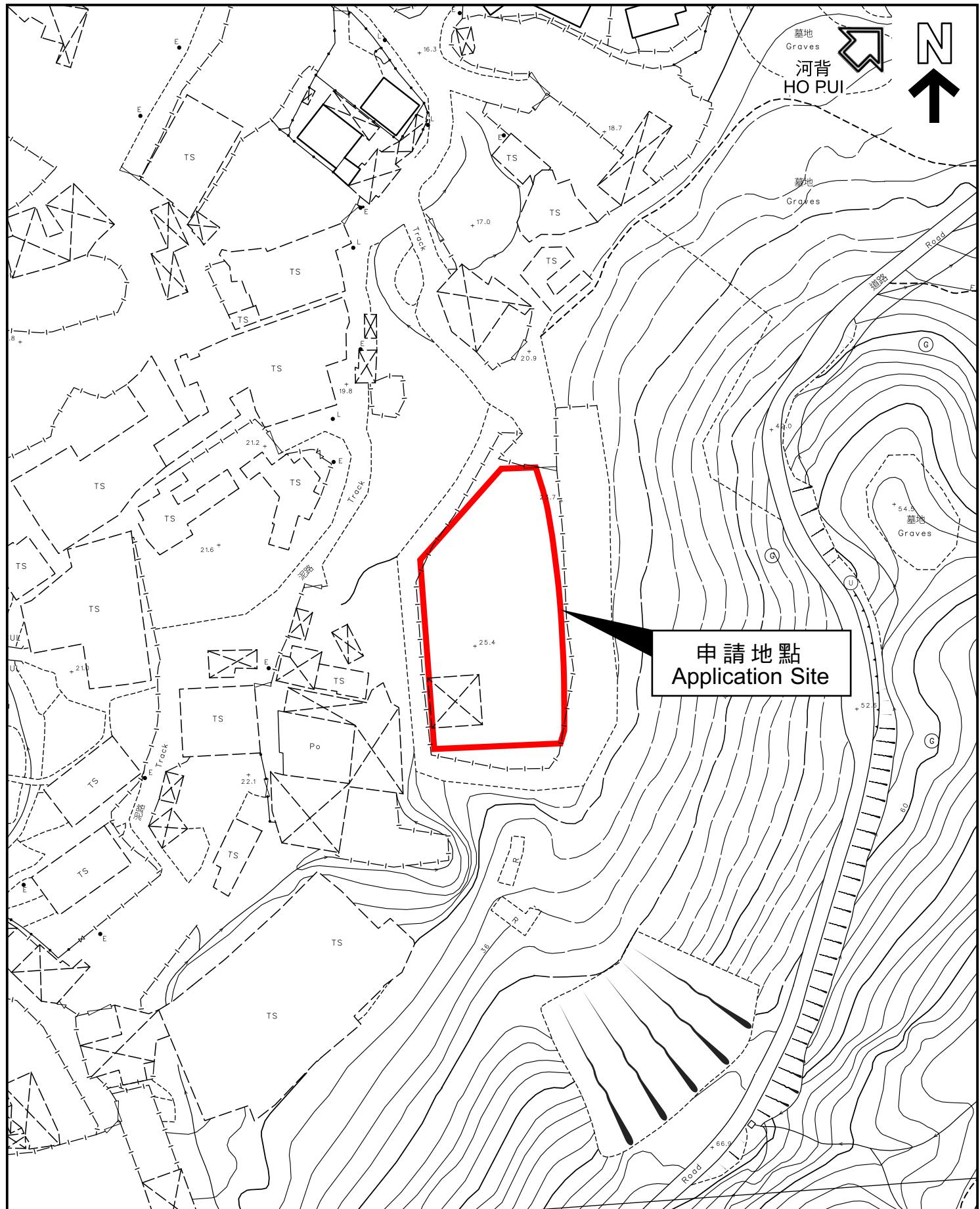
申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.

A/YL-KTS/1071

SCALE 1 : 7500 比例尺

APPENDIX B
LAYOUT PLAN



本摘要圖於2025年5月6日擬備，
所根據的資料為測量圖編號
6-NE-22C 及 22D 和 6-SE-2A 及 2B
EXTRACT PLAN PREPARED ON 6.5.2025
BASED ON SURVEY SHEETS No.
6-NE-22C & 22D AND 6-SE-2A & 2B

申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.

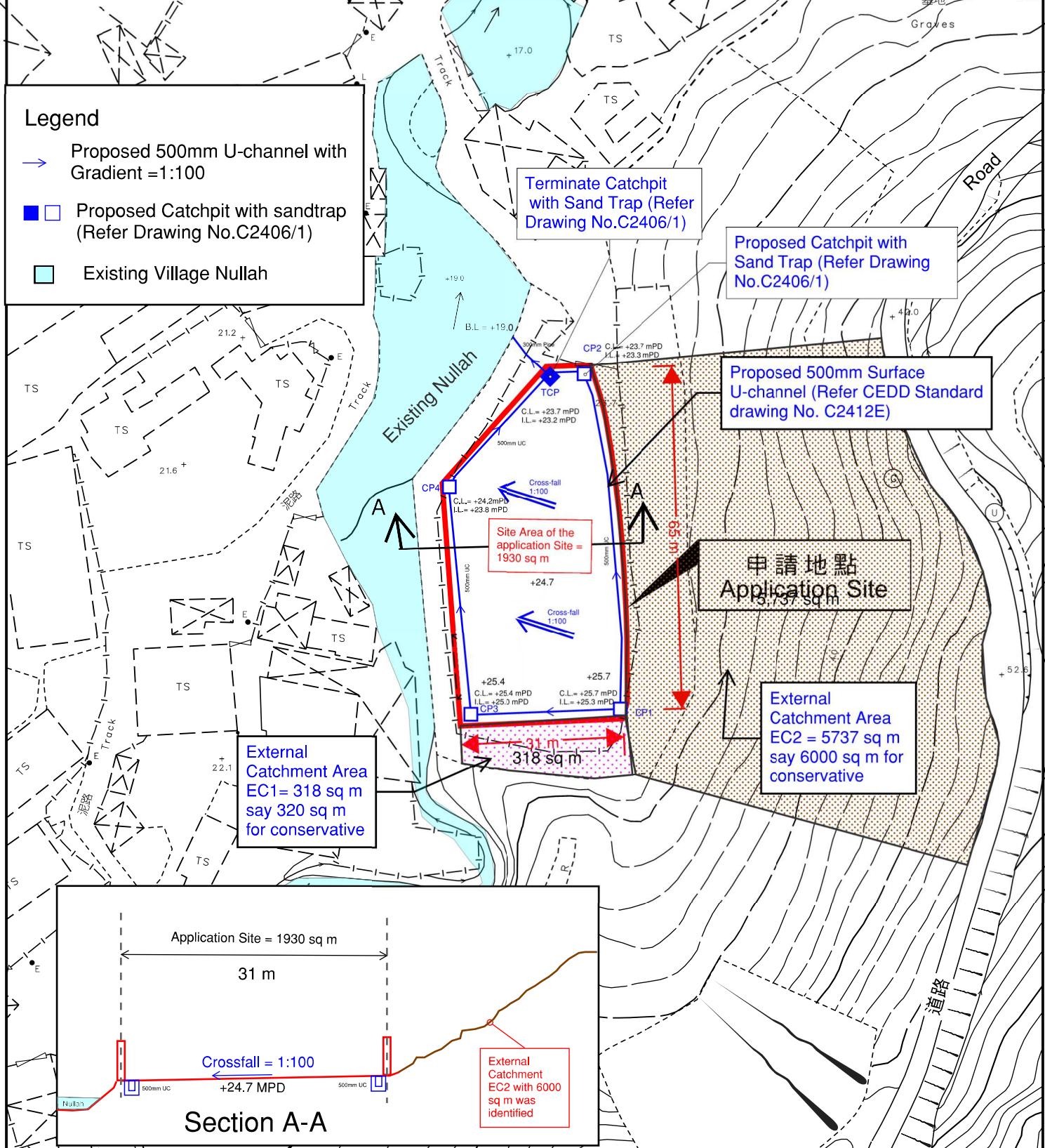
A/YL-KTS/1071

APPENDIX C
PROPOSED DRAINAGE PLAN

CATCHPIT No.	COVER LEVEL	INLET			OUTLET		
		INVERTED LEVEL (mPD)	SIZE (ID) (mm)	FROM	INVERTED LEVEL (mPD)	SIZE (ID) (mm)	TO
CP1	25.7	25.3	--	--	25.3	500UC	CP2
CP2	23.7	23.3	500UC	CP1	23.3	500UC	TCP
CP3	25.4	25	500UC	CP1	25	500UC	CP4
CP4	24.2	23.8	500UC	CP3	23.8	500UC	TCP
TCP	23.7	23.2	500UC	CP4	23.2	300	Nullah

Legend

- Proposed 500mm U-channel with Gradient = 1:100
- Proposed Catchpit with sandtrap (Refer Drawing No.C2406/1)
- Existing Village Nullah



本摘要圖於2024年1月31日擬備，
所根據的資料為測量圖編號
6-NE-22C及D 和 6-SE-2A及B
EXTRACT PLAN PREPARED ON 31.1.2024
BASED ON SURVEY SHEETS No.
6-NE-22C&D and 6-SE-2A&B

Appendix C - Drainage Plan

申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

參考編號
REFERENCE No.
A_YL-KTS_1071

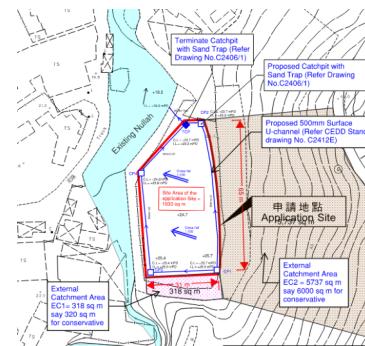
APPENDIX D
DESIGN CALCULATION OF THE PROPOSED DRAINAGE

Design Data

1. Design follows the Rational Method in accordance with Stormwater Drainage Manual 2018 (DSD)
2. For conservative, Runoff coefficient for paved / unpaved land is 1.
3. Design return period is 50 years.
4. For manning's equation coefficient n is 0.016.

Check for Hydraulic Capacity:

Catchment	K	Area (A)
Application Site Area	1.00	1930.0 m ²
External Catchment Area	0.30	5840.0 m ²
External Catchment Area	1.00	320.0 m ²
Total Catchment Area	1.00	4002.0 m ²

**Runoff estimation**

$$\begin{aligned}
 \text{Average slope, } H &= 1 / 100m \\
 \text{Catchment area, } A &= 4002 \text{ m}^2 \\
 \text{Distance between summit and point under consideration, } L &= 30 \text{ m} \\
 \text{Time of concentration of natural catchment, } t_o &= 0.14465 \times L / (H^{0.2} \times A^{0.1}) \\
 &= 1.89 \text{ min.}
 \end{aligned}$$

SDM 7.5.2

$$\begin{aligned}
 \text{Length of drain, } L_j &= 65 \text{ m} \\
 \text{Velocity, } V_j &= 1.945 \text{ m/s} \\
 \text{Flow time, } t_f &= \Sigma (L_j / V_j) \\
 &= 0.55694265 \text{ min.} \\
 \text{Time of concentration, } t_c &= t_o + t_f \\
 &= 2.45 \text{ min.}
 \end{aligned}$$

SDM Table 3

$$\begin{aligned}
 \text{Storm constants for 50-year return period:} \\
 a &= 451.3 \\
 b &= 2.46 \\
 c &= 0.337
 \end{aligned}$$

SDM 4.3.2

$$\begin{aligned}
 \text{Extreme mean intensity, } i_{50, \text{yr}} &= a / (t_d + b)^c \\
 &= 236.502098 \text{ mm/hr} \\
 &< 405.000 \text{ mm/hr} \\
 \text{Design flow, } Q &= 0.278 i \sum K A \\
 &= 0.263 \text{ m}^3/\text{s}
 \end{aligned}$$

GMS Fig 8.2

SDM 7.5.2

$$\begin{aligned}
 \text{500mm u-channel capacity} \\
 \text{Diameter} &= 500 \text{ mm} \\
 \text{Cross-sectional area of 500mm U-channel} &= (\pi \times R^2 / 2) + R \times R/2 = 0.2232 \text{ m}^2 \\
 \text{Gradient} &= 0.01 \\
 \text{flow velocity} &= 1.945 \text{ m/s} \\
 \text{Design Capacity} &= 0.434 \text{ m}^3/\text{s} \\
 \text{Reserve capacity} &= 0.263 \text{ m}^3/\text{s} \quad \text{OK} \\
 &= 39\%
 \end{aligned}$$

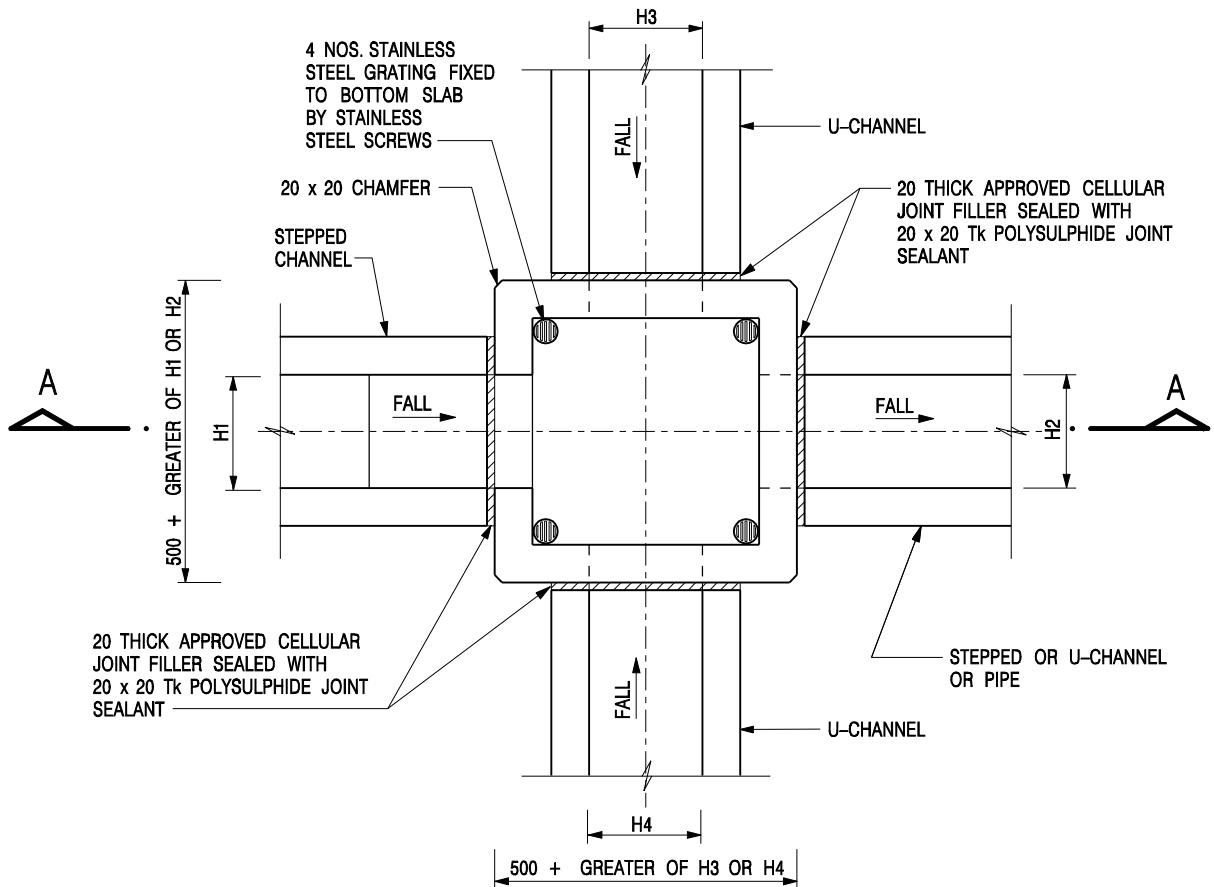
For conservative, all the U-channel along the site boundary shall be 500mm.

Manning's Eq.

$$\begin{aligned}
 \text{300mm pipe capacity} \\
 \text{Diameter} &= 300 \text{ mm} \\
 \text{Cross-sectional area of 300mm pipe} &= (\pi \times R^2) = 0.0707 \text{ m}^2 \\
 \text{Gradient} &= 0.10 \\
 \text{flow velocity} &= 4.376 \text{ m/s} < 6 \text{ OK} \\
 \text{Design Capacity} &= 0.309 \text{ m}^3/\text{s} \\
 \text{Reserve capacity} &= 0.263 \text{ m}^3/\text{s} \quad \text{OK} \\
 &= 15\%
 \end{aligned}$$

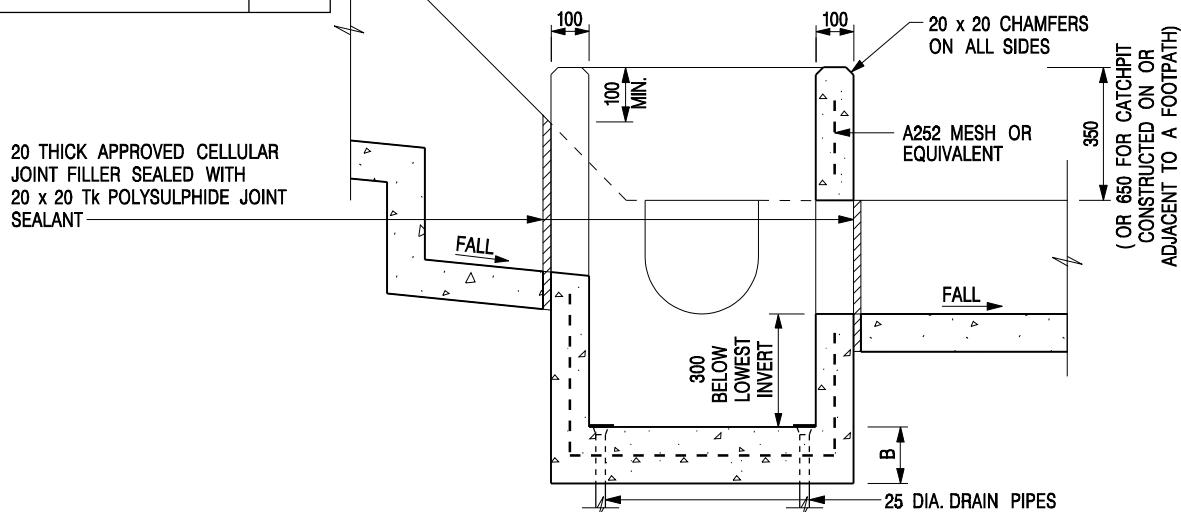
Manning's Eq.

APPENDIX E
TYPICAL STANDARD DRAWINGS OF U-CHANNEL AND CATCHPIT
(EXTRACTED FROM CEDD, FOR REFERNCE ONLY)



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

PLAN



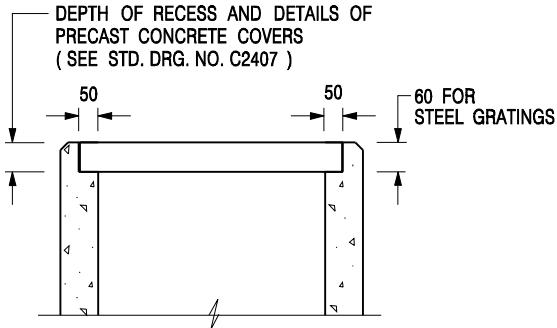
SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

—	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT			
SCALE 1:20		DRAWING NO.	
DATE JAN 1991			C2406 /1

CATCHPIT WITH TRAP
(SHEET 1 OF 2)



ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS /GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



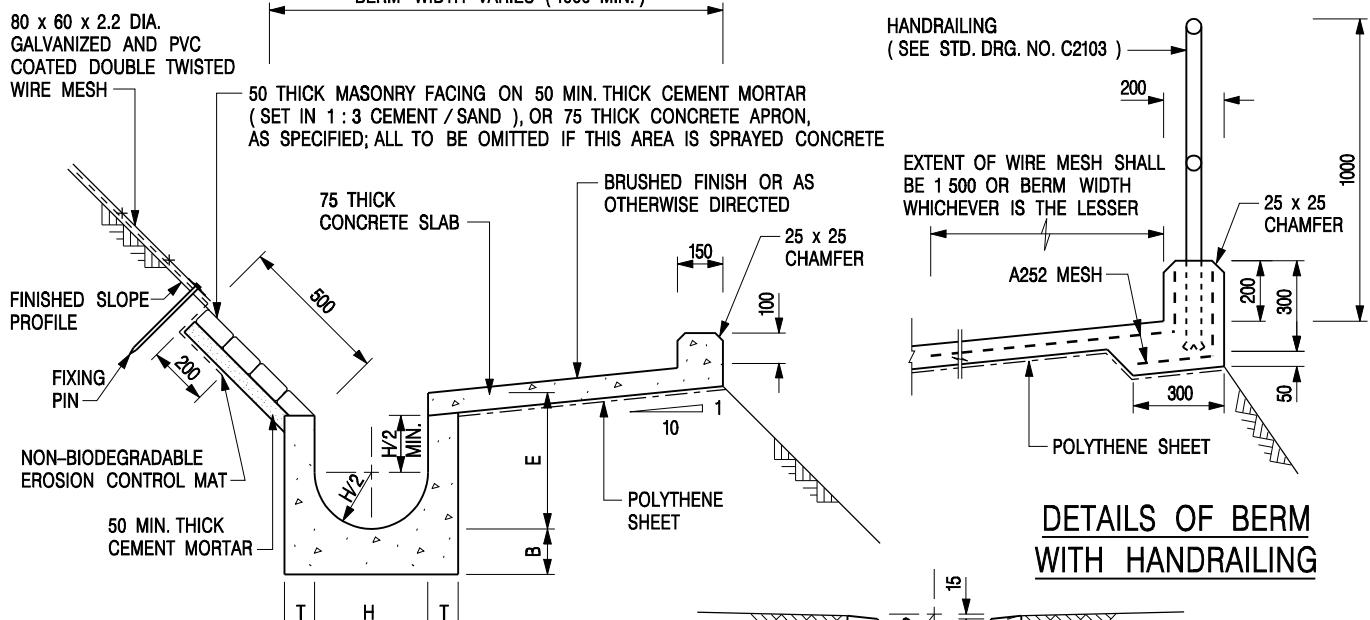
CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE 1:20

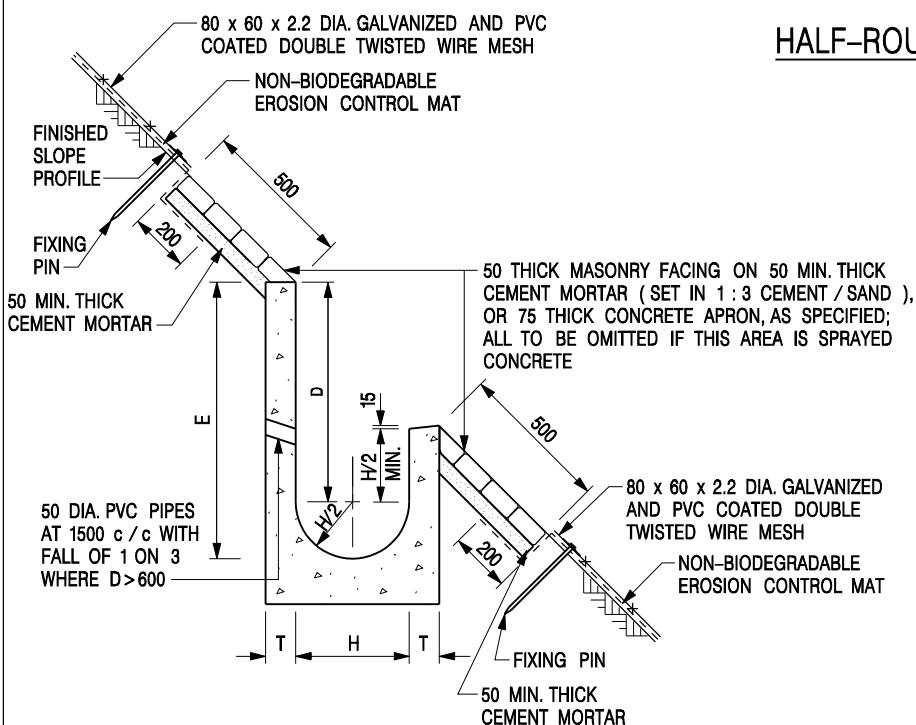
DATE JAN 1991

DRAWING NO.

C2406 /2A



U-CHANNELS CONSTRUCTED ON BERM



U-CHANNELS NOT CONSTRUCTED ON BERM

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

HALF-ROUND CHANNEL

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WIRE MESH ON BERM. (SEE STD DRG. NO. C2511/E)

I	MINOR AMENDMENT.	Original Signed	DATE
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94
REF.	REVISION	SIGNATURE	DATE

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A - WITH MASONRY APRON)

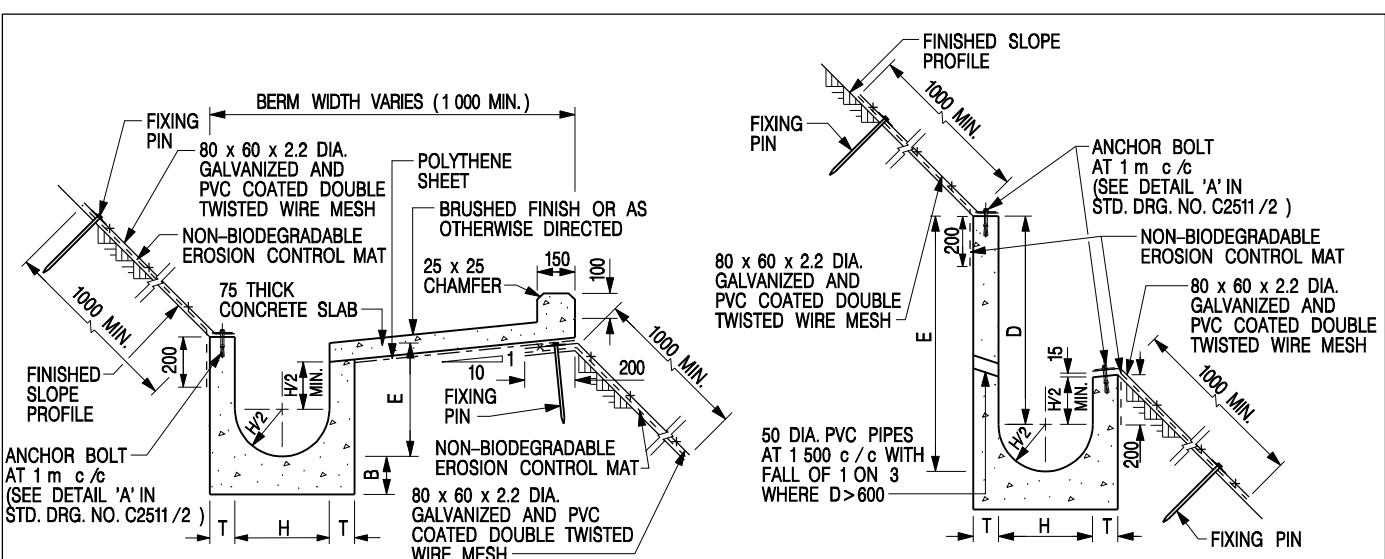


CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

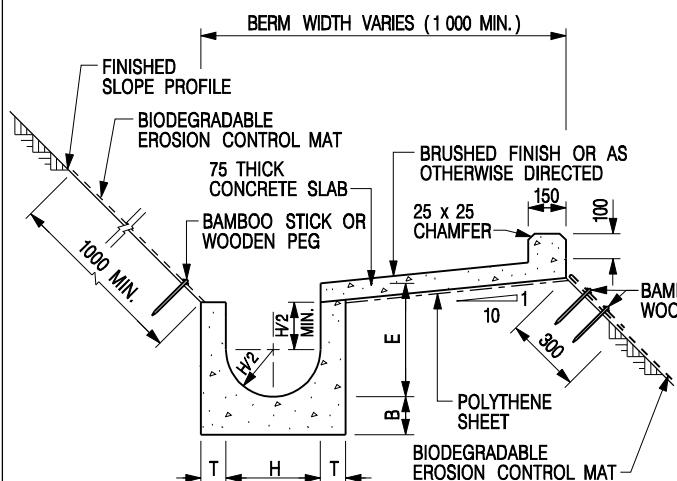
SCALE 1:25

DATE JAN 1991

DRAWING NO.
C24091



U-CHANNELS CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT



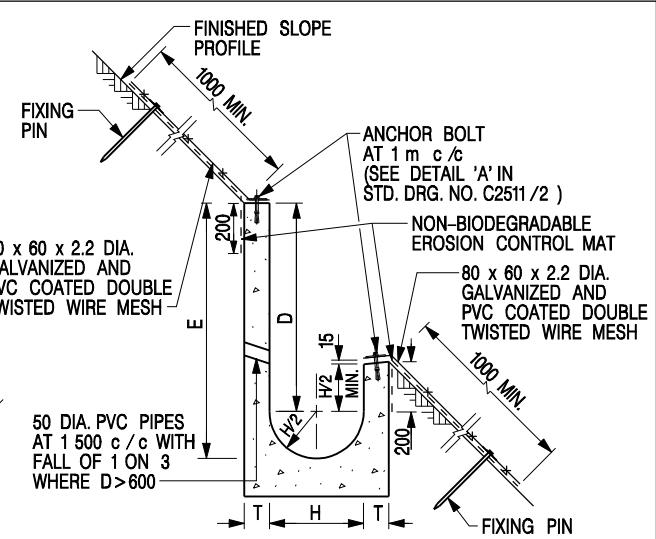
U-CHANNELS CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT

NOTES:

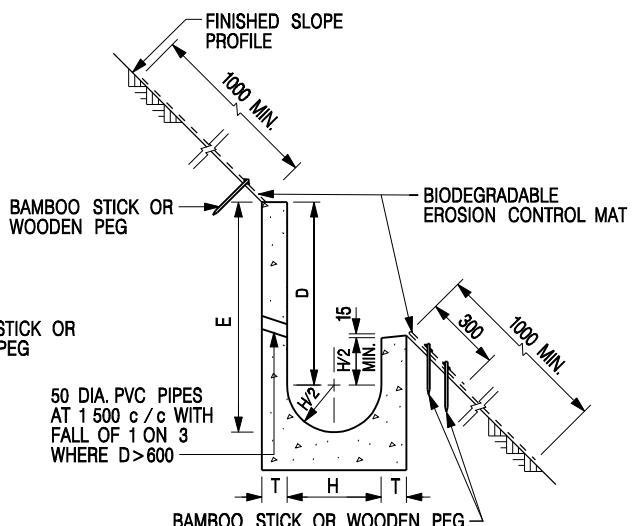
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20/20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

**DETAILS OF HALF-ROUND AND
U-CHANNELS (TYPE B - WITH
EROSION CONTROL MAT APRON)**



U-CHANNELS NOT CONSTRUCTED ON BERM
WITH NON-BIODEGRADABLE
EROSION CONTROL MAT



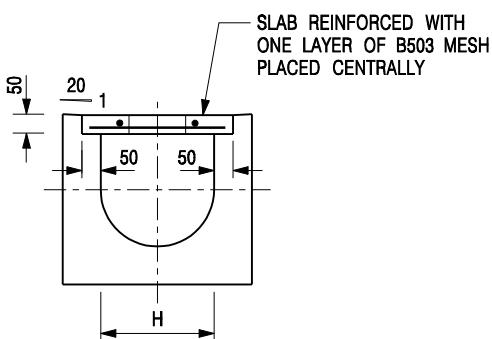
U-CHANNELS NOT CONSTRUCTED ON BERM
WITH BIODEGRADABLE
EROSION CONTROL MAT

I	MINOR AMENDMENT.	Original Signed	DATE
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92
REF.	REVISION	SIGNATURE	DATE

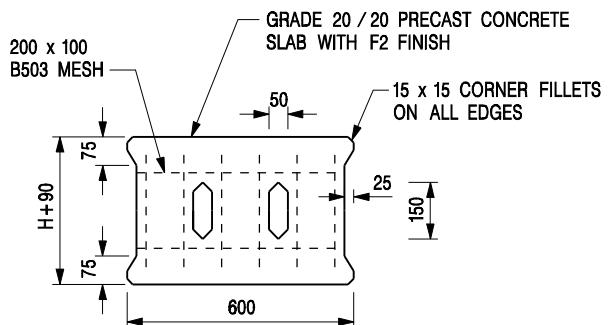


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE	DIAGRAMMATIC	DRAWING NO.
DATE	JAN 1991	C24101



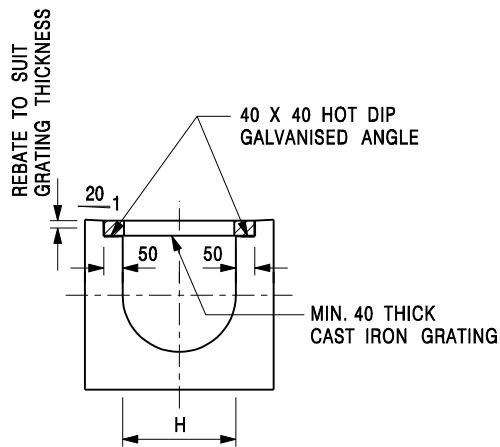
TYPICAL SECTION



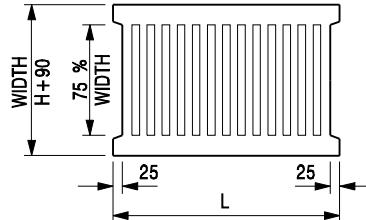
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1:20

DATE JAN 1991

**DRAWING NO.
C2412E**

APPENDIX F
RESPONSE TO COMMENTS

Response to Comments on Temporary Drainage Proposal (Issue 1)

1. Comments from DSD/YL 2

Temporary Drainage Proposal (Issue 2)

1. Comments from DSD/MN

No.	Comments	Response
1.	Please include the connection details, including the C.L., I.L. and B.L., at discharge point in the submission.	Please refer to the revised Appendix C – Drainage Plan.
2.	For ease of reference, please include a drainage schedule in the submission	Please refer to the revised Appendix C – Drainage Plan.
3.	Cross sections at longitude direction showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	Noted and provided. Please refer to the revised Appendix C – Drainage Plan.
4.	Please revise the catchment area and take into account the overland flow from the adjacent hilly terrain in the drainage proposal assessment.	The overland flow from the adjacent hilly terrain is incorporated as the external catchment. Please refer to the revised Appendix C – Drainage Plan.
5.	Storm constants for different return period of HKO Headquarters should be adopted for the design calculations.	Noted and revised.
6.	Cross section A-A revealed that the proposed channel cannot intercept the overland flow from the adjacent lands, please review the C.L. of the proposed channels.	Cross section A-A is provided. Please refer to the revised Appendix C – Drainage Plan.
7.	400mm peripheral u-channel is proposed for the application site. However, the size of the proposed downpipe is 200mm. Please review and include the design calculation of the proposed downpipe in the submission. The velocity of proposed downpipe should be checked.	Noted and revised. Please refer to the revised Appendix C – Drainage Plan and the Appendix D- Design Calculation.

Urgent Return receipt Expand Group Restricted Prevent Copy

Michael Chi Kin SO/PLAND

寄件者: [REDACTED]
寄件日期: 2025年07月02日星期三 15:19
收件者: tpbpd/PLAND
副本: Woody Ka Wai LIN/PLAND; Anna Ka Yan TONG/PLAND; Michael Chi Kin SO/PLAND
主旨: Application No. A/YL-KTS/1071 : Clarification
附件: A_YL-KTS_1071_Clarification.pdf
類別: Internet Email

城規會/規劃處 :

有關規劃申請 : A/YL-KTS/1071 , 現附上回應補充文件 , 請查收 。

謝謝 。

Ms Chong

[REDACTED]

A/YL-KTS/1071

Clarification

1. All items will be stored within the enclosed structure.
2. NO medium and heavy goods vehicles and container/tractor will be allowed to enter the application site.
3. Fencing with about 1.8m in height will be erected along the application site boundary.

Planning Application No. A/YL-KTS/1071

Table A: Responses to Departmental Comments

	Departmental Comments	Responses
	Planning Department	
(a)	For the proposed 5m buffer zone, please provide justifications for the fencing to be proposed a) along the eastern application boundary and b) between the proposed use and proposed 5m buffer zone.	由於申請地點附近的政府土地（圖 1：黃色部份）已被人蓄意破壞和非法佔用，申請人不能把申請地點（屬於私家地及申請範圍）的現有坑板圍板拆除。但申請人會在 5 米的緩衝區地界再設置新的圍板，高度約 1.8 米，請看圖 2。
(b)	Please clarify and ensure proper maintenance of the proposed fencing, that no activities and storage should be conducted within the 5m buffer zone.	申請人確認會在 5 米的緩衝區地界設置新的圍板（圖 2 紅色部份），並會好好嚴格管理緩衝區，不會有任何露天儲物的活動。

圖 1

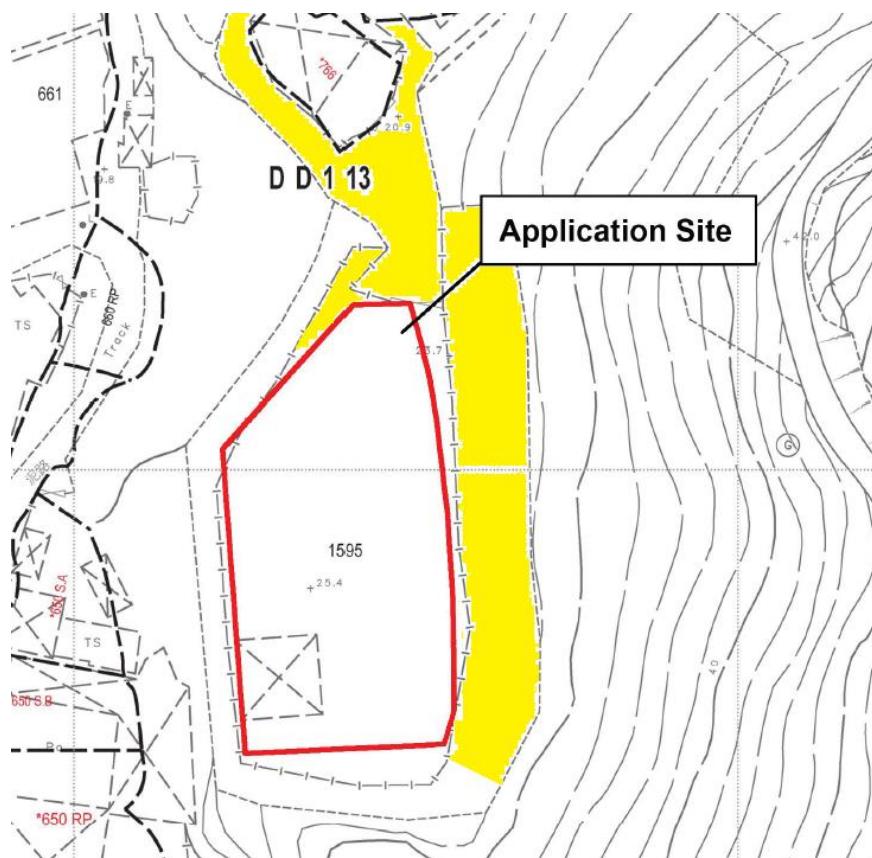
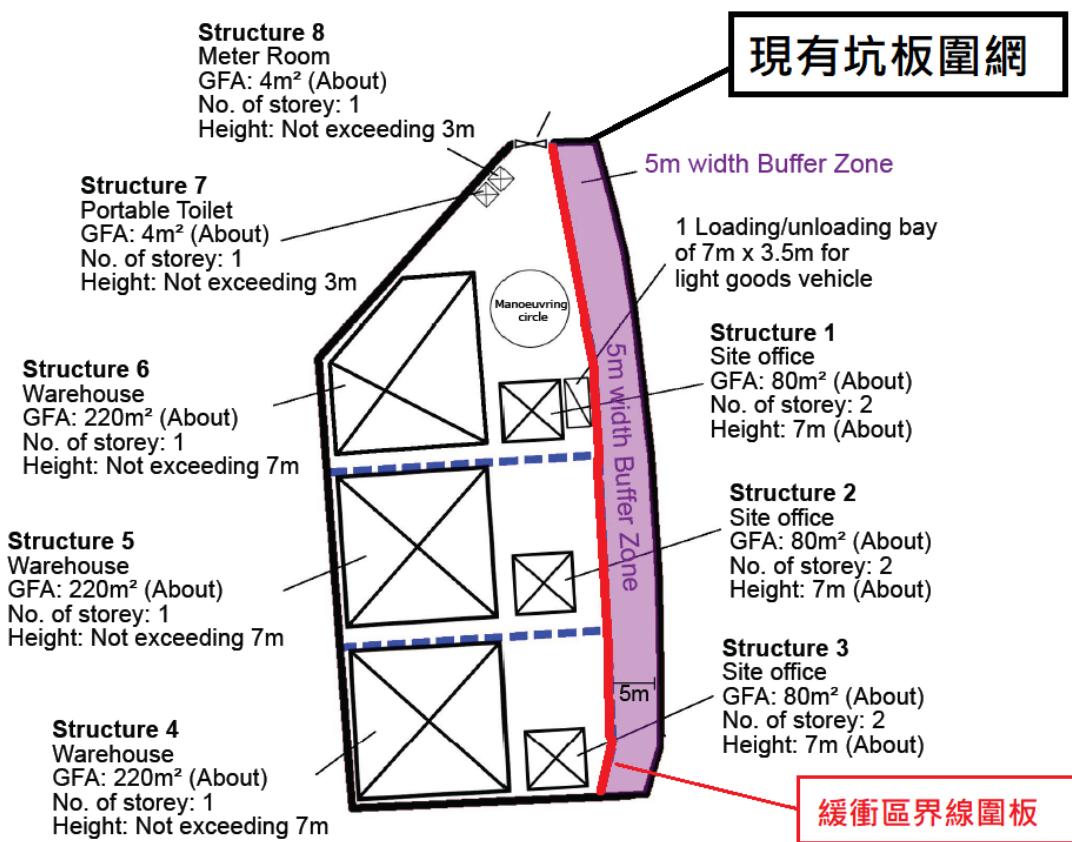


圖 2



Responses to public comments

Public comments	<p>From: [REDACTED] Sent: 2025-07-08 星期二 02:45:31 To: tpbpd/PLAND <tpbpd@pland.gov.hk> Subject: Re: A/YL-KTS/1071 DD 113 Ma On Kong near CA</p> <p>Dear TPB Members,</p> <p>"It is noted that current activities on the application site may have encroached on the abutting CA zone adjacent to the application site boundary. There is a concern that there will be a possible encroachment and disturbance on the nearby CA zone from the use."</p> <p>THERE IS NO JUSTIFICATION THAT THIS APPLICATION BE STREAMLINED AND RUBBER STAMPED WITH NO QUESTIONS ASKED.</p> <p>Damage to the function of 'CA' and the nearby watercourse are serious issues that must be addressed.</p> <p>There is no justification for brownfield at this location.</p> <p>[REDACTED]</p>
Responses	<p>申請人會在 5 米的緩衝區地界設置圍板，並會好好嚴格管理緩衝區，不會有任何露天儲物的活動。</p> <p>確保不會影響 CA 地帶。</p>

From: Chong Hermose <[REDACTED]>
Sent: Thursday, December 18, 2025 11:05 AM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Cc: Thomas Ho Lun LAU/PLAND <thllau@pland.gov.hk>
Subject: s16 : A/YL-KTS/1071 -回應部門的意見

城規會 / 規劃處 :

現附上規劃申請 : A/YL-KTS/1071 的回應部門的意見，請查收。

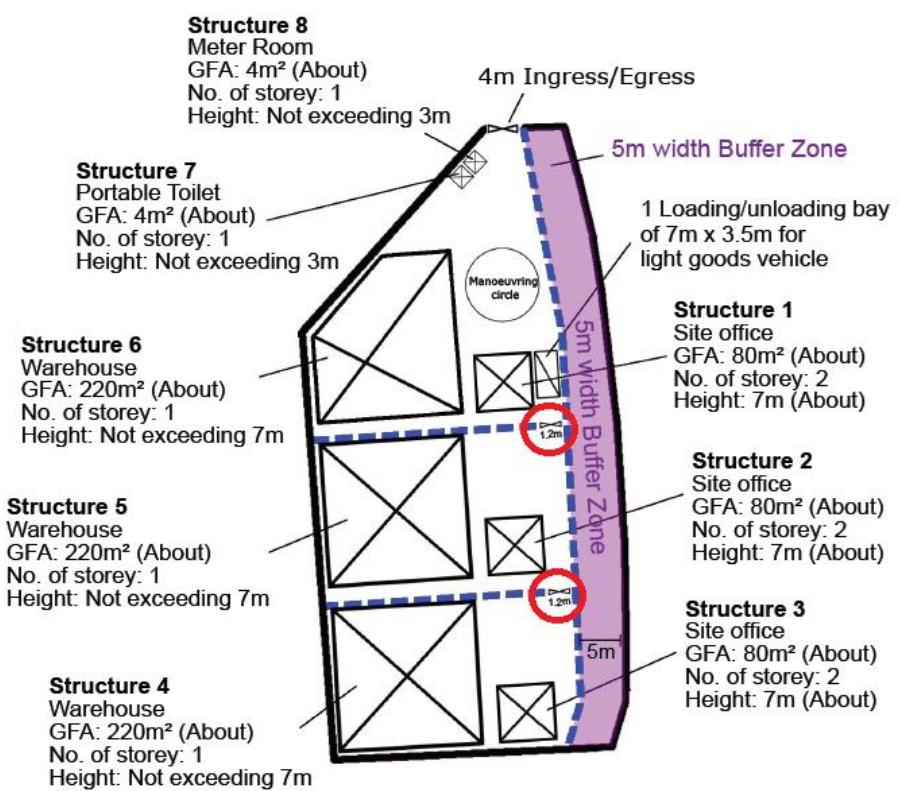
如有什麼問題，請隨時聯絡我，謝謝。

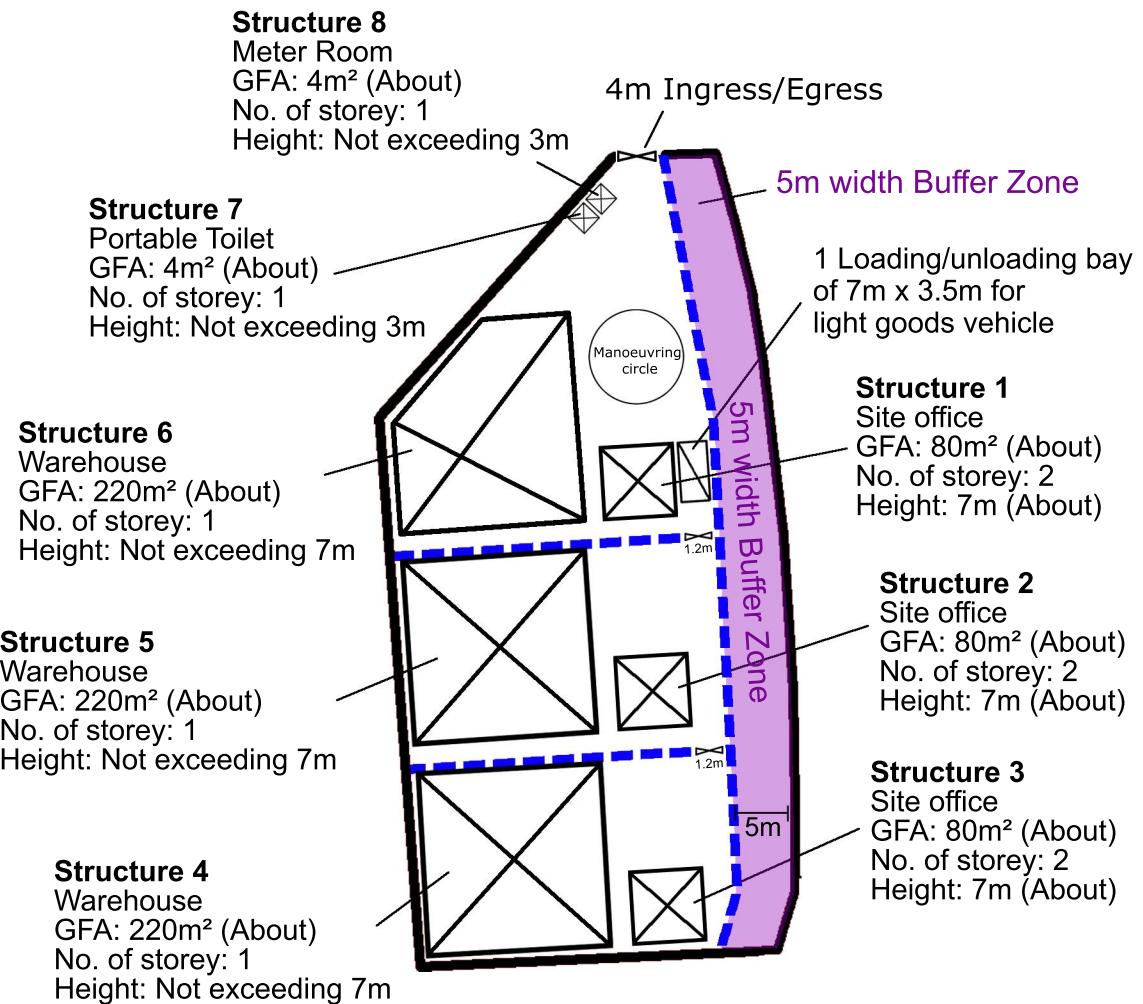
Ms Chong
([REDACTED])

Planning Application No. A/YL-KTS/1071

Table A: Responses to Departmental Comments

	Departmental Comments	Responses
	Planning Department	
(a)	<p>Please clarify whether the proposed buffer zone of 5m is currently land filled. If so, please propose when suitable measures would be undertaken to rectify.</p>	<p>申請地點的 buffer zone 已進行填土。</p> <p>申請人會移除緩衝區的填土物料，以保護緩衝區不受破壞。</p> <p>現時 Buffer Zone 內沒有任何東西或圍板，而且不會在 Buffer Zone 內進行任何活動。</p> <p>附件 1：Revised Layout Plan</p>
(b)	<p>As shown in the latest site layout plan of the FI 3 submitted on 3.9.2025, there is no vehicular access to Structures 2-5. Please clarify on the logistics arrangement and revise the plan suitably.</p>	<p>新的 Layout Plan 上面，紅色部份為 1.2 米的 4 呎闊行人出入口。</p> <p>構築物 2-5 的貨品，可在臨時上落貨車位進行上落貨，然後用手推車/唧車/電唧車穿過紅色的出入口安排送貨。</p>





Previous s.16 Applications covering the Application Site

Approved Application

Application No.	Use(s)/Development(s)	Date of Consideration (Rural and New Town Planning Committee (RNTPC))
A/YL-KTS/991	Proposed Temporary Animal Boarding Establishment with Ancillary Facilities for a Period of Three Years and Filling of Land	24.5.2024 [revoked on 24.11.2025]

Rejected Applications

Application No.	Use(s)/Development(s)	Date of Consideration (Town Planning Board (TPB) and Town Planning Appeal Board (TPAB))	Rejection Reason(s)
A/YL-KTS/421	Temporary Open Storage of Construction Materials and Machinery for a Period of 3 Years	12.9.2008 [Rejected upon review by TPB]	(1) – (4)
A/YL-KTS/781	Temporary Open Storage of Construction Materials and Machinery for a Period of 3 Years	2.7.2020 [Appeal dismissed by TPAB]	(1), (2), (4)

Rejection reasons:

- (1) the development is not in line with the planning intention of the “Agriculture” (“AGR”) zone which is to retain and safeguard good quality agricultural land for agricultural purposes.;
- (2) the application did not comply with the Town Planning Board Guidelines No. 13D or E in that the development was not compatible with the surrounding land uses which were predominantly rural in character; there was no previous approval granted at the site and there were adverse comments from the Government departments;
- (3) there was insufficient information to demonstrate that the proposed development would not generate adverse environmental, landscape and drainage impacts on the surrounding areas; and
- (4) the approval of the application, even on a temporary basis, would set an undesirable precedent for similar applications within the “AGR” zone. The cumulative effect of approving such applications would result in a general degradation of the rural environment of the area.

**Similar s.16 Applications within the same “AGR” zone
in the vicinity of the Application Site in the Past Five Years**

Approved Applications

Application No.	Use(s)/Development(s)	Date of Consideration (RNTPC)
A/YL-KTS/997	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land	10.5.2024
A/YL-KTS/1020	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land	24.1.2025 [Revoked on 24.7.2025]
A/YL-KTS/1048	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Office for a Period of 3 Years and Associated Filling of Land	24.1.2025 [Revoked on 24.1.2026]
A/YL-KTS/1049	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Office for a Period of 3 Years and Associated Filling of Land	24.1.2025
A/YL-KTS/1066	Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land for a Period of 3 Years	23.5.2025

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer, Yuen Long:

- no adverse comment on the application;
- according to Land Registry Record, Lot No. 1595 in D.D. 113 has been carved out into Lot Nos. 1595 S.A, 1595 S.B and 1595 RP in February 2025. The application site (the Site) comprises the lots held under New Grant No. 1340 for the purpose of agriculture and no structures shall be erected on the lot; and
- advisory comments are at **Appendix IV**.

2. Traffic

Comments of the Commissioner for Transport:

- no adverse comment from traffic engineering perspective; and
- advisory comments are at **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are at **Appendix IV**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from the public drainage point of view; and
- should the application be approved, approval conditions should be stipulated in the approval letter requiring the applicant to submit a revised drainage proposal and implement and maintain the accepted drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board.

4. Fire Safety

Comments of the Director of Fire Services:

- no objection in principle to the application subject to the fire service installations and water supplies for firefighting being provided to his satisfaction; and
- advisory comments are at **Appendix IV**.

5. Environment

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- there was no environmental complaint concerning the Site received in the past three years; and
- advisory comments are in **Appendix IV**.

6. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective;
- based on the aerial photo, the Site is located in a miscellaneous rural fringe landscape character comprising of temporary structures, open storage and scattered tree groups. The proposed use is not incompatible with the surrounding landscape setting of the area; and
- according to the site photos, the Site is hard paved and occupied by some temporary structures. No existing tree is observed within the Site. Significant adverse landscape impact on landscape resources arising from the proposed use is not anticipated.

7. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application;
- there is no record of approval granted by the Building Authority for the existing structure at the Site; and
- advisory comments are in **Appendix IV**.

8. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment on the application; and
- his office has not received comment on the application from locals upon close of consultation.

9. Other Departments

The following government departments have no objection to or no adverse comment on the application and their advisory comments, if any, are in **Appendix IV**:

- Director of Electrical and Mechanical Services;
- Project Manager (West), Civil Engineering and Development Department;
- Chief Engineer/Railway Development 1-1, Railway Development Office, HyD;
- Chief Engineer/Construction, Water Supplies Department; and
- Commissioner of Police.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the proposed use with the concerned owner(s) and/or occupant(s);
- (b) the permission is given to the uses and/or structures under the application. It does not condone any other uses and/or structures which currently occur on the application site (the Site) but not covered by the application. Immediate action should be taken to discontinue such uses and remove such structures not covered by the permission;
- (c) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that the lot owner(s) shall apply to his office for a Short Term Waiver (STW) to permit the structure(s) erected within the said private lot(s). The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
 - (i) the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
 - (ii) sufficient manoeuvring space shall be provided within the Site; and
 - (iii) no vehicle is allowed to queue back to or reverse onto / from public road at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - (i) HyD shall not be responsible for the maintenance of the proposed access connecting the Site and Kam Ho Road, including the local tracks; and
 - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that:
 - (i) the detailed comments on the drainage proposal previously provided to the applicant shall be taken into account in the revised drainage proposal; and

- (ii) the applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the Site;
- (h) to note the comments of the Director of Fire Services that:
 - (i) the applicant shall submit relevant layout plans incorporated with the proposed fire service installations (FSIs) to his department for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of proposed FSIs to be installed should be clearly marked on the layout plans; and
 - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans;
- (i) to note the comments of the Director of Environmental Protection that:
 - (i) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
 - (ii) the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECCPN 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department';
 - (iii) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - (iv) the applicant shall meet the statutory requirements under relevant environmental legislation;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
 - (i) it is noted that eight structures and associated filling of land are proposed in the application. before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;

- (iv) if the existing structure is erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the application;
- (v) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- (vii) detailed checking under the BO will be carried out at building plan submission stage;
- (k) to note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable or overhead line under the application should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
- (l) to note the comments of the Commissioner of Police that the proposed use shall not cause traffic congestion and flooding.

Urgent Return receipt Expand Group Restricted Prevent Copy

From: [REDACTED]
Sent: 2025-05-26 星期一 03:27:30
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/YL-KTS/1071 DD 113 Ma On Kong near CA

A/YL-KTS/1071

Lot 1595 (Part) in D.D. 113, Ma On Kong, Kam Tin

Site area: About 1,930m²

Zoning: "Agriculture"

Applied Use: Warehouse / 1 Vehicle Parking / **Filling of Land**

Dear TPB Members,

It was evident that the 991 application was FAKE yet you went ahead and approved and of course conditions were not fulfilled.

So now applicant is back with the real deal. Brownfield.

However the site is adjacant to "CA" and is not Cat 2, there was adverse comments as laid out in PlanD's own assessment back in 2018.

There is absolutely no justification to reward the applicant for mendacity. Streamlining is not an option.

The application must be rejected if the board has any respect for its own guidelines.

Mary Mulvihill

From: tpbpd <tpbpd@pland.gov.hk>
To: [REDACTED]
Date: Thursday, 11 July 2024 12:14 PM HKT
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Ms Mulvihill,

I refer to your enquiry dated 20.6.2024 on the captioned planning application (the application).

To facilitate the Members of the Rural and New Town Planning Committee (RNTPC) of the Town Planning Board to consider the application, the Planning Department (PlanD) prepared a RNTPC paper No. A/YL-KTS/991A with appendices incorporating, *inter alia*, the Agriculture, Fisheries and Conservation Department's comments on the application (including the licensing matters) and PlanD's assessment, which were sent to the Members for consideration before the meeting on 24.5.2024. The RNTPC, when making decision on the application in the meeting, would take into account the land use compatibility, planning intention, public and departmental comments and other relevant considerations as detailed in the paper.

As mentioned in my previous email, any use or development, including the proposed temporary animal boarding establishment approved under the application, must also conform to any other relevant legislation and/or Government requirements, including the licensing requirements.

(Mandolin SIT)

Town Planning Board Secretariat

From: [REDACTED]
Sent: Thursday, June 20, 2024 12:08 AM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Mandolin,

Most people do not have time to read through the various appendix, and judging by questions raised by members many of them do not read through. How many hours are there in the day?

Pertinent data should be included in the main paper.

Your response does not address the issue of why PlanD is recommending and TPB members rubberstamping the many ABE applications that have not been discussed with Ag and Fish. Lack of communication with AFCD indicates that there is no genuine intention to operate ABE.

Regards

Mary

From: tpbpd <tpbpd@pland.gov.hk>
To: [REDACTED]
Date: Wednesday, 19 June 2024 7:11 PM HKT
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Ms Mulvihill,

I refer to your enquiry dated 29.5.2024 on the captioned planning application.

Please note that the Agriculture, Fisheries and Conservation Department (AFCD) provided comments on animal boarding establishment licensing matters in paragraph (g) of Appendix IV to RNTPC Paper No. A/YL-KTS/991A. As stated in the paragraph, the Site did not associate with any licence granted by AFCD, nor had AFCD received any application regarding the subject address.

Moreover, any use or development, including the proposed temporary animal boarding establishment approved under the captioned planning application, must also conform to any other relevant legislation and/or Government requirements, as may be applicable.

(Mandolin SIT)

Town Planning Board Secretariat

From: [REDACTED]
Sent: Wednesday, May 29, 2024 2:14 AM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: Fwd: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear TPB Members,

You approved this application on 25 May.

However enquiries reveal that there is no Animal Boarding Licence associated with the subject address, nor has any application for such a license pertaining to this location been filed.

But this information was withheld in the paper.

I request that members advise why they did not question whether the requisite licence had been applied for before they approved the application.

Regards

Mary

From: [REDACTED]

To: tpbpd <tpbpd@pland.gov.hk>

Date: Monday, 26 February 2024 2:28 AM HKT

Subject: A/YL-KTS/991 DD 113 Ma On Kong near CA

A/YL-KTS/911 SHOULD READ 991

Lot 1595 (Part) in D.D. 113, Ma On Kong, Kam Tin

Site area: About 1,930m²

Zoning: "Agriculture"

Applied Use: Animal Boarding Establishment / 1 Vehicle Parking / **Filling of Land**

Dear TPB Members,

This site was not only rejected for Open Storage use back in 2018 and Appeal rejected in 2020. However brownfield use of the site has prevailed.

Members should question what enforcement action has been taken.

We all know that application of ABE is nothing more than a front to gain approval for the filling of land. This subterfuge can no longer be tolerated.

There is absolutely no justification to deviate from the 2018 decision.

The application should be rejected.

Mary Mulvihill

From: [REDACTED]

To: tpbpd <tpbpd@pland.gov.hk>

Date: Thursday, 20 September 2018 2:20 AM HKT

Subject: Re: A/YL-KTS/781 DD 113 Ma On Kong

Dear TPB Members,

It is obvious from PD statements in the minutes for 18 May rejection that this application has no merit.

"Also, the Site was adjoining a "Conservation Area" ("CA") zone, DAFC had reservation on the application from nature conservation point of view due to possible encroachment and disturbance on the nearby "CA" zone from the applied use. The development was not in line with the TPB PG-No. 13E in that there was no previous approval for open storage use granted at the Site. Adverse departmental comments on the application were received and the application did not warrant sympathetic consideration. The Site was subject to a previous application No. A/YL-KTS/421 for open storage use which was rejected by the Board. Three similar applications (Nos. A/YL-KTS/529, 710 and 732) within the same "AGR" zone were rejected by Committee or by the Board on review."

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Monday, April 23, 2018 3:17:37 AM
Subject: A/YL-KTS/781 DD 113 Ma On Kong

A/YL-KTS/781
Lot 1595 (Part) in D.D. 113, Ma On Kong, Kam Tin
Site area : About 1,917m²
Zoning : "Agriculture"
Applied Use : Open Storage of Construction Materials

Dear TPB Members,

This appears to be an application to legitimize existing unapproved brownfield use.

The development was not in line with the planning intention of the "Agriculture" ("AGR") zone, which was primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It was also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. There was no strong planning justification in the submission to merit a departure from such

planning intention, even on a temporary basis;

The development was not in line with the Town Planning Board Guidelines No. 13E for Application for Open Storage and Port Back-up Uses in that no previous planning approval had been granted to the application site

Approval of the application would set an undesirable precedent for other similar applications within this part of the "AGR" zone. The cumulative effect of approving such similar applications would result in a general degradation of the environment of the area.

Mary Mulvihill

From: [REDACTED]
Sent: 2025-07-08 星期二 02:45:31
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: Re: A/YL-KTS/1071 DD 113 Ma On Kong near CA

Dear TPB Members,

"It is noted that current activities on the application site may have encroached on the abutting CA zone adjacent to the application site boundary. There is a concern that there will be a possible encroachment and disturbance on the nearby CA zone from the use."

THERE IS NO JUSTIFICATION THAT THIS APPLICATION BE STREAMLINED AND RUBBER STAMPED WITH NO QUESTIONS ASKED.

Damage to the function of 'CA' and the nearby watercourse are serious issues that must be addressed.

There is no justification for brownfield at this location.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 26 May 2025 3:27 AM HKT
Subject: A/YL-KTS/1071 DD 113 Ma On Kong near CA

A/YL-KTS/1071

Lot 1595 (Part) in D.D. 113, Ma On Kong, Kam Tin

Site area: About 1,930m²

Zoning: "Agriculture"

Applied Use: Warehouse / 1 Vehicle Parking / **Filling of Land**

Dear TPB Members,

It was evident that the 991 application was FAKE yet you went ahead and approved and of course conditions were not fulfilled.

So now applicant is back with the real deal. Brownfield.

However the site is adjacent to "CA" and is not Cat 2, there was adverse comments as laid out in PlanD's own assessment back in 2018.

There is absolutely no justification to reward the applicant for mendacity. Streamlining is not an option.

The application must be rejected if the board has any respect for its own guidelines.

Mary Mulvihill

From: tobpnd@pland.gov.hk
To: [REDACTED]
Date: Thursday, 11 July 2024 12:14 PM HKT
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Ms Mulvihill,

I refer to your enquiry dated 20.6.2024 on the captioned planning application (the application).

To facilitate the Members of the Rural and New Town Planning Committee (RNTPC) of the Town Planning Board to consider the application, the Planning Department (PlanD) prepared a RNTPC paper No. A/YL-KTS/991A with appendices incorporating, *inter alia*, the Agriculture, Fisheries and Conservation Department's comments on the application (including the licensing matters) and PlanD's assessment, which were sent to the Members for consideration before the meeting on 24.5.2024. The RNTPC, when making decision on the application in the meeting, would take into account the land use compatibility, planning intention, public and departmental comments and other relevant considerations as detailed in the paper.

As mentioned in my previous email, any use or development, including the proposed temporary animal boarding establishment approved under the application, must also conform to any other relevant legislation and/or Government requirements, including the licensing requirements.

(Mandolin SIT)

Town Planning Board Secretariat

From: [REDACTED]
Sent: Thursday, June 20, 2024 12:08 AM

To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Mandolin,

Most people do not have time to read through the various appendix, and judging by questions raised by members many of them do not read through. How many hours are there in the day?

Pertinent data should be included in the main paper.

Your response does not address the issue of why PlanD is recommending and TPB members rubberstamping the many ABE applications that have not been discussed with Ag and Fish. Lack of communication with AFCD indicates that there is no genuine intention to operate ABE.

Regards

Mary

From: tpbpd <tpbpd@pland.gov.hk>
To: [REDACTED]
Date: Wednesday, 19 June 2024 7:11 PM HKT
Subject: Re: A/YL-KTS/991 DD 113 Ma On Kong near CA

Dear Ms Mulvihill,

I refer to your enquiry dated 29.5.2024 on the captioned planning application.

Please note that the Agriculture, Fisheries and Conservation Department (AFCD) provided comments on animal boarding establishment licensing matters in paragraph (g) of Appendix IV to RNTPC Paper No. A/YL-KTS/991A. As stated in the paragraph, the Site did not associate with any licence granted by AFCD, nor had AFCD received any application regarding the subject address.

Moreover, any use or development, including the proposed temporary animal boarding establishment approved under the captioned planning application, must also conform to any other relevant legislation and/or Government requirements, as may be applicable.

(Mandolin SIT)

Town Planning Board Secretariat

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Sent: Wednesday, May 29, 2024 2:14 AM

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Mary Mulvihill

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/YL-KTS/1071 Received on 11/06/2025

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

對於此申請有以下幾點不反對，原因以下：

- 1. 申請地點位置，本村鄰近，無任何風波；
- 2. 申請地點在本村附近，對附近居民無影響；
- 3. 申請地點在本村附近，本村居民支持；
- 4. 申請地點在附近，無噪音問題；
- 5. 申請人申請的不夠詳細，無法本村的疑慮。

「提意見人」姓名/名稱 Name of person/company making this comment 魏國添 深水埗河背村村代表

簽署 Signature

魏國添

日期 Date

3.1.2025