

This document is received on 21 AUG 2025
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第 131 章)
第 16 條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501843

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By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-LFS/570
	Date Received 收到日期	21 AUG 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

大西北發展有限公司 WEST & NORTH DEVELOPMENT LIMITED

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Allgain Land Planning Limited 全堅土地規劃有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	新界元朗流浮山丈量約份第129約地段第1964號A分段 (部份) 及第1964號B分段 (部份) Lot 1964 S.A (part) and 1964 S.B(part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1300 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 260 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11 流浮山及尖鼻咀分區計劃大綱核准圖編號 S/YL-LFS/11
(e) Land use zone(s) involved 涉及的土地用途地帶	康樂 Recreation
(f) Current use(s) 現時用途	現時是空置的 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於_____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於_____ (日/月/年)在指定報章就申請刊登一次通知&

- ☒ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於 28/07/2025 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&

- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 12/08/2025 (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

臨時露天存放五金零件

Temporary Open Storage of Hardware Accessories

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 3☐ month(s) 個月

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	1,040	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	260	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	3		
Proposed domestic floor area 擬議住用樓面面積	0	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	260	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	260	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

構築物1：貨倉存放五金零件，面積約220平方米，1層高，高度不多於9米。

構築物2：辦公室，面積約20平方米，1層高，高度不多於3米。

構築物3：洗手間，面積約20平方米，1層高，高度不多於3米。

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	0
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed operating hours 擬議營運時間			
星期一至星期六上午八時至下午六時，星期日及公眾假期全日休業。			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 由深灣路經一條鄉村道路進入	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<div> <input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 </div> <div> <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 </div> <div> <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明) </div>
(f) Renewal period sought 要求的續期期間	<div> <input type="checkbox"/> year(s) 年 </div> <div> <input type="checkbox"/> month(s) 個月 </div>

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Ms Hermose Chong

Manager

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

Allgain Land Planning Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

12/08/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments. 方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

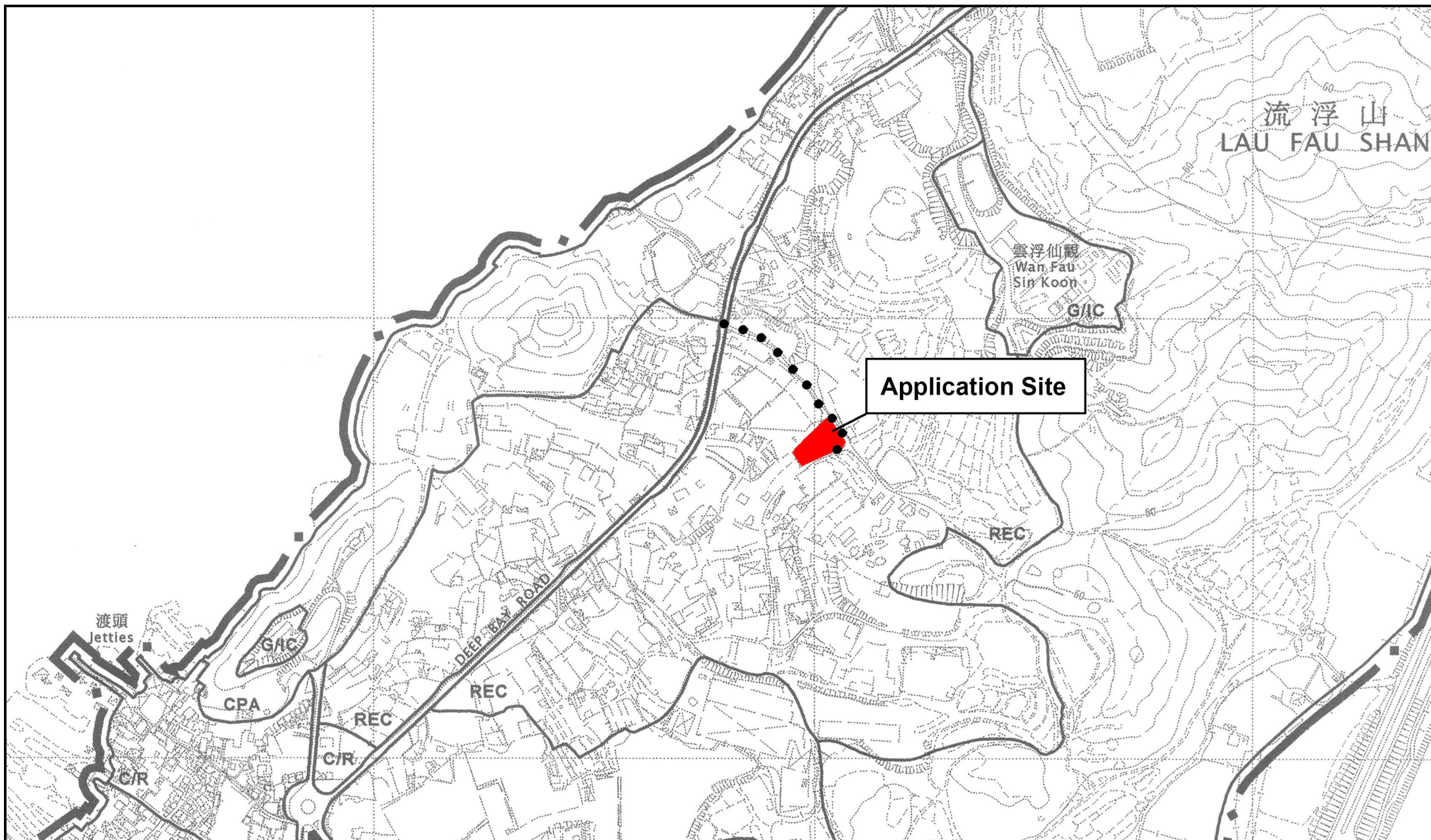
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	新界元朗流浮山丈量約份第129約地段第1964號A分段（部份） 及第1964號B分段（部份） Lot 1964 S.A (part) and 1964 S.B(part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories
Site area 地盤面積	1300 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 0 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11 流浮山及尖鼻咀分區計劃大綱核准圖編號 S/YL-LFS/11
Zoning 地帶	康樂 Recreation
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	擬議臨時露天存放五金零件（為期3年） Proposed Temporary Open Storage of Hardware Accessories for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	260 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.2 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	0	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	0 m 米 <input type="checkbox"/> (Not more than 不多於)	
		0 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	9 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	20 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		0
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		0 0 0 0 0 0
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		0 0 1 0 0 0

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/> 位置圖 Location Plan，地盤平面圖 Site Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領／理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> 預計車輛進出流量報告		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



Project 項目名稱:

Proposed Temporary Open Storage of Hardware Accessories for a Period of 3 Years at Lots 1964 S.A (part) and 1964 S.B (part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

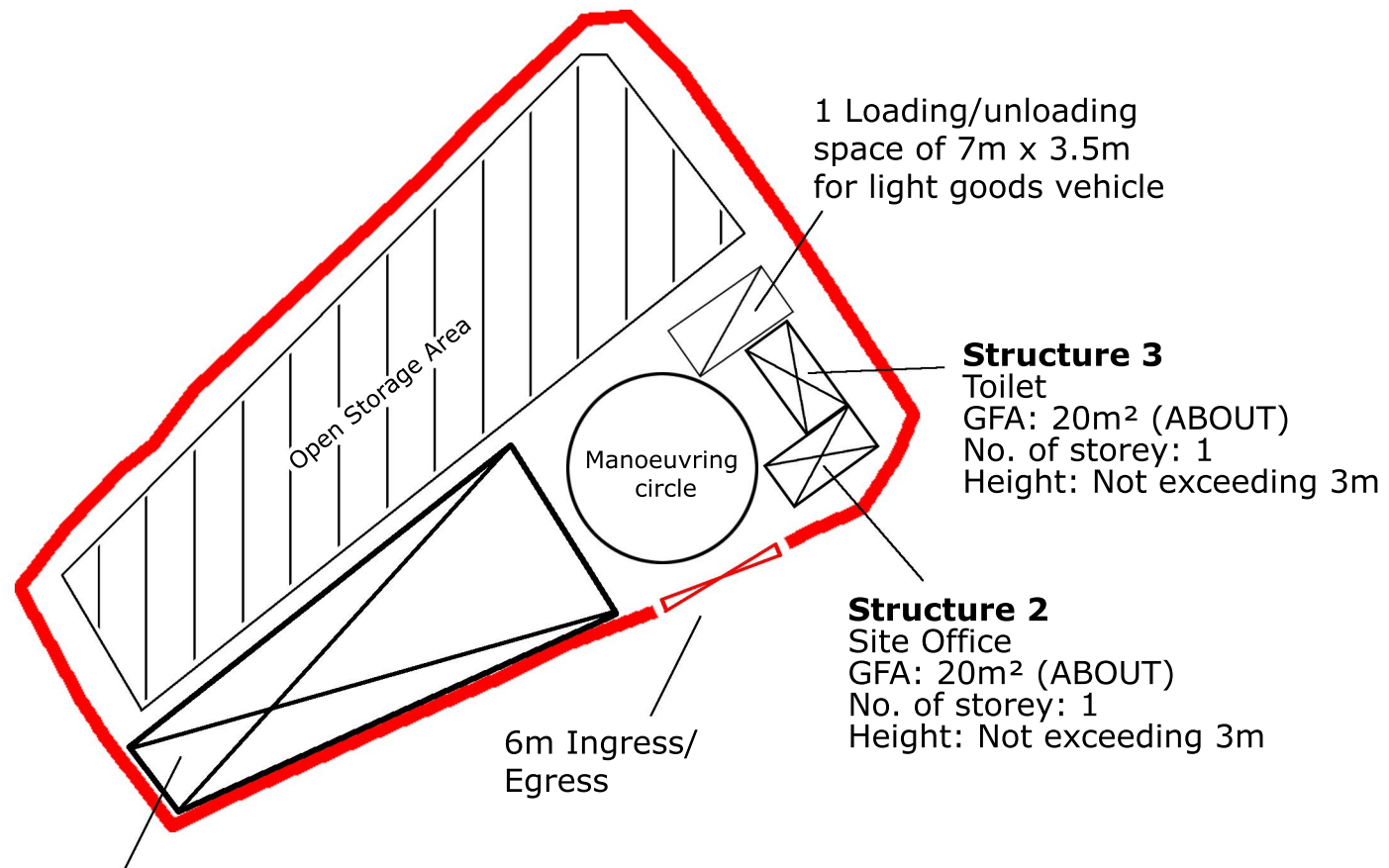
Location Plan

Drawing No. 圖號:

20250808

Remarks 備註:

●●● Vehicular access leading from Deep Bay Road



Structure 1
 Warehouse for storage of hardware accessories
 GFA: 220m² (ABOUT)
 No. of Storey: 1
 Height: Not exceeding 9m

Structure 3
 Toilet
 GFA: 20m² (ABOUT)
 No. of storey: 1
 Height: Not exceeding 3m

Structure 2
 Site Office
 GFA: 20m² (ABOUT)
 No. of storey: 1
 Height: Not exceeding 3m

根據《城市規劃條例》(第 131 章)

第 16 條遞交的許可申請

新界元朗流浮山丈量約份第 129 約地段

第 1964 號 A 分段 (部份) 及第 1964 號 B 分段 (部份)

擬議臨時露天存放五金零件 (為期 3 年)

申請報告書及擬議發展的計劃細節

目 錄

1. 擬議發展細節-----P.1
2. 申請原因-----P.2
3. 擬議發展計劃的各方面影響-----P.3-4
4. 五金零件參考圖片-----P.5-6

擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章) 第 16 條，提交有關新界元朗流浮山丈量約份第 129 約地段第 1964 號 A 分段 (部份) 及第 1964 號 B 分段 (部份) 的規劃申請，擬在上述地段申請為期三年的臨時露天存放五金零件。
2. 申請地點位於元朗流浮山的深灣路附近，在《流浮山及尖鼻咀分區計劃大綱核准圖編號 S/YL-LFS/11》上劃為「康樂」用途。
3. 申請地盤面積為約 1,300 平方米，上蓋總面積為 260 平方米，露天地方面積為 1040 平方米，上蓋覆蓋率為 20%。
4. 申請地點將設有 3 個構築物，總樓面面積不多於 260 平方米，用途如下：
構築物 1：貨倉存放五金零件，面積約 220 平方米，1 層高，高度不多於 9 米；構築物 2：辦公室，面積約 20 平方米，1 層高，高度不多於 3 米；構築物 3：洗手間，面積約 20 平方米，1 層高，高度不多於 3 米。
5. 擬議用途的臨時露天存放，主要用作存放五金零件 (參考下頁圖片)，不涉及存放大型五金廢鐵，不涉及任何機械加工程序，不會帶來噪音。
6. 申請地點涉及一個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。
7. 申請地點可從深灣路經一條鄉村地區道路前往，擬議發展的營運時間為星期一至星期六上午八時至下午六時，星期日及公眾假期全日休業。

申請原因

1. 申請地點的面積約為 1,300 平方米，根據流浮山及尖鼻咀分區計劃大綱核准圖編號 S/YL-LFS/11，申請地點現時被規劃為「康樂」。
2. 申請地點涉及一個先前的規劃許可編號 A/YL-LFS/493，批准作為期三年的臨時用途，由於之前因為早前未能如期履行規劃許可附帶的規劃條件，以及佈局和構築物數量有變，因此申請人重新提交本申請以要求城市規劃委員會批准為期三年的規劃許可。
3. 城市規劃委員會曾批准申請地點附近的地段作相同用途（請參考城規會編號：A/YL-LFS/368、A/YL-LFS/321、A/YL-LFS/320、A/YL-LFS/223、A/YL-LFS/410 及 A/YL-LFS/479 等），因此申請人懇請城市規劃委員會對本申請作出相同的對待。
4. 擬議發展只是臨時三年的性質，政府現在還未展開收回土地作發展，「康樂」的規劃意向於未來三年將難以實現，所以擬議發展不會影響用途地帶的長遠規劃意向。
5. 申請用途不會破壞「康樂」地帶上的一草一木，只是利用現時的地面作臨時存放五金零件，不會影響天然環境，不會砍伐樹木，不會對周邊地區及環境帶來重大負面影響。
6. 擬議臨時貨倉的營業時間為星期一至星期六上午八時至下午六時，星期日及公眾假期全日休業。
7. 擬議發展只涉及 1 個輕型貨車的上落貨車位，不涉及任何中型或重型貨車，不會加重深灣路的交通負荷。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批新界元朗流浮山丈量約份第 129 約地段第 1964 號 A 分段（部份）及第 1964 號 B 分段（部份）作為期三年的臨時露天存放五金零件。

擬議發展計劃的各方面影響

1. 土地行政

申點地點涉及兩個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及 3 個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從深灣路經一條鄉村地區道路前往，入口設有約 6 米闊的大閘讓車輛駛進臨時貨倉。

3. 擬議發展的交通安排

申請用途只提供一個輕型貨車的上落車位，並不開放給公眾人士。

4. 環境方面

申請人會按照環保署的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時存放五金零件，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時存放五金零件，只在星期一至星期六上午八時至下午六時，星期日及公眾假期全日休業，而附近主要都貨倉及港口後勤用途，較少民居，不會為居民帶來重大的噪音影響。

7. 排污方面

申請用途涉及洗手間，早前已按照指引興建化糞池，並安排人定期來吸糞。

8. 渠務方面

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

9. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

10. 綠化園景方面

申請人不會砍伐現存的樹木，並會好好打理保養它們。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，
並承諾在規劃許可到期後，還原申請地點，懇請城市規劃委員會寬大批准新
界新界元朗流浮山丈量約份第 129 約地段第 1964 號 A 分段（部份）及第
1964 號 B 分段（部份）作為期不超過三年的臨時露天存放五金零件。

五金零件 參考圖片





以上圖片只供參考，擬議臨時貨倉存放的五金零件體積細小，一般透過紙箱打包，並使用 5.5 噸或以下的輕型貨車運送。

申請地點內有足夠土地，供上貨或卸貨工作，不會對附近交通造成影響；即使需要上貨或卸貨，也會在日間非繁忙時間安排運輸工作。

有關第 16 條規劃申請編號

擬議申請用途：臨時露天存放五金零件

丈量和地段編號：新界元朗流浮山丈量約份第 129 約地段第 1964 號 A 分段 (部份)
及第 1964 號 B 分段 (部份)

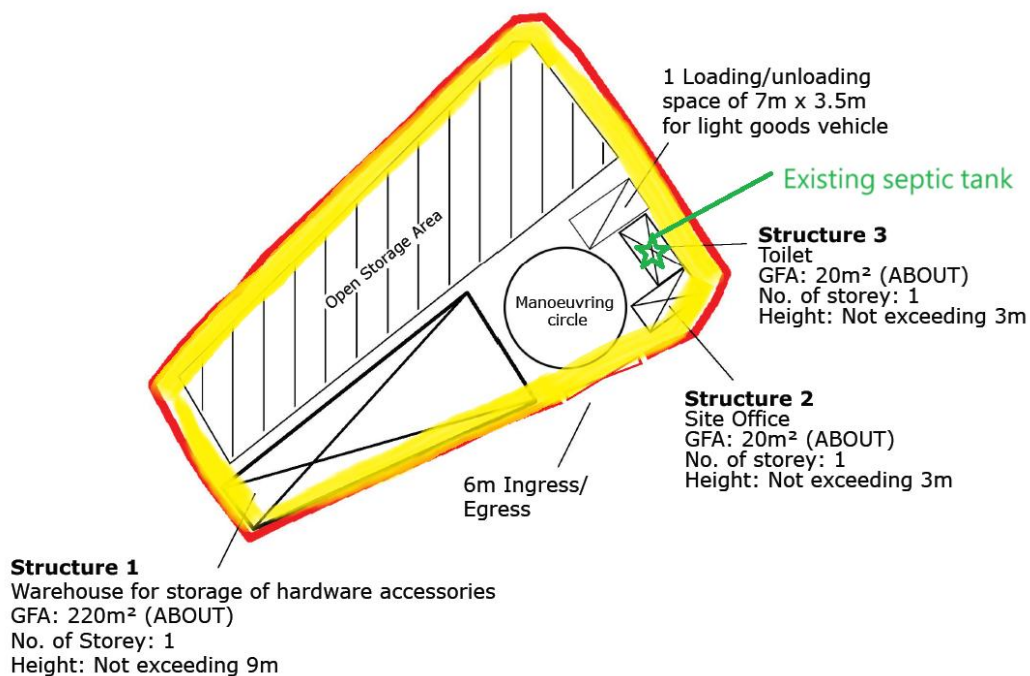
預計 輕型貨車 進出流量報告
(星期一至星期六)

時間	進入 (輛)	離開 (輛)
8 : 00 - 9 : 00	0	0
9 : 00 - 10 : 00	0	0
10 : 00 - 11 : 00	0	0
11 : 00 - 12 : 00	1	0
12 : 00 - 13 : 00	0	1
13 : 00 - 14 : 00	0	0
14 : 00 - 15 : 00	0	0
15 : 00 - 16 : 00	0	0
16 : 00 - 17 : 00	0	0
17 : 00 - 18 : 00	0	0

Planning Application No. A/YL-LFS/570

Supplementary Information

1. The area used for open storage is about 550m².
2. There is no ground excavation for the temporary open storage of hardware accessories.
3. There is a septic tank in the application site already.
4. Excavation works will be carried out in the yellow area (see below) of the application site (for the implantation of drainage), with a width and depth of no more than 450 mm.



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Tracy Wing Sum LAW/PLAND

寄件者: tmylwdpo_pd/PLAND
寄件日期: 2025年12月08日星期一 10:02
收件者: Wilfred Ka Hing CHU/PLAND
副本: Eric Chi Yeung CHIU/PLAND; Tracy Wing Sum LAW/PLAND; Belva Yuen King TONG/PLAND
主旨: 轉寄: s16 No. A/YL-LFS/570 : 補充文件 (Drainage Proposal)
附件: Temporary Drainage Proposal _YL_LFS_570_Fullset.pdf

From: tpbpd/PLAND <tpbpd@pland.gov.hk>
Sent: Monday, December 8, 2025 9:58 AM
To: tmylwdpo_pd/PLAND <tmylwdpo@pland.gov.hk>
Cc: Yuki Man Yin YIU/PLAND <ymyyiu@pland.gov.hk>
Subject: Fw: s16 No. A/YL-LFS/570 : 補充文件 (Drainage Proposal)

From: [REDACTED]
Sent: Monday, December 8, 2025 9:46 AM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Cc: Tracy Wing Sum LAW/PLAND <twslaw@pland.gov.hk>
Subject: s16 No. A/YL-LFS/570 : 補充文件 (Drainage Proposal)

城規會/規劃處：

有關規劃許可：A/YL-LFS/570 的申請，現附上排水建議書，請查收。

謝謝。

Ms Chong
[REDACTED]

TEMPORARY DRAINAGE PROPOSAL



TEMPORARY DRAINAGE PROPOSAL FOR THE PROPOSED
TEMPORARY OPEN STORAGE OF HARDWARE
ACCESSORIES FOR A PERIOD OF 3 YEARS AT LOTS 1964
S.A (PART) AND 1964 S.B (PART) IN D.D. 129, LAU FAU
SHAN, YUEN LONG, NEW TERRITORIES
A/YL-LFS/570

ISSUE 1 (DECEMBER 2025)

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Appendix

Appendix A Location Plan of Application Site

Appendix B Layout Plan of Application Site

Appendix C Location Plan of the Existing Drainage

Appendix D Proposed Drainage Arrangement

Appendix E Design Calculation

Appendix F Design Checking for Existing Drainage System

Appendix G Typical designs of the U-channels and Catchpits

1. Introduction

This report temporary drainage proposal for the proposed temporary open storage of hardware accessories for a period of 3 years at lots 1964 S.A (part) and 1964 S.B (part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories. For site location, please refer to **Appendix A**.

1.1. Objectives of the Report

This report shall be prepared to include the following:

- Identify the potential drainage impact assessment from the proposed Application Site
- Recommend and implement all necessary measures to mitigate adverse drainage impacts arising from the application site

1.2. Report Structure

The report contains the following sections:

- Section 1 on Introduction;
- Section 2 on Development Proposal;
- Section 3 on Assessment Methodology;
- Section 4 on Potential Drainage Impact; and /
- Section 5 on Conclusion

1.3. References

This report has been prepared with reference to the following documents:

- Stormwater Drainage Manual: Planning, Design and Management (Fifth Edition, January 2018)
- Technical Mote No.1 Technical Note to Prepare a Drainage Submission (December 2024)
- Stormwater Drainage Manual – Corrigendum No. 1/2022
- Stormwater Drainage Manual – Corrigendum No. 1/2024

2. Development Proposal

2.1. Existing Site Conditions

The application site is located in Lau Fau Shan, Yuen Long, New Territories, with a total area of approximately 1300 m^2 . The existing ground level varying between + 17.65 mPD and + 15.75 mPD. The site layout plan is provided in **Appendix B**.

The applied development is a temporary open storage of hardware accessories. The type of application is the temporary use/development in rural areas for a period of 3 years. The zonings are under "Recreation". The application site is located at Lots 1964 S.A (part) and 1964 S.B (part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories.

The application site is less than 1 ha in size and neither fall within flood prone areas such as lowlying areas and flooding blackspots nor involve pond filling and substantial earth filling, so it is regarded as simple site. There are no existing stormwater drains within the application site. There is an existing catchpit and village surface channel in vicinity of the site that proposed be discharged to, the location and picture of the existing catchpit and village surface channel are shown in **Appendix C**.

3. Assessment Methodology

3.1. Calculation Methodology for Runoff

According to Section 6.6.2 of *the Storm Drainage Manual*, an "Urban Drainage Branch System" refers to a network of interconnected drains that collect rainwater runoff from an urban area and transport it to a trunk drain, river, or sea. In simpler terms, the largest pipe size or the equivalent diameter in case of a box culvert in a branch system will normally be less than 1.8m.

Referring to Stormwater Drainage Manual, since the proposed U-channels have dimensions smaller than 1.8m, the drainage system would be classified as an urban drainage branch. It is normal practice to design the system with a return period of 50 years to ensure its adequacy in managing stormwater drainage. In consideration of the effect of recent climate change in the drainage design, a more conservative design approach is adopted. The return period has been increased to 100 years with the storm constraints specified in *Stormwater Drainage Manual – Corrigendum No. 1/2024*.

To calculate the peak instantaneous runoff values before and after the development, the Rational Method with recommended physical parameters including runoff coefficient (C) and storm constants for different return periods are adopted referred to the SDM.

The Rational Method is adopted for hydraulic analysis and the peak runoff is calculated based on the following equation:

$$Q_p = 0.278 Ci A$$

where Q_p = Peak Runoff, m^3/s

C = Runoff Coefficient

i = Rainfall Intensity, mm/hr

A = Catchment Area, km^2

The total area of the site will account for $1300 m^2$. The runoff coefficient of 1 is assumed.

Based on the storm constants for the 50-year return period recommended in the SDM, the appropriate rainfall intensities (i) are calculated as detailed in **Appendix E**.

3.2. Calculation Methodology for Capacity Checking

Since the catchment areas are less than 1ha, peripheral surface U-channels are recommended to be constructed to collect the stormwater runoff within the site and to

intercept the overland flow from the adjacent lands. The surface u channel are proposed to be 400mm width. The collected stormwater should finally be diverted to the proposed 500 mm village surface channel in vicinity of the site.

For the worst-case scenario, bad condition of concrete u channel is assumed for the Manning's roughness coefficient i.e coefficient value is 0.016 for calculating capacities of concrete U-channel using Manning's Equation. The recommended roughness values k_s for concrete channels with float finish is 3.3 mm under normal condition.

Manning's Equation for calculating the channel and pipe capacities is adopted for this analysis:

$$V = \frac{R^{2/3} S^{1/2}}{n}$$

where V = mean velocity, m/s

S = slope of the total energy line

n = Manning's roughness coefficient

R = hydraulic radius, m

3.3. Summary of Assessment Assumptions

The assumptions of the Drainage Proposal are summarized below for ease of reference:

- 100 years return period is adopted;
- Runoff coefficient of 1 for the paved area is assumed;
- Storm constants for 50 years return periods of HKO Headquarters
- Manning's roughness coefficient of 0.016 for the proposed concrete U-channels and concrete pipe are adopted; and
- Roughness values k_s of 3.3 mm for concrete channels with float finish is adopted.

4. Potential Drainage Impact

4.1. Change in Drainage Characteristics

There is no existing drainage provision for the current site, the collected stormwater was discharged as surface runoff and infiltration leading to the natural stream or river. For conservative approach, the total area of the site for 1300 m^2 will be accounted for one catchment area.

The adjacent sites have no record of flooding. Peripheral surface channels are proposed to collect the surface runoff accrued on the site and to intercept the overland flow from the adjacent lands.

To manage the stormwater flows after developing the site, this drainage proposal detailed the proposed drainage system consisting of a set of U-channels for diverting stormwater flows to avoid causing flooding to the site.

4.2. Potential Drainage Impact

The runoff from the application site is proposed to be collected by U-channels along the boundary of the site and discharged to the terminate catchpit with sand trap, and eventually lead to the existing village surface channel in vicinity of the site through drainage pipe. The details of the proposed drainage works are illustrated in **Appendix D**.

To ensure a conservative approach, the critical scenario has been considered, involving the collection of all flow within the catchment area. Surface U-channels with a width of 400mm are proposed for this purpose. Surface runoff will be diverted from the site with 400mm drainage pipe to the nearby 500mm village surface channel. Design calculations for the proposed U-channel and drainage pipe are presented in **Appendix E1** and **Appendix E2**.

In addition, a hydraulic analysis has also been carried out to verify the capacity of the existing 300 mm pipe that collects surface runoff from the application site. A separate design check has been undertaken for the 500 mm surface channel, which serves as the proposed discharge point, using an enlarged catchment area that includes the adjacent sites. These calculations are provided in **Appendix F**.

The typical designs for the U-channels and catchpits are provided in **Appendix G** as a reference.

The design runoff arising from the proposed application site is to be discharged into the proposed 400mm U-channel and 400mm drainage pipe with connect with the existing catchpit in adjacent to site. The design calculations for U-channel and drainage pipe are summarized in **Table 1** and **Table 2** respectively.

From	To	U.S I.L	U.S I.L	Width (mm)	Length (m)	Grad.	Vel. Full Bore (m/s)	Cap. Q (m ³ /s)	Capacity	Check
CP1	CP2	17.05	16.84	400	16.6	40	2.65	0.38	28.4%	OK
CP2	CP4	15.75	15.36	400	51.5	40	2.65	0.38	28.3%	OK
CP1	CP3	16.8	16.38	400	52.3	60	2.16	0.31	34.7%	OK
CP3	CP4	15.75	15.55	400	29.1	35	2.83	0.40	26.4%	OK

Table 1: Drainage Schedule of Proposed U-channel Size

From	To	U.S I.L	U.S I.L	Width (mm)	Length (m)	Grad.	Vel. Full Bore (m/s)	Cap. Q (m ³ /s)	Capacity	Check
CP4	CP5	15.36	15.03	400	5	15	3.81	0.48	28.97%	OK

Table 2: Drainage Schedule of Proposed Pipe

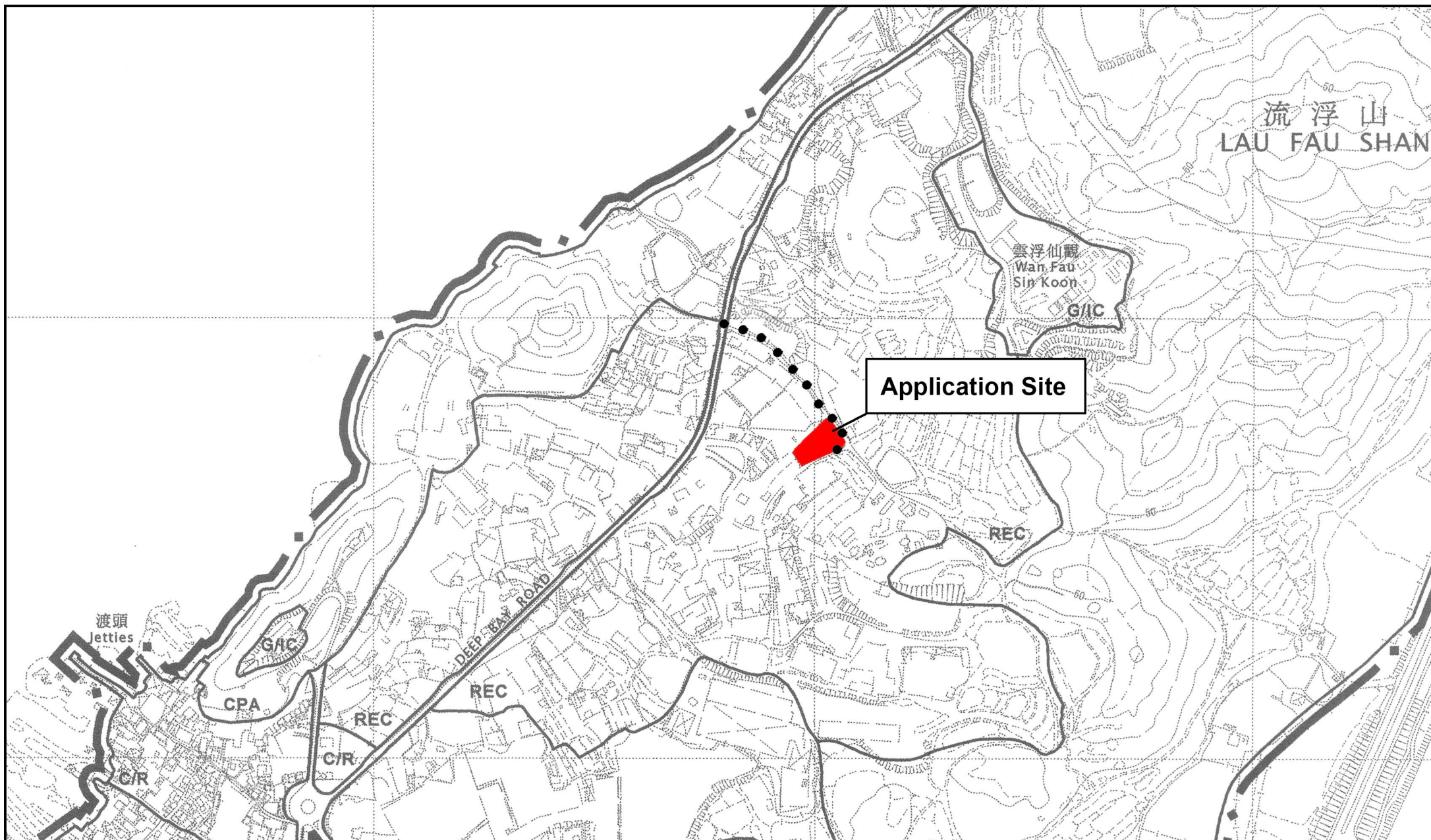
5. Conclusion

A temporary drainage proposal has been designed for temporary temporary open storage of hardware accessories. The type of application is the temporary use/development in rural areas for a period of 3 years. The zonings are under "Recreation". The application site is located at Lots 1964 S.A (part) and 1964 S.B (part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories.

Based on the design calculations, a set U-channel with width of 400mm has been deemed sufficient to convey peak runoff under a 50-year return period from the application site. The stormwater collected from the site will be discharged into the nearby existing catchpit and then a 500mm village surface channel.

Coordination will be undertaken with relevant stakeholders, and feedback will be sought from appropriate government departments regarding temporary drainage arrangements to ensure the system operates effectively.

Appendix A
Location Plan of Application Site



Project 項目名稱:

Proposed Temporary Open Storage of Hardware Accessories for a Period of 3 Years at Lots 1964 S.A (part) and 1964 S.B (part) in D.D. 129, Lau Fau Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Location Plan

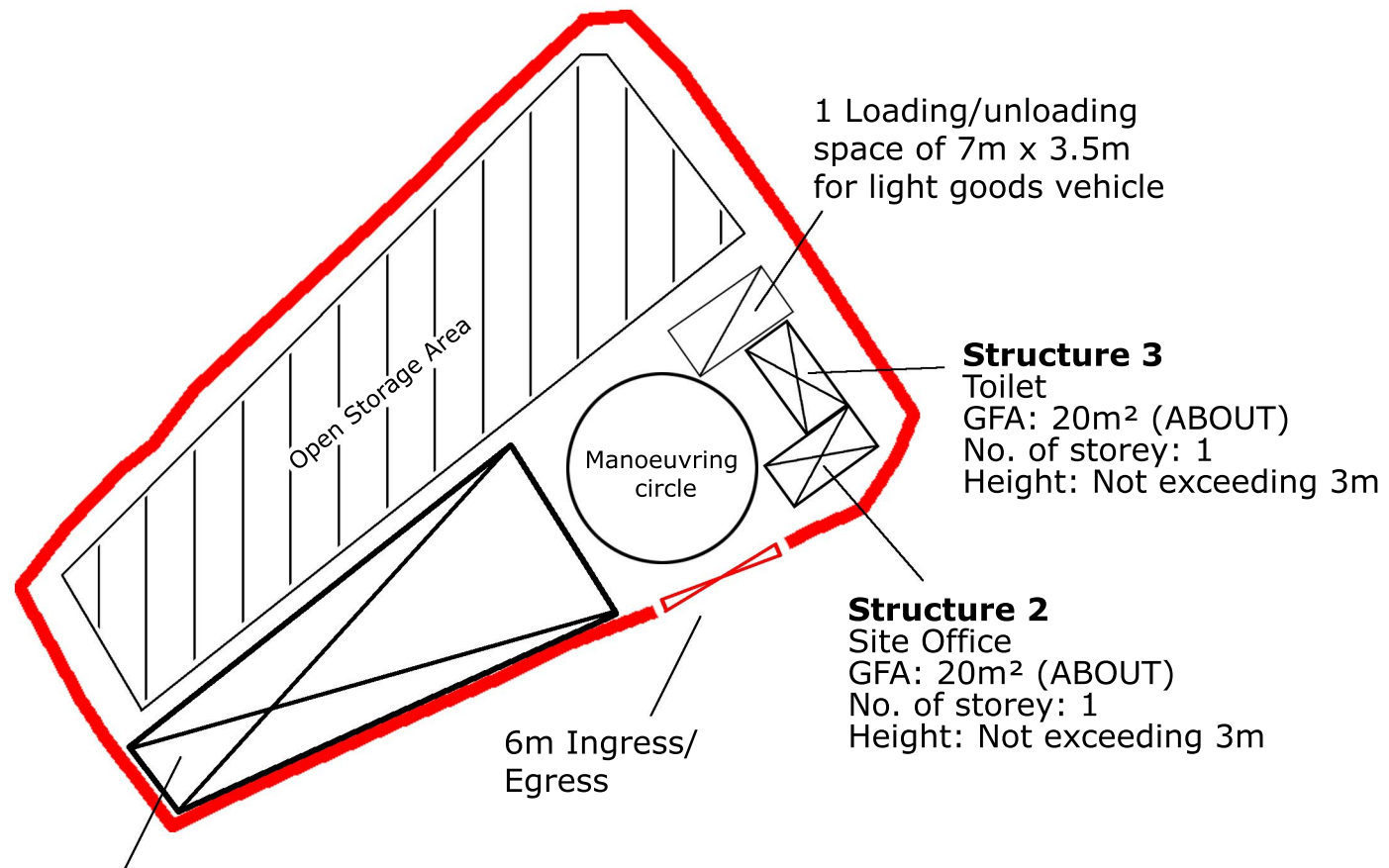
Drawing No. 圖號:

20250808

Remarks 備註:

●●● Vehicular access leading from Deep Bay Road

Appendix B
Layout Plan of Application Site




Structure 1
 Warehouse for storage of hardware accessories
 GFA: 220m² (ABOUT)
 No. of Storey: 1
 Height: Not exceeding 9m

Structure 3
 Toilet
 GFA: 20m² (ABOUT)
 No. of storey: 1
 Height: Not exceeding 3m

Structure 2
 Site Office
 GFA: 20m² (ABOUT)
 No. of storey: 1
 Height: Not exceeding 3m



Appendix C
Location Plan of the Existing Drainage



APPLICATION SITE
YL-LFS-570

EXISTING CATCHPIT ECP

EXISTING 300MM DRIANAGE



EXISTING CATCHPIT ECP

EXISTING 300MM DRIANAGE

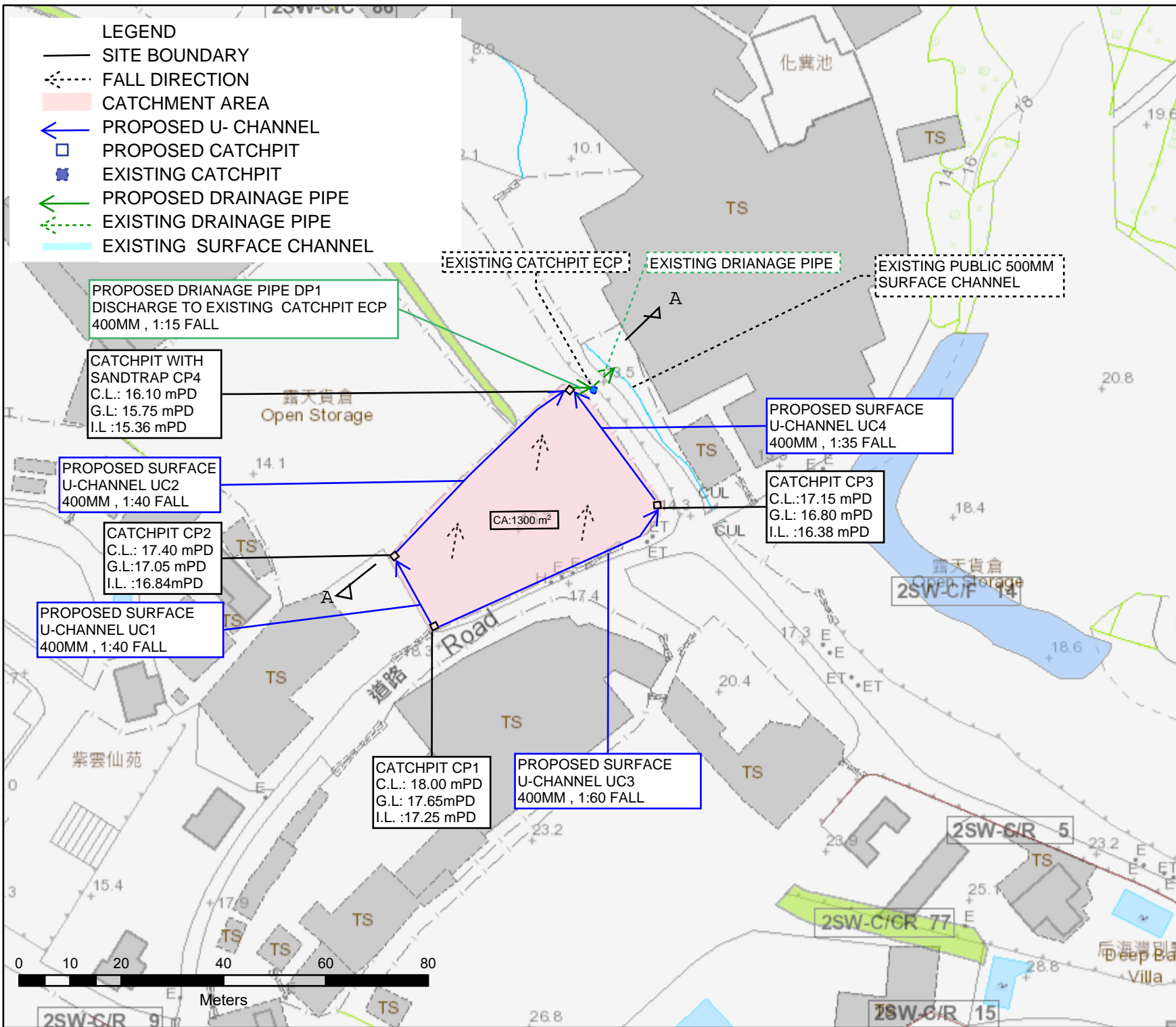
EXISTING 300MM DRIANAGE



EXISTING 500MM
PUBLIC SURFACE
CHANNEL

EXISTING 300MM DRIANAGE

Appendix D
Proposed Drainage Arrangement



SITE PLAN

PROJECT :

TEMPORARY DRAINAGE
PROPOSAL FOR THE
PROPOSED TEMPORARY
OPEN STORAGE OF
HARDWARE ACCESSORIES
FOR A PERIOD OF 3 YEARS AT
LOTS 1964 S.A (PART) AND
1964 S.B (PART) IN D.D. 129,
LAU FAU SHAN, YUEN LONG,
NEW TERRITORIES

DRAWING TITLE:

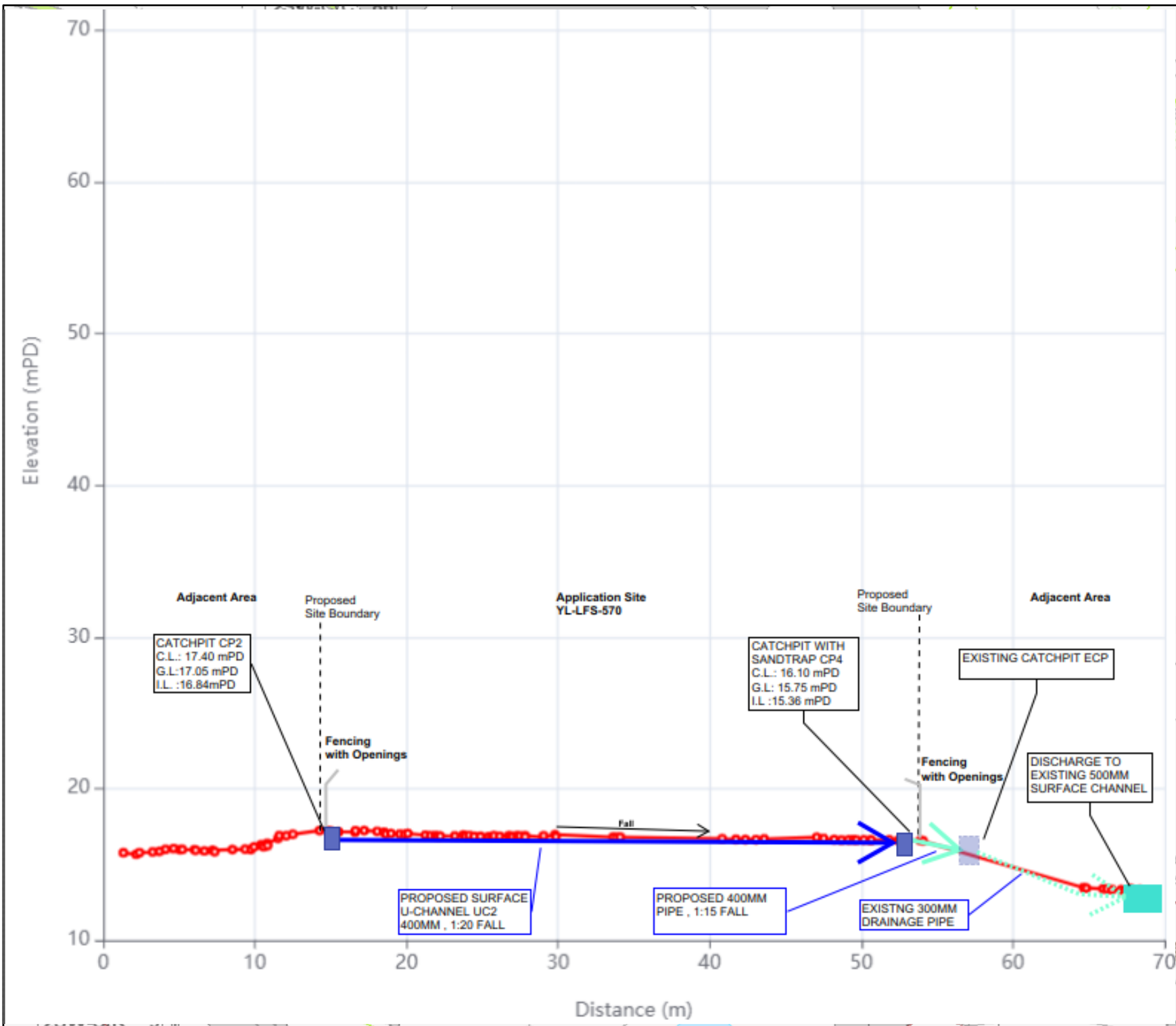
PROPOSED DRAINAGE
WORKS

APPENDIX D
ISSUE 1

Division

Scale 1:1000

Date 20/11/2025



SITE PLAN

PROJECT :

TEMPORARY DRAINAGE
PROPOSAL FOR THE
PROPOSED TEMPORARY
OPEN STORAGE OF
HARDWARE ACCESSORIES
FOR A PERIOD OF 3 YEARS AT
LOTS 1964 S.A (PART) AND
1964 S.B (PART) IN D.D. 129,
LAU FAU SHAN, YUEN LONG,
NEW TERRITORIES

DRAWING TITLE:

PROPOSED DRAINAGE
WORKS - SECTION A

APPENDIX D
ISSUE 1

Division

Scale 1:1000

Date 20/11/2025

Appendix E1
Design Calculation of U Channel

Calculation Sheet		Date:	2025-12-07
Project Title:		Project No.:	YL-LFS-S70
TEMPORARY DRAINAGE PROPOSAL FOR THE PROPOSED TEMPORARY OPEN STORAGE OF HARDWARE ACCESSORIES FOR A PERIOD OF 3 YEARS AT LOTS 1964 S.A (PART) AND 1964 S.B (PART) IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES		Designed by:	RF
		Appendix :	E
		Sheet No.:	1

Design for Proposed U Channel for Development Area

Catchpit No.		Catchment				Level				U Channel								Manning's Equation								
From (U/S)	To (D/S)	Surface Channel	Catchm ent. Area (m ²)	Runoff Coef. C	Ave. Slope / 100m	U/S G.L. (mPD)	D/S G.L. (mPD)	U/S I.L. (mPD)	D/S I.L. (mPD)	Material	Width (mm)	Depth (mm)	Lgth (m)	Grad. (1 in)	U Channel Area A (m2)	Wetted Peri.P (mm)	Hyd. Radius R (mm)	Mng's Coef. n	Vel. V at Full Bore (m/s)	Cap. Q _o (m ³ /s)	Velocity Check	Time of Conc. t _c (min)	Rainfall Intensity i (mm/hr)	Runoff Q (m ³ /s)	Capacity % (Q/Q _o)	Capacity Check
CP1	CP2	UC1	1300	1	1	17.65	17.05	17.25	16.84	CO	400	400	16.6	40	0.14	1.03	0.14	0.016	2.65	0.38	OK	1.172	297.25	0.11	28.4%	OK
CP2	CP4	UC2	1300	1	1	17.05	15.75	16.65	15.36	CO	400	400	51.5	40	0.14	1.03	0.14	0.016	2.65	0.38	OK	1.189	296.86	0.11	28.3%	OK
CP1	CP3	UC3	1300	1	1	17.65	16.8	17.25	16.38	CO	400	400	52.3	60	0.14	1.03	0.14	0.016	2.16	0.31	OK	1.209	296.38	0.11	34.7%	OK
CP3	CP4	UC4	1300	1	1	16.8	15.75	16.38	15.55	CO	400	400	29.1	35	0.14	1.03	0.14	0.016	2.83	0.40	OK	1.222	296.09	0.11	26.4%	OK

Formulae:

t_c	=	Time of Concentration	=	$t_o + t_f$	=	
		where t_o	=	Inlet Time	=	1.172 min
		t_f	=	Flow Time	=	\hat{a} (Pipe Length / Flow Velocity)

V	=	Pipe Flow Velocity	=	1.5 m/s
R	=	$(R)^{2/3} s^{1/2} / n$	=	for Manning's Equation
g	=	Gravitational Acceleration	=	9.81 m/s ²
R	=	Hydraulic Radius		
s	=	Frictional Slope		
k _s	=	Surface Roughness	=	3.3 mm for

k_s	= Friction Slope Surface Roughness	=	3.3	mm for	concrete	CO	Ref. DSD SDM Table 14
		=	0.06	mm for	cast iron	CI	
		=	0.6	mm for	ductile iron	DI	

n	=	Kine. Viscosity	=	1.141E-06	m ² /s		
n	=	Manning's Coef.	=	0.016	for	concrete	CO
				0.015	for	cast iron	CI
				0.015	for	ductile iron	DI

Ref. DSD SDM Table 13

$$Q_o = \text{Pipe Flow Capacity} = (\pi D^2/4)V$$

[illegible]

Q = Runoff = 0.278 * CiA

where C = Runoff Coefficient
A = Catchment Area

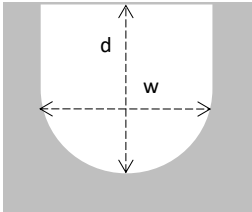
Appendix E2
Design Calculation of Drainage Pipe

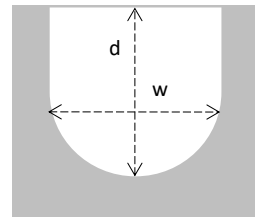
	TEMPORARY DRAINAGE PROPOSAL FOR THE PROPOSED TEMPORARY OPEN STORAGE OF HARDWARE ACCESSORIES FOR A PERIOD OF 3 YEARS AT LOTS 1964 S.A (PART) AND 1964 S.B (PART) IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES	Issue 1		Date:	Dec-25
Calculation					Note
<u>DESIGN OF PIPE DP1 (PVC PIPE)</u> Up Stream = CP4 Down Stream = CP5 Diameter of Pipe, D = 400.00 mm Length of Pipe, L = 5.00 m Up Stream Invert Level = 15.36 mPD Down Stream Invert Level = 15.03 mPD Gradient = 1 in 15 Area of Pipe, A = 0.13 m2 Wetted Perimeter, P = 1.26 m Hydraulic Radius, R = 0.10 m Velocity at Full-bore Condition, V = 3.81 m/s Pipe Capacity, Q = 0.48 m3/s Design Runoff/ Capacity = 28.97 %					

Appendix F
Design Checking for Existing Drainage System

	TEMPORARY DRAINAGE PROPOSAL FOR THE PROPOSED TEMPORARY OPEN STORAGE OF HARDWARE ACCESSORIES FOR A PERIOD OF 3 YEARS AT LOTS 1964 S.A (PART) AND 1964 S.B (PART) IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES	Issue 1		Date:	Dec-25
Calculation					Note
<u>DESIGN CHECKING OF EXISTING PIPE</u> Up Stream = ECP Down Stream = EXISTING U CHANNEL Diameter of Pipe, D = 300.00 mm Length of Pipe, L = 10.00 m Up Stream Invert Level = 15.03 mPD Down Stream Invert Level = 13.50 mPD Accum. Catchment Area = 890.00 m2 Gradient = 1 in 7 Area of Pipe, A = 0.07 m2 Wetted Perimeter, P = 0.94 m Hydraulic Radius, R = 0.08 m Velocity at Full-bore Condition, V = 4.79 m/s Pipe Capacity, Q = 0.34 m3/s Design Runoff/ Capacity = 68.79 %					

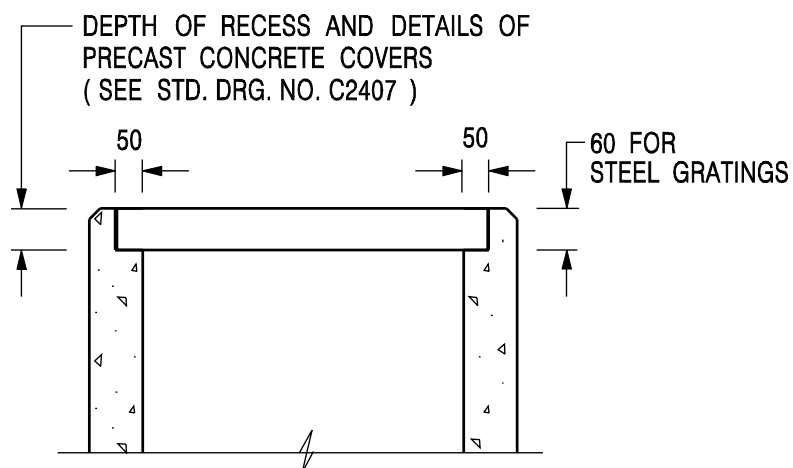
TEMPORARY DRAINAGE PROPOSAL FOR THE PROPOSED TEMPORARY OPEN STORAGE OF HARDWARE ACCESSORIES FOR A PERIOD OF 3 YEARS AT LOTS 1964 S.A (PART) AND 1964 S.B (PART) IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES				Issue 1		Date:	Dec-25
Calculation							Note
<u>DESIGN CHECKING OF EXISTING U-CHANNEL</u>							
<u>1. Design Data</u>							
Total Catchment Area	=	2970.000	m2				
Average Slope , H	=	1.0	/ 100	m			
Distance, L	=	50.000	m				
Runoff Coefficient, C1	=	1.00					
Time of concentration , to	=	3.25	min				
Rainfall Intensity, i (50 years return period)	=	a / (td + b) ^c		Ref. DSD Manual Table 2a			
	a =	505.50					
	b =	3.29					
	c =	0.36		Ref. DSD Corrigendum No. 1/2024 SDM Table 3a			
	td =	3.67					
	=	253.85	mm/hr				
Manning coefficient, n	=	0.0160		Ref. DSD Manual Table 13			
Roughness coefficient, ks	=	3.3000	mm	Ref. DSD Manual Table 14			
Kinematic viscosity, v	=	1.14E-06	m2/s				
<u>2. Runoff Estimation</u>							
Peak Runoff (Qp)	=	Σ0.278CiA					
	=	0.20959	m3/s				
<u>3. Hydraulic Design</u>							
Width of U-channel , w	=	500.00	mm				
Depth of U-channel, d	=	500.00	mm				
Upstream ,Lu	=	13.92	mPD				
Downstream, Ld	=	13.40	mPD				
Gradient	=	1 in 96					
Area of U-channel, A	=	0.22	m2				
Wetted Perimeter, P	=	1.29	m				
Hydraulic Radius, R	=	0.17	m				
Velocity at Full-bore Condition, V	=	1.98	m/s	OK			
Length of the drain, L	=	50.00	m				
Flow time, tf	=	0.42	min				
U-channel Design Capacity, Q	=	0.44	m3/s	>	0.21	m3/s	
Design Runoff/ Capacity	=	47.34	%	OK			





Appendix G

Typical designs of the U-channels and Catchpits



**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS**

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



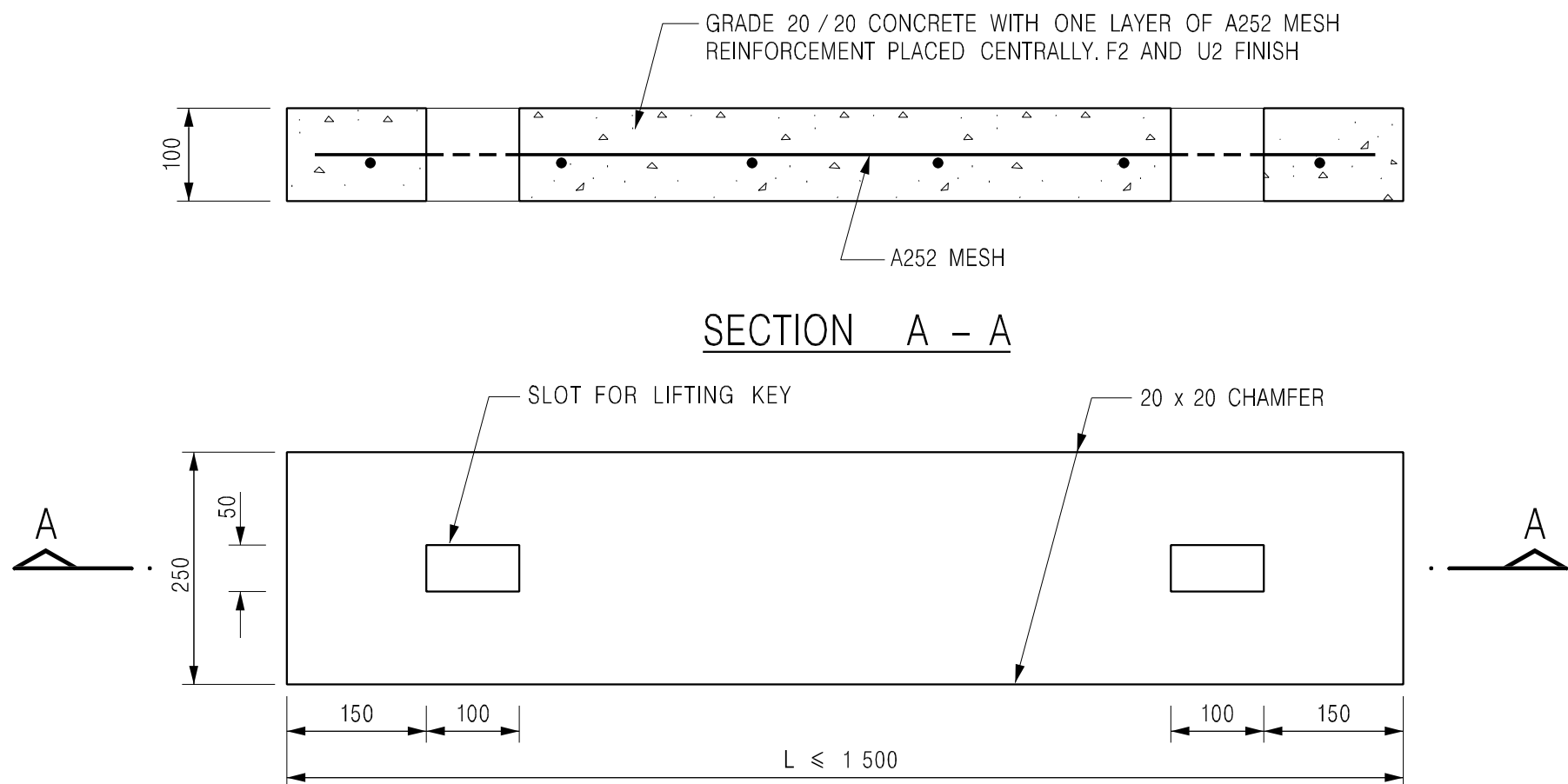
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

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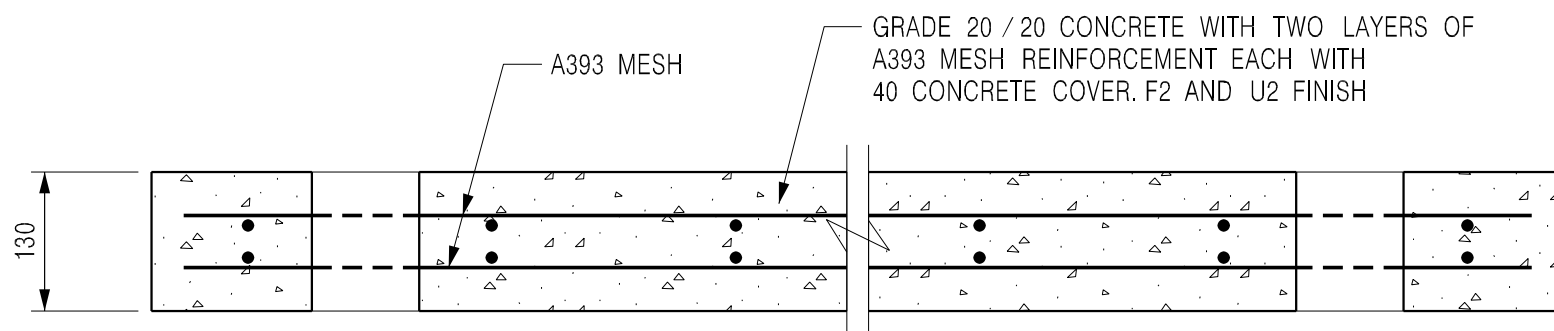
DATE JAN 1991

DRAWING NO.

C2406 /2A



PLAN
TYPE 1 - FOR SPAN UP TO 1.5 m



PLAN
TYPE 2 - FOR SPANS 1.5 m TO 2.5 m

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL EXTERNAL EDGES OF THE COVERS SHALL BE 20mm CHAMFERED.

B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	GENERAL REVISION	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

PRECAST CONCRETE COVERS
FOR CATCHPIT AND SAND TRAP

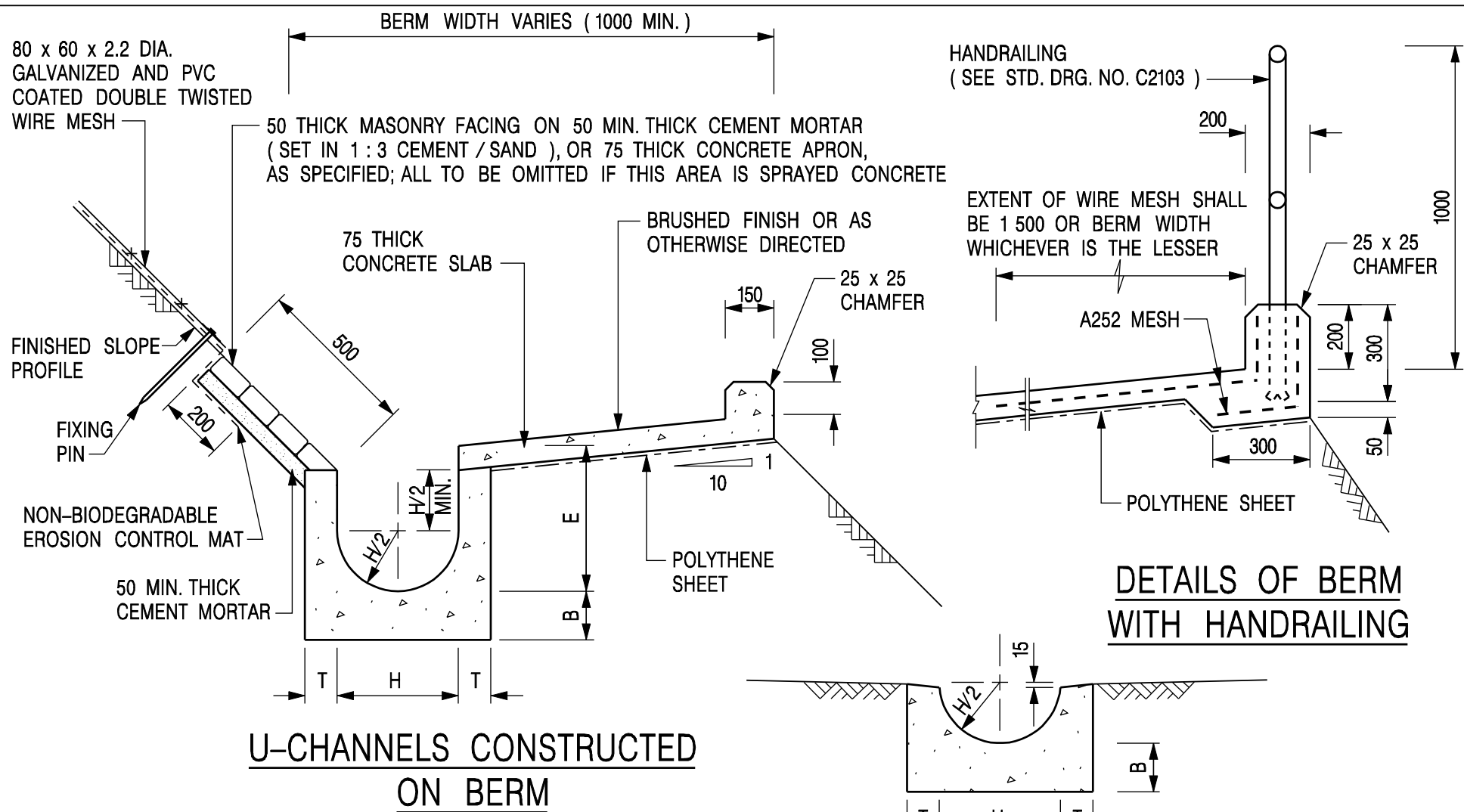


CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT

SCALE 1 : 10

DATE JAN 1991

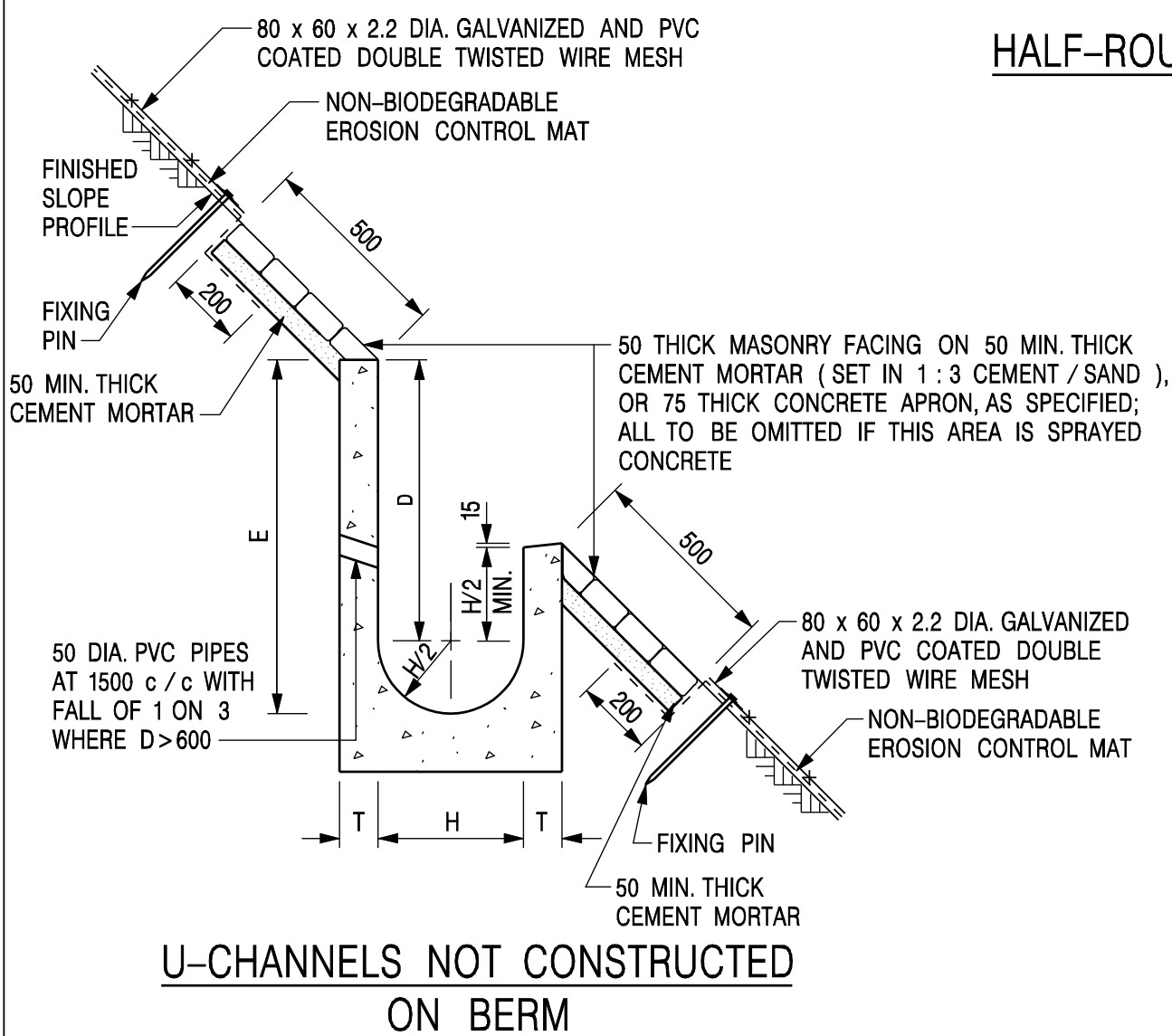
DRAWING NO.
C2407B



HALF-ROUND CHANNEL

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)



NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94
REF.	REVISION	SIGNATURE	DATE

DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A - WITH MASONRY APRON)

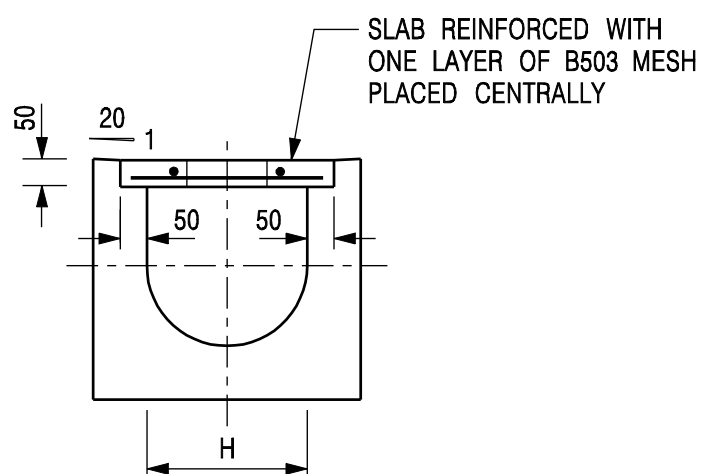


CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

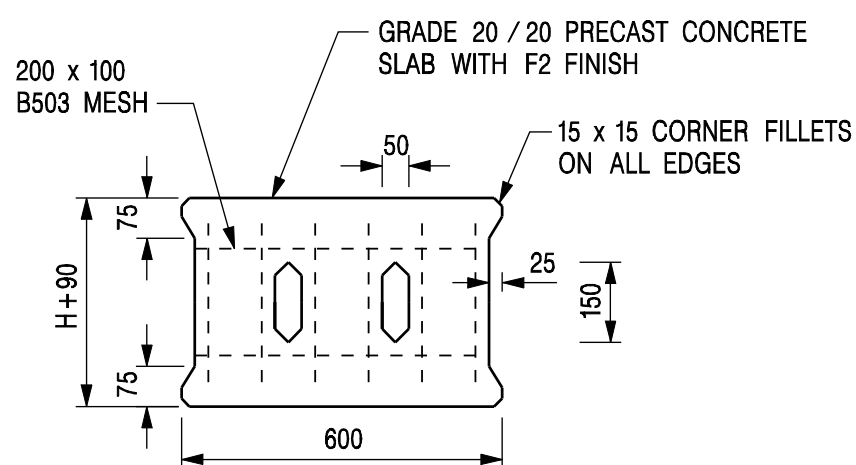
SCALE 1 : 25

DATE JAN 1991

DRAWING NO. C2409I



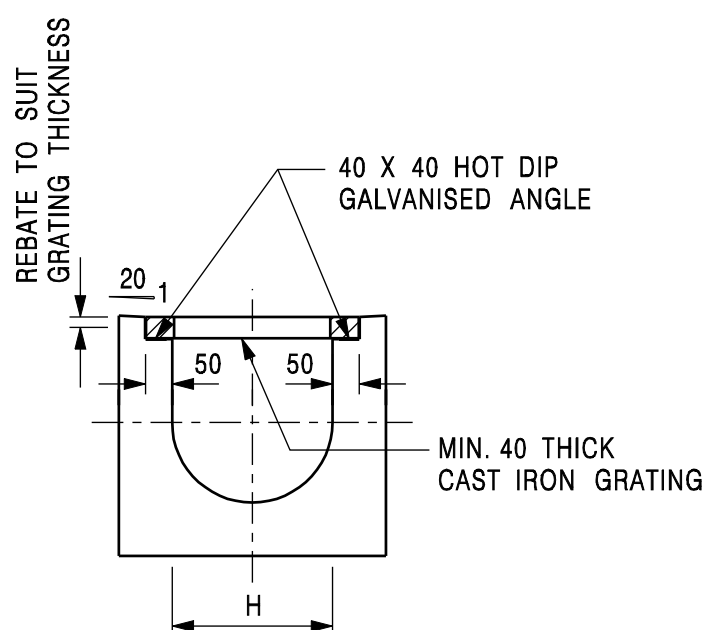
TYPICAL SECTION



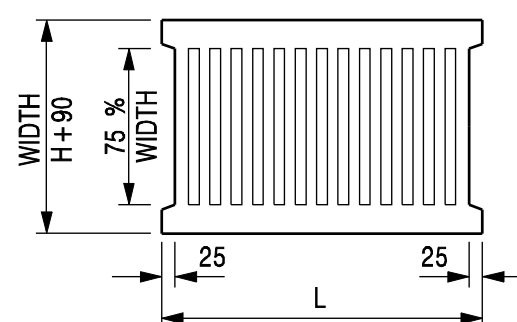
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.
C2412E

Relevant extract of the Town Planning Board Guidelines for
Application for Open Storage and Port Back-up Uses
(TPB PG-No. 13G)

1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for the various categories of area:
 - (a) Category 1 areas: favourable consideration will normally be given to applications within these areas, subject to no major adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments should be submitted if the proposed uses may cause significant environmental and traffic concerns;
 - (b) Category 2 areas: planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments, where appropriate or if required, should be submitted to demonstrate that the proposed uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas;
 - (c) Category 3 areas: applications would normally not be favourably considered unless the applications are on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant). Sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. Planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions; and
 - (d) Category 4 areas: applications would normally be rejected except under exceptional circumstances. For applications on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant), and subject to no adverse departmental comments and local objections, sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. The intention is however to encourage the phasing out of such non-conforming uses as early as possible. Planning permission for a maximum period of 3 years may be allowed for an applicant to identify suitable sites for relocation. Application for renewal of approval will be assessed on its individual merits.

2. In assessing applications for open storage and port back-up uses, the other major relevant assessment criteria are also summarised as follows:
- (a) port back-up sites and those types of open storage uses generating adverse noise, air pollution, visual intrusion and frequent heavy vehicle traffic should not be located adjacent to sensitive receivers such as residential dwellings, hospitals, schools and other community facilities;
 - (b) port back-up uses are major generators of traffic, with container trailer/tractor parks generating the highest traffic per unit area. In general, port back-up sites should have good access to the strategic road network, or be accessed by means of purpose built roads;
 - (c) adequate screening of the sites through landscaping and/or fencing should be provided where sites are located adjacent to public roads or are visible from surrounding residential areas;
 - (d) there is a general presumption against conversion of active or good quality agricultural land and fish ponds to other uses on an ad-hoc basis. For flood prone areas or sites which would obstruct natural drainage channels and overland flow, advice should be sought; and
 - (e) for applications involving sites with previous planning approvals, should there be no evidence to demonstrate that the applicants have made any genuine effort to comply with the approval conditions of the previous planning applications, planning permission may be refused, notwithstanding other criteria set out in the Guidelines are complied with.

Previous s.16 Application covering the Application Site

Approved Application

	Application No.	Applied Use(s)/Development(s)	Zoning(s)	<u>Date of Consideration (RNTPC)</u>
1	A/YL-LFS/493	Temporary Open Storage of Hardware Accessories for a Period of 3 Years	REC	24.11.2023 (Revoked on 24.5.2025)

Similar s.16 Applications within/straddling the same “Recreation” Zone on the Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan in the past 5 years

Approved Applications

	<u>Application No.</u>	<u>Applied Use(s)/Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration</u>
1	A/YL-LFS/399	Temporary Open Storage of Marble and Construction Materials with Ancillary Workshop, Vehicle/Cargo Compartments Assembly Workshop with Ancillary Vehicle Parking Spaces and 10 Loading and Unloading Spaces for Medium Goods Vehicle for a Period of 3 Years	“REC”	25.6.2021
2	A/YL-LFS/451	Temporary Open Storage of Construction Materials and Engineering Machineries for a Period of 3 Years	“R(E)” & “REC”	3.2.2023
3	A/YL-LFS/479	Temporary Open Storage of Scrap Metal for a Period of 3 Years	“REC”	11.8.2023 (Revoked on 11.5.2025)
4	A/YL-LFS/504	Proposed Temporary Open Storage of Construction Materials for a Period of 3 Years	“REC”	16.2.2024
5	A/YL-LFS/505	Temporary Open Storage of Construction Materials and Machineries with Ancillary Workshop, and Vehicle/Cargo Compartments Assembly and Repair Workshop for a Period of 3 Years	“REC”	1.3.2024
6	A/YL-LFS/514	Proposed Temporary Open Storage of Construction Materials for a Period of 3 Years	“REC”	19.4.2024 (Revoked on 19.10.2025)

7	A/YL-LFS/515	Proposed Temporary Open Storage of Construction Materials for a Period of 3 Years	“REC”	19.4.2024 (Revoked on 19.10.2025)
8	A/YL-LFS/516	Temporary Open Storage of Construction Materials for a Period of 3 Years	“REC”	10.5.2024
9	A/YL-LFS/555	Proposed Temporary Open Storage of Construction Materials and Construction Equipment for a Period of 3 Years	“REC”	1.8.2025
10	A/YL-LFS/568	Proposed Temporary Open Storage of Building Materials for a Period of 3 Years	“REC”	19.9.2025

Rejected Application

	<u>Application No.</u>	<u>Applied Use(s)/Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration</u>	<u>Rejection Reasons</u>
1	A/YL-LFS/400	Proposed Temporary Open Storage (Dump Box) for a Period of 3 Years	“REC”	25.6.2021	(1) & (2)

Rejection Reasons

1. No strong justification in the submission for a departure from the planning intention.
2. Not in line with the (then) TPB PG-No. 13E/13F.

Government Bureau/Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- (a) He has no adverse comment on the application.
- (b) The applicant should note his advisory comments at **Appendix V**.

2. Traffic

(i) Comments of the Commissioner for Transport (C for T):

- (a) He has no adverse comment on the application from traffic engineering perspective.
- (b) The applicant should note his advisory comments at **Appendix V**.

(ii) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

- (a) He has no objection to the application from highway maintenance perspective.
- (b) The applicant should note his advisory comments at **Appendix V**.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- (a) He has no objection to the application from environmental planning perspective.
- (b) There was no substantiated environmental complaint pertaining to the application site (the Site) in the past three years.
- (c) The applicant should note his advisory comments at **Appendix V**.

4. Landscaping

Comments of the Chief Town Planner/Urban Design & Landscape, Planning Department (CTP/UD&L, PlanD):

- (a) According to the aerial photo of 2024, the Site is situated in area of rural landscape predominated by temporary structures, village houses and scattered tree groups. Based on the site photos dated December 2025, the Site was already hard paved with temporary structure. No existing tree/vegetation is observed within the Site.
- (b) It is stated in the Application Form that no tree felling and no landscape impact would

be caused by the proposed use. She therefore has no adverse comment from landscape planning perspective since no significant adverse landscape impact arising from the proposed use is anticipated.

5. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- (a) He has no objection in principle to the application from a drainage point of view.
- (b) Should the Town Planning Board consider that the application is acceptable from planning point of view, he would suggest that approval condition(s) be stipulated requiring the applicant to submit a revised drainage proposal, and to implement and maintain the proposed drainage facilities to his satisfaction.
- (c) The applicant should note his advisory comments at **Appendix V**.

6. Fire Safety

Comments of the Director of Fire Services (D of FS):

- (a) He has no objection in principle to the proposal subject to fire service installations (FSIs) being provided to his satisfaction.
- (b) The applicant should note his detailed comments on the submitted FSIs proposal at **Appendix V**.

7. Project Interface

Comments of the Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD):

- (a) The Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) “Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai Areas - Investigation”, which is the Investigation Study and jointly commissioned by the Planning Department and CEDD. The implementation and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change.
- (b) If the planning permission is granted, notwithstanding its validity period, the applicant should note his advisory comments detailed in **Appendix V**.

8. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any locals' comment on the application.

9. Other Bureau/Departments' Comments

The following government bureau/departments have no objection to/no comment on the application:

- (a) Director of Leisure and Cultural Services (DLCS);
- (b) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- (c) Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD);
- (d) Chief Engineer/Land Works, CEDD (CE/LW), CEDD;
- (e) Director of Agriculture, Fisheries and Conservation (DAFC); and
- (f) Antiquities and Monuments Office, Development Bureau (AMO, DEVB).

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) prior planning permission should have been obtained before commencing the applied use at the Site;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - (ii) the lot owner(s) shall apply to his office for Short Term Waiver (STW) to permit the structures erected or to be erected within the subject lots. The application(s) for STW(s) will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The application(s), if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Director of Environmental Protection (DEP) that the applicant is advised:
 - (i) that no workshop activity is allowed on the Site at any time during the planning approval period;
 - (ii) to follow the revised “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” to minimise potential environmental nuisances on the surrounding areas;
 - (iii) to follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs). If septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of ProPECC PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department” including completion of percolation test and certification by Authorized Person;
 - (iv) to provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - (v) to meet the statutory requirements under relevant environmental legislation;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on the submitted drainage proposal that:
 - (i) please advise if any site formation/ land filling works to be carried out under this

application. Please note that the overland flow from the adjacent lands should not be affected;

- (ii) please indicate clearly the full alignment of the discharge path from the application site all the way down to the ultimate discharge point (e.g. a well-established stream course/public drainage system);
 - (iii) the existing drainage facilities, to which the stormwater of the development from the subject site would discharge, are not maintained by this office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made. Also, DSD noticed that the proposed drainage connection(s) to the surrounding/downstream area(s) will run through other private lot(s). The applicant shall demonstrate that the proposed drainage construction / improvement / modification works and the operation of the drainage can be practicably implemented;
 - (iv) in the submitted photos, the existing 300mm dia. drain cannot be clearly identified. Also, the internal condition of the existing 300mm dia. drain has not been shown;
 - (v) in the submitted photos, please justify the existence, dimension and condition of the underground existing 300mm dia. drain;
 - (vi) in the submitted photos, please justify the dimension of existing 500mm surface channel. Please provide more photo to show its internal condition, and ensure the channel was properly and regularly maintained;
 - (vii) please provide more photos along the full alignment of the discharge path from the application site all the way down to the ultimate discharge point;
 - (viii) please clarify whether any walls or hoarding would be erected along the site boundary. Where walls or hoarding are erected/ laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site. Please indicate the opening level. Normally, 100mm should be adopted;
 - (ix) please provide more cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given;
 - (x) the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
 - (xi) the applicant(s) shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the application site(s);
- (g) to note the comments of the Commissioner for Transport (C for T) that:
- (i) sufficient manoeuvring space shall be provided within the Site or its adjacent area. No vehicles are allowed to queue back to public roads or reverse onto/from public roads; and
 - (ii) the local track leading to the Site is not under the Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (h) to note the comments of the Chief Highway Engineer/New Territories West, Highways

Department (CHE/NTW, HyD) that:

- (i) the access road connecting the Site and Deep Bay Road is not and will not be maintained by HyD. HyD should not be responsible for maintaining any access connecting the Site and Deep Bay Road; and
 - (ii) adequate drainage measures shall be provided at the Site to prevent surface water running from the Site to the nearby public roads and drains;
- (i) to note the comments of the Director of Fire Services (D of FS) on the submitted Fire Service Installations (FSIs) proposal that:
- (i) for enclosed structure with gross floor area not exceeding 230m², only fire extinguisher and stand-alone fire detector shall be provided;
 - (ii) in relation to (i) above, where two or more stand-alone fire detectors are installed in an enclosed structure, all stand-alone detectors shall be interconnected (either wired or wirelessly) such that when one of the stand-alone fire detector is triggered, all connected stand-alone fire detectors shall sound an alarm simultaneously;
 - (iii) the stand-alone fire detector shall be provided in accordance with the “Stand-alone Fire Detector General Guidelines on Purchase, Installation & Maintenance [Sep 2021]”;
 - (iv) emergency lighting, directional and exit signs are considered as self-upgrade and not a mandatory requirement by the Fire Services Department;
 - (v) if the applicant self-initiates the provision of emergency lighting, the standards and specification shall be in accordance with “BS 5266-1:2016, BS EN 1838:2013 and the FSD Circular Letter No. 4/2021”;
 - (vi) if the applicant self-initiates the provision of directional and exit signs, the standards and specification shall be in accordance with “BS 5266-1:2016 and the FSD Circular Letter No. 5/2008”;
 - (vii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
 - (viii) good practice guidelines (**Appendix VI**) for open storage should be adhered to;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) it is noted that three structures are involved in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition, land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;

- (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- (iv) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings and subject to the control of Part VII of the B(P)R; and
- (vi) detailed checking under the BO will be carried out at building plan submission stage;
- (k) to note the comments of the Project Manager (West), CEDD that the Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) “Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai Areas - Investigation”, which is the Investigation Study and jointly commissioned by the Planning Department and CEDD. The implementation and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change. The applicant should be reminded that the Site may be resumed at any time during the planning approval period for potential development project and advised not to carry out any substantial works therein; and
- (l) to note the comments of the Antiquities and Monuments Office, Development Bureau (AMO, DEVB) that the Site is situated within the Lau Fau Shan Site of Archaeological Interest. Pursuant to the Antiquities and Monuments Ordinance (Cap. 53), the applicant is required to inform AMO immediately when any antiquities or supposed antiquities under the ordinance are discovered in the course of works.

Good Practice Guidelines for Open Storage Sites issued by the Fire Services Department

		Internal Access for Fire Appliances	Lot Boundaries (Clear Width)	Distance between Storage Cluster and Temporary Structure	Cluster Size	Storage Height
1.	Open Storage of Containers		2m	4.5m		
2.	Open Storage of Non- Combustibles or Limited Combustibles	4.5m	2m	4.5m		
3.	Open Storage of Combustibles	4.5m	2m	4.5m	40m x 40m	3m

Remarks: Smoking and naked flame activities shall not be allowed within the open storage/recycling site.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]
Sent: 2025-09-14 星期日 03:12:13
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/YL-LFS/570 DD 129 Lau Fau Shan

A/YL-LFS/570

Lots 1964 S.A (Part) and 1964 S.B (Part) in D.D. 129 and Adjoining Government Land, Lau Fau Shan

Site area: About 1300m²

Zoning: "Recreation"

Applied Use: Open Storage / 1 Vehicle Parking

Dear TPB Members,

493 approved 24 Nov 2023 but conditions not fulfilled. So back with a fresh application.

The applicant does not provide any concrete evidence of measures taken to fulfil conditions.

The application should be rejected.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Wednesday, 25 October 2023 3:01 AM HKT
Subject: A/YL-LFS/493 DD 129 Lau Fau Shan

A/YL-LFS/493

Lots 1964 S.A (Part) and 1964 S.B (Part) in D.D. 129 and Adjoining Government Land, Lau Fau Shan

Site area : About 1300m²

Zoning : "Recreation"

Applied Use : Storage Warehouse / 1 Vehicle Parking

Dear TPB Members,

The application if for storage of hardware, a brownfield use that can pollute the soil.

No previous planning approval had been granted for the site. However PlanD has been encouraging members to approve similar applications on adjacent sites and accelerate the conversion of the district into another sprawl of ramshackle rusting sheds.

Members should question PlanD as to what operations are actually being carried out on the site as Google Maps show it is an existing operation. How come it has been operating without approval?

Recently at OZP hearing members questioned the integrity of the Recreation zoning.

Mary Mulvihill

tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2026年01月06日星期二 4:05
收件者: tpbpd/PLAND
主旨: Re: A/YL-LFS/570 DD 129 Lau Fau Shan
類別: Internet Email

Dear TPB Members,

In light of the revelations surrounding the Wang Fuk fire, the community can no longer accept that operators be allowed to continue to operate when they display no real intention of fulfilling conditions.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Sunday, 14 September 2025 3:12 AM HKT
Subject: A/YL-LFS/570 DD 129 Lau Fau Shan

A/YL-LFS/570

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☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]

To: tpbpd <tpbpd@pland.gov.hk>

Date: Wednesday, 25 October 2023 3:01 AM HKT

Subject: A/YL-LFS/493 DD 129 Lau Fau Shan

2

A/YL-LFS/493

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