

This document is received on 2025 -10- 14
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2502208

13/9

By Hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-45/576
	Date Received 收到日期	2025-10-14

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 ☒ Company 公司 / ☐ Organisation 機構)

Beamland Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 ☒ Company 公司 / ☐ Organisation 機構)

KTA Planning Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot Nos. 1856 (part), 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 33,078.42 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,772.2 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Built over area
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	23,900 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lau Fau Shan & Tsim Bei Tsui No. S/YL-LFS/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Government, Institution or Community", "Green Belt" and "Recreation"
(f) Current use(s) 現時用途	<p>Temple and Columbarium Uses</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。

☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道	
	<input type="checkbox"/> Filling of pond 填塘	
	Area of filling 填塘面積	sq.m 平方米 <input type="checkbox"/> About 約
	Depth of filling 填塘深度	m 米 <input type="checkbox"/> About 約
	<input type="checkbox"/> Filling of land 填土	
	Area of filling 填土面積	sq.m 平方米 <input type="checkbox"/> About 約
	Depth of filling 填土厚度	m 米 <input type="checkbox"/> About 約
	<input type="checkbox"/> Excavation of land 挖土	
	Area of excavation 挖土面積	sq.m 平方米 <input type="checkbox"/> About 約
	Depth of excavation 挖土深度	m 米 <input type="checkbox"/> About 約
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))		
(b) Intended use/development 有意進行的用途/發展	Proposed Columbarium Uses* (Maintain as the current use) *Please note that this Application is to propose amendments to the Approved Planning Applications (No. A/YL-LFS/54 and A/YL-LFS/77). Under this planning application, no additional or change in number of niches and urn place are proposed.	

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置												
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置												
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度												
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)										
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)													

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1: 可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2: 如發展涉及靈灰安置所用途, 請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施, 請在圖則上顯示, 並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足, 請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 to 至
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☐ Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

- (a) Proposed use(s)/development
擬議用途/發展

Columbarium (Proposed Amendment to an Approved Scheme)

*Please note that under this planning application, no additional or change in number of niches and urn place are proposed.

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

- (b) Development Schedule 發展細節表

Proposed Built-over area (BOA) 1,772.2
Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米 ☒ About 約

Proposed plot ratio 擬議地積比率 Overall SC: 9.674% (Remain unchanged as existing), ☐ About 約

Proposed site coverage 擬議上蓋面積 of which 5.35% will be subject to amendment under the application ☒ About 約

Proposed no. of blocks 擬議座數 4 blocks + 1 Family Precinct containing not more than 32 individual structures

Proposed no. of storeys of each block 每座建築物的擬議層數 1 storeys 層
☐ include 包括 storeys of basements 層地庫
☐ exclude 不包括 storeys of basements 層地庫

Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) ☐ About 約
Not more than 6.9m above ground level m 米 ☒ About 約

☐ Domestic part 住用部分

GFA 總樓面面積 sq. m 平方米 ☐ About 約
 number of Units 單位數目
 average unit size 單位平均面積 sq. m 平方米 ☐ About 約
 estimated number of residents 估計住客數目

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 sq. m 平方米 ☐ About 約
☐ hotel 酒店 sq. m 平方米 ☐ About 約
 (please specify the number of rooms
 請註明房間數目)
☐ office 辦公室 sq. m 平方米 ☐ About 約
☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities
 政府、機構或社區設施

(please specify the use(s) and concerned land
 area(s)/GFA(s) 請註明用途及有關的地面面積／總
 樓面面積)

.....

☒ other(s) 其他

(please specify the use(s) and concerned land
 area(s)/GFA(s) 請註明用途及有關的地面面積／總
 樓面面積) Built over area

Columbarium Uses: 1,772.2 sqm

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於
☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
Columbarium (Zone A)	1	Columbarium uses
Columbarium (Zone B)	1	Columbarium uses
Columbarium (Zone C)	1	Columbarium uses
Columbarium (Zone D)	1	Columbarium uses
Family Precinct (Zone E)	1	Containing not more than 32 Individual Structures

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Landscape Area, Emergency Vehicles Access, Pavilion, Man-made pond

.....

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)
(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))
(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Q4 2027

.....

.....

.....

.....

.....

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行人通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Unnamed Access Road via Deep Bay Road</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input checked="" type="checkbox"/> Please provide details 請提供詳情 Please refer to the Supporting Planning Statement.</p> <p>No 否 <input type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積2,048..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度3.1..... m 米 <input checked="" type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積...1,267..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of excavation 挖土深度2.2.....m 米 <input checked="" type="checkbox"/> About 約</p> <p>No 否 <input type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tbody> <tr> <td>On environment 對環境</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On traffic 對交通</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On water supply 對供水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On drainage 對排水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On slopes 對斜坡</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Affected by slopes 受斜坡影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Landscape Impact 構成景觀影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Tree Felling 砍伐樹木</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Visual Impact 構成視覺影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Others (Please Specify) 其他（請列明）</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> </tbody> </table> <hr/> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可) Please refer to the Supporting Planning Statement.</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他（請列明）	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他（請列明）	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

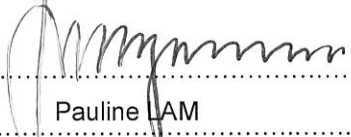
Please refer to the Supporting Planning Statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署


.....
Pauline LAM
.....
Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 ☒ Authorised Agent 獲授權代理人

Deputy Managing Director

Position (if applicable)

職位（如適用）

Professional Qualification(s)
專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 RPTI, RPP (PRC)

on behalf of
代表

KTA Planning Limited

☒ Company 公司* ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

12/9/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches 在龕位內最多可安放骨灰的數量	18,654												
Maximum number of sets of ashes that may be interred other than in niches 在非龕位的範圍內最多可安放骨灰的數量	0												
Total number of niches 龕位總數	10,400												
Total number of single niches 單人龕位總數	4,150												
Number of single niches (sold and occupied) 單人龕位數目 (已售並佔用)	3,760												
Number of single niches (sold but unoccupied) 單人龕位數目 (已售但未佔用)	390												
Number of single niches (residual for sale) 單人龕位數目 (待售)	/												
Total number of double niches 雙人龕位總數	5,246												
Number of double niches (sold and fully occupied) 雙人龕位數目 (已售並全部佔用)	1,403												
Number of double niches (sold and partially occupied) 雙人龕位數目 (已售並部分佔用)	761												
Number of double niches (sold but unoccupied) 雙人龕位數目 (已售但未佔用)	258												
Number of double niches (residual for sale) 雙人龕位數目 (待售)	2,824												
Total no. of niches other than single or double niches (please specify type) 除單人及雙人龕位外的其他龕位總數 (請列明類別)	<table> <tr> <th>Triple</th><th>Quad</th></tr> <tr> <td>4</td><td>1,000</td></tr> <tr> <td>4</td><td>/</td></tr> <tr> <td>/</td><td>/</td></tr> <tr> <td>/</td><td>/</td></tr> <tr> <td>/</td><td>1,000</td></tr> </table>	Triple	Quad	4	1,000	4	/	/	/	/	/	/	1,000
Triple	Quad												
4	1,000												
4	/												
/	/												
/	/												
/	1,000												
Number of niches (sold and fully occupied) 龕位數目 (已售並全部佔用)	4												
Number of niches (sold and partially occupied) 龕位數目 (已售並部分佔用)	/												
Number of niches (sold but unoccupied) 龕位數目 (已售但未佔用)	/												
Number of niches (residual for sale) 龕位數目 (待售)	/												

Proposed operating hours 擬議營運時間 Normal Days (including Saturday, Sunday, and Public Holiday: 9:30am to 5pm)

During the Ching Ming and Chung Yueng festival periods: 9am to 5:30pm

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要			
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Lot Nos. 1856 (part), 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories		
Site area 地盤面積	33,078.42 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 23,900 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Approved Lau Fau Shan & Tsim Bei Tsui No. S/YL-LFS/11		
Zoning 地帶	"Government, Institution or Community", "Green Belt" and "Recreation"		
Applied use/ development 申請用途／發展	Columbarium (Proposed Amendment to an Approved Scheme) *Please note that under this planning application, no additional or change in number of niches and urn place are proposed.		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,772.2 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用		Not more than 6.9m above ground level m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			1 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	Overall SC: 9.674% (Remain unchanged as existing), % of which 5.35% will be subject to amendment under the application <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	

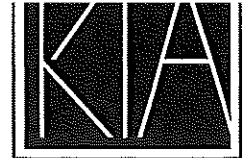
Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Geotechnical Planning Review Report, Environmental Appraisal and Landscape</u>		
<u>Master Plan and Tree Preservation Report</u>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

此為空白頁。

This is a blank page.



PLANNING LIMITED
規劃顧問有限公司

UNIT K, 16/F, MG TOWER
133 Hoi Bun Road, Kwun Tong
Kowloon, Hong Kong

九龍觀塘海濱道133號
萬兆豐中心16樓K室

電話TEL (852) 3426 8451
傳真FAX (852) 3426 9737

電郵EMAIL kta@ktaplanning.com

By Email

Our Ref: S3078/WFSK/25/004Lg

17 October 2025

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point
Hong Kong

Dear Sir/Madam,

**Proposed Columbarium (Proposed Amendments to Approved Scheme) at Lot Nos.
1856 (Part), 1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D.
129, Wan Fau Sin Koon, Lau Fau Shan, New Territories**

- Section 16 Planning Application A/YL-LFS/576 -

Reference is made to the tele-conversation with the officer of Tuen Mun and Yuen Long West District Planning Office on 16 October 2025.

As requested, we would like to supplement the replacement page(s) of the Supporting Planning Statement, the Indicative Architecture Scheme, and the Application Form for your kind consideration.

Meanwhile, should you have any queries in relation to the above and attached, please do not hesitate to contact the undersigned at or our Mr. Elden Chan at

Thank you for your kind attention.

Yours faithfully
For and on behalf of
KTA PLANNING LIMITED

Pauline LAM

Encl.

cc. the Applicant & Team

PL/EC/vy



2.2 Existing Use and Site Condition

2.2.1 The Site is currently occupied by Wan Fau Sin Koon (the “Koon”), used for temple and columbarium purposes. In the southern part of the Site are the main temple with the New Halls (including Columbarium Block A and B). An ancillary block containing facilities (including toilet and pantry) and Columbarium Block C of the New Halls are also located in the area. The northern part of the Site contains the Old Halls- Shing Tak Hall and Yu Hing Hall, along with a lake, pavilion, and another newly built temple.

2.2.2 The niches on-site are accommodated within two areas: the Old Halls and the New Halls, with a total of 6 single-storey Columbarium blocks/halls (**Figure 2.2** refers). The Old Halls consist of 2 single-storey columbarium halls - Shing Tak Hall and 1 single-storey columbarium hall - Yu Hing Hall. The New Halls (known as Flora Terrace) consist of 3 single-storey columbarium blocks, which were approved under Planning Application Nos. A/YL-LFS/54 and A/YL-LFS/77 in 2001 (**Figure 2.2** refers). The Site also includes 3 eco-joss paper furnaces, an ancillary toilet block & an office. There are approximately 10,400 niches in total on-site, including about 3,824 unsold niches (including 1,824 from the Old Halls and 2,000 from the New Halls) and about 6,576 pre-cut off sold niches (**Table 2.1** refers).

Table 2.1: Existing Distribution of the Niches

	Old Halls (Shing Tak Hall and Yu Hing Hall)	New Halls (Flora Terrace)	Total
Pre-cut off sold niches	6,576	/	6,576
Unsold Niches	1,824	2,000	3,824
GRAND TOTAL			10,400

4. PROPOSED AMENDMENTS TO APPROVED SCHEME

4.1 Introduction

4.1.1 As explained in Section 3, it is apparent that the existing unsold niches were unable to be realised due to the prevailing condition of the STW and STT in restricting the period of ash interment right of niches for less than 7 years. The short-term ash interment right could not cater to the current market demand and the satisfaction of the purchasers. In light of this, under the proposed amendments to the approved development scheme, the Applicant would consolidate those “unsold niches” from the New Halls and the Old Halls under STT and relocate them all within the Applicant’s private lots. Besides, it is also the Applicant’s intention to uplift the overall appearance of the Koon, including the columbarium structures. The Applicant will conduct a lease modification application for the Site upon approval of this planning application.

4.1.2 The Proposed Amendments to the Approved Scheme include the followings:

- (i) To adjust the Application Site Boundary in response to the latest ongoing lease modification of STT and STW, avoid encroachment onto other third-party lots and inclusion of the existing drop off area falling within the Applicant’s landholding i.e. additional land (i.e. Lot No. 1856 (part));
- (ii) To demolish the existing 3 single-storey New Halls;
- (iii) To consolidate the unsold niches (i.e. 3,824) from the New Halls (i.e. 2,000) and Old Halls (i.e. 1,824) under the STT and STW, and relocate them all within private lots;
- (iv) To construct four new single-storey columbarium buildings and one Family Precinct¹ within private lots with removals and modification of part of the existing Shing Tak Hall (i.e. involving a built over area of 202.2m² out of the original 238m²). The removals and modification of part of the existing Shing Tak Hall do not involve any existing niches;
- (v) To realign the turnaround facility at the end of the emergency vehicular access (EVA) in the east; and
- (vi) To enhance the overall landscape setting of the area.

4.2 Adjustment of Application Site Boundary

4.2.1 The proposed Application Site Boundary has been adjusted 1) to avoid the encroachment onto other third-party lots, 2) to include the existing drop-off area of

¹The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

the Koon, and 3) to regularize the boundary based on the latest ongoing lease modification.

Avoid Encroachment onto Other Third-party Lots

- 4.2.2 The approved Application Site Boundary under A/YL-LFS/54 and A/YL-LFS/77 unintentionally encroaches slightly onto the adjacent third-party lot, including Lot No. 771. To rectify the encroachment onto other third-party lots, the proposed scheme includes a minor adjustment to the site boundary.

Include Additional Land for the existing drop-off area of the Koon

- 4.2.3 The approved Application Site Boundary from A/YL-LFS/54 and A/YL-LFS/77 bisects the roundabout at the western portion of the Site, as it adheres to the existing lot boundary of Lot No. 1857 S.A. To facilitate Koon's traffic management, the proposed scheme will adjust the Application Boundary to fully encompass the drop off area. Since a significant portion of the roundabout encroaches upon part of the adjacent Lot No. 1856, this adjustment necessitates the inclusion of the said area within the proposed Application Site Boundary.

Regularise the Application Boundary based on the latest ongoing lease modification

- 4.2.4 As highlighted in the above section, the approved Application Site Boundary comprises the STT and Applicant's private lots (also known as STW). The existing STT will be adjusted and rationalised due to the interface issue/encroachment with the adjacent private lots, including Lot nos. 1822 S.B., 1854 S.A., 1856, and 1855 in D.D. 129. The Applicant is currently undergoing a lease modification application with the Lands Department to rectify the said amendments.

- 4.2.5 Based on the above adjustments, the proposed Application Site Boundary will slightly increase by 3% from 31,880m² to 33,078.4m².

4.3 Proposed Amendments to the Approved Scheme No. A/YL-LFS/54 and A/YL-LFS/77

- 4.3.1 The Proposed Scheme comprises 4 single-storey columbarium buildings and a new Family Precinct zone with a building height of about 6.9m, which is the max. building height allowed under the prevailing STT and STW. The built-over area of the proposed buildings/blocks would not exceed 1,772.2m² (i.e. 1,570m² from the New Halls and 202.2m² of the existing Shing Tak Hall). The new Family Precinct zone* (i.e. Zone E- Family Precinct) would comprise a range of 22- 32 individual structures with family niches. Each individual structure would have an area of not more than

20.25m²*** and a building height of not more than 4.5m.² The Proposed Scheme will provide not more than 3,824 niches. The proposed development is targeted to be completed in 2027.

4.3.2 The layout plan of the Proposed Scheme is presented in **Figure 3.1**, while the full set of schematic drawings is presented in **Appendix 1** of this Supporting Planning Statement. The landscape design and the reference drawings are presented in **Appendices 2 and 3** respectively. **Table 3.1** summarises the key development parameters of the Proposed Scheme.

Table 3.1: Development Parameters

Built Over Area	1,772.2m ² *
Storeys	1
Building Height	6.9m above ground level^
Nos of Buildings	4 buildings/blocks and 1 Family Precinct ⁺
Nos of Niches	3,824 [#]

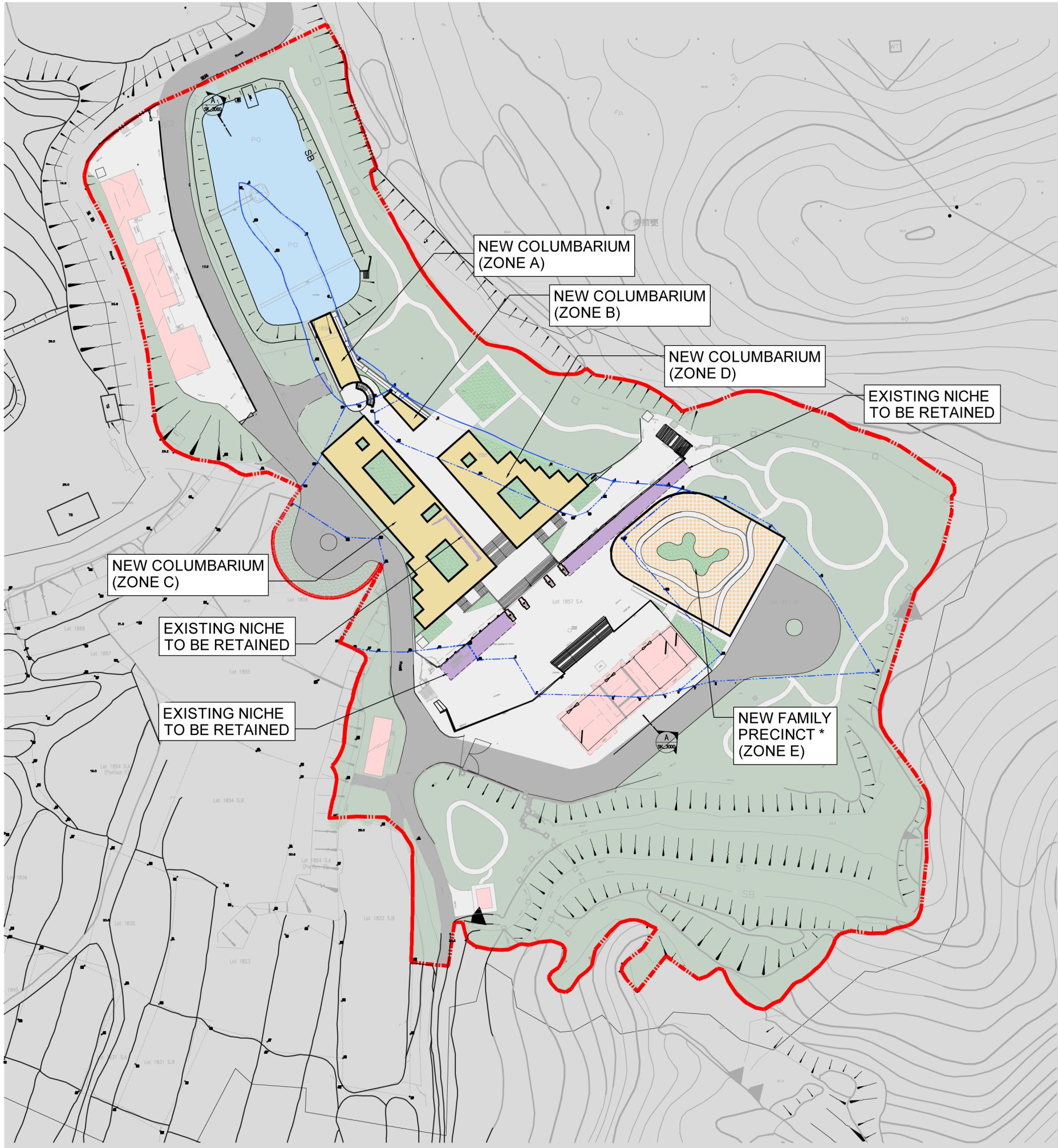
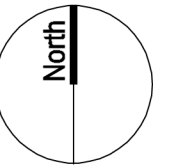
*The built over area 1,772.2m² of which 1,570m² is the approved BOA from the new halls under the two Approved Planning Applications, with 202.2m² from removals and modification of part of the existing Shing Tak Halls.

^The BH is stipulated under the lease conditions of STW5506 and STTYL0181

Consisted of 2,000 niches from New Halls (under Approved Planning Application) and 1,824 from Old Halls

+ The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

**** excluding architectural features, eaves and roof features, which may be accountable by BD and LandsD during the detailed design submission stage.



NICHE CALCULATION:

1.	NEW COLUMBARIUM (ZONE A) (QUAD)	= 228 No.s
2.	NEW COLUMBARIUM (ZONE B) (QUAD)	= 84 No.s
3.	NEW COLUMBARIUM (ZONE C) (QUAD)	= 200 No.s
3.	NEW COLUMBARIUM (ZONE C) (DOUBLE)	= 1104 No.s
4.	NEW COLUMBARIUM (ZONE D) (DOUBLE)	= 1720 No.s
5.	NEW COLUMBARIUM (ZONE E) (QUAD)	= 488 No.s

QUAD NICHE SUB-TOTAL	= 1000 No.s
DOUBLE NICHE SUB-TOTAL	= 2824 No.s

TOTAL NOS. OF NICHE = 3,824
(NOT INCLUDE EXISTING SOLD NICHE)

LEGEND

- LANDSCAPE
- NEW COLUMBARIUM
- FAMILY PRECINCT
- EXISTING BUILDING
- EXISTING NICHE
- WATER BODY
- HARD PAVEMENT
- HARD PAVEMENT
- APPLICATION SITE
- APPLICANT'S PRIVATE LOTS WITH S.T.W
- OUTSIDE SITE BOUNDARY

PLEASE NOTE THE FAMILY PRECINCT (ZONE E) WOULD BE A DEDICATED ZONE, CONSISTING ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES FOR FAMILY NICHE WITH A BUILT OVER AREA OF NOT MORE THAN 319.732SQM. PLEASE NOTE THAT THE DESIGN OF THE COLUMBARIUM E IS INDICATIVE ONLY AND WILL BE SUBJECT TO REVIEW IN THE DETAILED DESIGN STAGE

* THE FAMILY PRECINCT (ZONE E) IS A DEDICATED ZONE THAT HOLDS ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES WITH FAMILY NICHE. THE SITE FEATURES A FAMILY PRECINCT WHERE GENERATIONS ARE HONOURED TOGETHER IN PRIVATE FAMILY NICHE

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至 %
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development 擬議用途/發展	<p>Proposed Columbarium Use</p> <p>*Please note that under this planning application, no additional or change in number of niches and urn place are proposed. Amendments are only to the Approved Columbarium development.</p> <p>(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)</p>
<p>(b) Development Schedule 發展細節表</p> <p>Proposed Built-over area (BOA) 1,772.2</p> <p>Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米 <input checked="" type="checkbox"/> About 約</p> <p>Proposed plot ratio 擬議地積比率 Overall SC: 9.674% (Remain unchanged as existing), <input type="checkbox"/> About 約</p> <p>Proposed site coverage 擬議上蓋面積 of which 5.35% will be subject to amendment under the application <input checked="" type="checkbox"/> About 約</p> <p>Proposed no. of blocks 擬議座數 4 blocks + 1 Family Precinct containing not more than 32 individual structures</p> <p>Proposed no. of storeys of each block 每座建築物的擬議層數1..... storeys 層</p> <p><input type="checkbox"/> include 包括.....storeys of basements 層地庫</p> <p><input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫</p> <p>Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) <input type="checkbox"/> About 約</p> <p>Not more than 6.9m above ground level m 米 <input checked="" type="checkbox"/> About 約</p>	

Gist of Application 申請摘要			
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Lot Nos. 1856 (part), 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories		
Site area 地盤面積	33,078.42 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 23,900 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Approved Lau Fau Shan & Tsim Bei Tsui No. S/YL-LFS/11		
Zoning 地帶	"Government, Institution or Community", "Green Belt" and "Recreation"		
Applied use/ development 申請用途／發展	Proposed Columbarium Use *Please note that under this planning application, no additional or change in number of niches and urn place are proposed. Amendments are only to the Approved Columbarium development.		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,772.2 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		



PLANNING LIMITED
規劃顧問有限公司

UNIT K, 16/F, MG TOWER
133 HOI BUN ROAD, KWUN TONG
KOWLOON, HONG KONG

九龍觀塘海濱道133號
萬兆豐中心16樓K室

電話TEL (852) 3426 8451
傳真FAX (852) 3426 9737
電郵EMAIL kta@ktaPlanning.com

By Email and Hand

Our Ref: S3078/WFSK/25/008Lg

12 January 2026

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point
Hong Kong

Dear Sir/Madam,

**Proposed Columbarium (Proposed Amendments to Approved Scheme) at Lot Nos.
1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D. 129,
Wan Fau Sin Koon, Lau Fau Shan, New Territories
- Section 16 Planning Application A/YL-LFS/576 -**

Reference is made to the captioned S16 Planning Application which is scheduled for consideration by the Town Planning Board ("TPB") on 6 February 2026.

We hereby submit a Consolidated Supporting Planning Statement ("Consolidated SPS") together with the replacement pages of application form to facilitate the consideration of the captioned Planning Application by TPB. The Consolidated SPS contains the latest version of the development scheme and technical assessments that had been previously submitted to TPB under various Further Information ("F.I.") submissions. Hence, the attached Consolidated SPS would supersede the various F.I.s submitted on 13 November 2025, 19 November 2025 and 17 December 2025. We also confirm that information included in the attached Consolidated SPS had been previously submitted during the course of the Planning Application and does not contain any new information.

Meanwhile, should you have any queries in relation to the above and attached, please do not hesitate to contact the undersigned at [REDACTED] or Mr. Wilson Man at [REDACTED]

Thank you for your kind attention.

Yours faithfully
For and on behalf of
KTA PLANNING LIMITED

Pauline LAM

Encl. Consolidated SPS with replacement pages of application form (4 hardcopies)

cc. the Applicant & Team

PLWM/vy



FS 579819



For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-LFS/576
	Date Received 收到日期	2025-10-14

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 ☒ Company 公司 / ☐ Organisation 機構)

Beamland Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 ☒ Company 公司 / ☐ Organisation 機構)

KTA Planning Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot Nos. 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 32,554.56 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,772.2 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Built over area
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	23,900 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至 %
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development 擬議用途/發展	<p>Proposed Columbarium Use</p> <p>*Please note that under this planning application, no additional or change in number of niches and urn place are proposed. Amendments are only to the Approved Columbarium development.</p> <p>(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)</p>
<p>(b) Development Schedule 發展細節表</p> <p>Proposed Built-over area (BOA) 1,772.2</p> <p>Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米 <input checked="" type="checkbox"/> About 約</p> <p>Proposed plot ratio 擬議地積比率 Overall SC: 9.83% (Remain unchanged as existing), <input type="checkbox"/> About 約</p> <p>Proposed site coverage 擬議上蓋面積 of which 5.44% will be subject to amendment under the application <input checked="" type="checkbox"/> About 約</p> <p>Proposed no. of blocks 擬議座數 4 blocks + 1 Family Precinct containing not more than 32 individual structures</p> <p>Proposed no. of storeys of each block 每座建築物的擬議層數1..... storeys 層</p> <p><input type="checkbox"/> include 包括 storeys of basements 層地庫</p> <p><input type="checkbox"/> exclude 不包括 storeys of basements 層地庫</p> <p>Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) <input type="checkbox"/> About 約</p> <p>Not more than 6.9m above ground level m 米 <input checked="" type="checkbox"/> About 約</p>	

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Lot Nos. 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories		
Site area 地盤面積	32,554.56 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 23,900 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Approved Lau Fau Shan & Tsim Bei Tsui No. S/YL-LFS/11		
Zoning 地帶	"Government, Institution or Community", "Green Belt" and "Recreation"		
Applied use/ development 申請用途／發展	Proposed Columbarium Use *Please note that under this planning application, no additional or change in number of niches and urn place are proposed. Amendments are only to the Approved Columbarium development.		
(i) Gross floor area and/or plot ratio 總樓面面積及／或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,772.2 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Non-domestic 非住用	Not more than 6.9m above ground level m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
(iv) Site coverage 上蓋面積	Overall SC: 9.83% (Remain unchanged as existing), % <input checked="" type="checkbox"/> About 約 of which 5.44% will be subject to amendment under the application		
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

S.16 PLANNING APPLICATION

APPROVED LAU FAU SHAN AND TSIM BEI TSUI OZP NO. S/YL-LFS/11

Proposed Amendments to the Approved Scheme at Lot Nos. 1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories

SUPPORTING PLANNING STATEMENT

September 2025

Applicant:

Beamland Limited

Consultancy Team:

KTA Planning Limited

Aedas Hong Kong

Stephan Lai Studio Limited

Savills Hong Kong

Westwood Hong Associates Limited

WSP Hong Kong Limited



PLANNING LIMITED
規 劃 顧 問 有 限 公 司

TABLE OF CONTENTS

Executive Summary

行政摘要

1. INTRODUCTION

- 1.1 Purpose
- 1.2 Report Structure

2. SITE AND PLANNING CONTEXT

- 2.1 Site Location
- 2.2 Existing Use and Site Condition
- 2.3 Statutory Planning Context
- 2.4 Land Status
- 2.5 Accessibility
- 2.6 Low Take-Up Rate and Customer Survey

3. NEED FOR THE PROPOSED AMENDMENTS

4. PROPOSED AMENDMENTS TO APPROVED SCHEME

- 4.1 Introduction
- 4.2 Proposed Amendments to the Approved Scheme No. A/YL-LFS/54 and A/YL-LFS/77
- 4.3 Comparison of the Approved Development Scheme and Proposed Development Scheme
- 4.4 Implementation on the Existing Unsold Niches
- 4.5 Operation of Application Site
- 4.6 Technical Impact

5. PLANNING MERITS AND JUSTIFICATIONS

- 5.1 The Proposed Amendments will not deviate from the current temple and columbarium purposes
- 5.2 No increases to the Overall Number of Niches
- 5.3 The Proposed Amendment is to make full use of the development potential of the Site
- 5.4 The unsold niches could meet the genuine demand for the private niches
- 5.5 The proposed amendments pose an opportunity to revamp and uplift the existing condition of the Koon
- 5.6 No Technical Impact

6. CONCLUSION

List of Figures

Figure 2.1	Site Location Plan
Figure 2.2	Existing Use of the Site
Figure 2.3	Existing Condition of the Site
Figure 2.4	Zoning of the Application Site
Figure 2.5	Land Status
Figure 2.6	Accessibility of the Site
Figure 3.1	Indicative Development Layout
Figure 3.2	Comparison between the Approved and Proposed Development Scheme
Figure 3.3	Location of Eco-Joss Paper Furnaces
Figure 4.1	Portions of Lots to be carved out for lease modification

List of Tables

Table 2.1	Existing Distribution of the Niches
Table 2.2	Approved Planning Applications
Table 3.1	Development Parameters
Table 3.2	Comparison Table of Approved and Proposed Development Schemes

List of Appendices

Appendix 1	Schematic Architectural Drawings
Appendix 2	Landscape Master Plan and Tree Treatment Proposal
Appendix 3	Environmental Appraisal
Appendix 4	Geotechnical Planning Review Report
Appendix 5	Renderings
Appendix 6	Land Filling Plan
Appendix 7	Response-to-Comment

Executive Summary

This S16 Planning Application is prepared and submitted on behalf of the Applicant, Beamland Limited, to seek approval from the Town Planning Board ("TPB") for the Proposed Amendments to the Approved Scheme at Lot Nos. 1857 S.A, 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories (the "Application Site" or "Site"). The Site falls primarily within an area zoned "Government, Institution or Community" ("G/IC") (71%) with the remaining part of it falling within "Green Belt" ("GB") (26%) and "Recreation" ("REC") (3%) zones under the Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11.

The Site is currently occupied by Wan Fau Sin Koon (the "Koon"), used for temple and columbarium purposes since 1983. The niches on-site are accommodated within two areas: the Old Halls and the New Halls, with a total of 6 single-storey Columbarium blocks/halls. The Old Halls consist of 2 single-storey columbarium halls - Shing Tak Hall and 1 single-storey columbarium hall - Yu Hing Hall. The New Halls (known as Flora Terrace) consist of 3 single-storey columbarium blocks, which were approved under Planning Application Nos. A/YL-LFS/54 and A/YL-LFS/77 in 2001. There are approximately 10,400 niches in total on-site, including about 3,824 unsold niches (1,824 from the Old Halls and 2,000 from the New Halls) and about 6,576 pre-cut off sold niches and post-license rented niches.

The Koon is currently permitted on the Site by way of a Short-Term Tenancy (STT) and Short-Term Waiver (STW) arrangements. However, under the STT/STW, the low intake (only 1 niche sold) suggests that the anticipated demand from the approved planning applications in 2001 would not be able to materialise as expected. A customer survey was conducted by the Applicant and revealed that the majority of the interviewees have expressed their utmost concerns in purchasing the ash interment right, due to the limitations in the term of the ash interment right available for sale under the current arrangement of STT/STW as the New Halls are mainly located within the government land. In addition, the existing columbarium (old halls) structures are also found to be deteriorating, with concrete falling and there is a lack of weather-proof facilities such as decent sheltered/resting places in the Koon.

For the above main reasons, the Applicant therefore submits this planning application for the proposed amendments to the approved scheme by consolidating the unsold niches (i.e., 3,824) from the STT and STW and relocating them solely within the Applicant's private lots. The amendments include slight adjustment of site area and application site boundary, the demolition of three single-storey New Halls, construction of four single-storey Columbarium buildings and a new Family Precinct zone with removals and modifications of part of the existing Shing Tak Halls within the Applicant's private lots, realignment of the turnaround facility at the end of the emergency vehicular access in the southern part of the Site, and an enhancement to the overall landscape setting of the area.

This S16 Planning Application is fully justified based on the following reasons:

- The proposed amendments will not deviate from the current temple and columbarium purposes, as the proposed amendments would only involve a slight adjustment of the application site boundary and site area, a change in the location, disposition and form of building blocks, and an enhancement to the overall landscape setting of the area;
- There are no changes to the overall number of niches (i.e. 10,400), including 8,400 existing niches and 2,000 approved under Application No. A/YL-LFS/54 and A/YL-LFS/77;

- The proposed amendments are to make full use of the development potential of the Site by unleashing and making full realisation of unsold niches;
- The unsold niches could meet the genuine demand for the private niches in the short to medium term;
- The proposed amendments pose an opportunity to revamp and uplift the existing condition of the Koon; and
- The proposed amendments will not result in any adverse technical impacts, as the total number of niches stays the same as per the existing; and the total approved built over area is also maintained the same upon the proposed amendments made.

In consideration of the above, we sincerely request the TPB to support this Section 16 Planning Application from planning and technical points of view.

行政摘要

本 S16 規劃申請書由申請人 Beamland Limited，旨在向城市規劃委員會（下稱「城規會」）就位於新界流浮山雲浮仙觀丈量約份第 129 約地段第 1857 號 SA 分段、第 1857 號 RP 分段、第 1858 號、第 1859 號及相鄰政府土地（下稱「申請地點/該地點」）的核准方案提出修訂建議。該地點位於流浮山及尖鼻咀分區計劃大綱圖編號 S/YL-LFS/11 上主要劃為「政府、機構或社區」用途（71%），其餘部分屬「綠化地帶」用途（26%）及「康樂」用途（3%）。

該地點現由雲浮仙觀（下稱「仙觀」）使用，自 1983 年起作廟宇及龕場用途。現有骨灰龕位分佈於兩區域：舊殿堂與新殿堂，共計 6 座單層殿堂。舊殿堂包括兩座靈灰安置所為承德堂，以及一座靈灰安置所為餘慶堂；新殿堂則由三座早前命名為「百花臺」的靈灰安置大樓組成，早前獲規劃申請編號 A/YL-LFS/54 及 A/YL-LFS/77 批准。現址約有 10,400 個骨灰龕位，包括約 3,824 個未售出龕位（舊殿佔 1,824 個，新殿佔 2,000 個）及約 6,576 個截算前骨灰龕位或獲發牌後租出的骨灰龕位。

雲浮仙觀現時透過短期租約及短期豁免書方式使用該用地。然而在現行安排下，雲浮仙觀龕位認購率極低並僅售出 1 個，顯示出 2001 年獲批規劃申請所預期的需求未能實現。根據申請人進行的客戶調查顯示，由於雲浮仙觀龕位安放權期限受制於現行短期租約及短期豁免書安排，特別是新龕堂主要位於政府土地上。多數受訪者對購買安放權表示極大憂慮。此外，現有舊龕堂建築結構日久老化，出現混凝土剝落，且觀內缺乏完善遮蔭／休息等設施。

藉此機會，申請人擬議修訂核准方案，將未售出的 3,824 個龕位從短期租約及短期豁免書的用地整合，並全數遷至申請人的私人地段範圍內。修訂核准方案內容包括：微調申請地點邊界及面積、拆除三座單層新殿堂、在申請人的私人地段範圍內新建四座單層骨灰龕及家族骨灰龕專區並局部改建現有承德堂、輕微調整現有緊急車輛通道末端迴旋處設施，以及提升「仙觀」內整體景觀環境。

擬議發展計劃主要理據如下：

- 修訂方案不會偏離現有廟宇及靈灰安置所用途，修訂方案僅涉及輕微調整申請地點邊界及面積、建築位置改變、佈局與座數的調整及優化整體景觀環境；
- 龕位總數維持 10,400 個不變，包括 8,400 個現有龕位及核准規劃申請編號 A/YL-LFS/54 與 A/YL-LFS/77 的 2,000 個龕位；
- 修訂方案旨在釋放用地發展潛力，全面善用未售出龕位資源；
- 未售出的龕位可滿足短中期對私營龕位的實際需求；
- 修訂方案能為雲浮仙觀提供契機來重塑及提升現有狀況；及
- 修訂方案不會帶來無法克服/不可接受的視覺、景觀、交通、排水和環境的影響，因骨灰龕位總數目保持不變，且原先批准的建築面積在是次申請改動後也完全不變。

根據以上各點，申請人懇求城規會從規劃及技術角度支援擬議規劃申請。

S.16 Planning Application
Approved Lau Fau Shan and Tsim Bei Tsui OZP No. S/YL-LFS/11

**Proposed Amendments to the Approved Scheme at Lot Nos. 1857 S.A, 1857 RP,
1858, 1859, and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon, Lau
Fau Shan, New Territories**

Supporting Planning Statement

1. INTRODUCTION

1.1 Purpose

1.1.1 This Planning Application is prepared and submitted on behalf of **Beamland Limited** (the “Applicant”) to seek approval from the Town Planning Board (“TPB”) under Section 16 of the Town Planning Ordinance for the proposed amendments to the Approved Development Scheme (A/YL-LFS/54 and A/YL-LFS/77) at Lot Nos. 1857 S.A, 1857 RP, 1858 and 1859 and adjoining Government land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories (the “Application Site” or the “Site”). This Supporting Planning Statement is to provide the TPB with the necessary information to facilitate consideration of this Application.

1.2 Report Structure

1.2.1 Following this introductory section, the site and planning context will be briefly summarised in Section 2. The need for the proposed amendments is included in Section 3. The proposed amendments to the approved scheme are included in Section 4, followed by the planning justifications for the application in Section 5. The conclusion will be provided in Section 6.

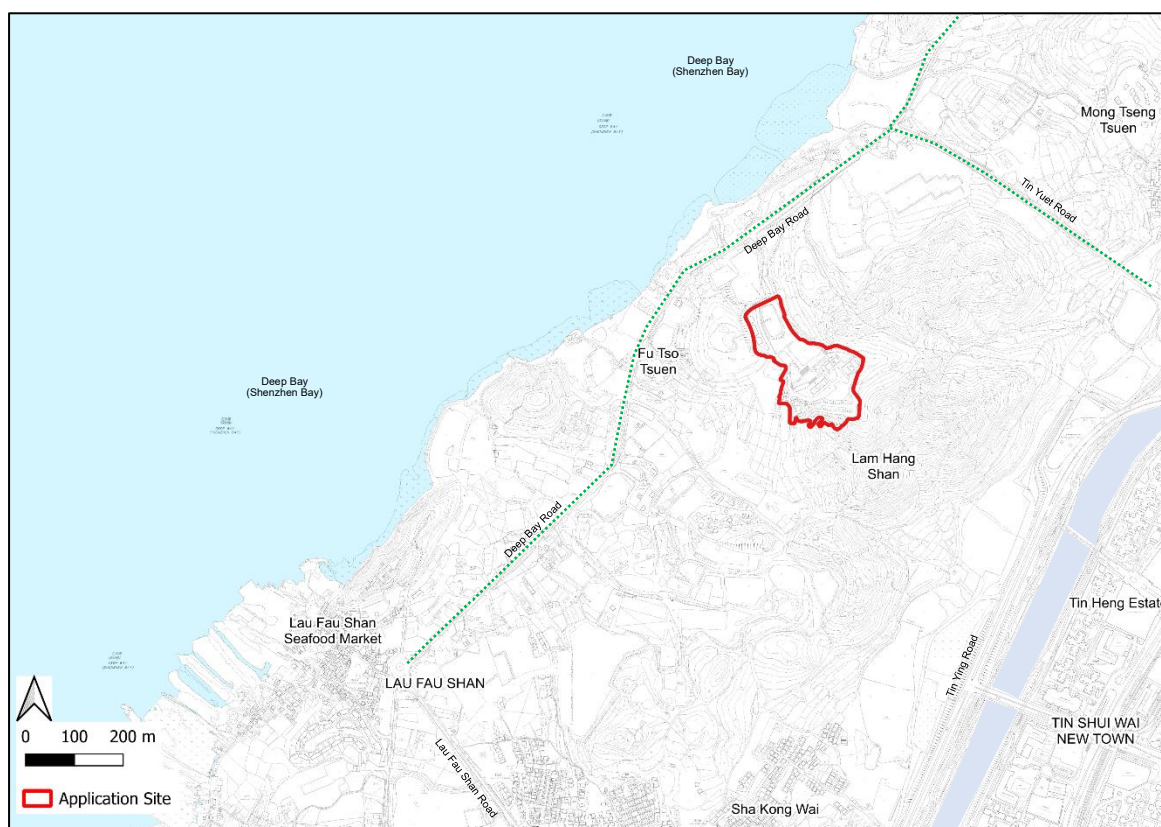
2. SITE AND PLANNING CONTEXT

2.1 Site Location

2.1.1 The Site is located in Lau Fau Shan, situated between the rural settlement of Fu Tso Tsuen and Lam Hang Shan. It lies approximately 1 km east of the Lau Fau Shan Seafood Fishing Village and about 770m west of the Mong Tseng Tsuen (**Figure 2.1** refers). At the local level, the Site is accessible via Deep Bay Road, connected by an unnamed local access road to the north.

2.1.2 The Site has a total area of about 32,554.56m². The existing site level rises gradually from north to south, ranging from 16.1 mPD to 31.8 mPD.

Figure 2.1: Site Location Plan



2.2 Existing Use and Site Condition

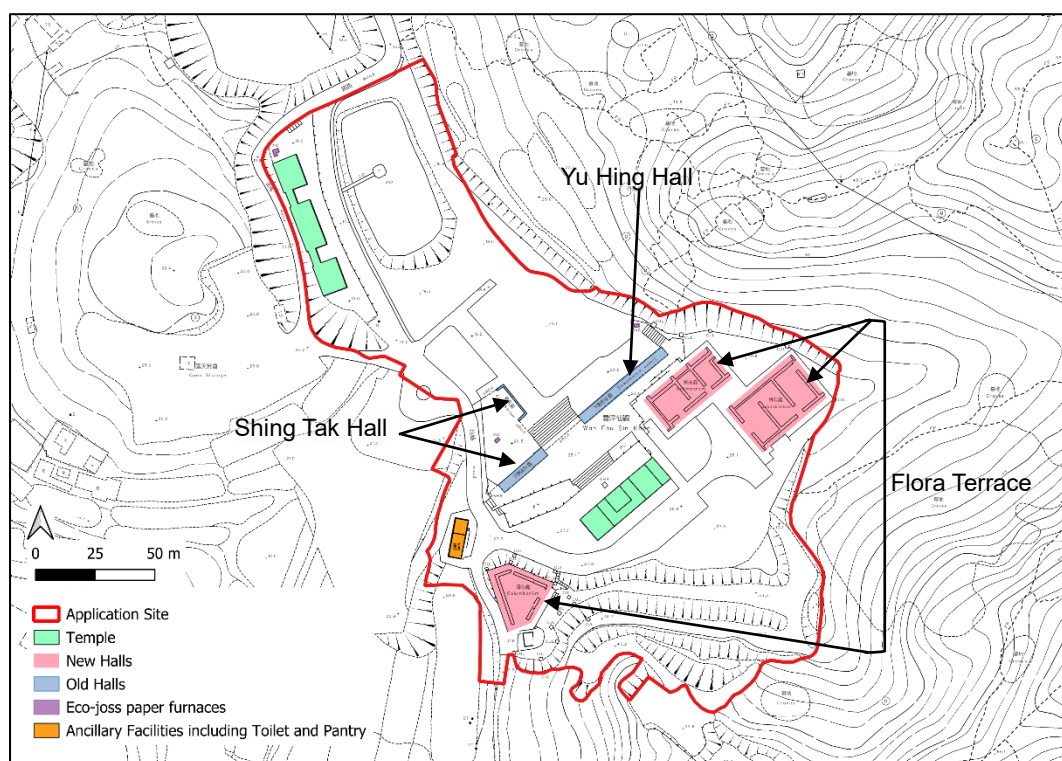
2.2.1 The Site is currently occupied by Wan Fau Sin Koon (the “Koon”), used for temple and columbarium purposes. In the southern part of the Site are the main temple with the New Halls (including Columbarium Block A and B). An ancillary block containing facilities (including toilet and pantry) and Columbarium Block C of the New Halls are also located in the area. The northern part of the Site contains the Old Halls- Shing Tak Hall and Yu Hing Hall, along with a lake, pavilion, and another newly built temple.

2.2.2 The niches on-site are accommodated within two areas: the Old Halls and the New Halls, with a total of 6 single-storey Columbarium blocks/halls (**Figure 2.2** refers). The Old Halls consist of 2 single-storey columbarium halls - Shing Tak Hall and 1 single-storey columbarium hall - Yu Hing Hall. The New Halls (known as Flora Terrace) consist of 3 single-storey columbarium blocks, which were approved under Planning Application Nos. A/YL-LFS/54 and A/YL-LFS/77 in 2001 (**Figure 2.2** refers). The Site also includes 3 eco-joss paper furnaces, an ancillary toilet block & an office. There are approximately 10,400 niches in total on-site, including about 3,824 unsold niches (including 1,824 from the Old Halls and 2,000 from the New Halls) and about 6,576 pre-cut off sold niches (**Table 2.1** refers).

Table 2.1: Existing Distribution of the Niches

	Old Halls (Shing Tak Hall and Yu Hing Hall)	New Halls (Flora Terrace)	Total
Pre-cut off sold niches	6,576	/	6,576
Unsold Niches	1,824	2,000	3,824
GRAND TOTAL			10,400

Figure 2.2: Existing Uses of the Site



2.2.3 The Site has been operated as temple and columbarium since 1983. The Koon was commented by the local stakeholders and villagers as a renowned temple and representative attraction in Lau Fau Shan. However, there is a lack of weather proof area for an ash interment ceremony, ancestor worship ceremony, family members to prepare joss-paper and other offerings, and senior family members to take a rest. Besides, if more weather-proof facilities can be provided within the Site, it will be more welcomed by the local villagers and visitors. Moreover, the condition of the existing columbarium halls has gradually deteriorated and become dilapidated over time. As shown in **Figure 2.3**, the concrete spalling is visible on Shing Tak Hall, as well as the color of the façade is also tarnished.

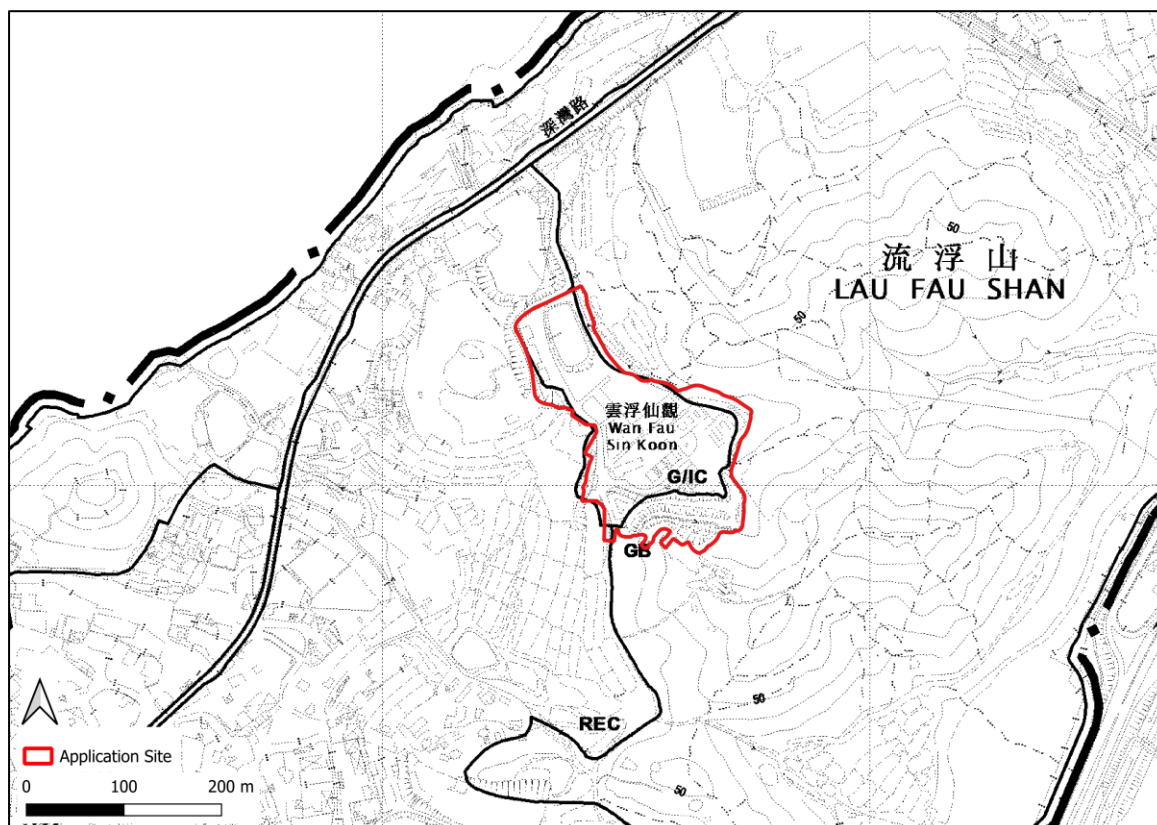
Figure 2.3: Existing Condition of the Site



2.3 Statutory Planning Context

2.3.1 The Application Site falls primarily within an area zoned “Government, Institution or Community” (“G/IC”) (71%), with the remaining part of it falling within the “Green Belt” (“GB”) (26%), and “Recreation” (“REC”) zones (3%) under the Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan (Approved OZP) No. S/YL-LFS/11 (Figure 2.4 refers).

Figure 2.4: Zoning of the Application Site



2.3.2 According to the Statutory Notes of the Approved OZP, the planning intention of the respective zones is as follows.

“G/IC” zone

2.3.3 “G/IC” zone is “*primarily for the provision of Government, institution or community facilities serving the needs of local residents and/or a wider district, region or the territory*”. It is also intended to “provide land for uses directly related to or in support of the work of the Government, organisations providing social services to meet community needs, and other institutional establishments”. “Columbarium” use is a Column 2 use, which the G/IC zone would require planning permission from the Town Planning Board.

“GB” zone

2.3.4 “GB” zone is *“primarily for defining the limits of urban and sub-urban development areas by natural features and to contain urban sprawl as well as to provide passive recreational outlet”* and there is a *“general presumption against development within this zone”*. “Columbarium (within a Religious Institution or extension of existing Columbarium only)” is a Column 2 use that would require planning permission by the Town Planning Board. Besides that, any filling of land or excavation of land, including that to effect a change of use to Column 1 and 2 or the uses or development always permitted under the covering Notes (except public works coordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken without the permission from the TPB.

“REC” zone

2.3.5 “REC” zone is “primarily for recreational developments for the use of the general public”. It also “encourages the development of active and/or passive recreation and tourism/eco-tourism,” and the uses are *“in support of the recreational developments may be permitted subject to planning application”*. However, “Columbarium” use is neither a Column 1 nor Column 2 use.

2.3.6 Although the Application Site is located within the aforementioned zoning areas, the proposed amendments to the Approved Planning Application pertain only to the “G/IC” zone.

Approved Planning Applications

2.3.7 The columbarium uses at the “Old Halls” (8,400 niches - with 6,576 sold/let niches and 1,824 unsold niches) is an existing use and does not require planning permission from the Town Planning Board.

2.3.8 The columbarium use at the “New Halls” is, however, subject to two planning applications (No. A/YL-LFS/54 and No. A/YL-LFS/77), both for proposed additional columbarium (*total 2,000 niches - including 1,000 2-urn niches and 1,000 4-urn niches in three new columbarium buildings, collectively named as “Flora Terrace”*), which were approved with conditions by the Rural and New Town Planning Committee of TPB on 3 August 2001 and 12 December 2001 respectively (**Table 2.2** refers).

2.3.9 Planning Application No. A/YL-LFS/77 is for amendment to the building form and

disposition of the approved development scheme under Application No. A/YL-LFS/54 only, and there was no change in the number of niches and urn-place. In short, the maximum no. of niches that can be accommodated in the “New Halls” under the approved scheme of Application No. A/YL-LFS/77 is 2,000.

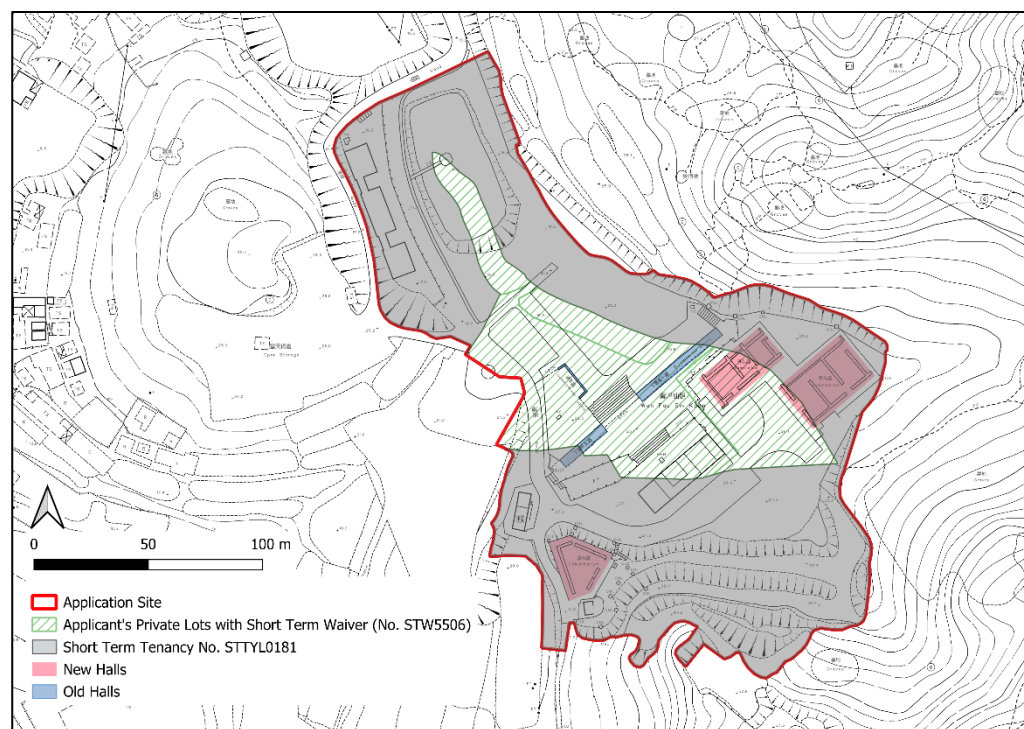
Table 2.2: Approved Planning Applications

Approved Planning Applications	A/YL-LFS/54	A/YL-LFS/77
Decision Date	3 August 2001	12 December 2001
Particulars of the Application	<p>(i) Additional Columbarium: about 2,000 niches</p> <p>(ii) Three new single-storey columbarium halls</p>	<p>(i) Columbarium: Remained Unchanged (i.e., 2,000 niches)</p> <p>(ii) Change in the location, disposition and building form of three new single-storey columbarium halls</p>

2.4 Land Status

2.4.1 The Site comprises the Applicant’s private lots, including Lot Nos. 1857 S.A, 1857 RP, 1858, 1859 in D.D. 129 (which is subject to Short Term Waiver (STW) No. STW5506) and the adjoining Government land held under Short Term Tenancy No. STTYL0181 (**Figure 2.5** refers). The Applicant’s lots are old schedule lots held under a Block Government Lease demised for agricultural or garden purpose.

Figure 2.5: Land Status



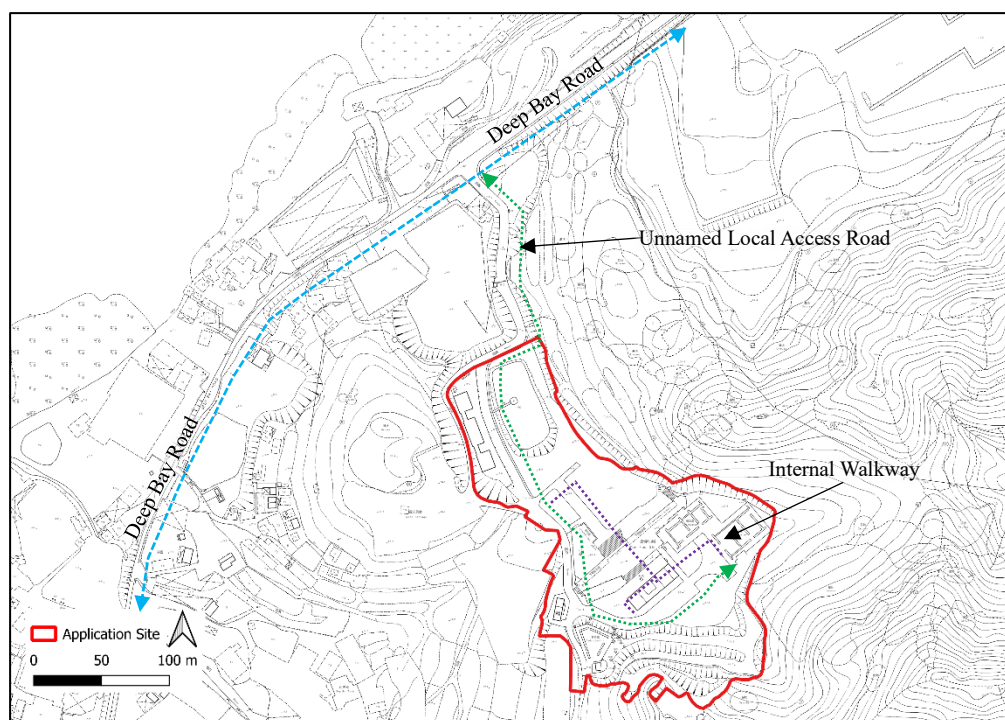
2.4.2 The Koon (or the temple and columbarium uses on the Site) is currently permitted by way of a STW and a STT both commenced on 8 May 2023 for **a term of 7 years until 7 May 2030**. The operation of the columbarium is permitted by a Private Columbarium License (“Licence”) for the same terms as the STT and the STW.

2.4.3 Under the conditions of STT, the built-over area for temple use shall not exceed 1,100 square metres, and for the columbarium use shall not exceed 1,270 square meters. Not more than 2,961 niches should be provided within the STT. While the conditions of STW stipulate that the built-over area for temple use shall not exceed 460 square meters, and for columbarium use shall not exceed 660 square meters. Not more than 7,439 niches should be provided within the STW. Both the STT and STW allow for a total of not more than 10,400 niches to be provided within the Koon. In addition, the existing temple and the Pai Lau shall not exceed 8.2m and 9.6m above ground level respectively while other buildings or structures erected shall not exceed 6.9m above ground level.

2.5 Accessibility

2.5.1 Access to the Site is currently via an unnamed local access road from Deep Bay Road. Public transport (i.e. Mini Bus no. 35) and/or taxis (**Figure 2.6** refers) and the internal walkway within the Wan Fau Sin Koon provide a very convenient access for visitors.

Figure 2.6: Accessibility of the Site



2.6 Low Take-Up Rate and Customer Survey

2.6.1 The Koon is governed by the STT & STW. The terms of the STT & STW are both for 7 years while the payment interval is per annum. Since the term of ash interment right of niches must not exceed the terms of STT/STW, the term of interment right available for sale is less than 7 years. The term available for sale decreases as time goes by. Besides, the payment period of the interment right must follow that of the STT rental and the STW fee, i.e. on annual basis.

2.6.2 The Koon was first operated as temple and columbarium purpose since 1983. In 2001, the Applicant has received planning approvals for the proposed additional columbarium (i.e., 2,000 niches). Since then, the Government has introduced the Private Columbaria Ordinance (Cap. 630) with a view to establish a licensing regime to ensure private columbaria in compliance with statutory and government requirements and it came into effect on 30 June 2017. After 7 years since the enactment of the Ordinance, the Applicant has made his genuine effort and obtained the license approval by the PCLB in 2023.

2.6.3 Since then, the Koon has commenced marketing of the niches to (i) the individuals who had expressed interest in the niches while waiting for the License, (ii) the descendants with ancestor's ashes currently inherited in the Koon and (iii) the general public by engaging niche agents. The response, however, is very

discouraging. Most potential customers expressed such short-term interment right and frequent periodic payment are not acceptable. The Koon was only managed to rent the interment right of only 1 niche till now since 2023 and even after the approval of the planning applications back in 2001. The niches from the Old Halls and New Halls (under the approved planning applications) remain status quo with no potential customers.

2.6.4 A customer survey on site, involving 1,780 interviewees, was then conducted between 2023 Chung Yeung Festival and 2024 Ching Ming Festival to identify the marketing positioning and the preference leading to the low intake rate. The result of the survey shows that:

- a) Most of the interviewees expressed that the location is acceptable and they like the landscape garden.
- b) However, the majority of the interviewees (90.7%) expressed no interest in purchasing the interment right, as the term of the interment right available for sale is less than 7 years. (*Note: the term available for sale decreases as time goes by*).
- c) About 76.7.% and 82.7% of interviewees found that the short-term interment right is not acceptable and the frequent payment (i.e., on an annual basis) is not convenient, respectively.

3. NEED FOR THE PROPOSED AMENDMENTS

3.1 Based on the above reviews, the following drawn to form the reasons for the proposed amendments to the Approved Scheme:

Summary	Applicant's Proactive Response
<p><u>History and Operation of the Site</u></p> <p>The Site has been operated as a temple and columbarium since 1983 to provide a final resting place for the cremated remains of ancestors. Two planning applications for an additional columbarium in the New Halls were approved by the TPB in 2001 with an additional 2,000 niches at the Site. Despite additional niches are approved within the Site, they are subject to the short-term interment right and frequent periodic payment.</p>	<p>The Site's long history as a temple and columbarium highlights its cultural role and as a renowned and representative attraction in Lau Fau Shan. The Applicant remains committed to maintaining the Site as a temple and columbarium, preserving its role in providing a respectful resting place for ancestors. However, under the short-term STT/STW arrangements, the low uptake (only 1 niche sold) suggests that the anticipated demand from the approved planning applications in 2001 would not be able to materialise as expected and even after the approval by the PCLB in 2023. The Applicant would like to take this opportunity to revisit the overall operation of the Site with the plans of relocating the unsold niches.</p>
<p><u>Lands Matter</u></p> <p>Although the Lands Department (LandsD) has granted permission for the temple and columbarium uses at the Koon/Site by way of a STW and STT for a fixed term of 7 years certain, the term of the ash interment right of niches must not exceed the term of STT and STW.</p>	<p>There was <u>no guarantee</u> that the LandsD would approve/grant the renewal of STT and STW for the temple and columbarium uses at the Application Site upon the expiry of the term of 7 years. The Applicant will conduct a lease modification on the prevailing lease of the private lots subject to premium payment, in order to allow long-term ash interment rights and the selling of the unsold niches.</p>
<p><u>Low Take-Up Rate and Customer Survey</u></p> <p>A customer survey has been conducted to identify the market positioning of the Site. However, the interviewee's response is discouraging, as the majority of the interviewees expressed no interest in purchasing the interment right, as the term of the interment right available for sale is less than 7 years.</p>	<p>Given the fact that only 1 niche was sold and the prevailing lease conditions of STW and STT, the Applicant would like to consolidate the unsold niches from the STT to the private lot areas to provide certainty to the customer. The unsold niches could thus be realised and sold to relieve market demand upon approval of the lease modification for the private lot areas.</p>
<p><u>Existing Conditions</u></p> <p>The existing columbarium (old halls) structures within the Application Site are found to be deteriorating, with concrete falling and a lack of weather-proof areas such as decent sheltered/resting places.</p>	<p>The Applicant is planning to uplift and revamp the conditions of the existing facilities of the Koon, including the columbarium (old hall) structures, to address the comments from current customers and the local stakeholders for better services and an improved environment for the ash interment ceremony and ancestor worship ceremony.</p>

4. PROPOSED AMENDMENTS TO APPROVED SCHEME

4.1 Introduction

4.1.1 As explained in Section 3, it is apparent that the existing unsold niches were unable to be realised due to the prevailing condition of the STW and STT in restricting the period of ash interment right of niches for less than 7 years. The short-term ash interment right could not cater to the current market demand and the satisfaction of the purchasers. In light of this, under the proposed amendments to the approved development scheme, the Applicant would consolidate those “unsold niches” from the New Halls and the Old Halls under STT and relocate them all within the Applicant’s private lots. Besides, it is also the Applicant’s intention to uplift the overall appearance of the Koon, including the columbarium structures. The Applicant will conduct a lease modification application for the Site upon approval of this planning application.

4.1.2 The Proposed Amendments to the Approved Scheme include the followings:

- (i) To adjust the Application Site Boundary in response to the latest ongoing lease modification of STT and STW and avoid encroachment onto other third-party lots;
- (ii) To demolish the existing 3 single-storey New Halls;
- (iii) To consolidate the unsold niches (i.e. 3,824) from the New Halls (i.e. 2,000) and Old Halls (i.e. 1,824) under the STT and STW, and relocate them all within private lots;
- (iv) To construct four new single-storey columbarium buildings and one Family Precinct¹ within private lots with removals and modification of part of the existing Shing Tak Hall (i.e. involving a built over area of 202.2m² out of the original 238m²). The removals and modification of part of the existing Shing Tak Hall do not involve any existing niches;
- (v) To realign the turnaround facility at the end of the emergency vehicular access (EVA) in the east; and
- (vi) To enhance the overall landscape setting of the area.

4.2 Adjustment of Application Site Boundary

4.2.1 The proposed Application Site Boundary has been adjusted 1) to avoid the encroachment onto other third-party lots, and 2) to regularize the boundary based on the latest ongoing lease modification.

¹The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

Avoid Encroachment onto Other Third-party Lots

- 4.2.2 The approved Application Site Boundary under A/YL-LFS/54 and A/YL-LFS/77 unintentionally encroaches slightly onto the adjacent third-party lot, including Lot No. 771. To rectify the encroachment onto other third-party lots, the proposed scheme includes a minor adjustment to the site boundary.

Regularise the Application Boundary based on the latest ongoing lease modification

- 4.2.3 As highlighted in the above section, the approved Application Site Boundary comprises the STT and Applicant's private lots (also known as STW). The existing STT will be adjusted and rationalised due to the interface issue/encroachment with the adjacent private lots, including Lot nos. 1822 S.B., 1854 S.A., and 1855 in D.D. 129. The Applicant is currently undergoing a lease modification application with the Lands Department to rectify the said amendments.

- 4.2.4 Based on the above adjustments, the proposed Application Site Boundary will slightly increase by 2% from 31,880m² to 32,554.56m².

4.3 Proposed Amendments to the Approved Scheme No. A/YL-LFS/54 and A/YL-LFS/77

- 4.3.1 The Proposed Scheme comprises 4 single-storey columbarium buildings and a new Family Precinct zone with a building height of about 6.9m, which is the max. building height allowed under the prevailing STT and STW. The built-over area of the proposed buildings/blocks would not exceed 1,772.2m² (i.e. 1,570m² from the New Halls and 202.2m² of the existing Shing Tak Hall). The new Family Precinct zone* (i.e. Zone E- Family Precinct) would comprise a range of 22- 32 individual structures with family niches. Each individual structure would have an area of not more than 20.25m^{2****} and a building height of not more than 4.5m.² The Proposed Scheme will provide not more than 3,824 niches. The proposed development is targeted to be completed in 2027.

**** excluding architectural features, eaves and roof features, which may be accountable by BD and LandsD during the detailed design submission stage.

4.3.2 The layout plan of the Proposed Scheme is presented in **Figure 3.1**, while the full set of schematic drawings is presented in **Appendix 1** of this Supporting Planning Statement. The landscape design and the reference drawings are presented in **Appendices 2 and 3** respectively. **Table 3.1** summarises the key development parameters of the Proposed Scheme.

Table 3.1: Development Parameters

Built Over Area	1,772.2m ² *
Storeys	1
Building Height	6.9m above ground level^
Nos of Buildings	4 buildings/blocks and 1 Family Precinct ⁺
Nos of Niches	3,824 [#]

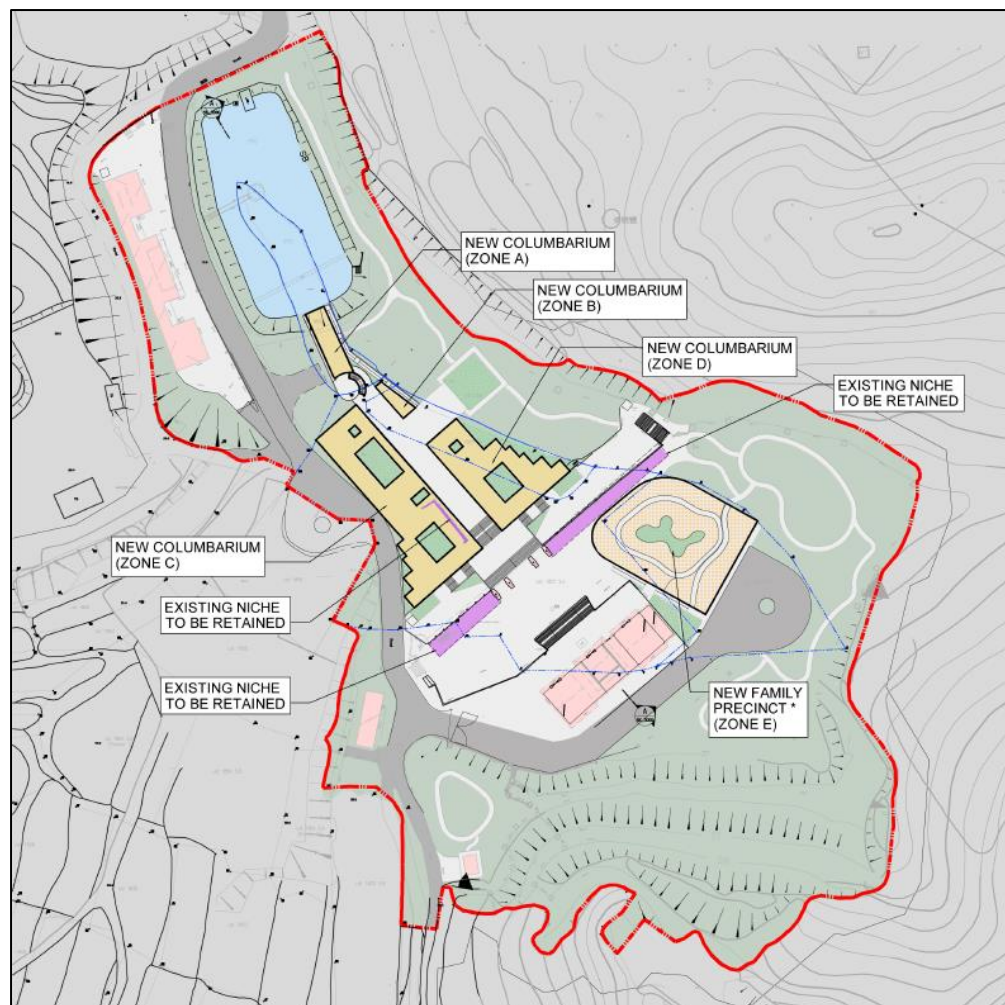
*The built over area 1,772.2m² of which 1,570m² is the approved BOA from the new halls under the two Approved Planning Applications, with 202.2m² from removals and modification of part of the existing Shing Tak Halls.

^The BH is stipulated under the lease conditions of STW5506 and STTYL0181

Consisted of 2,000 niches from New Halls (under Approved Planning Application) and 1,824 from Old Halls

+ The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

Figure 3.1: Indicative Development Layout

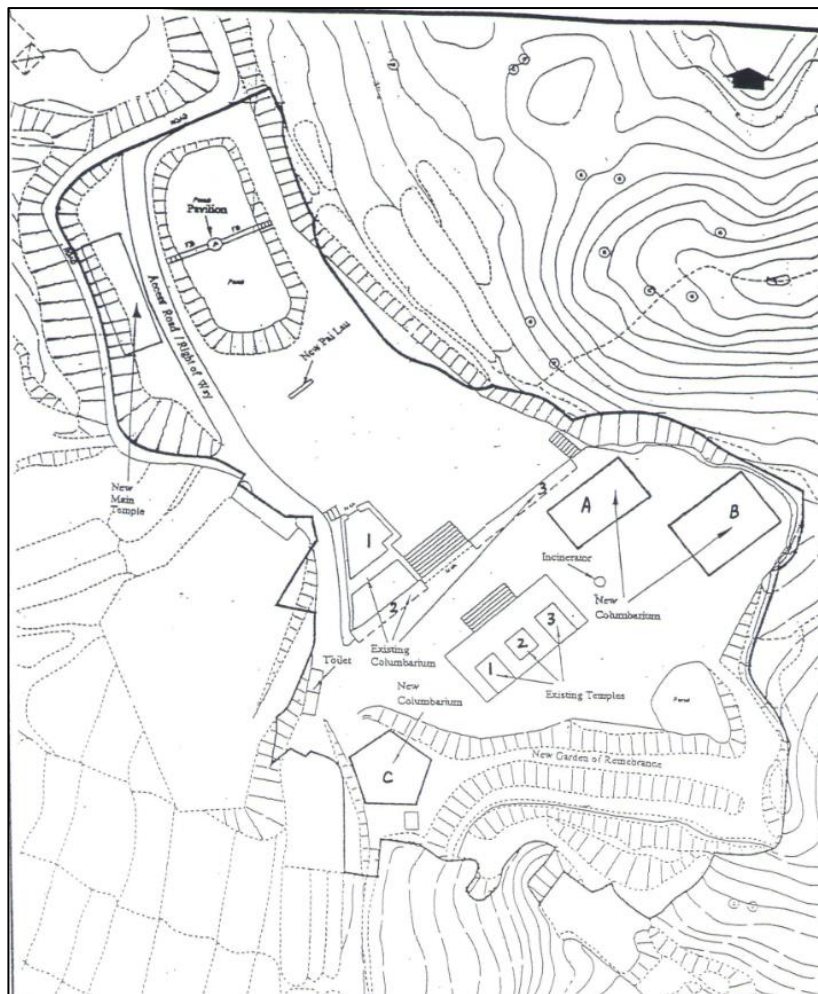


* The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

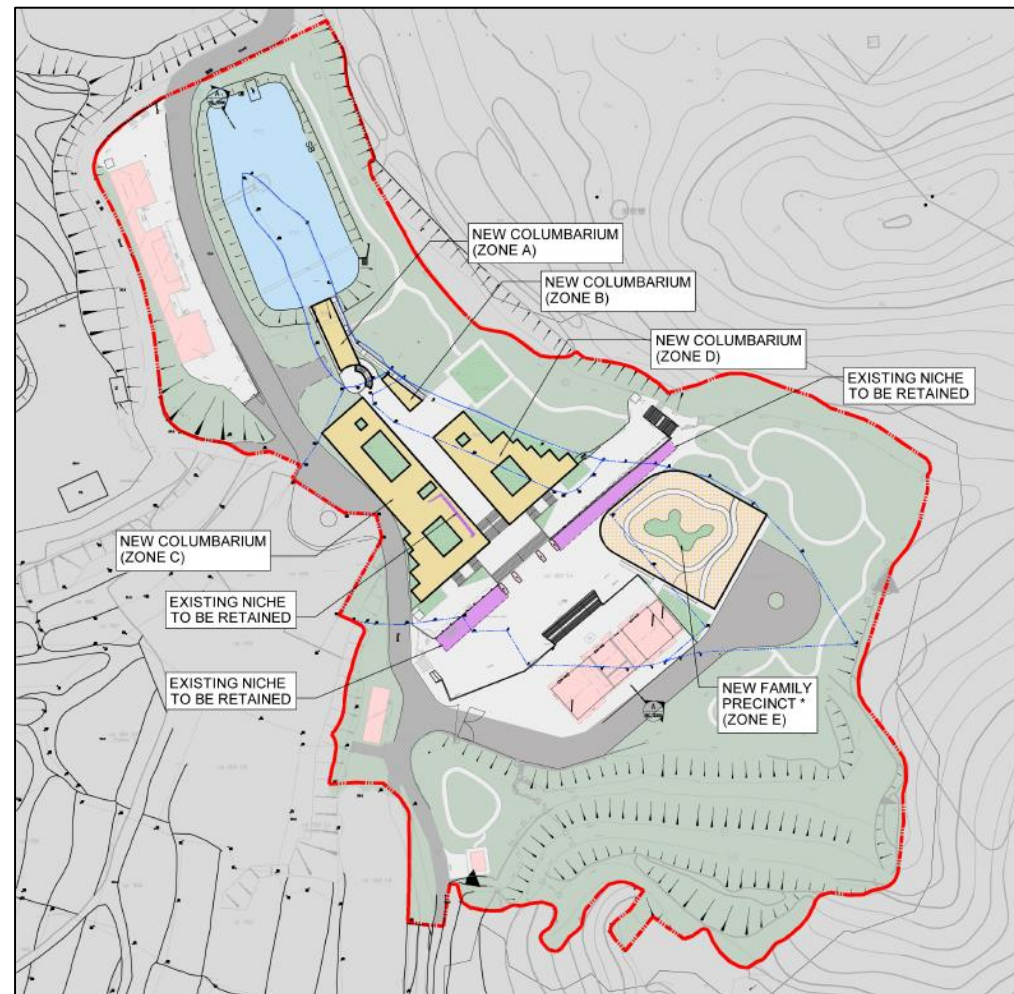
4.4 Comparison of the Approved Development Scheme and Proposed Development Scheme

4.4.1 A comparison of the major development parameters of the Approved Development Scheme (A/YL-LFS/77) and Proposed Development Scheme is shown in **Figure 3.2** and **Table 3.2**.

Figure 3.2: Comparison between the Approved and Proposed Development Scheme



Approved Scheme



Proposed Scheme

*The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

Table 3.2: Comparison Table of Approved and Proposed Development Schemes

The Approved Scheme (A/YL-LFS/54)		Approved Revised Scheme (A/YL-LFS/77)				The Proposed Scheme			
		Area Breakdown				Area Breakdown			
Structure	Area (m ²)	Structure	STT (m ²)	STW (m ²)	Total Area (m ²)	Structure	STT (m ²)	STW (m ²)	Total Area (m ²)
Pavillion	7	Pavillion	/	7	7	Pavillion	/	7	7
New Pai Lau	9	New Pai Lau	/	9	9	New Pai Lau	/	9	9
Main Temple	493	Main Temple	493	/	493	Main Temple	493	/	493
Existing Columbarium (Old Hall- Shing Tak Hall and Yu Hing Hall)	586	Existing Columbarium 1 (Shing Tak Hall)	11	227	238	Existing Columbarium 1 (Shing Tak Hall)	0	35.8	35.8
		Existing Columbarium 2 (Shing Tak Hall)	52	65	117	Existing Columbarium 2 (Shing Tak Hall)	52	65	117
		Existing Columbarium 3 (Yu Hing Hall)	40	191	231	Existing Columbarium 3 (Yu Hing Hall)	40	191	231
Storage	193	Storage	/	193	193	Storage	/	193	193
Toilet	57	Toilet	57	/	57	Toilet	57	/	57
Existing Temple	271	Existing Temple 1	103.5	/	103.5	Existing Temple	103.5	/	103.5
		Existing Temple 2	6	58	64		6	58	64
		Existing Temple 3	/	103.5	103.5		/	103.5	103.5
Incinerator	8	Incinerator	/	8	8	Incinerator	/	8	8
New Columbarium (New Hall- Flora Terrace)	1,570	Columbarium A (Flora Terrace)	150	338.5	488.5	Columbarium A	0	134.014	134.014
		Columbarium B (Flora Terrace)	631.5	/	631.5	Columbarium B	0	42.893	42.893
		Columbarium C (Flora Terrace)	450	/	450	Columbarium C	0	767.205	767.205
		/	/	/	/	Columbarium D	0	508.356	508.356
		/	/	/	/	Columbarium E (Family Precinct) *	0	319.732	319.732
Meter Room	6	Meter Room	6	/	6	Meter Room	6	/	6
Total	3,200	Total	2,000	1,200	3,200	Total	757.5	2442.5	3,200

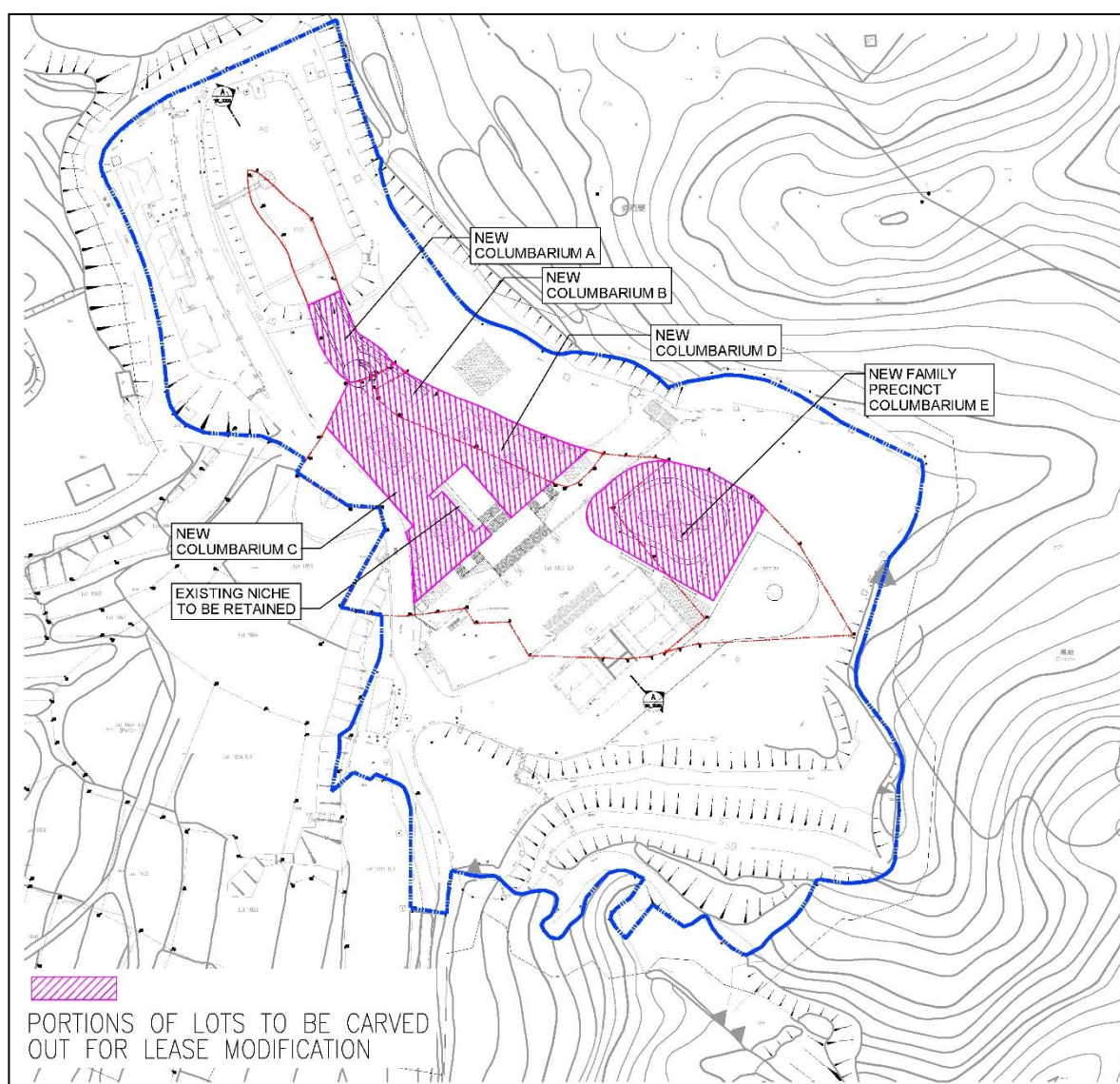
*The Family Precinct is a dedicated zone that holds multiple individual structures with family niches. The Site features a Family Precinct where generations are honoured together in private family niches

4.5 Implementation on the Existing Unsold Niches

Lease Modification

- 4.5.1 Upon approval of this planning application, it is proposed to carve out the portions of lots, where the new columbarium housing all the remaining unsold niches (i.e. New Columbarium A, B, C, D & E) are proposed. Pre-cut-off sold niches will not be included in the Portions (**Figure 4.1** refers). The Applicant will apply for lease modification to permit the 3,824 unsold niches on the newly carved out portions of lots, subject to premium payment.

Figure 4.1: Portions of the Private Lots to be carved out for lease modification



Obtain Approval from the Private Columbaria Licensing Board

4.5.2 It is understood that the 1) demolition of the new Flora Terrance (New Halls), 2) construction of four new columbarium buildings and one Family Precinct and 3) removals and modification of part of the existing Shing Tak Hall (Old Hall) will be considered as the alteration or addition works to the columbarium premises. These changes would result in material deviation from the approved plans of the columbarium according to Section 53 of the Private Columbaria Ordinance, Cap. 630 (PCO).

4.5.3 Upon the approval of this planning application, the Applicant (also known as the license holder) will make an application to the Private Columbaria Affairs Office (PCAO) (i.e., Part B of Section 53 of PCO) for alteration or addition works to the existing columbarium premises; and obtain necessary approval/ written permission from the Private Columbaria Licensing Board (PCLB) before making any alteration or addition works.

4.6 Operation of Application Site

4.6.1 In view of the above, the approved layout plan and approved management plan of the columbarium are required to be revised for the changes and seek approval from PCLB upon the approval of this S16 application. Nevertheless, the following operational proposal for the Application, as outlined in the previous management plan, shall be followed, subject to final changes agreed upon and approved by PCLB.

Opening Hours

4.6.2 During normal days (including Saturday, Sunday, and Public Holidays), the Application Site will be open between 9:30 am and 5 pm. The opening hours will be extended during the Ching Ming and Chung Yueng festival periods between 9 am and 5:30 pm. To facilitate the internal management within the Site, the visitors will be required to make an appointment with the office for the ancestor worship ceremony during normal days.

Crowd Management

4.6.3 During peak grave sweeping days (i.e. Ching Ming/Chung Yeung Festivals and two weekends/public holidays before and after Ching Ming/Chung Yeung Festivals), additional manpower and professional assistance will be sought from the appointed security management company. The proposed scheme (after the amendments made) will continue to have a similar visitor holding capacity/ arrangement as the

existing scheme. The crowd management plan includes a control centre, first aid station, and direction of pedestrian flows.

4.6.4 The proposed measures under the crowd management plan will include the following:

- A control centre would be set up to serve as a command centre and to oversee the following operations:
 - Guide and monitor visitors to the designated pedestrian way and footpath;
 - Monitor the capacity of the holding/waiting area and the estimated hourly/daily flow;
 - Set up barriers to direct pedestrian flow;
 - Exercise measures (i.e., direct visitors to stay/hold at the holding area/waiting areas or temporarily halt visitors' movement in specific sections) when reaching peak-hour flow and maximum capacity; and
 - Issue frequent announcements to direct the visitors to follow the instructions and ensure no back-flow of visitors;
 - Set up a first aid station;
 - Provide 10 additional mobile toilets; and
 - Set up a designated garbage collection point that will be collected by a designated waste collection operator.

Security Management

4.6.5 The Applicant has appointed a private experienced security company to handle the security and crowd management of the columbarium during peak grave sweeping days (Ching Ming/Chung Yeung Festivals and two weekends/public holiday before and after Ching Ming Festival/Chung Yeung Festivals), to ensure the safety of visitors and the public.

4.6.6 The security company will work closely with the relevant disciplinary forces, and their duties will include:

- Maintain good law and order of the Wan Fau Sin Koon;
- Assist the visitors and staff of Wan Fau Sin Koon during grave sweeping days;
- Conduct traffic and crowd management measures within the Site;
- Carry out a full-scale investigation of accident, if any emergency;
- Liaise with relevant government departments; and
- Supervise and report all breaches of rules and all cleaning matters.

Manpower deployment

4.6.7 At present, the Applicant employs a total of 13 staff for its basic operation of the columbarium with support from Head office for the administration of accounting, contracting and human resources. There are sufficient and suitable staff to meet the daily operational need.

4.6.8 Extra manpower (an additional of about 9 staff) will be allocated from the Head Office to meet the need on peak grave sweeping days (Ching Ming/Chung Yeung Festivals and two weekends/public holiday before and after Ching Ming Festival/Chung Yeung Festivals) for the cleansing, administration, customer service, repair and maintenance, building and fire safety, first aid, security, crowd management and traffic management etc.

4.6.9 Besides, the additional manpower will be allocated from the Head office. As mentioned above, a private security company will also be appointed to assist the staff of the Wan Fau Sin Koon during peak grave sweeping season.

Fire or other emergencies

4.6.10 The proposed columbarium will fit the necessary fire services installations, including street hydrant, fire extinguisher, sand buckets, hose reel, and be provided with the necessary assembly area for fire excavation and emergency vehicle access. The Applicant will appoint the relevant fire service installation contractor to comply with the fire safety requirements (i.e., Certificate of Fire Service Installations and Equipment (FS 251) and/or Certificate of Compliance (FSI/314A or FSI/314B)) upon the approval of this Planning Application. Besides that, the PCLB will also set out conditions for the Applicant to comply with the fire safety requirements.

4.6.11 In case of a fire emergency, all staff at Wan Fau Sin Koon have been trained on a regular basis, and they are capable of handling fire or other emergencies. The Police and Fire Services Department shall also be notified immediately when fire and other emergencies arise.

4.7 Technical Impact

Drainage Impact

4.7.1 Following the review of the existing and proposed catchment areas, it is noted that the proposed catchment will generate approximately 97% of the surface runoff compared to the existing condition. This reduction is attributed to increased vegetated surfaces within the proposed scheme, including unpaved areas and green

roofs. As a result, the factored catchment area for surface runoff is reduced by 3%. Therefore, the proposed development will not have adverse impact to the existing drainage system.

Traffic Impact

4.7.2 Based on the previous 30 years of operation experience, visitors to the Application Site are mainly from the nearby villages. Visitors from other areas visit by using public transport. At present, visitors can make use of the existing public transport services (i.e., existing minibuses services) to the Site. Visitors can then access the Site via a spacious internal walkway system. The Applicant opines that the Transport Department will take into account the transport needs generated from the Application Site and coordinate with public transport operator(s) for the provision of appropriate public transport services/supplementary services during grave sweeping days. The Applicant will consult with TD at least two months in advance of every Ching Ming Festival and every Chung Yeung Festival. It is understood that TD will consider the transport needs and request the Applicant to provide shuttle bus services when passenger demand warrants.

4.7.3 No visitor parking facility will be provided on site, and this would encourage the visitors to use public transportation and mitigate adverse traffic impact. Although the Application Site does not provide any parking facilities for visitors, pick-up/drop-off area will be provided for taxis with a turnaround area. The Hong Kong Police Force has been managing the Deep Bay Road during peak grave sweeping days with special traffic arrangements for the past 20 years.

4.7.4 More importantly, the total number of niches (i.e. 10,400) as previously approved will remain unchanged. Adverse traffic impact is not anticipated.

Landscape Impact

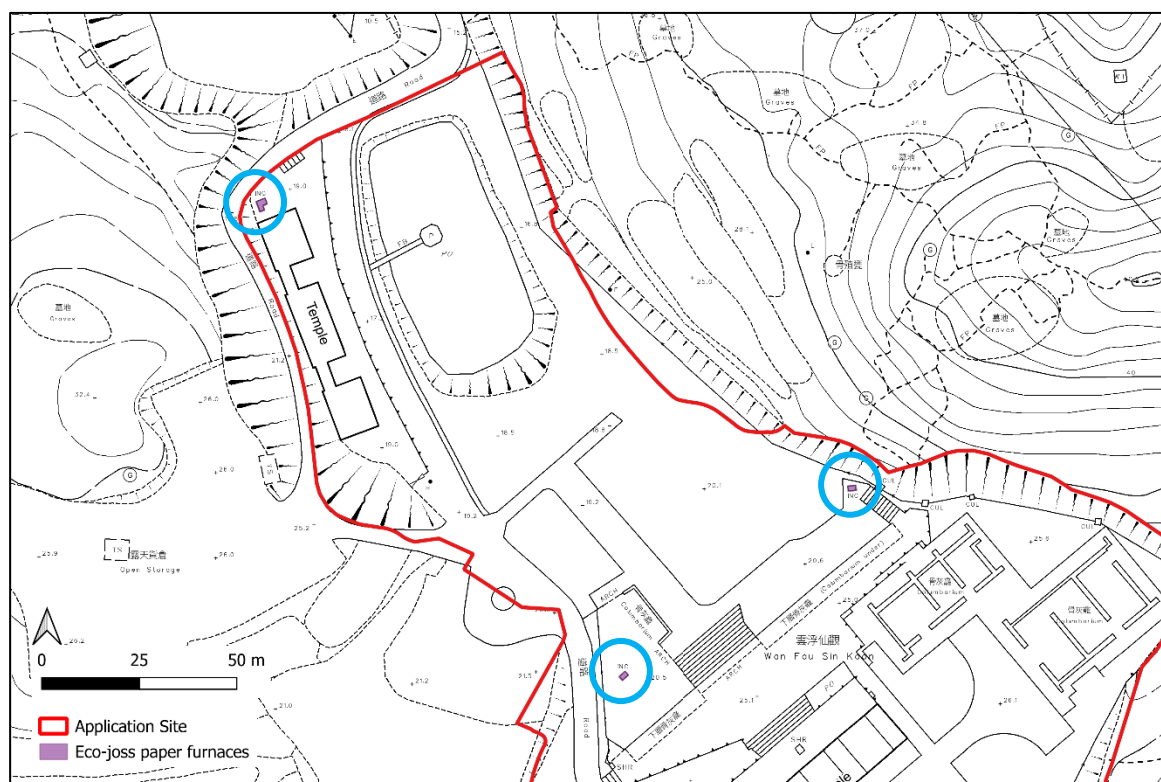
4.7.5 A Landscape Master Plan and Tree Treatment Plan has been conducted, enclosed in **Appendix 2**, to present the landscape design, tree treatment and tree proposal. The Application Site contains approximately 105 trees within the private lots and government land of the Site, of which 97 trees to be retained, 5 to be felled and 3 to be transplanted. Among the 5 trees to be felled, 2 are *Leucaena leucocephala*, which are identified as undesirable species and excluded from tree compensation. In this connection, a total of not less than 30 nos. new trees are proposed, and the compensation ratio of the tree lost is not less than 1:10. In terms of the landscape proposal, the landscape design concept is to respond to the development's rural

context and surroundings, in order to restore a quiet and green-shaded landscape design. Not less than 30% of the Site Areas as greenery areas will be provided to complement the surrounding area.

Environmental Impact

4.7.6 An Environmental Appraisal has been conducted, enclosed in **Appendix 3**, to identify and address the major environmental issues of the Proposed Development. The Environmental Appraisal covers the noise impact, air quality impact, water quality impact, and waste management impact. Based on the findings of the Environmental Appraisal, it is concluded that the Proposed Development will not have any adverse noise and air impacts during the operation phase and construction phase, as no planned fixed noise sources and air emission sources are anticipated. There will also be no adverse water quality impacts and no adverse waste management implications when the recommended measures and control measures of waste management are implemented. The Proposed Development will not have planned fixed noise sources and air emission sources (**Figure 3.3** refers).

Figure 3.3: Location of Eco-Joss Paper Furnaces



4.7.7 Besides that, the existing 3 nos. of eco-joss paper furnaces will be operated by the trained operator(s) to ensure all visitors are only allowed to use the eco-joss paper furnaces. This is also to comply with Condition No. 29 set out by PCLB.

Geotechnical Impact

- 4.7.8 A Geotechnical Planning Review Report, enclosed in **Appendix 4**, has been conducted to provide the preliminary planning review of the geotechnical aspects of the Proposed Development. Based on the available information, it is concluded that the Proposed Development is geotechnically feasible. The likely involved geotechnical works shall have no adverse effects on the adjacent grounds, slope, retaining wall, underground utilities, and structures.

Visual Impact

- 4.7.9 The proposed building height of the buildings or structures will remain the same as the building height of the existing columbarium blocks/halls, at 1 storey high and not more than 6.9m above ground level. This complies fully with the height restriction stipulated under the prevailing lease conditions. The proposed building height will therefore not be incompatible with the surrounding context and the existing buildings or structures (i.e. temple, columbarium blocks/halls). Importantly, the proposed scheme does not increase the overall built-over area; it will remain the same as that of the approved scheme. As there is no increase in footprint or height, the overall building bulk and mass will not be incompatible with the surrounding context and the existing buildings or structures. It is anticipated that there will be no adverse visual impact.

5. PLANNING JUSTIFICATIONS

5.1 The Proposed Amendments will not deviate from the current temple and columbarium purposes

5.1.1 Although the Applicant seeks the amendments to the approved development scheme, the proposed amendments will not deviate from the current temple and columbarium purposes. The proposed amendments mainly include 1) slight adjustment of site area and application site boundary, 2) a change in the location, disposition and form of the building blocks, 3) constructing new buildings (with an increase in the number of blocks) with removal and modifications of the existing Shing Tak Halls, 4) realignment of the turnaround facility at the end of the EVA in the east; and 5) an enhancement to the overall landscape setting within the Application Site.

5.2 No increases to the Overall Number of Niches

5.2.1 The amendments do not involve any increases in niches at the Site. The Application Site will continue to maintain the existing number of niches (i.e. 10,400). The proposed amendments are to allow the Applicant to consolidate the unsold niches (i.e., 3,824) from Old Halls and New Halls to within the private lots. Thus, the unsold niches could be realised and sold to meet the market demand thereafter.

5.3 The proposed amendment is to make full use of the development potential of the Site

5.3.1 Over the past 3 years after the approval from PCLB, there has been only 1 niche being sold out. The Applicant is facing tremendous financial challenges with the low take-up rate, as well as the high rental and waiver fees per annum for the STT and STW, respectively. If the take-up rate of niches is not improved, the operation of the Application Site can hardly be sustained and will have to close down. Not only will the effort made by the Government and the operator to contribute niche supply in Hong Kong be in vain, but it will also result in massive ash disposal and social unrest. As highlighted in the Customer Survey in paragraph 2.6 and section 3 above, it is noted that the majority of the interviewees opine that the short ash interment term (with less than 7 years) is not acceptable, and the frequent payment per annum is not convenient. There was also no guarantee that the relevant government department(s), including the Lands Department, would approve/grant the renewal of STT and STW for the temple and columbarium uses at the Application Site upon the expiry of the term of 7 years.

5.3.2 The proposed amendments to the approved scheme would be able to consolidate

the unsold niches from the old halls and new halls within the private lots, in order to make the niches realised and to be sold in the market. The Applicant will conduct a land exchange application upon the approval of this planning application.

5.4 The unsold niches could meet the genuine demand for the private niches

5.4.1 As of June 2025, there are about 165 applications applying for a license under the Private Columbaria Ordinance, in order to sell or let out niches. However, only 14 private columbarium operators have been approved licenses from the PCLB for the sales of niches, and only 6 private columbarium operators have been exempted for leasing out the niches. The total of 20 private columbarium operators could only provide about 100,000 private niches. Taking into account the death rate of about 50,000 per year, it is expected that the ash cremation will be chosen with the increased death rate. The private columbarium could address the genuine demand for the private niches in the medium to long term supply, considering the supply of public niches would be subject to the land availability, and the allocation for the niche quotas. Please note that the allocation of public niches would only be carried out once a year.

5.5 The proposed amendments pose an opportunity to revamp and uplift the existing condition of the Koon

5.5.1 The existing Old halls (esp. the Shing Tak Hall) are deteriorating with the falling of concrete and the tarnishing of the color on the façade. The Site also has no weather-proof facilities such as decent sheltered/resting places within the existing New Halls. The proposed amendments would pose an opportunity to revamp and uplift the condition of the Koon. It is also an opportunity to relocate the unsold niches from the New Halls to the private lots. The Applicant intends to provide better services and sheltered spaces with an improved environment for the ash interment ceremony and ancestor worship ceremony in their new columbarium design. More importantly, there is no increase in the originally approved built over area after the proposed amendments.

5.6 No Technical Impact

5.6.1 As mentioned in sub-section 4.6, since the total number of niches approved within the Site will remain unchanged and the proposed amendments would merely involve the change in the location, disposition and form of the buildings within the Private Land. There is also no change to the total approved built over area after the proposed relocation. It is anticipated that there will be no technical impacts (including drainage, landscape, traffic, environment, and visual) upon the proposed

amendments to the surrounding context.

6. CONCLUSION

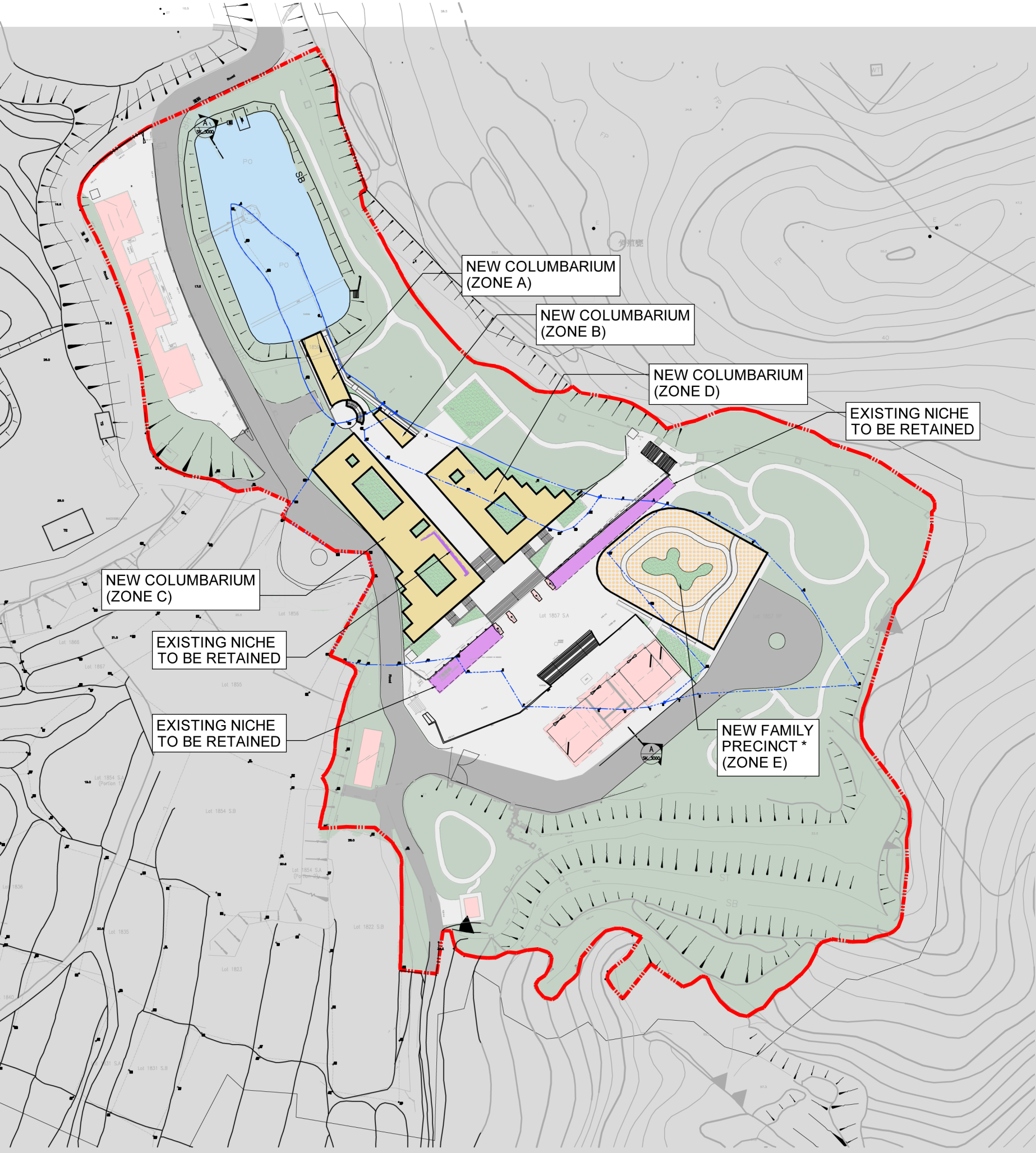
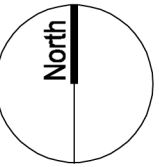
6.1 The Application Site has been operated as a temple and columbarium since 1983. For the past four decades, the Site has served as a final resting place for the cremated remains of ancestors. The proposed amendment to the approved scheme is to optimise the development potential of the Application Site by relocating the unsold niches, mainly in the new halls to the new structures within the Applicant's private lot areas.

6.2 The TPB and relevant Government Departments are respectfully requested to give favourable consideration to support the proposed amendments to the approved scheme based on the following:

- The proposed amendments will not deviate from the current temple and columbarium purposes, as the proposed amendments would only involve a slight adjustment of the application site boundary and site area, a change in the location, disposition, and form of building blocks, and an enhancement to the overall landscape setting of the area;
- There are no changes to the overall number of niches (i.e. 10,400), including 8,400 existing niches and 2,000 approved under Application No. A/YL-LFS/54 and A/YL-LFS/77;
- The proposed amendments are to make full use of the development potential of the Site by unleashing and making full realisation of unsold niches;
- The unsold niches could meet the genuine demand for the private niches in the short to medium term;
- The proposed amendments pose an opportunity to revamp and uplift the existing condition of the Koon; and
- The proposed amendments will not result in any adverse technical impacts, as the total number of niches stays the same as per the existing; and the total approved built over area is also maintained the same upon the proposed amendments made.

Appendix 1

Schematic Architectural Drawings



NICHE CALCULATION:

1.	NEW COLUMBARIUM (ZONE A) (QUAD)	= 228 No.s
2.	NEW COLUMBARIUM (ZONE B) (QUAD)	= 84 No.s
3.	NEW COLUMBARIUM (ZONE C) (QUAD)	= 200 No.s
3.	NEW COLUMBARIUM (ZONE C) (DOUBLE)	= 1104 No.s
4.	NEW COLUMBARIUM (ZONE D) (DOUBLE)	= 1720 No.s
5.	NEW COLUMBARIUM (ZONE E) (QUAD)	= 488 No.s

QUAD NICHE SUB-TOTAL	= 1000 No.s
DOUBLE NICHE SUB-TOTAL	= 2824 No.s

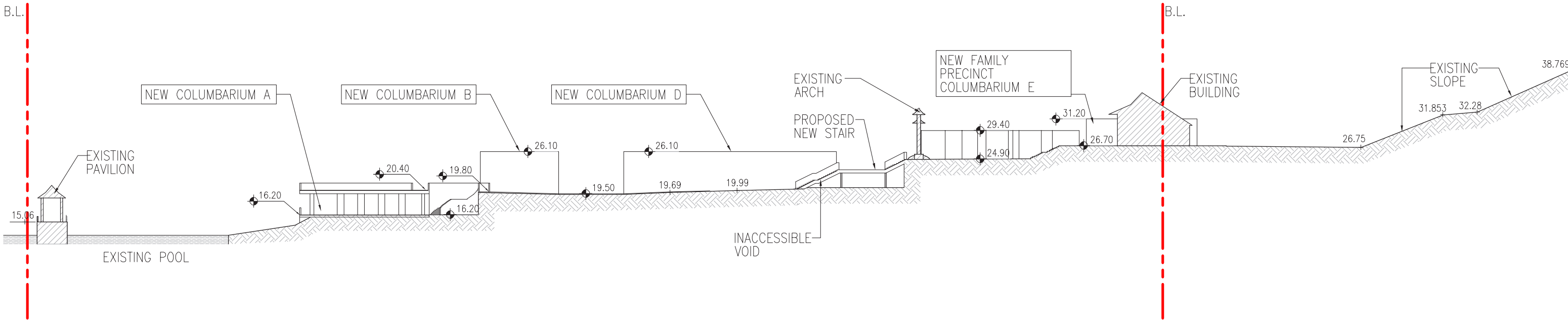
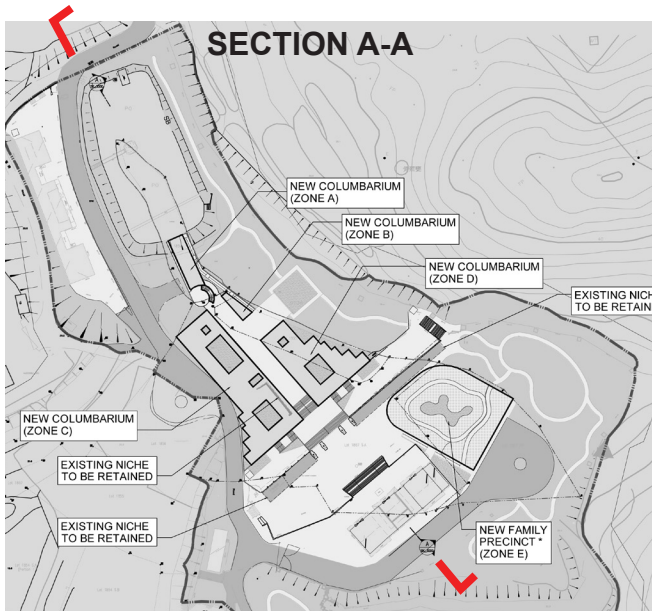
TOTAL NOS. OF NICHE = 3,824
(NOT INCLUDE EXISTING SOLD NICHE)

LEGEND

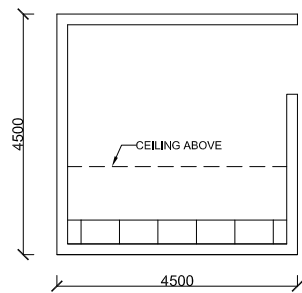
- LANDSCAPE
- NEW COLUMBARIUM
- FAMILY PRECINCT
- EXISTING BUILDING
- WATER BODY
- HARD PAVEMENT
- HARD PAVEMENT
- APPLICATION SITE
- APPLICANT'S PRIVATE LOTS WITH S.T.W
- OUTSIDE SITE BOUNDARY

PLEASE NOTE THE FAMILY PRECINCT (ZONE E) WOULD BE A DEDICATED ZONE, CONSISTING ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES FOR FAMILY NICHE WITH A BUILT OVER AREA OF NOT MORE THAN 319.732SQM. PLEASE NOTE THAT THE DESIGN OF THE COLUMBARIUM E IS INDICATIVE ONLY AND WILL BE SUBJECT TO REVIEW IN THE DETAILED DESIGN STAGE

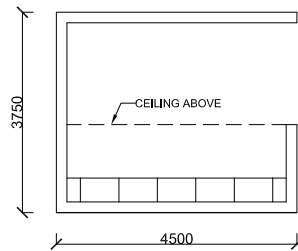
* THE FAMILY PRECINCT (ZONE E) IS A DEDICATED ZONE THAT HOLDS ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES WITH FAMILY NICHE. THE SITE FEATURES A FAMILY PRECINCT WHERE GENERATIONS ARE HONOURED TOGETHER IN PRIVATE FAMILY NICHE



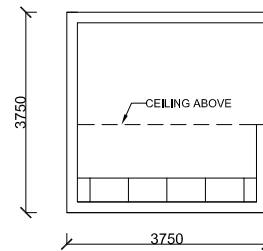
SECTION A-A



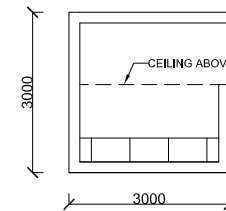
TYPE 1
HEIGHT: 4 ~ 4.5m



TYPE 2
HEIGHT: 4 ~ 4.5m

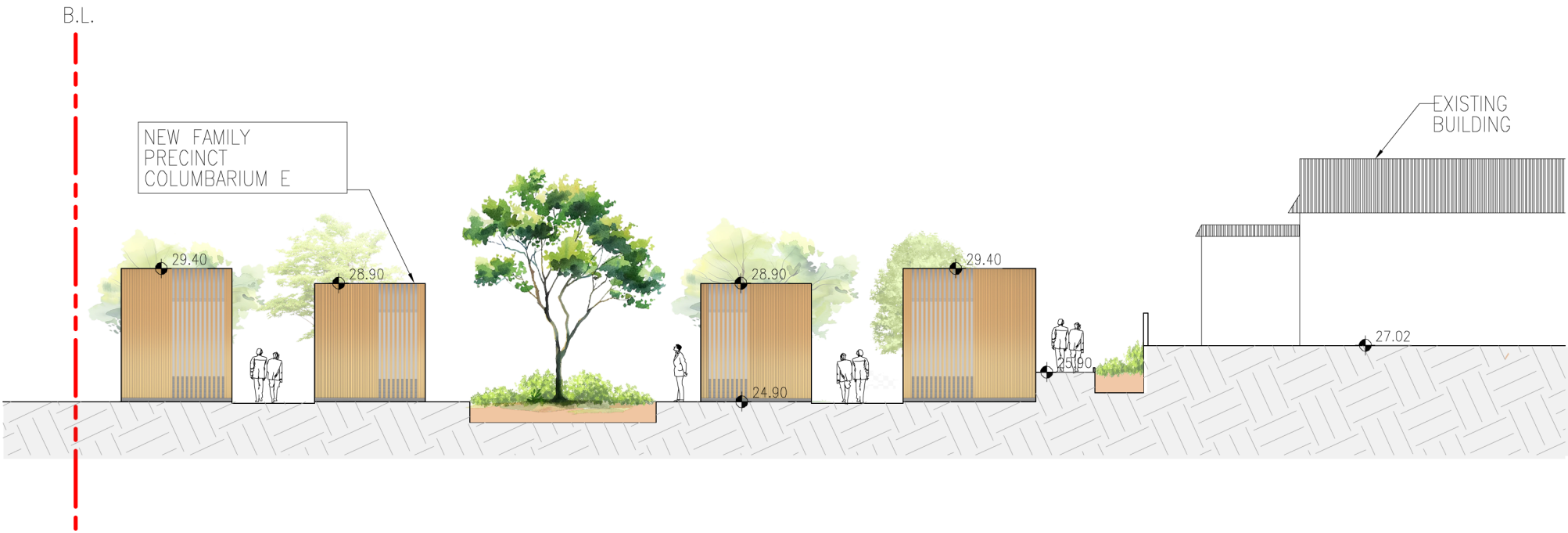
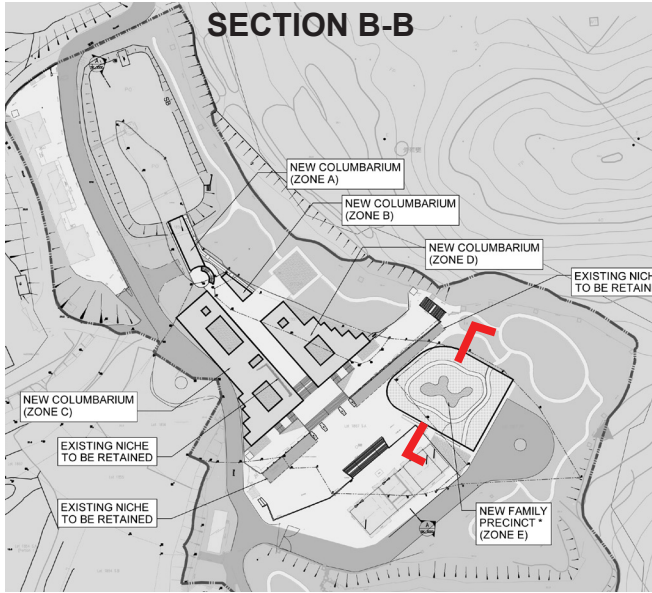


TYPE 3
HEIGHT: 4 ~ 4.5m



TYPE 4
HEIGHT: 4 ~ 4.5m

(Indicative Only, Subject to detailed design)



SECTION B-B

Appendix 2

Landscape Master Plan and Tree Preservation Report

**PROPOSED AMENDMENTS TO THE APPROVED SCHEME
AT LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND
ADJOINING GOVERNMENT LAND IN D.D. 129,
WAN FAU SIN KOON, LAU FAU SHAN, NEW TERRITORIES**

**LANDSCAPE MASTER PLAN
AND
TREE TREATMENT PROPOSAL**

**PREPARED BY
STEPHEN LAI STUDIO LIMITED
ON BEHALF OF
BEAMLAND LIMITED**

TABLE OF CONTENTS

1	INTRODUCTION	3
1.1	Background	3
1.2	Description of the Site	3
1.3	Indicative Development Proposal	4
2	TREE SURVEY METHODOLOGY	5
2.1	Assessment of Tree Form	5
2.2	Assessment of Tree Health	5-6
2.3	Assessment of Survival Rate after Transplantation	6
2.4	Native or Exotic Species	6
2.5	Recommendation for Tree Treatment	6-7
3	TREE SURVEY	7
3.1	Description of Vegetation	7-8
3.2	Summary of Existing Trees	8-9
3.3	Condition of Existing Trees	9
3.4	Proposed Treatment of Existing Trees	9-10
3.5	New Tree Planting Proposal	10
4	LANDSCAPE PROPOSAL	11
4.1	Landscape Design Concept	11
4.2	Landscape Design Objective	11
4.3	Landscape Design Components	11
4.4	Site Coverage of Greenery (For Information Only)	11
4.5	Landscape Design Elements	11-13
4.6	Landscape Management and Maintenance	13
5	FUTURE MAINTENANCE AND MANAGEMENT	13-14
6	CONCLUSION	15

APPENDICES

APPENDIX 1	LANDSCAPE MASTER PLAN LANDSCAPE SECTION
APPENDIX 2	TREE SURVEY PLAN TREE TREATMENT SCHEDULE INDIVIDUAL TREE PHOTOGRAPHIC RECORDS TREE TREATMENT PLAN NEW PLANTING PROPOSAL

1 INTRODUCTION

1.1 Background

This Landscape Master Plan and Tree Treatment Proposal (“LMP&TTP”) seeks to present landscape design, tree treatment and tree proposal in support of the Section 16 Planning Application for the proposed amendments to the Approved Development Scheme (A/YL-LFS/54 and A/YL-LFS/77) at Lot Nos. 1857 S.A, 1857 RP, 1858 and 1859 and adjoining Government land in D.D. 129, Wan Fau Sin Koon, Lau Fau Shan, New Territories (the “Application Site” or the “Site”).

This LMP&TTP outlines the approach and the findings of a tree survey on the type and extent of trees that are subject to impacts due to the proposed development within the Application Site. Effort is also made to advise on the values of the existing vegetation and the necessary protection approach. The tree survey is conducted on 05 July 2025.

The following legislation, standards and guidelines are applicable to the landscape design, tree survey, tree felling, and new planting proposal associated with the proposed works for the project.

- PlanD’s Practice Note for Professional Persons No. 1/2019 – Processing and Compliance Checking of Landscape Submissions related to Planning Applications
- Joint Practice Note No. 3 – Landscape and Site Coverage of Greenery;
- DEVB TC(W) No.6/2015 – Maintenance of Vegetation and Hard Landscape Features;
- DEVB TC(W) No.5/2020 – Registration of Old and Valuable Trees; and
- LAO Practice Note No.1/2020 & 1/2020A – Compliance of Landscape Clause under Lease;
- LAO Practice Note No.6/2023 – Tree Preservation and Removal Proposal for Building Development in Private Projects – Compliance of Tree Preservation Clause under Lease

1.2 Description of the Site

The Application Site is located in Lau Fau Shan, situated between the rural settlement of Fu Tso Tsuen and Lam Hang Shan. It lies approximately 1 km east of the Lau Fau Shan Seafood Fishing Village and about 770m west of the Mong Tseng Tsuen. At the local level, the Site is accessible via Deep Bay Road, connected by an unnamed local access road to the north.

The Site has a total area of about 32,555 m². The existing site level rises gradually from north to south, ranging from 16.1 mPD to 31.8 mPD.

The Site is currently occupied by Wan Fau Sin Koon (the “Koon”), used for temple and columbarium purposes. In the southern part of the Site are the main temple with the New Halls (including Columbarium Block A and B). An ancillary block containing facilities (including toilet and pantry) and Columbarium Block C of the New Halls are also located in the area. The northern part of the Site contains the Old Halls- Shing Tak Hall and Yu Hing Hall, along with a lake, pavilion, and an additional temple.

The niches on-site are accommodated within two areas: the Old Halls and the New Halls, with a total of 6 single-storey Columbarium blocks/halls. The Old Halls consist of 2 single-storey columbarium halls - Shing Tak Hall and 1 single-storey columbarium hall - Yu Hing Hall. The New Halls (known as Flora Terrace) consist of 3 single-storey columbarium blocks, which were approved under Planning Application Nos. A/YL-LFS/54 and A/YL-LFS/77 in 2001. The Site also includes 3 eco-joss paper furnaces, an ancillary toilet block & an office. There are approximately 10,400 niches in total on-site, including about 3,824 unsold niches (including 1,824 from the Old Halls and 2,000

from the New Halls) and about 6,576 pre-cut off sold niches and post-license rented niches.

The Site has been operated as temple and columbarium since 1983. The Koon was commented by the local stakeholders and villagers as a renowned temple and representative attraction in Lau Fau Shan. However, there is a lack of weather proof area for an ash interment ceremony, ancestor worship ceremony, family members to prepare joss-paper and other offerings, and senior family members to take a rest. Besides, if more weather-proof facilities can be provided within the Site, it will be more welcomed by the local villagers and visitors. Moreover, the condition of the existing columbarium halls has gradually deteriorated and become dilapidated over time. The concrete spalling is visible on the roof of the Shing Tak Hall, as well as the color of the façade is also tarnished.

1.3 Indicative Development Proposal

The indicative development proposal for the proposed development comprises four new single-storey columbarium buildings and one Family Precinct¹ within private lots [with removals and modification of part of the existing Shing Tak Hall and to demolish the existing 3 single-storey New Halls; The proposed development is targeted to be completed in 2027.

The building blocks of the proposed development have been carefully designed and positioned within the Site. Sufficient courtyards and greening elements between building blocks is designed for the users' enjoyment.

A new tree proposal has been designed to restore the landscape quality as far as technically possible, therefore maximizing the possibility on the landscape character and amenity of the site.

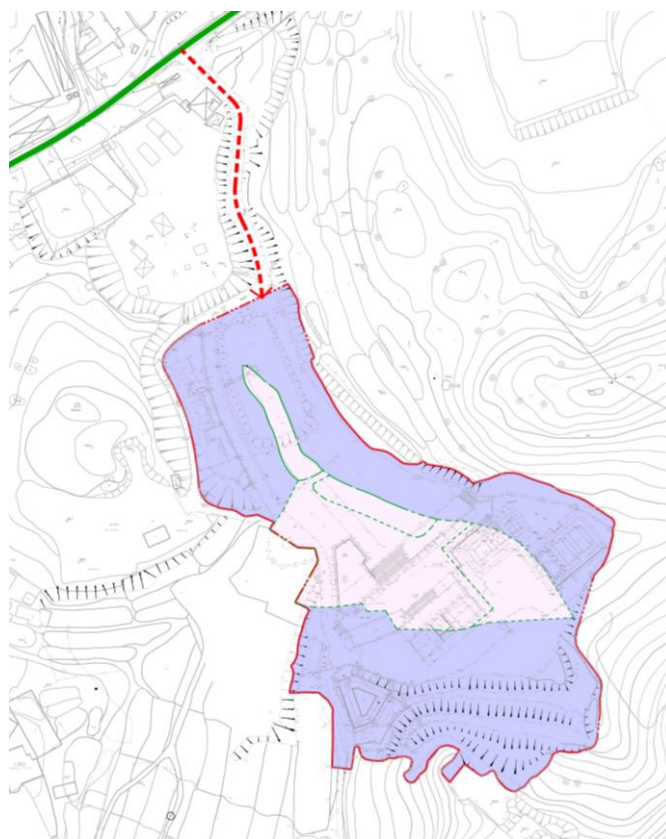


Fig.1 Location Map

2 TREE SURVEY METHODOLOGY

All living trees of 300mm girth (= 95mm diameter) or over (measured at 1.3m above ground level), within the Application Site were studied. Each tree was identified to species level, and its girth, height and spread measured. The condition of each tree was then evaluated according to the following criteria (Webb 1991 Tree Planting & Maintenance in Hong Kong, Government Printer. The attributes of trees were identified as follows:

- Botanical name (Scientific Name & Chinese Name);
- Government Department for tree felling jurisdiction;
- Trunk diameter (measured 1.3 meters from the ground);
- Height;
- Crown spread;
- Tree form;
- Health condition;
- Amenity value;
- The likelihood of the tree surviving after transplanting;
- Proposed treatment; and,
- Brief description and remarks,
- Soil level at root collar tree.

2.1 Assessment of Tree Form

The form of each tree was reviewed giving consideration to the canopy balance, branching structure and the expected form of the species. The assessment criteria used to evaluate the value of the tree form is summarized in **Table 1**.

Table 1 – Assessment Criteria for Tree Form

Parameter	Category	Criteria
Tree form	Good	Trees with well balanced form, upright, evenly branching, well-formed head and generally in accordance with the standard form for its species.
	Fair	Trees with general balanced form and compensated by loss of branches or leaning trunks.
	Poor	Trees with very unbalanced form, leaning, contorted, bending trunk, suffering from loss of major branches with general damage and growing close to adjacent trees.

2.2 Assessment of Tree Health

The health of the trees was assessed as follows:

Foliage

- Colour and general appearance, and;
- Evidence of insect or fungal infection.

Branches

Evidence of:

- Dead or die-back or crossing branches;
- Heavy horizontal branches which may cause tree instability;
- Damaged, broken or cut branches;
- Insect and fungal infection on branches, and;
- Other uncharacteristic pattern of the branches.

Trunk

- Tightly forked or multi-ascending trunk that can be a weakness in trees;
- Cavities or internal/external rot;

- Sap seeping through the trunk;
- Fungi growing on the trunk, and;
- Serious bark damage.

Based on the study team's assessment of these features, the health conditions are categorized according to the definitions presented in **Table 2**.

Table 2 – Assessment Criteria for Tree Health

Parameter	Category	Criteria
Health	Good	Tree with a low incidence of the less serious features (i.e. damage and infection) and a high chance of a fast recovery from such feature.
	Fair	Tree with a higher incidence of the less serious features (i.e. damage and infection) and a medium chance of recovery.
	Poor	A tree with more serious health features (i.e. damage and infection) and with low chance of recovery even with remedial measures or, the tree is dead.

2.3 Assessment of Survival Rate after Transplantation

The survival rates of the transplanted trees were assessed with consideration of the following parameters:

- The overall health condition of tree before transplantation;
- Expected regeneration rate of root system and tree crown after pruning.
- Expected overall tree form after transplantation, and;
- Botanical Suitability.

The assessment criterion for survival rate of each transplanted tree is shown in **Table 3**.

Table 3 – Assessment Criteria for Survival Rate after Transplantation

Parameter	Category	Detail
Survival Rate	High	Has excellent health condition with high expected regeneration rate of tree crown and form and is botanically suitable.
	Medium	Overall good health condition, moderate expected regeneration rate of tree crown and moderately botanically suitable.
	Low	Common species with low expected regeneration rate of tree crown and not botanically suitable.

2.4 Native or Exotic Species

To improve the ecological function of the study area, native species will be retained if technically feasible. Similarly native species will be selected for compensatory planting (refer Section 6).

2.5 Recommendation for Tree Treatment

Based on the assessment of tree form, health, survival rate and amenity value one of the recommendations is made for each tree as follows:

Retain

Tree is in an unaffected area and is to be retained and protected during construction.

Transplant

Trees with overall good/fair condition and high/medium amenity value within the delineated work areas are recommended to be transplanted. Special consideration is

necessary for relocation of the trees to a suitable location before the commencement of the construction work.

The criteria for the assessment of the suitability of transplantation are based on the following:

- The tree is a rare species or is protected by Hong Kong laws;
- Distinctiveness – trees with high amenity value and high local importance e.g. fung shui;
- Condition of tree – tree with balanced form, good health and high amenity value;
- Maturity – younger trees have higher survival rate than the mature ones;
- Species characteristics – different tree species have different rates of survival after transplantation;
- Root ball feasibility – trees growing on loose rocky sub base/slope or adjacent to an important utility will not be considered; and
- Access – heavy machinery may be required to raise the tree. Steep slopes and rocky terrain may make the operation not feasible.

Fell

Trees of low health, amenity value, form, etc. in conflict with the proposed construction work will be felled. The guidance and criteria for the proposed felling of trees are:

- No irreplaceable rare tree species involved;
- Felling of trees would not cause a serious environmental impact;
- The location of the tree is in conflict with the development;
- A genuine development or traffic need to fell exists, which cannot be reasonably overcome;
- The tree is not unusually large or a fine example of its type; or
- The tree is in poor condition.

All trees to be felled will require compensatory planting to be agreed with the relevant authorities of the Hong Kong Government.

3 TREE SURVEY

The tree survey has been completed in broad accordance with LAO Practice Note Issue No.6/2023 – Processing of Tree Preservation and Removal Proposals for Building Development in Private Projects – Compliance of Tree Preservation Clause under Lease. The survey approach is presented in *Para. 2*.

Details of each tree are recorded in the Tree Survey carried out on 5 July 2025 to reflect the current condition of existing trees within the application site boundary including adjoining government land.

The location of each individual tree within application site boundary is shown in **Appendix 2 - Tree Survey Plan (Drawing No.TS_001)** and the detailed description of each tree including DBH, crown spread, tree ID number, photos, etc. is tabulated in **Tree Treatment Schedule**.

3.1 Description of Vegetation

The Application Site contains approximately **105** trees. The photographic record in **Appendix 2 – Individual Tree Photographic Records** shows the condition and character of the vegetation covering the Application Site.

1no. rare or endangered tree species was recorded in this submission based on Forests and Countryside Ordinance, which is ***Aquilaria sinensis*** (土沉香(牙香樹)) protected under Cap. 586. All recorded species are commonly found in Hong Kong.

No registered “Old and Valuable Trees” (OVTs).

Refer to below Table 4, a total of **32** tree species were identified of which **15** are native to Hong Kong, **17** are exotic species. There are total **55 nos.** native trees, **49 nos.** exotic trees and **1 no.** dead trees, so that total **105 nos.** existing trees within planning site application boundary (including private lots and adjoining government land); some of the exotics have become naturalized and others are widely cultivated in the region as pioneer tree or amenity tree. The quantity ratio of Native trees and Exotic trees (excluding 1 dead tree) is **1:0.9**.

3.2 Summary of Existing Trees

Species and quantity of existing trees were recorded within the site boundary, inside adjoining government land as tabulated below **Table 4**:

Table 4 – Summary of Surveyed Trees within Planning Application Site

Species	Chinese Name	Total Number of Individuals		
		Private Lots within the Application Site	Government Lands within the Application Site	Total
<i>Acacia auriculiformis</i>	耳果相思	0	5	5
<i>Acacia confusa</i>	台灣相思	0	3	3
<i>Aleurites moluccana</i>	石栗	0	9	9
<i>Aquilaria sinensis</i>	土沉香	0	1	1
<i>Artocarpus heterophyllus</i>	波蘿蜜	0	3	3
<i>Bridelia tomentosa</i>	土蜜樹	0	1	1
<i>Callistemon rigidus</i>	紅千層	1	0	1
<i>Caryota mitis</i>	短穗魚尾葵	0	1	1
<i>Casuarina equisetifolia</i>	木麻黃	0	2	2
<i>Cleistocalyx nervosum</i>	水翁	0	1	1
<i>Dimocarpus longan</i>	龍眼	0	1	1
<i>Eucalyptus torelliana</i>	毛葉桉	0	12	12
<i>Ficus microcarpa</i>	細葉榕	0	7	7
<i>Leucaena leucocephala</i>	銀合歡	0	2	2
<i>Liquidambar formosana</i>	楓香	0	3	3
<i>Litchi chinensis</i>	荔枝	0	1	1
<i>Litsea glutinosa</i>	潺槁樹	0	2	2
<i>Lophostemon confertus</i>	紅膠木	0	4	4

Species	Chinese Name	Total Number of Individuals		
		Private Lots within the Application Site	Government Lands within the Application Site	Total
<i>Macaranga tanarius var. tomentosa</i>	血桐	0	25	25
<i>Mallotus paniculatus</i>	白楸	0	1	1
<i>Mangifera indica</i>	芒果	0	1	1
<i>Michelia x alba</i>	白蘭	0	1	1
<i>Microcos nervosa</i>	破布葉	0	1	1
<i>Pinus elliotii</i>	濕地松	0	1	1
<i>Platycladus orientalis</i>	側柏	1	0	1
<i>Plumeria rubra</i>	雞蛋花	1	0	1
<i>Podocarpus macrophyllus</i>	羅漢松	2	2	4
<i>Radermachera hainanensis</i>	海南菜豆樹	0	3	3
<i>Rhus succedanea</i>	木蠟樹	0	1	1
<i>Sapium sebiferum</i>	烏柏	0	3	3
<i>Schefflera heptaphylla</i>	鴨腳木	0	1	1
<i>Sterculia lanceolata</i>	假蘋婆	0	1	1
Dead tree	死樹	0	1	1
Total Tree Survey No.		5	100	105

NOTE: Species highlighted in **BOLD** text denote Native plant species.

3.3 Condition of Existing Trees

Refer to the ***Tree Treatment Schedule and Individual Tree Photographic records*** in **Appendix 2**, the majority of the trees are in poor to fair tree form and health condition. Some of the trees have wilted foliage, restricted root growth, imbalanced crowns and poor taper. Most of the trees are grown on slope at Government lands.

3.4 Proposed Treatment of Existing Trees

The development scheme recognises the importance of the landscape context to the future development. Careful consideration has been given to preservation of existing trees in accordance with the criteria set down in PNPP 1/2019 and LAO PN 6/2023. Where possible, trees are proposed to be retained in situ.

The species, size, maturity, character, amenity and cultural value of all trees have been carefully considered in the preparation of this proposal. Tree removal has been proposed only once all other options for preservation have been exhausted. All tree

works will be carried out in accordance with the specifications/ latest local guidelines / best practices and internationally standards, etc. **Dwg. TT_001 under Appendix 2** indicates the overall tree treatment, Tree Felling justification is classified into below with specific drawing for easier review.

Table 5 Summary of Proposed Treatments to Existing Trees Surveyed

Location	No. of Trees			
	Retain	Fell	Transplant	Total
i) Private Lots within the Site	0	2	3	5 (4.76%)
ii) Government Lands within the Site	97	3	0	100 (95.24%)
Total	97 (92.38%)	5 (4.76%)	3 (2.86%)	105 (100%)

3.5 New Tree Planting Proposal

Within the Planning Application Site, **2 nos.** trees are proposed to be felled, and **3 nos.** trees are proposed to be transplanted due to direct impact of development and low survival rate if transplantation. Other **2 nos.** undesirable trees, *Leucaena leucocephala* are proposed felled and **1 no.** dead tree is proposed to be felled. Hence the total loss of tree Quantity excluding *Leucaena leucocephala* will be **3 nos.** In compensation, according to the proposed building layout with practicable planter spaces, **not less than 30 nos.** new trees are proposed within common planter areas of the Development Area as illustrated in the **Landscape Master Plan (refer to Appendix 1)** and **New Planting Proposal (refer to Dwg. No. CP_001 under Appendix 2)**. The compensation ratio to the tree lost in term of quantity is **not less than 1:10**. In order to achieve an instant greening effect at the initial stages, to ensure the healthy establishment of planting, the proposed plant species are subject to design development and market availability for suitable stock size. Indicative Compensatory trees are summarized under below **Table 6** for reference.

Table 6 Summary of Proposed New Tree Species

Code	Tree Species (Botanicla Name)	Tree Species (Chinese Name)	DBH (mm)	Crown Spread (m)	Overall Height (m)	Spacing (m)	Live-Crown Ratio
CB	<i>Cinnamomum burmannii</i>	陰香	120	3.5	6	6	0.4
CC	<i>Cinnamomum camphora</i>	樟	120	3.5	6	6	0.4
CS	<i>Cassia surattensis</i>	黃槐	120	3	6	6	0.4
CT	<i>Celtis sinensis Pers</i>	朴樹	120	3.5	6	6	0.4
CU	<i>Crateva unilocularis</i>	樹頭菜	120	3.5	6	6	0.4
LF	<i>Liquidambar formosana</i>	楓香	120	3.5	6	6	0.4
IR	<i>Ilex rotunda Thunb. var. microcarpa</i>	小果鐵冬青	120	3.5	6	6	0.4
LF	<i>Liquidambar formosana Hance</i>	楓香	120	3.5	6	6	0.4
OF2	<i>Osmanthus fragrans</i>	桂花	120	3	6	6	0.4
SS	<i>Sapium sebiferum</i>	烏柏	120	3	6	6	0.4
TM	<i>Terminalia Mantaly</i>	小葉欖仁	120	3.5	6	6	0.4
TR	<i>Tabebuia rosea</i>	紅花風鈴木	120	3	6	6	0.4

NOTE: Species highlighted in **BOLD** text denote Native plant species.

4 LANDSCAPE PROPOSAL

4.1 Landscape Design Concept

The concept underpinning the Landscape Master Plan, presented as **Appendix 1** is to preserve and enhance the existing landscape context. The landscape design concept responds to the development's rural context and surroundings, it is aiming to restore a quiet and green-shaded landscape design.

The landscape plan is described in terms of the main design objectives followed by a description of the key landscape components, and finally the hard and soft landscape elements, which form the palette of materials.

4.2 Landscape Design Objective

The design objectives for the Landscape Plan are to:

- Integrate the proposed development from a landscape and visual perspective with the existing and planned landscape context;
- Soften the form of the built environment including the proposed boundary areas through the use of green measures;
- Create a distinctive and high-quality landscape setting for the planting areas, focusing on tranquility and reflection to honor the significance of the columbarium;
- Maximise the greenery incorporated within the overall landscape design plan;
- Maximise opportunities for the planting of new trees and shrubs.

4.3 Landscape Design Components

With reference to **Appendix 1** Landscape Master Plan, the landscape design components are summarized below:

- Trees along the EVA acting as a proper road side tree approach and formal welcoming landscape design;
- The central courtyard is proposed at the main entrance, providing a welcoming and serene space for visitors to gather, reflect, and connect with nature;
- Small Courtyards are proposed in the columbarium, which are visible from the urn areas, creating a peaceful environment that encourages contemplation and connection to nature;
- Planting areas are proposed adjacent to the building edge to soften the sawtooth shape building outline.

4.4 Site Coverage of Greenery (SCG) (*For Information Only*)

Upon the full establishment of the greening measures proposed within the development, visible greening in the communal areas of the proposed development will **not less than 30% of the total site area**. The proposed development would maximise the greening opportunities at ground level. For approval and compliance checking in fulfilling the SCG requirement under Lease, the procedures as stipulated in paragraphs 9 to 11 of JPN3 shall be followed.

4.5 Landscape Design Elements

Soft Landscape

The landscape design will maximise opportunities for tree and shrub plantings to enhance the semi-rural context. The basis for the proposed planting scheme would be to provide a green and comfortable environment while also responding to the ecological design imperatives for the site and its immediate environs. The spaces will

be characterised by the use of shrub species have been selected to provide a lush landscaped area whilst responding to the character of the architecture which embraces it. The plant species will provide colour throughout the year to emphasise the changing of the seasons. The plant selection will also consider form, colour and foliage texture; and also include species which are designed architectural highlights. The landscape buffer areas would utilise native tree and shrub species to enhance the ecological value of the site and provide connectivity where possible to the fragmented landscape beyond.

In order to achieve an instant greening effect at the initial stages, to ensure the healthy establishment of planting, tree planting selection will consider the market availability of the species and the suitable tree stock size. With reference to **Table 7**, the planting mix will form the basis of the planting design proposals.

Table 7 Summary of Proposed Shrub and Groundcover Species

Botanical Name	Chinese Name	Height x Spread (mm)	Spacing (mm)	Density (nos/m2)
Shrub Species				
<i>Cuphea ignea</i>	雪茄花	200 x 300	150	51.59
<i>Epipremnum aureum</i>	黃金葛	200 x 300	150	51.59
<i>Hedera helix</i>	金葉石菖蒲	250 x 350	150	51.59
<i>Phyllanthus myrtifolius</i>	錫蘭葉下珠	200 x 250	150	51.59
<i>Coleus hybrida</i>	洋紫蘇 (紅心綠邊)	250 x 200	200	29
<i>Duranta repens</i> cv. <i>Marginata</i>	黃邊金露花	300 x 300	200	29
<i>Trachelospermum asiaticum</i>	花葉絡石	300 x 300	200	29
<i>Zanthoxylum piperitum</i>	胡椒木	300 x 300	200	29
<i>Asplenium nidus</i> 'Avis'	雀巢芒	400 x 400	250	18.4
<i>Fagraea ceilanica</i>	非洲茉莉	900 x 500	350	9.57
<i>Ixora chinensis</i>	龍船花 (粉紅)	500 x 400	350	9.57
<i>Rhapis excelsa</i>	細葉棕竹	1500 x 600	450	5.72
<i>Philodendron selloum</i>	春羽	600 x 500	450	5.72
Ground Cover Species				
Botanical Name	Chinese Name	Thickness (mm)	Spread (mm)	
<i>Ophiopogon japonicus</i> f. <i>nanus</i>	玉龍草	50	100	
<i>Zoysia japonica</i>	朝鮮草	50	-	

Note: subject to detailed design changes and market availability of the species.

Soil Depth for Planting Areas

In order to ensure that these planting proposals are feasible, it is proposed that an adequate planting medium be incorporated into the design of the soft landscape areas. For example, the proposed planting areas will incorporate a minimum 1200mm for the tree planting areas and 600mm depth of planting medium (internal dimension excluding drainage layer and utilities) for the shrub planting. Lawn areas will incorporate a minimum soil depth of 300mm.

Irrigation and Drainage

The proposed soft landscape area will be irrigated manually with tap water from lockable water points at 40m centres throughout the entire site. The proposed source of water supply will be subject to final approval from the Water Services Department. Sub-soil drainage shall be provided for all planting areas.

Feature Paving

The paving will be an important element of the open space both in aesthetic terms and in terms of producing a hardwearing landscape. The design of the proposed paving will highlight entrance areas and major pedestrian routes through the site providing a hierarchy for pedestrian movement. It would be constructed of quality materials in feature patterns creating a distinct identity for each of the key landscape zones responding to the architectural design and function of each. Colour changes within the patterns would be used to break the linearity of the spaces and establish a theme across the development.

Non-slip paving materials will be selected to suit the various passive recreational areas within the site. Wherever possible all open spaces will cater for multiple use needs including people with impaired ability and access for the disabled provided in accordance with Buildings Department's Design Manual on 'Barrier Free Access, 2008'.

Lighting

The lighting concept for the landscaped areas will be designed to contribute to the quality of the development in nocturnal views while using high pressure sodium and cut-off lighting to minimise light spillage and disturbance to the adjacent areas. The lighting will provide an aesthetically pleasing landscape through the highlighting of landscape elements and ensure the safety of users. All the accessible points and open space areas will be provided with sufficient illumination to meet the required lighting standards. Safety lighting with the minimum lux level lighting for safety will last between midnight until early morning.

4.6 Landscape Management and Maintenance

Upon completion of the construction works, a 12-months defect liability period will be implemented which applies to both hard and soft landscape works. The soft landscape specialist contractor will be responsible for the maintenance of planting during this first year following practical completion to ensure proper establishment of planting works. General maintenance Schedule refer to **Para.5**.

5 FUTURE MAINTENANCE AND MANAGEMENT

Maintenance and establishment works to soft landscape areas within Site shall be undertaken by the softworks contractor for an Establishment Period of a minimum of 12 months following Practical Completion. This will ensure the proper establishment of the planted material. Tree risk assessment will be conducted by future property management at appropriate time for appropriate tree as instructed by the owner in accordance with the Handbook of Tree Management by DEVB.

Soft Landscape Maintenance Schedule

Watering:	Water all plants as necessary, adjusted to rainfall, to ensure adequate water supply for plant consumption during the establishment period.
-----------	---

- Pruning:** Cut back annuals after flowering period. Healthy cuttings may be used for propagation. Prune shrubs and groundcover in early March to encourage flowering. Prune woody shrubs and trees selectively according to species (annually). Remove dead fronds from palm trees. Utilise established and approved tree surgery techniques as necessary and seal all sharp cut wounds with approved material to resist disease attack.
- Fertilizing:** Two to three times annually, emphasis shall be in the March application. Test soil in January to analyse quality ameliorates as necessary.
- Fungicide / Insecticide:** Spray only as necessary with approved chemical.
- Weeding:** Manually or use selective non-toxic, biodegradable herbicide to keep the weed growth and its establishment under control.
- Securing:** Adjust tree stakes in spring and as necessary to taut up the staking. Care shall be applied to avoid chaffing of tree bark.
- Mulching:** Top up the mulching inside all planting beds twice a year and as necessary.
- Thinning:** Reduce overcrowding and transplant as necessary at selected periods:
- Evergreens: Spring
 - Deciduous: Winter
 - Palms: June to August

Table 8: Maintenance Schedule

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Watering	●	●	●	●	●	●	●	●	●	●	●	●
Pruning		D	GC									
Fertilizing	Soil test			x							x	
Fungicide / Insecticide									x			x
Weeding		x	x	x	x	x	x	x		x		x
Securing			x									
Thinning			EG								D	

***Remarks:**

Tree risk assessment will be conducted by future property management at appropriate time for appropriate tree as instructed by the owner in accordance with the Handbook of Tree Management by DEVB.

Schedule Legend:

GC Groundcover EG Evergreen D Deciduous
● Size proportional to quantity x Application

6 CONCLUSION

The landscape design of the Project as presented in this Landscape Master Plan will provide the following key features:

- Softening of building forms and enhancement of the appearance of the project to those viewing it from outside.
- Maximize the greening and recreation possibility, **not less than 30% of Site Area as greenery areas** will be provided;
- Total **105 nos.** existing trees were surveyed within site boundary. **Not less than 30** new trees within the future development, to achieve **not less than 1:10** compensation ratio in quantity. A summary is shown in **Table 9**.

Table 9: Tree Felling and New Tree Proposal

Tree Survey	Current Scheme
Total Nos. of Trees Surveyed within the Site	105 nos.
- total nos. of Trees in Private Lots within the Site	5 nos.
- total nos. of Trees in Government Lands within the Site	100 nos.
Tree Treatment Proposal	
Nos. of Tree Proposed to be Retained	97 nos.
Nos. of Tree Proposed to be Felled due to conflict with Development	2 nos.
Nos. of Undesirable Tree Proposed to be Felled	2 nos.
Nos. of Dead Tree Proposed to be Felled	1 no.
Nos. of Trees Proposed to be Transplanted due to conflict with Development	3 nos.
New Tree Proposal	
Nos. of New Trees	Not less than 30 nos.
Compensation Ratio in quantity	Not less than 1:10

The current proposed landscape treatment will complement the development as well as the surrounding area, providing extensive greenery, landscape treatments and proper high-quality landscaping treatment to enhance the visual amenity of the proposed development so as to provide a new landscape enhancement to the surrounding environment at human scale level.

Appendix 1

LANDSCAPE MASTER PLAN

LANDSCAPE SECTION



Rev. Date

Amendment

Purpose

LEGEND

APPLICATION SITE

APPLICANT'S PRIVATE LOTS WITH S.T.W.

CHAIN LINK FENCE

SOLID FENCE WALL

PEDESTRIAN ENTRANCE

VEHICULAR ENTRANCE

NEW COLUMBARIUM

EXISTING ROCK SLOPE WITH MAINLY GROUNDCOVER TO BE REMAINED.

LAWN

PLANTING AREA

HARD PAVED AREA

RETAINED TREE

NEW TREE

TRANSPLANT TREE

Drawing Purposes

GOVERNMENT SUBMISSION

- No part of the drawing and the design contained herein may be reproduced without the prior written consent of a director of Architect / Engineers

- Do not take measurements directly from this drawing.

- Check and verify all dimensions on site.

Developer

BEAMLAND LIMITED

Project

LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND ADJOINING GOVERNMENT LAND IN D.D. 129, WAN FAU SIN KOON, LAU FAU SHAN, NEW TERRITORIES

Drawing Title

LANDSCAPE LAYOUT PLAN

Job No.

Drawing No.

Revision No.

HKA-01030

LP_001

-

Scale

Date

CAD Ref.

AS

JUN 2025

LP_001

Drawn

Checked

Approved

RC

SL

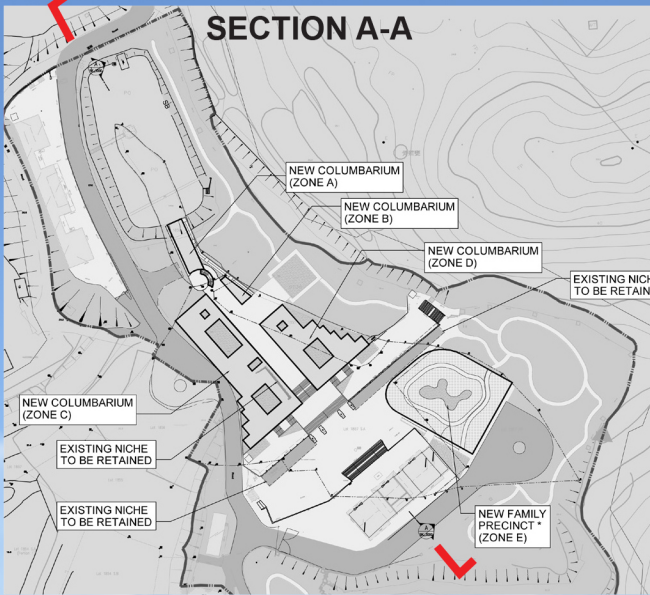
SL

Authorized Person - Architect

Aedas

Consultant Logo

SLSL



SECTION A-A

Appendix 2

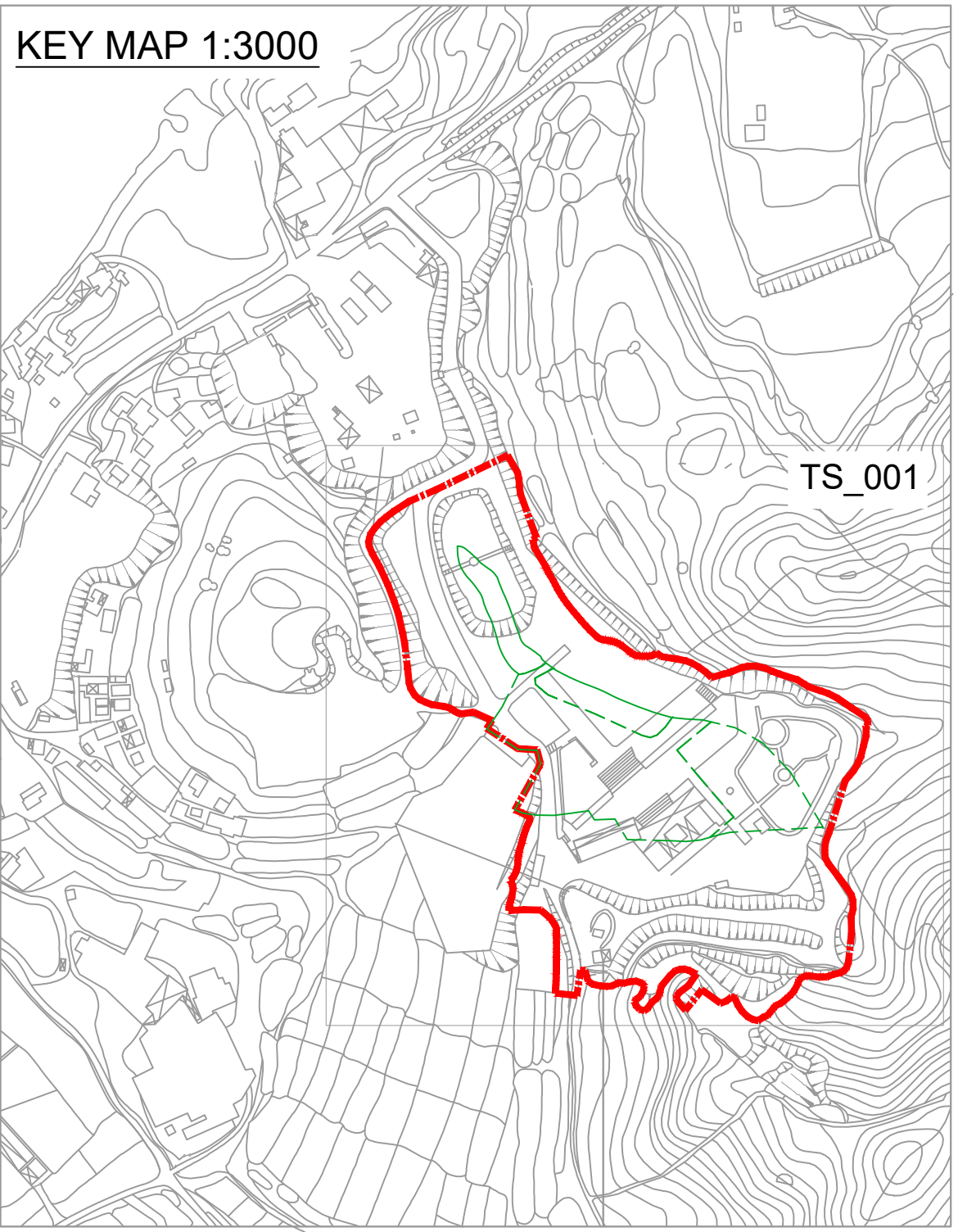
TREE SURVEY PLAN

TREE TREATMENT SCHEDULE

INDIVIDUAL TREE PHOTOGRAPHIC RECORDS

TREE TREATMENT PLAN

NEW PLANTING PROPOSAL



S L S L

1 TREE SURVEY PLAN

TREE TREATMENT SCHEDULE

Project Title: LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND ADJOINING GOVERNMENT LAND IN D.D. 129, WAN FAU SIN KOON, LAU FAU SHAN, NEW TERROITORIES
Date of Tree Survey: 5 JULY 2025

Surveyed by: Pierre S.K. Ng (Technician Member of the Arboricultural Association No. TE2523)

Tree No.	Species		Original Location (Lot/ GA/ YA/	Tree Size			Proposed Treatment (Retain/Transplant/Fell)	Remarks ¹ (Old and Valuable Tree (OVT), potentially registrable OVT, rare species, protected species, ecological and historical significance, etc.)
	Scientific name	Chinese name		Height (m)	DBH ² (mm)	Crown Spread (m)		
TREES WITH IN PHASE 1 BOUNDARY								
T46	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	11	0.26	3	Retain	Dieback twigs; low live crown ratio; grown on slope
T47	<i>Acacia confusa</i>	台灣相思	UUGL	9	0.40	6	Retain	Dieback twigs; active decayed cavity on mid trunk; imbalanced crown; poor branching structure
T48	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	12	0.45	8	Retain	Grown on slope; low live crown ratio; poor branching structure
T49	<i>Liquidambar formosana</i>	楓香	UUGL	8	0.15	3	Retain	Underbeanth layer of other trees; grown on slope
T50	<i>Casuarina equisetifolia</i>	木麻黃	UUGL	8	0.12	3	Retain	Poor taper; poor branching structure
T51	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	12	0.40	6	Retain	Low live crown ratio; grown on slope
T52	<i>Liquidambar formosana</i>	楓香	UUGL	4	0.15	3	Retain	Poor taper; poor branching structure
T53	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	5	0.10	3	Retain	Poor taper; underbeath layers of other trees
T54	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	9	0.28	6	Retain	Dead branch on upper crown; imbalanced crown; grown on slope
T55	<i>Lophostemon confertus</i>	紅膠木	UUGL	10	0.30	7	Retain	Hanger; imbalanced crown; grown on slope; cross branch with T56
T56	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	9	0.21	6	Retain	Low live crown ratio; grown on slope; cross branch with T55
T57	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	11	0.37	7	Retain	Small dead branch on upper crown; cross branch with T58, T59; grown on slope; imbalanced crown
T58	<i>Lophostemon confertus</i>	紅膠木	UUGL	8	0.13	5	Retain	Cross branch with T57, T59; imbalanced crown; grown on slope
T59	<i>Casuarina equisetifolia</i>	木麻黃	UUGL	5	0.20	4	Retain	Low live crown ratio; poor taper; grown on slope
T62	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	8	0.12	5	Retain	Grown on slope; poor taper; low live crown ratio
T63	<i>Aquilaria sinensis</i>	土沉香	UUGL	8	0.20	4	Retain	Grown on slope; low live crown ratio
T66	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	7	0.30	6	Retain	
T68	<i>Microcos nervosa</i>	破布葉	UUGL	4	0.10	3	Retain	Grown on slope; poor branching structure
T69	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	7	0.13	4	Retain	Poor taper; low live crown ratio; grown on slope
T70	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	6	0.17	3	Retain	Poor taper; low live crown ratio; grown on slope
T71	<i>Acacia confusa</i>	台灣相思	UUGL	4	0.10	4	Retain	Poor taper; low live crown ratio; grown on slope
T72	<i>Pinus elliotii</i>	濕地松	UUGL	7	0.11	3	Retain	Poor taper; low live crown ratio; grown on slope
T73	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	5	0.16	5	Retain	Grown on slope; imbalanced crown
T74	<i>Sterculia lanceolata</i>	假蘋婆	UUGL	5	0.12	4	Retain	Grown on slope; poor taper; poor branching structure
T75	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	4	0.13	3	Retain	Grown on slope; imbalanced crown
T76	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	4	0.10	3	Retain	Grown on slope; poor taper; low live crown ratio
T77	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	7	0.12	4	Retain	Multi-stem; vined; grown on slope; low live crown ratio
T78	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	4	0.11	4	Retain	Grown on slope; abrupt bends on lower trunk; low live crown ratio
T79	<i>Sapium sebiferum</i>	烏桕	UUGL	8	0.38	5	Retain	Large cavity on mid trunk; grown on slope; poor taper; low live crown ratio
T80	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	3	0.10	4	Retain	Grown on slope; low live crown ratio; poor taper
T81	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	5	0.12	5	Retain	Grown on slope; low live crown ratio; poor taper
T83	<i>Podocarpus macrophyllus</i>	羅漢松	Lot	3	0.14	3	Transplant	Restricted and exposed root-ball; invisible root collar
T86	<i>Platycladus orientalis</i>	側柏	Lot	4	0.10	3	Fell	Wilted foliage; restricted root growth; low live crown ratio
T87	<i>Plumeria rubra</i>	雞蛋花	Lot	3	0.10	3	Transplant	Restricted root growth; invisible root collar
T88	<i>Callistemon rigidus</i>	紅千層	Lot	4	0.10	3	Fell	Imbalanced crown; restricted root growth; invisible root collar
T89	<i>Podocarpus macrophyllus</i>	羅漢松	Lot	2	0.18	2	Transplant	Grown on open space; poor taper
T95	<i>Ficus microcarpa</i>	細葉榕	UUGL	3	0.28	3	Retain	Dual stem; grown on confined bedding; stunted form
T96	<i>Ficus microcarpa</i>	細葉榕	UUGL	4	0.36	4	Retain	Dual stem; grown on confined bedding; stunted form
T97	<i>Ficus microcarpa</i>	細葉榕	UUGL	3	0.30	3	Retain	Dual stem; grown on confined bedding; stunted form
T98	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	UUGL	3	0.12	3	Retain	Grown on slope; low live crown ratio
T100	<i>Rhus succedanea</i>	木蠟樹	UUGL	5	0.15	4	Retain	Grown on slope; poor branching structure; abrupt bending on mid trunk
T102	<i>Liquidambar formosana</i>	楓香	UUGL	9	0.42	6	Retain	Grown on rocky base; vigorous epicormic growth
T110	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	10	0.40	5	Retain	Large dieback twigs; poor branching structure; low live crown ratio

TREE TREATMENT SCHEDULE

Project Title: LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND ADJOINING GOVERNMENT LAND IN D.D. 129, WAN FAU SIN KOON, LAU FAU SHAN, NEW TERROITORIES
Date of Tree Survey: 5 JULY 2025

Surveyed by: Pierre S.K. Ng (Technician Member of the Arboricultural Association No. TE2523)

Tree No.	Species		Original Location (Lot/ GA/ YA/	Tree Size			Proposed Treatment (Retain/Transplant/Fell)	Remarks ¹ (Old and Valuable Tree (OVT), potentially registrable OVT, rare species, protected species, ecological and historical significance, etc.)
	Scientific name	Chinese name		Height (m)	DBH ² (mm)	Crown Spread (m)		
T111	<i>Lophostemon confertus</i>	紅膠木	UUGL	6	0.50	3	Retain	Dead branch; leader broken; sparse foilage; low live crown ratio
T112	<i>Aleurites moluccana</i>	石栗	UUGL	4	0.45	6	Retain	Grown on slope; restricted root growth
T113	<i>Aleurites moluccana</i>	石栗	UUGL	8	0.15	3	Retain	Imbalanced crown; grown on slope; low live crown ratio
T114	<i>Aleurites moluccana</i>	石栗	UUGL	8	0.20	3	Retain	Dieback twig; cavity on mid trunk; grown on slope; low live crown ratio; sparse foilage; imbalanced crown
T115	<i>Aleurites moluccana</i>	石栗	UUGL	6	0.25	3	Retain	Dieback twigs; sparse foilage; low live crown ratio; leader broken previously
T116	<i>Aleurites moluccana</i>	石栗	UUGL	6	0.28	4	Retain	Dead branch; imbalanced crown; low live crown ratio; poor taper
T117	<i>Ficus microcarpa</i>	細葉榕	UUGL	7	0.55	6	Retain	Multi-trunk; grown on slope; restricted root growth
T118	<i>Mangifera indica</i>	芒果	UUGL	6	0.38	5	Retain	Broken branch; imbalanced crown; vined
T119	<i>Ficus microcarpa</i>	細葉榕	UUGL	11	0.80	8	Retain	Multi-trunk; mature tree; grown in a restricted tree pit; grown close to buidling
T120	<i>Litsea glutinosa</i>	潺槁樹	UUGL	5	0.10	4	Retain	Slightly leaning; low live crown ratio
T121	<i>Acacia auriculiformis</i>	耳果相思	UUGL	11	0.25	7	Retain	Co-dominant branch; imbalanced crown; grown on slope
T122	<i>Acacia auriculiformis</i>	耳果相思	UUGL	5	0.14	3	Retain	Grown on slope; slightly leaning; imbalanced crown
T123	<i>Acacia auriculiformis</i>	耳果相思	UUGL	8	0.18	5	Retain	Grown on slope; low live crown ratio; poor taper
T124	<i>Aleurites moluccana</i>	石栗	UUGL	6	0.40	6	Retain	Large decaying wound on mid trunk; abnormal bark crack; restricted root growth; close to building
T126	<i>Michelia x alba</i>	白蘭	UUGL	7	0.40	5	Retain	Topped previously; dual stems; restricted root growth; grown on slope; epiocormic shoots
T127	<i>Aleurites moluccana</i>	石栗	UUGL	8	0.30	3	Retain	Grown on slope; low live crown ratio; sparse foilage; abrupt bending at upper trunk
T129	<i>Aleurites moluccana</i>	石栗	UUGL	6	0.20	1	Retain	Dieback twigs; sparse foilage; low live crown ratio; leader broken previously; grown on slope
T132	<i>Radermachera hainanensis</i>	海南菜豆樹	UUGL	5	0.12	4	Retain	Cross branch with T133
T133	<i>Radermachera hainanensis</i>	海南菜豆樹	UUGL	5	0.11	4	Retain	Cross branch with T132
T134	<i>Radermachera hainanensis</i>	海南菜豆樹	UUGL	5	0.16	4	Retain	Dual stem; cross branch with T133
T135	<i>Ficus microcarpa</i>	細葉榕	UUGL	10	0.60	9	Retain	Dieback twigs; imbalanced crown; restricted root growth
T140	<i>Aleurites moluccana</i>	石栗	UUGL	9	0.40	8	Retain	Large broken wound on mid trunk; grown on slope; imbalanced crown
T141	<i>Dimocarpus longan</i>	龍眼	UUGL	5	0.21	5	Retain	Grown on slope; imbalanced crown
T142	<i>Ficus microcarpa</i>	細葉榕	UUGL	10	1.50	10	Retain	Multi-trunk; mature tree; leader broken previously with epicromic grwoth; dieback twigs; grown on slope
T143	<i>Artocarpus heterophyllus</i>	波蘿蜜	UUGL	5	0.10	5	Retain	Low live crown ratio; restricted root growth; slightly leaning
T144	<i>Artocarpus heterophyllus</i>	波蘿蜜	UUGL	10	0.16	6	Retain	Restricted root growth; low live crown ratio; imbalanced crown
T145	<i>Artocarpus heterophyllus</i>	波蘿蜜	UUGL	7	0.14	6	Retain	Dual stem; restricted root growth; low live crown ratio; sparse foilage
T146	<i>Podocarpus macrophyllus</i>	羅漢松	UUGL	5	0.16	5	Retain	Dual stem; grown on slope
T147	<i>Podocarpus macrophyllus</i>	羅漢松	UUGL	3	0.10	3	Retain	Multi-trunk; grown on slope; restricted root growth
T148	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	5	0.14	5	Retain	Restricted root growth; low live crown ratio; imbalanced crown
T149	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	9	0.19	6	Retain	Grown on slope; low live crown ratio; slightly leaning
T150	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	6	0.10	5	Retain	Grown on slope; low live crown ratio; slightly leaning
T151	<i>Schefflera heptaphylla</i>	鴨腳木	UUGL	10	0.17	7	Retain	Small cavity found on root collar; grown on slope; low live crown ratio; dieback twigs
T155	<i>Bridelia tomentosa</i>	土蜜樹	UUGL	5	0.11	5	Retain	Grown on slope; low live crown ratio; poor taper
T156	<i>Cleistocalyx nervosum</i>	水翁	UUGL	3	0.10	3	Retain	Slightly leaning; imbalanced crown
T157	<i>Acacia auriculiformis</i>	耳果相思	UUGL	4	0.10	4	Retain	
T164	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.27	4	Retain	Grown on slope; low live crown ratio
T165	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	8	0.12	3	Retain	Grown on slope; low live crown ratio; cross branch with T166
T166	<i>Sapium sebiferum</i>	烏桕	UUGL	12	0.35	5	Retain	Grown on slope; cross branch with T165; low live crown ratio
T167	<i>Litsea glutinosa</i>	潺槁樹	UUGL	12	0.40	8	Retain	Grown on slope; low live crown ratio; imbalanced crown
T168	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.18	3	Retain	Restricted root growth; imbalanced crown; slightly tilted
T169	<i>Mallotus paniculatus</i>	白楸	UUGL	7	0.16	3	Retain	Grown on slope; slightly tilted; low live crown ratio

TREE TREATMENT SCHEDULE

Project Title: LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND ADJOINING GOVERNMENT LAND IN D.D. 129, WAN FAU SIN KOON, LAU FAU SHAN, NEW TERROITORIES

Date of Tree Survey: 5 JULY 2025

Surveyed by:

Pierre S.K. Ng (Technician Member of the Arboricultural Association No. TE2523)

Tree No.	Species		Original Location (Lot/ GA/ YA/	Tree Size			Proposed Treatment (Retain/Transplant/Fell)	Remarks ¹ (Old and Valuable Tree (OVT), potentially registrable OVT, rare species, protected species, ecological and historical significance, etc.)
	Scientific name	Chinese name		Height (m)	DBH ² (mm)	Crown Spread (m)		
T170	<i>Caryota mitis</i>	短穗魚尾葵	UUGL	6	0.10	3	Retain	Grown on slope; cross branch with T171
T171	<i>Sapium sebiferum</i>	烏桕	UUGL	12	0.35	6	Retain	Broken branch; grown on slope; dieback twigs; cross branch with T170
T172	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	5	0.16	3	Retain	Grown on slope; low live crown ratio
T173	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	5	0.20	3	Retain	Grown on slope; partially collapsed; low live crown ratio; tilted
T174	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.23	5	Retain	Multi-trunk; grown on slope; poor taper; low live crown ratio
T175	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	5	0.15	3	Retain	Grown on slope; low live crown ratio
T176	<i>Litchi chinensis</i>	荔枝	UUGL	3	0.16	3	Retain	Restricted root growth; multi-trunk
T177	<i>Acacia auriculiformis</i>	耳果相思	UUGL	6	0.14	5	Retain	Grown on slope
T294	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.10	3	Retain	Grown on slope; low live crown ratio
T295	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	6	0.21	3	Retain	Dual stem; dead branch; broken branch
T296	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.16	4	Retain	Grown on slope
T297	<i>Leucaena leucocephala</i>	銀合歡	UUGL	3	0.13	2	Fell	Invasive tree species; grown on slope; poor taper
T298	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	7	0.17	4	Retain	Grown on slope; low live crown ratio
T299	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	9	0.20	6	Retain	Grown on slope; low live crown ratio
T300	<i>Macaranga tanarius var. tomentosa</i>	血桐	UUGL	9	0.25	5	Retain	Pruned branch; grown on slope; low live crown ratio
T301	<i>Leucaena leucocephala</i>	銀合歡	UUGL	8	0.11	5	Fell	Invasive tree species; poor taper
T854	<i>Lophostemon confertus</i>	紅膠木	UUGL	7	0.25	4	Retain	Grown on slope; multi trunk; low live crown ratio
T855	<i>Eucalyptus torelliana</i>	毛葉桉	UUGL	10	0.40	7	Retain	Grown on slope; low live crown ratio; poor taper
T856	<i>Acacia confusa</i>	台灣相思	UUGL	6	0.24	5	Retain	Grown on slope; imbalanced crown; grown on slope
T862	Dead Tree	死樹	UUGL	10	0.45	7	Fell	Found "dead" on tree inspection

Summary Table

Tree Treatment	Number of Tree(s)
Tree to be Retained	97
Tree to be Transplant	3
Tree to be Felled	3
Tree to be Felled (<i>Leucaena leucocephala</i>)	2
Total Number of Existing Tree(s)	105

Total no. of Trees within Phase 1 Private Lot Boundary:	5
Total no. of Trees within Phase 1 Government Land:	100
Total no. of Trees within Application Boundary:	105

¹ Please state whether the OVT, potentially registrable OVT , trees of rare or protected species, trees with ecological and historical significance, etc. within and/ por adjacent to the site is likely to be affected by the proposed development.

² DBH of a tree refers to its diameter at breast height (i.e. measured at 1.3m above ground level).



T46– General View

Eucalyptus toreliana 毛葉桉 (Retain)



T47 – General View

Acacia confusa 台灣相思 (Retain)



T48 - General View

Eucalyptus toreliana 毛葉桉 (Retain)



T49 - General View

Liquidambar formosana 楓香 (Retain)

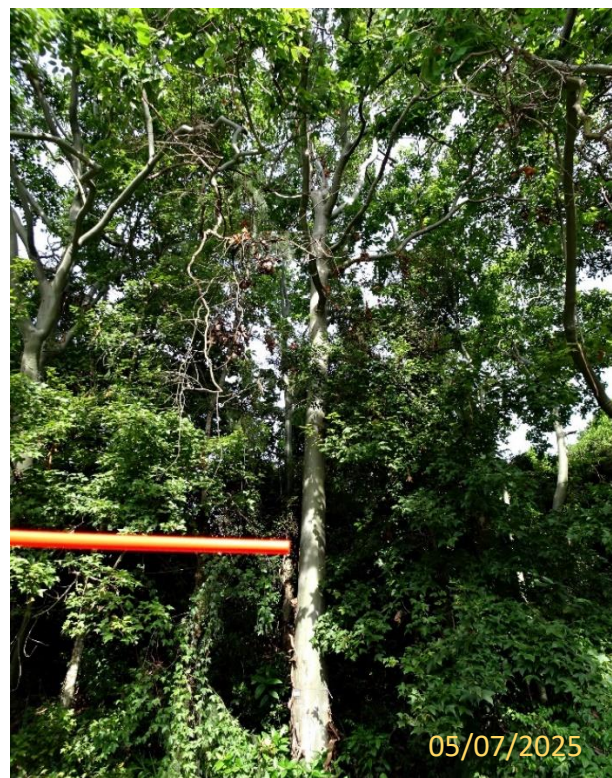
Individual Tree Photographic Records

Proposed Amendments to the Approved Scheme at Lot Nos. 1857
S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in
D.D.129, Wan Fau Sin Koon, Lau Fau Shan, New Territories



T50 – General View

Casuarina equisetifolia 木麻黃 (Retain)



T51 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T52 – General View

Liquidambar formosana 楓香 (Retain)



T53 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T54 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T55 – General View

Lophostemon confertus 紅膠木 (Retain)



T56 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T57 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T58 – General View

Lophostemon confertus 紅膠木 (Retain)



T59 – General View

Casuarina equisetifolia 木麻黃 (Retain)



T62 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T63 – General View

Aquilaria sinensis 土沉香 (Retain)

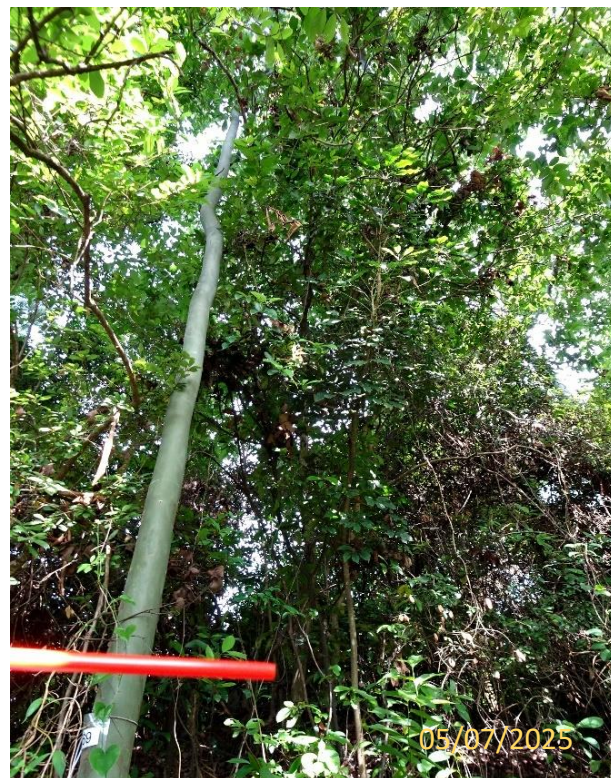
Individual Tree Photographic Records

Proposed Amendments to the Approved Scheme at Lot Nos. 1857
S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in
D.D.129, Wan Fau Sin Koon, Lau Fau Shan, New Territories



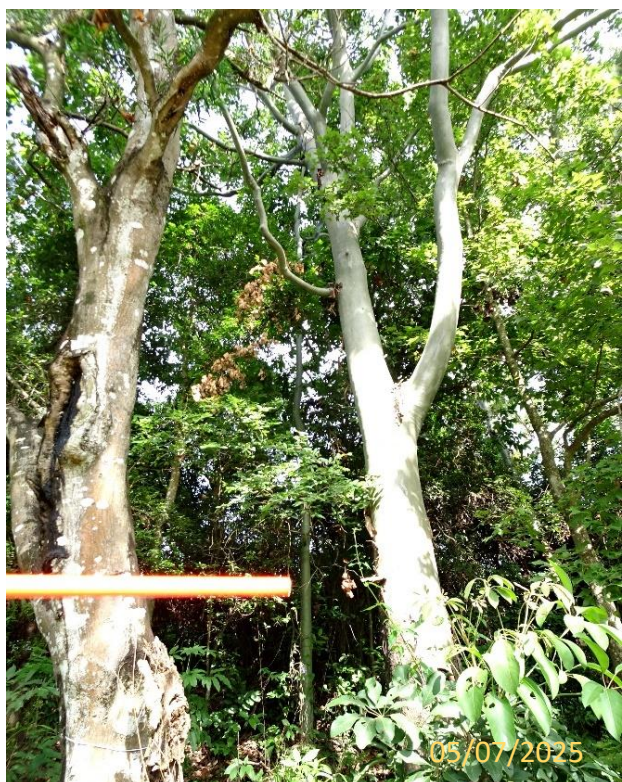
T66 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T68 – General View

Microcos nervosa 破布葉 (Retain)



T69 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T70 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T71 – General View

Acacia confusa 台灣相思 (Retain)



T72 – General View

Pinus elliottii 濕地松 (Retain)



T73 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T74 – General View

Sterculia lanceolata 假蘋婆 (Retain)

Individual Tree Photographic Records

Proposed Amendments to the Approved Scheme at Lot Nos. 1857
S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in
D.D.129, Wan Fau Sin Koon, Lau Fau Shan, New Territories



T75 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T76 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T77 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T78 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T79 – General View
Sapium sebiferum 烏柏



T80 – General View
Macaranga tanarius var. tomentosa 血桐 (Retain)



T81– General View
Macaranga tanarius var. tomentosa 血桐 (Retain)



T83 – General View
Podocarpus macrophyllus 羅漢松 (Transplant)



T86 – General View

Platycladus orientalis 側柏 (Fell)



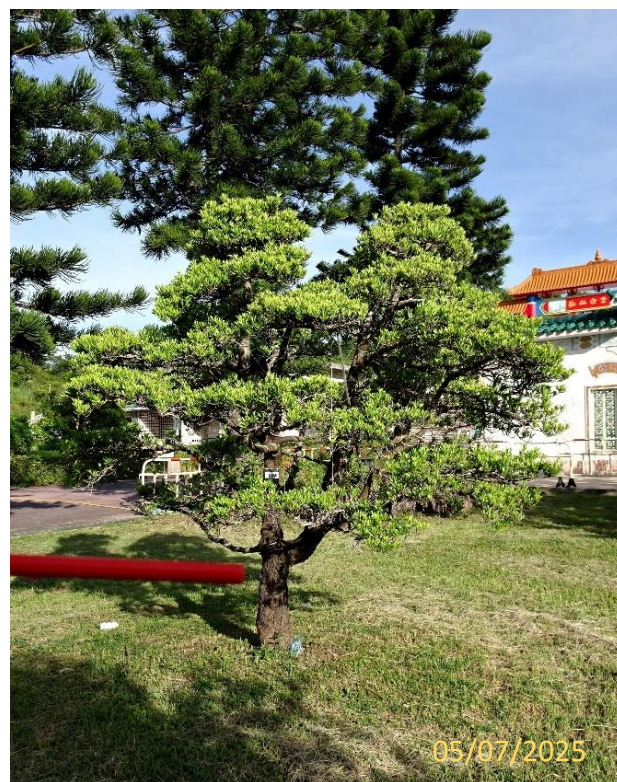
T87 – General View

Plumeria rubra 雞蛋花 (Transplant)



T88 – General View

Callistemon rigidus 紅千層 (Fell)



T89 – General View

Podocarpus macrophyllus 羅漢松 (Transplant)



T95 – General View

Ficus microcarpa 細葉榕 (Retain)



T96 – General View

Ficus microcarpa 細葉榕 (Retain)



T97 – General View

Ficus microcarpa 細葉榕 (Retain)



T98 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T100 – General View

Rhus succedanea 木蠟樹 (Retain)



T102 – General View

Liquidambar formosana 楓香 (Retain)



T110 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



T111 – General View

Lophostemon confertus 紅膠木 (Retain)



T112 – General View

Aleurites moluccana 石栗 (Retain)



T113 – General View

Aleurites moluccana 石栗 (Retain)



T114 – General View

Aleurites moluccana 石栗 (Retain)



T115 – General View

Aleurites moluccana 石栗 (Retain)



T116 – General View

Aleurites moluccana 石栗 (Retain)



T117 – General View

Ficus microcarpa 細葉榕 (Retain)



T118 – General View

Mangifera indica 芒果 (Retain)



T119 – General View

Ficus microcarpa 細葉榕 (Retain)



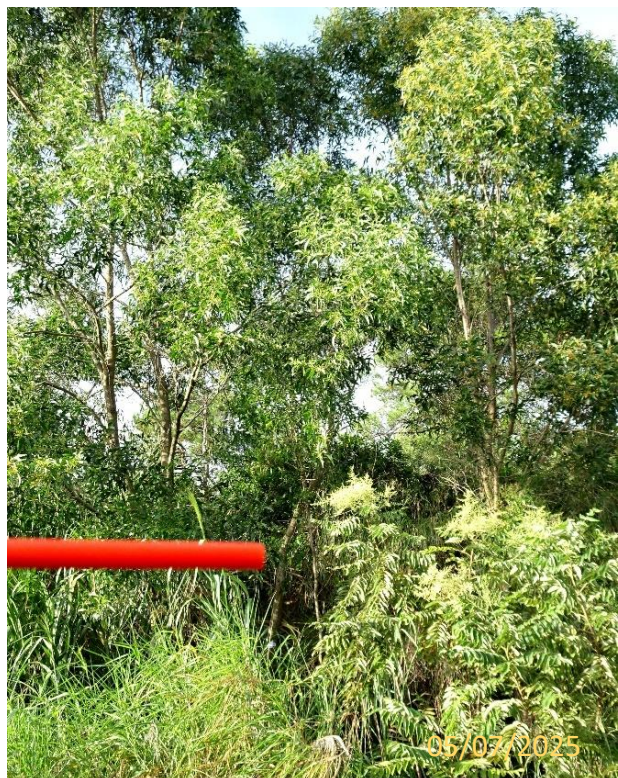
T120 – General View

Litsea glutinosa 潺槁樹 (Retain)



T121 – General View

Acacia auriculiformis 耳果相思 (Retain)



T122 – General View

Acacia auriculiformis 耳果相思 (Retain)



T123 – General View

Acacia auriculiformis 耳果相思 (Retain)



T124 – General View

Aleurites moluccana 石栗 (Retain)



T126 – General View

Michelia x alba 白蘭 (Retain)



T127 – General View

Aleurites moluccana 石栗 (Retain)



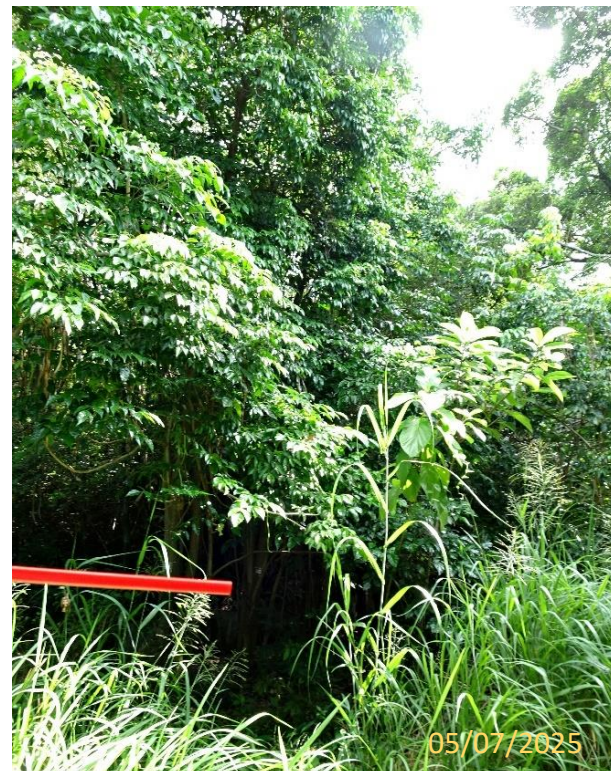
T129 – General View

Aleurites moluccana 石栗 (Retain)



T132 – General View

Radermachera hainanensis 海南菜豆樹 (Retain)



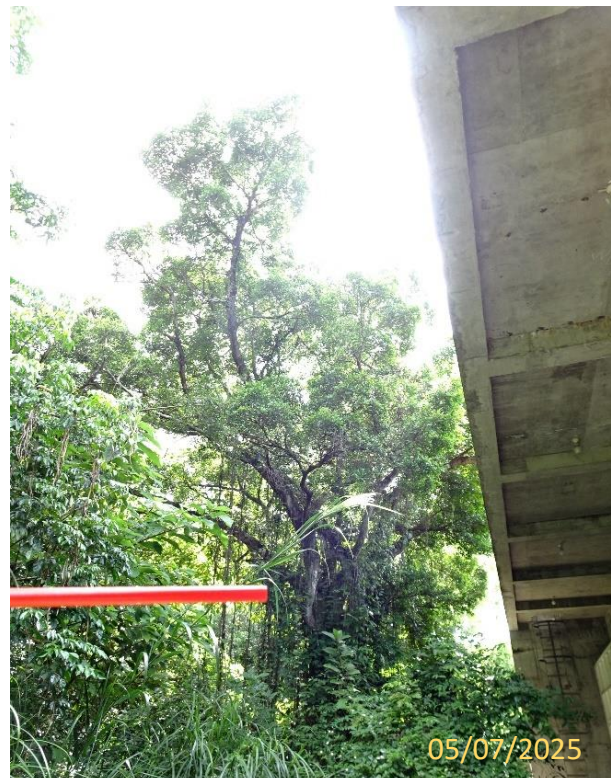
T133 – General View

Radermachera hainanensis 海南菜豆樹 (Retain)



T134 – General View

Radermachera hainanensis 海南菜豆樹 (Retain)



T135 – General View

Ficus microcarpa 細葉榕 (Retain)



T140 – General View

Aleurites moluccana 石栗 (Retain)



T141 – General View

Dimocarpus longan 龍眼 (Retain)



T142– General View

Ficus microcarpa 細葉榕 (Retain)



T143 – General View

Artocarpus heterophyllus 波蘿蜜 (Retain)



T144 – General View

Artocarpus heterophyllus 波蘿蜜 (Retain)



T145 – General View

Artocarpus heterophyllus 波蘿蜜 (Retain)



T146 – General View

Podocarpus macrophyllus 羅漢松 (Retain)



T147 – General View

Podocarpus macrophyllus 羅漢松 (Retain)



T148 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T149 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T150 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T151 – General View

Schefflera heptaphylla 鴨腳木 (Retain)



T155 – General View

Bridelia tomentosa 土蜜樹 (Retain)



T156 – General View

Cleistocalyx nervosum 水翁 (Retain)



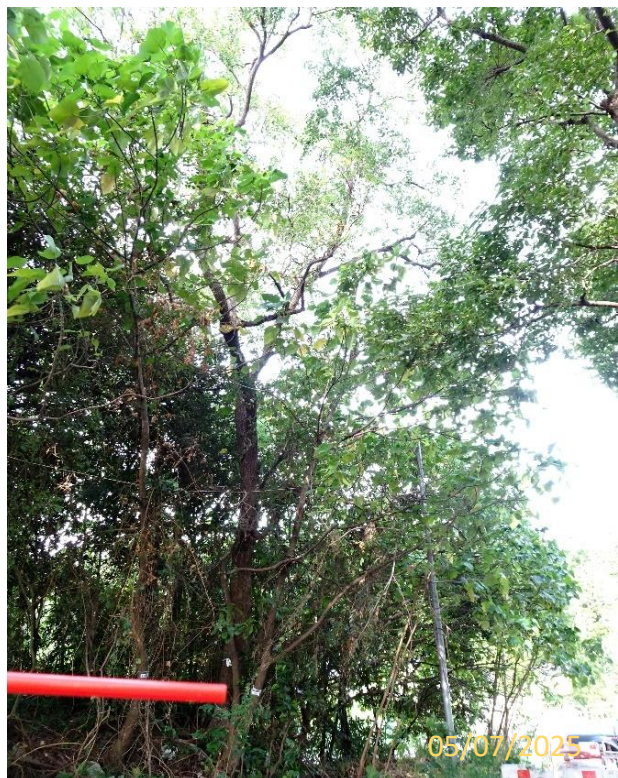
T157 – General View

Acacia auriculiformis 耳果相思 (Retain)



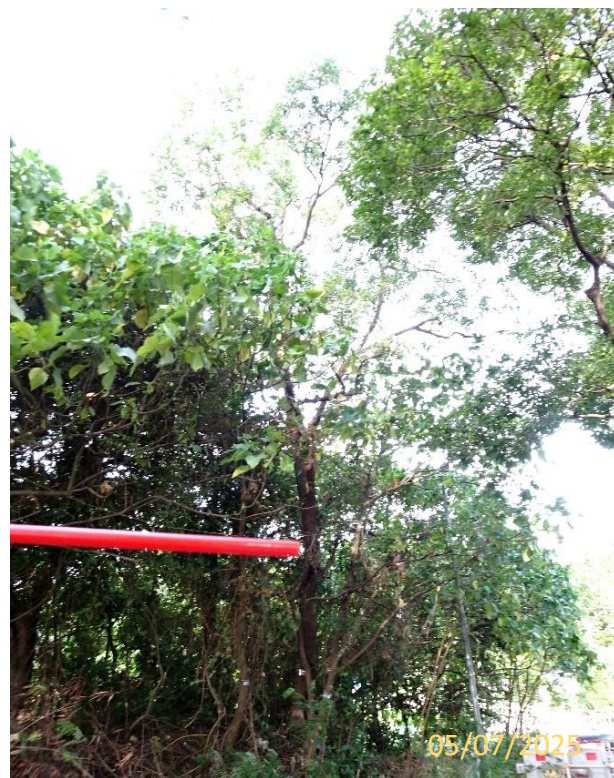
T164 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T165 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



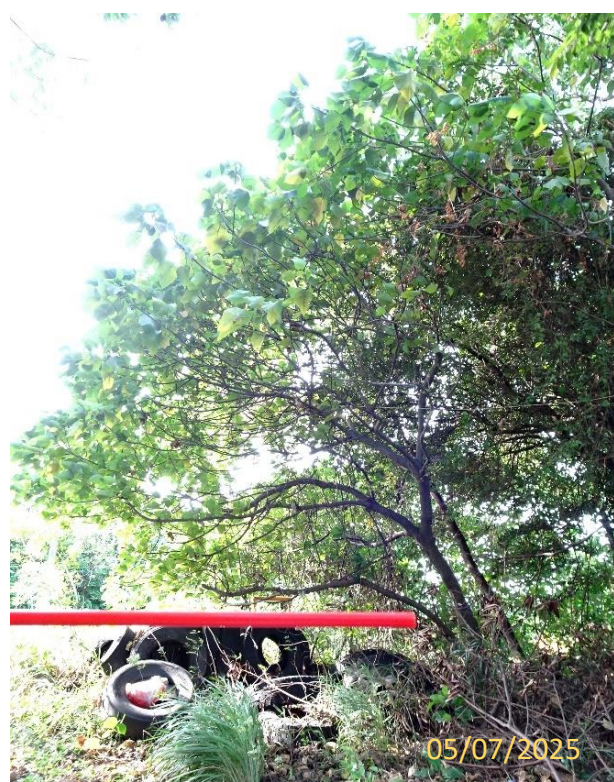
T166 – General View

Sapium sebiferum 烏柏 (Retain)



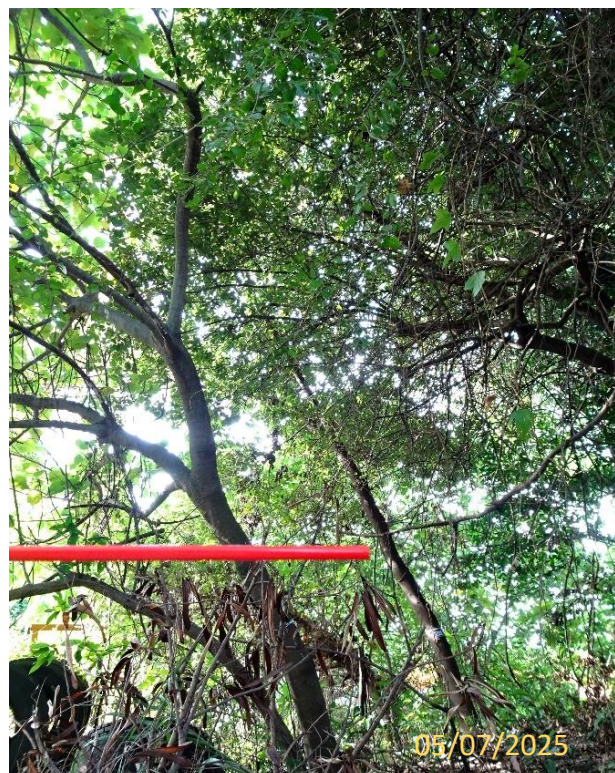
T167 – General View

Litsea glutinosa 潺槁樹 (Retain)



T168 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T169 – General View

Mallotus paniculatus 白楸 (Retain)



T170 – General View

Caryota mitis 短穗魚尾葵 (Retain)



T171 – General View

Sapium sebiferum 烏柏 (Retain)



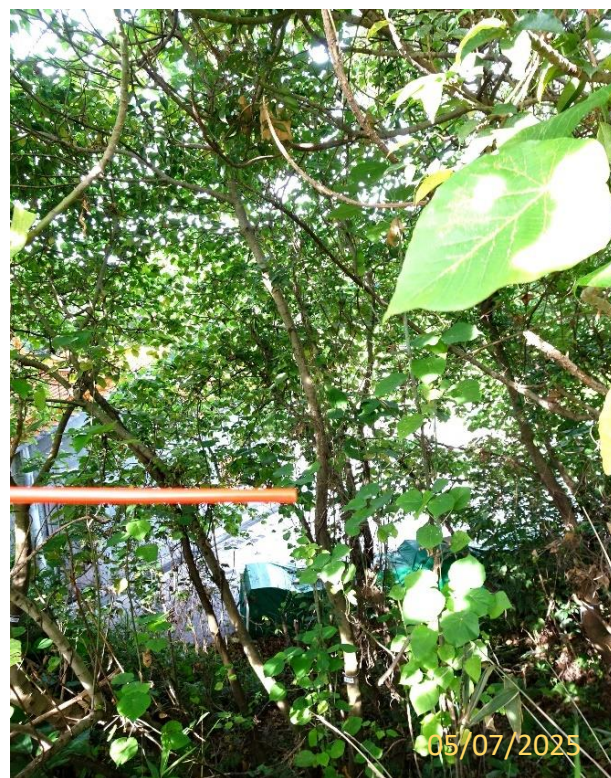
T172 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T173 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T174 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T175 – General View

Macaranga tanarius var. *tomentosa* 血桐 (Retain)



T176 – General View

Litchi chinensis 荔枝 (Retain)



T177 – General View

Acacia auriculiformis 耳果相思 (Retain)



T294 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T295 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T296 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



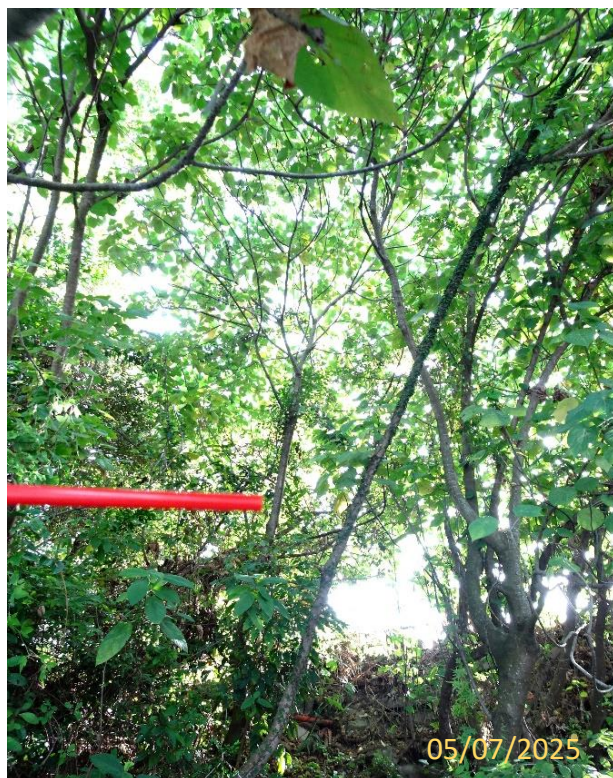
T297 – General View

Leucaena leucocephala 銀合歡 (Fell)



T298 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T299 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



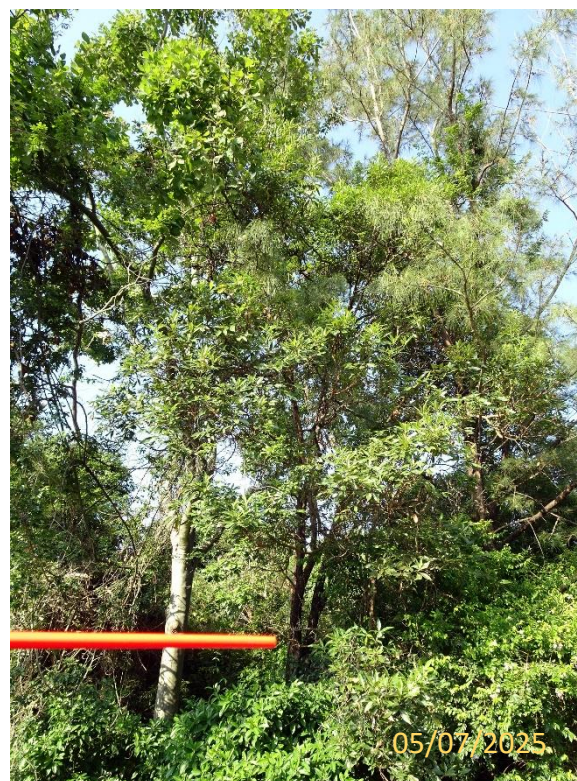
T300 – General View

Macaranga tanarius var. tomentosa 血桐 (Retain)



T301 – General View

Leucaena leucocephala 銀合歡 (Fell)



T854 – General View

Lophostemon confertus 紅膠木 (Retain)



T855 – General View

Eucalyptus torelliana 毛葉桉 (Retain)



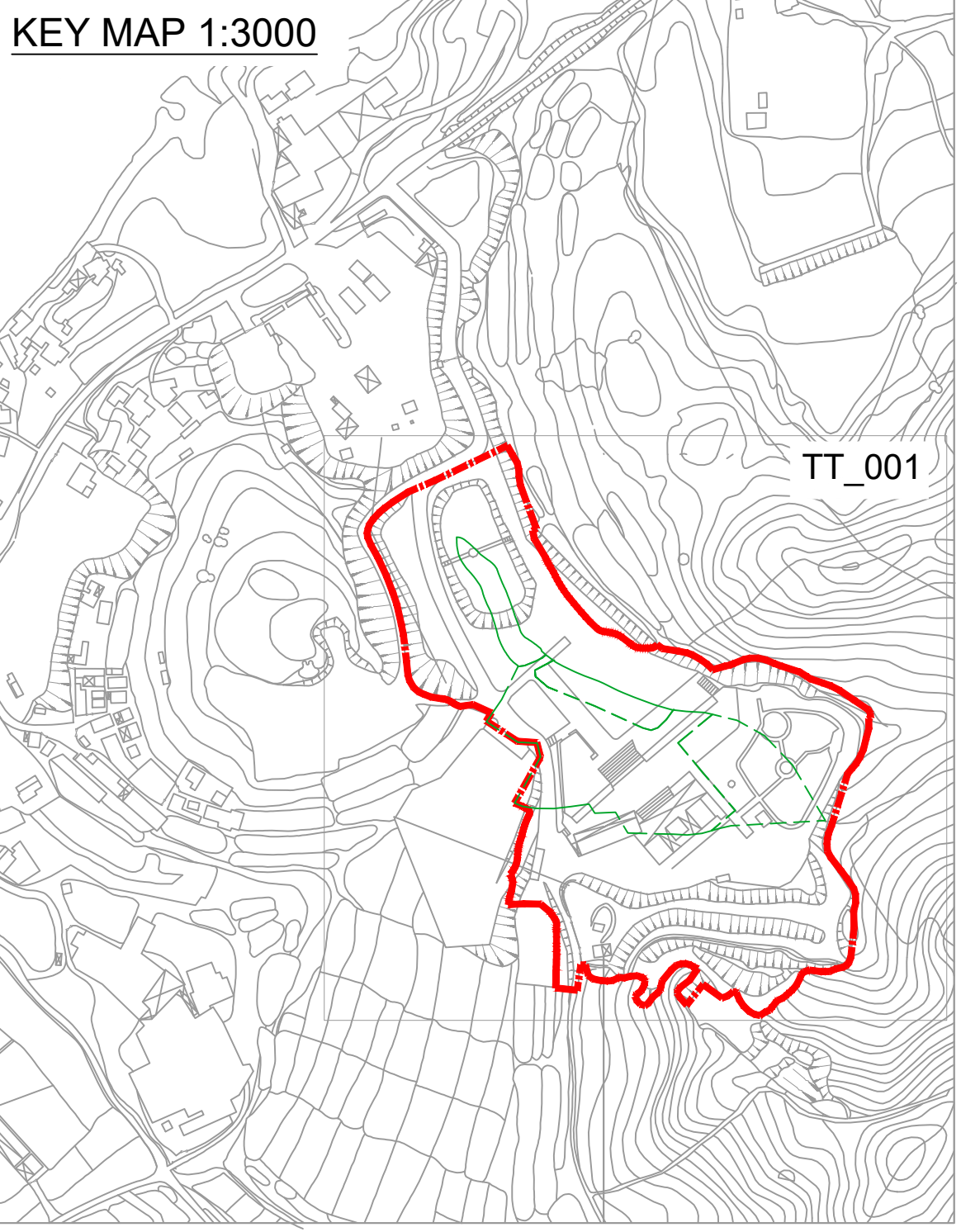
T856 – General View

Eucalyptus torelliana 毛葉桉 (Retain)








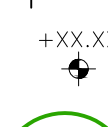


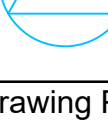
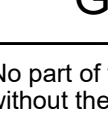
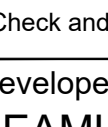


T862 – General View

Dead Tree 死樹 (Fell)



LEGEND

-  APPLICATION SITE
-  APPLICANT'S PRIVATE LOTS WITH S.T.W
-  PROPOSED DEVELOPMENT
-  SOLID FENCE WALL
-  CHAIN LINK FENCE
-  EXISTING LEVEL
-  PROPOSED LEVEL
-  TREE NUMBER
-  TREE PROPOSED TO BE RETAINED
-  TREE NUMBER
-  TREE PROPOSED TO BE FELLED
-  TREE NUMBER
-  TREE PROPOSED TO BE TRANSPLANTED

- No part of the drawing and the design contained herein may be reproduced without the prior written consent of a director of Architect / Engineers
- Do not take measurements directly from this drawing.
- Check and verify all dimensions on site.

Developer
BEAMLAND LIMITED

Project

LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859
AND ADJOINING GOVERNMENT LAND IN
D.D. 129, WAN FAU SIN KOON,
LAU FAU SHAN, NEW TERRITORIES

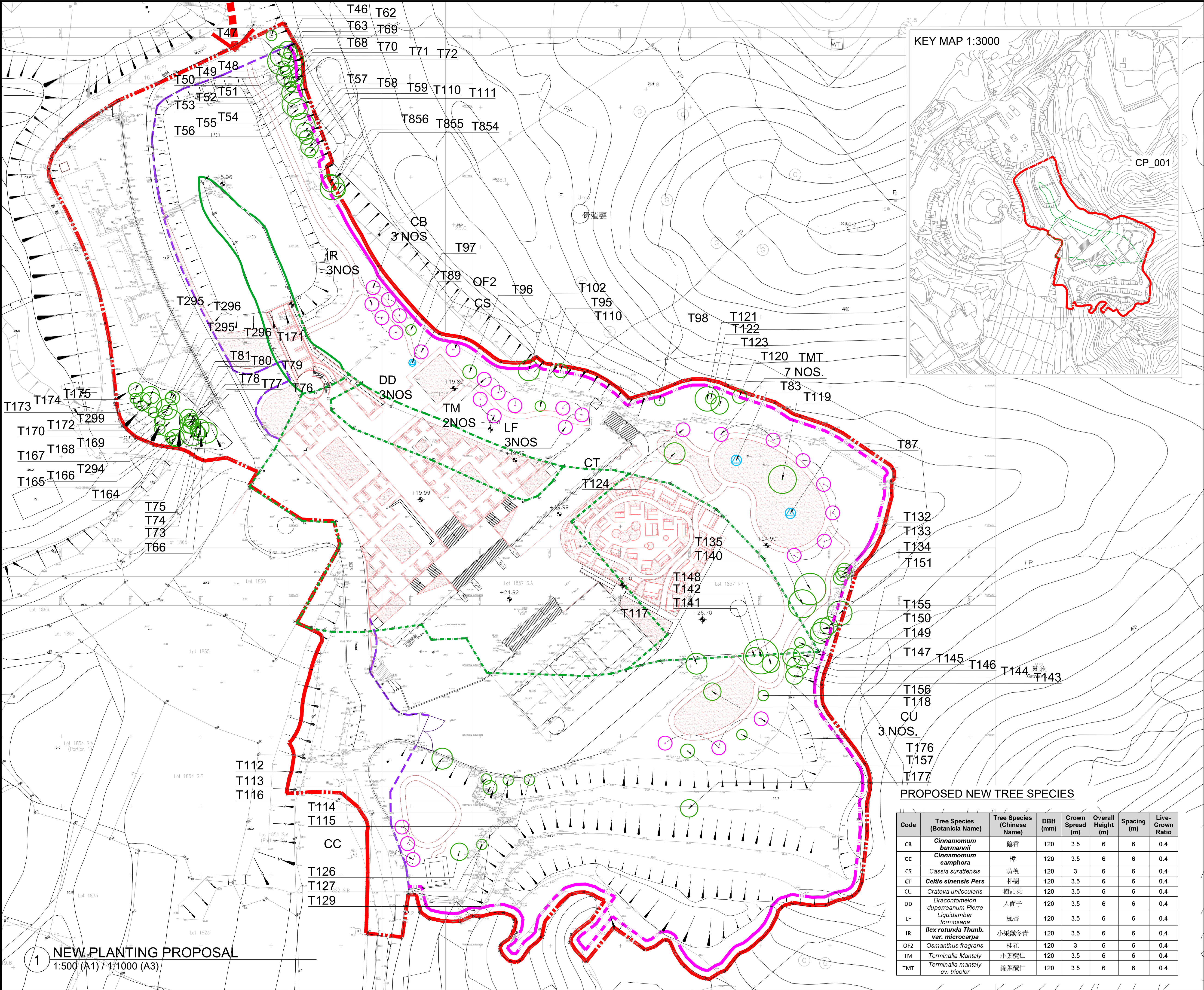
Job No.	Drawing No.	Revision No.
HKA-01030	TT_001	-
Scale	Date	CAD Ref.
AS	JUN 2025	TT_001
Drawn	Checked	Approved
RC	SL	SL

Authorized Person - Architect

Aedas

Consultant Logo

S L S L



KEY MAP 1:3000

CP_001

LEGEND

- APPLICATION SITE
- APPLICANT'S PRIVATE LOTS WITH S.T.W
- PROPOSED DEVELOPMENT
- SOLID FENCE WALL
- CHAIN LINK FENCE
- EXISTING LEVEL
- PROPOSED LEVEL
- Txx TREE NUMBER
- RETAINED TREE
- Txx TREE NUMBER
- TRANSPLANTED TREE
- XX TREE CODE
- NEW TREE

Drawing Purposes

GOVERNMENT SUBMISSION

- No part of the drawing and the design contained herein may be reproduced without the prior written consent of a director of Architect / Engineers
- Do not take measurements directly from this drawing.
- Check and verify all dimensions on site.

Developer

BEAMLAND LIMITED

Project

LOTS NOS. 1857 S.A, 1857 RP, 1858, 1859 AND ADJOINING GOVERNMENT LAND IN D.D. 129, WAN FAU SIN KOON, LAU FAU SHAN, NEW TERRITORIES

Drawing Title

NEW PLANTING PROPOSAL

Job No.	Drawing No.	Revision No.
HKA-01030	CP_001	-
Scale	Date	CAD Ref.
AS	JUN 2025	CP_001
Drawn	Checked	Approved
RC	SL	SL

Authorized Person - Architect

Aedas

Consultant Logo

SLSL

PROPOSED NEW TREE SPECIES

Code	Tree Species (Botanica Name)	Tree Species (Chinese Name)	DBH (mm)	Crown Spread (m)	Overall Height (m)	Spacing (m)	Live-Crown Ratio
CB	<i>Cinnamomum burmannii</i>	陰香	120	3.5	6	6	0.4
CC	<i>Cinnamomum camphora</i>	樟	120	3.5	6	6	0.4
CS	<i>Cassia surattensis</i>	黃槐	120	3	6	6	0.4
CT	<i>Celtis sinensis Pers</i>	朴樹	120	3.5	6	6	0.4
CU	<i>Crateva unilocularis</i>	樹頭菜	120	3.5	6	6	0.4
DD	<i>Dracontomelon duperreanum Pierre</i>	人面子	120	3.5	6	6	0.4
LF	<i>Liquidambar formosana</i>	楓香	120	3.5	6	6	0.4
IR	<i>Ilex rotunda Thunb. var. microcarpa</i>	小果鐵冬青	120	3.5	6	6	0.4
OF2	<i>Osmanthus fragrans</i>	桂花	120	3	6	6	0.4
TM	<i>Terminalia Mantaly</i>	小葉欖仁	120	3.5	6	6	0.4
TMT	<i>Terminalia mantaly cv. tricolor</i>	節葉欖仁	120	3.5	6	6	0.4

NEW PLANTING PROPOSAL

1:500 (A1) / 1:1000 (A3)

Appendix 3

Environmental Appraisal

**Proposed Amendments to the Approved Scheme at Lot
Nos. 1857 S.A, 1857 RP, 1858, 1859, and
Adjoining Government Land in D.D.129,
Wan Fau Sin Koon,
Lau Fau Shan, New Territories**

Environmental Appraisal

Prepared for:
Beamland Limited

Prepared by:
Westwood Hong & Associates Limited

Report No.:
22626-EA1

Date:
14 August 2025

Ir K. K. Lu	FHKIOA, MIOA, MCIBSE, MHKIE, MASA, APEC Engineer
Ms Kit Wong	FMOIA, MIEAust, MHKIQEP, C Eng, RPE, CPEng
Mr Samuel Lee	BEng, MHKIEIA
	BSc

Westwood Hong & Associates Ltd

2404, Tung Wai Commercial Building
109-111 Gloucester Road
Wanchai, Hong Kong

Tel: 2838 2738

Fax: 2591 6189

Email: wha@wha.com.hk

Website: <https://whaacoustics.com>



CONTENTS

1. INTRODUCTION.....	1
2. SITE LOCATION.....	1
SITE LOCATION	1
EXISTING USE AND SITE CONDITION	1
3. IDENTIFIED SENSITIVE RECEIVERS.....	2
4. NOISE IMPACT ASSESSMENT.....	2
NOISE CRITERIA	2
NOISE IMPACTS FROM PROPOSED DEVELOPMENT DURING OPERATION PHASE	3
NOISE IMPACTS FROM PROPOSED DEVELOPMENT DURING CONSTRUCTION PHASE	4
5. AIR QUALITY IMPACT ASSESSMENT	4
AIR QUALITY IMPACTS FROM PROPOSED DEVELOPMENT DURING OPERATION PHASE.....	4
AIR QUALITY IMPACTS FROM PROPOSED DEVELOPMENT DURING CONSTRUCTION PHASE	5
6. WATER QUALITY IMPACT ASSESSMENT.....	6
LEGISLATIONS, STANDARDS & GUIDELINES	6
WATER QUALITY IMPACTS FROM PROPOSED DEVELOPMENT DURING OPERATION PHASE.....	6
WATER QUALITY IMPACTS FROM PROPOSED DEVELOPMENT DURING CONSTRUCTION PHASE	7
7. WASTE MANAGEMENT ASSESSMENT	9
WASTE MANAGEMENT DURING OPERATION PHASE	10
WASTE MANAGEMENT DURING CONSTRUCTION PHASE.....	10
8. CONCLUSION.....	12

FIGURE

Figure 1 Site Location and Nearest Sensitive Receiver

1. INTRODUCTION

- 1.1 Westwood Hong & Associates Ltd (WHA) was commissioned to conduct an environmental appraisal for the proposed development at Wan Fau Sin Koon. Figure 1 shows the location of the proposed Development.
- 1.2 This environmental appraisal aims to identify and address the major environmental issues of the proposed Development at Lot Nos. 1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D. 129, Wan Fau Sin Koon in Lau Fau Shan (the “proposed Development”) during construction and operation phases.
- 1.3 This environmental appraisal aims to support the S16 Planning Application for the proposed Development.
- 1.4 This environmental appraisal will include the following aspects:-
- Noise Impact Assessment;
 - Air Quality Impact Assessment;
 - Water Quality Impact Assessment; and
 - Waste Management Assessment.
- 1.5 This environmental appraisal is making reference to the Chapter 9 of Hong Kong Planning Standards and Guidelines. The “Recommended Pollution Control Clauses” (RPCC) will be also referenced to implement suitable mitigation measures and good site practice to minimise the potential environmental impact during construction stage of the proposed Development.

2. SITE LOCATION

Site Location

- 2.1 The project site is located in Lau Fau Shan, situated between the rural settlement of Fu Tso Tsuen and Lam Hang Shan. The project site is accessible via Deep Bay Road, connected by an unnamed local access road to the north.

Existing Use and Site Condition

- 2.2 The Site is currently occupied by Wan Fau Sin Koon, used for temple and columbarium purposes. In the southern part of the Site are the main temple with the New Halls (including Columbarium Block A and B). An ancillary block containing facilities and Columbarium Block C of the New Halls are also located in the area. the

northern part of the Site contains the Old Halls – Shing Tak Hall and Yu Hing Hall, along with a lake, pavilion, and an another newly built temple.

- 2.3 The niches on-site are accommodated within two areas: the Old Halls and the New Halls, with a total of 6 single-storey Columbarium blocks/ halls. The Old Halls consist of 2 single-storey columbarium halls – Shing Tak Hall and 1 single-storey columbaria hall – Yu Hing Hall. The New Halls (known as Flora Terrace) consist of 3 single-storey columbarium blocks, which were approved under Planning Application Nos. A/YL-LFS/54 and A/YL-LFS/77 in 2001. The Site also includes 3 eco-joss paper furnaces, an ancillary toilet block & an office. There are approximately 10,400 niches in total on-site, including about 3,824 unsold niches (including 1,824 from the Old Halls and 2,000 from the New Halls) and about 6,576 pre-cut off sold niches and post-license rented niches.

Proposed Scheme

- 2.4 The Proposed Scheme comprises 4 single-storey columbarium buildings and a new Family Precinct zone with a building height of about 6.9m, which is the max. building height allowed under the prevailing Short-Term Tenancy (STT) and Short-Term Waiver (STW). The built-over area of the proposed buildings/blocks would not exceed 1,772.2m² (i.e. 1,570m² from the New Halls and 202.2m² of the existing Shing Tak Hall). The new Family Precinct zone (i.e. Zone E- Family Precinct) would comprise not more than 32 individual structures with family niches. The Proposed Scheme will provide not more than 3,824 niches. The proposed development is targeted to be completed in 2027.

3. IDENTIFIED SENSITIVE RECEIVERS

- 3.1 The existing sensitive receivers are identified by means of reviewing topographic maps, aerial photos and land status plans. The nearest sensitive receiver is the residential village house in Fu Tso Tsuen, which is located at 125m to the west of the proposed Development (Figure 1).

4. NOISE IMPACT ASSESSMENT

Noise Criteria

- 4.1 The relevant legislations, standards and guidelines applicable to the present study for the assessment of noise impacts include:-
- Hong Kong Planning Standards and Guidelines (HKPSG);

- Noise Control Ordinance (NCO) (Cap. 400); and
- TM for the Assessment of Noise from Places other than Domestic Premises, Public Places or Construction Sites (IND – TM).

4.2 Fixed noise sources associated with the proposed Development would be controlled under the NCO and IND – TM. The Acceptable Noise Levels (ANL) depends on the type of area within which the NSRs are located, and the degree of the NSRs affected by the influencing factors such as major roads and industrial area. According to the IND – TM, the ANLs for different Area Sensitive Ratings (ASRs) are given in Table 4.1.

Table 4.1 ANLs for Day, Evening and Night Time Periods

Time Period	ANLs, Leq (30 mins)		
	ASR “A”	ASR “B”	ASR “C”
Day (0700 to 1900 hours) and evening (1900 to 2300 hours)	60dB(A)	65dB(A)	70dB(A)
Night (2300 to 0700 hours)	50dB(A)	55dB(A)	60dB(A)

Note: In any event, the ASR and the ANLs adopted in this report are only indicative and are used for assessment only. It should be noted that noise from fixed noise sources is controlled under section 13 of the Noise Control Ordinance. Therefore, the Noise Control Authority shall determine the noise impact of fixed noise sources on the basis of prevailing legislation and practices being in force, and taking account of contemporary conditions/ situations of adjoining land uses. The assessment of noise impacts of fixed noise sources in this report shall not bind the Noise Control Authority in the context of law enforcement against any of the noise from fixed noise sources being assessed.

4.3 The proposed Development and the representative existing NSR in the vicinity are located in an low density residential area and not being affected by any Influencing Factor (IF). With reference to the IND – TM, an ASR of "A" was assumed. The ANLs are shown in Table 4.1.

Noise Impacts from Proposed Development during Operation Phase

- 4.4 There is no planned fixed noise sources for the proposed Development. The existing 3 eco-joss paper furnaces and ventilation systems of the ancillary toilet block & an office will remain unchanged.
- 4.5 Any planned fixed noise sources would be designed in accordance with HKPSG standard (i.e. ANL – 5dB(A), 55dB(A) for day & evening times, and 45dB(A) for nighttime).
- 4.6 The design and acoustic performance of the planned fixed noise sources would be reviewed during detailed design stage. In order to comply with the relevant noise requirements in the HKPSG, acoustic treatments such as provision of acoustic

silencers and acoustic enclosures shall be proposed for the planned fixed noise sources, if necessary.

Noise Impacts from Proposed Development during Construction Phase

- 4.7 The major construction activities of the proposed Development are minor demolition and superstructure. Due to the small scale of construction site, only small amounts of Powered Mechanical Equipment (PME) will be used. Given that the details of the construction programme and plant inventory are not available at this stage, a qualitative assessment was then conducted.
- 4.8 With the implementation of standard practices recommended in the ProPECC PN 1/24 “Minimizing Noise from Construction Activities”, adverse construction noise impact is normally not anticipated. The recommended practices below would be considered in all worksites as good practices to limit noise emissions at the source include:-
- Good site practices to limit noise emissions at the source;
 - Use of quality powered mechanical equipment (QPME);
 - Use of site hoarding as noise barrier to screen noise at ground level of NSRs;
 - Use of temporary noise barriers, noise enclosure and acoustic mat to screen noise from relatively static PMEs; and
 - Alternative use of plant items within one worksite, wherever practicable.
- 4.9 The above recommended practices would need to be implemented in worksites as good practices where appropriate. Reference shall also be made to EPD’s recommended pollution control clauses for construction contracts.

5. AIR QUALITY IMPACT ASSESSMENT

Air Quality Impacts from Proposed Development during Operation Phase

- 5.1 The existing 3 eco-joss paper furnaces will be retained, the location of these furnaces will remain unchanged. The eco-joss paper furnaces are operated by the trained operator(s) to ensure all visitors are only allowed to use the eco-joss paper furnaces. This is also to comply with Condition No. 29 set out of Private Columbaria Licensing Board (PCLB).
- 5.2 There is no planned air emission sources of the proposed Development. Hence, adverse air quality impact from the proposed Development during operation phase is not anticipated.

Air Quality Impacts from Proposed Development during Construction Phase

- 5.3 The proposed Development involves minor demolition and superstructure works. Due to the small scale of construction site, the air quality impact during construction is not expected to be significant. Detailed construction programme is not available at this stage. With the implementation of dust suppression measures and good site management, adverse construction air quality impact is not anticipated.
- 5.4 Apart from the air quality impact during construction phase, there will be exhaust emissions from the construction plants and machineries. Requirements stipulated in the Air Pollution Control (Non-road Mobile Machinery) (Emission) Regulation and Air Pollution Control (Fuel Restriction) Regulations (i.e. using liquid fuel with a Sulphur content of less than 0.001% by weight) will be complied with to control the exhaust emissions from non-road mobile machineries and construction vehicles. The scale of the project is relatively small, the number of construction plants will be limited.
- 5.5 The proposed Development only involves minor construction works, without any major dusty activities. However, the Contractor is recommended to follow the procedures and requirements given in the Air Pollution Control (Construction Dust) Regulation. The following dust suppression measures should be incorporated by the Contractor to control the dust nuisance throughout the construction phase:-
- Any stockpile of dusty material should be covered entirely by impervious sheeting or sprayed with water to maintain the entire surface wet and then removed where practicable within 24 hours of unloading;
 - Any dusty material remaining after a stockpile is removed should be wetted with water and removed where practicable;
 - A stockpile of dusty material should not extend beyond the pedestrian barriers, fencing or traffic cones;
 - The load of dusty materials on vehicles leaving a construction site should be covered entirely by impervious sheeting to ensure that the dusty materials do not leak from the vehicle;
 - Where practicable, vehicles washing facilities including a high pressure water jet should be provided at every designated vehicle exit point. The area where vehicle washing takes place and the road section between the washing facilities and the exit point should be paved with concrete, bituminous materials or hardcores;
 - Immediately before leaving a construction site, all vehicles shall be washed to remove any dusty materials from its body and wheels;

6. WATER QUALITY IMPACT ASSESSMENT

Legislations, Standards & Guidelines

- Water Pollution Control Ordinance (Cap. 358)
- Construction Site Drainage (ProPECC PN2/24)
- Drainage Plans (ProPECC PN1/23)
- Environment, Transport and Works Bureau Technical Circular (Works) No. 5/2005 (ETWB TC (Works) No. 5/2005)
- Best Management Practices (BMPs)
- HKPSG Chapter 9

Water Quality Impacts from Proposed Development during Operation Phase

- 6.1 The proposed Development only involved a change in the location, disposition and form of building blocks, there is no increase of surface runoff. The runoff generated from the project site under the existing condition would not be changed.
- 6.2 In order to minimise the direct impact from the non-point source surface water pollution to the nearby streams and watercourses, Best Management Practices are proposed as follows:-
- Screening facilities such as standard gully grating and trash grille, with spacing which is capable of screening large substances such as fallen leaves and rubbish should be provided at the inlet of drainage system;
 - Road gullies with standard design and silt traps and oil interceptors should be incorporated during the detailed design to remove particles present in stormwater run-off, where appropriate;
 - Good management measures such as regular cleaning and sweeping of road surface / open areas are suggested. The road surface / open area cleaning should also be carried out prior to occurrence rainstorm; and
 - Manholes, as well as stormwater gullies, ditches provided at the project site should be regularly inspected and cleaned (e.g. monthly). Additional inspection and cleansing should be carried out before forecast heavy rainfall.
- 6.3 Agrochemicals including pesticides will be used locally for the tree treatment where necessary, only registered pesticides under the Pesticides Ordinance (Cap. 133) shall be used. The instructions of the agrochemicals' manufacturers such as dosage, application method etc. will be followed. The use of agrochemical would be carefully controlled spatially (i.e. only at the required locations) and temporally (i.e. do not use before rainy day(s) and preferably during dry season), and therefore no unacceptable water quality impact associated with the use of agrochemicals is expected.

Water Quality Impacts from Proposed Development during Construction Phase

- 6.4 Construction activities would inevitably have the potential to generate wastewater. Works should be carried out in such a manner as to minimise adverse impacts on local water bodies. Activities that are likely to cause water pollution include:-
- Construction surface runoff;
 - Wastewater from construction site; and
 - Accidental spillage of chemicals, e.g. oil, diesel, solvents etc.
- 6.5 The potential water quality impact during construction stage of the proposed Development will be the potential discharge of construction site runoff and wastewater. Without proper control, these could lead to increase in suspended solids level as a result of sediment-laden surface runoff, as well as increase in turbidity level. Wastewater will be generated from construction workforce, and superstructure works. Also accidental spillage of fuel, oil and lubricants may occur from construction vehicles and other equipment.
- 6.6 During construction, no direct discharge without treatment of construction site runoff from the construction site will be allowed. The good practice given in the Practice Notes for Professional Persons on “Construction Site Drainage” (ProPECC PN2/24) in controlling water pollution at construction site shall be implemented during the construction phase of the proposed Development. Soil erosion from the construction site can be minimised through good on-site management practices by implementing viable erosion control measures which should be incorporated in contract clauses. Construction site runoff shall be collected and treated through screening facilities before discharge into the nearby storm drains, and the discharge shall comply with the terms and conditions of the discharge licence to be issued under the WPCO.
- 6.7 The main practices provided in the above-mentioned document (i.e. ProPECC PN2/24) are also summarised in the following paragraphs which should be enforced to prevent unacceptable construction stage impacts and for compliance with the statutory criteria:-

Construction Site Runoff

- Exposed soil surfaces should be protected from rainfall through, for example, by covering temporarily exposed slope surfaces or stockpiles with tarpaulin and protect temporary access roads by crushed stone or gravel;
- Exposed soil areas should be minimised to reduce the potential for increased siltation and contamination of runoff;

-
- Minimise the time that soil surfaces are exposed;
 - Slow down water run-off flowing across exposed soil surfaces;
 - Channels, earth bunds or sand bag barriers should be provided on site to properly direct surface runoff through drainage systems;
 - Oil interceptors are also recommended to be provided for stormwater drains near plant maintenance/ repair areas, where necessary;
 - Manholes (including newly constructed ones) should be adequately covered or temporarily sealed so as to prevent slit, construction materials or debris from getting into the drainage system;
 - Construction works should be programmed to minimise soil excavation works where practicable during rainy conditions;
 - Drainage facilities must be adequate for the controlled release of storm flows;
 - Sedimentation basins and sand traps designed in accordance with the requirements of ProPECC Note PN2/24 should be installed at the construction site for collecting surface runoff. Perimeter channels at site boundaries should be provided where necessary to intercept surface runoff from outside the site. Silt removal facilities, channels and manholes should be maintained and deposited silt and grit should be removed regularly;
 - There should be no direct discharge without treatment of construction site runoff into the nearby streams and public drains;
 - The Contractor shall prepare a construction site drainage management plan with details of the construction phase drainage system proposed to be constructed; discharge location(s); and screening facilities; and
 - The Contractor shall apply for a discharge licence under the WPCO and the discharge shall comply with the terms and conditions of the licence throughout the construction phase.

Wastewater from Construction Site

- Sewage generated from the construction workforce should be contained by chemical toilets before connection to public foul sewer can be provided. The number of chemical toilets required would be subject to the capacity of the chemical toilets, and contractor's practices/ work programme. The Contractor(s) will be required to provide an estimation on the amount of sewage to be generated and to provide sufficient number of chemical toilets for construction workers. The chemical toilets should be serviced and cleaned by a specialist contractor at regular intervals. No discharge of sewage into nearby environment will be allowed during construction stage;

- Canteen facilities are not expected. However, in case canteen is required, foul water from canteens on-site, if any, should also be contained by sewage holding tank before connection to public foul sewer can be provided. Wastewater collected from canteen kitchens, should be treated via grease traps and contained by sewage holding tanks, and collected by a licensed contractor regularly;
- Vehicle wheel washing facilities should be provided at site exit such that mud, debris, etc. deposited onto the vehicle wheels or body can be washed off before leaving the site area;
- Section of construction road between the wheel washing bay and public road should be paved with backfill to reduce vehicle tracking of soil and to prevent site run-off from entering public road drains; and
- If bentonite is used, bentonite slurry should be reconditioned and reused as far as practicable. Spent bentonite should be kept in a separate slurry collection system for disposal at a marine spoil grounds subject to obtaining a marine dumping licence from EPD. If used bentonite slurry is to be disposed of through public drainage system, it should be treated to the respective effluent standards applicable to foul sewers, storm drains or the receiving waters as set out in the WPCO Technical Memorandum on Effluent Standards in accordance with ProPECC PN2/24.

Oils and Solvents

- Spillage of fuel oils or other polluting fluids should be prevented at source. It is recommended that all stocks should be stored inside proper containers and sited on sealed area, preferably surrounded by berms, and
- Regular site inspections to ensure the proper implementation of the above measures shall be carried out.
- The contractor should register as a chemical waste producer if chemical wastes would be produced from the construction activities and the Waste Disposal (Chemical Waste) (General) Regulation should be observed and complied.

6.8 With the above proposed construction phase drainage system and recommended pollution control measures in place, no adverse water quality impact during construction phase will be expected.

7. WASTE MANAGEMENT ASSESSMENT

7.1 The principal legislation controlling waste materials in Hong Kong which are relevant to this proposed Conversion are:

- Waste Disposal Ordinance (WDO) (Cap. 354);

- Waste Disposal (Chemical Waste) (General) Regulation; and
- Waste Disposal (Charges for Disposal of Construction Waste) Regulation.

Waste Management during Operation Phase

- 7.2 It is anticipated that general refuse will be generated during operation of the proposed Development. General refuse will be generated by guests during the operation of the proposed Development.
- 7.3 With the commercial nature and small scale of the proposed Development, the amount of general refuse to be generated during operation phase is estimated to be minimal. Standard refuse handling approach that is widely adopted in other residential development and commercial sites that is required by the government e.g. provision of refuse collection and storage facility as required under the Building Ordinance, will be adopted for the provision of facility for handling and disposal of collected waste. Refuse should be properly collected and stored at a designated location, and collection of waste will be arranged by a licensed contractor on regular basis. Other measures for instance, set up of recycling bins and recycling point shall be adopted to encourage segregation and recycling of aluminum and plastic wastes, and wastepaper in order to reduce general refuse generation.

Waste Management during Construction Phase

- 7.4 Due to the small scale of construction site, the construction activities are minimal and the generated waste would be limited. The construction activities will generate waste materials requiring appropriate management and disposal. Likely range of waste types includes:-
- C&D materials due to demolition;
 - General refuse generated by the workforce; and
 - Chemical and oily wastes due to maintenance of equipment.

- 7.5 The general waste management strategy is to avoid waste generation in the first place. If that is unavoidable, source reduction and segregation should be exercised as far as practicable and at the same time, recycling and reuse should be adopted to salvage as much as possible all the recyclable and reusable materials. The following paragraphs provide a general waste management approach as well as good practices for waste management.

Construction and Demolition (C&D) Materials

- 7.6 On-site sorting of construction wastes will be recommended. On-site sorting can be

achieved by avoiding the generation of “mixed waste” through good site control.

- 7.7 Waste generated by construction activities should be sorted into inert C&D materials and non-inert C&D materials. The inert C&D materials which usually comprises soil, rock, concrete, brick, cement plaster/ mortar, inert building debris, aggregates shall be reused in earth filling, reclamation or site formation works as far as possible. The non-inert C&D materials which comprises metal, timber, paper, glass, junk and general garbage shall be reused or recycled as far as practicable and, as the last resort, disposal of at landfills. On the other hand, it should explore other disposal method such as the timber and woody materials to the Yard Waste Recycling Centre in Y-Park for recycling prior to disposal at the designated landfill site, to minimise the quantity sent to landfill disposal.
- 7.8 Construction wastes shall be sorted, with the inert C&D materials broken up into small pieces for disposal at public fill, reception facility, and the non-inert C&D materials should be disposal of at landfill.

General Refuse

- 7.9 The workforce during construction phase would generate general refuse comprising food scraps, wastepaper, empty containers, etc. As the proposed Development only involves minor demolition and superstructural works, it has been estimated that the quantity of general refuse would be limited. The exact number of construction workers and quantity of general refuse to be generated will be subject to later detailed design stage. The following general waste management practices are proposed to minimise the amount of general refuse generated during construction phase.
- 7.10 Release of general refuse into the nearby storm drain should not be permitted. Effective collection of site wastes would be required to prevent waste materials being blown around by wind, flushed or leached into the surrounding environment.
- 7.11 Recyclable materials (i.e. paper, plastic bottles and aluminum cans) should be separated from other materials for recycling, in order to reduce the amount of general refuse to be disposed of at landfill. Adequate number of enclosed waste containers should be provided to avoid over-spillage of waste. The non-recyclable refuse should be placed in bags, stored in enclosed containers, and disposed of at designated landfill on a daily basis.

Chemical Waste

- 7.12 Chemical and oily wastes generated from the construction activities, vehicle and plant maintenance should be handled and disposed as chemical waste in strict compliance

with the Waste Disposal (Chemical Waste) (General) Regulations and the Code of Practice on the Packaging, Labelling and Storage of Chemical Wastes. The Contractor should be required to register with the EPD as a Chemical Waste Producer. It is recommended to avoid undertaking maintenance of equipment on-site as far as possible in order to avoid generation of chemical waste. In case chemical waste is generated, the quantity of chemical waste arising from the project site is expected to be a few litres per month. The chemical waste should be collected by licensed chemical waste collectors and disposal of at licensed waste disposal facilities such as Chemical Waste Treatment Centre (CWTC). Provided that the handling, storage and disposal of chemical wastes are in accordance with these requirements, adverse environmental impacts are not expected.

8. CONCLUSION

- 8.1 The proposed Development would not have planned fixed noise sources and air emission sources, adverse noise and air impacts during operation phase are not anticipated. With the implementation of the relevant guidelines, adverse noise and air impacts during construction phase are not anticipated.
- 8.2 With the implementation of recommended measures, no adverse water quality impacts would rise due to the proposed Development.
- 8.3 With the implementation of control measures of waste management, adverse waste management implication is not anticipated during construction and operation phases.
- 8.4 The RPCC will be referenced to implement suitable mitigation measures and good site practice to minimize the potential environmental impact during construction stage of the proposed Development.



**Westwood Hong &
Associates Ltd**

PROJECT: 22626

Proposed Amendments
to the Approved Scheme
at Lot Nos. 1857 S.A,
1857 RP, 1858, 1859,
and Adjoining
Government Land in
D.D.129, Wan Fau Sin
Koon, Lau Fau Shan,
New Territories



TITLE:

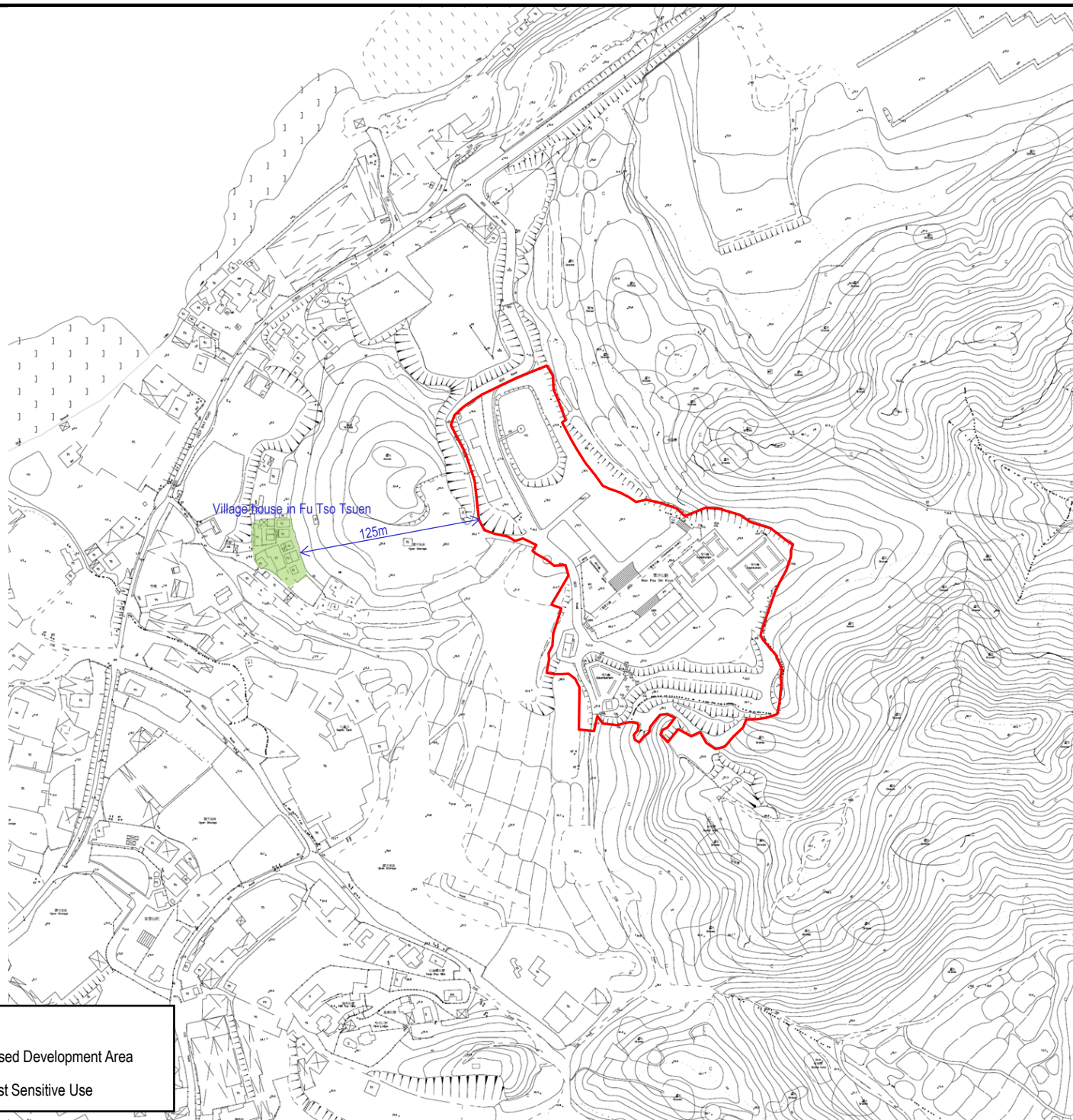
**Site Location
and Nearest
Sensitive
Receiver**

FIGURE

1

Legend

-  Proposed Development Area
-  Nearest Sensitive Use



Appendix 4

Geotechnical Planning Review Report



Redevelopment of Wan Sin Koon LOT Nos. 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land STT1345 Lau Fau Shan, Yuen Long

Geotechnical Planning Review Report

2025-08-13



Document distribution

Redevelopment of Wan Sin Koon LOT Nos. 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land STT1345 Lau Fau Shan, Yuen Long

Geotechnical Planning Review Report

2025-08-13

Prepared by

WSP
7/F ONE KOWLOON
1 WANG YUEN STREET
KOWLOON BAY, HONG KONG
T +852 2579 8899

Quality control	Name	Date	Signature
Prepared by:	Larry Yeung	2025-08-13	
Reviewed by:	Terrence Tse	2025-08-13	
Approved by:	Paul Yau	2025-08-13	

Revisions

Rev	Date	Details
-	2025-08-13	1 st Submission

Table of contents

1.	Introduction	5
2.	Description of the site	6
2.1	Site Location	6
2.2	Topographic Condition	7
2.3	Proposed Redevelopment Plan	7
3.	Desktop Investigation	9
3.1	Geological Survey Map	9
3.2	Geotechnical Area Studies Programme	10
3.3	Existing Features Within and Adjacent to the Redevelopment Area	10
3.4	Natural Terrain	14
3.5	Available Site-Specific Ground Investigation Works	14
4.	Anticipated Geotechnical Works	15
4.1	Proposed Site Formation Works	15
4.2	Assessment Slope Stability for the Slope Within Proposed Redevelopment	16
5.	Conclusion	18

Table 3.1	Summary of Existing Features Within the Redevelopment Area	11
Table 3.2	Summary of Existing Features Without the Redevelopment Area	13
Table 4.1	Summary of proposed slope/retaining wall works to be carried out in site formation	15

Figure 2.1	1:5000 topographical map	6
Figure 2.2	Site Location Layout Plan with adjacent Buildings/roads	7
Figure 2.3	Proposed Development Scheme	8
Figure 3.1	Part Plan of The Hong Kong Geological Survey Map, Sheet 2 (scale 1:20,000)	9
Figure 3.2	Part Plan of the GLUM – North West New Territories	10
Figure 3.3	Location plan of Registered Features	14
Figure 4.1	Location of proposed slope/retaining wall works to be carried out	16



Appendix A – SIS Records

Appendix B – Latest Architectural Drawings

1. Introduction

WSP Hong Kong Ltd. is appointed as the Geotechnical and Civil Engineering consultant for the Redevelopment of Wan Fau Sin Koon Lot Nos. 1857 S.A., 1857 RP, 1858, 1859 and Adjoining Government Land STT1345 in DD129 Lau Fau Shan at Yuen Long.

The proposed redevelopment includes 6 single-story Columbarium blocks/halls, 3 eco-joss paper furnaces, an ancillary toilet block and an office.

This report is a geotechnical planning review report to provide the preliminary planning review in geotechnically aspects based on the findings of the visual survey; the available existing information obtained from the relevant government departments and available ground investigation.

2. Description of the site

2.1 Site Location

The proposed redevelopment (The Site) is located at Wan Fau Sin Koon, Lau Fau Shan, Yuen Long. It consists of five lots including lot nos. 1857 S.A., 1857 RP, 1858 and 1859 and adjoining government land STT1345 in DD129 Lau Fau Shan at Yuen Long. Wan Fou Sin Koon is located along Deep Bay Road in Lau Fau Shan, Yuen Long District. The site lies at the toe of a gently sloping hillside, with terrain rising prominently from the northeast to the south ranging from 16.1mPD to 31.8mPD, where it is enveloped by the vegetated slopes of Lam Hang Shan.

The site has a total of about **32,554.56m²**. The surrounding area is characterized by abundant mature trees, dense greenery, and patches of gravelled ground, forming a natural buffer around the site. To the southeast of the site, there is an open storage area.

The 1:5000 topographical map and site location plan with adjacent buildings/roads are shown in **Figure 2.1 & 2.2** respectively.

Figure 2.1 1:5000 topographical map

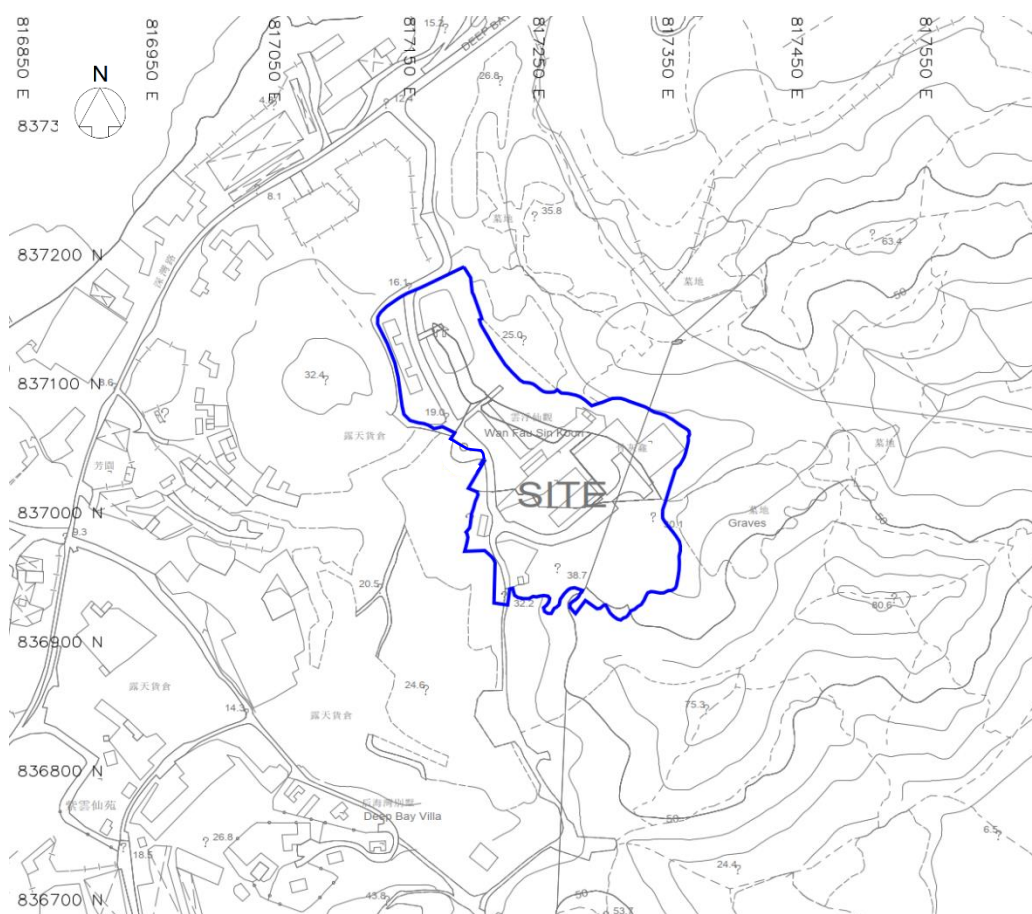
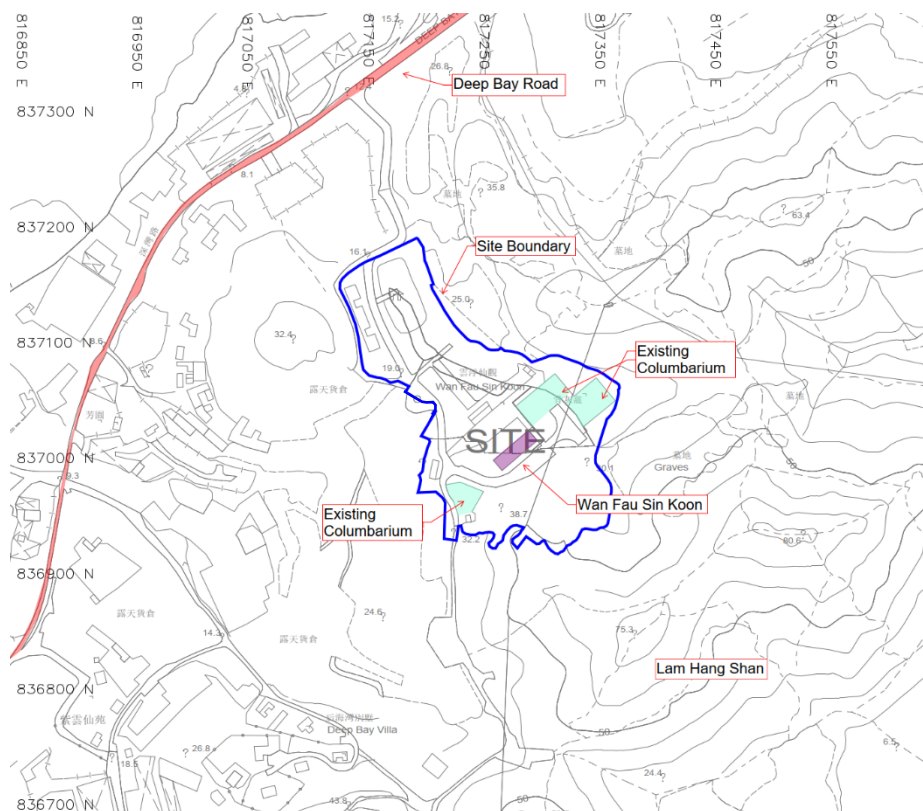


Figure 2.2 Site Location Layout Plan with adjacent Buildings/roads



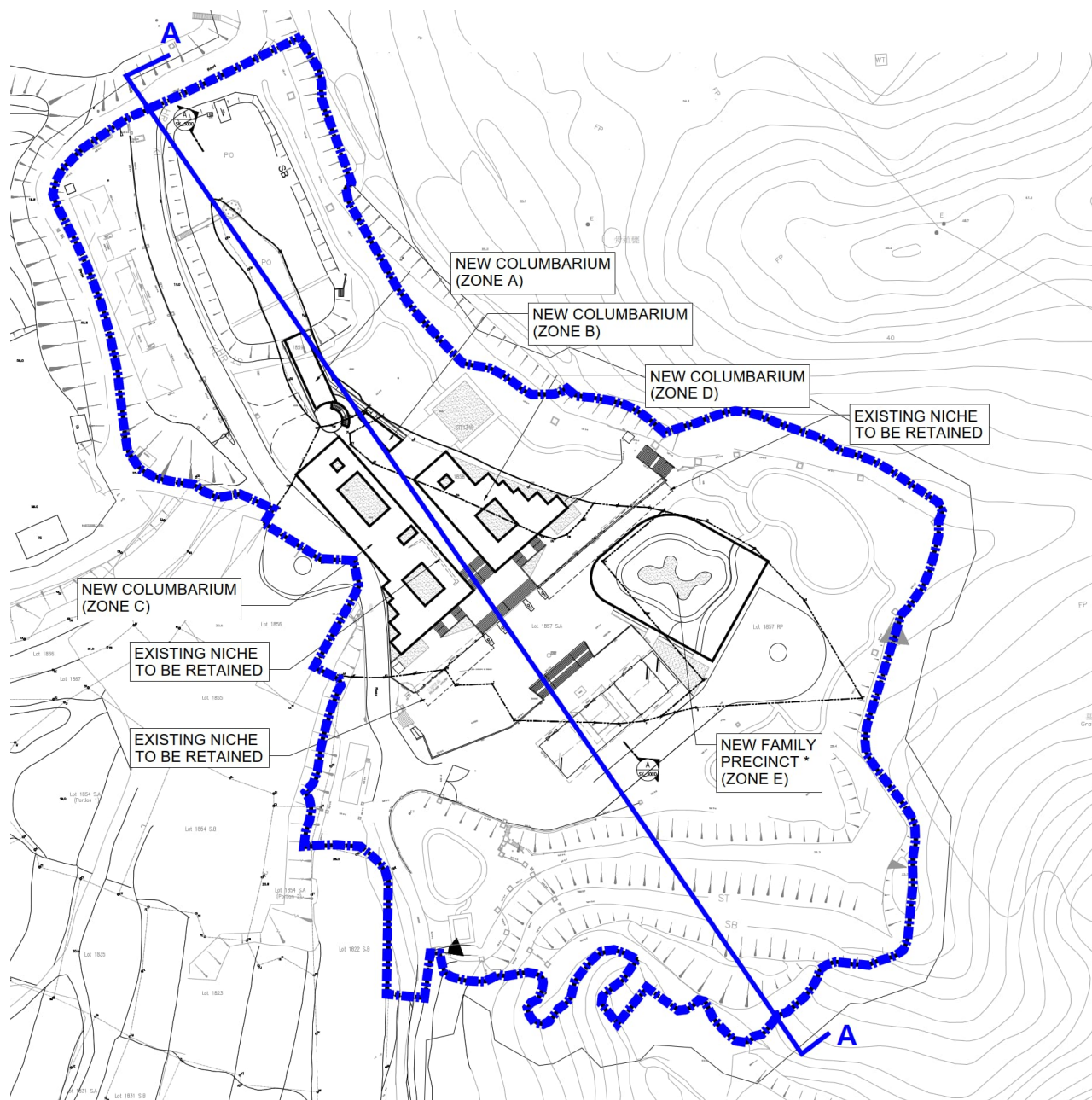
2.2 Topographic Condition

The topography of the site is at the level varying from about +48mPD (Lam Hang Shan Side) at Southern Site Boundary to +16mPD (Deep Bay Road Side) inside the Site Boundary.

2.3 Proposed Redevelopment Plan

The proposed layout plan which shown in **Figure 2.3** depicts a columbarium complex, showcasing a thoughtfully organized layout with multiple designated areas. These include four new columbarium blocks labelled A, B, C, and D, as well as a dedicated family precinct named Columbarium E. An existing niche area is marked for retention, indicating integration of old and new structures.

Figure 2.3 Proposed Development Scheme

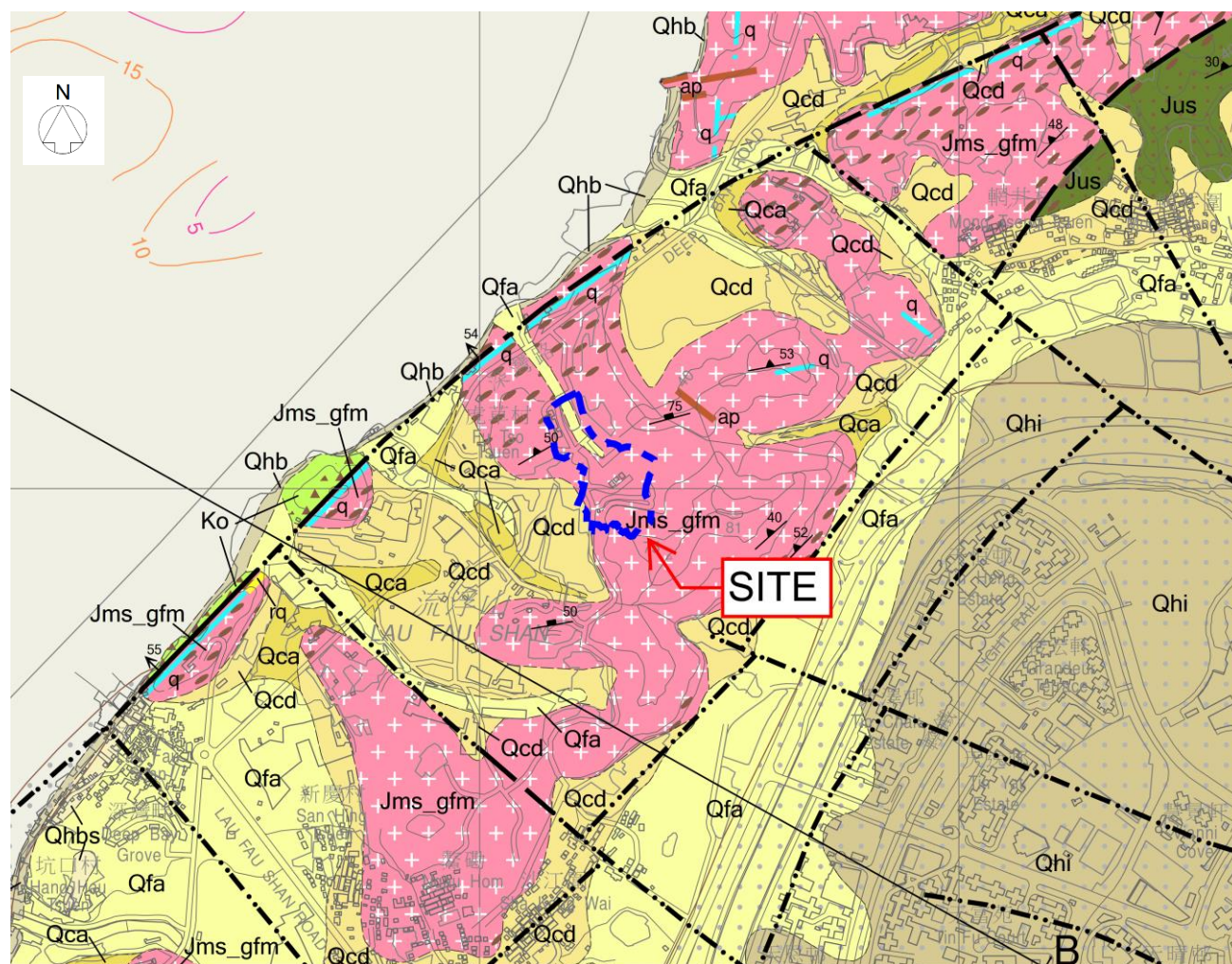


3. Desktop Investigation

3.1 Geological Survey Map

The Hong Kong Geological Survey Map, Sheet 11 (scale 1:20,000) Solid and Superficial Geology of Hong Kong and Kowloon published by the Geotechnical Control Office (GCO, 2012) indicates that the site situated at debris flow deposits (Qpd) and undivided, Clay, slit, sand and gravel well-sorted to semi-sorted Alluvium (Qfa), Slit, sand, gravel and boulders Alluvium (Qca), phyllite, metasiltstone with metasandstone and graphite schist (Mai Po Member), Equi granular to inequigranular fine to medium grained two mica granite (Tsing Shan Granite_Jms_gfm). Part Plan of geological map is presented in below and provided in **Figure 3.1**.

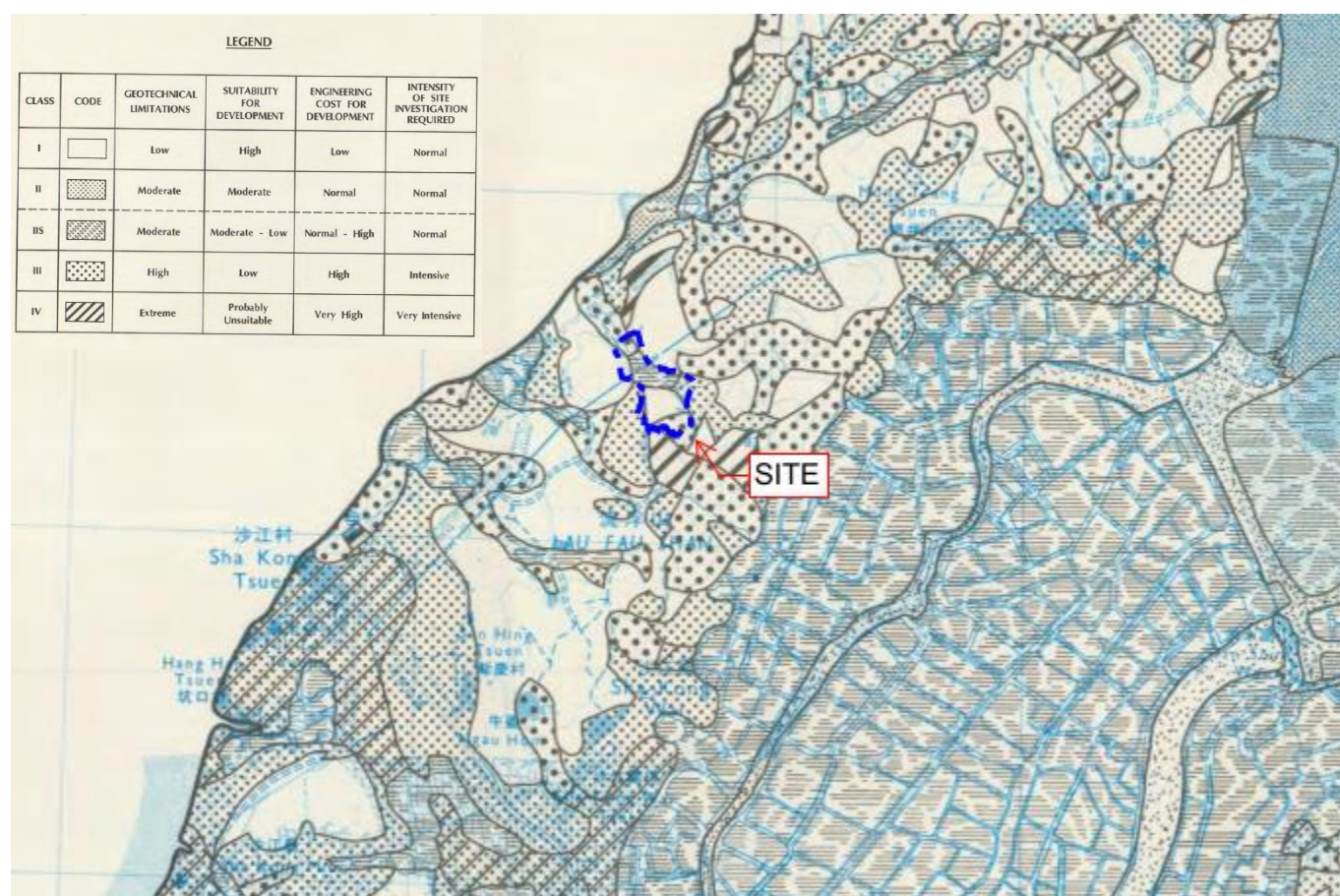
Figure 3.1 Part Plan of The Hong Kong Geological Survey Map, Sheet 2 (scale 1:20,000)



3.2 Geotechnical Area Studies Programme

In accordance with the Geotechnical Land Use Map (GLUM) (Ref. No. GASP/20/1/1 2nd Edition) in Geotechnical Area Studies Programme (GASP) Report IV – Hong Kong and Kowloon (1987) issued by CEDD, the terrain in proposed site can be classified as Class I to III. (low to high geotechnical limitations). With reference to cl. 4.1.3 of the report, GLUM Class III terrain is expected to require High geotechnical investigation, and the costs associated with site investigation, site formation, foundation and drainage work will probably be high for the north part of site and lower cost for the south part. Part plan of the relevant GLUM is presented in below and provided in **Figure 3.2**.

Figure 3.2 Part Plan of the GLUM – North West New Territories



3.3 Existing Features Within and Adjacent to the Redevelopment Area

There are 22 registered slope features within or in the vicinity of the proposed site. The location of these features is shown on attached **Figure 3.3**. Records of registered slope features, maintenance responsible lot/party, and stability statement or upgrading works are summarized in **Table 3.1**. Relevant information on the existing slopes and retaining walls feature retrieved from Slope Information System (SIS) is enclosed in **Appendix A**.

Table 3.1 Summary of Existing Features Within the Redevelopment Area

Feature Nos.	Responsible Lot / Party	Past Stability Check	Proposed Work(s)
# 2SW-C/C 50	STT1345 / Lands D	Checked by GEO under site formation and drainage works of private development (BD ref. no. 6/9137/03), no robust slope upgrading works had been carried out. consequence-to-life (CTL) Category 3.	Slope stability assessment will be carried out to ensure on effect to the proposed development.
# 2SW-C/C 63	DD129 LOT 771 / STT1345 / Lands D	Checked by GEO under site formation and drainage works of private development (BD ref. no. 6/9137/03), no robust slope upgrading works had been carried out. consequence-to-life (CTL) Category 3.	Slope stability assessment will be carried out to ensure on effect to the proposed development.
# 2SW-C/C 64	STT1345 / Lands D		
# 2SW-C/C 66	DD129 LOT 1855 / DD129 LOT 1857 S.A/ Lands D	No past checking record, consequence-to-life (CTL) Category 3.	Retaining wall /Slope feature will be modified in proposed site formation work; slope stability assessment will be required.
# 2SW-C/C 67	DD129 LOT 1854A / DD129 LOT 1822B / STT1345 / Lands D	The northern slope portion 4 had been formed by Cement fill under site formation and drainage works of private development (BD ref. no. 6/9137/03), no robust slope upgrading works had been carried out. consequence-to-life (CTL) Category 1.	Slope stability assessment will be carried out to ensure on effect to the proposed development.
# 2SW-C/C 68	STT1345 / Lands D	Checked by GEO under site formation and drainage works of private development (BD ref. no. 6/9137/03), no robust slope upgrading works had been carried out. consequence-to-life (CTL) Category 1	
# 2SW-C/C 93	STT1345 / Lands D	'Miramat' erosion control mat and hydroseeding had been provided on slope but no robust slope upgrading works.	Slope stability assessment will be carried out to ensure on effect to the

Feature Nos.	Responsible Lot / Party	Past Stability Check	Proposed Work(s)
		Checked by GEO under site formation works of private development (BD ref. no. 6/9137/03). consequence-to-life (CTL) Category 3.	proposed development.
# 2SW-C/C 96	Lands D	No past checking record, consequence-to-life (CTL) Category 3.	
# 2SW-C/C 97	STT1345 / Lands D	Slope upgrading works by installation of soil nails had been done on western portions under site formation and drainage works of private development (BD ref. no. 6/9137/03). consequence-to-life (CTL) Category 3.	
# 2SW-C/C 98	STT1345 / Lands D		
# 2SW-C/C 99	STT1345 / Lands D	No past checking record, consequence-to-life (CTL) Category 3.	
# 2SW-C/CR 101	STT1345 / Lands D	Slope upgrading works by installation of soil nails had been done on western portions under site formation and drainage works of private development (BD ref. no. 6/9137/03). Stage 2 Report is founded for the slope upgrading works. consequence-to-life (CTL) Category 2	
# 2SW-C/F 10	DD129 LOT 1859 / STT1345 / Lands D	No past checking record, consequence-to-life (CTL) Category 3.	Retaining wall /Slope feature will be modified in proposed site formation work; slope stability assessment will be required.
** 2SW-C/F 11	STT1345 / Lands D		Slope stability assessment will be carried out to ensure on effect to the proposed development.
** 2SW-C/F 12	STT1345 / Lands D		

Feature Nos.	Responsible Lot / Party	Past Stability Check	Proposed Work(s)
# 2SW-C/R 4	DD129 LOT 1857 S.A / STT1345 / Lands D		Retaining wall /Slope feature will be modified in proposed site formation work; slope stability assessment will be required.
# 2SW-C/R 11	DD129 LOT 1857 S.A / STT1345 / Lands D		

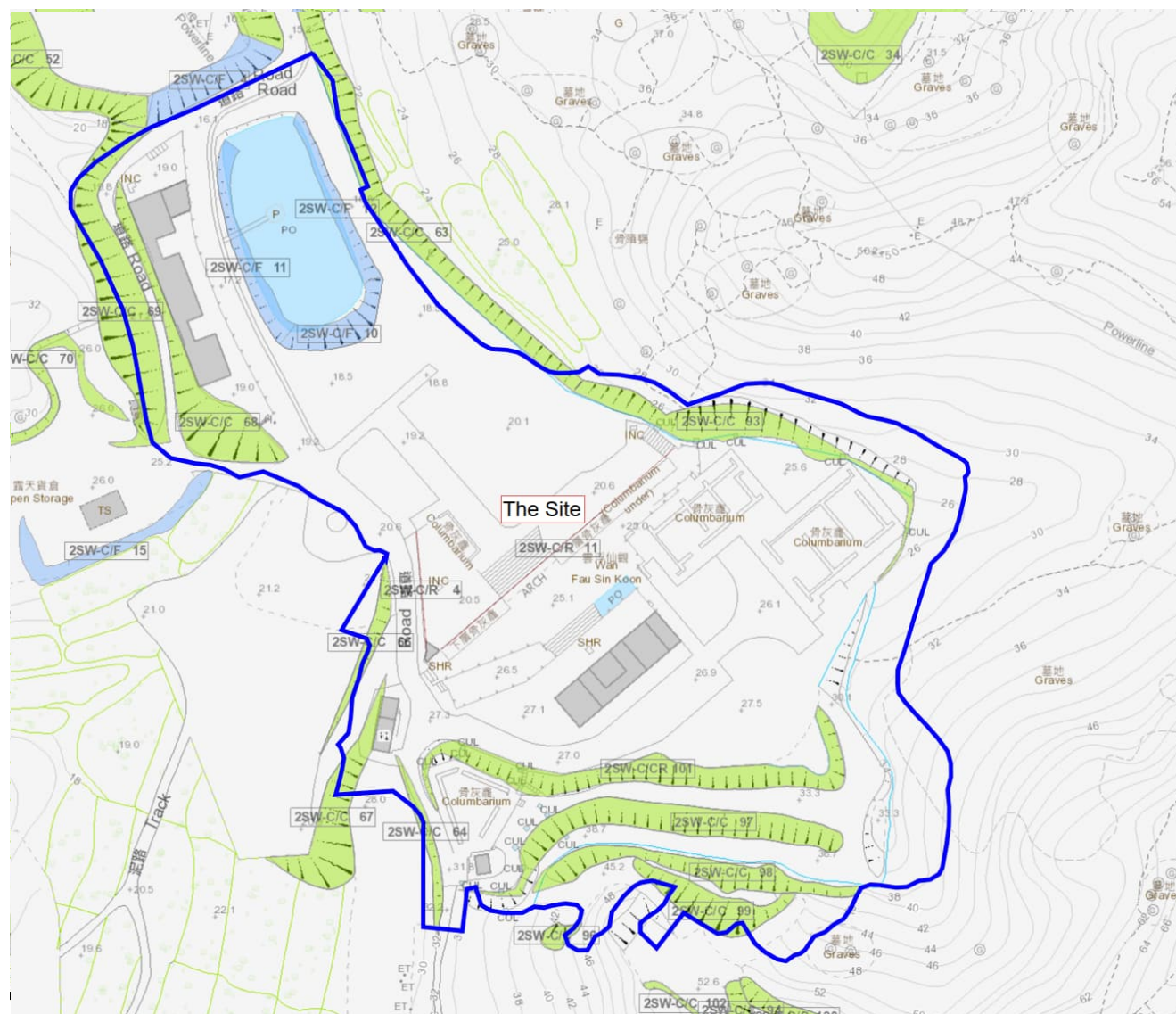
For the existing feature located within the site and will be modified by the proposed development

** For the existing feature within the site but no modified by the proposed development

Table 3.2 Summary of Existing Features Without the Redevelopment Area

Feature Nos.	Responsible Lot / Party	Past Stability Check	Proposed Work(s)
2SW-C/C 51	Lands D	No past checking record, consequence-to-life (CTL) Category 3.	Slope stability assessment may not be required due to no propose works & on change of CTL.
2SW-C/C 52	Lands D		
2SW-C/C 69	DD129 Lot1862 / Lands D	No past checking record, consequence-to-life (CTL) Category 3.	Slope stability assessment may not be required due to no propose works & on change of CTL.
2SW-C/F 4	Lands D	No past checking record, consequence-to-life (CTL) Category 3.	Slope stability assessment may not be required due to no propose works & on change of CTL.
2SW-C/F 15	DD129 Lot1862 / Lands D		Slope stability assessment may not be required due to no propose works & on change of CTL.

Figure 3.3 Location plan of Registered Features



3.4 Natural Terrain

The site is mainly surrounded by the man-made features and no natural terrain hazard to the site is considered since the proposed redeveloped plan is classified group 4 facility of columbarium, which does not require natural terrain hazard study as per GEO Report No.138.

3.5 Available Site-Specific Ground Investigation Works

Previous ground investigation works were carried out by Wai Tat Foundation & Engineering Limited (2007), The Boring Engineering Limited (2011), Vibro (H.K.) Limited (2015), Further ground investigation works had been carried out by Avance Engineering (HK) Ltd (2023).

Based on the available information, the preliminary typical geological section showing soil / rock profile is shown in **Figure 3.4**. The tentative grade III rockhead level varies from about -7 mPD to +44 mPD.

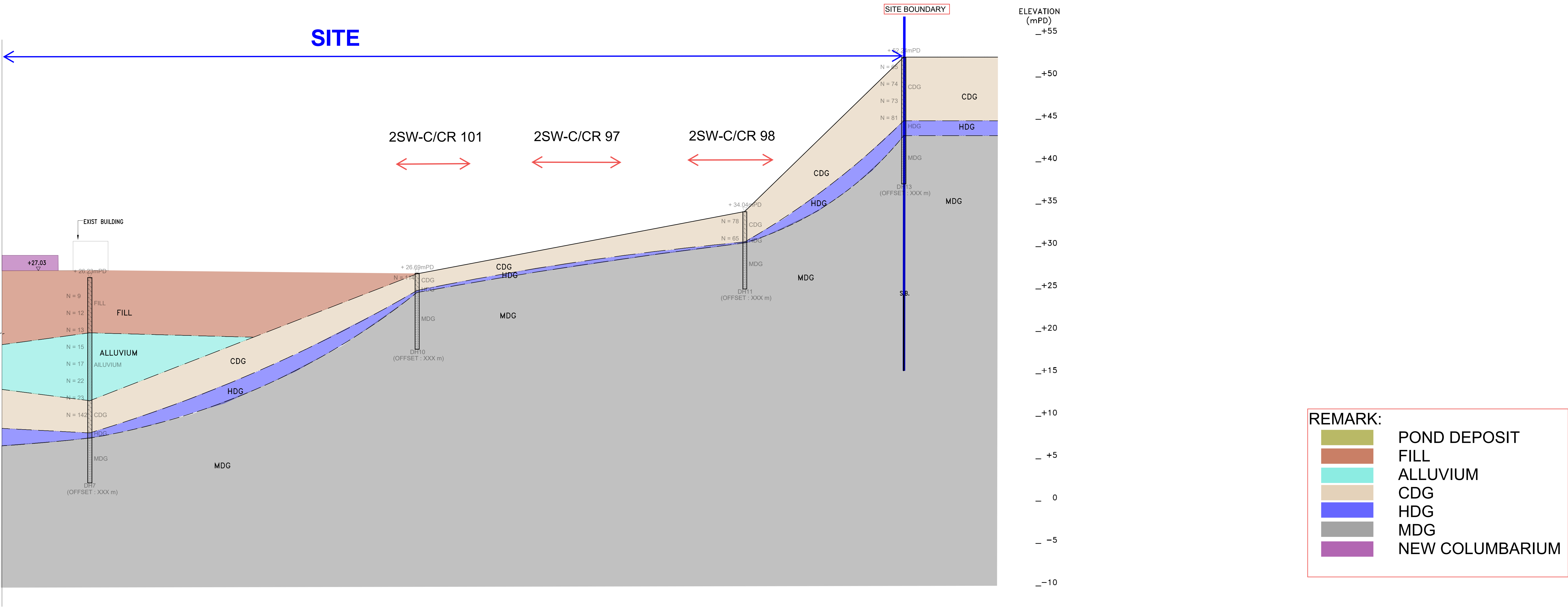
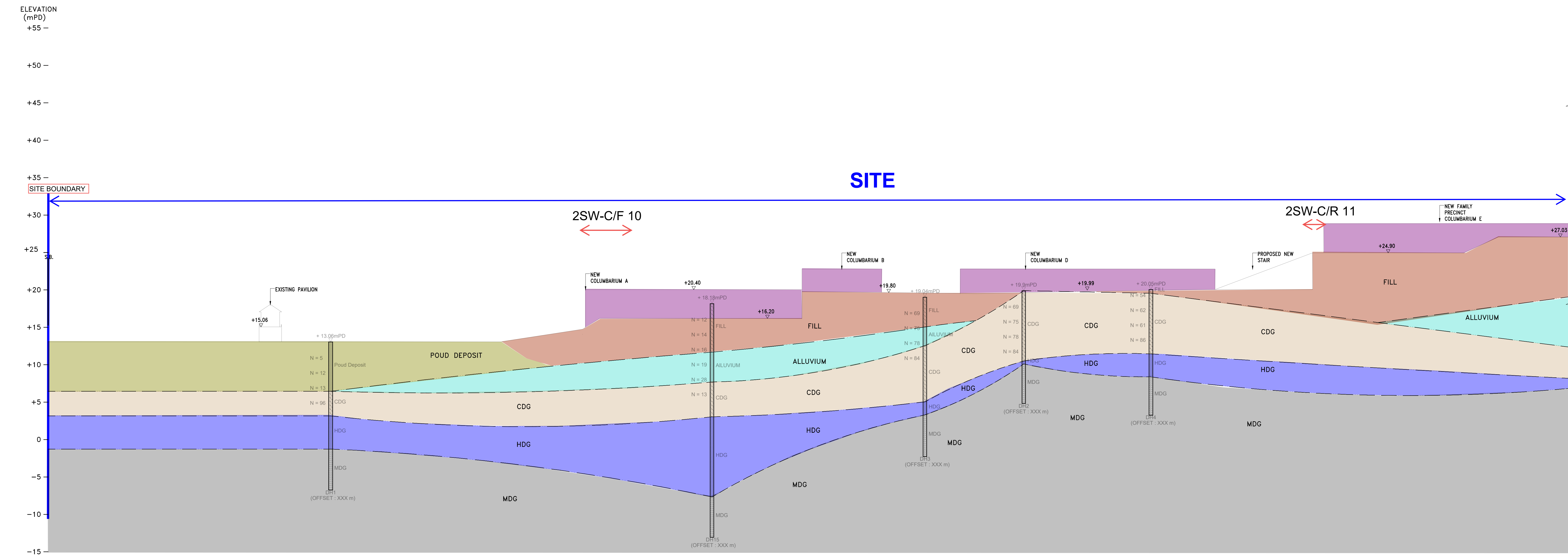


Figure 3.4 Typical Geological Section

4. Anticipated Geotechnical Works

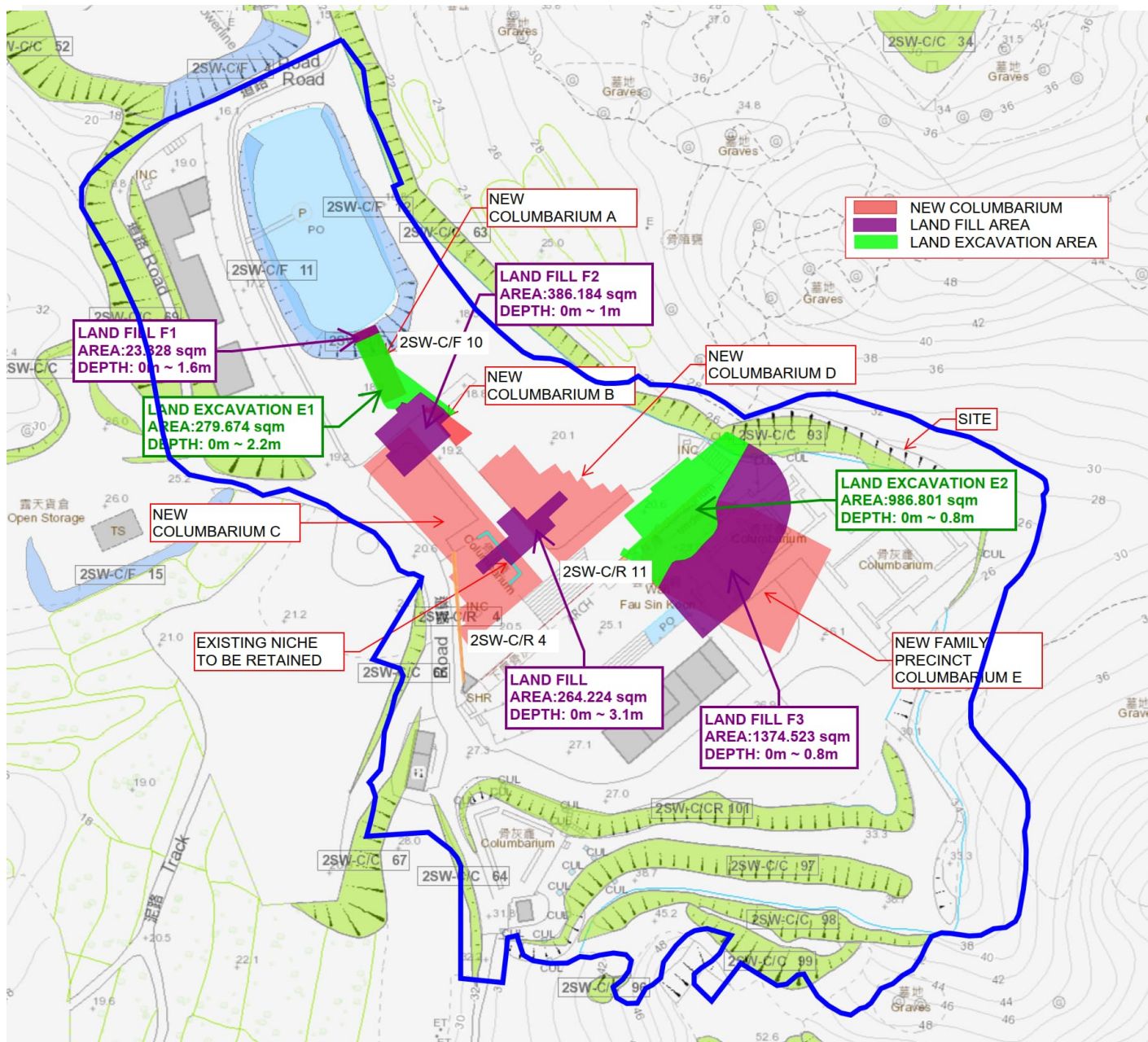
4.1 Proposed Site Formation Works

Based on the proposed redevelopment plan attached in Appendix B, site formation works including slope / retaining wall removal / modification shall be carried out to cater for any ground level difference alongside or within the site. The permanent retaining structures such as Solider pile wall, L-shaped R.C. retaining wall are anticipated. **Table 4.1** and **Figure 4.1** shows the proposed slope/retaining wall works to be carried out.

Table 4.1 Summary of proposed slope/retaining wall works to be carried out in site formation

Feature Nos.	Responsible Lot / Party	Proposed Works in this planning
2SW-C/F 10	DD129 LOT 1859 / STT1345 / Lands D	Retained and part of the slope feature to be filled and excavated in site formation work
2SW-C/R 4	DD129 LOT 1857 S.A / STT1345 / Lands D	Retained and part of the retaining wall feature to be modified in site formation work
2SW-C/R 11	DD129 LOT 1857 S.A / STT1345 / Lands D	Retained and part of the retaining wall feature to be removed in site formation work
2SW-C/C 66	DD129 LOT 1855 / DD129 LOT 1857 S.A/ Lands D	Retained and part of the slope feature to be modified in site formation work
2SW-C/C 93	STT1345 / Lands D	Retained and part of the slope feature to be filled and excavated in site formation work

Figure 4.1 Location of proposed slope/retaining wall works to be carried out



Stability assessment and improvement works will be required for the remain features with marginal stability conditions to meet current safety standards. The stability of the affected features will be checked in the detailed design stage.

Upon completion of the permanent site formation work, the modified features or newly formed features shall be registered, and maintenance manual shall be prepared to the owner for maintenance purpose. All removed features shall require deregistration.

Safety measures and monitoring scheme will be provided along the site to ensure safety of pedestrians and adjacent facilities from construction hazards.



site will be assessed to ensure meeting with current safety standards. If any slope features are found not meeting current standard, slope upgrading works will be proposed, subject to detailed design considerations.

5. Conclusion

Based on the available information, it is considered that the proposed redevelopment is geotechnically feasible. The likely involved geotechnical works shall have no adverse effects on the adjacent grounds, slope, retaining wall, underground utilities and structures. All slopes and retaining walls affecting or being affected by the proposed redevelopment plan will be assessed, if necessary, upgrading works will be implemented in detailed design of the proposed building plan.

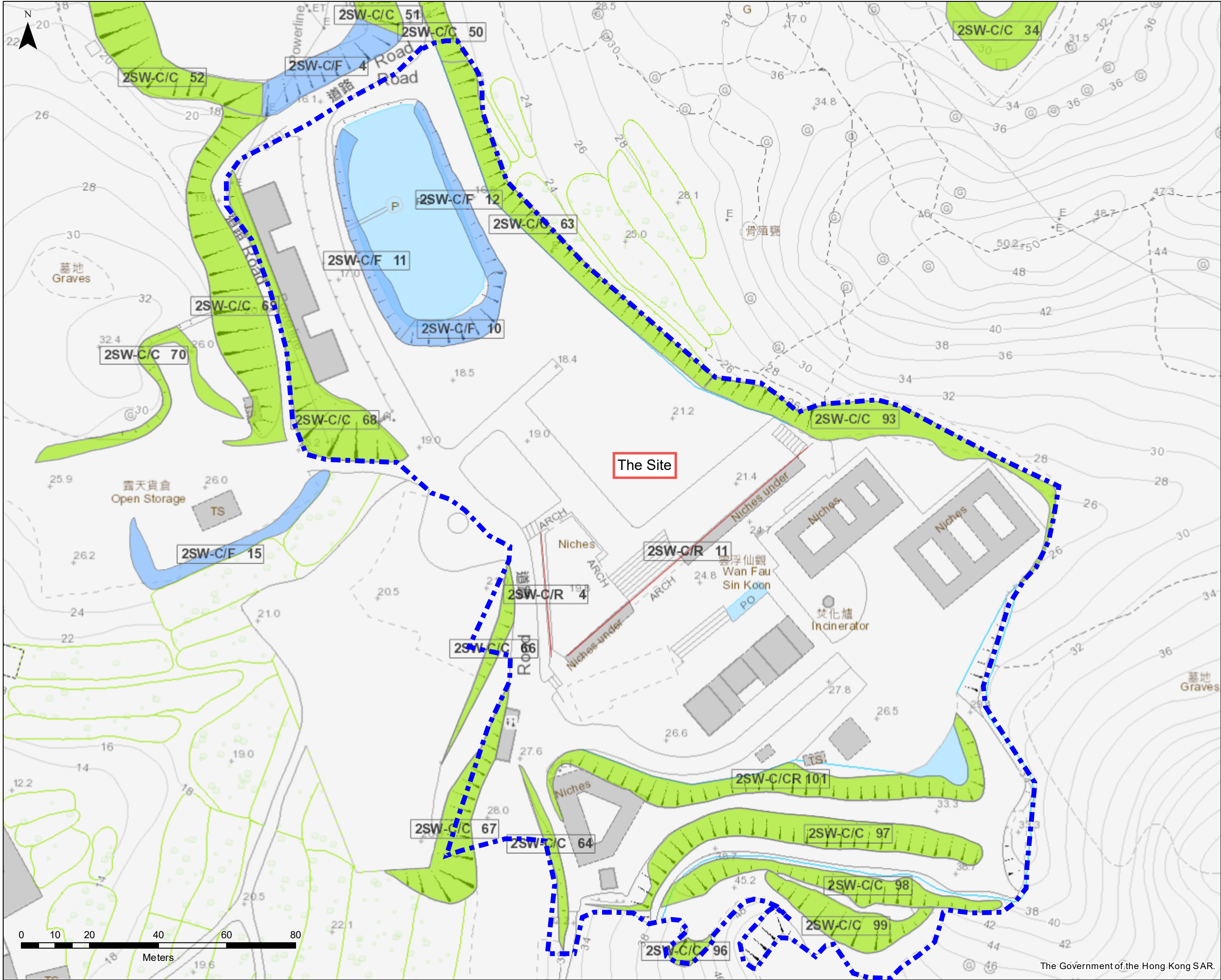


A


SIS Records



Appendix A – SIS Records



- Man-made Features**
- Cut slopes
 - Disturbed terrain
 - Fill slopes
 - NT defence measures
 - NT stabilisation measures
 - Retaining walls
- Slope Features**

Division	
Scale	1:1,000
Date	28/07/2022
 GEOTECHNICAL ENGINEERING OFFICE CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	

BASIC INFORMATION

Location: WAN FAU SIN KOON, LAU FAU SHAN, YUEN LONG

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817220 Northing : 837156

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: District open space

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 4.5 Length (m): 126 Average Angle (deg): 45

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 771	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 09-03-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 40 Vegetated: 60 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3343 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: A 15845 (1988), A 15844 (1988)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 09-03-1998
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1988 After: 1987

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: District open space

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

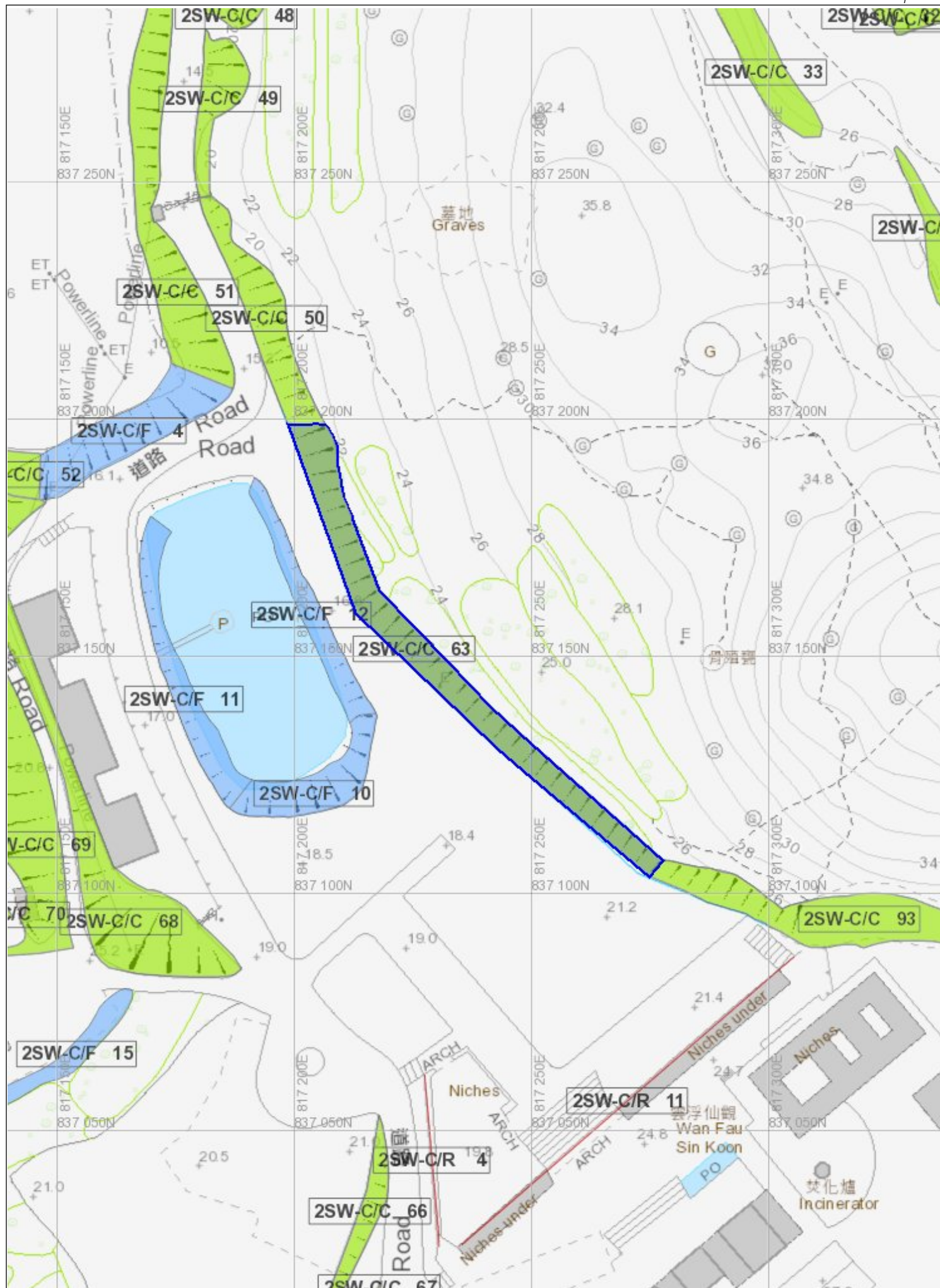
PHOTO



2SW-C/C 63

GENERAL VIEW

F14



BASIC INFORMATION

Location: South of Wan Fau Siu Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: Agreement CE 59/2002 (GE)

Approximate Coordinates: Easting : 817231 Northing : 836968

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: District open space

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 55 Average Angle (deg): 45

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 03-08-2012
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 03-08-2012
(3) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 03-08-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 18-03-2003
Data Source: Agreement CE 59/2002 (GE)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 40 Vegetated: 60 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_1325 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A5
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: CW33565 (2001), CW33566 (2001)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 18-03-2003
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1974 After: 1964

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

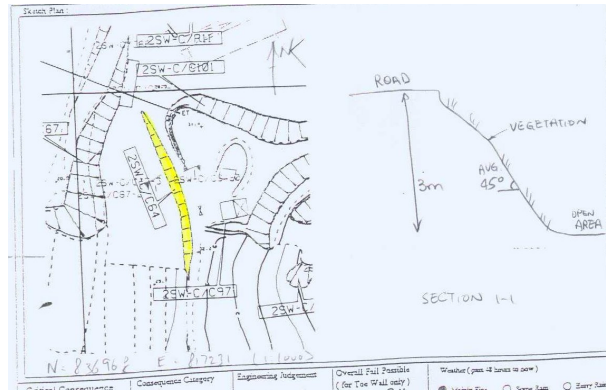
From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On: 18-03-2003

Weather: Mainly Fine

District: MW



Section No: 1-1

Height(m): H1 : 3 , H2 : 0

Type of Toe Facility: District open space

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Sign of Seepage:	Slope : No sign of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : Minor (near crest, mid-portion) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	3
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

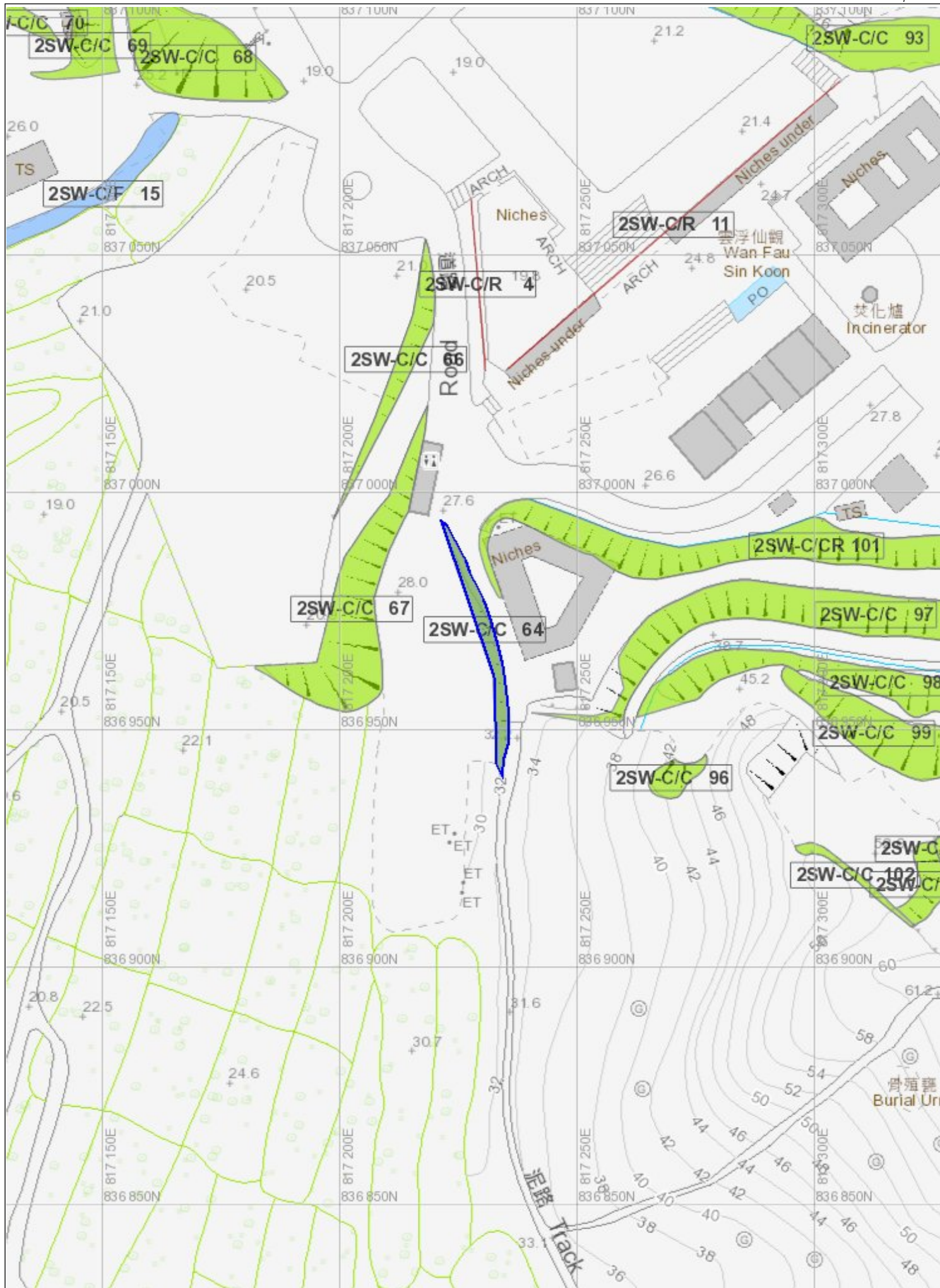
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	N
Action By:	N/A

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/
Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817216 Northing : 837032

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0.5

Facility at Toe: Road/footpath with very low traffic density

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.6 Length (m): 60 Average Angle (deg): 45

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1857 S.A	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 16-06-2021
(2) Sub Div.: 2	Mixed Feature	Party: DD129 LOT 1855	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 16-06-2021
(3) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62,90	MR Endorsement Date: 16-06-2021

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-11-2001
Data Source: EI(Lands D)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_3344 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: A 34472 (1993), A 34473 (1993)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 01-11-2001
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1993 After: 1991

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Road/footpath with very low traffic density

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0.5

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

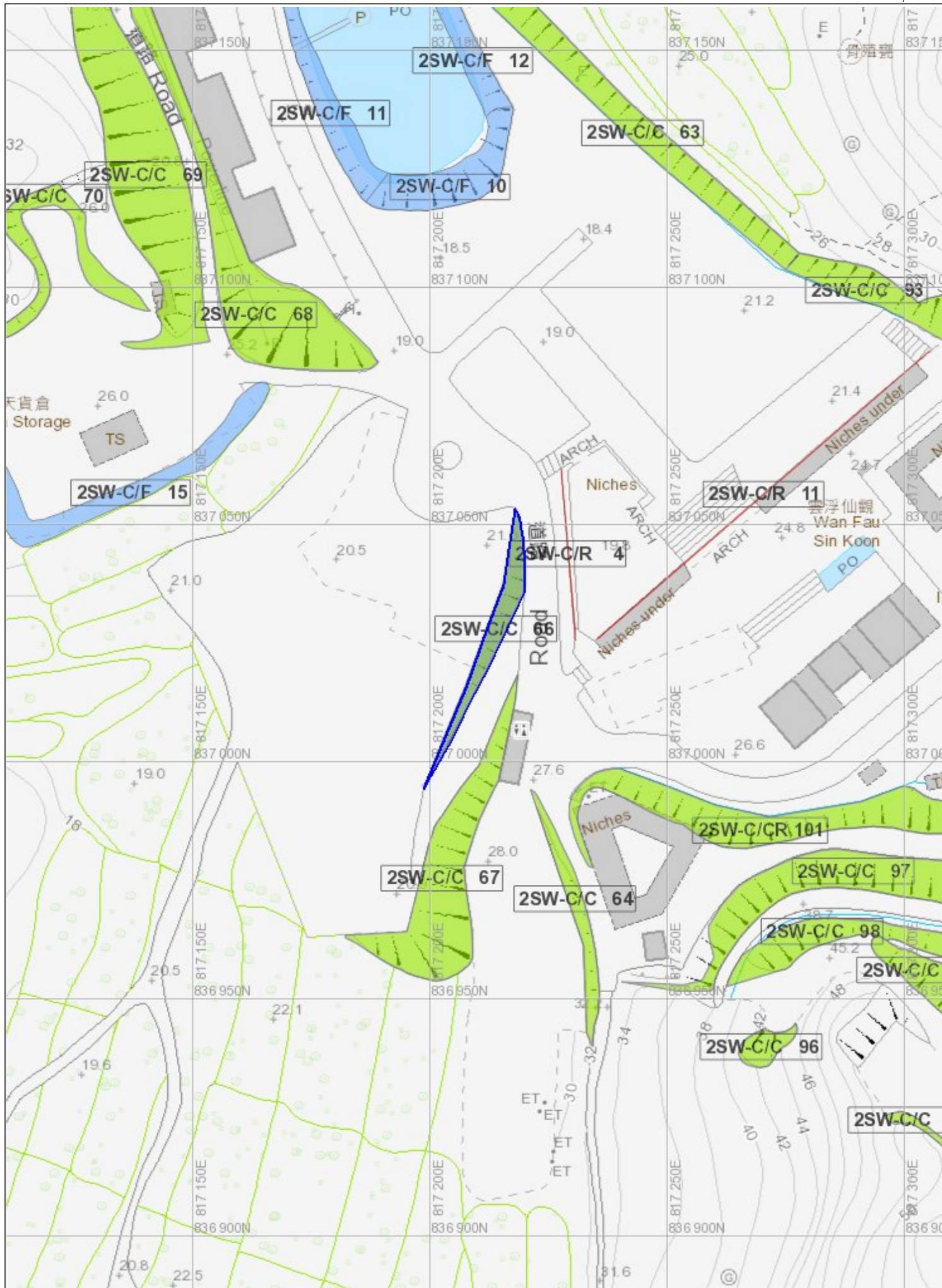
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/
Modification:

Data Source: AP

Approximate Coordinates: Easting : 817202 Northing : 836978

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Other thinly populated buildings

Distance of Facility from Crest (m): 2

Facility at Toe: Road/footpath with very low traffic density

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 1

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 7.7 Length (m): 72 Average Angle (deg): 36

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1854A	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 22-06-2012
(2) Sub Div.: 2	Mixed Feature	Party: DD129 LOT 1822B	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 22-06-2012
(3) Sub Div.: 3	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 22-06-2012
(4) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 22-06-2012
(5) Sub Div.: 4	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1	Reason Code: 3	MR Endorsement Date: 22-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 02-05-2013
 Data Source: AP
 Slope Part Drainage: (1) Position: Crest Size(mm): 225

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
 Surface Protection (%): Bare: 0 Vegetated: 85 Chunam: 0 Shotcrete: 15 Other Cover: 0
 Material Description: Material type: Soil Geology: N/A
 Berm: No. of Berms: N/A Min. Berm Width (m): N/A
 Weepholes: Size (mm): 75 Spacing (m): 1.5



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_1326 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A6
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: A34472 (1993), A 34473 (1993)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 02-05-2013
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1993 After: 1991

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Road/footpath with very low traffic density

Distance from Toe(m): 0

Type of Crest Facility: Other thinly populated buildings

Distance from Crest(m): 2

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

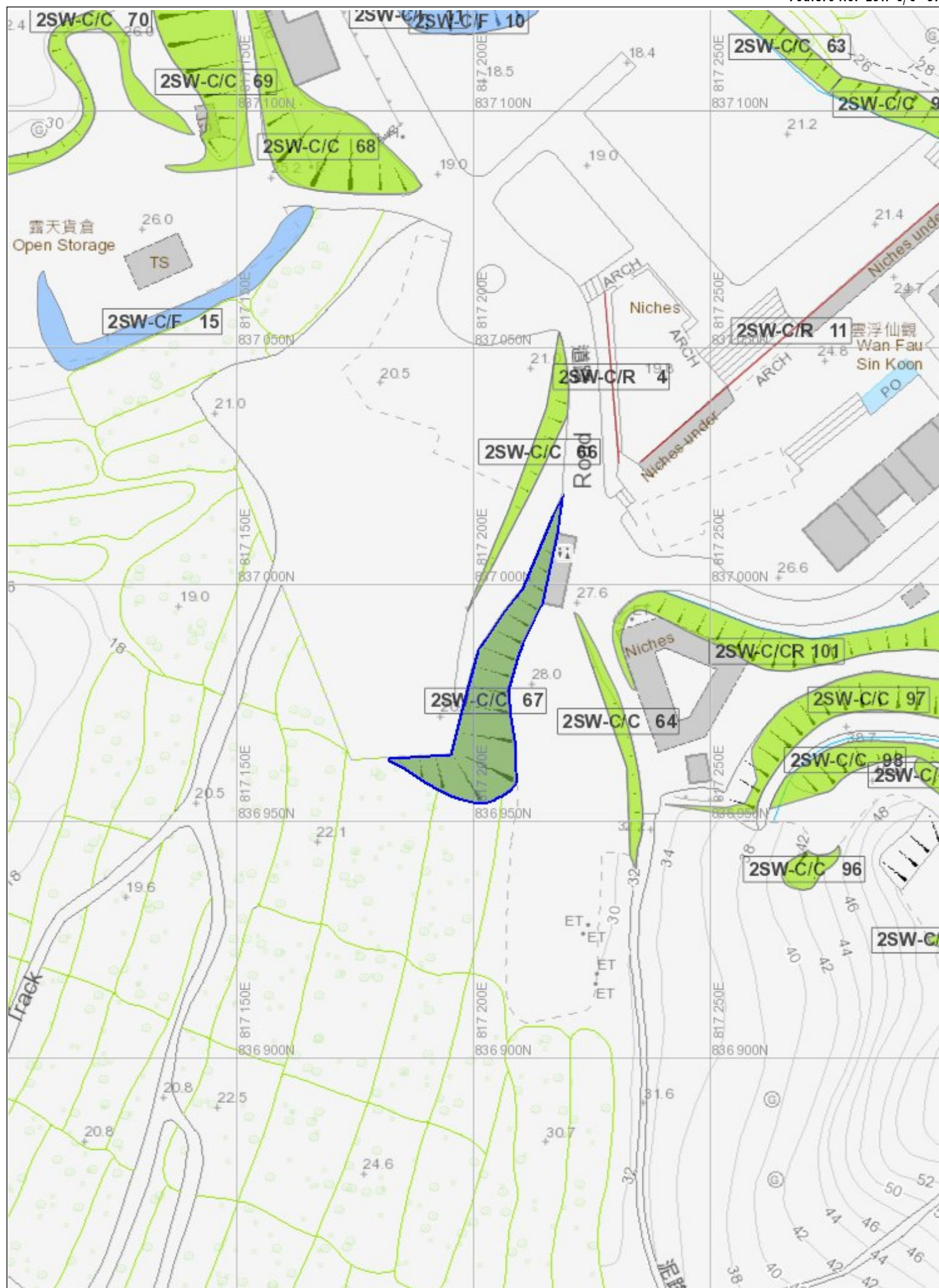
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: New Temple, Wan Fau Sin Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: post-1977

Date of Construction/
Modification: 24-04-2013

Data Source: Districts

Approximate Coordinates: Easting : 817154 Northing : 837120

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with very low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Temple

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 1

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6 Length (m): 103 Average Angle (deg): 35

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 28-07-2016
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 28-07-2016
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5a	Reason Code: 3,47	MR Endorsement Date: 28-07-2016

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 31-07-2013
Data Source: Districts
Slope Part Drainage: (1) Position: Crest Size(mm): 450
(2) Position: Toe Size(mm): 300

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_3345 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 31-07-2013
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Temple

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with very low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

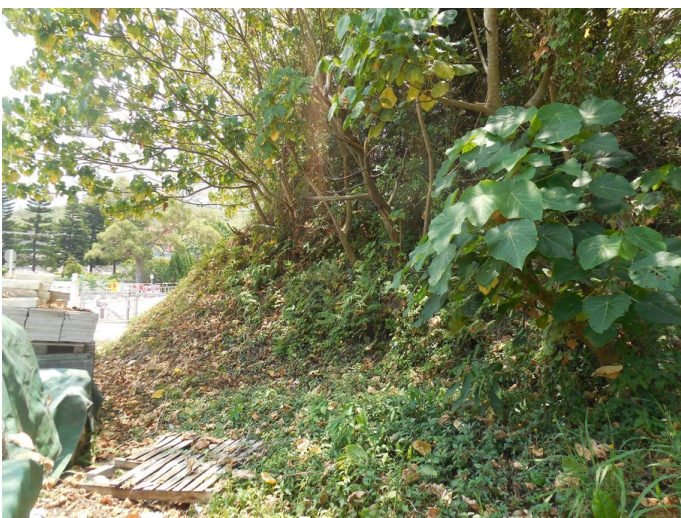
Check / repair Services:

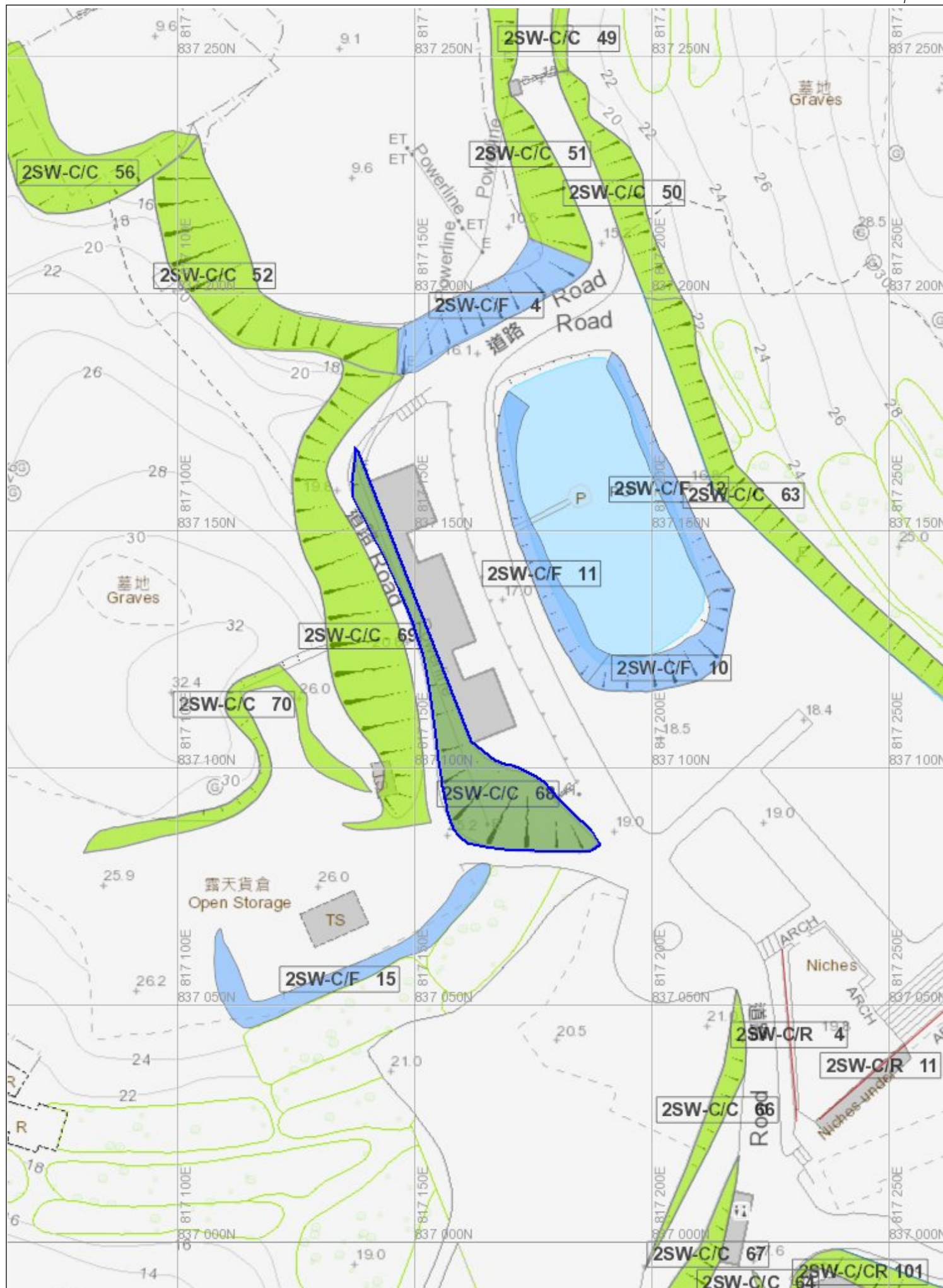
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/
Modification: 16-09-2010

Data Source: AP

Approximate Coordinates: Easting : 817325 Northing : 837094

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Columbarium

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6 Length (m): 135 Average Angle (deg): 35

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 05-06-2012
(2) Sub Div.: 0 Mixed Feature Party: STT1345 Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 05-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 27-02-2013
Data Source: AP
Slope Part Drainage: (1) Position: Crest Size(mm): 375
(2) Position: Toe Size(mm): 600

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 85 Chunam: 15 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3347 Part: 1 Checking Status: Feature to be modified/upgraded to current standard Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B1
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: A 24888 (1990), A 24891 (1990)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 27-02-2013
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: LA	Ref. No.: GCMW 5/3/10(W) pt.6 f(55,60)
File/Report: LA	Ref. No.: GCMW 5/3/10(W) pt.6 f(55,60)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Columbarium

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

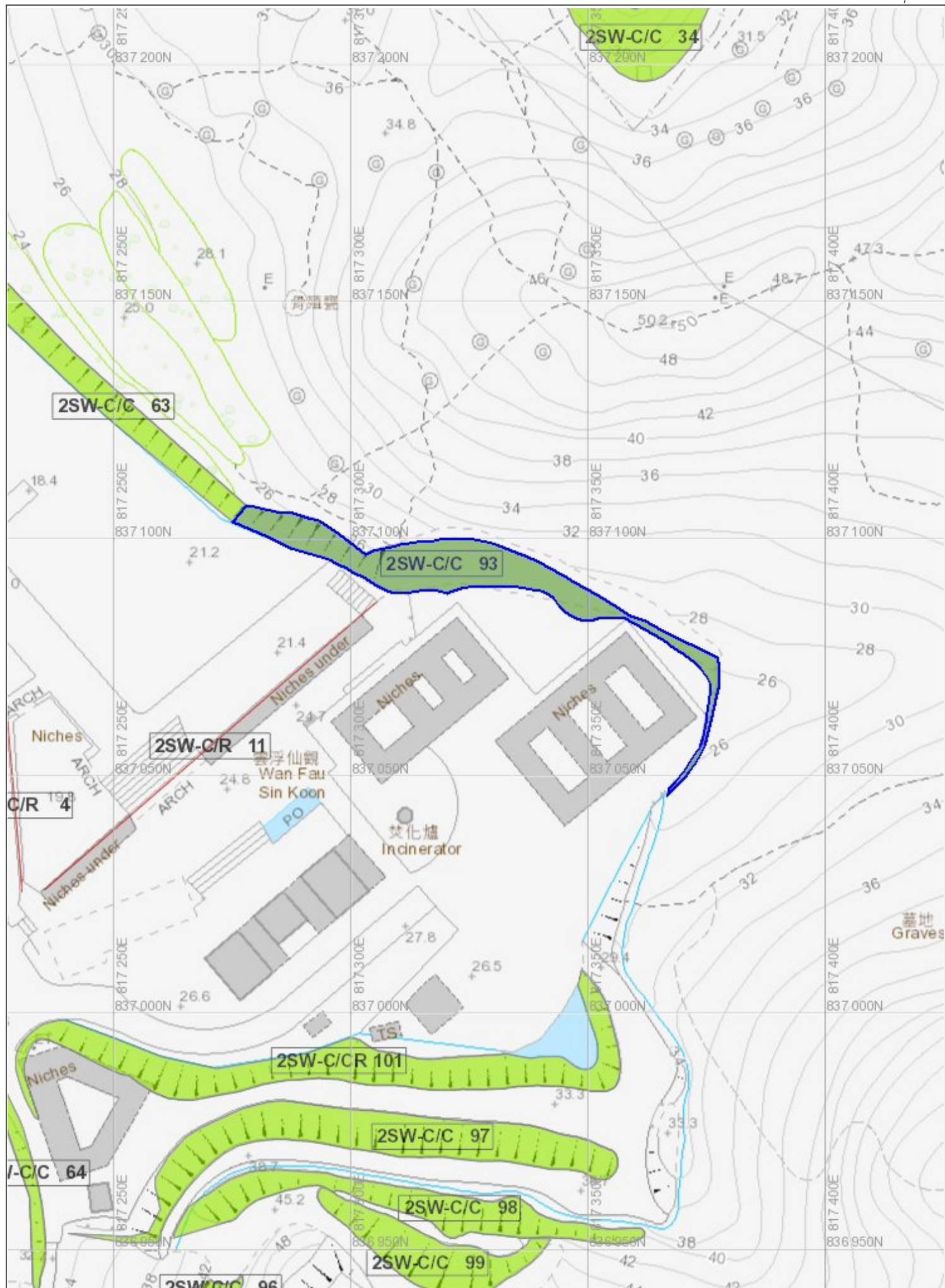
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: South of Wan Fau Koon Temple, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817270 Northing : 836939

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Cemetery

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 10 Average Angle (deg): 40

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 07-12-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 07-11-2001
Data Source: EI(Lands D)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Other geology
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_3350 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: N/A

Nearest Rainguage Station
(Station Number): ()

Data Collected On: 07-11-2001
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Cemetery

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

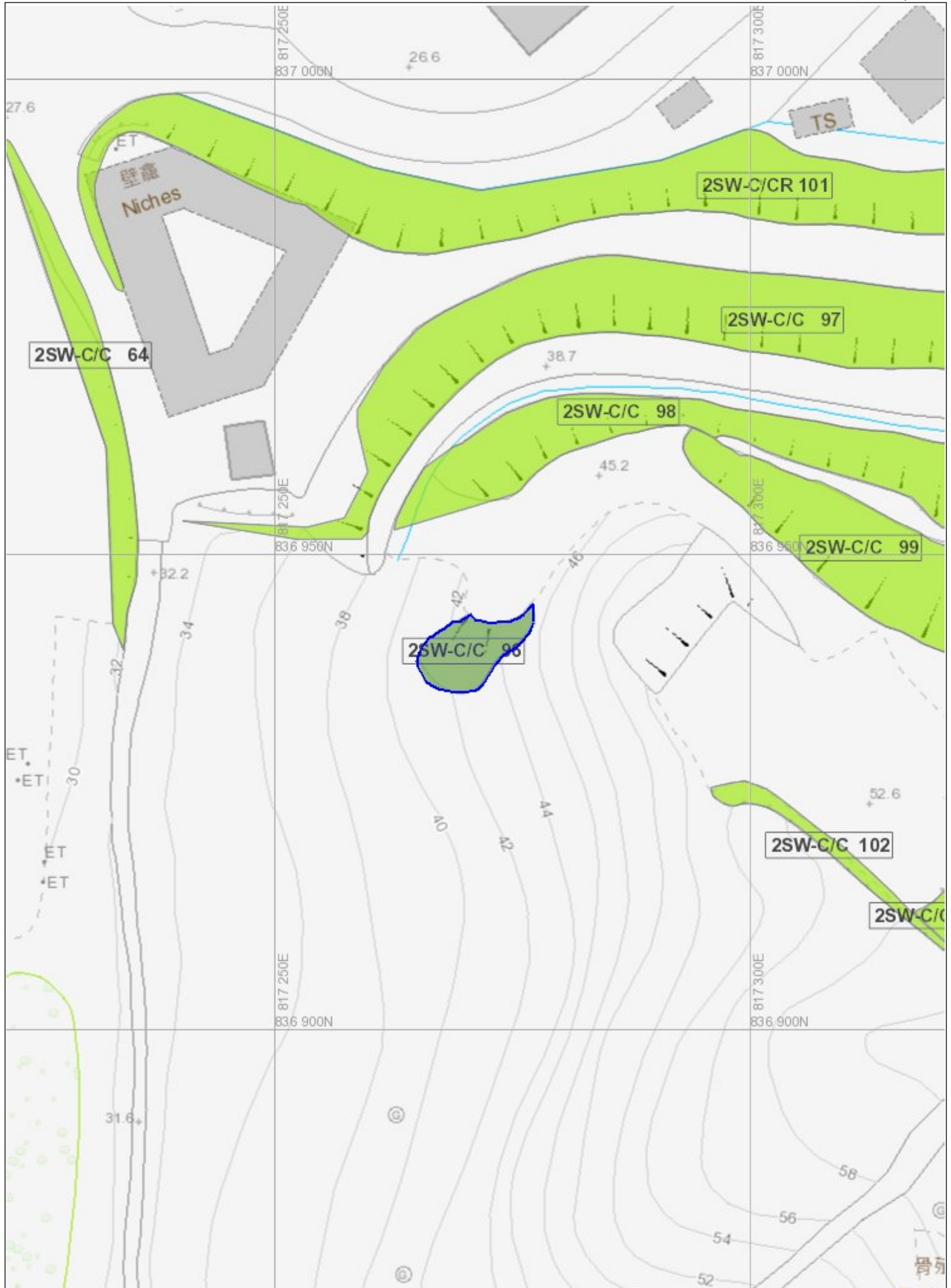
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification: 16-11-2012

Data Source: AP

Approximate Coordinates: Easting : 817297 Northing : 836977

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with very low traffic density

Distance of Facility from Crest (m): 0.5

Facility at Toe: Road/footpath with very low traffic density

Distance of Facility from Toe (m): 0.6

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6.4 Length (m): 130 Average Angle (deg): 40

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 12-06-2015
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 12-06-2015
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5a	Reason Code: 3,48	MR Endorsement Date: 12-06-2015

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 04-01-2013

Data Source: AP

Slope Part Drainage:

(1)	Position: Crest	Size(mm): 375
(2)	Position: On slope	Size(mm): 375
(3)	Position: Toe	Size(mm): 375

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 85 Chunam: 0 Shotcrete: 15 Other Cover: 0

Material Description: Material type: Soil Geology: N/A

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_1327 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B4
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: 24540 (1978), 24541 (1978)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 04-01-2013
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

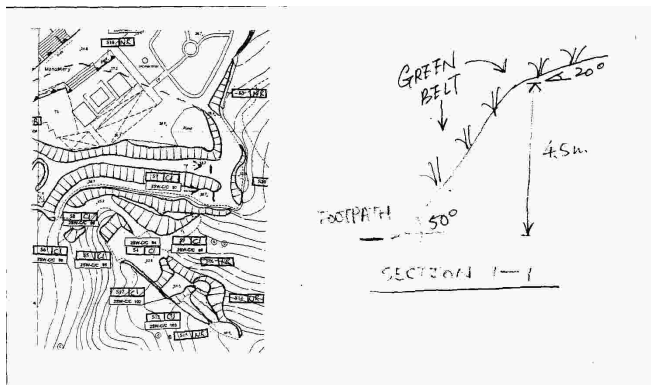
From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On: 12-03-1998

Weather: Some Rain

District: MW



Section No: 1-1

Height(m): H1 : 5 , H2 : 0

Type of Toe Facility: Road/footpath with very low traffic density

Distance from Toe(m): 0.6

Type of Crest Facility: Road/footpath with very low traffic density

Distance from Crest(m): 0.5

Consequence Category: 3

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : Reasonable (mid-portion, at toe) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	3
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification: 16-11-2012

Data Source: AP

Approximate Coordinates: Easting : 817319 Northing : 836959

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0.6

Facility at Toe: Road/footpath with very low traffic density

Distance of Facility from Toe (m): 0.6

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6.8 Length (m): 115 Average Angle (deg): 38

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 12-06-2015
(2) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 12-06-2015
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1	Reason Code: 3	MR Endorsement Date: 12-06-2015

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 04-01-2013

Data Source: AP

Slope Part Drainage:

(1)	Position: Crest	Size(mm): 375
(2)	Position: On slope	Size(mm): 375
(3)	Position: Toe	Size(mm): 375

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 95 Chunam: 0 Shotcrete: 5 Other Cover: 0

Material Description: Material type: Soil Geology: N/A

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_1328 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B4
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: 24540 (1978), 24541 (1978)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 04-01-2013
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 PT.19 F(13,14,17,22)
File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 PT.19 F(13,14,17,22)
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

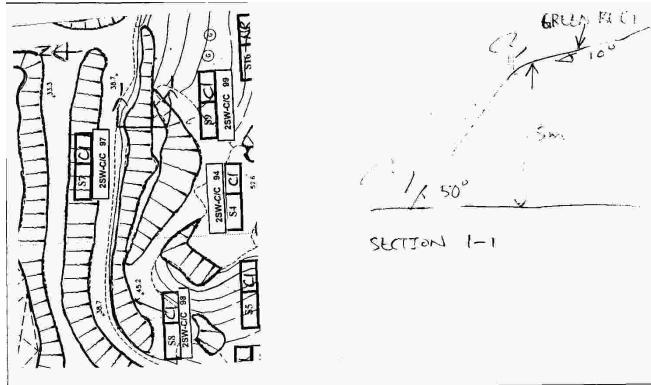
From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On: 11-03-1998

Weather: Some Rain

District: MW



Section No: 1-1

Height(m): H1 : 5 , H2 : 0

Type of Toe Facility: Road/footpath with very low traffic density

Distance from Toe(m): 0.6

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0.6

Consequence Category: 3

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : Reasonable (mid-portion, at toe) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	3
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

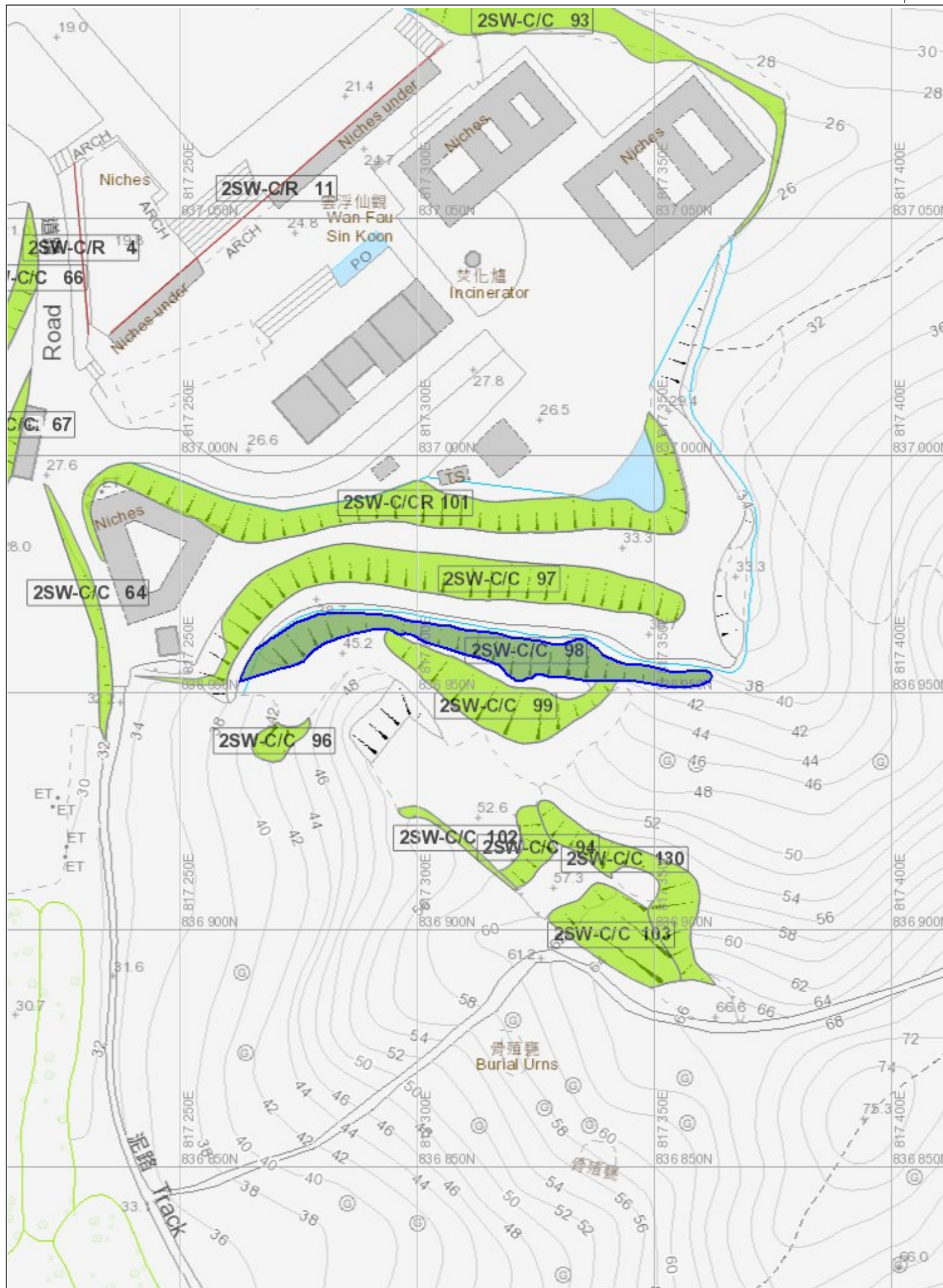
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: WAU FAU SIN KOON, LAU FAU SHAN, YUEN LONG

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817318 Northing : 836948

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Undeveloped green belt

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 9 Length (m): 62 Average Angle (deg): 40

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 20-06-2012
(2) Sub Div.: 0 Mixed Feature Party: STT1345 Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 11-02-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3351 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B4
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: 24540 (1978), 24541 (1978)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 11-02-1998
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On: 11-02-1998

Weather: Some Rain

District: MW



Section No: 1-1

Height(m): H1 : 9 , H2 : 0

Type of Toe Facility: Undeveloped green belt

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	3
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

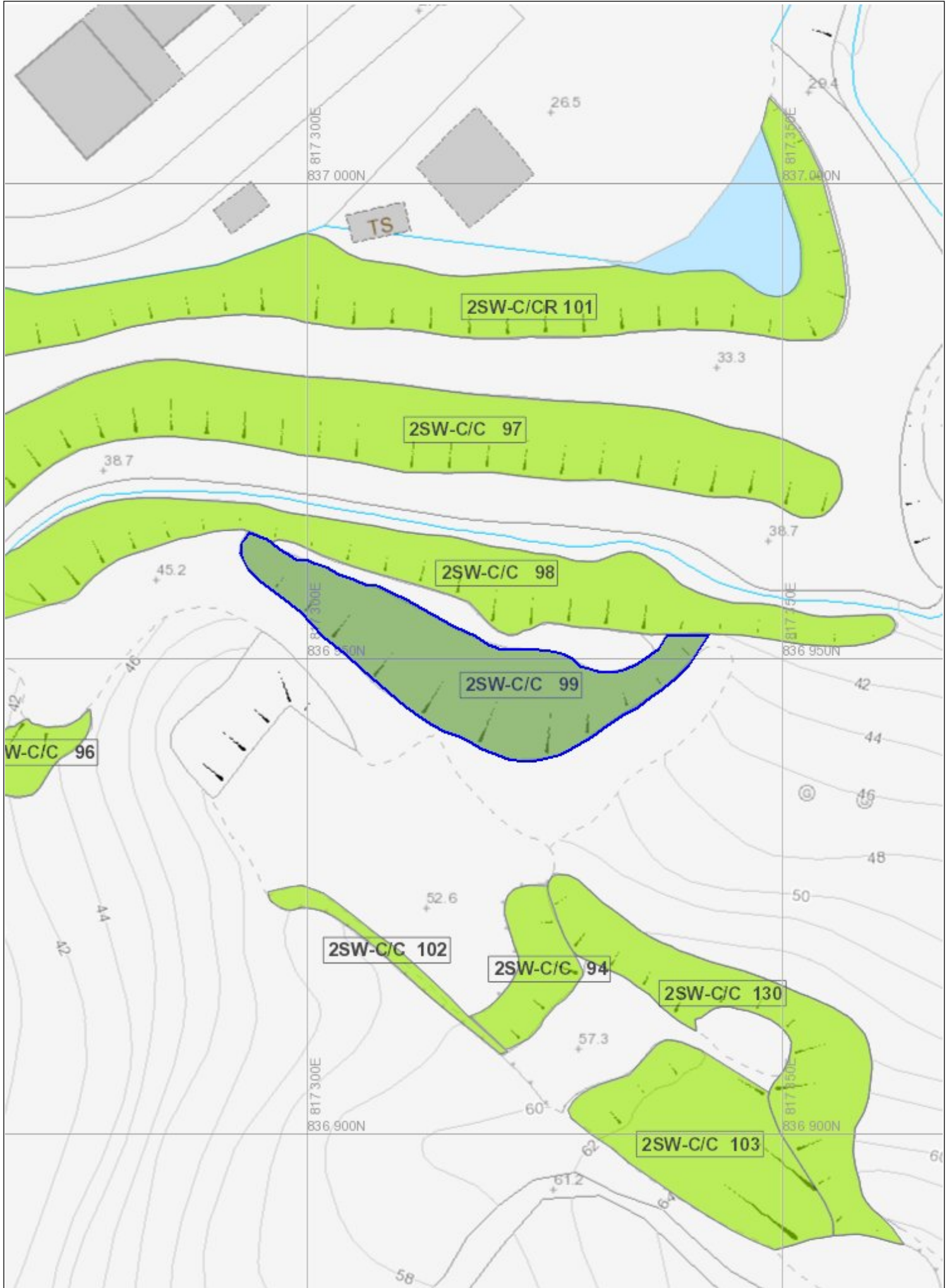
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: WAN FAU SIN KOON, LAU FAU SHAN

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817300 Northing : 836989

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Other non-crowded built-up facilities

Distance of Facility from Crest (m): 2

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6 Length (m): 160 Average Angle (deg): 55

WALL PART

(1) Max. Height (m): 1 Length (m): 8.6 Face Angle (deg): 90



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 26-08-2010
(2) Sub Div.: 0	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 26-08-2010

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection:	15-05-2013
Data Source:	El(Lands D)
Slope Part Drainage:	(1) Position: Crest Size(mm): 200 (2) Position: On slope Size(mm): 300 (3) Position: Toe Size(mm): 300
Wall Part Drainage:	N/A

SLOPE PART

Slope Part (1)	
Surface Protection (%):	Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description:	Material type: Soil Geology: N/A
Berm:	No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes:	Size (mm): N/A Spacing (m): N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Wall at toe

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): 75 Spacing (m): 1.5

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_1329 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B4
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: 24540 (1978), 24541 (1978)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 15-05-2013
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: Agreement No.: CE48/2006 Report No.: S2R8/2009

ENHANCED MAINTENANCE INFORMATION

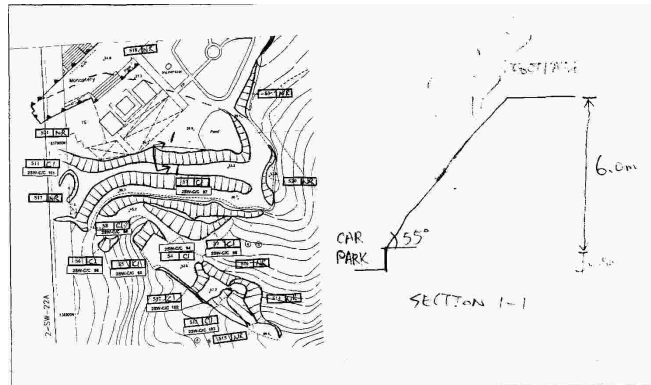
From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On: 12-03-1998

Weather: Some Rain

District: MW



Section No: 1-1

Height(m): H1 : 6 , H2 : 0

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Other non-crowded built-up facilities

Distance from Crest(m): 2

Consequence Category: 2

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Sign of Seepage:	Slope : Signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : Reasonable (near crest, mid-portion) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	2
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 2SW-C/C 101

Location: WAN FAU SIN KOON, LAU FAU SHAN

District Council: Yuen Long

Maintenance Responsibility (At the Time of Selection): Private

Responsible Party for Maintenance of Government Portion: N/A

Private Lot No.: N/A

LPM/LPMit Study

Agreement No.: CE48/2006

Study Type: Stage 2 Study

Consultant: Halcrow China Ltd.

GEO Managing Section / Engineer: SS / SS2

Study Status: Study completed

Design Approach: N/A

Option Assessment Accepted: N/A

Study Report No.: S2R8/2009

Programme / Actual Commencement: 24-06-2008

Programme / Actual Completion: 26-03-2010

Report Recommendation (For Stage 2 Study): No action required

District Check Status: Exempted from checking

Checking Certificate No.: N/A

GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A

GEO Managing Section / Engineer: N/A / N/A

Contractor: N/A

Progress Status: N/A

Reason of Study Termination / Works Deletion (If Necessary): N/A

Forecast Commencement Date: N/A

Forecast Completion Date: N/A

Completion Cert. Issued: N/A

Site Handed Over to Maintenance Department on: N/A

Estimated Cost for Upgrading (HK\$M): N/A

Maintenance Manual No.: N/A

Actual Works: N/A

No. of Tree Felled: N/A

No. of Tree Planted (Incl. Transplant): N/A

% Bare of Slope Surfacing: N/A

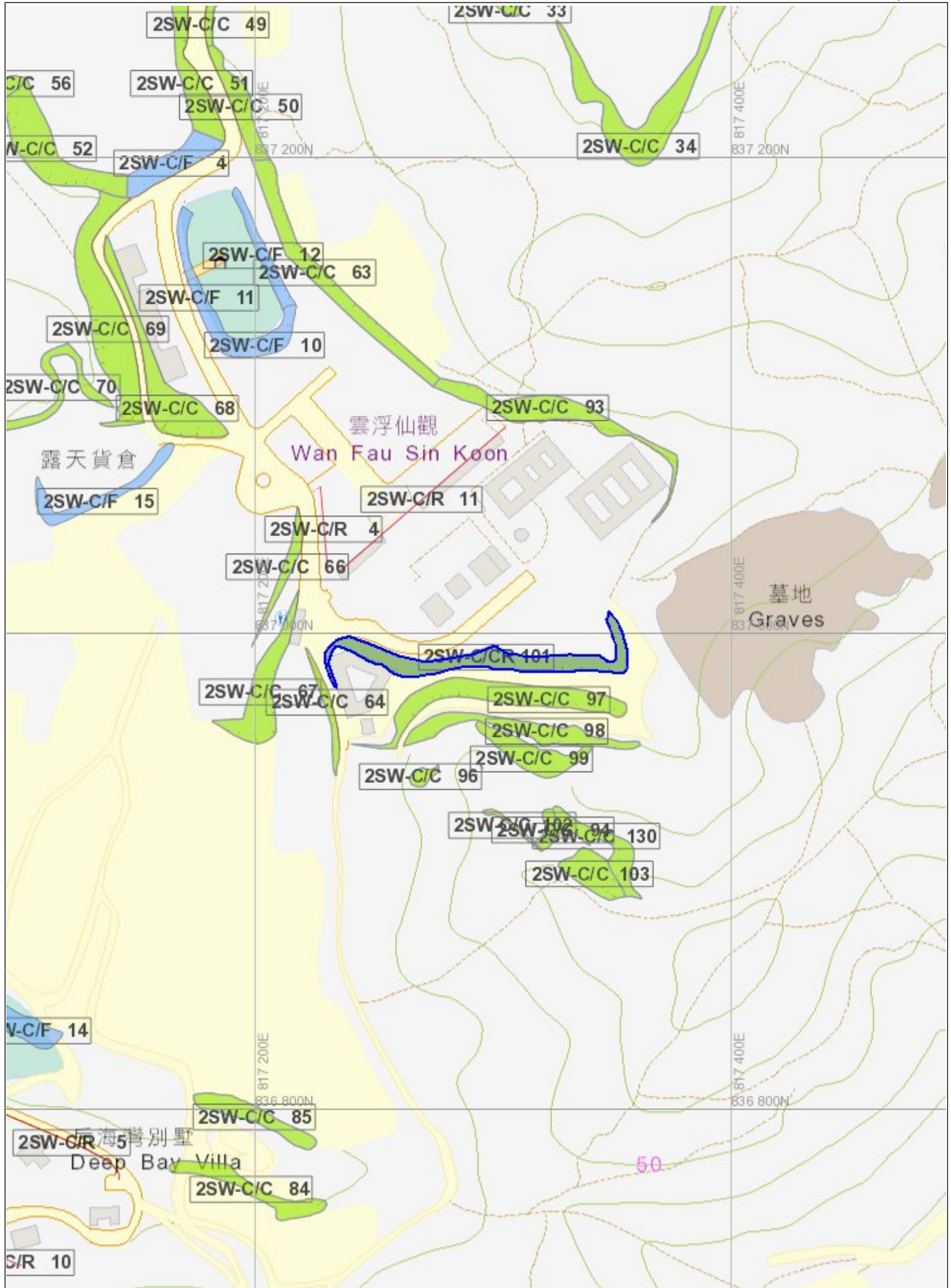
% Vegetated of Slope Surfacing: N/A

% Shotcrete of Slope Surfacing: N/A

Other Hard Surface of Slope Surfacing: N/A

PHOTO







SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

LPM Stage 2 / 3 Study

Name	Value
LPM/LPMit Details (CE48/2006)	
LPM Study Feature No.	2SW-C/C 101
Location	WAN FAU SIN KOON, LAU FAU SHAN
District Council	Yuen Long
Maintenance Responsibility (at the time of selection)	Private
Responsible Party for maintenance of Government portion	N/A
Private Lot No.	N/A
LPM/LPMit Study	
Agreement No.	CE48/2006
Study Type	Stage 2 Study
Consultant	Halcrow China Ltd.
GEO Managing Section / Engineer	SS/SS2
Study Status	Study completed
Design Approach	N/A
Option Assessment Accepted	N/A
Study Report No.	S2R8/2009
Programme / Actual Commencement	24-06-2008
Programme / Actual Completion	26-03-2010
Report Recommendation (for stage 2 study)	No action required
District Check Status	Exempted from checking
Checking Certificate No.	N/A
GEO Engineer's Remarks	N/A
LPM/LPMit Works	
Works Contract No.	N/A
GEO Managing Section / Engineer	N/A/N/A
Contractor	N/A
Progress Status	N/A
Reason of Study Termination / Works Deletion (if necessary)	N/A
RECORD RETRIEVED FROM SIS ON	28/07/2022 09:11
Date	
Forecast Completion Date	N/A



SLOPE INFORMATION SYSTEM

GEOTECHNICAL ENGINEERING OFFICE

CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

Name	Value
Maintenance Manual No.	N/A
Actual Works	N/A
No. of Tree Felled	N/A
No. of Tree Planted (incl. transplant)	N/A
% Bare of Slope Surfacing	N/A
% Vegetated of Slope Surfacing	N/A
% Shotcrete of Slope Surfacing	N/A
Other Hard Surface of Slope Surfacing	N/A
Study Report	
S2R008/2009	Open Link

**FEATURE NO. 2SW-C/C101
STT NO. STT1345
WAN FAU SIN KOON,
LAU FAU SHAN**

**Prepared by
HALCROW CHINA LTD**

Disclaimer for the Release of Stage 2 Study Report

1. This Report summarizes the findings of a Stage 2 Study on Feature No. 2SW-C/C101.
2. The main objective of this Stage 2 Study is to confirm whether prima facie evidence on the feature can be established for serving a Dangerous Hillside Order under the Buildings Ordinance. This Study is not a detailed investigation to confirm whether or not the feature meets current safety standards. If the owners or the maintenance parties of the feature wish to confirm whether the feature meets current safety standards, they should engage a professionally qualified geotechnical engineer to carry out a Stability Assessment in accordance with Geoguide 5 : “Guide to Slope Maintenance” published by the Geotechnical Engineering Office of the Civil Engineering and Development Department.
3. The information, descriptions, presentation, findings, interpretation, etc. contained in this Report are subject to a number of limitations, including but not limited to the approach used and assumptions made in the study, the methods adopted in data collection, and the site conditions at the time of inspection. The Government makes no warranty on the accuracy or correctness of any information, description, representation, findings, interpretation, etc. (“the information”) in this Report.
4. The owners or the maintenance parties of the feature should not rely solely on the information contained herein in deciding whether or not to undertake any planning/ study/ construction/ remedial/ maintenance works or any other works which concern the safety of the feature. If they rely solely on the information contained in this Report, they are doing so entirely at their own risk. They should also obtain specialist professional advice to assist in interpreting the information provided in the Report.
5. The Government will under no circumstances whatsoever be responsible for or held responsible or liable for any loss or damage to any property or any injury suffered by or death occasioned to any person which may howsoever arise either directly or indirectly as a result of or incidental to using any of the information contained in this Report.

第二階段研究報告免責聲明

1. 本報告總結斜坡編號 2SW-C/C101 第二階段研究的結果。
2. 本第二階段研究的主要目的是確定上述斜坡有否足夠表面證據，可以根據《建築物條例》發出危險斜坡修葺令。本研究不是一項詳細勘測，以確定斜坡是否符合現行安全標準。斜坡業主或負責維修人士如欲確定斜坡是否符合現行安全標準，應聘用合資格的專業岩土工程師按照土木工程拓展署土力工程處出版的《岩土指南》第五冊：《斜坡維修指南》進行穩定性評估。
3. 本報告所載的資訊、描述、陳述、研究結果、詮釋等均受到若干限制。這些限制包括但不限於研究方法和所作的設定、收集數據的方法，以及勘測時場地的情況。政府不保證本報告所載的資訊、描述、陳述、研究結果、詮釋等(下稱“資料”)均準確無誤。
4. 斜坡業主或負責維修人士不應單憑本報告所載的資料決定是否進行任何與斜坡安全有關的規劃／研究／建造／補救／維修工程或其他工程。他們若單憑本報告的資料作出決定，須自行承擔所有風險。他們亦應向專家尋求專業意見，協助詮釋本報告所提供的資料。
5. 如因使用本報告所載的任何資料而直接或間接導致或引致任何財物損失或損毀或任何人士傷亡，政府在任何情況下均無須負責或負上任何法律責任。

Stage 2 Study Report
CHECKING CERTIFICATE
Feature No. 2SW-C/C101

Agreement No. & Title : CE 48/2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong and New Territories - Investigation

Stage 2 Study Report Title : Feature No. 2SW-C/C101
STT No. STT1345
Wan Fau Sin Koon,
Lau Fau Shan

Consulting Engineers : Halcrow China Ltd.


1. I certify that this Stage 2 Study complies with the standards and requirements set out in the Agreement and with amendments agreed by the Director's Representative.
2. I confirm that I have independently checked this Stage 2 Study Report. All reasonable and professional skill, care and diligence have been exercised.

Signed

Name

Professional Qualifications

Date



Ir Gerry Daughton
Independent Checking Engineer

CHKIE FGS CGeol RPE(G)

20/3/12

Name of Client GEOTECHNICAL ENGINEERING OFFICE

Agreement No. & Title CE 48/2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong and New Territories - Investigation

Document Title STAGE 2 STUDY REPORT
Feature No. 2SW-C/C101
STT No. STT1345
Wan Fau Sin Koon,
Lau Fau Shan

Month: March

Year: 2012

Prepared by S T Tsui


Signed
Date


3/12

Checked and Approved by

John Luk

Signed
Date


3/12

Revision record (optional)

Revision number	Date	Description	Prepared	Checked	Approved

FOREWORD

Short Term Tenancy No. STT1345

This report presents the findings of a safety screening study carried out on Feature No. **2SW-C/C101** located at Wan Fau Sin Koon, Lau Fau Shan. Based on the relevant Systematic Identification of Maintenance Responsibility of Slopes in the Territory (SIMAR) reports, the tenants of STT1345 are responsible for the routine maintenance of the feature whereas the Lands Department (Lands D) is responsible for the upgrading and improvement of the feature.

Apart from the study feature, there are fifteen other features, namely Feature Nos. 2SW-C/C50, 2SW-C/C63, 2SW-C/C64, 2SW-C/C67, 2SW-C/C68, 2SW-C/C93, 2SW-C/C97, 2SW-C/C98, 2SW-C/C99, 2SW-C/F10, 2SW-C/F11, 2SW-C/F12, 2SW-C/F13, 2SW-C/R4 and 2SW-C/R11, also lie partly or wholly within STT No. STT1345.

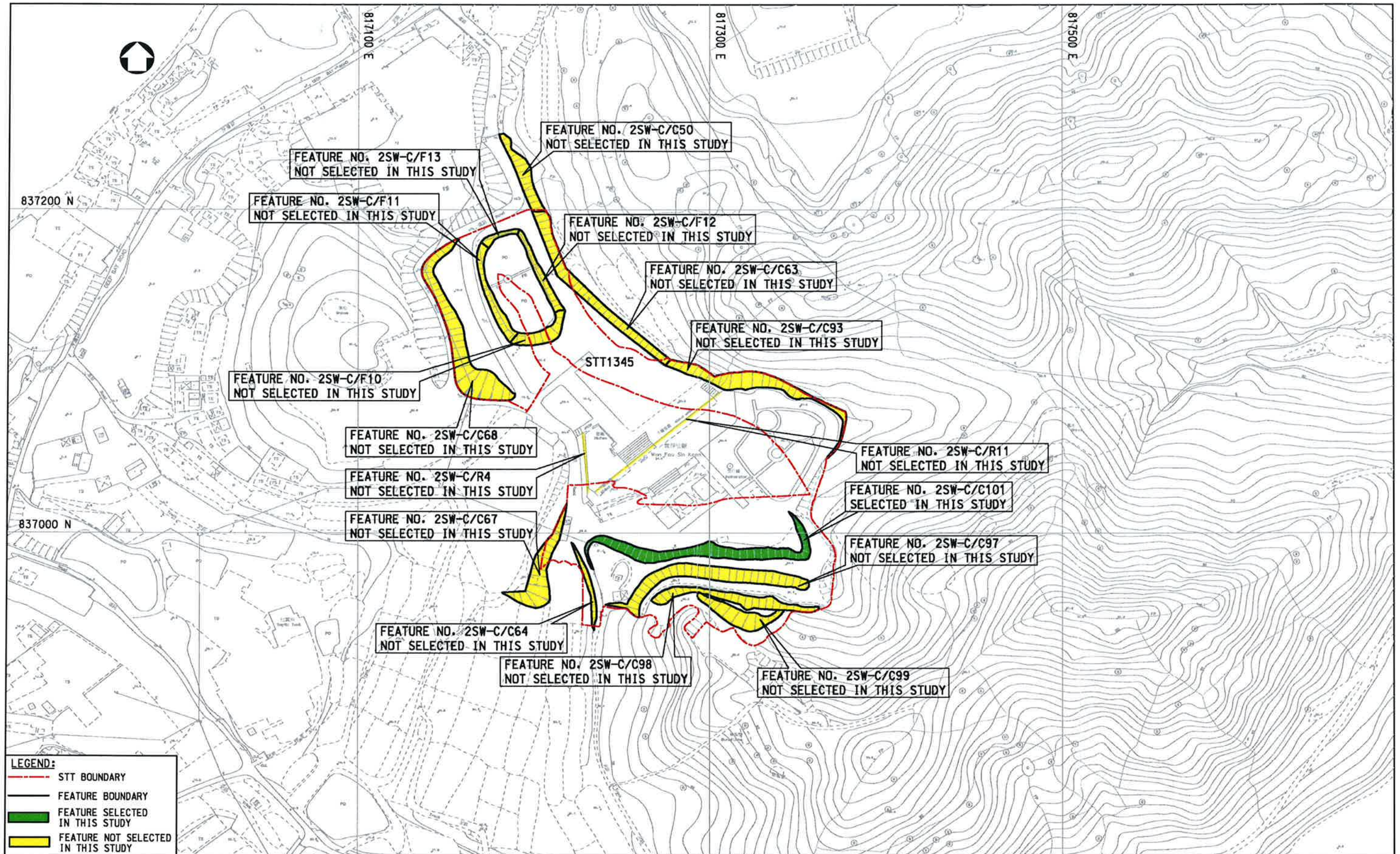
The following table summarizes the study status and maintenance responsibilities of the features:

Feature No.	Included in this Safety Screening Study	Sub-division No. stated in SIMAR report	Maintenance Responsibility	Reasons for not selected for study
2SW-C/C101	Yes	-	Lands D & STT1345	-
2SW-C/C50	No	1	Lands D	G
		2	STT1345	
2SW-C/C63	No	1	STT1345	G
		2	DD129 Lot 771	
2SW-C/C64	No	-	STT1345	G
2SW-C/C67	No	1	STT1345	G
		2	DD129 Lot1854A	
		3	DD129 Lot1822B	
2SW-C/C68	No	-	STT1345	G
2SW-C/C93	No	-	STT1345	G
2SW-C/C97	No	-	STT1345	G
2SW-C/C98	No	-	STT1345	G
2SW-C/C99	No	-	STT1345	G
2SW-C/F10	No	1	DD129 Lot1859	G
		2	STT1345	
2SW-C/F11	No	-	STT1345	G
2SW-C/F12	No	-	STT1345	G
2SW-C/F13	No	-	STT1345	G
2SW-C/R4	No	1	DD129 Lot1857	G
		2	STT1345	
2SW-C/R11	No	1	STT1345	G
		2	DD129 Lot1857	

Screen-out Code:

G - Do not meet the current selection criteria for study

A location plan of the feature is shown below:



This Study was undertaken by Halcrow China Ltd. (HCL) for the Geotechnical Engineering Office (GEO), Civil Engineering and Development Department under Agreement No. CE 48/2006 (GE). The scope of the Study includes desk study, site inspection, aerial photograph interpretation and stability analysis. No ground investigation work was undertaken for the Study.

FEATURE STUDIED IN THIS REPORT

Feature No. **2SW-C/C101** has been assessed based on the guidelines given in the relevant Works/Development Bureau Technical Circulars, GEO Circulars and other technical publications. The results of stability analysis indicate that the feature does not satisfy the requirements for the service of a Dangerous Hillside Order in accordance with GEO Circular No. 24. According to the SIMAR report, Lands Department is responsible for the upgrading and improvement of the feature. Hence, in accordance with GEO Circular No. 30, follow-up action on this feature should be undertaken by Government as appropriate.

The tenants of STT1345 are responsible for the routine maintenance of the feature. In view of the follow-up action recommended to Government and no routine maintenance works were identified during site inspection, no statutory action is recommended to the tenants of STT1345.

FEATURES NOT STUDIED IN THIS REPORT

Feature Nos. 2SW-C/C50, 2SW-C/C63, 2SW-C/C64, 2SW-C/C67, 2SW-C/C68, 2SW-C/C93, 2SW-C/C97, 2SW-C/C98, 2SW-C/C99, 2SW-C/F10, 2SW-C/F11, 2SW-C/F12, 2SW-C/F13, 2SW-C/R4 and 2SW-C/R11 have not been studied as part of this Stage 2 Study as they do not meet the current selection criteria for study.

Signed



Leonard Tang
Project Director
Halcrow China Ltd.

前言

短期租約編號：STT1345

本報告載有上述短期租約範圍內斜坡安全篩選勘察的資料及結果。所勘察的斜坡編號**2SW-C/C101**位於流浮山雲浮仙館。根據相關的系統性鑑辨本港斜坡維修責任(SIMAR)報告，短期租約編號STT1345之承租人需要負責該斜坡的例行維修，而地政總署則需要負責該斜坡的鞏固工程。

除以上斜坡外，還有十五幅擋土牆及斜坡編號2SW-C/C50, 2SW-C/C63, 2SW-C/C64, 2SW-C/C67, 2SW-C/C68, 2SW-C/C93, 2SW-C/C97, 2SW-C/C98, 2SW-C/C99, 2SW-C/F10, 2SW-C/F11, 2SW-C/F12, 2SW-C/F13, 2SW-C/R4 及2SW-C/R11的全部或部分位於短期租約編號STT1345之範圍以內。

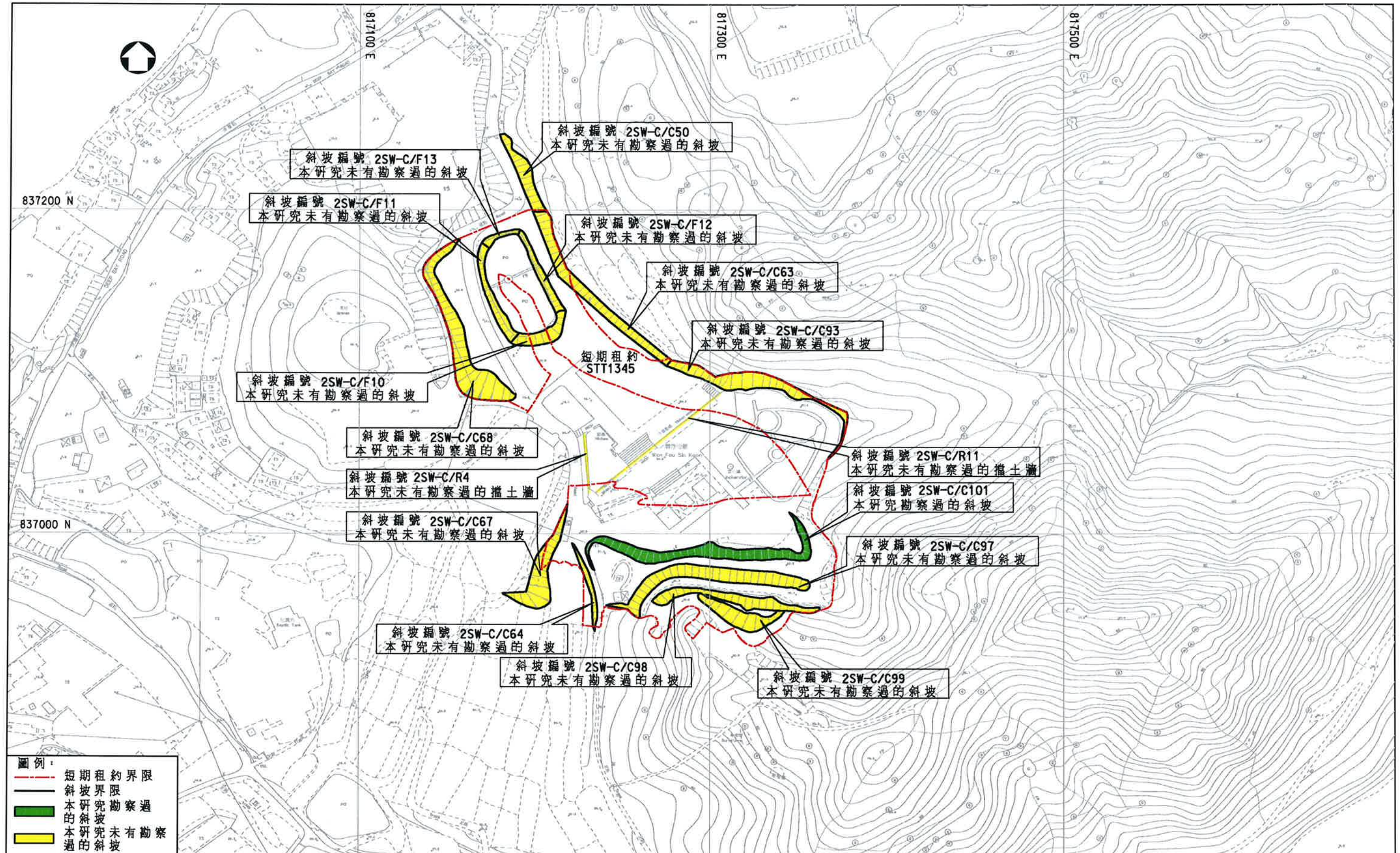
上述斜坡的勘察和維修責任概況列於下表：

斜坡編號	有否在本研究中進行安全篩選勘察	SIMAR報告的劃分編號	維修責任	不進行研究的原因
2SW-C/C101	Yes	-	地政總署及STT1345	-
2SW-C/C50	No	1	地政總署	G
		2	STT1345	
2SW-C/C63	No	1	STT1345	G
		2	DD129 Lot 771	
2SW-C/C64	No	-	STT1345	G
2SW-C/C67	No	1	STT1345	G
		2	DD129 Lot1854A	
		3	DD129 Lot1822B	
2SW-C/C68	No	-	STT1345	G
2SW-C/C93	No	-	STT1345	G
2SW-C/C97	No	-	STT1345	G
2SW-C/C98	No	-	STT1345	G
2SW-C/C99	No	-	STT1345	G
2SW-C/F10	No	1	DD129 Lot1859	G
		2	STT1345	
2SW-C/F11	No	-	STT1345	G
2SW-C/F12	No	-	STT1345	G
2SW-C/F13	No	-	STT1345	G
2SW-C/R4	No	1	DD129 Lot1857	G
		2	STT1345	
2SW-C/R11	No	1	STT1345	G
		2	DD129 Lot1857	

篩選準則:

G 不符合現行的選擇標準作進一步研究

以下是上述斜坡的平面分佈圖：



本研究是由土木工程拓展署土力工程處委託合樂中國有限公司對私人負責維修的斜坡進行研究，顧問合約編號為 CE48/2006 (GE)。本研究內容包括資料搜查、現場視察、航空照片解譯和穩定性分析，但不包括岩土勘探工作。

本報告研究過的斜坡

根據發展局/前工務局和土力工程處的技術指引及其他技術資料對斜坡編號**2SW-C/C101**作出穩定性評估。結果顯示根據土力工程處通告編號24，此斜坡並未符合發出危險斜坡修葺令之條件。然而，根據系統性鑑辨本港斜坡維修責任報告，地政總署應負責該斜坡的鞏固工程。因此根據土力工程處通告編號30之指引，政府應對此斜坡作出適當的跟進。

因短期租約編號STT1345的承租人只需要負責該斜坡的例行維修。鑑於已向政府建議對該斜坡作出適當的跟進，並且經過現場視察後，發現該斜坡並無作出例行維修的需要，故建議無需向短期租約編號STT1345之承租人採取法律行動。

本報告未有研究過的斜坡

斜坡編號2SW-C/C50, 2SW-C/C63, 2SW-C/C64, 2SW-C/C67, 2SW-C/C68, 2SW-C/C93, 2SW-C/C97, 2SW-C/C98, 2SW-C/C99, 2SW-C/F10, 2SW-C/F11, 2SW-C/F12, 2SW-C/F13, 2SW-C/R4 及2SW-C/R11因不符合現行的選擇標準作進一步研究，故此本第二階段研究未有對這些斜坡進行研究。

簽署



鄧國樑項目總監
合樂中國有限公司

CONTENTS

	Page No.
Title Page	1
FOREWORD	2
前言	5
CONTENTS	8
1. INTRODUCTION	10
1.1 Background	10
1.2 Site Description	10
1.3 Maintenance Responsibility (MR)	10
2. GEOTECHNICAL INVESTIGATION	11
2.1 Background/Desk Study	11
2.1.1 Aerial Photograph Interpretation (API)	11
2.1.2 Geotechnical Engineering Office (GEO)	11
2.1.3 Buildings Department (BD)	11
2.1.4 Existing Services	11
2.1.5 Geological Survey	11
2.1.6 Past Instability	12
2.2 Visual Inspection	12
3. GEOTECHNICAL ASSESSMENT	12
3.1 Topography	12
3.2 Geology and Geological Model	12
3.3 Groundwater Condition	13
3.4 Parameters for Analysis	13
3.5 Stability Analysis	13
3.6 Consequence-to-Life	13
4. DISCUSSION OF CALCULATED FACTORS OF SAFETY	14
5. CONCLUSIONS AND RECOMMENDATIONS	14
6. REFERENCES	14

LIST OF FIGURES

LIST OF PLATES

APPENDICES

APPENDIX	A	SYSTEMATIC IDENTIFICATION OF MAINTENANCE RESPONSIBILITY OF SLOPES IN THE TERRITORY (SIMAR) REPORT
APPENDIX	B	AERIAL PHOTOGRAPH INTERPRETATION (API) REPORT
APPENDIX	C	PHASE 2 SYSTEMATIC INSPECTION OF FEATURES IN THE TERRITORY (SIFT) STUDY
APPENDIX	D	SIS DATA SHEET & SIS PLAN
APPENDIX	E	BUILDING DEPARTMENT RECORD
APPENDIX	F	UTILITIES RECORDS
APPENDIX	G	PART PRINT OF 1:20 000 GEOLOGICAL MAP OF HONG KONG SHEET NO. 2
APPENDIX	H	STABILITY ANALYSIS OF SECTION 1-1
APPENDIX	I	STAGE 2 STUDY/LPM CHECKLIST

1 INTRODUCTION

1.1 Background

This report presents a Stage 2 Study on Feature No. **2SW-C/C101** located at Wan Fau Sin Koon, Lau Fau Shan. The feature lies wholly within STT1345.

This study does not include the stability checking of Feature Nos. 2SW-C/C50, 2SW-C/C63, 2SW-C/C64, 2SW-C/C67, 2SW-C/C68, 2SW-C/C93, 2SW-C/C97, 2SW-C/C98, 2SW-C/C99, 2SW-C/F10, 2SW-C/F11, 2SW-C/F12, 2SW-C/F13, 2SW-C/R4 and 2SW-C/R11 which also lie partly or wholly within STT No. STT1345. These features do not meet the current selection criteria for study.

The location of the feature in Hong Kong Grid Reference is listed as follow:

Feature No.	Hong Kong Metric Grid Co-ordinates
2SW-C/C101	817 300E, 836 989N

The location of the study feature is shown in Figure 1. The boundary of the study feature has been determined from the Slope Information System (SIS) plan obtained from the Geotechnical Engineering Office (GEO), SIMAR Report from the Lands Department and observations made during the site inspection.

This Stage 2 Study commenced in December 2008. The scope of the Study includes desk study, site inspection, aerial photograph interpretation and stability analysis. No ground investigation (GI) was carried out for this study.

1.2 Site Description

Feature No. **2SW-C/C101** is a 160m long cut slope with maximum height of about 5.5m and it is generally facing north. A footpath and an open car park are located at the crest and toe of the feature respectively. The detailed description of the feature is shown in Section 2.2 of this report.

1.3 Maintenance Responsibility

The maintenance responsibility of the study feature, according to the relevant Systematic Identification of Maintenance Responsibility of Slopes in the Territory (SIMAR) report (Appendix A), is listed as follows:

Feature No.	Sub-Division No. stated in SIMAR Report	Maintenance Responsibility	Remarks
2SW-C/C101		Lands Department	Responsible for Upgrading and Improvement
		STT1345	Responsible for Routine Maintenance

2 GEOTECHNICAL INVESTIGATION

2.1 Background/Desk Study

2.1.1 Aerial Photograph Interpretation (API)

Aerial photographs taken between 1945 and 2006 were examined. According to the API report (Appendix B), the feature was formed between 1975 and 1976. Wan Fau Sin Koon was constructed between 1976 and 1981. No evidence of past instability relevant to the study feature was identified. No evidence of the presence of boulders or natural drainage path affecting the study feature could be identified.

2.1.2 Geotechnical Engineering Office (GEO)

Phase 2 Systematic Inspection of Features in the Territory (SIFT) Study was carried out on the feature by the SIFT Consultant for the GEO in January 1998 (Appendix C). The report indicates that the feature (SIFT No. 2SW-22/B-S11) was formed between 1976 and 1978.

The SIS data sheet, SIS plan and Stage 1 Study Report for the study feature obtained from GEO are enclosed in Appendix D.

2.1.3 Buildings Department (BD)

There is no BD file relevant to the study feature. Copy of the correspondence from the BD stating that no records of approved building works on the subject Lot is enclosed in Appendix E.

2.1.4 Existing Services

Drainage Services Department (DSD) and Water Supplies Department (WSD) were requested to provide information on existing utilities/services located within or in the vicinity of the feature. With reference to the DSD record plan, there is storm water drain running along the toe of the study feature. With reference to the WSD record plan, there are no fresh water mains within or in the vicinity of the feature. The existing services plans are enclosed in Appendix F.

Water pipes located within the vicinity of study feature were noted during the site inspection. As no signs of leakage were observed, no leakage investigation is required.

2.1.5 Geological Survey

Based on the 1:20 000 Geological Map of Hong Kong Sheet No. 2 published by The Hong Kong Government (Appendix G), the area concerned is mainly underlain by fine-grained granite (gf).

2.1.6 Past Instability

No record of past instability related to the feature was identified from the available documents or files maintained by BD/GEO.

2.2 Visual Inspections

Visual inspections on the study feature were carried out in December 2008 and February 2012 respectively.

At the time of inspection in December 2008, the study feature was a 160m long cut slope and it was generally facing north. The maximum height of the slope was about 5.5m and the average slope angle was about 50°. The feature was mainly covered with vegetation exc(Plates 1 & 2). There was a 0.5m high concrete retaining wall located at the toe of the western portion of the feature. A 300mm U-channel was running along the toe of the wall. There were water mains running along the slope crest and across the slope with no signs of leakage observed. An open car park and a horticulture garden were located in front of the western and eastern portion of the feature respectively. There was a footpath located at the crest of the western portion of the feature (Plate 3) whereas a densely vegetated open area was located at the crest of the eastern portion of the feature. No signs of seepage or distress were noted during site inspection.

At the time of inspection in March 2011, no changes of the feature were observed except the western end portion of the feature was being modified with a new structure being constructed at its crest (Plates 4 & 5). No signs of seepage or distress were observed during the site inspection.

3 GEOTECHNICAL ASSESSMENT

3.1 Topography

Section 1-1 was selected for the stability analysis of the feature and the location of this section is shown in Figure 2. The location of this section is shown in Figure 2. The profile of this section was determined through direct measurement taken on site.

Section 1-1 consists of a slope of about 5.5m in height with a slope angle of 50° (Figure 3).

3.2 Geology and Geological Model

Based on the 1:20 000 Geological Map of Hong Kong (Appendix G), the area concerned is mainly underlain by fine-grained granite.

According to our site inspection, the study feature was mainly composed of completely decomposed granite (CDG). Hence, the study feature was assumed to consist of CDG only. The inferred geological profile for Section 1-1 is shown in Figures 3.

3.3 Groundwater Condition

No groundwater monitoring records exist for the study feature and no signs of seepage were observed on site. A groundwater level at one-third of the slope height was adopted to account for 1 in 10 year return period of rainfall.

3.4 Parameters for Analysis

In the absence of any relevant soil laboratory test data for the study feature, the slope material was inspected on site and it was found to be CDG. A shear strength parameters of $c' = 5 \text{ kPa}$ and $\phi' = 35^\circ$ which equal to the lower bound values of CDG as stipulated in Table 8 of the Geoguide 1, was conservatively adopted in this study. A summary of soil parameters adopted for stability analysis is tabulated below:

Soil Material	Shear Strength Parameters		Bulk Unit Weight
	c' (kPa)	ϕ' ($^\circ$)	γ (kN/m ³)
CDG	5	35	19

3.5 Stability Analysis

Slope stability analysis was carried out for Section 1-1 based on the inferred geological model, groundwater condition and shear strength parameters as discussed in Sections 3.2 to 3.4. Surcharge of 5kPa was applied at the crest of the feature to represent the loading of the footpath. The Morgenstern-Price Method in SLOPE/W Version 6.2 (BD reference No. G0138) was used for the stability analysis. The calculated Factor of Safety (FOS) are tabulated below:

Section	Slip Surface No.	FOS
1-1	1	1.404
	2	1.331
	3	1.384

The results of stability analysis for Sections 1-1 are presented in Figures 3 and the computer outputs of the stability analysis are enclosed in Appendix H.

3.6 Consequence-to-life

The consequence-to-life in the event of failure has been assessed in accordance with Table 3 of WBTC No. 13/99 and GEO Technical Guidance Note No. 15 (TGN 15). The feature has been assessed as Category 2 as failure of the feature would affect the open car park and horticulture garden at its toe.

4 DISCUSSION OF CALCULATED FACTORS OF SAFETY

In accordance with Criterion F as stated in GEO circular No. 24, the FOS calculated from a stability assessment without site-specific GI for slope having significant consequence-to-life in the event of failure shall not be less than 1.20.

The results of the slope stability analysis for Section 1-1 indicate that the calculated minimum FOS is 1.331.

5 CONCLUSIONS & RECOMMENDATIONS

Feature No. **2SW-C/C101** does not satisfy the requirements for the service of a Dangerous Hillside Order in accordance with GEO Circular No. 24. According to the SIMAR report, Lands Department is responsible for the upgrading and improvement of the feature. Hence, in accordance with GEO Circular No. 30, follow-up action on this feature should be undertaken by Government as appropriate.

The tenants of STT1345 are responsible for the routine maintenance of the feature. In view of the follow-up action recommended to Government and no routine maintenance works were identified during site inspection, no statutory action is recommended to the tenants of STT1345.

The extent of the feature subject to follow-up action by Government is coloured blue in Figure 4.

6 REFERENCES

Geotechnical Engineering Office (1998). Phase 2 Systematic Inspection of Features in the Territory (Phase 2 SIFT) Study.

Geotechnical Engineering Office (1984). Geotechnical Manual for Slopes. (Second Edition)

Geotechnical Engineering Office (1993). Geoguide 1 : Guide to Retaining Wall Design.

GEO Circular No. 24 (2010). Dangerous Hillside Orders and Advisory Letters.

GEO Circular No. 30 (2009). Stage 1 and Stage 2 Geotechnical Studies of Slopes and Retaining Walls.

Work Bureau Technical Circular No. 13/99. Geotechnical Manual for Slopes - Guidance on Interpretation and Updating.

GEO Technical Guidance Note No. 15 (TGN 15). Guidelines for Classification of Consequence-to-Life Category for Slope Features.

LIST OF FIGURES

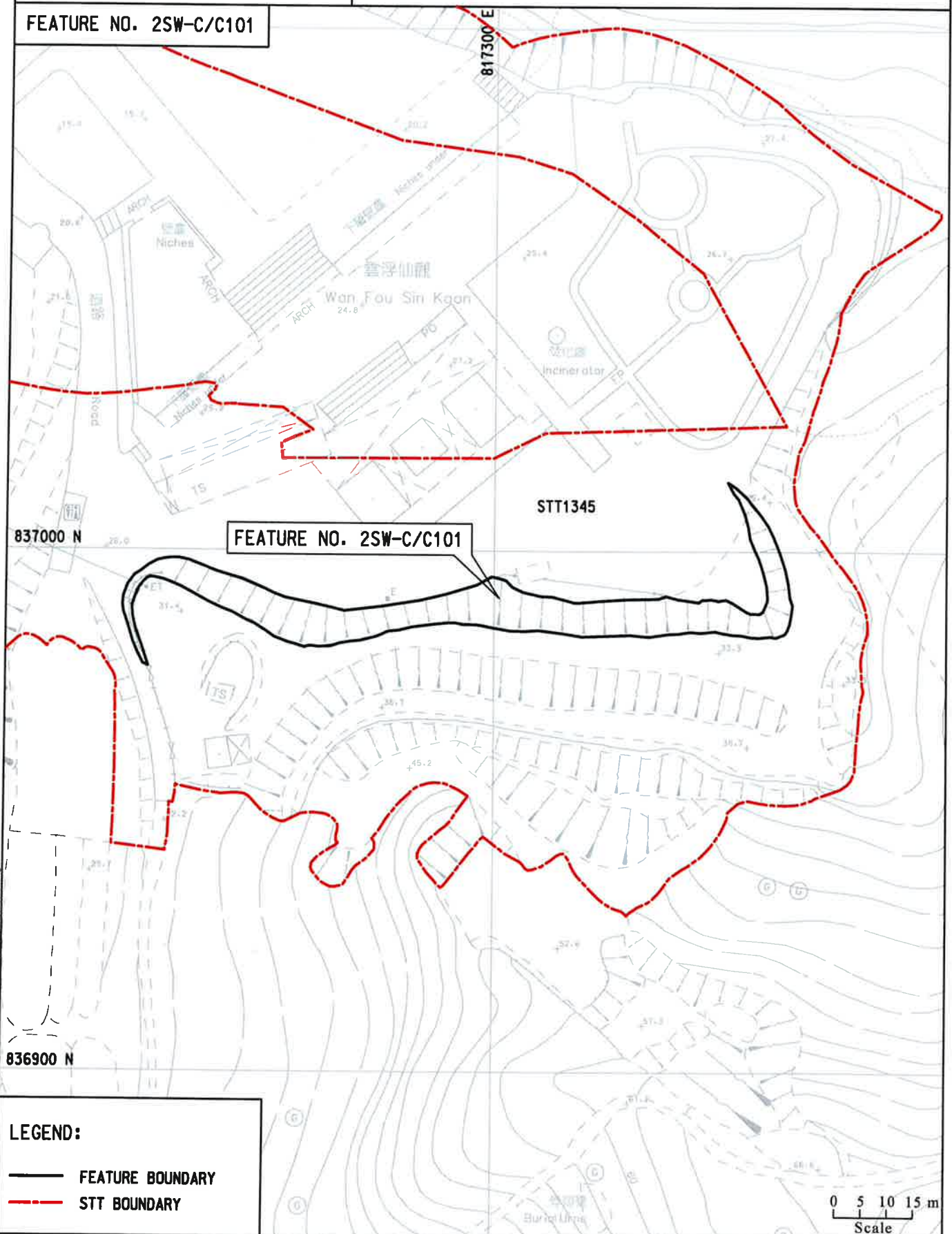
Figure
No.

- | | |
|---|--|
| 1 | General Location Plan |
| 2 | Location Plan of Section |
| 3 | Geological Profile and Stability Analysis of Section 1-1 |
| 4 | Action To Be Taken |

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101



LEGEND:

- FEATURE BOUNDARY
- - - STT BOUNDARY

Civil Engineering and
Development Department
Geotechnical Engineering Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

Halcrow

Scale 1:1000 Date JAN. 09

GENERAL LOCATION PLAN

Figure No. 1

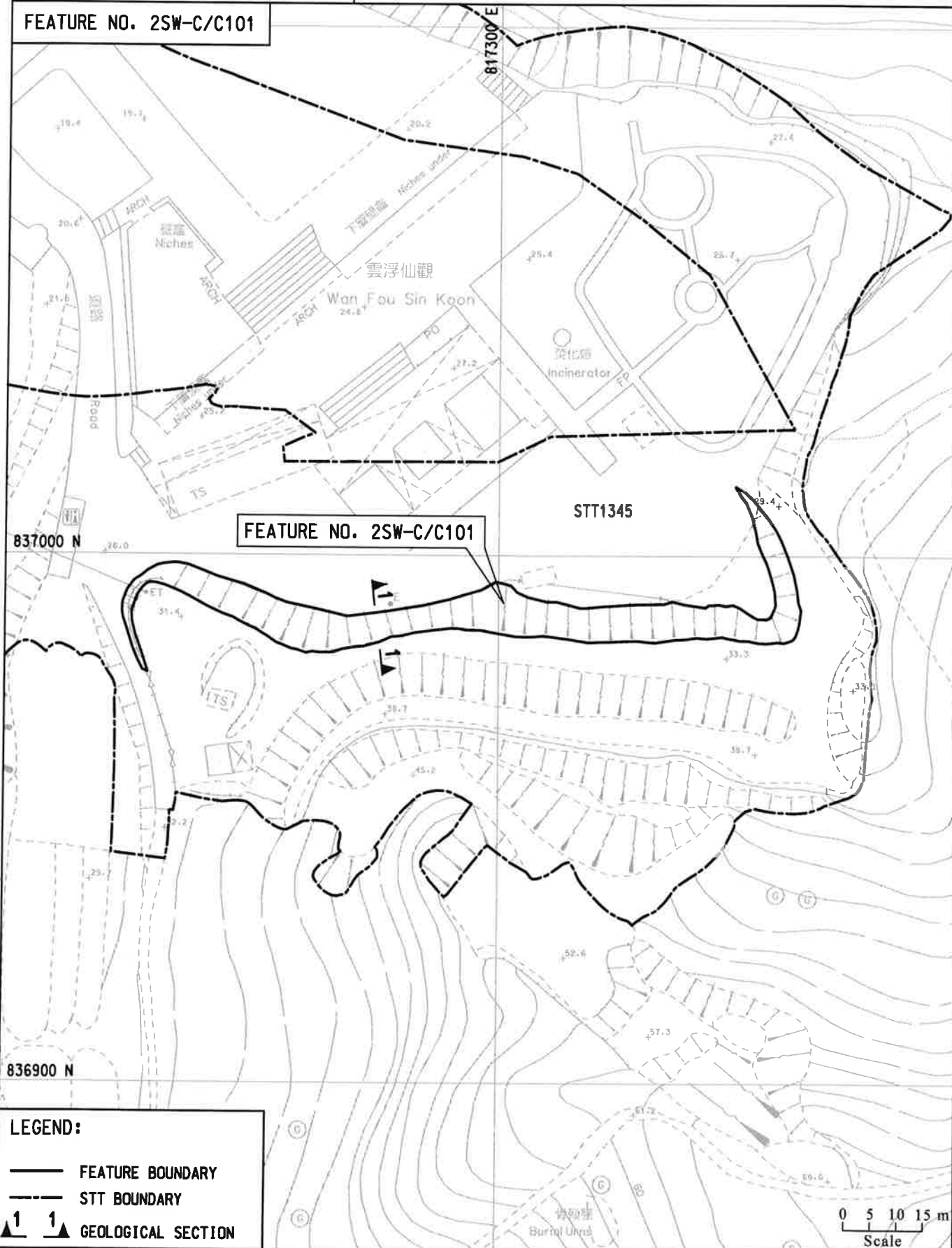
e:\geow\TOSSSK\stage2_study\2SW-CC101\2SW-CC101_FIG1_S2.dgn

phillipf

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101



Civil Engineering and
Development Department
Geotechnical Engineering Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

Halcrow

Scale 1:1000 Date JAN. 09

LOCATION PLAN OF SECTION

Figure No. 2

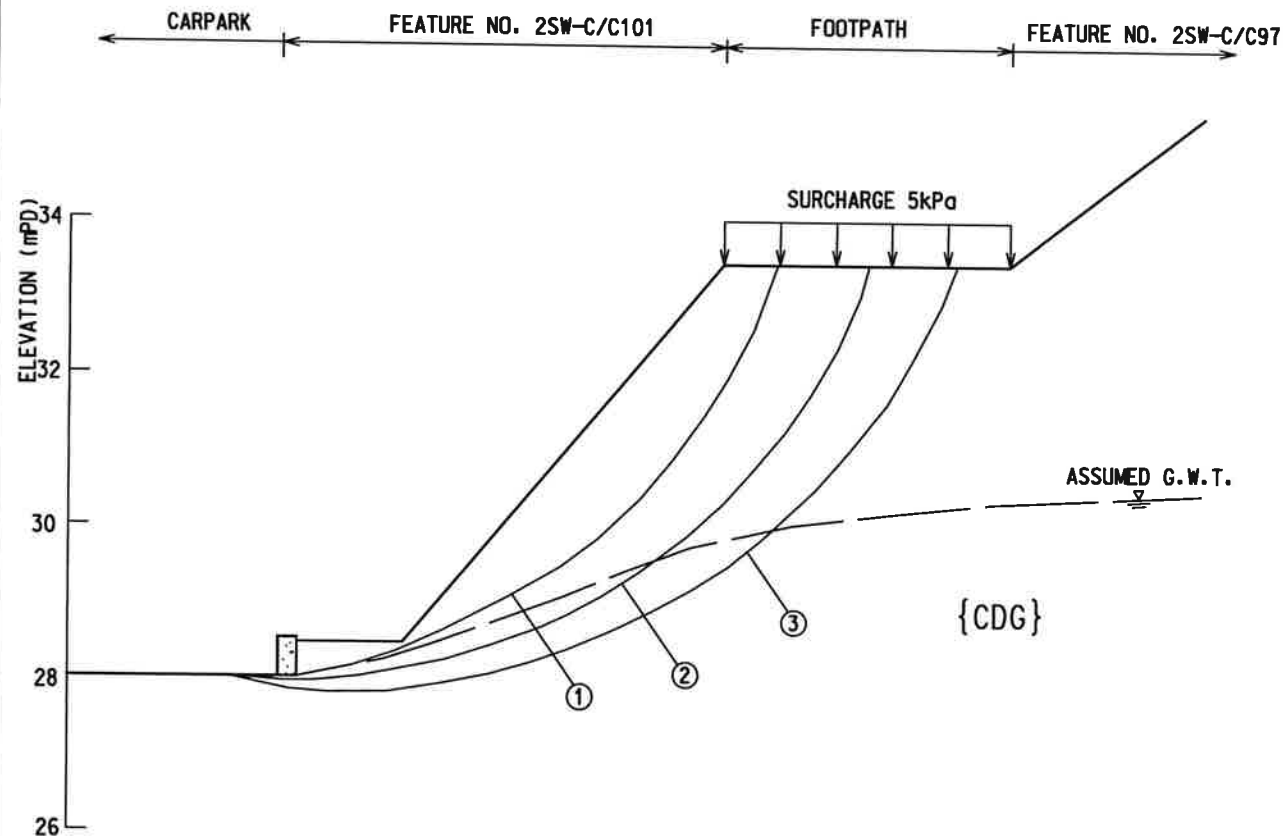
e:\gao\T055SK\stage2_study\2SW-CC101\2SW-CC101_FIG2_S2.dgn

ph111pf

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101

**LEGEND:**

① SLIP SURFACE NO. 1 (NO. 1 OF 3)

{CDG} COMPLETELY DECOMPOSED
GRANITE**ADOPTED SOIL PARAMETERS**

SOIL	c' (kPa)	ϕ' (°)	γ (kN/m ³)
CDG	5	35	19

SLIP SURFACE NO.	FOS
1	1.404
2	1.331
3	1.384

0 1 2m
Scale

Civil Engineering and
Development Department
Geotechnical Engineering in Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

GEOLOGICAL PROFILE &
STABILITY ANALYSIS
OF SECTION 1-1

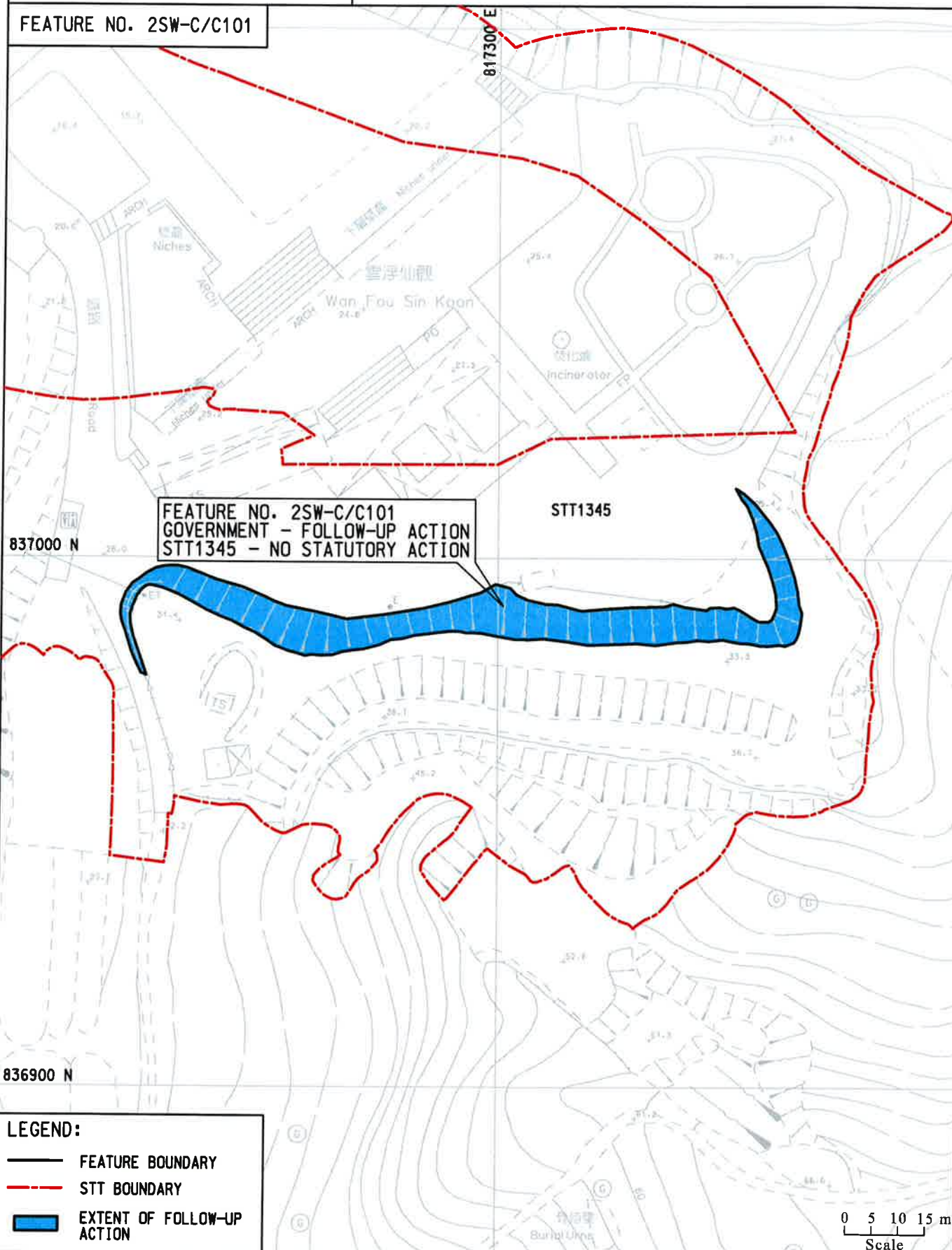
Halcrow

Scale 1:100 Date JAN. 09 Figure No. 3

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101



LEGEND:

- FEATURE BOUNDARY
- - - STT BOUNDARY
- EXTENT OF FOLLOW-UP ACTION

0 5 10 15 m
Scale

Civil Engineering and
Development Department
Geotechnical Engineering Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

Halcrow

Scale 1:1000 Date JAN. 09

ACTION TO BE TAKEN

Figure No. 4

E:\geotools\SSK\Stage2_Study\2SW-CC101\2SW-CC101_FIG4_S2.dgn

HN_Kent

LIST OF PLATES

Plate
No.

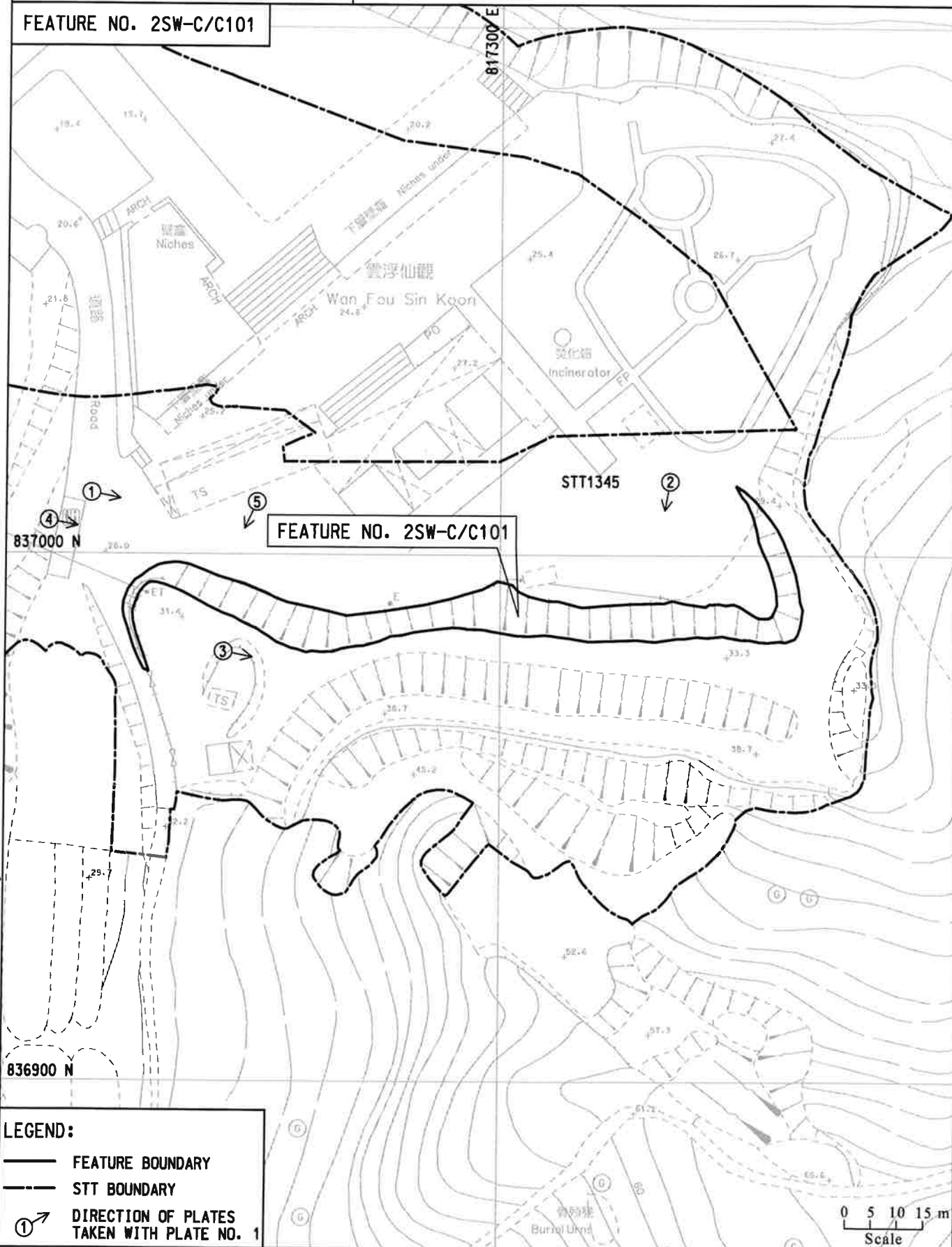
PH/01 Direction of Plates

- 1 Side View of the Western Portion of the Feature (Photo Taken in December 2008)
- 2 General View of the Eastern Portion of the Feature (Photo Taken in December 2008)
- 3 Crest View of the Western Portion of the Feature (Photo Taken in December 2008)
- 4 Side View of the Western Portion of the Feature (Photo Taken in February 2012)
- 5 General View of the Western End Portion of the Feature (Photo Taken in February 2012)

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101



Civil Engineering and
Development Department
Geotechnical Engineering Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

Halcrow

Scale 1:1000 Date JAN, 09

DIRECTION OF PLATES

Figure No. PH01

e:\geot\TOSSSK\stage2_study\2SW-CC101\2SW-CC101_PH01_S2.dgn

PH111.pif



AGREEMENT NO. CE 48/2006 (GE)
10-YEAR EXTENDED LPM PROJECT, PHASE 7, PACKAGE K

Halcrow

SIDE VIEW OF THE WESTERN PORTION OF THE FEATURE (PHOTO TAKEN IN DECEMBER 2008)

PLATE 1



AGREEMENT NO. CE 48/2006 (GE)
10-YEAR EXTENDED LPM PROJECT, PHASE 7, PACKAGE K

Halcrow

GENERAL VIEW OF THE EASTERN PORTION OF THE FEATURE (PHOTO TAKEN IN DECEMBER 2008)

PLATE 2



AGREEMENT NO. CE 48/2006 (GE)

10-YEAR EXTENDED LPM PROJECT, PHASE 7, PACKAGE K

Halcrow

CREST VIEW OF THE WESTERN PORTION OF THE FEATURE (PHOTO TAKEN IN DECEMBER 2008)

PLATE 3



AGREEMENT NO. CE 48/2006 (GE)
10-YEAR EXTENDED LPM PROJECT, PHASE 7, PACKAGE K

Halcrow

SIDE VIEW OF THE WESTERN PORTION OF THE FEATURE (PHOTO TAKEN IN FEBRUARY 2012)

PLATE 4



AGREEMENT NO. CE 48/2006 (GE)
10-YEAR EXTENDED LPM PROJECT, PHASE 7, PACKAGE K

Halcrow

GENERAL VIEW OF THE WESTERN END PORTION OF THE FEATURE (PHOTO TAKEN IN FEBRUARY 2012)

PLATE 5

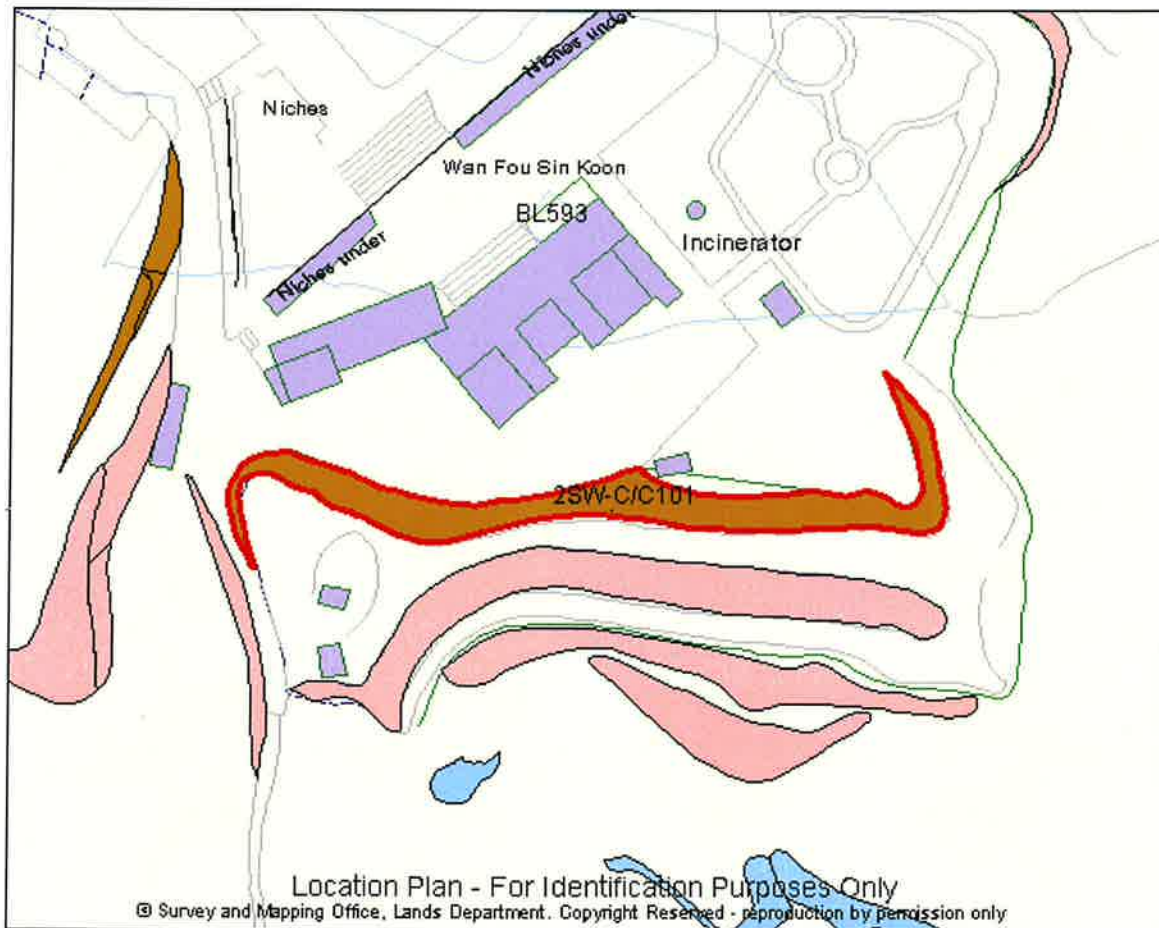
APPENDIX A

SYSTEMATIC IDENTIFICATION OF MAINTENANCE RESPONSIBILITY OF SLOPE IN THE TERRITORY (SIMAR) REPORT

Slope Report

FOR IDENTIFICATION PURPOSES ONLY

Slope Location Plan



Legend

- Responsible Slope / Part of Slope Boundary
- - - Lot Boundary

Slope Maintenance Responsibility Category

- Government
- Private
- Joint (Government and Private)



LANDS DEPARTMENT

Not To Scale

Office:

SIMAR Unit, Estate Management Section

Date:

13/03/2012

Slope Number

2SW-C/C101

IASMP01001

SIMAR REGISTER

13/03/2012 03:50 PM

<u>Slope No.</u>	<u>Slope Sub-division No.</u>	<u>Location</u>	<u>Responsible Lot(s) / Party(s)</u>	<u>Maintenance Agent</u>	<u>Slope Plan*</u>	<u>Remarks</u>
2SW-C/C101		WITHIN STT1345	Lands D	Lands D	as per the attached	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent direct.
2SW-C/C101		WITHIN STT1345	STT1345	N/A	as per the attached	

- End of Report -

- * Note:
- (i) The attached slope plan(s) are for the purpose of identification of the slope(s) only.
 - (ii) The slope(s) mentioned in the Register may not be shown in the attached slope plan(s).

APPENDIX B

AERIAL PHOTOGRAPH INTERPRETATION (API) REPORT

API Report on
Feature No. 2SW-C/C101
Wan Fau Sin Koon,
Lau Fau Shan

1. Summary

Feature No. **2SW-C/C101** is located at Wan Fau Sin Koon, Lau Fau Shan. The available aerial photographs taken between the years 1945 and 2006 were examined. From the available aerial photographs, the study feature was formed between 1975 and 1976. No evidence of past instability relevant to the study feature was identified. No evidence of the presence of boulders or natural drainage path affecting the study feature could be identified.

2. Site History

The following site history has been interpreted from the available aerial photographs from 1945 to 2006:

	<u>Year</u>	<u>Observation</u>
2.1	1945	Feature No. 2SW-C/C101 had not been formed. Agricultural fields were observed at the study area.
2.2	1949-1975	No significant changes to the study area were observed.
2.3	1976	Feature No. 2SW-C/C101 was formed by cutting and a large open space was observed at the toe of the feature. Wan Fau Sin Koon had not been constructed yet.
2.5	1978-1979	No significant changes to the feature were observed. Construction work of the Wan Fau Sin Koon was in progress. Buildings were observed to the north of the feature.
2.6	1981	No significant changes to the feature were observed. Construction work of the Wan Fau Sin Koon was completed.
2.7	1982	No significant change to the feature was observed.
2.8	1983	No significant change to the feature was observed.
2.9	1984	No significant change to the feature was observed.
3.0	1985-1990	No significant change to the feature was observed.
3.1	1991-1995	No significant change to the feature was observed.
3.2	1996-2000	No significant change to the feature was observed.

- 3.3 2001-2003 No significant change to the feature was observed.
- 3.4 2004-2006 No significant change to the feature was observed.

3. Past Instability

No past instability was observed from the aerial photographs.

4. Boulders

No boulders could be identified from the aerial photographs.

5. Surface Hydrology

No natural drainage path could be identified from the aerial photographs.

List of Photographs viewed

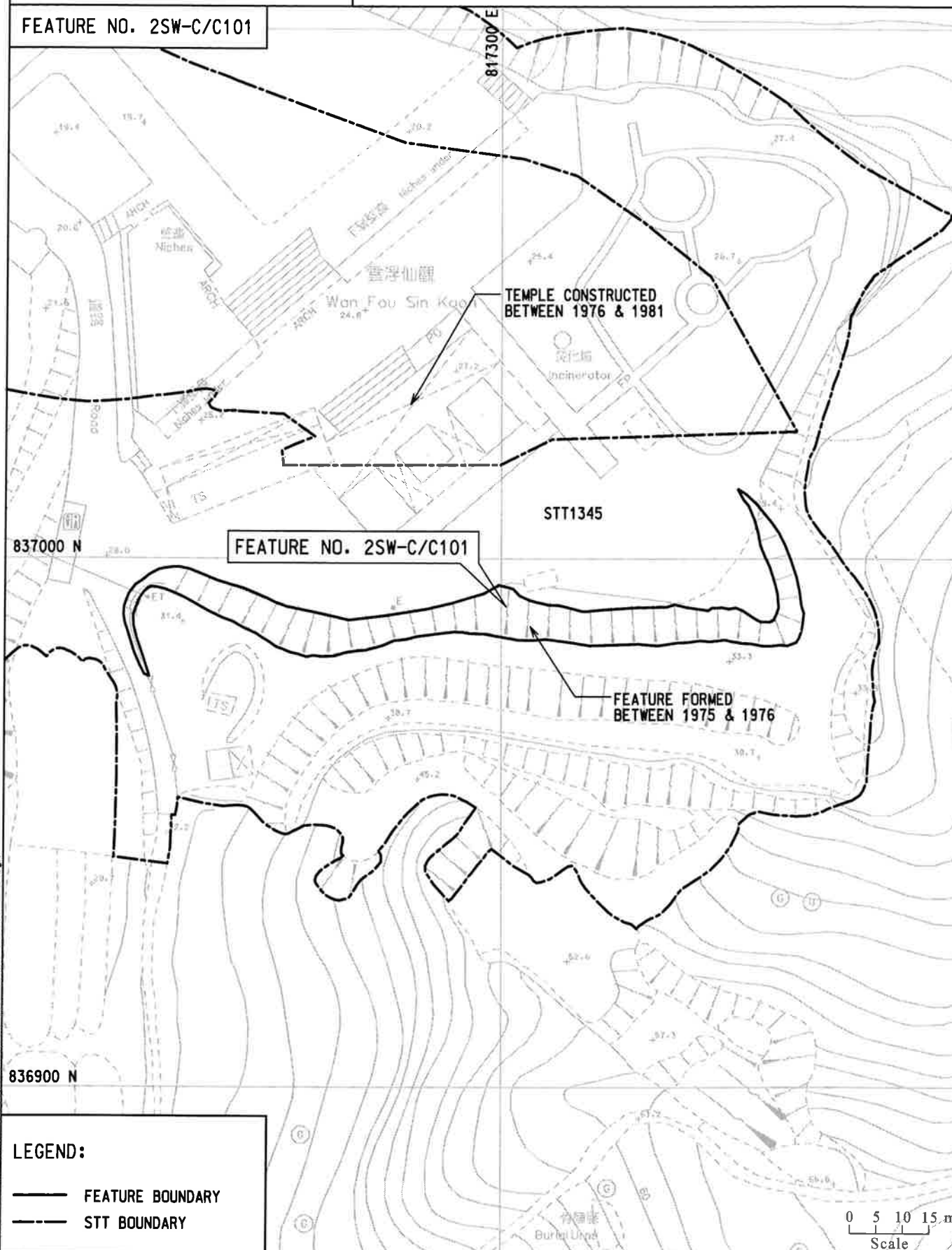
Stage 2 Study
Feature No. 2SW-C/C101
Wan Fau Sin Koon,
Lau Fau Shan

Year	Photograph No.
1945	Y00856-57
1949	Y02482-84
1954	Y02871-72
1963	Y09685-86
1964	Y13057-58
1973	7919-20
1974	10007-08
1975	11926-27
1976	16028-29
1978	20634-24541
1979	28473-74
1981	39309-10
1982	42873-74
1983	51432-33
1984	55783-84
1985	A01821-22
1986	A07454-55
1987	A10788-89
1988	A15844-45
1989	A19110-11
1990	A24264-65
1991	A28189-90
1992	A30616-17
1993	CN4997-98
1994	A38458-59
1995	CN9808-09
1996	CN16471-72
1997	CN17703-04
1998	CN20232-33
1999	CN22500-01
2000	CN26487-88
2001	CW31518-19
2002	CW40524-25
2003	CW46743-44
2004	CW61699-700
2005	CW64095-96
2006	CS04094-95

STT NO.: STT1345

LOCATION : WAN FAU SIN KOON, LAU FAU SHAN

FEATURE NO. 2SW-C/C101



Civil Engineering and
Development Department
Geotechnical Engineering Office

Agreement No. CE48 / 2006 (GE)
10-Year Extended LPM Project
Phase 7, Package K
Stability Studies of Private Slopes
in Hong Kong Island and New Territories
- Investigation

Halcrow

Scale 1:1000 Date JAN. 09

SUMMARY PLAN OF OBSERVATION FROM API

Figure No. —

E:\geotec\TDS\SSK\Stage2_Study\2SW-CC101\2SW-CC101_FIG_API_S2.dgn

KL_You

APPENDIX C

PHASE 2 SYSTEMATIC INSPECTION OF FEATURES IN THE TERRITORY (SIFT) STUDY

PHASE 2 SYSTEMATIC INSPECTION OF FEATURES IN THE TERRITORY (SIFT 2 Version 4.5)SIFT No: 2SW-22/B-S11 GEO Reg. No: _____ Grid Ref.: See - Table 4 in SIFT ReportLocation: Above Monastery**1. Registration Criteria from GEO Circular 7/93:**

R greater than 3m high. F or FR greater than 5m high.

F or FR less than 5m high which pose a direct risk to life in the event of failure.

} Part of Larger

} Fill Body (Y / N)

☒ or CR greater than 3m high.

WC (Work Complete)

WIP (Work In Progress)

Date: _____, registerable features may be present.

ADT (Abandoned Disturbed Terrain), Type _____

NR does not meet GEO slope registration criteria _____

NE no longer exists _____

OTHER _____

2. SIFT Classification: from Guidelines for Phase 2 SIFT Version 3.1 and Addendum 5Aerial Photograph Year and Number 1978 24540-41☐ Class A Fill feature considered to have similar circumstances to the Baguio landslide site.

Class B Fill feature considered to meet GEO criteria for slope registration but does not meet criteria A.

☐ B1 Have been formed or substantially modified before 30.6.78 or to have been illegally formed after 30.6.78.☐ B2 Have been formed or substantially modified after 30.6.78, studied to GEO Stage 2, or equivalent or to be Housing Dept. Feature.

Class C Cut feature considered to meet GEO criteria for slope registration.

☒ C1 Have been formed or substantially modified before 30.6.78 or to have been illegally formed after 30.6.78.☐ C2 Have been formed or substantially modified after 30.6.78

Formation/Modification before

or after 30.6.78 determined by :-

☐ Confirmed by API☒ Assumed (Reason: construction between 1976 - 1978)**3. Consequence:** (Modified B&P Assessment of Risk for A, B1 only. See Section 4 below for details.)☐ Low☐ Low to moderate☐ Moderate☐ Moderate to High☐ High☐ Very High**4. Modified B&P Assessment of Risk:** (For Class A,B1 only)**4.1 Feature Dimensions**

Estimated Slope Height _____ m.

Estimated Slope Length _____ m.

Estimated Slope Gradient _____ °.

Estimated Retaining Wall Height _____ m.

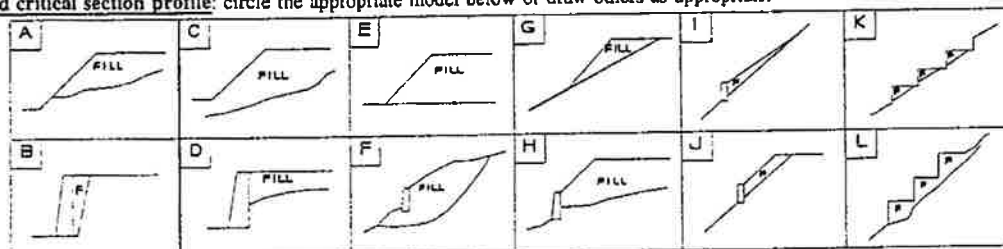
Estimated Max. Fill Width _____ m.

Estimated Fill Thickness _____ m.

Total Height of Feature _____ m.

Part of Larger Fill Body? (Y / N)

Volume Calculation _____

Estimated Fill Volume _____ m³.**4.2 Estimated critical section profile:** circle the appropriate model below or draw others as appropriate.**4.3 Topographic Situation**

Adjacent / Traversed : Drainage Line / Topographic Depression or Spurline / Planar Slope

Catchment area : (1=<100m², 2=100-500m², 3=500-1000m², 4=1000-10000m², 5=>10000m²)

To Fill Body _____ To Drainage Line (if Affected Structure located downstream) _____

Intervening Ground, feature to facility: Platform / Slope / Drainage Line Natural / Cut / Fill Vegetation (Y / N)

Debris Trail: Channelisation : Spread : Erosion and Entrainment : Assumed to occur along debris trail

4.4 Facilities

Facility(ies) below feature.

Bus Shelter (Y / N)

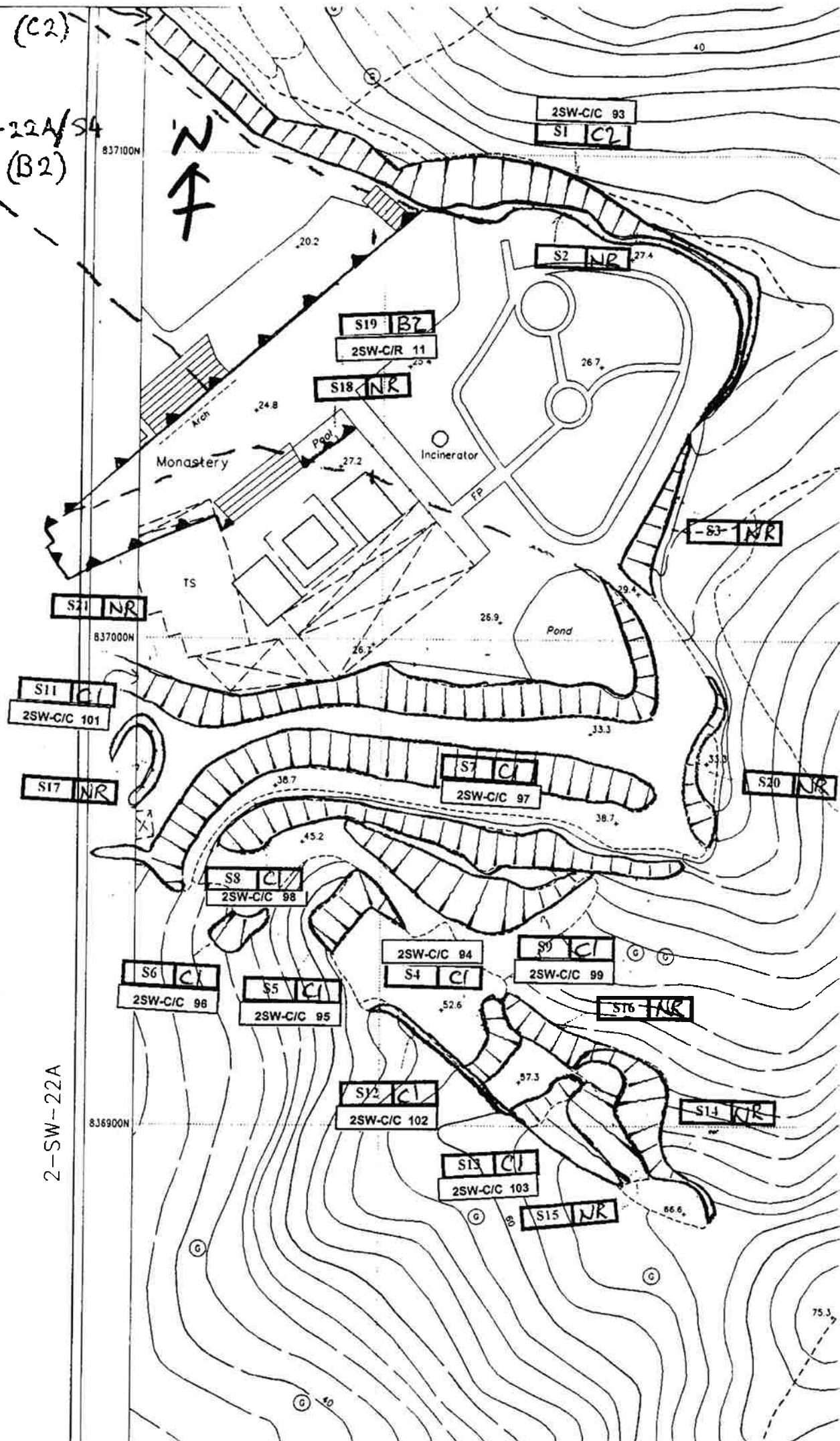
Facility _____; Distance, Plan _____ m, Vertical _____ m, Angle _____ °

Facility _____; Distance, Plan _____ m, Vertical _____ m, Angle _____ °

Facility(ies) on slope/platform of feature: road / building / other _____

4.5 Consequences of Slope Failure / Remarks:Compiled by P.A.SpiersAPI CONSULTANT/ 17dated January 14 1998

(C2)
2SW-22A/S4
(B2)



2-SW-22A

APPENDIX D

SIS DATA SHEET & SIS PLAN

BASIC INFORMATION	Feature Ref. No. : 2SW-C/C 101
--------------------------	---------------------------------------

Location: WAN FAU SIN KOON, LAU FAU SHAN

Approximate Coordinates **Northing :** 836989 **Easting** 817300

SLOPE PART

Max. Height (m) : 6 **Length (m) :** 160 **Avg. Angle (deg) :** 55

WALL PART

Max. Height (m) : **Length (m) :**

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest : Road/footpath with very low traffic density

Distance of Facility from Crest (m) : .3

Facility at Toe : Open car park

Distance of Facility from Toe (m) : .5

Consequence-to-life Category : 2

Sift Class : C1

Remark : NIL

Maintenance Responsibility : **Sub Div. No :** 0 **Main. Parties :** STT1345

Other Information	Feature Ref. No. : 2SW-C/C 101
--------------------------	---------------------------------------

CNPCS : 2.86

SIFT Ref. : 2SW-22B/S 11

CNPCS Source : SIRST record : Provided by SIRST Consultants

ENHANCED MAINTENANCE

Upgraded by		Improved by			
<u>Prescriptive Design Using GEO Report No. 56</u>	<u>Non-prescriptive Design including Conventional Design</u>	<u>Type 1 /Type 2 Prescriptive Measures</u>	<u>Type 3 Prescriptive Measures (not up to upgrading standard)</u>	<u>Actual Completion Date</u>	
NULL	NULL	NULL	NULL	NULL	

DADS

DH Order

<u>Recommendation Date</u>	<u>Served Date</u>	<u>Defaulted Date</u>	<u>Lot Address</u>	<u>File Reference</u>	<u>Notice No.</u>	<u>Discharged Date</u>
NULL	NULL	NULL	NULL	NULL	NULL	NULL

Advisory Letter

<u>Recommendation Date</u>	<u>Served Date</u>	<u>Lot Address</u>	<u>File Reference</u>	<u>Status of Letter</u>
NULL	NULL	NULL	NULL	NULL

CHECKING STATUS

Relevant Files :

Part :

NULL

Checking Status :

NULL

LPMIS

Agreement No.: CE48/2006

Study Type: Stage 2 Study

GE/Consultant: Halcrow

Study Status: Study has not commenced yet

Report No.:

Draft Report Date:

Study Completion Date:

Recommendation:

Remarks:

LPM Contract No.:

Works Status:

Works Commencement Date:

Works Completion Date:

Type of Upgrading Works:

Drawing No.:

Maintenance Manual No.:

Slope / Wall Detail Data	Feature Ref. No. : 2SW-C/C 101
---------------------------------	---------------------------------------

SLOPE PART

Material Description :	Material Type:	Soil & Rock	Geology:	Decomposed granite
Dimensions :	Max. Height (m):	6	Length (m):	160
	Average Angle (deg):	55		
	No. of Berms:		Min. Berm Width (m):	
Surface Protection :	% Bare:	70	% Shotcrete:	0
	% Vegetated:	30	% Other Cover:	0
	% Chunam:	0		
Weepholes :	Size (mm):		Spacing (m):	
Drainage :	<u>Type</u>		<u>Size (mm)</u>	
	NULL		NULL	

WALL PART

NULL

SERVICES

<u>Utilities Type</u>	<u>Size</u>	<u>Location</u>	<u>Remark</u>
Water Main	80	On crest	
Electricity		On crest	Size cannot be determined
Water Main	80	On slope	
Electricity		On slope	Size cannot be determined

Feature Reference No. : 2SW-C/C 101

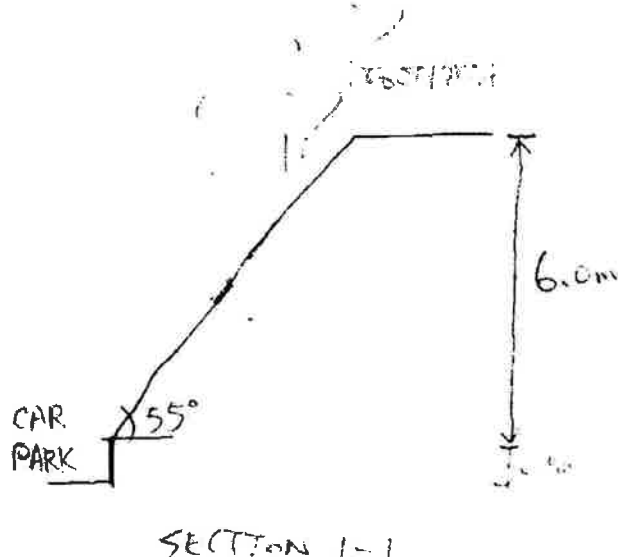
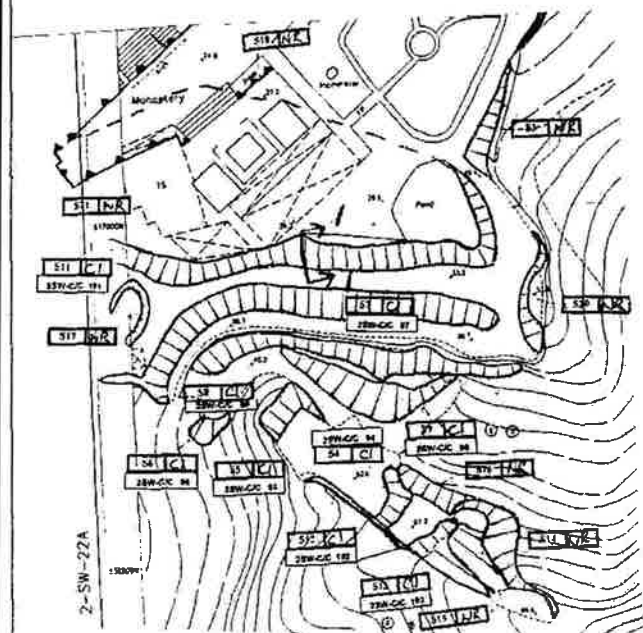
Inspected by : Chan, W.L.

on 12 MAR 1998

Weather	Some Rain
---------	-----------

District	MW
----------	----

GE Area :



Other external action	Check/repair service	<input type="checkbox"/>	Engineer Inspection	<input checked="" type="checkbox"/>	Non-routine Maintenance	<input type="checkbox"/>
	Action by		Private	<input checked="" type="checkbox"/>	Government :	<input checked="" type="checkbox"/>

Date :

Legend & Notes for Stage 1 Study Report Form

Legend :

- H1 Critical height relative to the structure at risk.
- H2 Height of lowest daylighting point for realistic slip surface above the toe of the slope (at the same location as the "Critical Height"). This should be used to estimate the "Effective Height" of the slope for Criterion D of GEO Circular No. 4/97.
- # For definition of Engineering Judgement and Consequence Category, refer to SIRST Procedural Manual.
- + Criterion A - There are significant signs of distress, or visual or documented evidence of continuing hazardous movement, of a landslide, slope, excavation, retaining structure, boulder or rock fragment.
- ++ Criterion D - Only applicable for soil cut slopes in weathered granite or tuff having an effective height and mean slope inclination (at the critical section) failing within the hatched zone shown on Figure 1 of GEO Circular No. 4/97. Effective height is the difference in elevation between the crest and the lowest daylighting point of realistic slip surfaces. The use of this criterion can be applied to sites located in the rock formation given in Appendix E of the Procedure Manual for Slope Cataloguing.

Notes :

1. The appropriate recommendation(s) should be made from observations made during the Stage 1 Study, indicating either one or a combination of the following:
 - (a) Emergency Action - Emergency action should be recommended for those features which have shown signs of immediate danger. For private features, emergency works are implemented by the Buildings Department (BD) through their Emergency Contractor to ensure public safety. For Government features, urgent repair works are carried out by the maintenance department as stipulated in LWBTC 9/87.
 - (b) Action to Initiate Preventive Works/Study
 - (i) For private features involving a significant risk to life or serious damage to property and whose conditions satisfy either Criterion A or Criterion D as stipulated in GEO Circular No. 4/97, DH Order should be recommended to BD for them to initiate study/preventive works. Advisory Letter should be recommended for cases not involving a significant risk to life or serious damage to property. For public features which satisfy Criterion A or Criterion D, GEO should initiate urgent repair works and/or LPM works if needed.
 - (ii) Further study should be recommended for the features unless preventive measure are not necessary.
 - (c) Other External Action - This falls under actions not normally resulting in preventive works/study.
 - (i) Check/repair Service - Advise the responsible party to check/repair an suspected leaking water carrying services.
 - (ii) For features which the inspecting GE considers no further study is needed including for features requiring maintenance works (including preventive maintenance) as covered by Engineer Inspection, the Engineer Inspection box should be ticked but the action is assumed to be taken by the owners (both public and private) since Engineer Inspection is required for all features; Geoguide on Slope Maintenance and/or WBTC 9/96.
 - (iii) Non-routine maintenance refers to maintenance works which the inspecting GE considers needs to be implemented within the next 12 months to prevent deterioration of the slope to a point when it could become dangerous. For more urgent works, the inspecting GE should qualify in the Notes box that the works should be implemented either ASAP or before the onset of wet season. For private features, the private owners should be informed through issue of Advisory Letter by BD. For public features, the responsible department should be informed of the recommendation.

Photo Record Sheet

Printed on 03-JUL-08 15:40:30

2SW-C/C 101

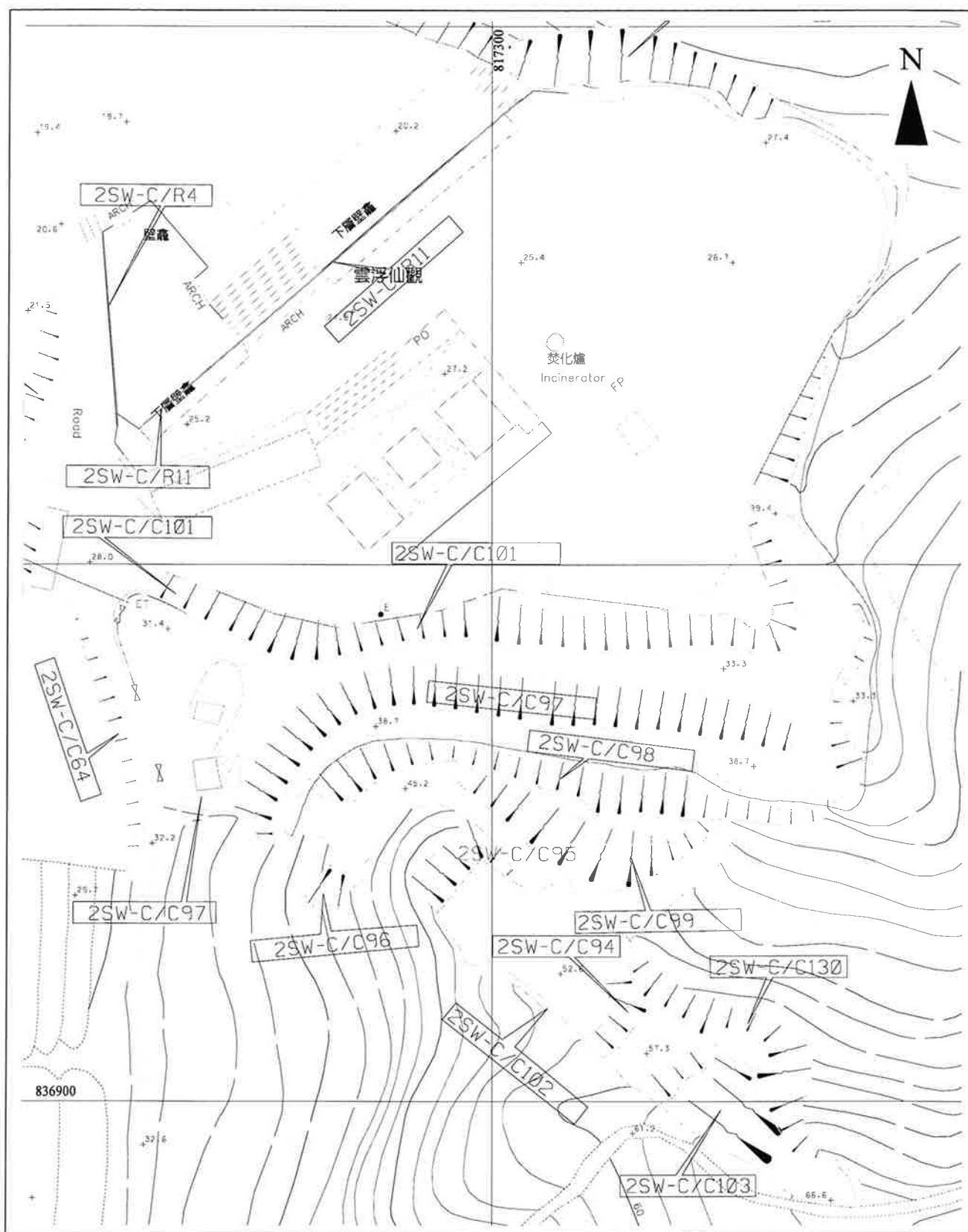
Date Taken



2SW-C/C 101

GENERAL VIEW

F20



Geotechnical Engineering Office

Slope Location Plan

Slope No: 2SW-C/C 101
Easting: 817300

Date Print: 03/ 7/2008
Northing: 836989

Scale: 1: 1000

APPENDIX E

BUILDING DEPARTMENT RECORD

Fax No. : 28278352

Tsui Shing Tin
Level 10
Millennium City 6
392 Kwun Tong Road

8273026

File 16/SSSK/11.1			
Disk			
Date Annot		Date/by	
Rec'd		13 NOV 2008	
Action	Info	Sign	Remark
(12)			

7 November 2008

Dear Sir/Madam,

Application for Inspecting Building Records/One Stop Service
Application Number : 08110804
Address of Building : STT1345

We refer to your above application and regret to inform you that the Buildings Department (BD) does not have the requested records of the subject building for the following reason(s) :

8. There is no such record of approved building works on the subject lot / land.

2. For any queries about your application, please contact us at 2626 1207.

Yours faithfully,

Building Information Centre
Buildings Department

Note: To save paper, we will provide Chinese translation of this letter only on request. Please contact us at 2626 1207 for details.
為節省用紙，現只提供英文本。如需要中文譯本，請撥電 2626 1207 與我們聯絡。

This computer print-out requires no signature.
此乃電腦文件，毋須簽署。

BIC-SL 4 (Rev. 5/2008)

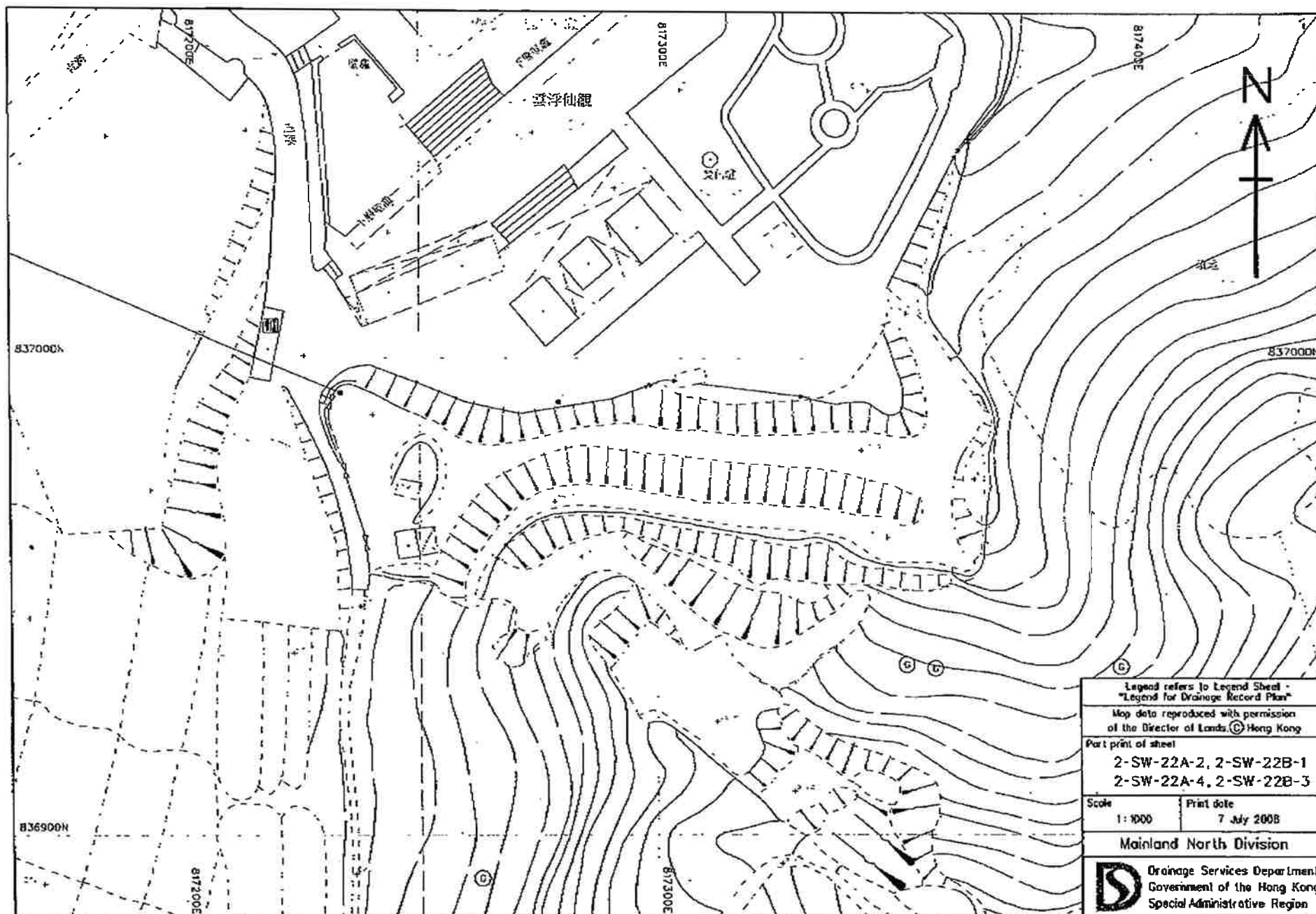
APPENDIX F
UTILITIES RECORDS

14-JUL-2008 10:09

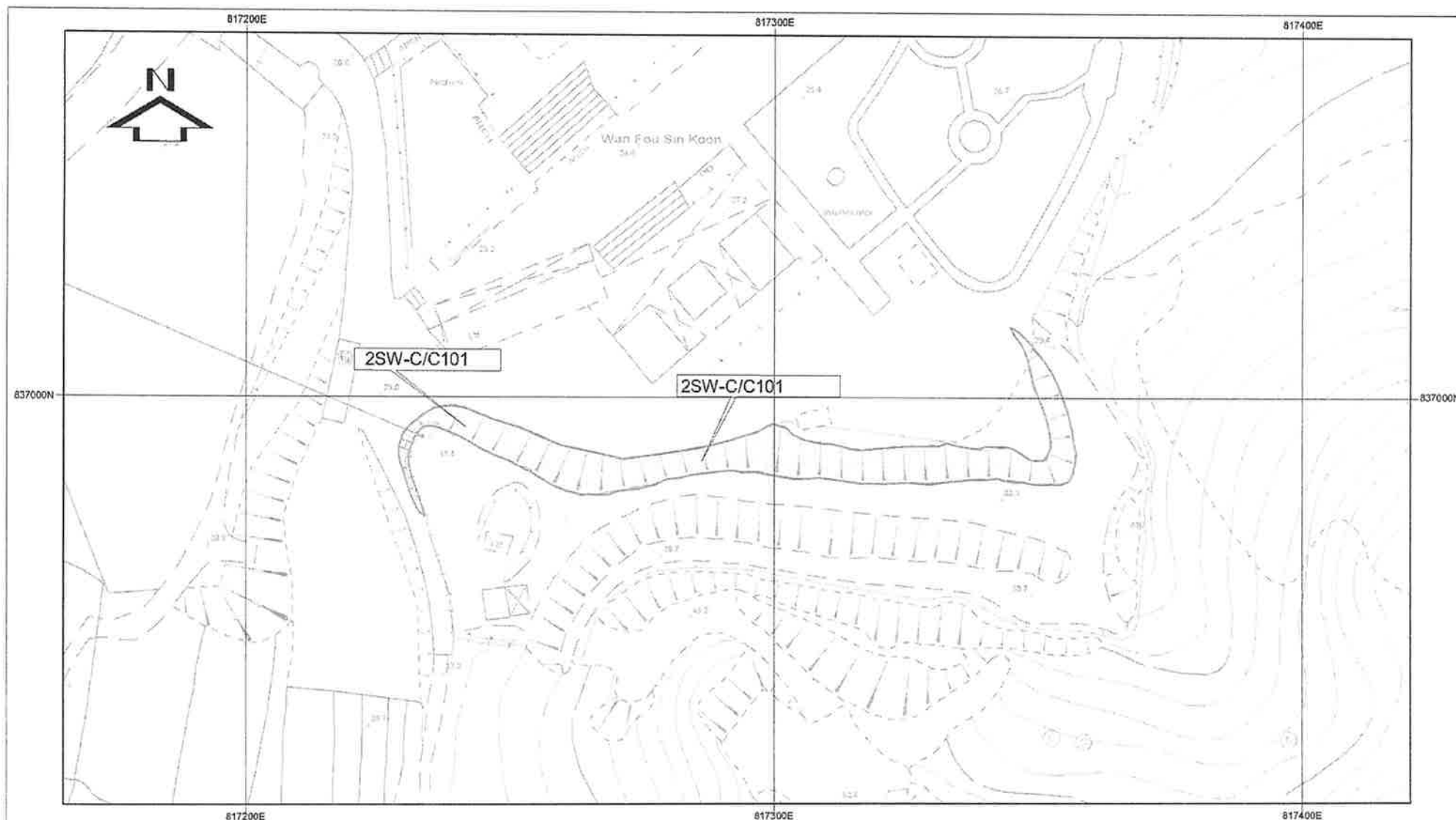
+ 852 2783 8754

+ 852 2783 8754

P.05



2SW-C/C101



- NOTES: 1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM.
 3. NO EXISTING WATER MAINS IN THE VICINITY OF THE SITE.
 4. NO EXISTING W.S.D. CABLE IN THE VICINITY OF THE SITE.
 5. NO PROPOSED W.S.D. CABLE IN THE VICINITY OF THE SITE.
 6. THE SITE IS NOT WITHIN W.S.D. GATHERING GROUNDS.
 7. NO. W.S.D. RESERVE / LAND ALLOCATION WITHIN THE SITE AREA.

SUBJECT SITE



PART COPY OF SURVEY SHEET NO(S).

2-SW-22A & 22B

FILE REF: (18) IN WSD/NTW 2/25/2/99 T/J(51)

REF. CODE:37W08M

SHEET 4 OF 19

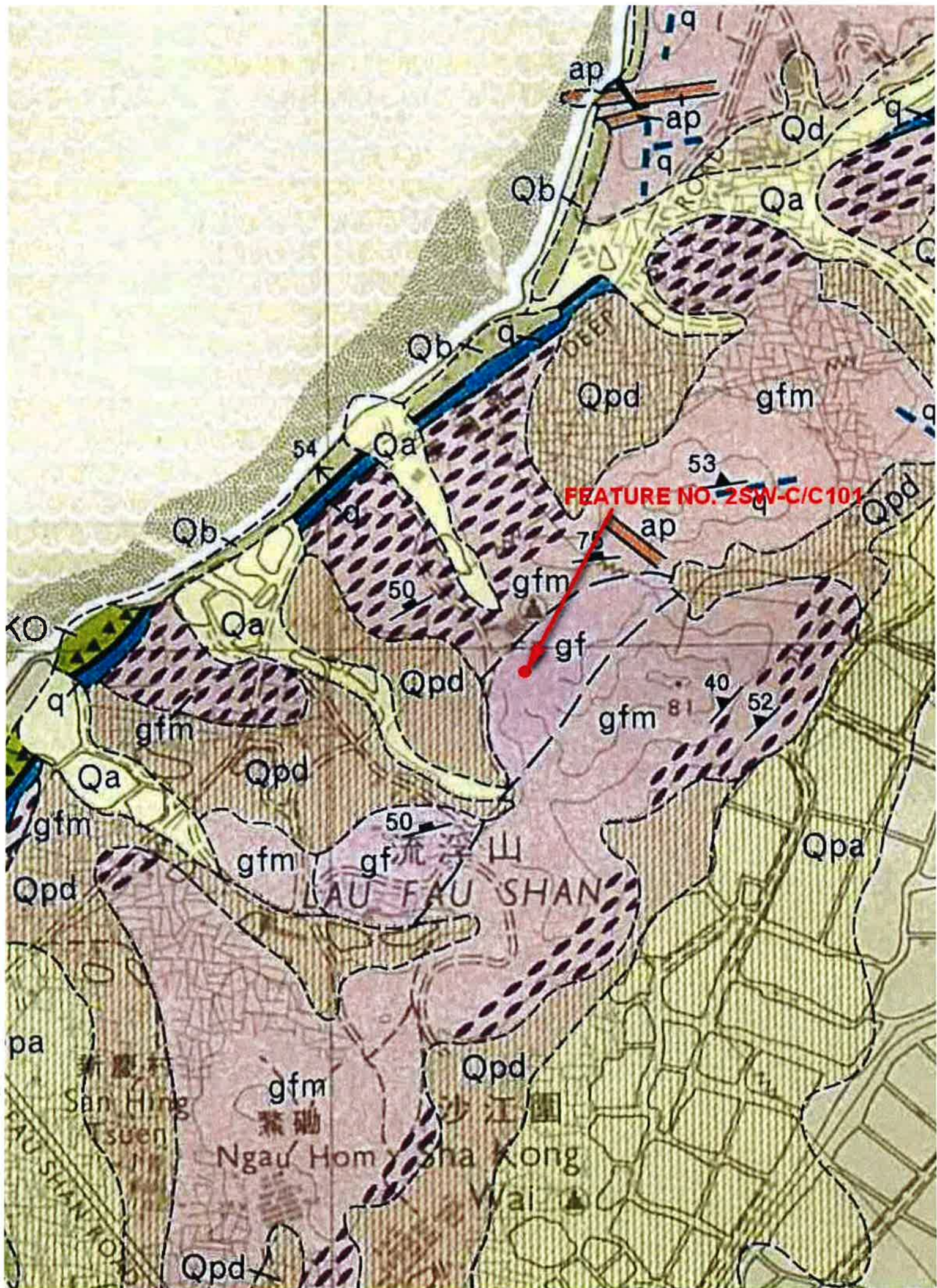
SCALE 1:1000



水務署
Water Supplies Department

APPENDIX G

**PART PRINT OF 1:20 000 GEOLOGICAL MAP OF
HONG KONG SHEET NO. 2**



HONG KONG GEOLOGICAL SURVEY

香港地質調查

SAN TIN 新田

Sheet 2 編號

SOLID AND SUPERFICIAL GEOLOGY 基岩和表土地質圖

Series HGM20 組別

Scale 1:20 000 比例

SUPERFICIAL DEPOSITS 表土沉積

		GENETIC CLASSIFICATION OR NAMED DIVISIONS	成因類型 或地層名稱	主要 物質成份	PRINCIPAL MATERIALS
第四系 QUATERNARY	全新統 HOLOCENE	Fill; sanitary fill (Qfs)	填土	填泥和廢物	Natural earth and waste
		Alluvium	沖積物	分選性良好至中等的 粘土、粉砂、砂和礫石	Clay/silt, sand and gravel; well-sorted to semi-sorted
		Estuarine deposits	河口灣沉積	粘土質粉砂或砂	Clayey silt or sand
		Beach deposits	海灘沉積	砂	Sand
		Raised beach deposits	高位海灘沉積	砂	Sand
	坑口組 HANG HAU FORMATION				
	更新-全新統 PLEISTOCENE AND HOLOCENE				
	更新統 PLEISTOCENE				
	赤臘角組 CHEK LAP KOK FORMATION				

SOLID GEOLOGY 基岩地質

SEDIMENTARY AND VOLCANIC ROCKS 沉積岩和火山岩

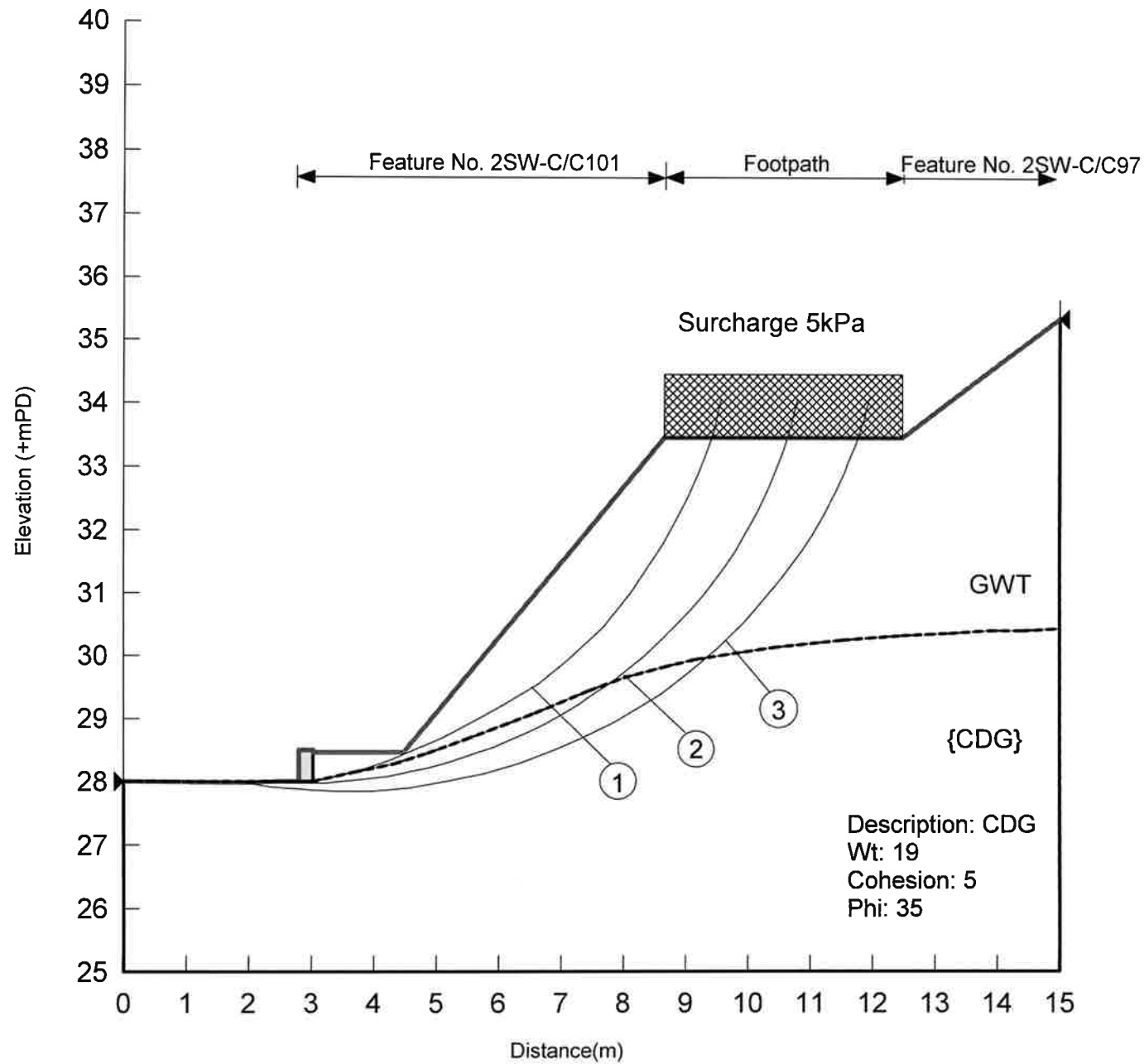
		NAMED ROCK DIVISIONS	地層單位名稱	主要岩石類型/特徵	PRINCIPAL ROCK TYPES/CHARACTERS
中生界 MESOZOIC	上白堊統 UPPER CRETACEOUS	Kat O Formation	古洞組		Breccia with conglomerate Breccia with conglomerate and coarse-grained sandstone
	上侏羅統 UPPER JURASSIC	Tai Mo Shan Formation, undivided	大帽山組 (未分)		粗火山灰晶屑凝灰岩 砂岩
					Coarse ash crystal tuff Sandstone
古生界 PALAEOZOIC	下石炭統 LOWER CARBONIFEROUS	Lok Ma Chau Formation, undivided	落馬洲組 (未分)		變質砂岩夾變質礫岩和千枚岩 千枚岩、變質粉砂岩夾 變質砂岩和石墨片岩
					metaconglomerate and phyllite Phyllite, metasiltstone with metasandstone and graphite schist
	新田群 SAN TIN GROUP	Yuen Long Formation, undivided	元朗組 (未分)		大理岩
					Marble
中生代 MESOZOIC	侏羅-白堊紀 JURASSIC- CRETACEOUS				

MAJOR INTRUSIVE IGNEOUS ROCKS 主要侵入火成岩

中生代 MESOZOIC	侏羅-白堊紀 JURASSIC- CRETACEOUS	Megacrystic 具大晶體的		細粒花崗岩, 0.06—2 毫米	Fine-grained granite, 0.06-2mm
				中細粒花崗岩	Fine- to medium-grained granite

APPENDIX H

STABILITY ANALYSIS OF SECTION 1-1



Slip No.	FOS
1	1.404
2	1.331
3	1.384

Section 1-1
Scale 1:100

Section 1-1.fac

DATESTAMP 1/7/2009

TIMESTAMP 9:44:00 AM

3=METHOD 3=NO. OF SLIP SURFACES 1=NO. OF RADII 2=SIDE FUNCTION TYPE
-734.5000=X-COOR. 556.0000=Y-COOR. COMPUTED AXIS

SLIP NO.	X- COORD.	Y- COORD.	RADIUS	ITERATION NO.	LAMBDA	FACTOR OF (MOMENT)	SAFETY (FORCE)
1	-734.500	556.000	907.227	1	0.0000	1.3139058	1.5704787
1	-734.500	556.000	907.227	6	0.0000	1.3666962	1.3628470
1	-734.500	556.000	907.227	3	-0.2500	1.4041532	1.4069983
2	-734.500	556.000	907.558	1	0.0000	1.2206115	1.4209506
2	-734.500	556.000	907.558	5	0.0000	1.2979275	1.2943115
2	-734.500	556.000	907.558	3	-0.2500	1.3314194	1.3332040
3	-734.500	556.000	907.919	1	0.0000	1.2436726	1.4492883
3	-734.500	556.000	907.919	4	0.0000	1.3483138	1.3414110
3	-734.500	556.000	907.919	3	-0.2500	1.3842808	1.3855355

| SUMMARY OF MINIMUM FACTORS OF SAFETY |

MOMENT EQUILIBRIUM: FELLENIUS OR ORDINARY METHOD

-734.5000=X-COOR. 556.0000=Y-COOR. 907.5578=RADIUS 1.2206115=F.S.

2=SLIP#

MOMENT EQUILIBRIUM: BISHOP SIMPLIFIED METHOD

-734.5000=X-COOR. 556.0000=Y-COOR. 907.5578=RADIUS 1.2979275=F.S.

2=SLIP#

FORCE EQUILIBRIUM: JANBU SIMPLIFIED METHOD (NO FO FACTOR)

-734.5000=X-COOR. 556.0000=Y-COOR. 907.5578=RADIUS 1.2943115=F.S.

2=SLIP#

MOMENT AND FORCE EQUILIBRIUM: MORGENSTERN-PRICE METHOD

-734.5000=X-COOR. 556.0000=Y-COOR. 907.5578=RADIUS 1.3314194=F.S.

2=SLIP#

NORMAL TERMINATION OF SLOPE

MOST_CRITICAL # SLIP_SURFACE #

=====

1

2

SLIP_SURFACE # AUTOTENSIONELEV

=====

APPENDIX I

STAGE 2 STUDY/LPM CHECKLIST

SS-F-02 Sample Stage 2 Study General Checklist

Project Engineer : <u>John Luk</u>		Section : <u>1-1</u>	
Prepared by : <u>S. J. TSUI</u>		Date : <u>24 / 11 / 2008</u>	

	Yes	No
(A) Maintenance Responsibility (MR)		
(a) There is doubt that sub-lots have not been identified by SIMAR If yes, check land status at Lands Dept/Land Registry & draw GEO, CES/EM, Lands D attention to the issue	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Doubt over SIMAR findings. (please specify) _____ If yes, draw GEO, CES/EM, Lands D attention to the issue	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) It appears that the government portion of the feature was formed by the lot owners based on API/site setting but without documentary evidence If yes, draw GEO and maintenance department's attention to the issue	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Urgent repair / maintenance works were carried out by government authority on private MR feature If yes, clarification should be made in Stage 2 Study Report (S2R)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(B) Discrepancy between GEO's records/actual condition		
(a) Feature boundary	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Feature type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Geometry	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Affected facilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Others (please specify) _____ if yes to any items above, address in S2R & notify relevant division of GEO	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(C) Desk Study		
Record, files & previous studies related to adjacent features/lots checked & reviewed	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(D) Stability Assessment		
(a) Any site-specific GI data including laboratory testing results If no, soil strength parameters for sensitivity analyses should be determined by an experienced engineer based on site-specific assessment. Critical review/discussion on sensitivity analyses results should be performed by the experienced engineer	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Stage 2 / LPM General Checklist (Sheet 1 of 2)	Feature No. <u>2SW-C/C101</u> Location : <u>WAN FAI SIN KOON, LAU FAI SHAN</u>
---	---

Project Engineer : <u>John Luk</u>		Section : <u>1-1</u>	
Prepared by : <u>S.T. TSVI</u>		Date : <u>24/11/2008</u>	

	Yes	No
(b) Extraordinarily high groundwater table is adopted based on water stain or signs of dampness observed If yes, the adopted groundwater table should be reviewed by an experienced engineer	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Any natural drainage line above the feature If yes, consider the effect of the drainage line on groundwater table	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Any recorded/unrecorded water carrying services located within the vicinity of the feature If yes, address the effect of potential leakage & state whether leakage investigation is required in the S2R	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(e) If all existing beneficial factors, such as passive resistance wall friction & existing structural restraint etc., have been duly considered	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f) Have adjoining features been considered jointly as an integrated approach in the stability assessment	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) The study feature consists of Fill slope element If yes, address liquefaction potential in the S2R	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(h) Justification of geological model including geological profile, soil parameters, groundwater table and surcharge etc. adopted for stability assessment is included in the S2R	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(i) The feature is a mixed MR feature If yes, stability of each MR portion should be assessed. Local stability of each MR portion should also be checked if the MR are sub-divided vertically	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(E) DHO Recommendation		
(a) Have the scale of consequence been duly considered prior to finalization Stage 2 Study recommendation	<input type="checkbox"/>	<input type="checkbox"/>
(b) DHO recommendation based on criterion F of GEO Circular No. 24 & min. FOS ranging from 1.1 to 1.2 If yes, review of the DHO recommendation by an experienced engineer before issue of the S2R	<input type="checkbox"/>	<input type="checkbox"/>

Stage 2 / LPM General Checklist (Sheet 2 of 2)	Feature No. <u>2SW-C/C 101</u> Location : <u>WAN FAU SIN KODON, JAV</u>
---	--

FAU SHAN

BASIC INFORMATION

Location: WAN FAU SIN KOON, LAU FAU SHAN, YUEN LONG

Registration Date: 06-05-1998

Ranking Score (NPRS): 7 (EI)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817205 Northing : 837121

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: District open space

Distance of Facility from Crest (m): 0

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 26 Average Angle (deg): 37

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1859	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 09-03-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3336 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 09-03-1998
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)



STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: District open space

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

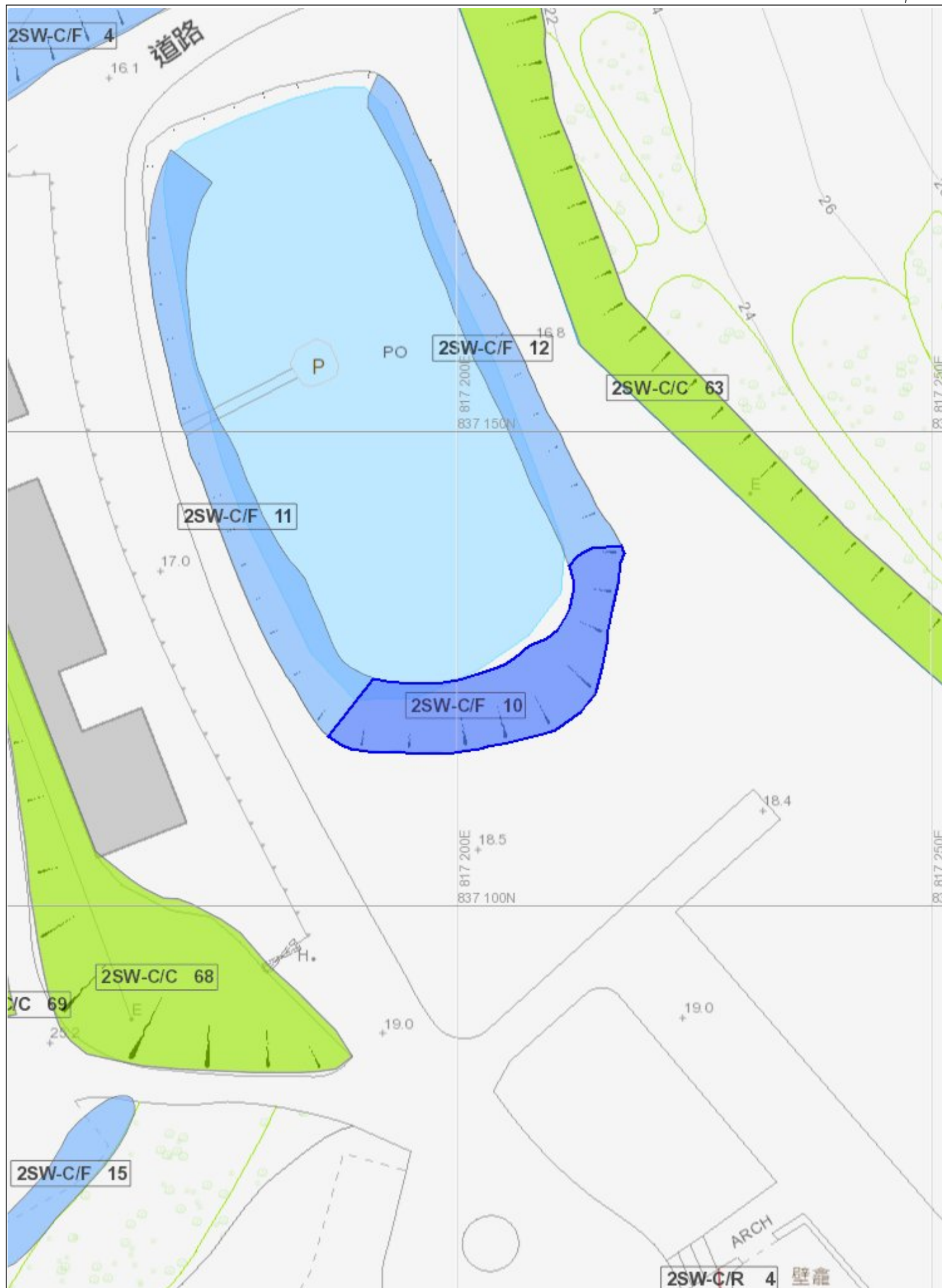
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: WAN FAU SIN KOON, DEEP BAY ROAD, LAU FAU SHAN

Registration Date: 06-05-1998

Ranking Score (NPRS): 4 (EI)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817174 Northing : 837147

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 60 Average Angle (deg): 35

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 20-06-2012
(2) Sub Div.: 0 Mixed Feature Party: STT1345 Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 09-03-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: SCS_3337 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 09-03-1998
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

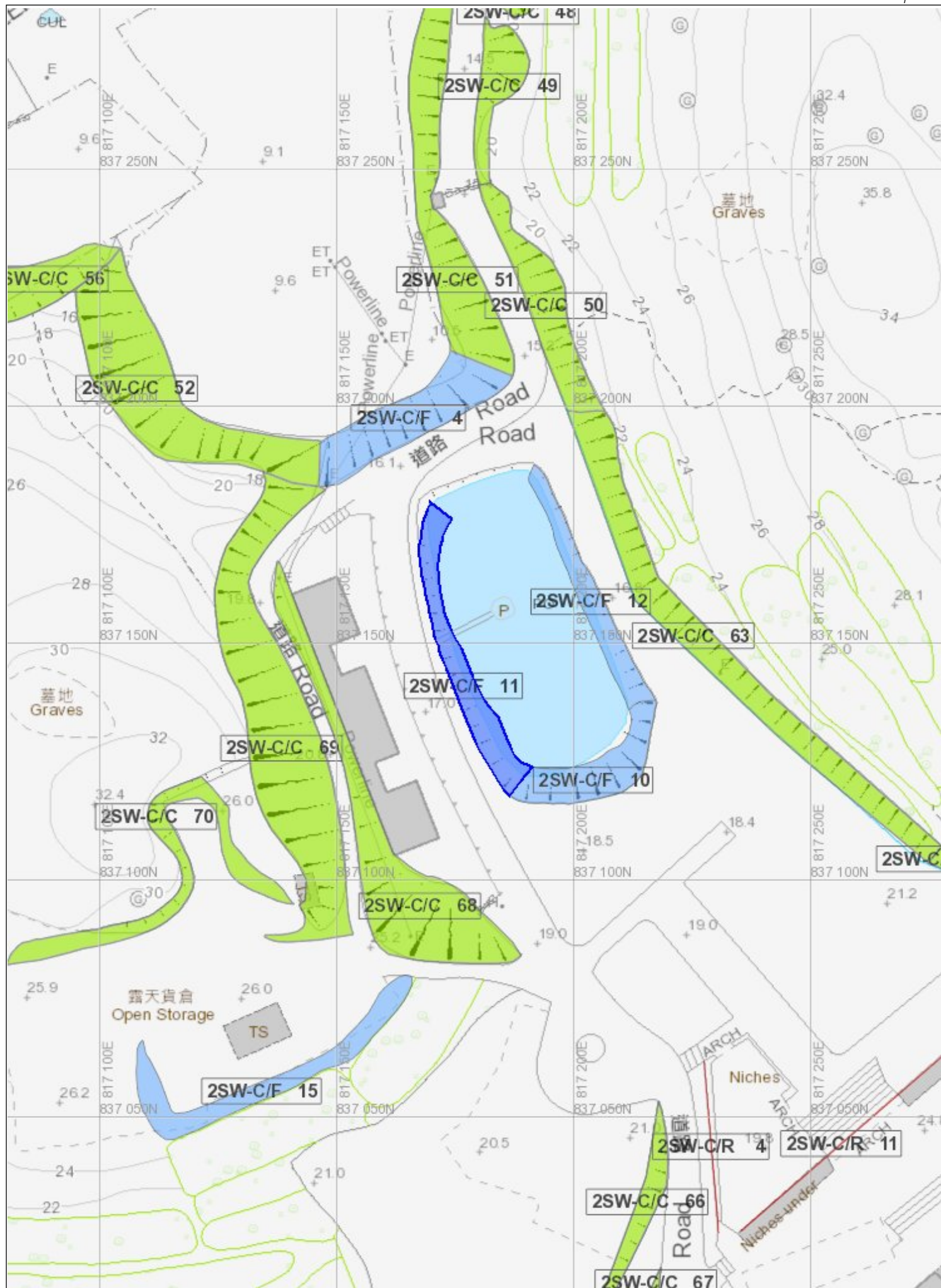
PHOTO



2SW-C/F 11

GENERAL VIEW

F9



BASIC INFORMATION

Location: WAN FAU SIN FOON, DEEP BAY ROAD, LAU FAU SHAN

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817203 Northing : 837160

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: District open space

Distance of Facility from Crest (m): 0

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 55 Average Angle (deg): 40

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi) Reason Code: 59 MR Endorsement Date: 20-06-2012
(2) Sub Div.: 0 Mixed Feature Party: STT1345 Agent: N/A Land Cat.: 1,5b(vi) Reason Code: 3 MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 09-03-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 15 Vegetated: 85 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3338 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 09-03-1998
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: District open space

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

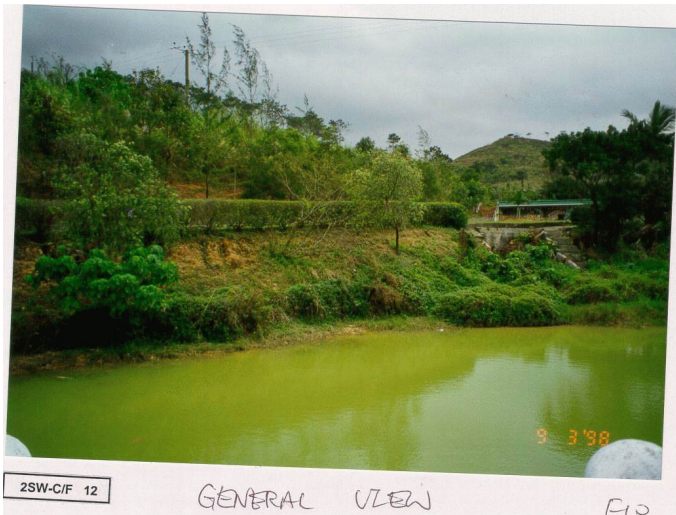
Check / repair Services:

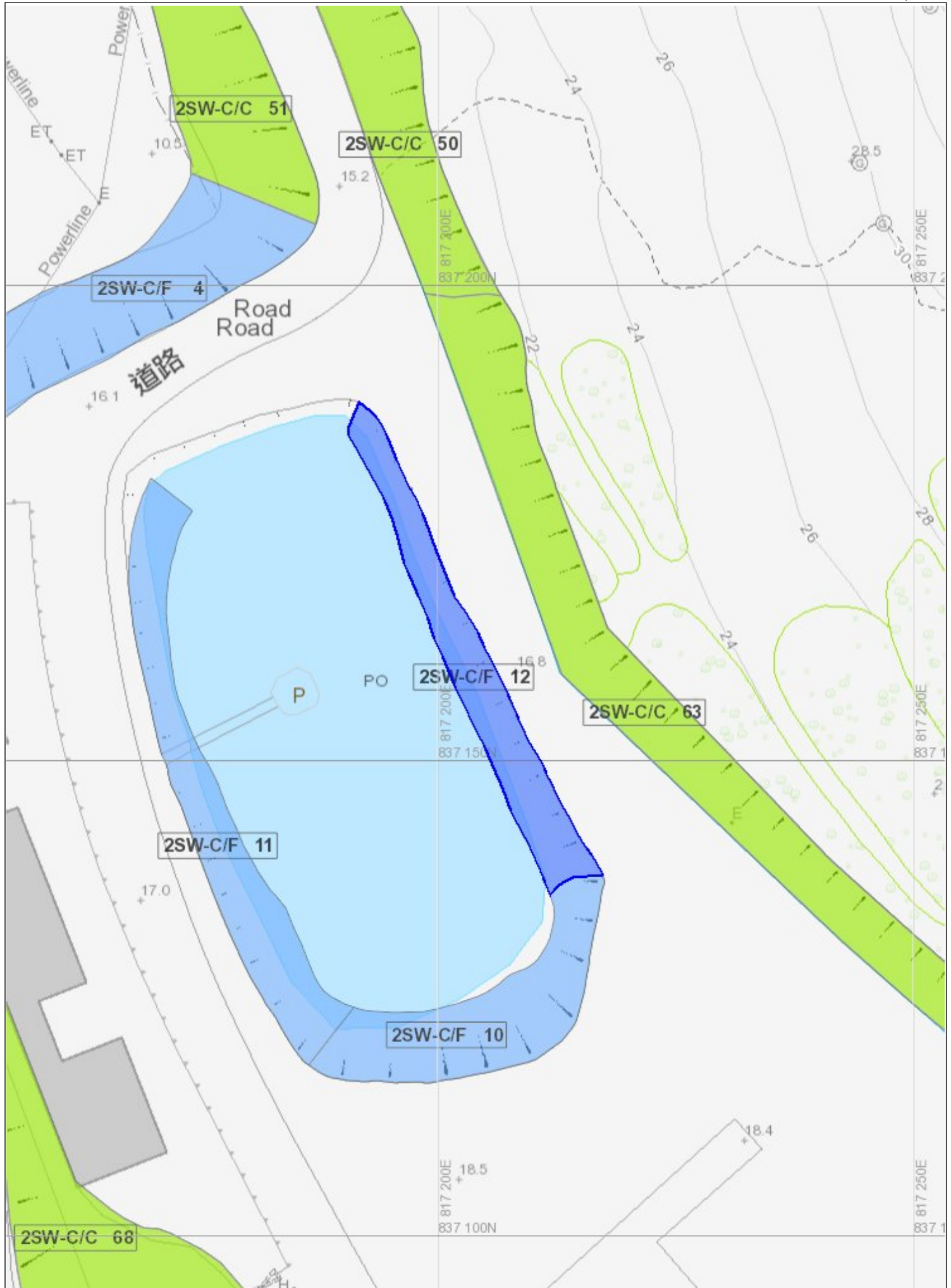
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: WAN FAU SIN KOON, DEEP BAY ROAD, LAU FAU SHAN

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (Notional)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: SIRST

Approximate Coordinates: Easting : 817229 Northing : 837048

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 2

Facility at Toe: District open space

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4 Length (m): 39 Face Angle (deg): 90



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1857 S.A	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 16-06-2021
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 16-06-2021
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 16-06-2021

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 09-03-1998
Data Source: SIRST
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 60 Location: On crest Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3340 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1982), 39310 (1982)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 09-03-1998
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: District open space

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 2

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

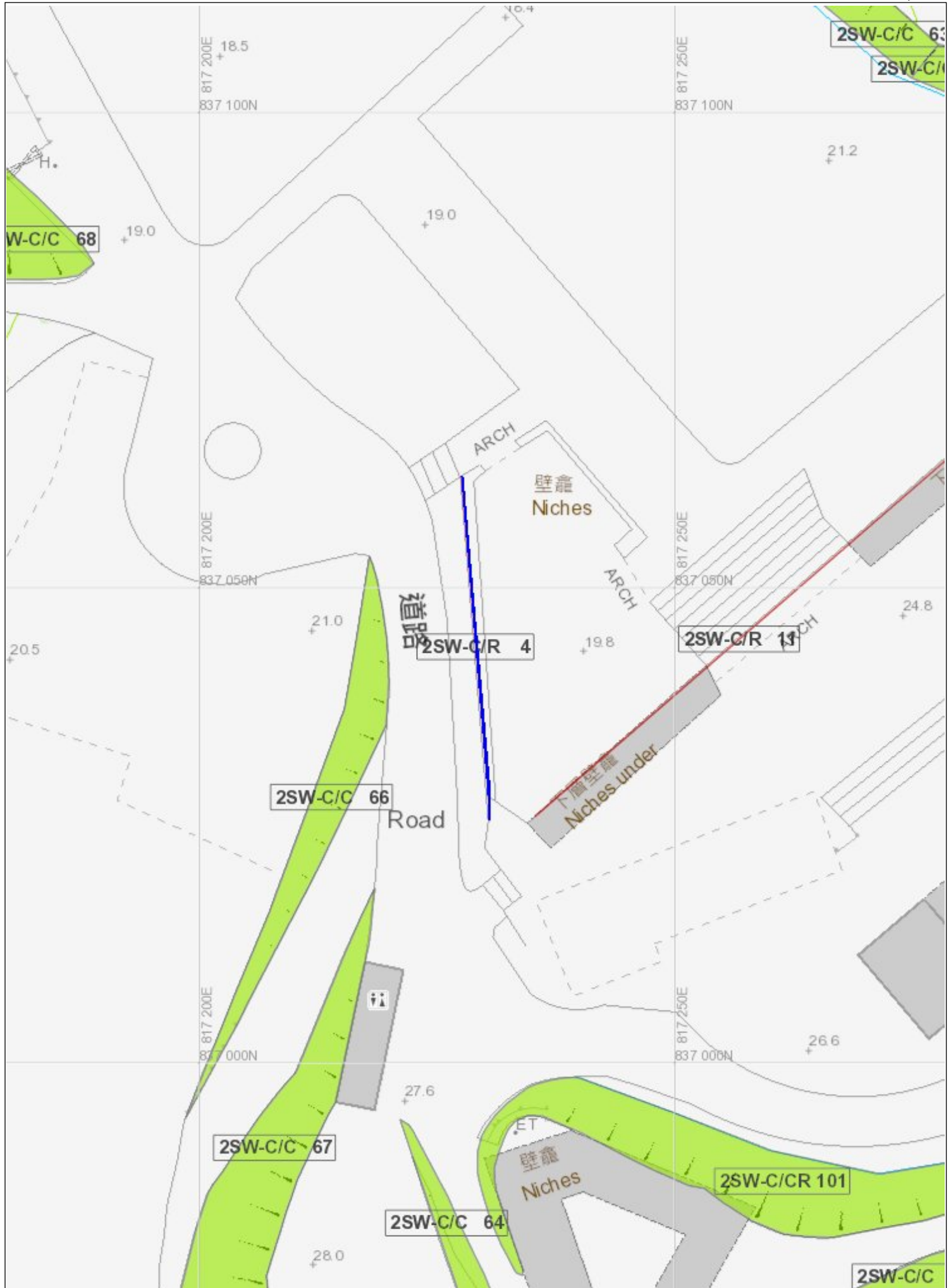
PHOTO



2SW-C/R 4

GENERAL VIEW

F2



BASIC INFORMATION

Location: WAN FAU SIN KOON, LAU FAU SHAN, YUEN LONG

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817270 Northing : 837056

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: District open space

Distance of Facility from Crest (m): 0

Facility at Toe: Columbarium

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.5 Length (m): 97 Face Angle (deg): 90



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1857 S.A	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 16-06-2021
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 16-06-2021
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 16-06-2021

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 15-07-2015
Data Source: EI(Lands D)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Concrete Wall Location: Retaining wall with level platform

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3341 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22B1
Map Sheet Reference (1:1000): 2SW-22B
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 15-07-2015
Date of Construction, Subsequent
Modification and Demolition: N/A

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: DLC/BC	Ref. No.: GCMW 4/1C/2-2 pt.19 f(13,14,17,22)
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95
File/Report: Development	Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/05/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Columbarium

Distance from Toe(m): 0

Type of Crest Facility: District open space

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long.

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/

Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817177 Northing : 837205

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5.5 Length (m): 42 Average Angle (deg): 30

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 06-07-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 17-03-2015
Data Source: EI(Lands D)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0

Material Description: Material type: Soil Geology: N/A

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: N/A
Map Sheet Reference (1:1000): N/A
Aerial Photos: N/A

Nearest Rainguage Station
(Station Number): ()

Data Collected On: 17-03-2015
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1978

Related Reports/Files or Documents: File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-3 pt.3 f(20), pt.18 f(6, 7)
File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-3 pt.3 f(20), pt.18 f(6, 7)
File/Report: LA Ref. No.: GCMW 5/3/10(W) pt. 6 f(55, 60)
File/Report: LA Ref. No.: GCMW 5/3/10(W) pt. 6 f(55, 60)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 10/08/2023)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

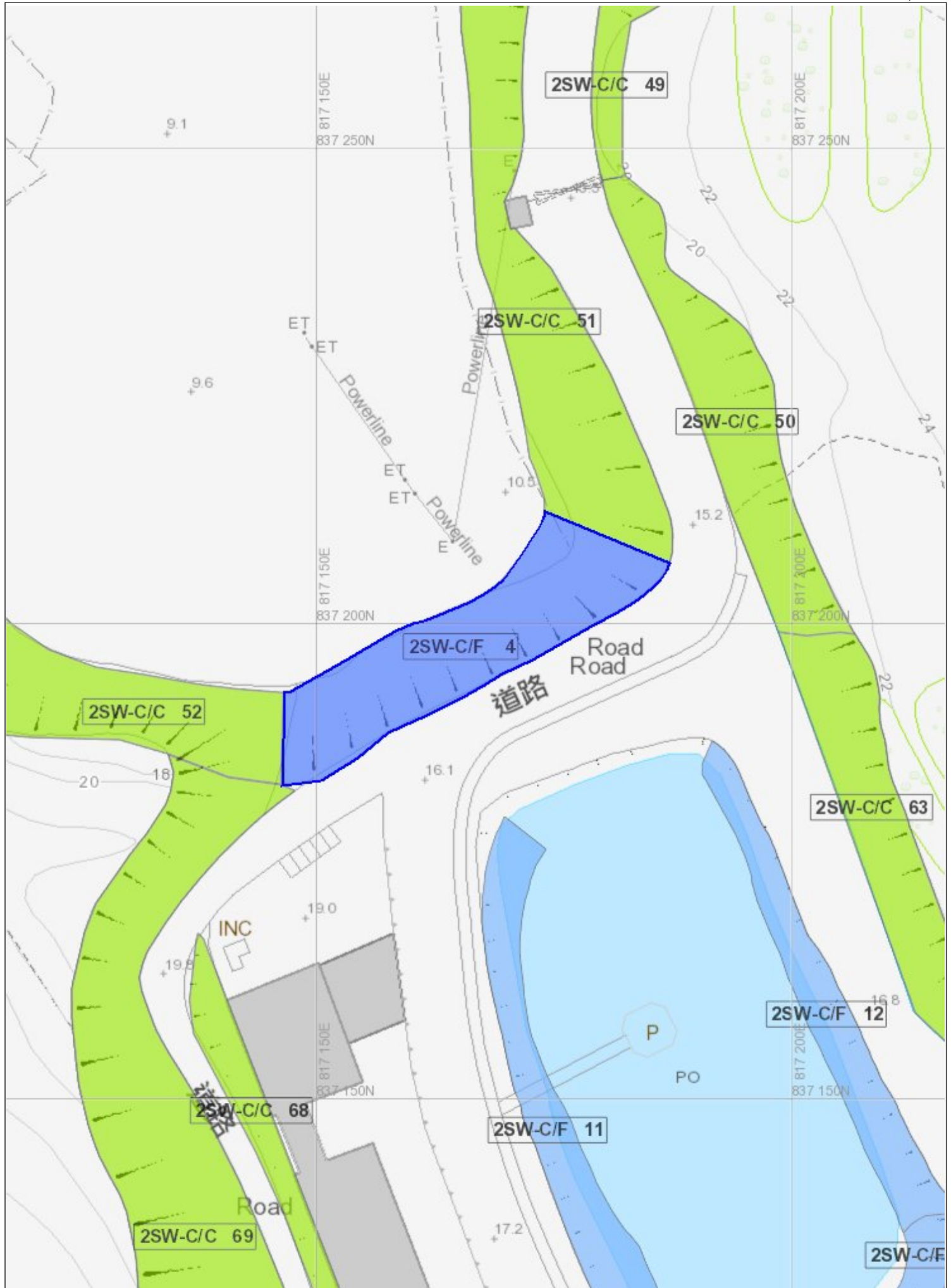
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: EI

Approximate Coordinates: Easting : 817168 Northing : 837263

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Lightly-used open area/facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5.5 Length (m): 85 Average Angle (deg): 55

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 24-11-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 13-09-2001
Data Source: EI
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 0 Other Cover: 100
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

Tagmark: 15081_1_5 Part: 1 Checking Status: No checking records Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW17C9
Map Sheet Reference (1:1000): 2SW-17C
Aerial Photos: 51451 (1983), 51452 (1983)

Nearest Rainuage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 13-09-2001
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1983 After: 1981

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 10/08/2023)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

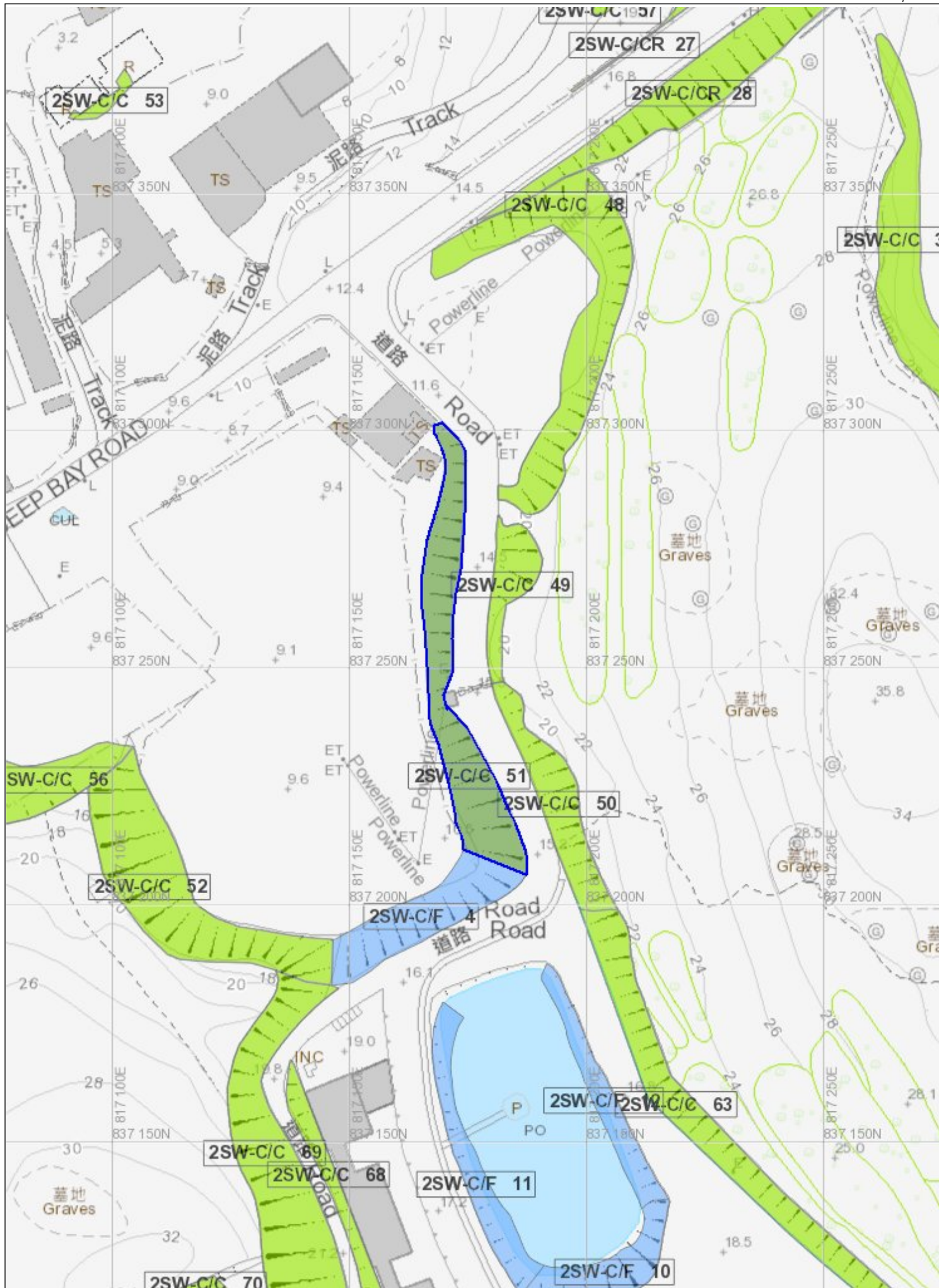
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: pre-1977

Date of Construction/

Modification:

Data Source: Project Office

Approximate Coordinates: Easting : 817106 Northing : 837212

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: District open space

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 9 Length (m): 74 Average Angle (deg): 50

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 25-08-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 08-12-2006
Data Source: Project Office
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A



CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW17C9
Map Sheet Reference (1:1000): 2SW-17C
Aerial Photos: 16435 (1976), 16436 (1976)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 08-12-2006
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1963 After: N/A
Modification: Modified Before: 1976 After: 1963

Related Reports/Files or Documents: N/A

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

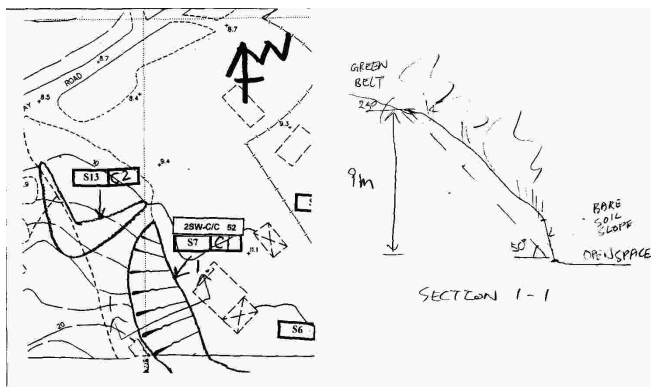
From Maintenance Department: (Last Updated Date: 10/08/2023)

STAGE 1 STUDY REPORT

Inspected On: 03-03-1998

Weather: Mainly Fine

District: MW



Section No: 1-1

Height(m): H1 : 9 , H2 : 0

Type of Toe Facility: District open space

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 3

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	3
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

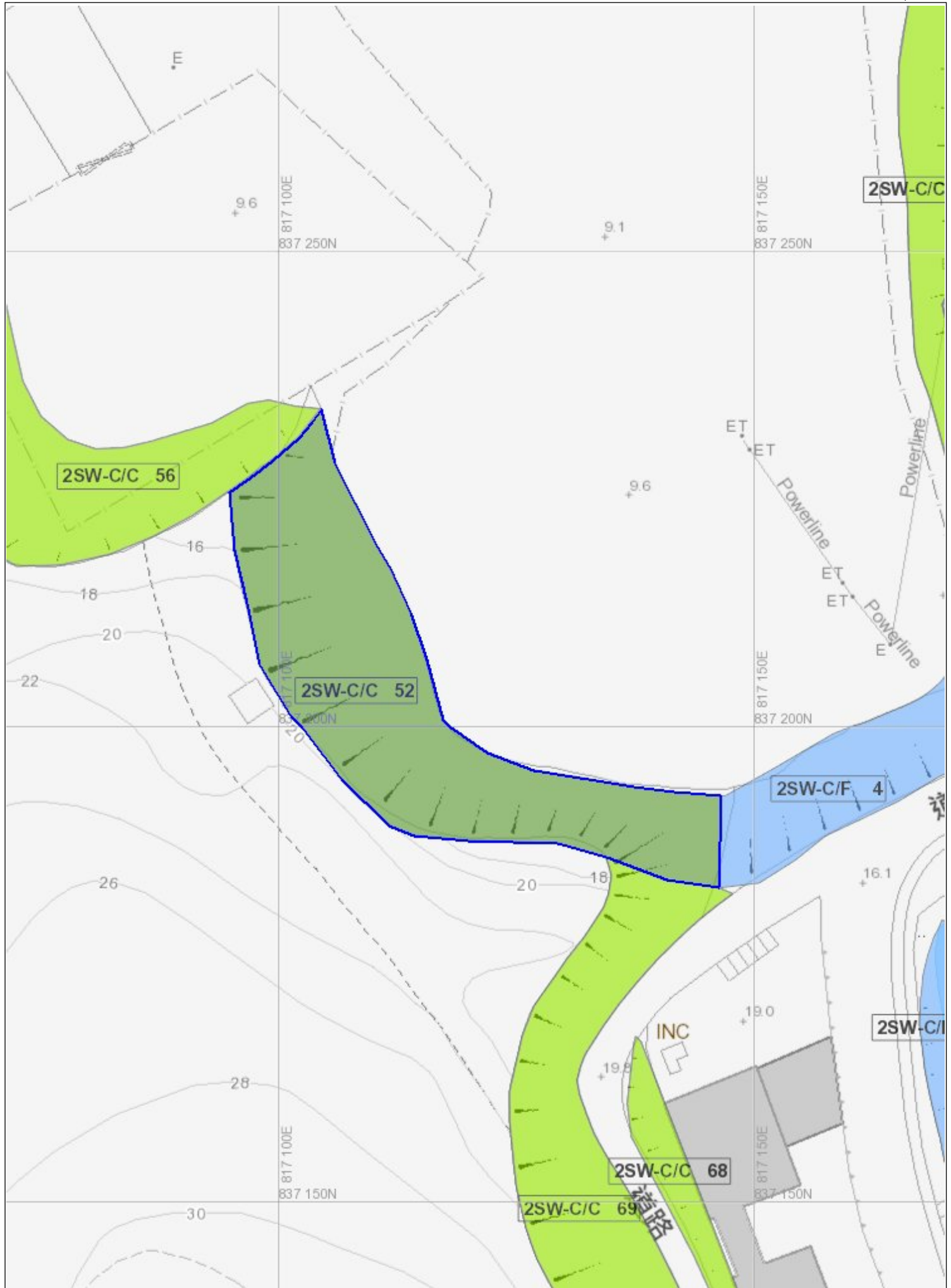
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan

Registration Date: 06-05-1998

Ranking Score (NPRS): 0 (EI)

Date of Formation: post-1977

Date of Construction/
Modification:

Data Source: EI(Lands D)

Approximate Coordinates: Easting : 817137 Northing : 837135

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Road/footpath with low traffic density

Distance of Facility from Toe (m): 0.5

Consequence-to-life Category: 3

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6 Length (m): 105 Average Angle (deg): 35

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 Lot1862	Agent: N/A	Land Cat.: 1,5b(vi),7	Reason Code: 1	MR Endorsement Date: 01-06-1999
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi),7	Reason Code: 62	MR Endorsement Date: 01-06-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-11-2001
Data Source: EI(Lands D)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 25 Location: On slope Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: 15084_1_5 Part: 1 Checking Status: No checking records Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainguage Station
(Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 01-11-2001
Date of Construction, Subsequent
Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 10/08/2023)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Road/footpath with low traffic density

Distance from Toe(m): 0.5

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

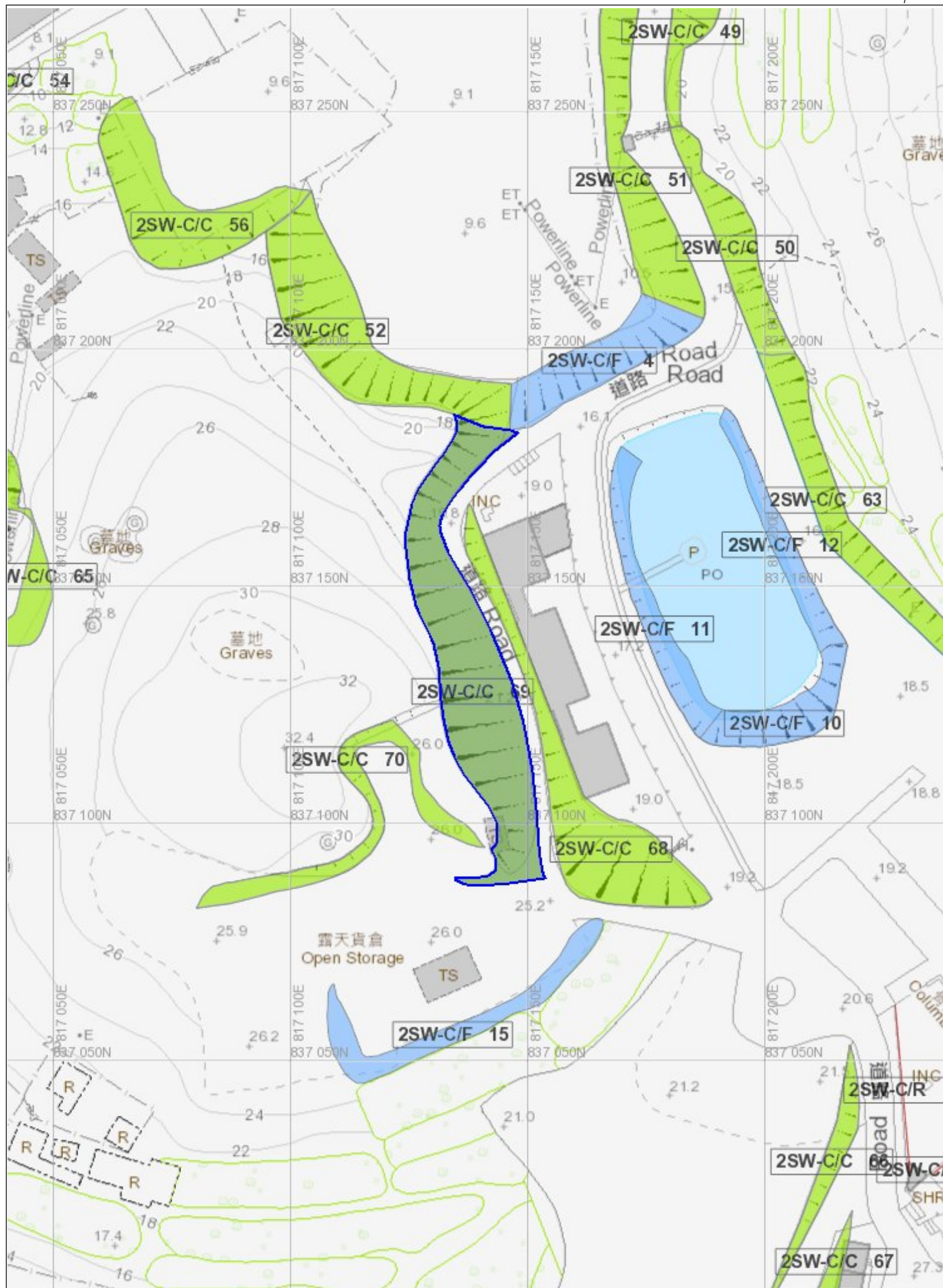
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long.
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: post-1977
Date of Construction/ Modification:
Data Source: EI
Approximate Coordinates: Easting : 817193 Northing : 837224

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt
Distance of Facility from Crest (m): 0
Facility at Toe: Road/footpath with low traffic density
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 4 Length (m): 50 Average Angle (deg): 50

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 20-06-2012
(2) Sub Div.: 2	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 1,5b(vi)	Reason Code: 59	MR Endorsement Date: 20-06-2012
(3) Sub Div.: 2	Mixed Feature	Party: STT1345	Agent: N/A	Land Cat.: 1,5b(vi)	Reason Code: 3	MR Endorsement Date: 20-06-2012

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 13-09-2001
Data Source: EI
Slope Part Drainage: (1) Position: Toe Size(mm): 325
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 0 Other Cover: 100

Material Description: Material type: Soil Geology: Decomposed granite

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_3342 Part: 0 Checking Status: Others (See remarks) Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW17C9

Map Sheet Reference (1:1000): 2SW-17C

Aerial Photos: 39309 (1981), 39310 (1981)

Nearest Rainuage Station (Station Number): Hong Shui House, Shui Pin Wai Estate(N12)

Data Collected On: 13-09-2001

Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1981 After: 1979

Related Reports/Files or Documents: File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-2 pt.3 f(20), pt.18 f(6, 7)
File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-2 pt.3 f(20), pt.18 f(6, 7)

Remarks: N/A

Follow Up Actions: N/A

DH-Order (To Be Confirmed with Buildings Department): None

Advisory Letter (To Be Confirmed with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/06/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Road/footpath with low traffic density

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A



OTHER EXTERNAL ACTION

Check / repair Services:

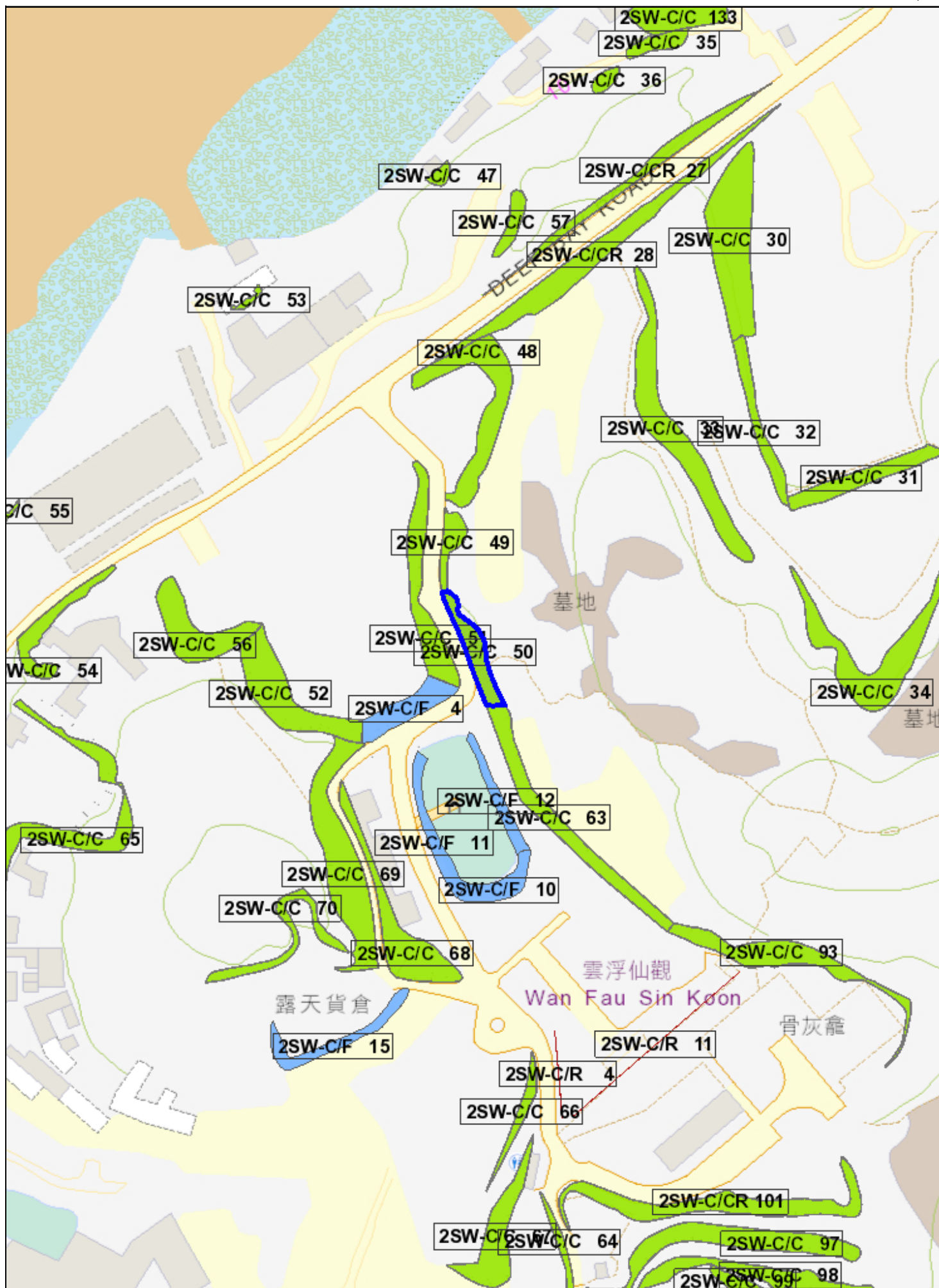
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: post-1977
Date of Construction/ Modification:
Data Source: EI
Approximate Coordinates: Easting : 817168 Northing : 837263

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density
Distance of Facility from Crest (m): 0
Facility at Toe: Lightly-used open area/facilities
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5.5 Length (m): 85 Average Angle (deg): 55

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 24-11-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 13-09-2001
Data Source: EI
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 0 Chunam: 0 Shotcrete: 0 Other Cover: 100
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: 15081_1_5 Part: 1 Checking Status: No checking records Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.:	2SW17C9
Map Sheet Reference (1:1000):	2SW-17C
Aerial Photos:	51451 (1983), 51452 (1983)
Nearest Rainguage Station (Station Number):	Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On:	13-09-2001
Date of Construction, Subsequent Modification and Demolition:	Modification: Constructed Before: 1983 After: 1981
Related Reports/Files or Documents:	N/A
Remarks:	N/A
Follow Up Actions:	N/A
DH-Order (To Be Confirmed with Buildings Department):	None
Advisory Letter (To Be Confirmed with Buildings Department):	None
LPMIS:	None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/06/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

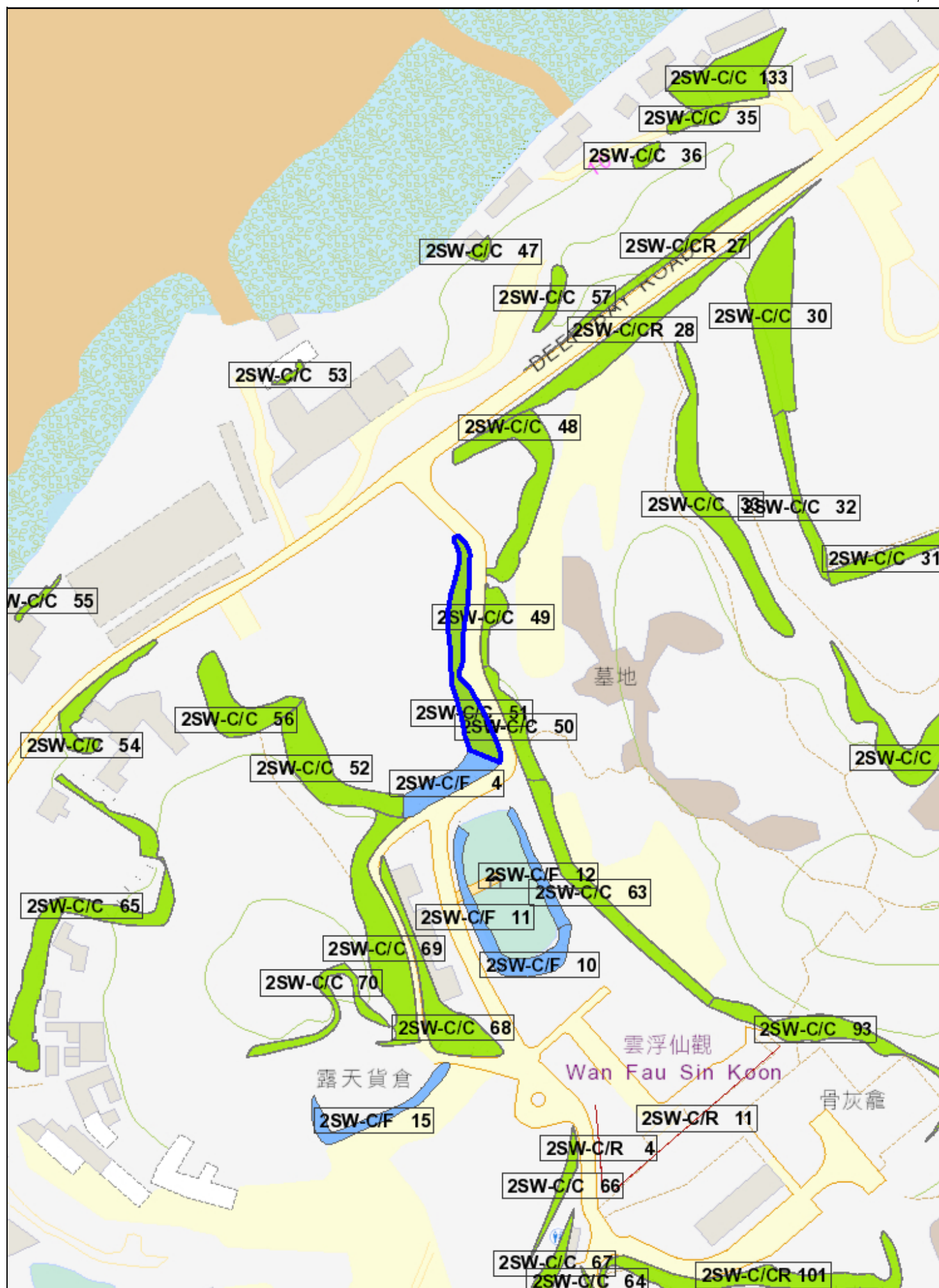


Action By:

N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: Project Office
Approximate Coordinates: Easting : 817106 Northing : 837212

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt
Distance of Facility from Crest (m): 0
Facility at Toe: District open space
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 9 Length (m): 74 Average Angle (deg): 50

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 25-08-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 08-12-2006
Data Source: Project Office
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

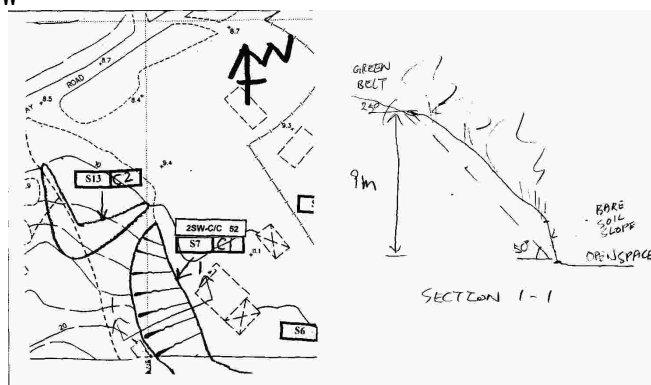
GIU Cell Ref.:	2SW17C9
Map Sheet Reference (1:1000):	2SW-17C
Aerial Photos:	16435 (1976), 16436 (1976)
Nearest Rainguage Station (Station Number):	Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On:	08-12-2006
Date of Construction, Subsequent Modification and Demolition:	Modification: Constructed Before: 1963 After: N/A Modification: Modified Before: 1976 After: 1963
Related Reports/Files or Documents:	N/A
Remarks:	N/A
Follow Up Actions:	N/A
DH-Order (To Be Confirmed with Buildings Department):	None
Advisory Letter (To Be Confirmed with Buildings Department):	None
LPMIS:	None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/06/2025)

STAGE 1 STUDY REPORT

Inspected On: 03-03-1998
Weather: Mainly Fine
District: MW



Section No: 1-1
Height(m): H1 : 9 , H2 : 0
Type of Toe Facility: District open space
Distance from Toe(m): 0
Type of Crest Facility: Undeveloped green belt
Distance from Crest(m): 0
Consequence Category: 3
Engineering Judgement: P
Section No: 2-2
Type of Toe Facility: N/A
Distance from Toe(m): 0
Type of Crest Facility: N/A
Distance from Crest(m): 0
Consequence Category: 3
Engineering Judgement: P
Sign of Seepage: Slope : No signs of seepage
Wall : N/A
Criterion A satisfied: N
Sign of Distress: Slope : N/A
Wall : N/A
Criterion D satisfied: N
Non-routine maintenance required: N
Note: N/A
Masonry wall/Masonry facing: N
Note: N/A
Consequence category (for critical section): 3
Observations: N/A
Emergency Action Required: N
Action By: N/A



ACTION TO INITIATE PREVENTIVE WORKS

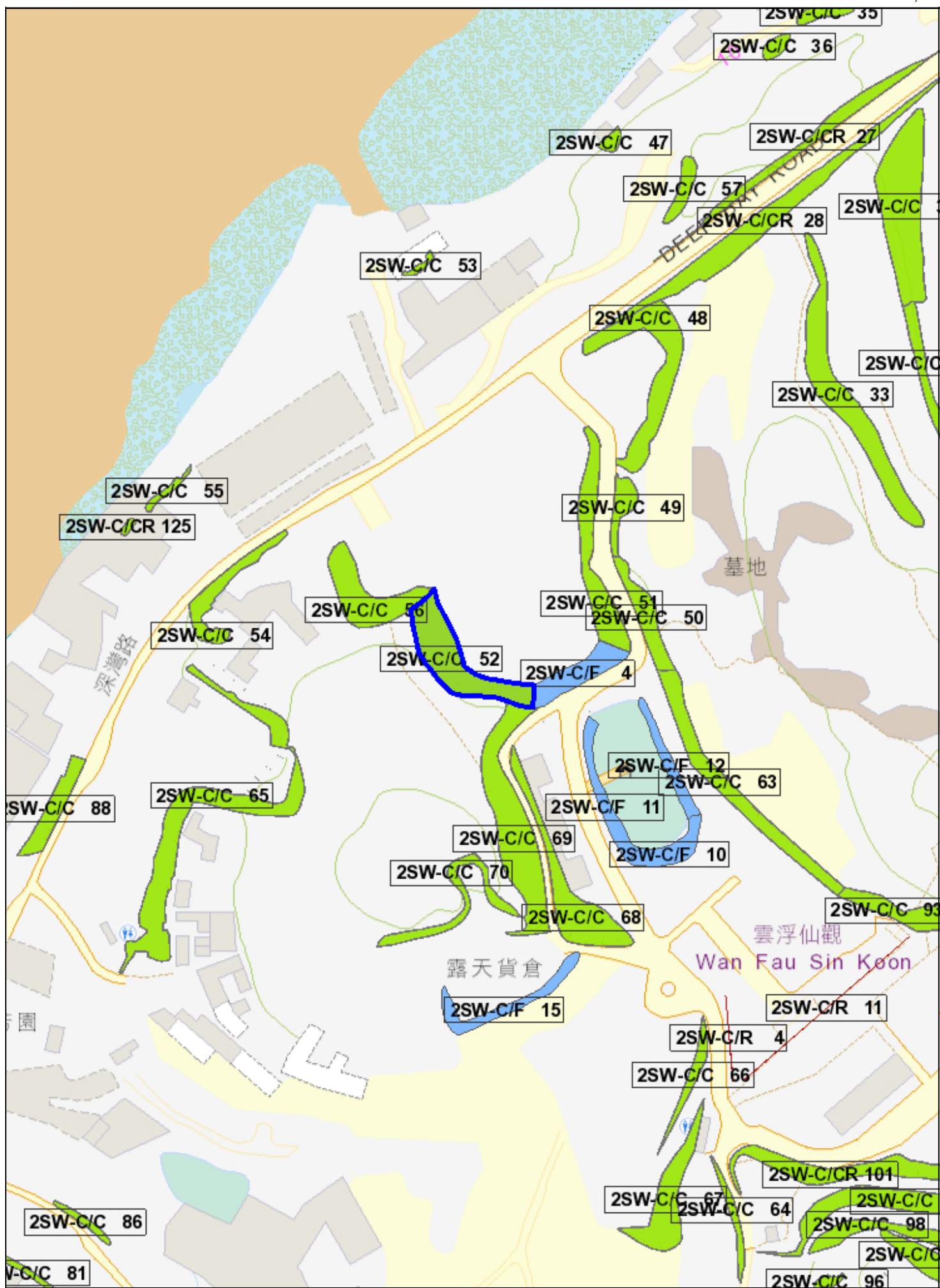
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: post-1977
Date of Construction/ Modification:
Data Source: EI(Lands D)
Approximate Coordinates: Easting : 817137 Northing : 837135

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt
Distance of Facility from Crest (m): 0
Facility at Toe: Road/footpath with low traffic density
Distance of Facility from Toe (m): 0.5
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 6 Length (m): 105 Average Angle (deg): 35

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Mixed Feature Party: DD129 Lot1862 Agent: N/A Land Cat.: 1,5b(vi),7 Reason Code: 1 MR Endorsement Date: 01-06-1999
(2) Sub Div.: 2 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 1,5b(vi),7 Reason Code: 62 MR Endorsement Date: 01-06-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-11-2001
Data Source: EI(Lands D)
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

(1) Utilities Type: Water Main Size(mm): 25 Location: On slope Remark: N/A

CHECKING STATUS INFORMATION

Tagmark: 15084_1_5 Part: 1 Checking Status: No checking records Checking Certificate No.: N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22A3
Map Sheet Reference (1:1000): 2SW-22A
Aerial Photos: 39309 (1981), 39310 (1981)
Nearest Rainguage Station (Station Number): Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On: 01-11-2001
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1981 After: 1979
Related Reports/Files or Documents: File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
File/Report: Development Ref. No.: GCMW 9068/95
Remarks: N/A
Follow Up Actions: N/A
DH-Order (To Be Confirmed with Buildings Department): None
Advisory Letter (To Be Confirmed with Buildings Department): None
LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/06/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Road/footpath with low traffic density

Distance from Toe(m): 0.5

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:



Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Near Wan Fau Sin Koon, Deep Bay Road, Lau Fau Shan, Yuen Long.
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (EI)
Date of Formation: pre-1977
Date of Construction/ Modification:
Data Source: EI(Lands D)
Approximate Coordinates: Easting : 817177 Northing : 837205

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density
Distance of Facility from Crest (m): 0
Facility at Toe: Lightly-used open area/facilities
Distance of Facility from Toe (m): 0
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5.5 Length (m): 42 Average Angle (deg): 30

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Government Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 06-07-1999

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 17-03-2015
Data Source: EI(Lands D)
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.:	N/A
Map Sheet Reference (1:1000):	N/A
Aerial Photos:	N/A
Nearest Rainguage Station (Station Number):	()
Data Collected On:	17-03-2015
Date of Construction, Subsequent Modification and Demolition:	Modification: Constructed Before: 1981 After: 1978
Related Reports/Files or Documents:	File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-3 pt.3 f(20), pt.18 f(6, 7) File/Report: DLC/BC Ref. No.: GCMW 4/1C/2-3 pt.3 f(20), pt.18 f(6, 7) File/Report: LA Ref. No.: GCMW 5/3/10(W) pt. 6 f(55, 60) File/Report: LA Ref. No.: GCMW 5/3/10(W) pt. 6 f(55, 60)
Remarks:	N/A
Follow Up Actions:	N/A
DH-Order (To Be Confirmed with Buildings Department):	None
Advisory Letter (To Be Confirmed with Buildings Department):	None
LPMIS:	None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/06/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: N/A

Section No: 1-1

Height(m):

Type of Toe Facility: Lightly-used open area/facilities

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

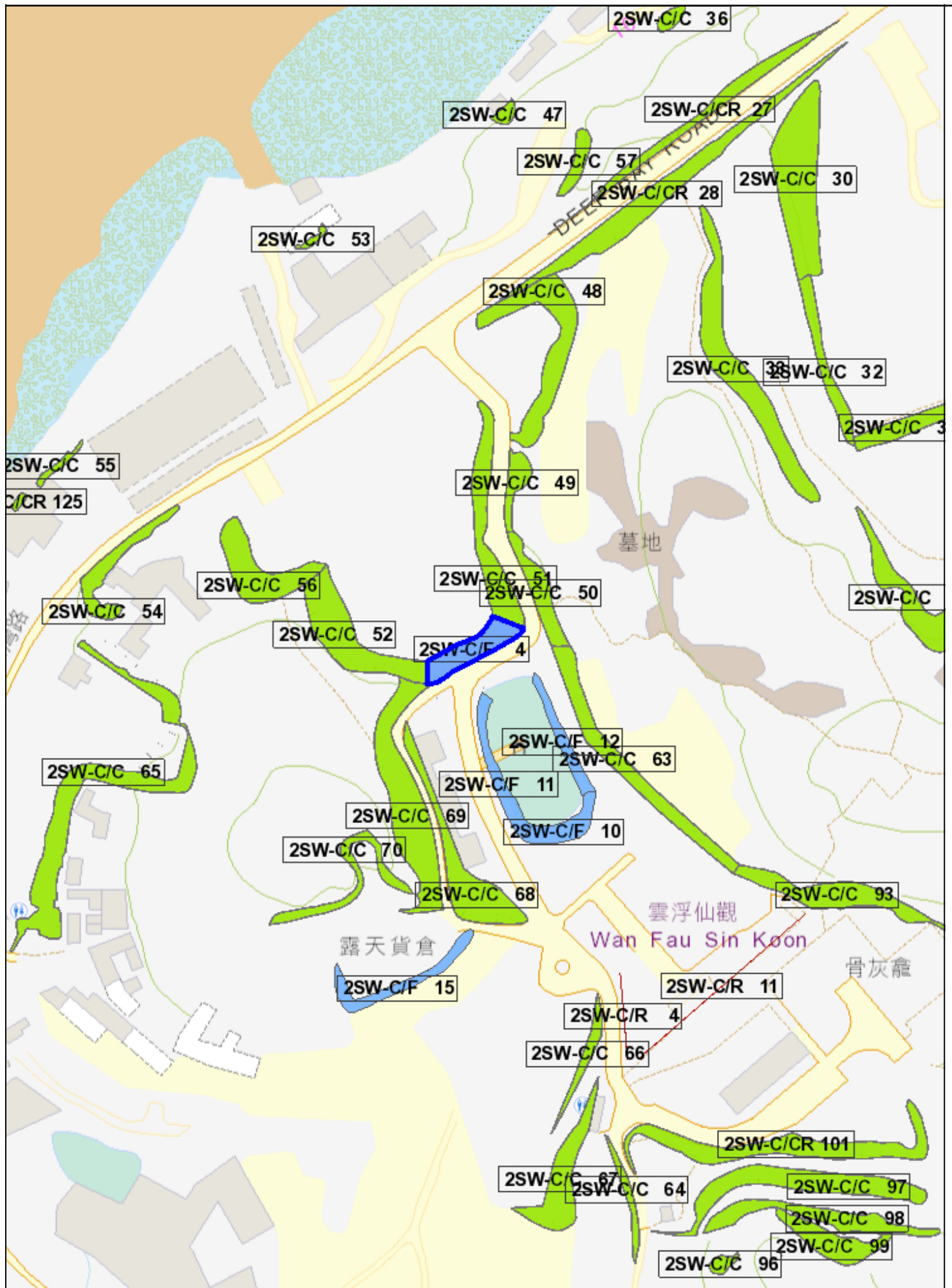
Check / repair Services:



Action By: N/A
Non-routine Maintenance:
Action By: N/A

PHOTO





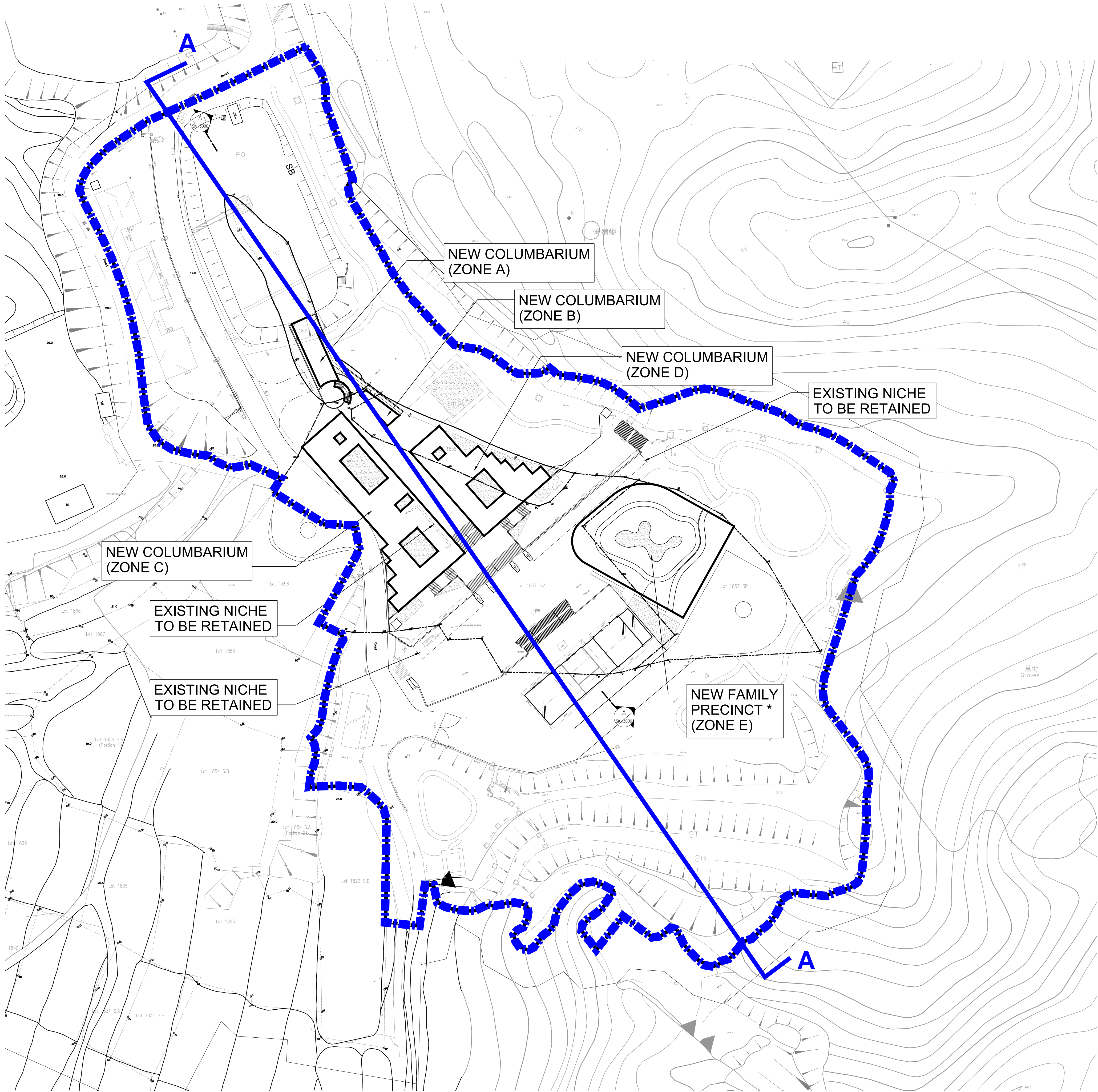
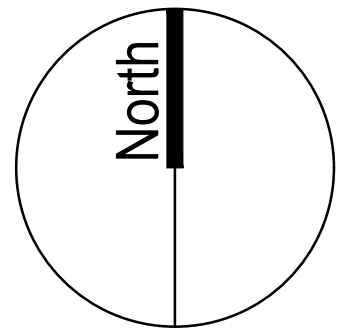


B

Latest Architectural Drawings



Appendix B – Latest Architectural Drawings



NICHE CALCULATION:

1.	NEW COLUMBARIUM (ZONE A) (QUAD)	= 228 No.s
2.	NEW COLUMBARIUM (ZONE B) (QUAD)	= 84 No.s
3.	NEW COLUMBARIUM (ZONE C) (QUAD)	= 200 No.s
3.	NEW COLUMBARIUM (ZONE C) (DOUBLE)	= 1104 No.s
4.	NEW COLUMBARIUM (ZONE D) (DOUBLE)	= 1720 No.s
5.	NEW COLUMBARIUM (ZONE E) (QUAD)	= 488 No.s

QUAD NICHE SUB-TOTAL	= 1000 No.s
DOUBLE NICHE SUB-TOTAL	= 2824 No.s

TOTAL NOS. OF NICHE = 3,824
(NOT INCLUDE EXISTING SOLD NICHE)

PLEASE NOTE THE FAMILY PRECINCT (ZONE E) WOULD BE A DEDICATED ZONE, CONSISTING ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES FOR FAMILY NICHE WITH A BUILT OVER AREA OF NOT MORE THAN 319.732SQM. PLEASE NOTE THAT THE DESIGN OF THE COLUMBARIUM E IS INDICATIVE ONLY AND WILL BE SUBJECT TO REVIEW IN THE DETAILED DESIGN STAGE

* THE FAMILY PRECINCT (ZONE E) IS A DEDICATED ZONE THAT HOLDS ARRANGE BETWEEN 22-32 INDIVIDUAL STRUCTURES WITH FAMILY NICHE. THE SITE FEATURES A FAMILY PRECINCT WHERE GENERATIONS ARE HONOURED TOGETHER IN PRIVATE FAMILY NICHE



LAND FILL F2
AREA: 386.184 sqm
DEPTH:0~1m

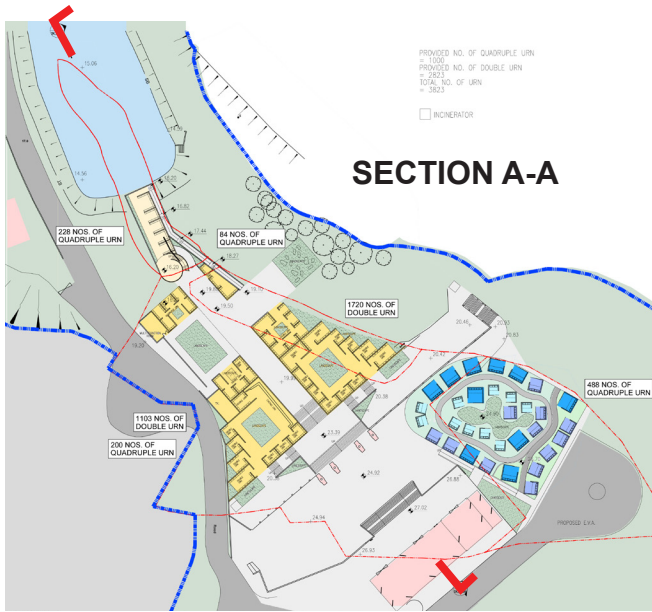
LAND FILL F1
AREA: 23.328 sqm
DEPTH: 0m ~ 1.6m

LAND EXCAVATION E1
AREA: 279.674 sqm
DEPTH: 0m ~ 2.2m

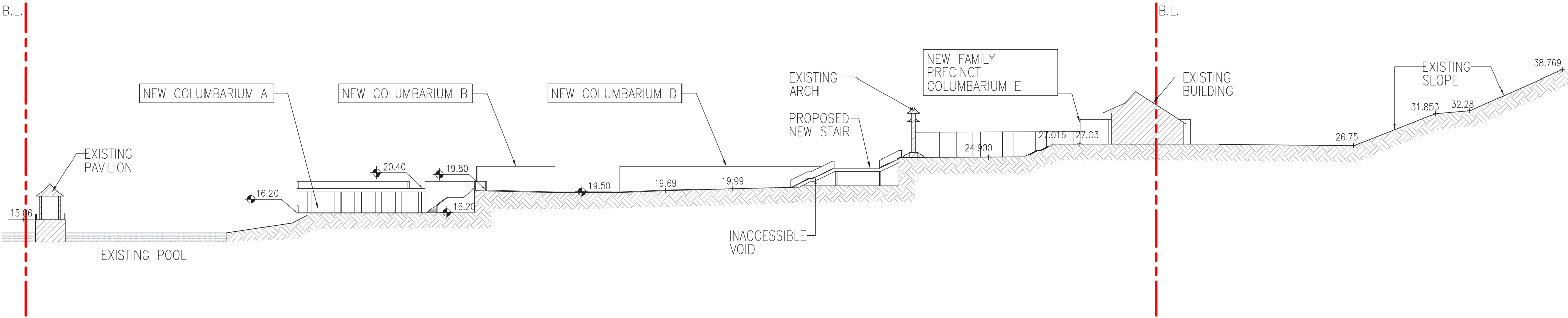
LAND EXCAVATION E2
AREA: 986.801 sqm
DEPTH: 0~0.8m

LAND FILL F3
AREA: 1374.523 sqm
DEPTH:0~0.8m

LAND FILL
AREA: 264.224 sqm
DEPTH: 0m ~ 3.1m



SECTION A-A



SECTION A-A

wsp

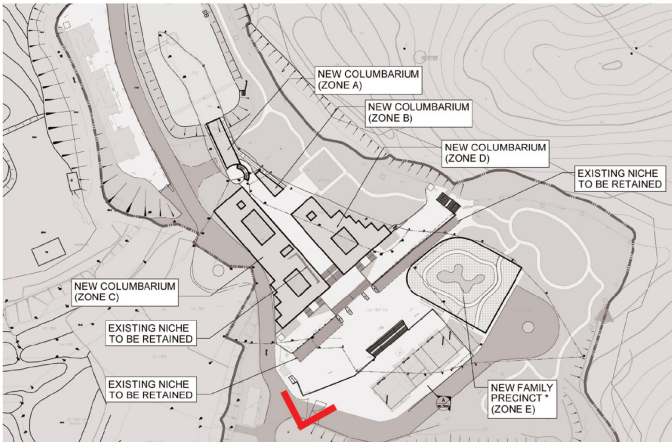


wsp.com

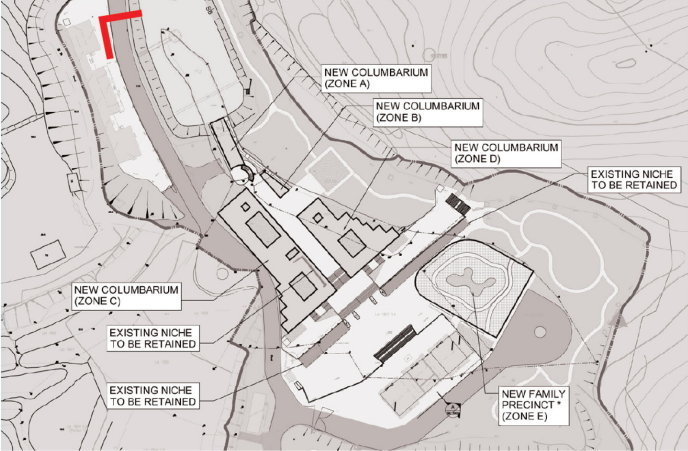
Appendix 5

Renderings

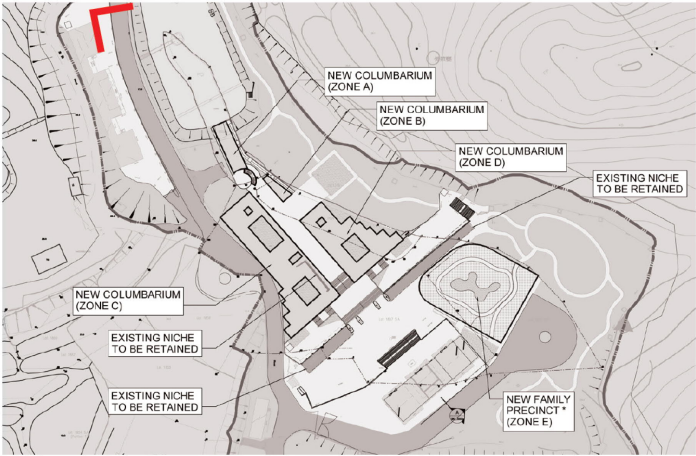
View from New Hall Columbarium C



View from the Auxiliary Temple

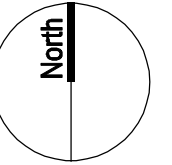


View from the Auxiliary Temple

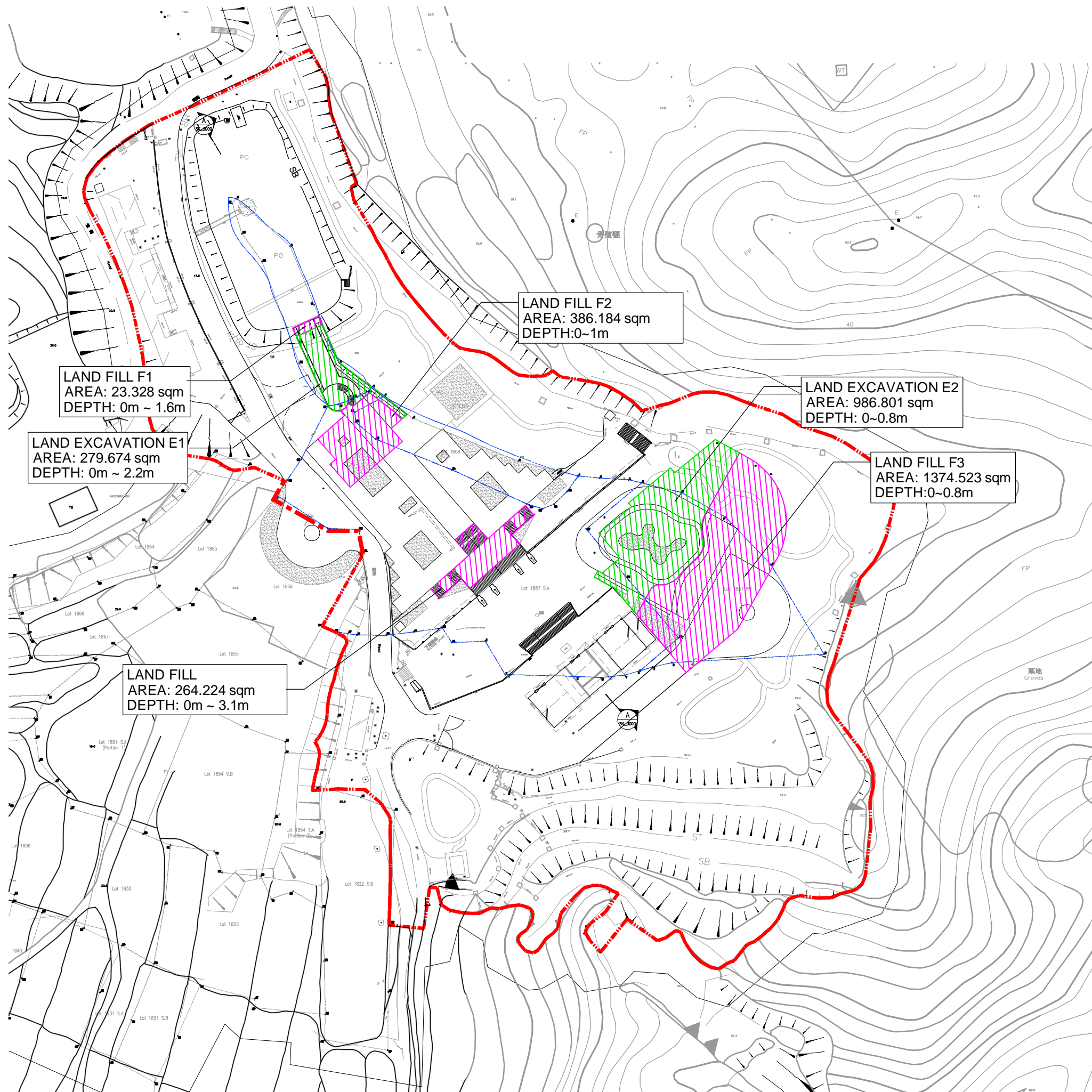


Appendix 6

Land Filling Plan

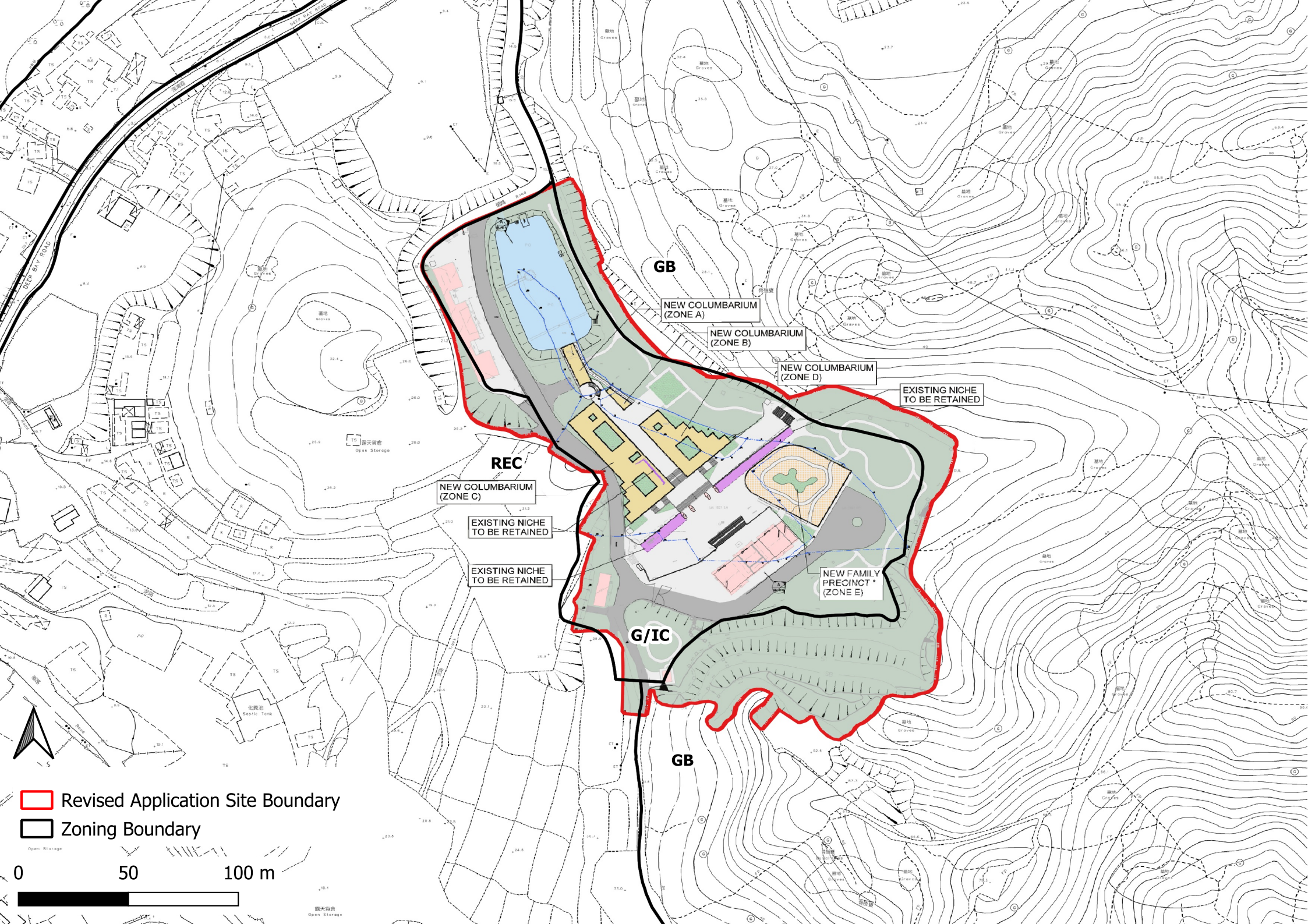


-  LAND FILL AREA
-  LAND EXCAVATION AREA



Appendix 7

Supplementary Plan on Zoning Context



Revised Application Site Boundary
Zoning Boundary

0 50 100 m

Appendix 8

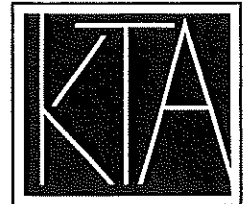
Response to Comments

By Email

Our Ref: S3078/WFSK/25/005Lg

13 November 2025

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point
Hong Kong



PLANNING LIMITED
規劃顧問有限公司

UNIT K, 16/F, MG TOWER
133 HOI BUN ROAD, KWUN TONG
KOWLOON, HONG KONG
九龍觀塘海濱道133號
萬兆豐中心16樓K室
電話TEL (852) 3426 8451
傳真FAX (852) 3426 9737
電郵EMAIL kta@ktaplanning.com

Dear Sir/Madam,

**Proposed Columbarium (Proposed Amendments to Approved Scheme) at Lot Nos.
1856 (Part), 1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D.
129, Wan Fau Sin Koon, Lau Fau Shan, New Territories**

- Section 16 Planning Application A/YL-LFS/576 -

Reference is made to the departmental comments received from the Food and Environmental Hygiene Department conveyed by the Planning Department on 13 November 2025.

Please find attached the replacement page(s) of the Supporting Planning Statement and Environmental Appraisal with clarification on the Condition No. (i.e. 29 instead of 28) to be complied by the Applicant with regard to the eco-joss paper furnaces operation.

Meanwhile, should you have any queries in relation to the above and attached, please do not hesitate to contact the undersigned at 3426 8451 or our Mr. Elden Chan at 3579 5778.

Thank you for your kind attention.

Yours faithfully
For and on behalf of
KTA PLANNING LIMITED

A handwritten signature in black ink, appearing to read 'Pauline LAM', written over a horizontal line.

Pauline LAM

Encl.

cc. the Applicant & Team

PL/EC/vy

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Tracy Wing Sum LAW/PLAND

寄件者: Wilfred Ka Hing CHU/PLAND
寄件日期: 2025年11月19日星期三 9:30
收件者: tpbpd/PLAND
副本: Tracy Wing Sum LAW/PLAND; Ada Siu Man CHAN/PLAND
主旨: Further Information for Planning Application No. A/YL-LFS/576

FI for A/YL-LFS/576

From: [REDACTED]
Sent: Wednesday, November 19, 2025 9:27 AM
To: Wilfred Ka Hing CHU/PLAND <wkhchu@pland.gov.hk>
Cc: Eric Chi Yeung CHIU/PLAND <ecychiu@pland.gov.hk>; Tracy Wing Sum LAW/PLAND <twslaw@pland.gov.hk>; Ada Siu Man CHAN/PLAND <asmchan@pland.gov.hk>
Subject: RE: Departmental Comments from TD on Planning Application No. A/YL-LFS/576

My apologies, please ignore the previous email sent at 9:26am and replace by this one below.

Dear Wilfred,

Thank you for your email. As confirmed by the Applicant, they will provide the shuttle bus services should TD considers that existing public transport service no longer able to handle the transport demand arising from the Columbarium.

Best regards,

From: Wilfred Ka Hing CHU/PLAND <wkhchu@pland.gov.hk>
Sent: Tuesday, 18 November 2025 4:38 pm
To: [REDACTED]
Cc: Eric Chi Yeung CHIU/PLAND <ecychiu@pland.gov.hk>; twslaw <twslaw@pland.gov.hk>; Ada Siu Man CHAN/PLAND <asmchan@pland.gov.hk>
Subject: Departmental Comments from TD on Planning Application No. A/YL-LFS/576
Importance: High

Dear [REDACTED]

Regarding your submission of planning application no. A/YL-LFS/576, TD advised that the highlighted comments (extracted from TD's comments on the pre-submission) have not yet been addressed. For your further action please.

At present, the only available public transport service serving Deep Bay Road in vicinity of Wan Fau Sin Koon is Green Minibus (GMB) Route No. 35 plying between Yuen Long (Tai Fung Street) and Sha Kiu. In the planning stage for the columbarium development in Wan Fau Sin Koon, it was

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

assessed that the existing capacity of the said GMB route would not be sufficient to cope with the additional visitor flow arising from the columbarium development during grave sweeping seasons **upon full niche intake of about 10,400**. According to our replies, dated 11 October 2021 and 11 Nov 2021, to Applicant's management plan submitted on 29-Sep-2021, Wan Fau Sin Koon will be required to provide shuttle service(s) (i.e. contract hire (A08) service) during grave sweeping seasons.

On the basis of the latest passenger demand observed on-site during Ching Ming Festival in April 2025, it is assessed that the existing GMB service is still able to address the passenger demand for traveling to/from Wan Fau Sin Koon in 2025. Therefore, we consider the introduction of shuttle service is not required **at this stage** to avoid unnecessary competition with existing parallel regular public transport services. In order to better utilize the existing limited road and public transport resources and to minimize congestion, we encourage the public to make use of the existing public transport service to reach their destination as far as possible so as to enhance the operational efficiency of public transport service.

We will continue to closely monitor the actual passenger demand in particular during grave sweeping seasons, and make appropriate adjustment on the public transport arrangement whenever necessary-

It is anticipated that number of visitors to the Columbarium would increase progressively as occupied niches increase. Should TD considers that existing public transport service no longer able to handle transport demand arising from the Columbarium, TD would request the operator of the Columbarium to provide shuttle service, as previously reminded in our reply, dated 11 October 2021 and 11 Nov 2021, to Applicant's management plan submitted on 29-Sep-2021.

In the light of the above, the paragraph 4.1 to 4.5 of the management plan shall be clarified by the Applicant.

Thanks and Regards,
Wilfred CHU
TP/YLW4, TMYLW DPO, PlanD
Tel: 2158 6290



劃出更多可能 · 創造無限機遇
Planning a Future of Boundless Opportunities

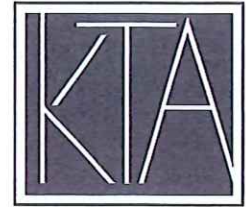


By Email

Our Ref: S3078/WFSK/25/007Lg

17 December 2025

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point
Hong Kong



PLANNING LIMITED
規劃顧問有限公司

UNIT K, 16/F, MG TOWER
133 HOI BUN ROAD, KWUN TONG
KOWLOON, HONG KONG

九龍觀塘海濱道133號
萬兆豐中心16樓K室

電話TEL (852) 3426 8451

傳真FAX (852) 3426 9737

電郵EMAIL kta@ktaplanning.com

Dear Sir/Madam,

**Proposed Columbarium (Proposed Amendments to Approved Scheme) at Lot Nos.
1857 S.A, 1857 RP, 1858, 1859, and Adjoining Government Land in D.D. 129,
Wan Fau Sin Koon, Lau Fau Shan, New Territories
- Section 16 Planning Application A/YL-LFS/576 –
(Further Information No. 3)**

Reference is made to the captioned S16 Planning Application which was deferred by the Town Planning Board ("TPB") on 5 December 2025 and the departmental comments received from Transport Department and Planning Department conveyed by the Tuen Mun and Yuen Long West District Planning Office on 18 November 2025 and 10 December 2025.

In view of the concerns about the inclusion of additional land for existing drop-off area falling within the Recreation Zone under the approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan (OZP), where "Columbarium" use is not permitted as it is listed in neither Column 1 nor Column 2 of the Statutory Notes, please note that we have revised the application site boundary to exclude Lot No. 1856 in D.D. 129. As a result, the total application site area has been reduced slightly from 33,078.42m² to 32,554.56m², representing a decrease of 523.86m² (-1.6%) in site area.

To reflect the revision of application site boundary and address comments from the relevant Government Departments, Further Information ("FI") has been prepared. This FI submission consists of:

- Appendix 1 – Replacement Pages of Supporting Planning Statement
- Appendix 2 – Replacement Pages of Schematic Architectural Drawings
- Appendix 3 – Replacement Pages of Landscape Master Plan and Tree Treatment Proposal
- Appendix 4 – Replacement Pages of Environmental Appraisal
- Appendix 5 – Replacement Pages of Geotechnical Planning Review Report
- Appendix 6 – Replacement Pages of Renderings
- Appendix 7 – Supplementary Plan on Zoning Context



Our Ref: S3078/WSK/23/007Lg
Date: 17 December 2025



PLANNING LIMITED
規劃顧問有限公司

Meanwhile, should you have any queries in relation to the above and attached, please do not hesitate to contact the undersigned at 3426 8451 or Mr. Wilson Man at 3426 3830.

Thank you for your kind attention.

Yours faithfully
For and on behalf of
KTA PLANNING LIMITED

A handwritten signature in black ink, appearing to read 'Pauline LAM', with a large, stylized initial 'P' and a long, flowing tail.

Pauline LAM

Encl.

cc. the Applicant & Team

PLWM/vy

**Extract of Town Planning Board Guidelines for
Application for Development within Green Belt Zone
under Section 16 of the Town Planning Ordinance
(TPB PG-No. 10)**

The relevant assessment criteria are as follows:

- (a) There is a general presumption against development (other than redevelopment) in a “Green Belt” (“GB”) zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use.
- (b) An application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas. With the exception of New Territories Exempted Houses, a plot ratio up to 0.4 for residential development may be permitted.
- (c) Applications for New Territories Exempted Houses with satisfactory sewage disposal facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers.
- (d) Redevelopment of existing residential development will generally be permitted up to the intensity of the existing development.
- (e) Applications for government/institution/community (G/IC) uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available. The plot ratio of the development site may exceed 0.4 so as to minimize the land to be allocated for G/IC uses.
- (f) Passive recreational uses which are compatible with the character of surrounding areas may be given sympathetic consideration.
- (g) The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance

of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment.

- (h) The vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided.
- (i) The proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.
- (j) The proposed development must comply with the development controls and restrictions of areas designated as water gathering grounds.
- (k) The proposed development should not overstrain the overall provision of G/IC facilities in the general area.
- (l) The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- (m) Any proposed development on a slope or hillside should not adversely affect slope stability.

**Relevant extract of the Town Planning Board Guidelines for
Application for Development/Redevelopment within “Government, Institution or
Community” Zone for Uses other than Government, Institution or Community Uses
Under Section 16 of the Town Planning Ordinance
(TPB PG-No. 16)**

- (a) In general, sites zoned “G/IC” are intended to be developed or redeveloped solely for GIC uses unless it can be established that the provision of GIC facilities would not be jeopardised and the concerned Government departments have no objection to releasing a particular “G/IC” site or a certain part of it for non-GIC uses. For applications for development/redevelopment for non-GIC uses within a “G/IC” site, the applicant should satisfactorily demonstrate the following:
 - (i) in the case of an undesignated “G/IC” site, the application site is no longer required to be reserved for any GIC uses; and
 - (ii) the proposed development/redevelopment would not adversely affect the provision of GIC facilities in the district on a long-term basis;
- (b) the proposed development should be compatible in land-use terms with the GIC uses on the site, if any, and with the surrounding areas;
- (c) the scale and intensity of the proposed development should be in keeping with that of the adjacent area;
- (d) the scale and design of the proposed development should have regard to the character and massing of the buildings in the surrounding areas and should not cause significant adverse visual impact on the townscape of the area;
- (e) the proposed development should be sustainable in terms of the capacities of existing and planned infrastructure such as drainage, sewerage, roads, water supply and utilities in the locality and its surrounding areas;
- (f) the proposed development should not cause, directly or indirectly, the surrounding areas to be susceptible to adverse environmental impacts and should not be susceptible to adverse environmental impacts from pollution sources nearby including heavily trafficked road;
- (g) the proposed development should be sustainable in terms of the overall planned provision of open space and GIC facilities in the area; and
- (h) for “G/IC” sites covered by mature trees and vegetation or located in areas of high landscape or amenity value, the design and layout of the proposed development should be compatible and should blend in well with the surrounding areas. The proposed development should not involve extensive clearance of existing natural vegetation, adversely affect the existing natural landscape, or cause adverse visual impact on the natural environment in the surrounding areas.

Previous s.16 Applications covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Applied Use(s)/Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-LFS/54	Proposed Additional Columbarium Development within Wan Fau Sin Koon	G/IC, REC, GB	3.8.2001
2	A/YL-LFS/77	Proposed Additional Columbarium Development within Wan Fau Sin Koon (Amendment to Building Form and Disposition of an Approved Development Scheme)	G/IC, REC, GB	21.12.2001

Rejected Application

	<u>Application No.</u>	<u>Applied Use(s)/Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration</u>	<u>Rejection Reasons</u>
1	A/YL-LFS/129	Proposed Additional Columbarium Development within Wan Fau Sin Koon	G/IC, REC, GB	17.6.2005 (Review by TPB)	(1) to (2)

Rejection Reasons:

1. No strong justification in the submission for a departure from the planning intention of “GB” zone.
2. Insufficient information in the submission to demonstrate that the proposed development would not result in adverse landscape, visual and drainage impacts on the surrounding area.

Recommended Advisory Clauses

- (a) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that the access road connecting the Site with Deep Bay Road is not and will not be maintained by HyD. HyD will not take up the maintenance responsibility of the access. Adequate drainage measures shall be provided to prevent surface water running from the application site (the Site) to the nearby public roads and drains;
- (b) to note the comments of the Director of Environmental Protection (DEP) that the applicant is suggested to make reference to "Recommended Pollution Control Clauses" (RPCC) that is available at https://www.epd.gov.hk/epd/english/environmentinhk/eia_planning/guide_ref/rpc.html to implement suitable mitigation measures and good site practice to minimise the potential environmental impact during construction stage of the proposed development;
- (c) to note the comments of the Director of Fire Services (D of FS) that detailed fire services requirements will be formulated upon receipt of formal submission of Short Term Tenancy/Short Term Waiver, general building plans or referral of application via relevant licensing authority as appropriate. Furthermore, the emergency vehicular access (EVA) provision in the captioned work shall comply with the standard as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by the Buildings Department (BD);
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that the applicant should provide his own drainage facilities to collect the runoff generated from the site or passing through the site, and discharge the runoff collected to a proper discharge point. The development should not obstruct overland flow or cause any adverse drainage impact to the adjacent areas and existing drainage facilities. The applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek Lands Department's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the Site;
- (e) to note the comments of the Commissioner of Police that the applicant must maintain the smoothness of traffic flow and provide sufficient safety precautions to avoid obstruction or danger caused to any person or vehicle on the road;
- (f) to note the comments of the Head of Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD) that submissions covering the design of newly formed man-made slopes/retaining walls, and geotechnical investigations/studies and necessary modification/upgrading works on existing slopes/retaining walls which may affect or be affected by the proposed development should be carried out and submitted to the relevant authorities in accordance with the Buildings Ordinance (BO) as appropriate;
- (g) to note the comments of the Chief Heritage Executive (Antiquities and Monuments), Antiquities and Monuments Office, Development Bureau (CHE(AM), AMO, DEVB) that pursuant to the Antiquities and Monuments Ordinance (Cap. 53), the applicant is required to inform AMO immediately when any antiquities or supposed antiquities under the ordinance are discovered in the course of works. The applicant is also required to

inform AMO the works schedule for AMO to conduct site inspection as and when necessary; and

(h) to note the comments of the Chief Building Surveyor/New Territories West (CBS/NTW), BD that:

(i) regarding the existing buildings/structures, please be reminded that:

1. Except for Structures Certifiable for Pre-cut-off Columbarium (“SCPC”) and Certified Building (“CB”), no part of private columbarium shall be located under or over any structures built without the approval and consent of the BD;
2. SCPC are unauthorised building works (UBW) and so are the building works to improve or strengthen such. Where building works for improvement is indispensable, the qualified professionals appointed by the applicant should prepare the improvement/strengthening proposal for acceptance by the Private Columbaria Licensing Board (PCLB) or the BD under the licensing regime;
3. If any building improvement works result in extending the size of the SCPC, such extensions might NOT be qualified as SCPC but UBWs actionable under the BO albeit covered by the application of an Special Instrument (SI);
4. If alteration of a New Territories Small Building (NTSB) resulting in size exceeding the exemption criteria under Cap. 121, e.g. addition of an external staircase or making openings between party walls of NTSBs combining two or more NTSBs, it will be ultra vires for the BD to process such alteration proposals under the Private Columbaria Ordinance or the BO unless the relevant Certificate of Exemption (CoE) is still valid;
5. After issuance of an SI, if unauthorised alteration works be identified without prior acceptance by the PCLB or the BD, such works will be regarded as UBWs but not covered by the SI. The BD would raise objection to the PCLB upon application for renewal of the SI, and such UBWs will be subject to enforcement under the BO for removal; and
6. The applicant should provide certification issued by qualified professionals, certifying that the requirements specified by PCLB and the BD are complied with. Annexes 4 and 5 of the “Application Guide for Private Columbarium Licence and Other Specified Instruments” are relevant; and

(ii) regarding the proposed new buildings and family precinct, please be reminded that:

1. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are UBWs under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
2. the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;

3. the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
4. for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
5. any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings and are subject to the control of Part VII of the B(P)R; and
6. detailed checking under the BO will be carried out at building plan submission stage.

致：元朗民政事務處
民政事務專員台鑑！

有關貴處檔號：（5）in 017-2811-045-040-012-0007-P001

及申請編號：A/YL-LFS/576 申請丈量約份第129約地段第1856號（部分）、1857號A分段、第1857號餘段、第1858號、第1859號及毗連政府土地。擬議靈灰安置所！

本輦井圍村民及該區居民強烈反對上述個案的申請。理由如下：

（一）該深灣道路由流浮山至尖鼻尖建於1962年，時至今日已經六十多年，都是一條不標準狹窄道路，兩旁既沒有行人路及單車徑。時代進步，車輛日益增多及物流倉不繼批准牌照，大型車輛行駛流量非常頻繁！險象環生！經常要懇請有關部門修路。希望有權力規劃審批大員們，審批前多抽點時間實地視察！批准後要有基制監管！心感銘矣！

（二）由政府批准該個靈浮仙館經營至今！幾十年來該條深灣道路依然沒有擴闊過，沒有評估過的安全措施是否適合現代生活需求！該靈灰安置所祇追求本身的最大利益，從未有同政府攜手推動該條深灣道路交通使用的安危！使該區的村民及居民得以安居樂業！

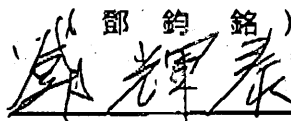
（三）該靈浮仙館靈灰安置所批准經營以來，只有犧牲本區村民及居民生活上的權利而製造經營者（商家）的利益！尤其是春秋二祭期間要封路，遷就該靈灰安置所，車輛只能單向通行，既擾民又剝奪權利。

（四）規劃署審批大員在審批時考慮現有道路能再承受更多車輛行駛。又或者同步擴闊該條深灣道路，被免塞車及危害行人的安全！

（五）以上所述是我們的訴求及心聲！希望政府各部門能用心聆聽到。感恩！

輦井圍村代表簽署：



(鄧 鈞 銘)


(鄧 輝 泰)


(鄧 南 盛)

2025 年 11 月 10 日

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

251101-223608-14827

提交限期

Deadline for submission:

11/11/2025

提交日期及時間

Date and time of submission:

01/11/2025 22:36:08

有關的規劃申請編號

The application no. to which the comment relates:

A/YL-LFS/576

「提意見人」姓名/名稱

Name of person making this comment:

小姐 Miss Tang

意見詳情

Details of the Comment :

申請編號 Application No. :A/YL-LFS/576

致城市規劃委員會專員:

反對有關新界元朗流浮山丈量約份第129約地段第1856號（部分）、第1857號A分段、第1857號餘段、第1858號、第1859號及毗連政府土地擬議靈灰安置所。

本人於公告得知新界元朗流浮山丈量約份第129約地段第1856號（部分）、第1857號A分段、第1857號餘段、第1858號、第1859號及毗連政府土地擬議靈灰安置所。就有關申請本人提出反對。

現時每逢清明節、重陽節，都有大量車輛前往此處拜祭，車輛會停泊在行人路上，扶老攜幼前往拜祭的人仕要在車來車往的車路前往，造成人車爭路，險象環生，容易引致意外、受傷。

現有小巴為村民唯一外出交通工具，清明節、重陽節小巴營運商會特別安排原本來往元朗至輞井圍沙橋小巴接載前往雲浮仙觀的人士，而村民就禁止乘搭，要無了期苦等或於雲浮仙觀下車再步行回家，對於老人及小孩要於沿途車來往的車路上徒步約一小時，是十分危險、引致意外傷亡。

現時每逢清明節、重陽節，都有大量車輛前往此處拜祭，已經引致交通嚴重阻塞，若再批准作靈灰安置所會令交通嚴重阻塞更加嚴重，甚至癱瘓。

現有道路是村民主要出入道路，清明節、重陽節都要乘坐小巴出外買祭品，但清明節、重陽節都有大量車輛前往此處拜祭，已經引致交通嚴重阻塞，令村民花費更多時間才可進行拜祭先人，做成嚴重影響。

故本人堅決反對有關申請，並希望 貴會否決有關申請。如果有任何查詢可致電 [REDACTED] 鄧小姐。

敬請保密本人資料。

tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2025年11月05日星期三 3:03
收件者: tpbpd/PLAND
主旨: A/YL-LFS/576 DD 129, Lau Fau Shan Wan Fau Sin Koon Colombarium
類別: Internet Email

A/YL-LFS/576 Wan Fau Sin Koon

Lots 1856 (Part), 1857 S.A, 1857 RP, 1858, 1859 and Adjoining Government Land in D.D. 129, Lau Fau Shan

Site area: About 33,078.42sq.m (Includes Government Land of about 23,900sq.m)

Zonin: "GIC", "Green Belt" and "Recreation"

Applied development: Columbarium

Dear TPB Members,

After wading through a rambling document it appears that "the proposed Application Site Boundary will slightly increase by 3% from 31,880m² to 33,078.4m²". The plan is to redevelop some of the facilities with no increase in the number of niches.

What is not clear is whether the increase is private or GL?

Because the original approval was more than 20 years ago the data is no longer easily accessed.

Perhaps members could seek clarification. Granting of additional GL for no increase in community benefit would not be acceptable.

Mary Mulvihill