

2026年 1月 7日

此文件在 收到，城市規劃委員會
只供申請人使用，不得作其他用途。收到

The application received on 2026-01-07
The Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第S16-I號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2502840 2/12 by bond

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YC-AM/1101
	Date Received 收到日期	2026-01-07

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

CHIEF FORCE LIMITED 志科有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	新界元朗八鄉下輦 DD111 LOT NO. 1043(部份), 1046 S.A ss.1 RP(部份), 1046 S.A ss.1 S.A, HTL HLB(部份)和毗鄰政府土地
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 980 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 16 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 217 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/YL-PH/11
(e) Land use zone(s) involved 涉及的土地用途地帶	鄉村式發展
(f) Current use(s) 現時用途	臨時公眾停車場(貨櫃車除外) (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。

is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。

is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

**5. Statement on Owner's Consent/Notification
就土地擁有人的同意/通知土地擁有人的陳述**

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

has obtained consent(s) of “current land owner(s)”[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified “current land owner(s)”#
已通知 名「現行土地擁有人」#。

Details of the “current land owner(s)”# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&

- posted notice in a prominent position on or near application site/premises on
_____ (DD/MM/YYYY)&
於 28/11/2025 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&

- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 11/12/2025 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))**(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)**(a) Proposed use(s)/development
擬議用途/發展

擬議臨時公眾停車場(貨櫃車除外)及相關填土工程(為期3年)

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期 year(s) 年 3 month(s) 個月(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	964	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	16	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	1		
Proposed domestic floor area 擬議住用樓面面積	N/A	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	16	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	16	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

構築物A：臨時更亭用途，樓面面積約16平方米，高度約2.5米，1層

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	21	.....
Motorcycle Parking Spaces 電單車車位	.....	.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	.....	.....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	.....	.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	.....	.....
Others (Please Specify) 其他 (請列明)	.....	.....

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	.....
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	.....

<p>Proposed operating hours 擬議營運時間 星期一至星期日，全天24小時，公眾假期照常開放。</p> <p>.....</p> <p>.....</p>																															
<p>(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是 <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 粉錦公路經鄉村道路進入</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p>No 否 <input type="checkbox"/></p>																														
<p>(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)</p>																															
<p>(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？</p>	<p>Yes 是 <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 980 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 0.1 m 米 <input checked="" type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input type="checkbox"/></p>																														
<p>(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">On environment 對環境</td> <td style="width: 10%;">Yes 會 <input type="checkbox"/></td> <td style="width: 10%;">No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 <input type="checkbox"/> month(s) 個月

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Applicant 申請人 / Authorised Agent 獲授權代理人

鄭嘉翔

文員

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) Member 會員 / Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他

on behalf of
代表



志科有限公司

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

18/12/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	新界元朗八鄉下輦 DD111 LOT NO. 1043(部份), 1046 S.A ss.1 RP(部份), 1046 S.A ss.1 S.A, HTL HLB(部份)和毗鄰政府土地		
Site area 地盤面積	980	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	217	sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	S/YL-PH/11		
Zoning 地帶	鄉村式發展		
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____		
Applied use/ development 申請用途/發展	擬議臨時公眾停車場(貨櫃車除外)及相關填土工程(為期3年)		

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	16 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.02 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		<input type="checkbox"/> (Not more than 不多於) m 米
			<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	2.5	<input checked="" type="checkbox"/> (Not more than 不多於) m 米
		1	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積		2 %	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		21
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		21
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明) 渠務排水圖則, 消防裝置圖則, 交通運輸圖則	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<hr/>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

附帶規劃文件

按城市規劃條例第 16 條的規劃許可申請，現於新界元朗八鄉下輦 DD111 LOT NO. 1043(部份)，1046 S.A ss.1 RP(部份)，1046 S.A ss.1 S.A，HTL HLB(部份)和毗鄰政府土地，進行規劃申請。

地帶： 「鄉村式發展」

用途： 「擬議臨時公眾停車場(貨櫃車除外)及相關填土工程(為期 3 年)」

場地面積： 「約 980 平方米」

行政摘要：

申請人現依據城規條例第 16 條向城市規劃委員會申請，擬在新界元朗八鄉下輦 DD111 LOT NO. 1043(部份)，1046 S.A ss.1 RP(部份)，1046 S.A ss.1 S.A，HTL HLB(部份)和毗鄰政府土地，八鄉分區計劃大綱核准圖編號：S/YL-PH/11，「鄉村式發展」地帶內申請作為「擬議臨時公眾停車場(貨櫃車除外)及相關填土工程(為期 3 年)」用途。

申請地點位於八鄉分區計劃大綱核准圖編號 S/YL-PH/11「鄉村式發展」地帶內，申請用途屬於第二欄「須先向城市規劃委員會申請，可能在有附帶條件或無附帶條件下獲准的用途」中的「公眾停車場(貨櫃車除外)」用途。

申請地點主要的服務對象是申請地點附近居住的村民，申請地點可以為附近屋宇中上層住戶和附近下輦村村民提供停車位，加上申請地點附近符合政府規範的公眾停車場數目不足，近年下輦村落人口又不斷增加，因此符合規範的公眾停車場有其增加的必要性。

申請地點不會進行任何工場作業，場地內不會進行拆卸、保養、修理、清潔、噴漆和其他工場活動，也不會停泊貨櫃車或重量超過 5.5 噸的車輛。

申請地點只為臨時性質，不會取代該區作「鄉村式發展」用途的永久規劃意向。

是次申請是規劃許可編號A/YL-PH/997的重新申請，由於規劃許可編號A/YL-PH/997期間申請地點未克可以在規定期限內完成已獲批的排水建議設施建造，因此無奈需要進行重新申請。

倘若時次申請獲批，申請人亦會盡力在時限內完成全部的附帶條件，並在相關處方接受了相關建議後，馬上邀請相關處方的人員前來檢閱。在前次規劃許可編號A/YL-PH/997時，申請人已履行了大部份的附帶條件，因此希望貴署可以酌情處理是次申請。

詳情請參閱以下已履行的附帶條件通知信。

規劃署

粉嶺、上水及元朗東規劃處
新界荃葵青山公路388號
中環大廈22樓2202室

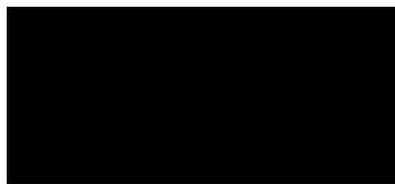


Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building
388 Castle Peak Road, Tsuen Wan, NT

電郵函件

來函檔號 Your Reference:
本署檔號 Our Reference: TPB/A/YL-PH/997
電話號碼 Tel. No.: 3168 4044 / 3168 4072
傳真機號碼 Fax No.: 3168 4074 / 3168 4075



先生／女士：

擬在劃為「鄉村式發展」地帶的元朗八鄉下輦丈量約份第 111 約地段第 1043 號（部分）、第 1046 號 A 分段第 1 小分段餘段（部分）、第 1046 號 A 分段第 1 小分段 A 分段及 HTL 屋地羣（部分）和毗連政府土地關設臨時公眾停車場（貨櫃車除外）（為期三年），以及進行填土工程
（規劃申請編號：A/YL-PH/997）

履行規劃許可附帶條件(c)項 – 提交排水建議

本處收到你於二零二五年五月二十九日提交的資料以履行上述規劃許可附帶條件。就你提交的資料，本處已諮詢有關部門，有關意見如下：

- 接受。因此，你已經履行上述附帶條件。部門詳細意見請見附件。
- 接受。由於上述附帶條件要求提交及落實建議，因此，你未有完全履行有關附帶條件。請你加快落實已批准的建議以完全履行有關附帶條件。
- 不接受。因此，上述附帶條件未能被視作已履行。部門詳細意見請見附件。

抱歉我們未能為你提供部門詳細意見的中文譯本。如你對部門意見有疑問，請直接聯絡



規劃署
粉嶺、上水及元朗東規劃專員

（盧玉敏 ）

二零二五年八月十一日



規劃署35周年
Planning Department 35th Anniversary

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規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號	Your Reference :	
本署檔號	Our Reference :	TPB/A/YL-PH/997
電話號碼	Tel. No. :	3168 4072
傳真機號碼	Fax No. :	3168 4074/ 3168 4075

郵寄

先生/女士：

履行規劃許可附帶條件 (f) 項
- 落實已獲接納的消防裝置建議

擬在劃為「鄉村式發展」地帶的
新界元朗八鄉下峯丈量約份第 111 約地段第 1043 號 (部分)、第 1046 號 A
分段第 1 小分段餘段 (部分)、第 1046 號 A 分段第 1 小分段 A 分段
及 HTL 屋地羣 (部分) 和毗連政府土地關設擬議臨時公眾停車場 (貨櫃車除外)
(為期 3 年) 及填土工程
(規劃申請編號 : A/YL-PH/997)

本處收到你於二零二四年六月十五日提交的資料以履行上述規劃許可附帶條件。就你提交的資料，本處已諮詢有關部門，有關意見如下：

- 接受。因此，你已經履行上述附帶條件。
- 接受。由於上述附帶條件要求提交及落實建議，因此，你未有完全履行有關附帶條件。請你加快落實已批准的建議以完全履行有關附帶條件。
- 不接受。因此，上述附帶條件未能被視作已履行。

如你對部門意見有疑問，請直接聯絡

規劃署
粉嶺、上水及元朗東規劃專員

(盧玉敏



)

二零二四年八月二十九日

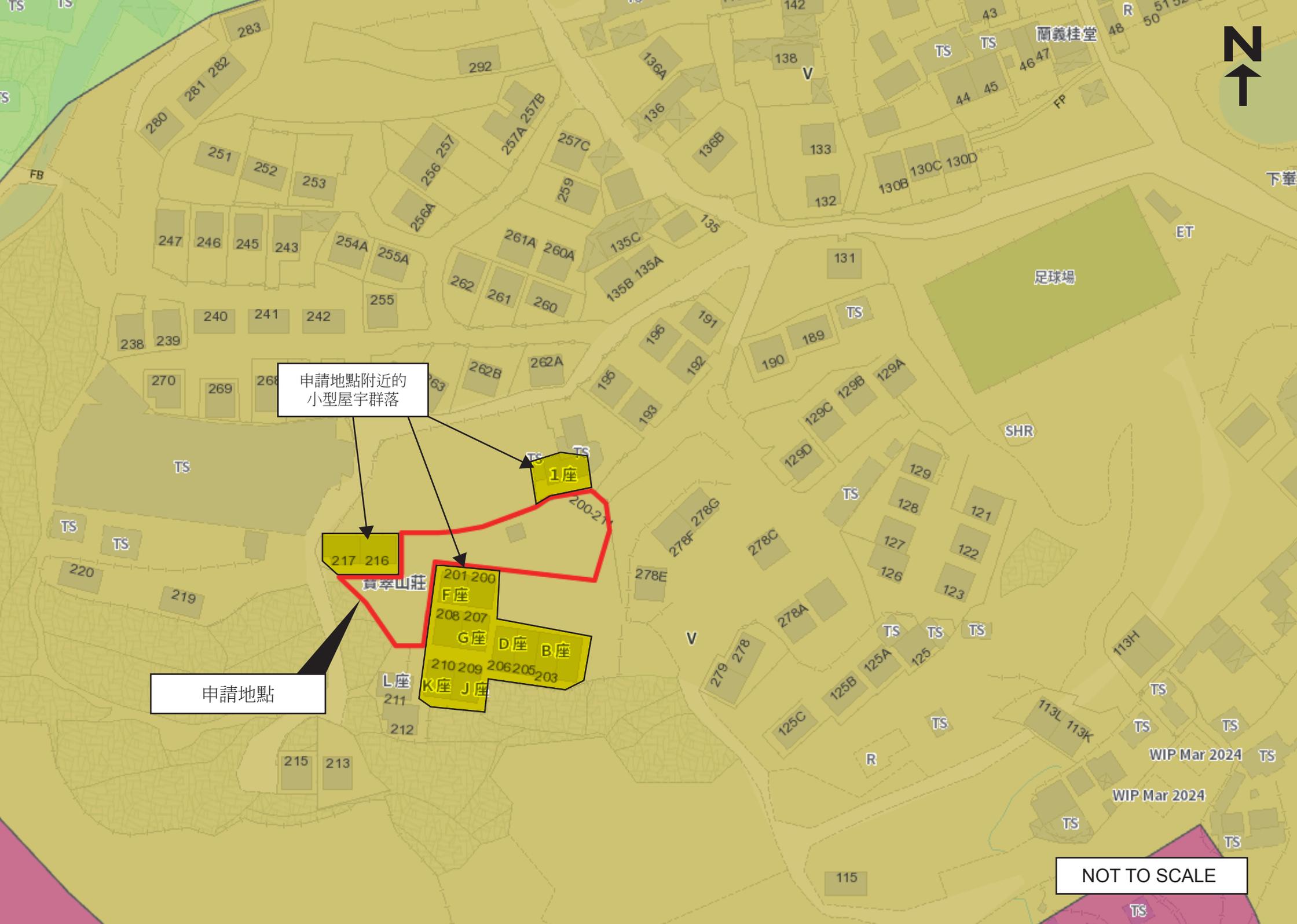
副本抄送:

消防處處長

內部抄送:

總城市規劃師/城市規劃委員會

JL/AT/th



申請地點附近的小型屋宇群落

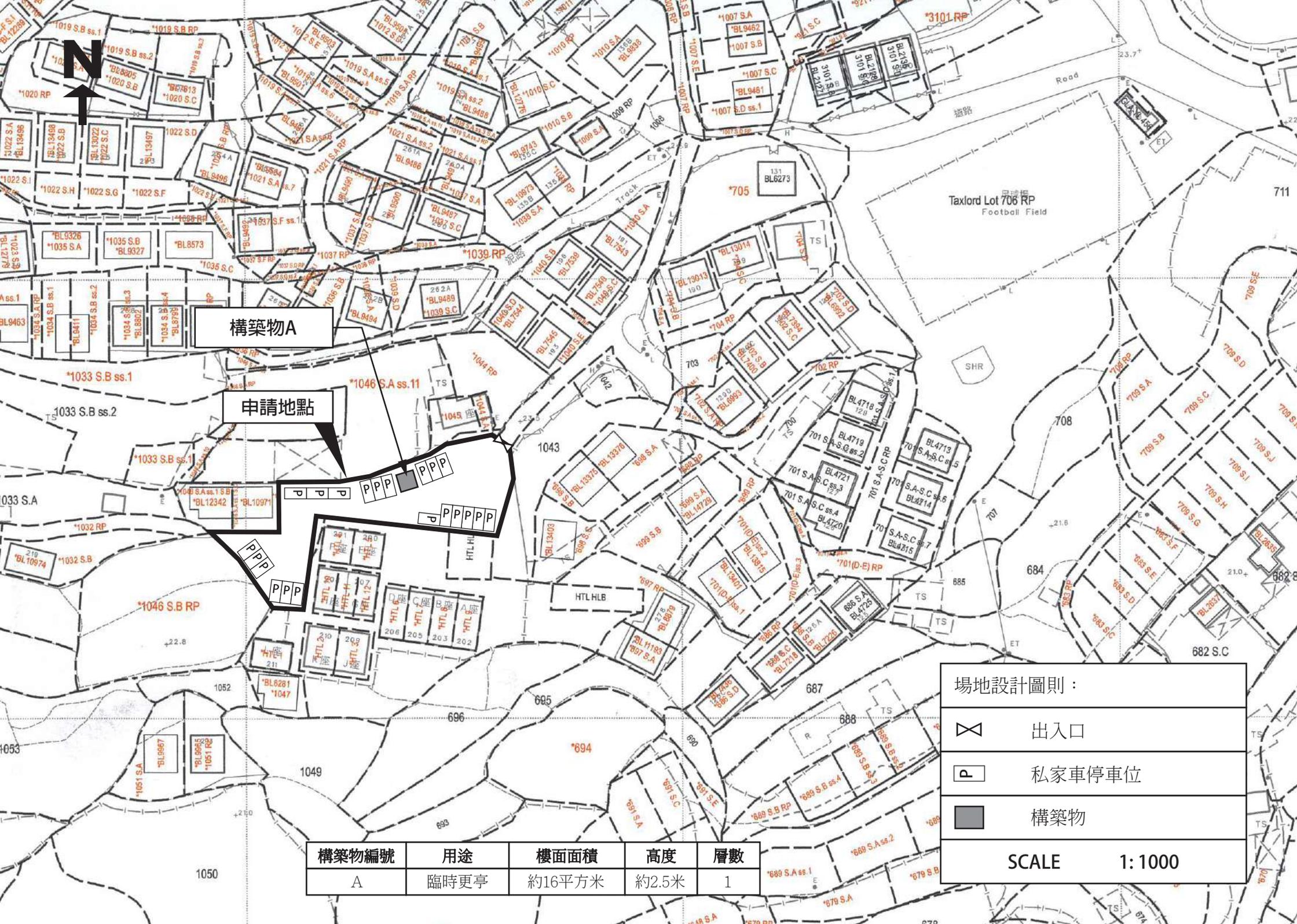
申請地點

NOT TO SCALE

場地設計：

1. 申請地點內設有一個構築物作臨時更亭用途，樓面面積約16平方米，高度約2.5米，1層。
2. 申請地點內設有私家車停車位21個，每個車位長約5米，闊約2.5米。
3. 申請場地的停車位只會停泊私家車或重量不超過5.5噸的車輛，不會停泊貨櫃車。
4. 申請地點只提供代步車輛進行停泊，不會提供電動車充電設施。
5. 申請地點開放時間為星期一至星期日，全天24小時，公眾假期照常開放。
6. 申請地點已於多年前完成了填土工作，填土是用作申請地點的場地平整和提供給車輛行駛，不會再有填土。填土厚度約0.1米，填土物料為水泥，場地內的香港主水平基準增加至現時的正23.10mPD。

詳情請參閱以下圖則。



構築物A

申請地點

場地設計圖則：

-  出入口
-  私家車停車位
-  構築物

SCALE 1:1000

構築物編號	用途	樓面面積	高度	層數
A	臨時更亭	約16平方米	約2.5米	1

渠務排水：

申請人會依照前次規劃許可編號 A/YL-PH/997 已獲批的排水建議，為申請地點設置適合的渠務排水設施。

詳細請參閱以下圖則。

Drainage Proposal

in compliance with the Planning Approval Condition (e) of the

Planning Application No. A/YL-PH/997

for Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Filling of Land in “Village Type Development” Zone at Lots 1043 (Part), 1046 S.A ss.1 RP (Part), 1046

S.A ss.1 S.A and HTL House Lot Blocks (Part) in D.D. 111 and adjoining Government Land (GL), Ha Che, Pat Heung, Yuen Long,

New Territories

(HT24057B)

Drainage Proposal Report

May 2025

Prepared & Approved by:	K. C. LEE MICE, MHKIE 
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何田顧問工程師有限公司
HO TIN & ASSOCIATES
CONSULTING ENGINEERS LIMITED



Responses to Comments from Government Departments on Planning Application No. A/YL-PH/997 (refer to Planning Department's message of 23 May, 2025)

COMMENTS	RESPONSES
Drainage Service Department (DSD)	Applicant
<p>(1) Peripheral channels will be provided within the subject site boundary to collect surface runoff on the application site and to intercept the overland flow from adjacent lands. Channels at the north eastern side of the site should be provided.</p>	<p>Peripheral channel is added at the north eastern side of the subject site.</p>
<p>(2) Minor Site leveling works will be carried out under this application. The applicant is required to ensure that the overland flow from the adjacent lands should not be affected.</p>	<p>Noted, agreed and will strictly follow.</p>
<p>(3) The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.</p>	<p>Noted, agreed and will strictly follow.</p>
<p>(4) There is no C2409I in the Civil Engineering and Development Department's standard list. The applicant is advised to check and clarify.</p>	<p>The updated Civil Engineering and Development Department's standard drawing no. C2409J is used.</p>
<p>(5) The standard drawings of cover slab/cast iron grating etc., for the proposed channels should be included in the submission. The Drainage Services Department's approval shall be sought for decking over channels.</p>	<p>Civil Engineering and Development Department's standard drawing of 'cover slab and cast iron grating for channels' (no. C2409J) is incorporated into this amended report.</p>

<p>(6) The columns showing the catchment area (A), average slope (H) and distance (L) for calculation of t_0 should be included in Appendix 2.</p>	<p>Columns showing the catchment area (A) [column (21)], average slope (H) [column (13)], and distance (L) [column (12)] for calculation of t_0 are added in Appendix 2.</p>
<p>(7) The connection details at discharge point (drain pipe under planning application No. A/YL-PH/996) and indicate all C.L., I.L and catchpit bottom level should be shown in the drawing.</p>	<p>Details of outfall submitted and agreed under Planning Application No. A/YL-PH/996 is enclosed as Figure 4 in this amended report.</p>
<p>(8) The applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek Lands Department's permission for making connection/laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land outside the application site.</p>	<p>Noted, agreed and will strictly follow.</p>

CONTENT

1. Introduction
2. General Site Description and the Proposed Development
3. Existing Drainage System of the Area
4. Proposed Drainage Works
5. Hydraulic Calculation
6. Conclusion

FIGURE

- Figure 1** **Site Location Plan**
Figure 2 **Proposed Stormwater Drainage Layout Plan**
Figure 3 **Site Cross Sections**
Figure 4 **Details of Outfall (Submitted and Agreed under Planning
Application No. A/YL-PH/996)**

APPENDIX 1 **Copy of Planning Department's Letter of 16 April 2025 accepting the
Drainage Proposal submitted under the Planning Application No. A/YL-
PH/996)**

APPENDIX 2 **Assessment of Hydraulic Capacities of the Proposed Drainage System**

1. Introduction

1.1 Ho Tin & Associates Consulting Engineers Limited (HTA) was appointed by the client to prepare a Drainage Proposal Report in compliance with the planning approval condition (e) of the Planning Application No. A/YL-PH/997 for Proposed Temporary Public Vehicle Park Excluding Container Vehicle (“the proposed development”) for a Period of 3 Years and Filling of Land in “Village Type Development” Zone at Lots 1043 (Part), 1046 S.A ss.1 RP (Part), 1046 S.A ss.1 S.A and HTL House Lot Blocks (Part) in D.D. 111 and adjoining Government Land (GL), Ha Che, Pat Heung, Yuen Long, New Territories (the ‘subject site’).

1.2 The objectives of this report are to:-

- indicate any changes/increase in drainage characteristics due to the proposed development;
- assess any potential drainage impacts of the existing/planned drainage facilities nearby due to the proposed development; and
- propose mitigation measures and drainage improvement work, if necessary, to minimize any potential adverse drainage impacts.

1.3 The scope of this report includes:-

- site description and existing land use;
- identification of stormwater flow pattern before and after the proposed development;
- assessment of impacts on existing drainage facilities due to the proposed development; and
- proposal of new drainage facilities for the proposed development if found necessary.

2. General Site Description and the Proposed Development

2.1 The subject site is located in Lots 1043 (Part), 1046 S.A ss.1 RP (Part), 1046 S.A ss.1 S.A and HTL House Lot Blocks (Part) in D.D. 111 and adjoining Government Land (GL), Ha Che, Pat Heung, Yuen Long, New Territories, and is about 370m to the northwest of Fan Kam Road. It is situated within “Village Type Development” zone on the Approved Pat Heung Outline Zoning Plan No. S/YL-PH/11. The subject site area is about 980m² (including GL of about 217m²) (22%). It is currently a piece of vacant hard paved flat land comprising one 1 storey structure with building height about 2.5m and a total floor

area of about 16m². Current conditions of the subject site are shown in **Plate Nos. 1, 2 and 3** in the following. A Site Location Plan is shown in **Figure 1**.

	
<p>Plate No. 1 – Entrance of the subject site</p>	<p>Plate No. 2 – Current general conditions of the subject site (1)</p>
	<p>[BLANK]</p>
<p>Plate No. 3 – Current general conditions of the subject site (2)</p>	

2.2 The proposed development at the subject site is for temporary public vehicle park (excluding container vehicle) for a period of 3 years. No structure nor building will be constructed. Total 21 nos. of private car parking spaces will be provided. The subject site would be maintained to be covered with concrete without disturbance.

3. Existing Drainage System of the Area

3.1 The subject site is irregular shaped with existing average ground level at about +23.1mPD which is also the proposed finished ground level of the proposed development. The existing ground levels of the subject site generally slope downward from the east to its west. The subject site is now generally bounded by scattered houses of which some have their

own fence walls. At present, there is no channel/drainage provision within the subject site, surface runoff basically flows from the subject site westward onto the surroundings areas.

4. Proposed Drainage Works

- 4.1 Levels of the subject site will be maintained similar to those of the existing ground levels. The subject site would be maintained to be covered with concrete as existing without disturbance.
- 4.2 Peripheral channels will be provided within the subject site boundary to intercept all overland flow crossing the boundary. Where fence wall / hoarding is required, the fence wall / hoarding will be constructed with at least 100mm high gap at the bottom in order to allow potential overland flow from the surroundings. The peripheral channels will discharge into a terminal catchpit with trap (refer to CEDD Standard Drawing Nos. C2406/1 and C2406/2A) on the west side of the subject site.
- 4.3 Flow inside the terminal catchpit with trap will be conveyed directly to a proposed catchpit at the west of the subject site to be constructed under the Planning Application No. A/YL-PH/996 of which the drainage proposal was accepted by Planning Department on 16 April 2025 (a copy of the relevant Planning Department's letter is enclosed in the **Appendix 1** in this report). Flow from the Planning Application No. A/YL-PH/996 will be conveyed directly to an existing public 5.5m wide trapezoidal open channel at about 110m to the west of the subject site.
- 4.4 The Applicant is committed to obtain consents from owners of adjacent relevant land/ lots and relevant authorities prior to commencement of the proposed drainage works outside the subject site and to maintain the completed drainage works to the satisfaction of relevant Government departments.
- 4.5 Proposed Stormwater Drainage Layout Plan and Site Cross Sections is shown in **Figure 2** and **3** respectively. **Details of outfall submitted and agreed under Planning Application No. A/YL-PH/996 is enclosed as Figure 4 in this report.**
- 4.6 Details of proposed drainage provisions shall follow relevant details shown in Government departments' Standard Drawings as follows:

Proposed Drainage Provisions	Standard Drawings	Drawing No. & Title
Catchpit with trap	CEDD Standard Drawings	C2406/1 and C2406/2A – Catchpit with trap
Catchpit		C2405/1 to /5 – Standard Catchpit Details
U-channel		C2409J – Details of Half-round and U-channels
Channel cover and grating		C2412E – Cover Slab and Cast Iron Grating for Channels

5. Hydraulic Calculation

5.1 Assessment criteria is based on the recommendation set out in the Stormwater Drainage Manual (Fifth edition, Jan 2018) (SDM) and its Corrigendum Nos. 1/2022, 1/2024 and 2/2024 issued by DSD. Design Return Period of 50 years (recommended for ‘Village Drainage’ in SDM) is being adopted.

5.2 The corresponding runoffs under rainfall intensity for various return period are worked out with reference to Rational Method. Brandy-Williams method is used in calculation of the time of concentration. A uniformly distributed rainfall with an intensity is determined by the Intensity-Duration-Frequency. With referenced to Table 3a - Storm Constants for different return periods of HKO Headquarters from SDM, the rainfall profiles are derived based on the following equation:

$$i = \frac{a}{(t + b)^c}$$

where i = mean rainfall intensity (mm/hr)
t = duration time of concentration (min)
a, b and c = storm constants given in Table below

Table : Storm Constants

Return Period (years)	50
a	505.5
b	3.29
c	0.355

A 16.0% rainfall increase is adopted in the hydraulic calculation to cater for effects due to climate change in accordance with the table 28 with projection to End of 21st Century (it is

very conservative, as the subject application is only for 3 years) as stipulated in the item (e) and (k) of the SDM - Corrigendum No. 1/2022. Besides, taking into consideration of design allowance in End of 21st Century, a further 12.1% rainfall increase is incorporated into the hydraulic assessment.

- 5.3 Hydraulic assessment is enclosed in the **Appendix 2**. 10% reduction in flow area has been incorporated to cater for potential deposition of sediment in stormwater channels and pipes as recommended in the SDM.
- 5.4 The proposed drainage is designed to cater for the estimated runoff under the designed rainstorms. With respect to the calculation, the proposed stormwater drainage system is capable to cater for the surface runoff without causing any adverse drainage impacts on the subject site and its surroundings.
- 5.5 Since all drainage would have sufficient spare capacity, no water backup will occur at the upstream under rainstorms of 50-year (or lower) return periods.

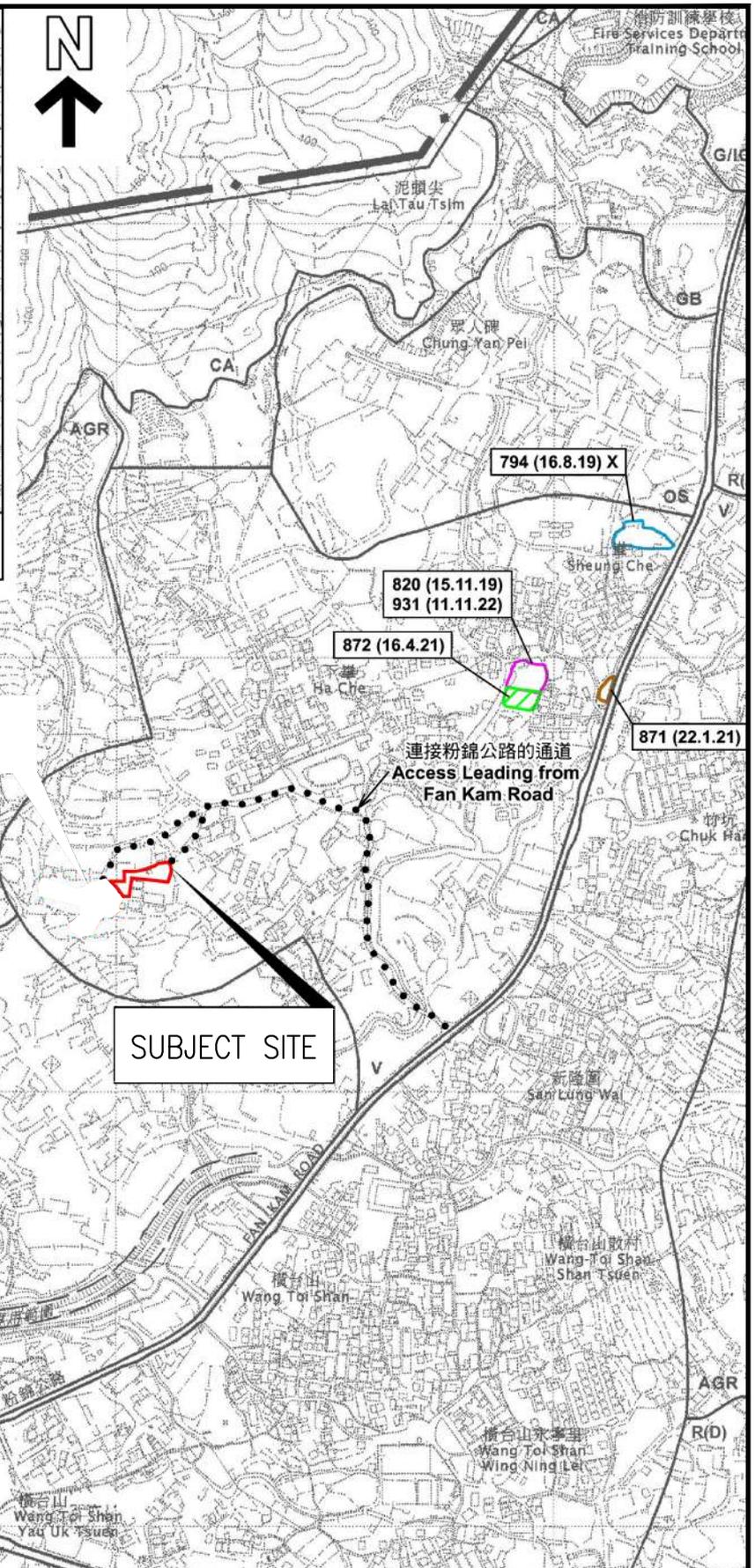
6. Conclusion

- 6.1 The subject site will be for Proposed Temporary Public Vehicle Park Excluding Container Vehicle for a Period of 3 Years and Filling of Land. The existing ground level would be same as the proposed finished ground level such that no site formation nor land filling at the subject site would be required.
- 6.2 Peripheral U-channels will be constructed along the subject site boundary to avoid surface runoff running across the subject site boundary from both sides. The flow inside the channels will be conveyed into a proposed terminal catchpit with trap of the proposed development. Flow inside the terminal catchpit with trap will be conveyed directly to a proposed catchpit to be constructed under the Planning Application No. A/YL-PH/996 of which the drainage proposal has already been accepted by Planning Department, at the west of the subject site. Flow from the Planning Application No. A/YL-PH/996 will be conveyed directly to an existing public 5.5m wide trapezoidal open channel at about 110m to the west of the subject site.
- 6.3 The Applicant is committed to obtain consents from owners of adjacent relevant land/lots and relevant authorities prior to commencement of the proposed drainage works outside the subject site and to maintain the completed drainage works to the satisfaction of relevant Government departments.

6.4 In conclusion, the subject proposed development would not cause any adverse drainage impacts onto the area.



要覽圖 KEY PLAN
SCALE 1 : 50 000 比例尺

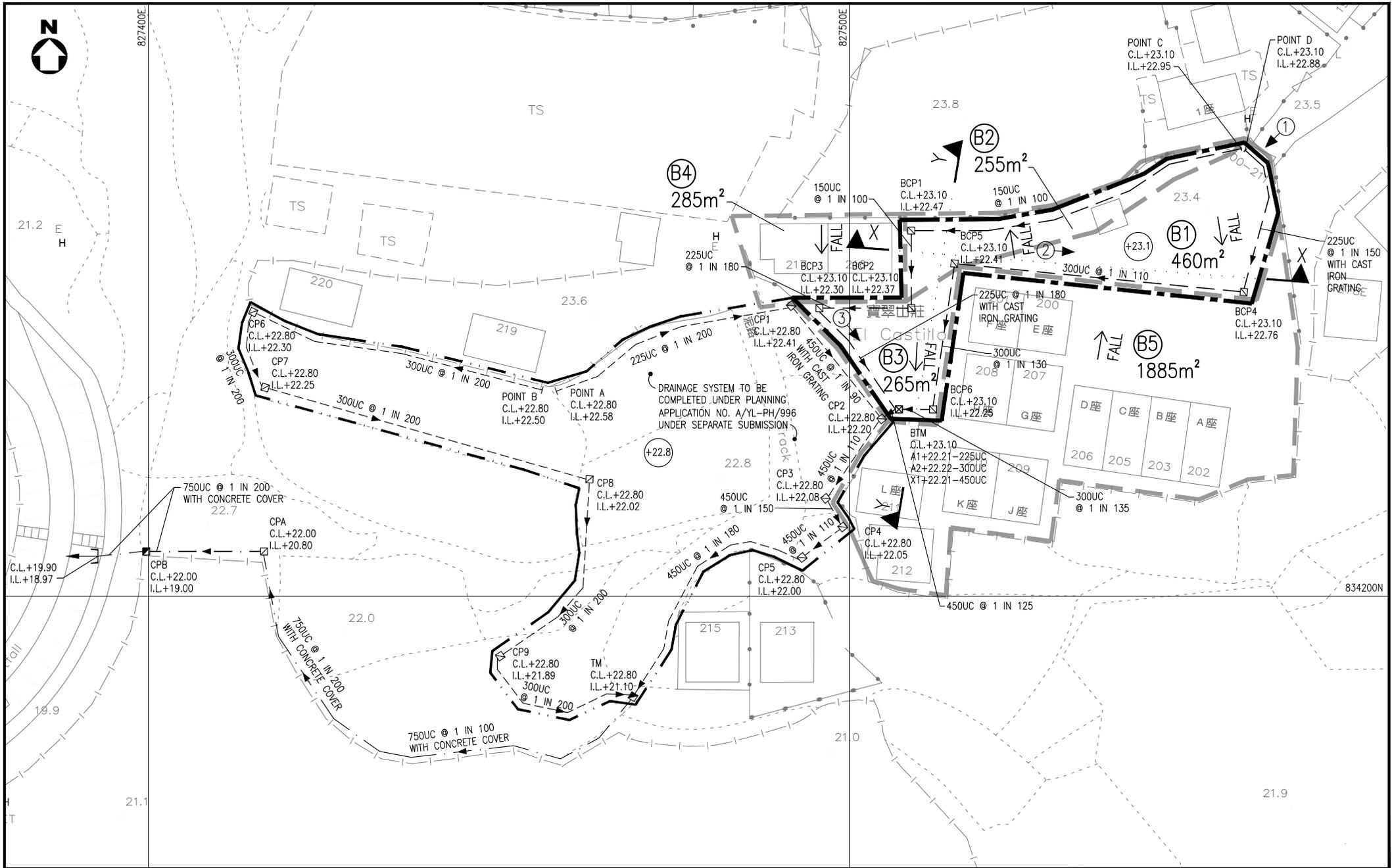


圖例 LEGEND

- 243 (17.7.22) 獲批准的申請
APPROVED APPLICATION
- 244 (17.7.22) 被拒絕的申請
REJECTED APPLICATION
- 72 (10.9.22) X 已撤銷
REVOKED
- 會議日期
DATE OF MEETING
- 申請編號
APPLICATION NUMBER

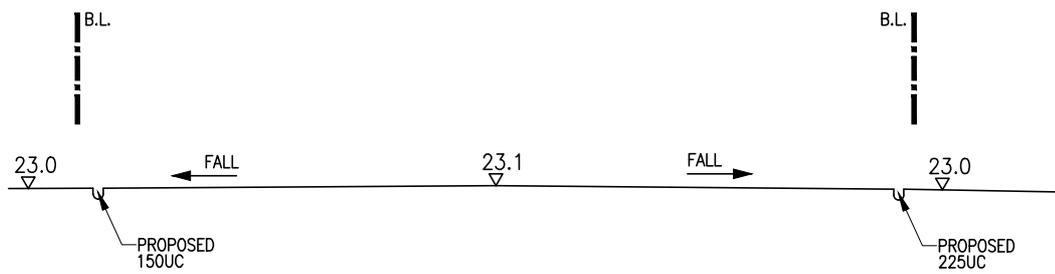
申請地點界線只作識別用
APPLICATION SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

PROJECT PLANNING APPLICATION NO. A/YL-PH/997 FOR PROPOSED TEMPORARY PUBLIC VEHICLE PARK FOR A PERIOD OF THREE YEARS	何田顧問工程師有限公司 HO TIN & ASSOCIATES CONSULTING ENGINEERS LIMITED	
TITLE <p style="text-align: center; font-size: 1.2em;">SITE LOCATION PLAN</p>	SCALE <p style="text-align: center;">1 : 7500 - A4</p>	DRAWING No. <p style="text-align: center; font-size: 1.2em;">FIGURE 1</p>

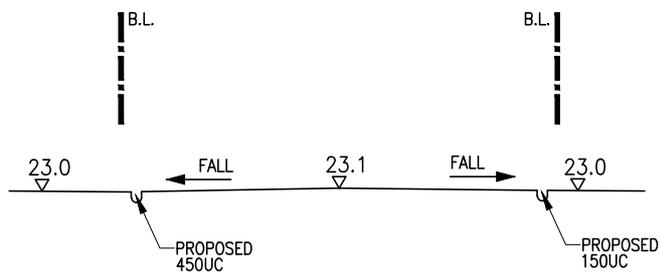


LEGEND:		PROJECT		何田顧問工程師有限公司 HO TIN & ASSOCIATES CONSULTING ENGINEERS LIMITED	
(+23.1)	PROPOSED FINISHED GROUND LEVEL	[Dashed line]	SUBJECT SITE BOUNDARY	PLANNING APPLICATION NO. A/YL-PH/997 FOR PROPOSED TEMPORARY PUBLIC VEHICLE PARK FOR A PERIOD OF THREE YEARS	
(N) →	LOCATION OF PHOTO TAKEN	[Dashed line]	CATCHMENT BOUNDARY	TITLE	SCALE
[Square with X]	PROPOSED CATCHPIT	[Dashed line]	SITE BOUNDARY OF NO. A/YL-PH/996	PROPOSED STORMWATER DRAINAGE LAYOUT PLAN	1 : 500 - A3
[Square with dot]	PROPOSED CATCHPIT WITH TRAP				DRAWING No. FIGURE 2

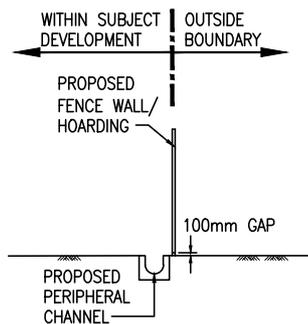
H:\24057_Lot 1031 Pat Heung\99724057_FIG2_03.dwg, 29/5/2025 10:13:27



SECTION X-X



SECTION Y-Y



TYPICAL SECTION AT
SUBJECT SITE BOUNDARY
N.T.S.

TITLE

SITE CROSS SECTIONS

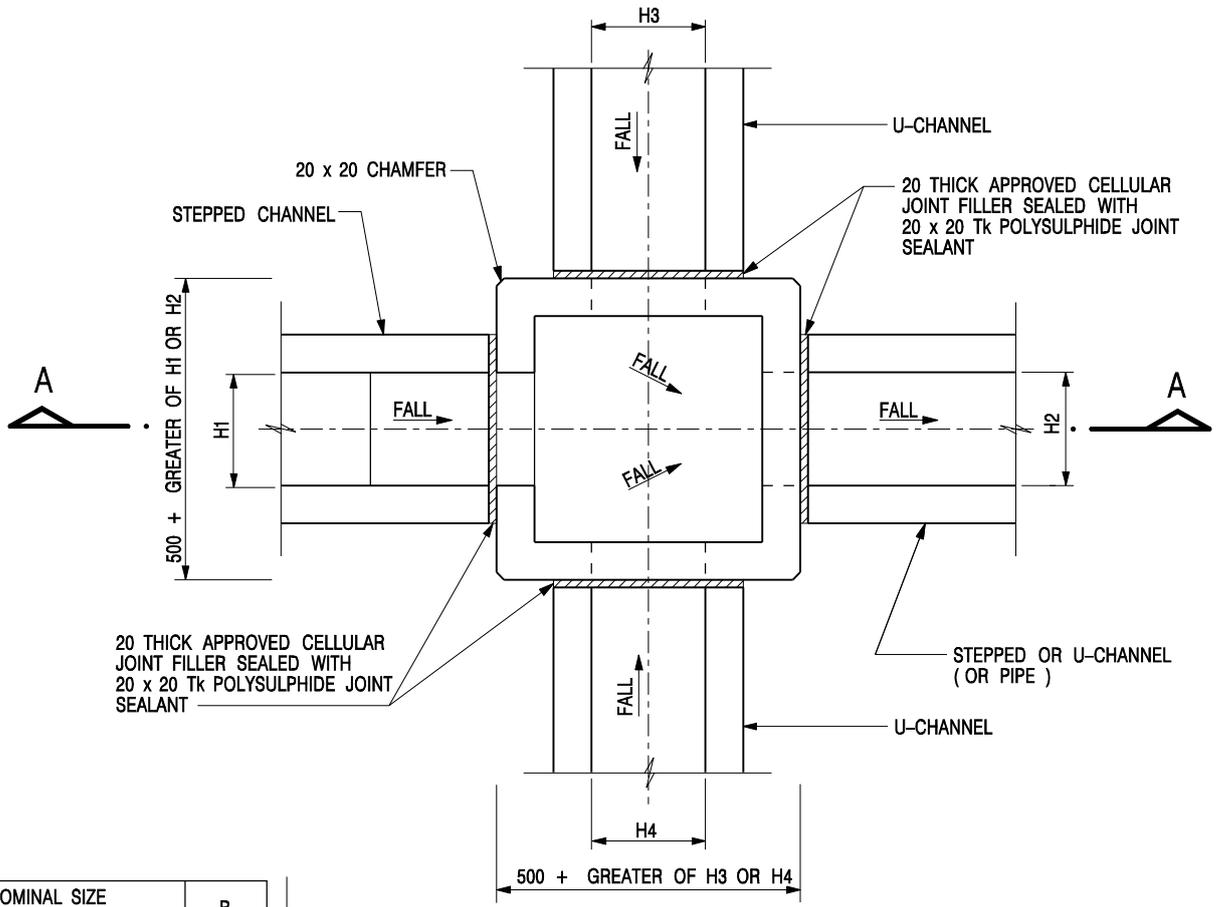
何田顧問工程師有限公司
HO TIN & ASSOCIATES
CONSULTING ENGINEERS LIMITED

SCALE

1 : 500 - A4

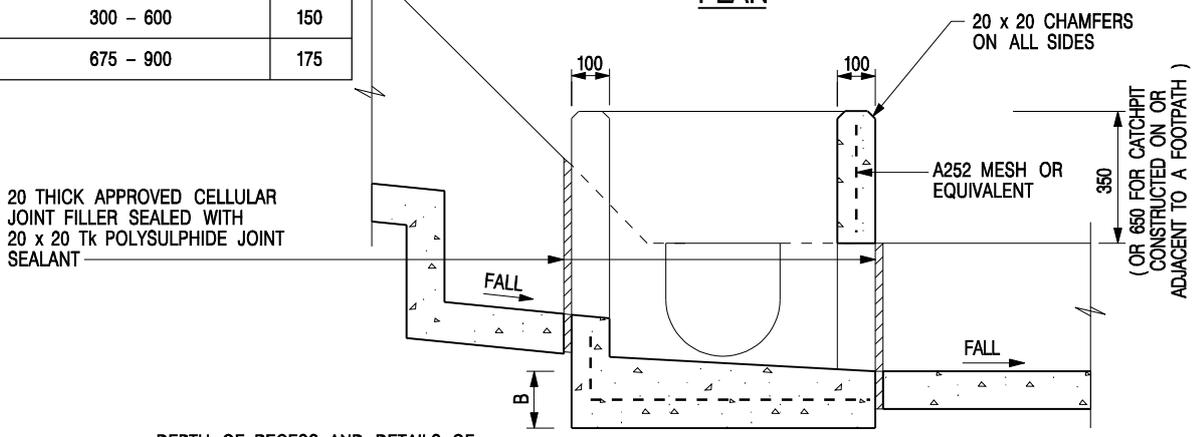
DRAWING No.

FIGURE 3

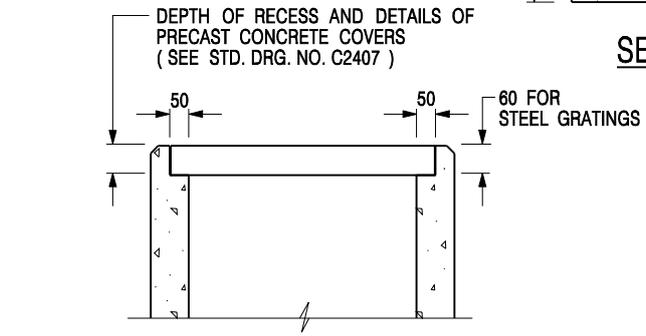


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

PLAN



SECTION A - A

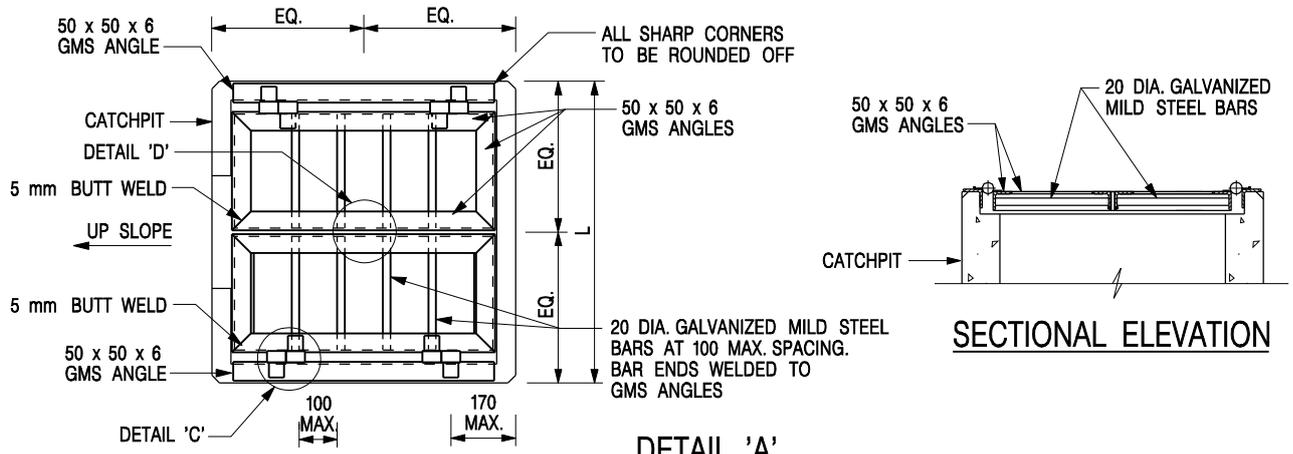


- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. REFER TO SHEET 5 FOR OTHER NOTES.

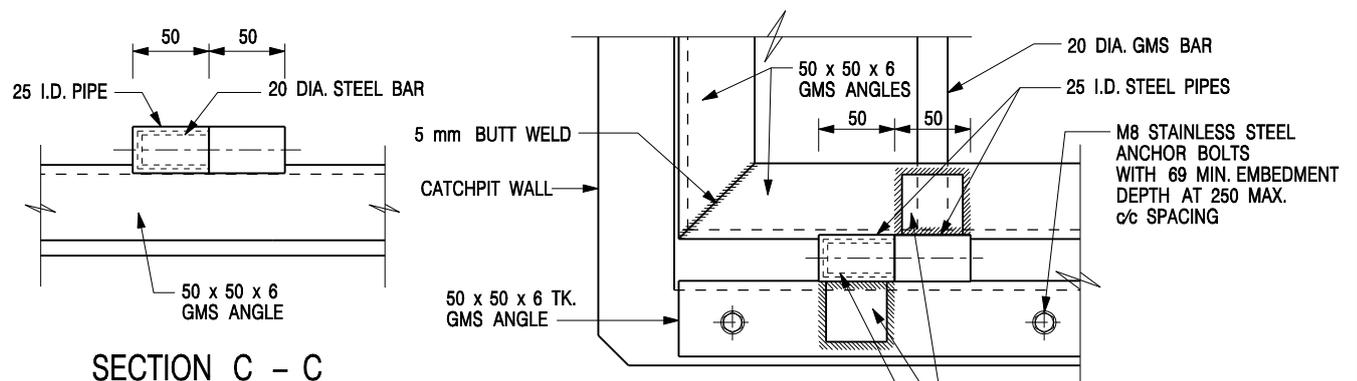
ALTERNATIVE TOP SECTION FOR
PRECAST CONCRETE COVERS / GRATINGS

STANDARD CATCHPIT DETAILS
(SHEET 1 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
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		DATE JAN 1991	
		DRAWING NO. C2405 / 1	

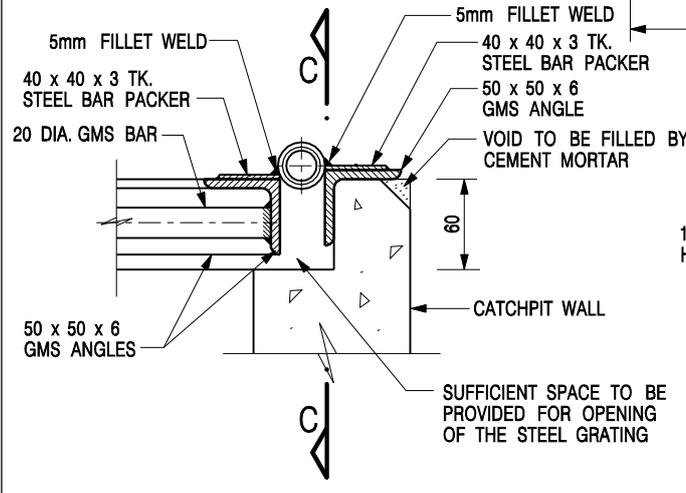


DETAIL 'A'
 (DETAILS OF DOUBLE SIDE OPENING STEEL GRATING FOR L > 900mm)
 SCALE 1 : 20

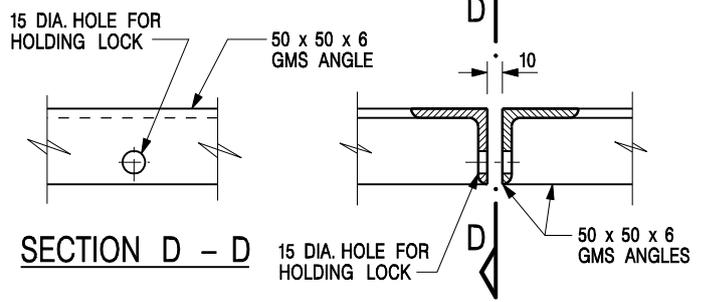


SECTION C - C

DETAIL 'C'
 (DETAILS OF HINGE)
 SCALE 1 : 5



SECTIONAL ELEVATION
 (DETAIL 'C')



SECTION D - D

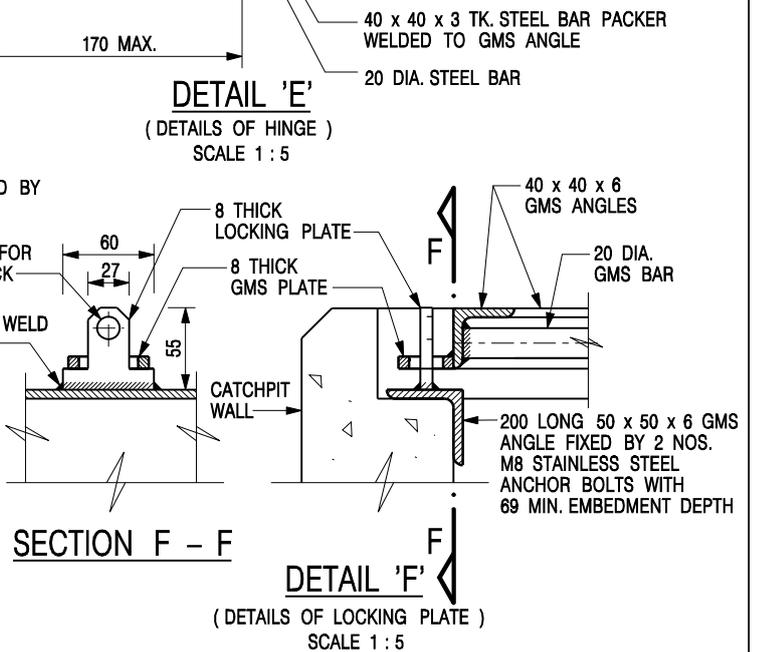
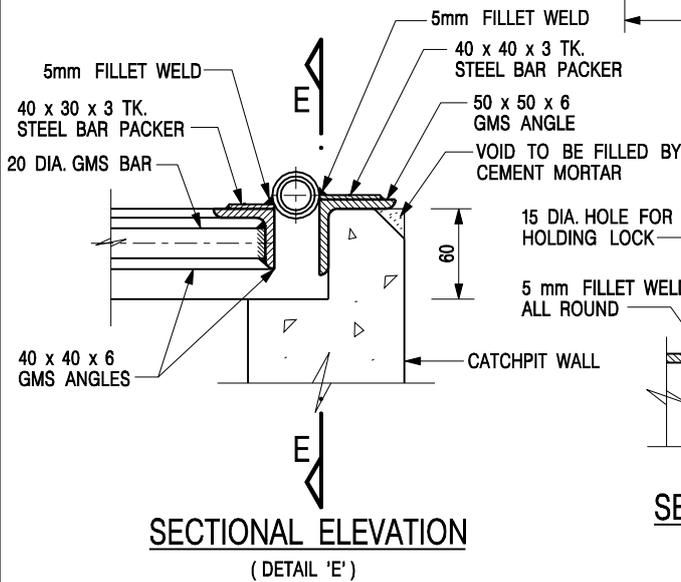
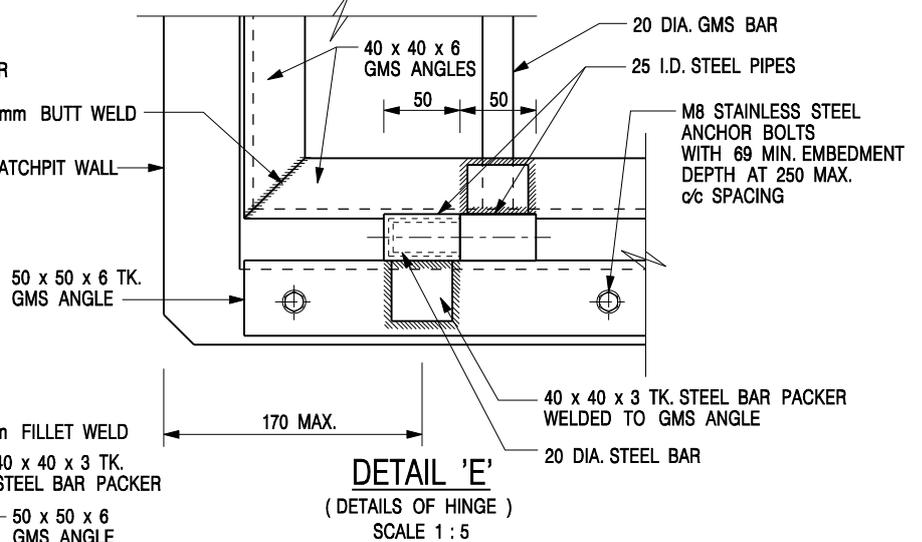
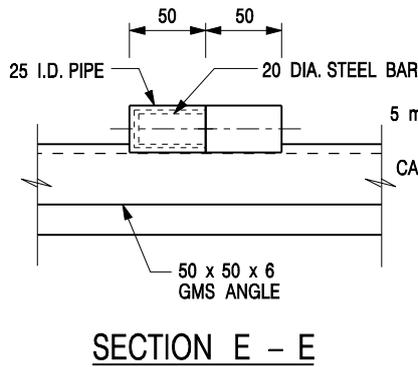
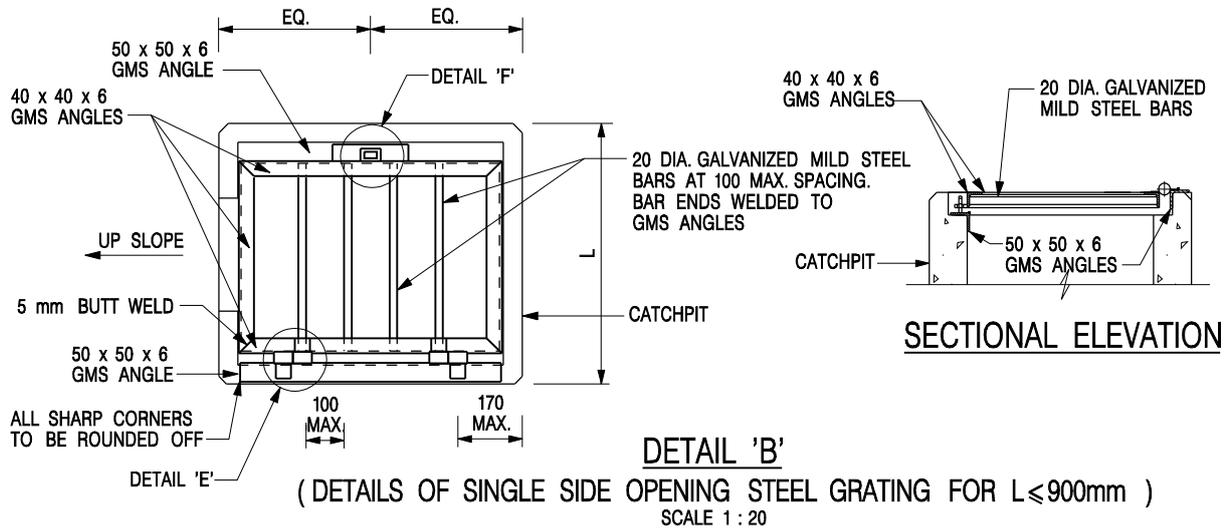
DETAIL 'D'
 (DETAILS OF HOLE FOR LOCK)
 SCALE 1 : 5

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS
 (SHEET 2 OF 5)

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REF.	REVISION	SIGNATURE	DATE
		SCALE AS SHOWN DATE JAN 1991	



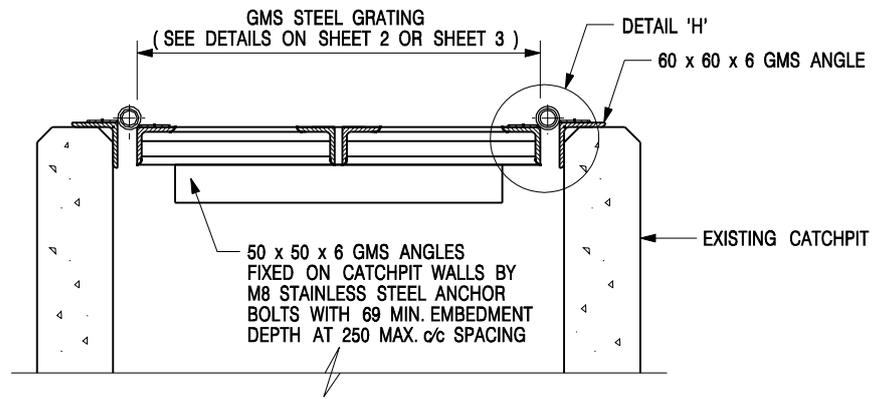
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS
(SHEET 3 OF 5)

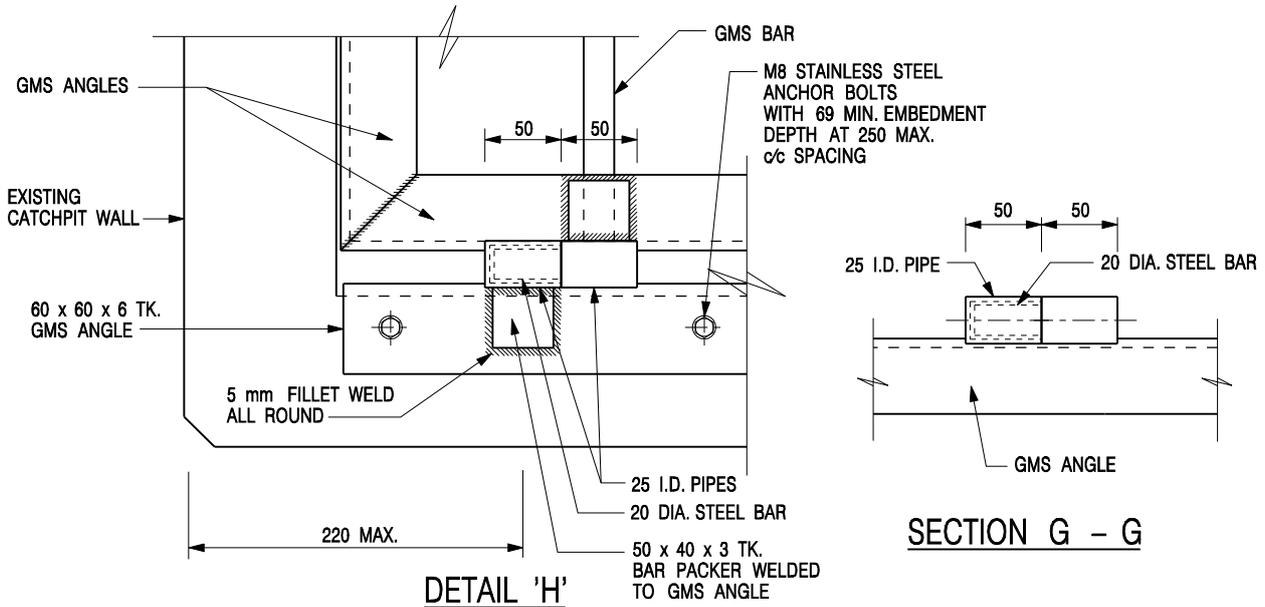
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REF.	REVISION	SIGNATURE	DATE

		CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	
SCALE AS SHOWN		DRAWING NO.	
DATE JAN 1991		C2405 /3	

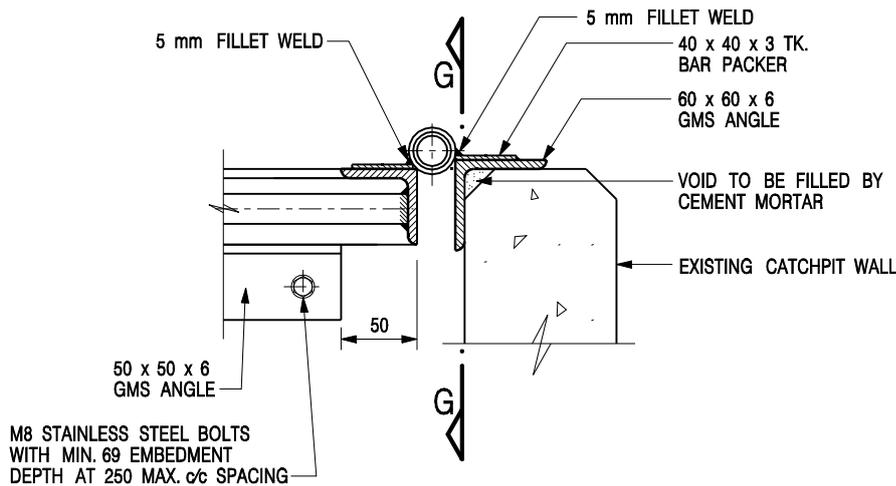


**DETAIL 'G' - DETAILS OF STEEL GRATING
CONSTRUCTED ON EXISTING CATCHPIT**

SCALE 1 : 10



DETAIL 'H'
(DETAILS OF HINGE)
SCALE 1 : 5



SECTIONAL ELEVATION
(DETAIL 'H')

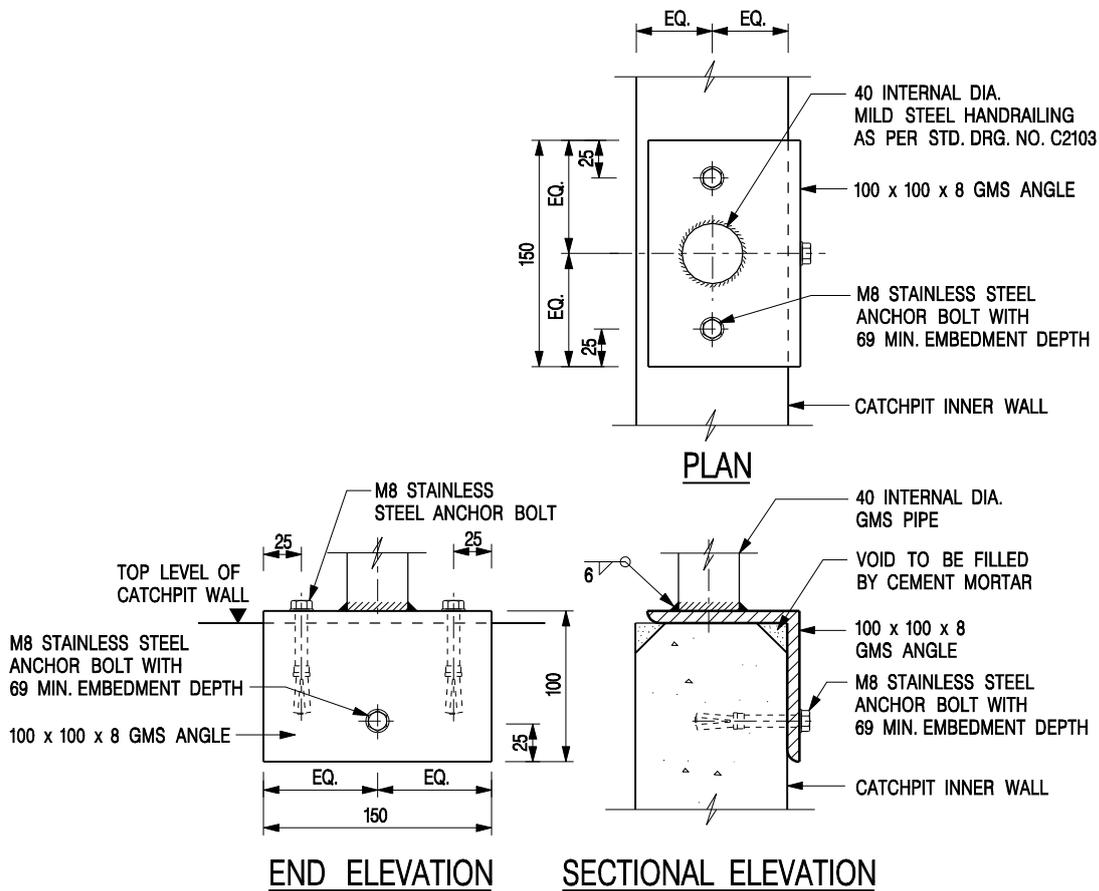
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS
(SHEET 4 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE AS SHOWN	
		DATE JAN 1991	
		DRAWING NO. C2405 / 4	



**DETAIL 'J' – FIXING DETAILS FOR HANDRAILING
ON TOP OF CATCHPIT WALL**

SCALE 1 : 5

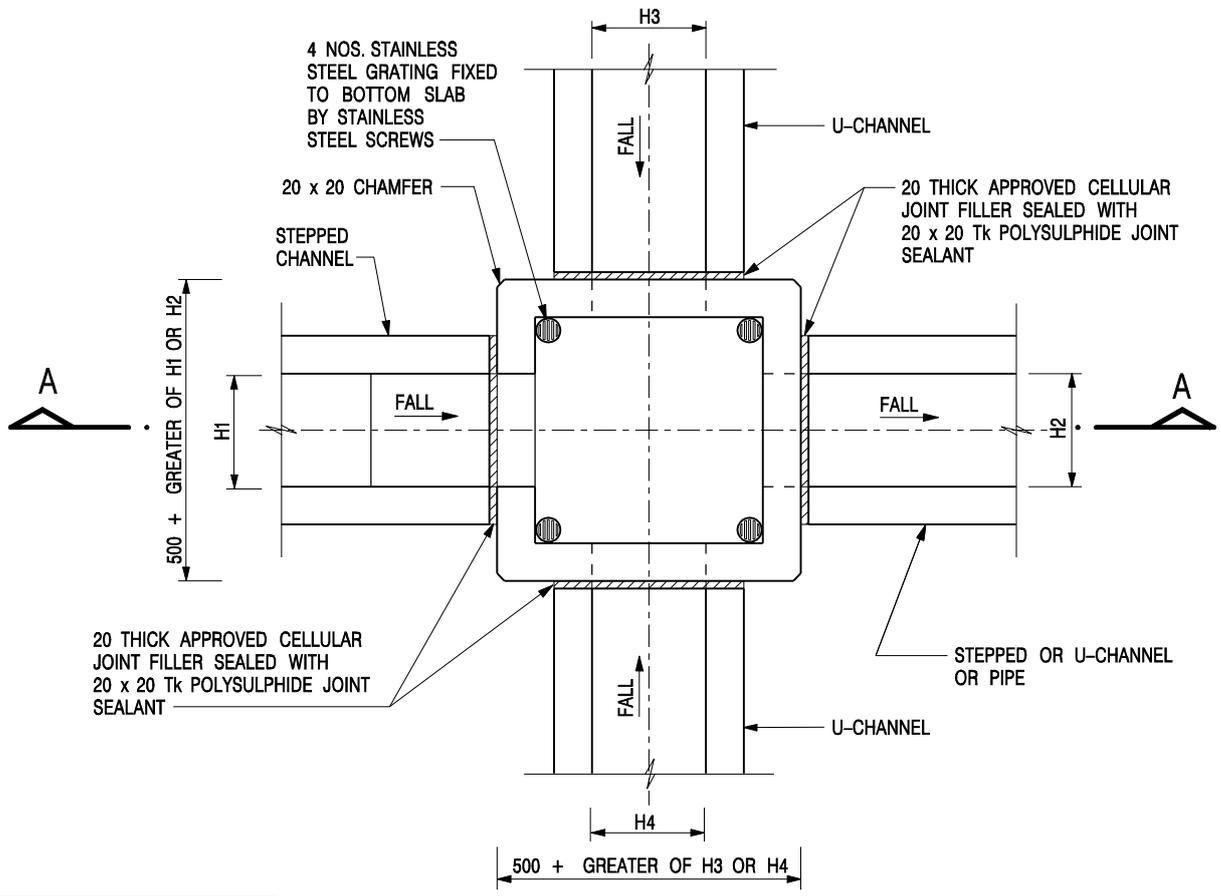
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAILS ON SHEET 2 OR SHEET 3) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
7. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON SHEET 5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
8. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 mm ϕ c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
9. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON SHEET 4.
10. ALL STEEL ANGLES SHALL COMPLY WITH BS EN 10025 AND BS EN 10056.
11. UNLESS OTHERWISE SPECIFIED, ALL WELDS SHALL BE 5 mm CONTINUOUS FILLET WELDS.
12. ALL WELDS SHALL BE CHIPPED, GROUND SMOOTH, BRUSHED TO REMOVE SLAG PRIOR TO HOT-DIP GALVANIZATION.
13. ALL STEELWORK SHALL BE HOT-DIP GALVANIZED TO BS EN ISO 1461. ALL EXPOSED STEELWORK SURFACES SHALL BE TREATED AND PAINTED IN ACCORDANCE WITH THE GENERAL SPECIFICATION.
14. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

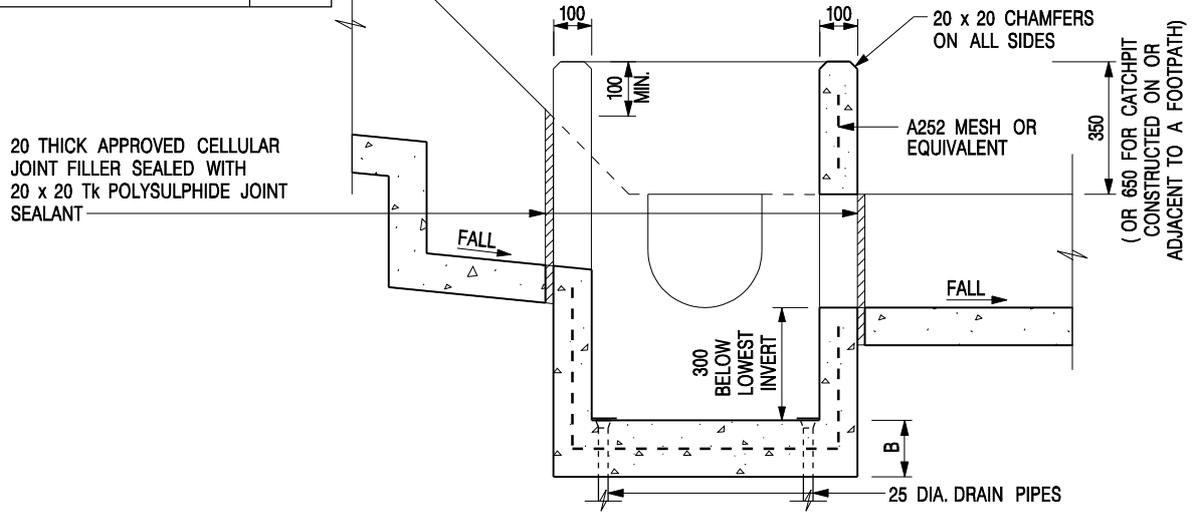
-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**STANDARD CATCHPIT DETAILS
(SHEET 5 OF 5)**

 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	
SCALE AS SHOWN	DRAWING NO.
DATE JAN 1991	C2405 /5



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



SECTION A - A

NOTES:

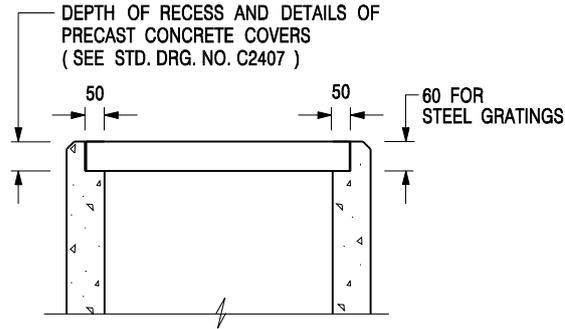
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP
(SHEET 1 OF 2)**

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



SCALE 1 : 20	DRAWING NO.
DATE JAN 1991	C2406 /1



**ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS**

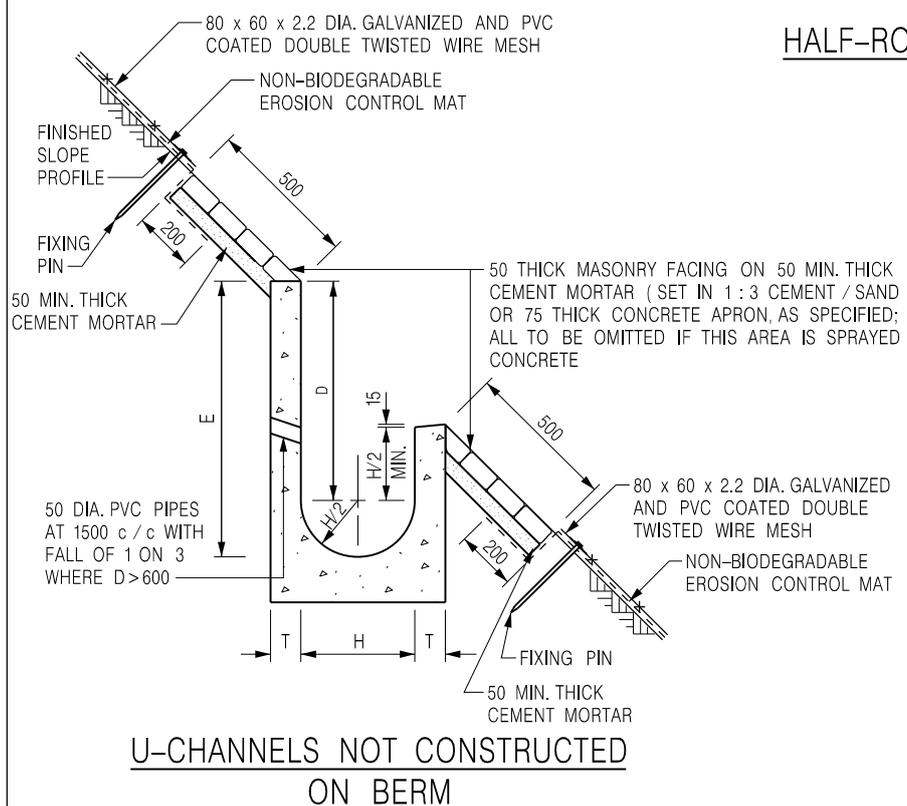
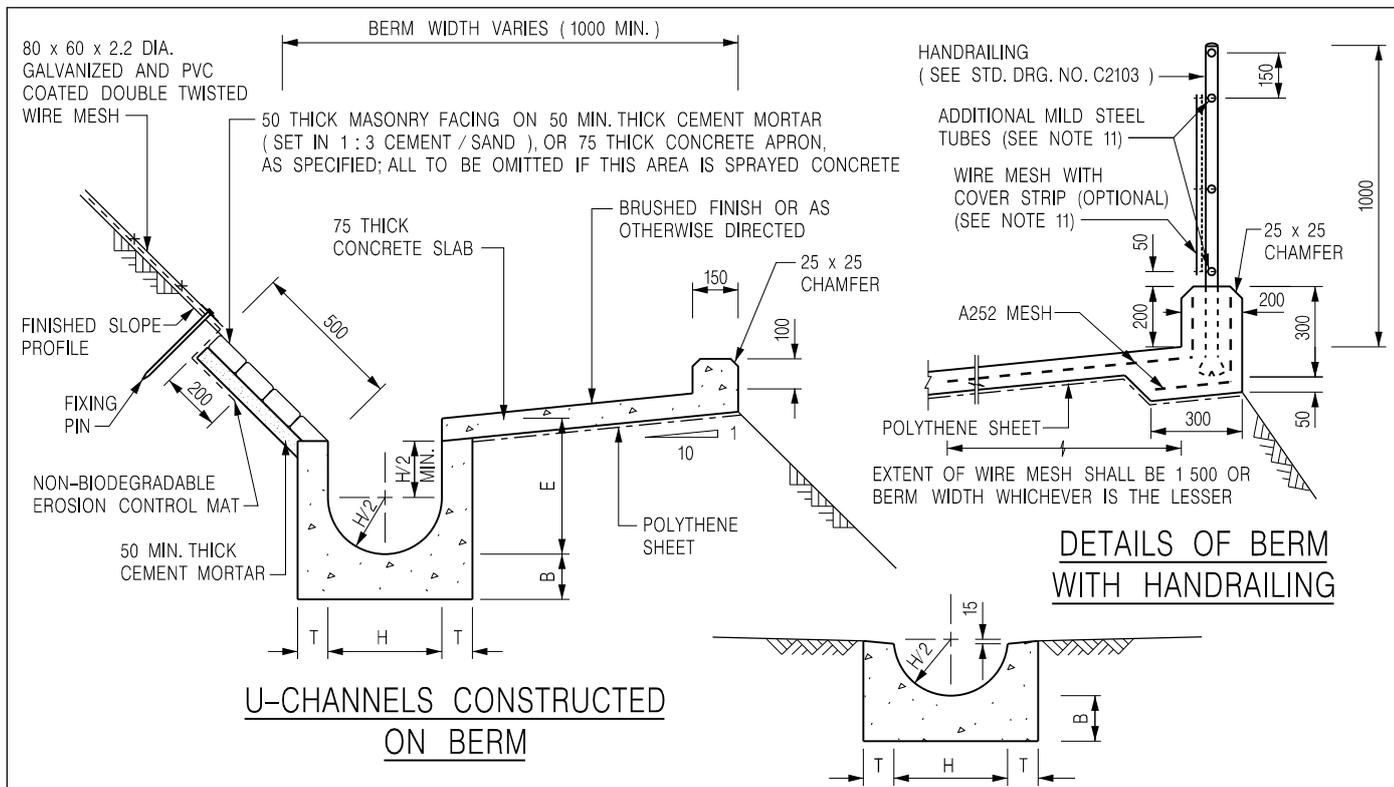
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

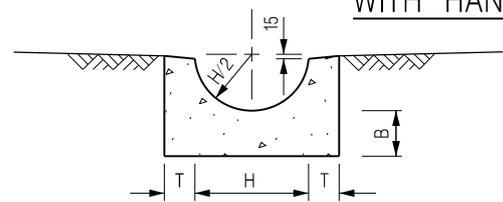
A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**

 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	
SCALE 1 : 20	DRAWING NO. C2406 /2A
DATE JAN 1991	



HALF-ROUND CHANNEL



- NOTES:**
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. ALL CONCRETE TO BE GRADE 20 / 20.
 3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
 4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
 5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
 6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
 7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
 8. CONCRETE TO BE COLOURED AS SPECIFIED.
 9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
 10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD. DRG. NO. C2511/E)
 11. THE WIRE MESH ON HANDRAILING IS OPTIONAL. THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO. C2103)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
J	DETAILS OF HANDRAILING AMENDED.	Original Signed	08.2024
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002

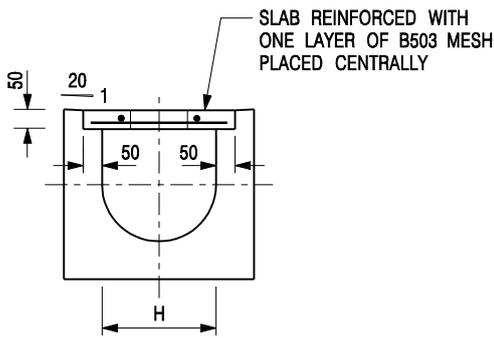
DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A - WITH MASONRY APRON)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

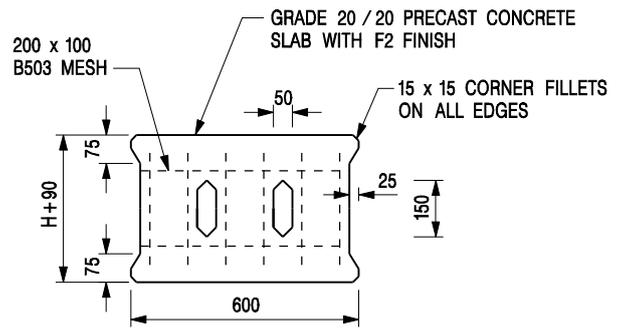
SCALE 1 : 25 DRAWING NO. C2409J

DATE JAN 1991

卓越工程 建設香港 We Engineer Hong Kong's Development



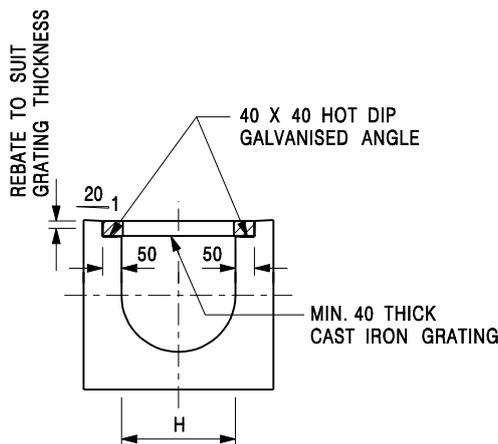
TYPICAL SECTION



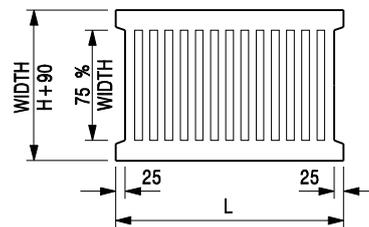
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2412E

規劃署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路388號
中染大廈22樓2202室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

電郵函件

來函檔號 Your Reference:
本署檔號 Our Reference: TPB/A/YL-PH/996
電話號碼 Tel. No.: 3168 4044 / 3168 4072
傳真機號碼 Fax No.: 3168 4074 / 3168 4075

先生／女士：

擬在劃為「鄉村式發展」地帶的元朗八鄉下輦丈量約份第 111 約地段第 1031 號、
第 1046 號 B 分段餘段、第 1052 號（部分）及第 1053 號（部分）
闢設臨時公眾停車場（貨櫃車除外）（為期三年），以及進行填土工程
（規劃申請編號：A/YL-PH/996）

履行規劃許可附帶條件(c)項 – 提交排水建議

本處收到你於二零二五年一月七日提交的資料以履行上述規劃許可附帶條件。就你提交的資料，本處已諮詢有關部門，有關意見如下：

- 接受。因此，你已經履行上述附帶條件。部門詳細意見請見附件。
- 接受。由於上述附帶條件要求提交及落實建議，因此，你未有完全履行有關附帶條件。請你加快落實已批准的建議以完全履行有關附帶條件。
- 不接受。因此，上述附帶條件未能被視作已履行。部門詳細意見請見附件。

抱歉我們未能為你提供部門詳細意見的中文譯本。如你對部門意見有疑問，請直接聯絡

規劃署
粉嶺、上水及元朗東規劃專員

（盧玉敏



）

二零二五年四月十六日



規劃署35周年
Planning Department 35 Anniversary

劃出更多可能 · 創造無限機遇
Planning a Future of Boundless Opportunities

副本抄送:

渠務署總工程師／新界北



內部抄送:

總城市規劃師／城市規劃委員會(3)

渠務署總工程師／新界北的詳細意見

The applicant is reminded to implement the drainage facilities on site in accordance with the agreed drainage proposal. The applicant is required to maintain all the drainage facilities in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc. The applicant is required to rectify the drainage system at their own expense to the satisfaction of government parties concerned if they are found to be inadequate or ineffective during operation.

Assessment of Hydraulic Capacities of the Proposed Drainage System for 1 in 50 year design return period

Using Rational Method
 Design Flow = 0.278C_{IA} m³/s for grassland (heavy soil) - steep, C = 0.35
 for concrete surface, C = 0.95

Using Manning Equation
 Design Mean Velocity = R^{1.49}n(RS₀)^{-1.49} where n = 0.016 for concrete-lined open channel with fair surface
 (ref. Table 13 in SDM) 0.040 for canals with rough stony beds, weeds on earth banks under bad condition

Using Gumbel Solution in frequency analysis
 Rainfall intensity = a / (1+b)^a where a = 505.5, b = 3.29 and c = 0.355 in 50 year design return period
 referenced from Table 3a in SDM - Storm Constants for Different Return Periods of HKO Headquarters

Using Bransby William's Equation (for channel flow)
 Inlet time t_L = 0.14465L / (H^{0.5}A^{0.1}) or 2 when the distance is too short

Using Colebrook's White Equation (for pipe flow)
 V = 5.74 / ((8gDs) x log [(k_s / 3.7D) + (2.51v) / D x 5.74 / (8gDs)])
 For precast concrete pipes with 'D' ring joints with poor condition,
 k_s (mm) = 0.6 k_s (m) = 0.0006
 v (m²/s) = 1.00E-06
 g (m²/s) = 9.81

- conservative, as the subject proposed development is for temporary use for 3 years only

(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	(14)	(15)	(16)	(17)	(18)	(19)	(20)	(21)	(22)	(23)	(24)	(25)	(26)	(27)	(28)	(29)	(30)	(31)		
USCP/USMH	DSCP/DSMH	Collected Runoff from Catchment (refer to Figure 3 and 4)	USGL (mPD)	DGSL (mPD)	USIL (mPD)	DSL (mPD)	INVERT DIFF. (m)	LENGTH OF CHANNEL/ DRAIN l (m)	SLOPE ±	SLOPE 1:n	LENGTH FOR CALCULATION OF GROUND FLOOR INLET TIME L (m)	AVERAGE SLOPE OF CALCULATION OF INLET TIME H (m per 100m)	INLET TIME t ₀ (min) = 0.14465 x L / (H ^{0.5} A ^{0.1})	TIME OF FLOW INSIDE CHANNEL/ DRAIN t ₁ (min) = L/V	TIME OF CONCENTRATION t _c (min) = t ₀ + t ₁	RAINFALL INTENSITY I (mm/hr)	RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (1.16.0%) (mm/hr) [refer to item (e) and (k) in SDM Corrigendum No. 1/2022]	ADOPTED RAINFALL INTENSITY INCLUDING EFFECT OF CLIMATE CHANGE (1.16.0%) & DESIGN ALLOWANCE (12.1%) (mm/hr) [refer to item (e), (k) and (n) in SDM Corrigendum No. 1/2022]	RUNOFF COEF. C	SUB-CATCHMENT AREA A (m ²)	EFF. AREA (m ²)	CUM. EFF. AREA (m ²)	DESIGN FLOW (m ³ /s)	SIZE (mm)	CHANNEL TYPE	VELOCITY (m/s)	FLOW CAPACITY (m ³ /s)	90% FLOW CAPACITY (m ³ /s) (to cater for potential deposition of sediment)	SPARE CAPACITY (m ³ /s)	Occupancy of the Proposed Pipe / Channel		
Proposed Drainage System to be completed under Planning Application No. AYL-PH997 (under this submission)	Point C	BCP1	B2	23.10	23.10	22.95	22.47	0.48	48.00	0.010	100	3.00	0.36	0.31	0.77	1.07	299.68	347.62	389.69	0.95	255	242	242	0.026	150	UC	1.05	0.10	0.09	0.070	30.3%	OK!
	BCP1	BCP2	ditto	23.10	23.10	22.47	22.37	0.10	10.00	0.010	100	-	-	1.07	0.16	1.23	295.91	343.26	384.79	0.95	0	0	242	0.026	150	UC	1.05	0.11	0.10	0.087	25.5%	OK!
	BCP2	BCP3	B2 + B4	23.10	23.10	22.37	22.30	0.07	12.00	0.006	180	-	-	1.23	0.20	1.43	291.44	338.07	378.98	0.95	285	271	513	0.054	225	UC	1.01	0.18	0.16	0.122	34.2%	OK!
	BCP3	BTM	ditto	23.10	23.10	22.30	22.21	0.09	16.00	0.006	180	-	-	1.43	0.26	1.69	285.90	331.64	371.77	0.95	0	0	513	0.053	225	UC	1.02	0.20	0.18	0.144	29.9%	OK!
	Point D	BCP4	B1	23.10	23.10	22.88	22.76	0.11	17.00	0.007	150	10.00	0.36	0.96	0.28	1.24	295.58	342.87	384.36	0.95	460	437	437	0.047	225	UC	1.01	0.07	0.06	0.025	72.8%	OK!
	BCP4	BCP5	B1 + B5	23.10	23.10	22.76	22.41	0.35	39.00	0.009	110	-	-	1.24	0.43	1.67	286.20	332.00	372.17	0.95	1,885	1,791	2,228	0.230	300	UC	1.51	0.30	0.27	0.068	85.7%	OK!
Proposed Drainage System having been accepted by PH96 and to be completed under Planning Application No. AYL-PH996 (under separate submission)	BCP5	BCP6	B1 + B3 + B5	23.10	23.10	22.41	22.25	0.15	20.00	0.008	130	-	-	1.67	0.24	1.91	281.53	326.57	366.09	0.95	265	252	2,480	0.252	300	UC	1.41	0.35	0.31	0.093	81.1%	OK!
	BCP6	BTM	ditto	23.10	23.10	22.25	22.22	0.03	4.00	0.007	135	-	-	1.91	0.05	1.96	280.62	325.51	364.90	0.95	0	0	2,480	0.252	300	UC	1.39	0.35	0.32	0.101	79.3%	OK!
	BTM	CP2 (under AYL-PH996)	B1 + B2 + B3 + B4 + B5 + A4 (under AYL-PH996)	23.10	22.80	22.21	22.20	0.02	2.00	0.008	125	-	-	1.96	0.02	1.98	280.25	325.09	364.42	0.95	0	0	2,993	0.303	450	UC	1.72	0.43	0.39	0.125	78.7%	OK!
	Point A	CP1	A1	22.80	22.80	22.58	22.41	0.17	33.00	0.005	200	-	-	2.00	0.62	2.62	269.08	312.14	349.91	0.95	290	276	276	0.027	225	UC	0.89	0.07	0.07	0.047	40.6%	OK!
	CP1	CP2	A1 + A2 + A4	22.80	22.80	22.41	22.20	0.21	19.00	0.011	90	-	-	2.62	0.16	2.77	266.60	309.26	346.68	0.95	3,990	3,791	4,066	0.392	450	UC	2.03	0.50	0.45	0.112	86.4%	OK!
	CP2	CP3	ditto	22.80	22.80	22.20	22.08	0.12	13.00	0.009	110	-	-	2.77	0.11	2.89	264.83	307.20	344.38	0.95	0	0	4,066	0.389	450	UC	1.89	0.57	0.51	0.123	75.9%	OK!
Proposed Drainage System having been accepted by PH96 and to be completed under Planning Application No. AYL-PH996 (under separate submission)	CP3	CP4	ditto	22.80	22.80	22.08	22.05	0.03	4.00	0.007	150	-	-	2.89	0.04	2.93	264.21	306.48	343.57	0.95	0	0	4,066	0.388	450	UC	1.62	0.51	0.46	0.122	84.6%	OK!
	CP4	CP5	A1 + A2 + A4 + A5	22.80	22.80	22.05	22.00	0.05	6.00	0.009	110	-	-	2.93	0.05	2.98	263.43	305.57	342.55	0.95	578	549	4,615	0.439	450	UC	1.92	0.65	0.58	0.144	75.3%	OK!
	CP5	TM	ditto	22.80	22.80	22.00	21.84	0.16	28.00	0.006	180	-	-	2.98	0.30	3.29	259.02	300.47	336.82	0.95	0	0	4,615	0.432	450	UC	1.53	0.63	0.56	0.131	76.8%	OK!
	Point B	CP6	A3	22.80	22.80	22.50	22.30	0.21	41.00	0.005	200	-	-	2.00	0.64	2.64	268.79	311.79	349.52	0.95	1,210	1,150	1,150	0.112	300	UC	1.08	0.15	0.14	0.041	81.3%	OK!
	CP6	CP7	ditto	22.80	22.80	22.30	22.25	0.05	9.00	0.005	200	-	-	2.64	0.14	2.77	266.60	309.26	346.68	0.95	0	0	1,150	0.111	300	UC	1.09	0.17	0.15	0.058	72.8%	OK!
	CP7	CP8	ditto	22.80	22.80	22.25	22.02	0.23	46.00	0.005	200	-	-	2.77	0.68	3.45	256.76	297.85	333.89	0.95	0	0	1,150	0.107	300	UC	1.13	0.25	0.23	0.122	46.7%	OK!
Proposed Drainage System having been accepted by PH96 and to be completed under Planning Application No. AYL-PH996 (under separate submission)	CP8	CP9	ditto	22.80	22.80	22.02	21.89	0.13	21.00	0.005	200	-	-	3.45	0.38	3.83	251.84	292.14	327.49	0.95	0	0	1,150	0.105	300	UC	1.15	0.30	0.27	0.167	38.5%	OK!
	CP9	TM	ditto	22.80	22.80	21.89	21.76	0.13	26.00	0.005	200	-	-	3.83	0.37	4.20	247.31	286.88	321.59	0.95	0	0	1,150	0.103	300	UC	1.16	0.35	0.32	0.213	32.6%	OK!
	TM	CPA	A1 + A2 + A3 + A4 + A5 + A6	22.00	22.00	21.10	20.80	0.30	60.00	0.005	200	-	-	4.20	0.51	4.71	241.61	280.27	314.18	0.95	1,080	1,026	6,791	0.593	750	UC	1.97	1.65	1.49	0.893	39.9%	OK!
	CPA	CPB	ditto	22.00	22.00	20.80	20.72	0.08	16.00	0.005	200	-	-	4.71	0.13	4.84	240.18	278.61	312.33	0.95	0	0	6,791	0.590	750	UC	1.99	1.79	1.61	1.018	36.7%	OK!
CPB	Proposed outfall	ditto	22.00	19.90	19.00	18.97	0.03	6.00	0.005	200	-	-	4.84	0.05	4.90	239.63	277.97	311.61	0.95	0	0	6,791	0.588	750	UC	1.88	1.20	1.08	0.492	54.4%	OK!	

subcatchment

B1	460
B2	255
B3	265
B4	285
B5	1885
total =	3,150

subcatchment

A1	290
A2	840
A3	1,210
A4	3150
A5	578
A6	1080
total =	7,148

980

3,150

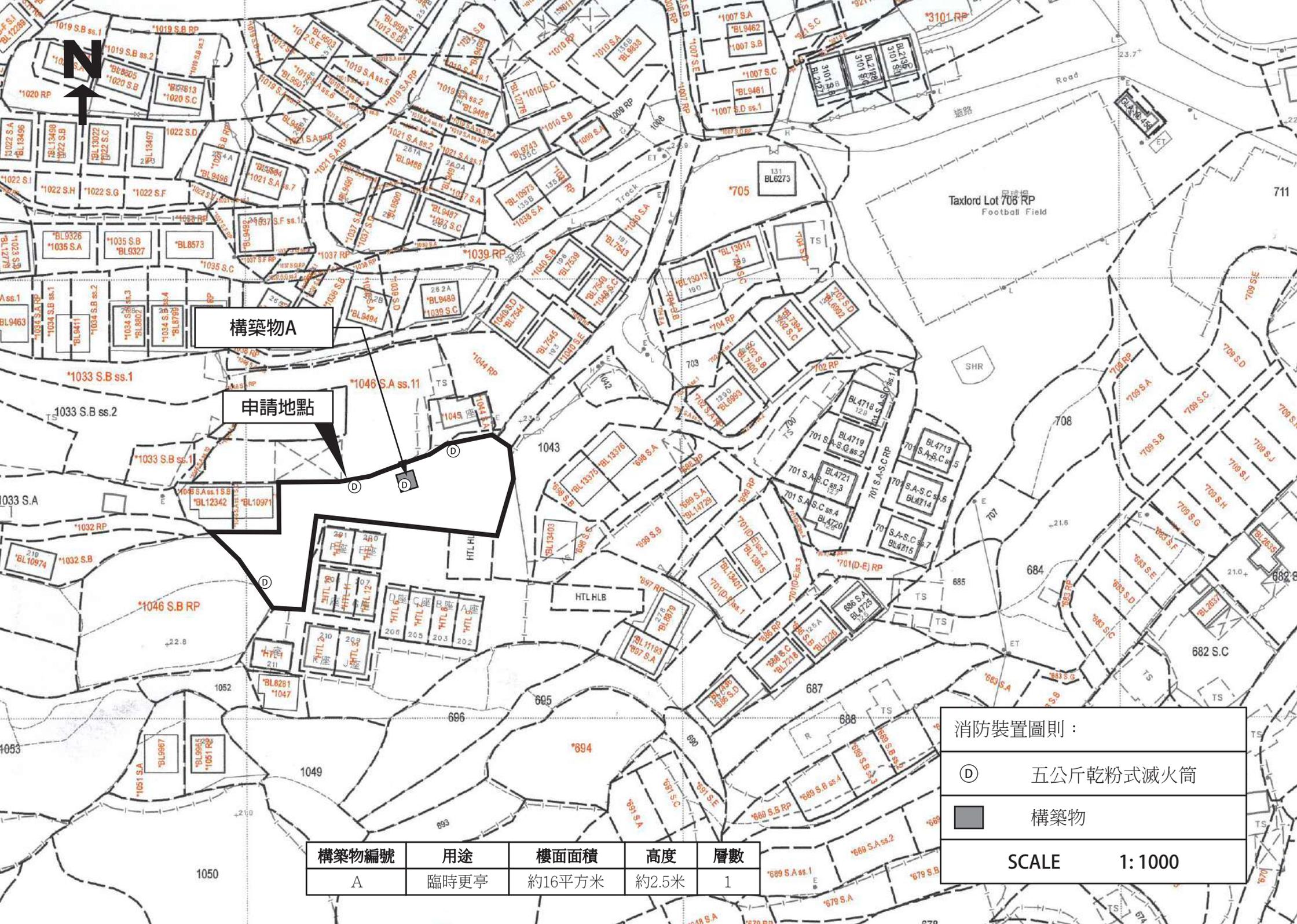
2,340

7,148

消防裝置：

申請人會依照消防處所提供的意見，為申請地點裝設適合的消防設備，並會定期為相關的消防裝置進行維護及保養。

詳情請參閱以下圖則。



構築物A

申請地點

消防裝置圖則：

- Ⓓ 五公斤乾粉式滅火筒
- 構築物

SCALE 1: 1000

構築物編號	用途	樓面面積	高度	層數
A	臨時更亭	約16平方米	約2.5米	1

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例
(Regulation 9(1))
(第九條(1)款)

Serial Number

30229 008064

FSD Ref.:
消防處檔號

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client 顧客姓名

Address 地址

新界元朗八鄉下輦 DD111 LOT NO. 1043部份 1046 S.A. ss.1 RP(部份), 1046 S.A ss.1 S.A,HTL HLB部份和毗鄰政府土地



Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Maintenance ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
24	1 x 5kg Dry Powder type (F.E.)		Conforms with FSD requirements	16/12/2025	15/12/2026

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
24	Portable Fire Extinguishers		Supply & Install: 3 x 5kg Dry Powder type(F.E.)	Conforms with FSD requirements	16/12/2025

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核
This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature: 授權人簽署

Name: 姓名

NG SUET FUNG



FSD/RC No.: 消防處註冊號碼

RC3 / 0229 RC /

Company Name: 公司名稱

吳雪峰

Telephone: 聯絡電話

Date: 日期

16/12/2025

For FSD use only

Inspected

Key-in

Verified



交通運輸：

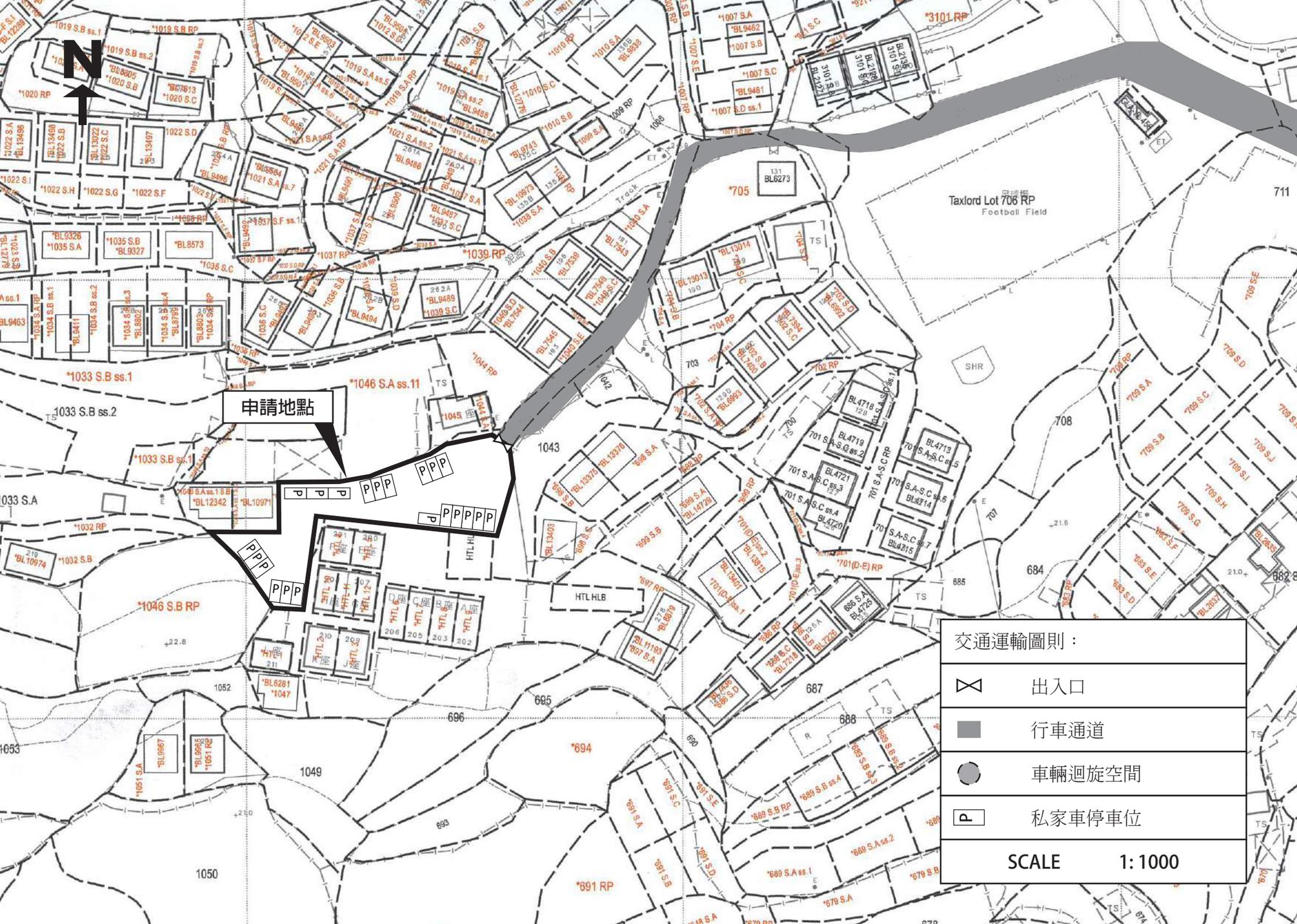
1. 申請地點東北面有一個明確的出入口，出入口寬度約 5 米，可以直通粉錦公路。
2. 申請地點內有足夠的迴旋空間，提供予車輛進行調頭。
3. 申請地點內設有私家車停車位21個，每個車位長約5米，闊約2.5米。
4. 申請地點預計平均每天進出約21輛私家車，不會提高申請地點附近的汽車流量。就整體而言，不會對錦田公路或附近交通造成影響。車流量詳情請參閱下表：

預計申請地點內私家車及輕型貨車車流量時間表

時間	01 00	02 00	03 00	04 00	05 00	06 00	07 00	08 00	09 00	10 00	11 00	12 00	13 00	14 00	15 00	16 00	17 00	18 00	19 00	20 00	21 00	22 00	23 00	24 00
車輛數	0	0	0	0	0	0	0	5	8	8	0	0	0	0	0	0	8	8	5	0	0	0	0	0

5. 申請地點內不會停泊貨櫃車。
6. 申請人和土地使用人承諾在申請獲批准後，會自行維修和維護申請地點附近的道路。

詳情請參閱以下圖則。

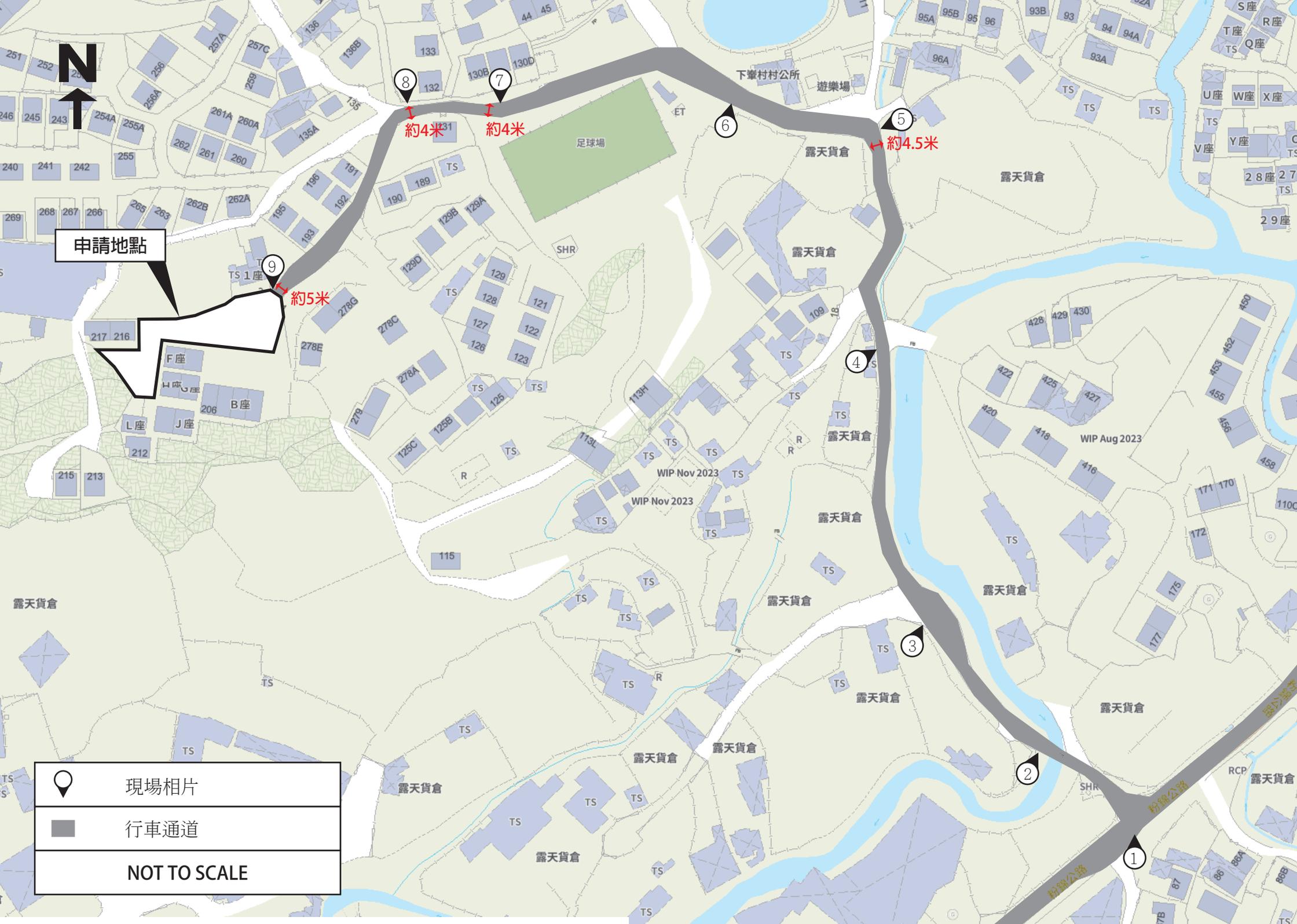


申請地點

交通運輸圖則：

-  出入口
-  行車通道
-  車輛迴旋空間
-  私家車停車位

SCALE 1:1000



N

申請地點

約4米

約4米

約4.5米

約5米

	現場相片
	行車通道
NOT TO SCALE	

下寮村公所

遊樂場

足球場

露天貨倉

WIP Nov 2023

WIP Nov 2023

WIP Aug 2023

粉寮公路

粉寮公路

粉寮公路

RCP

88B

88A

87

77B

170

172

175

458

456

455

453

452

450

427

425

428

429

420

422

430

430

430

29座

27座

28座

Y座

V座

X座

W座

U座

TS

93A

94

94A

93B

95

95B

96

96A

95A

93B

93

94

94A

93A









9



2025年12月30日 上午11:10

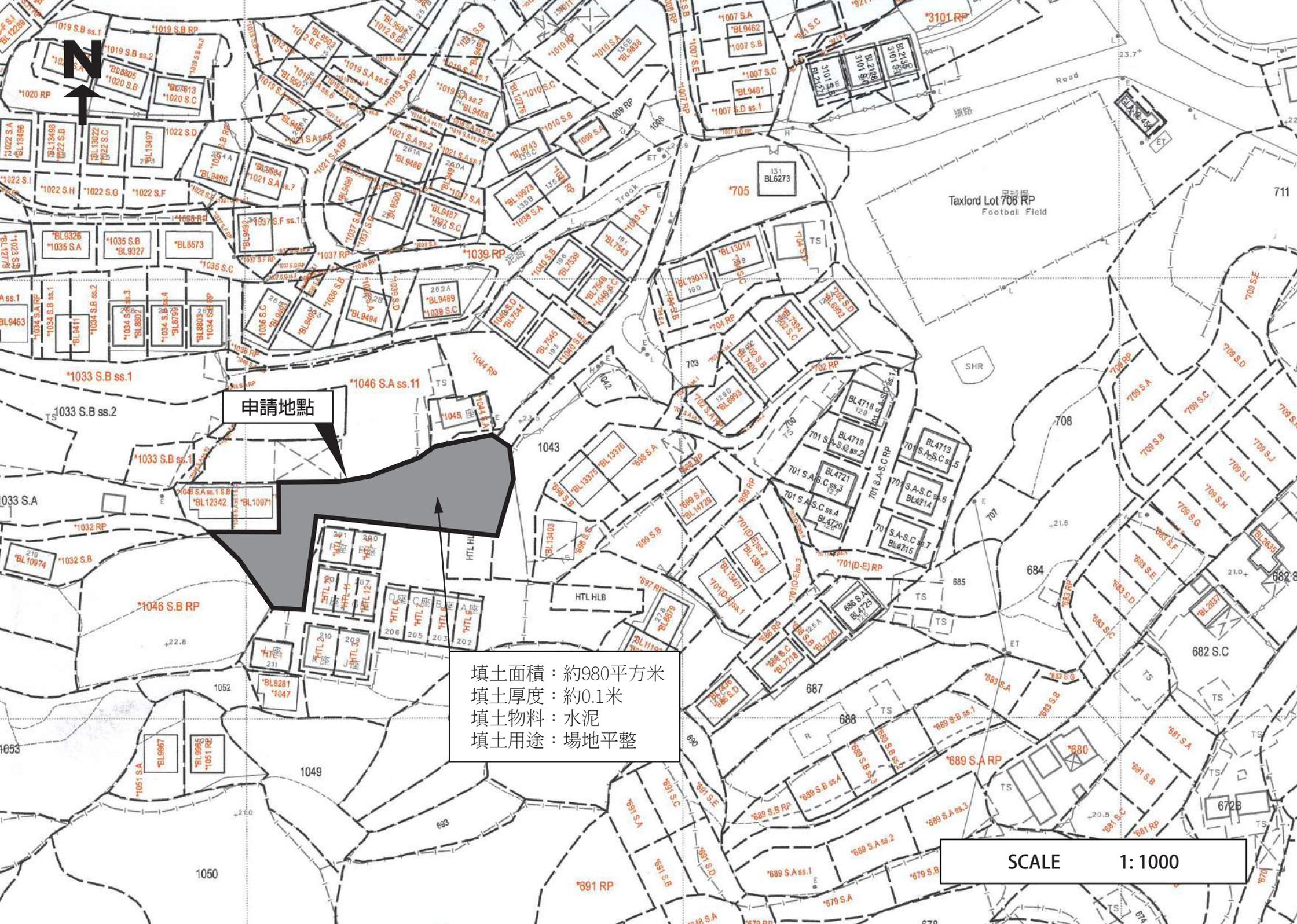
致： 城市規劃委員會
粉嶺、上水及元朗東規劃處

有關 A/YL-PH/1101
規劃申請補充資料

申請人現就近日政府部門/公眾人士的意見/查詢，作出以下補充/澄清：

1. 澄清申請地點主要的服務對象是附近下輦村居住的村民，申請地點中停泊的車輛都有車牌。
2. 修正申請表格 S16-III 部份內容。
3. 提供填土範圍圖則。
4. 提供申請地點最新的 FS251 消防證書。
5. 提供現有行車通道現場相片。

申請人： 志科有限公司
通訊地址： [REDACTED]
傳真號碼： [REDACTED]
聯絡電話： [REDACTED]
電郵： [REDACTED]
日期： 2026 年 01 月 09 日



申請地點

填土面積：約980平方米
填土厚度：約0.1米
填土物料：水泥
填土用途：場地平整

SCALE 1: 1000

Previous Applications involving the Site

Approved Applications

Application No.	Proposed Uses/Developments	Date of Consideration (RNTPC)
A/YL-PH/134 ¹	Residential Development of 10 New Territories Exempted Houses	7.11.1997
A/YL-PH/997	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Filling of Land	19.4.2024 (Revoked on 19.1.2026)

Rejected Application

Application No.	Proposed Uses/Developments	Date of Consideration (RNTPC)	Rejection Reasons
A/YL-PH/49 ¹	Residential Development of 18 New Territories Exempted Houses	20.9.1996	(1), (2), (3), (4) and (5)

Rejection Reasons

- (1) The proposed development is not in line with the planning intention of the “Agriculture” zone which was intended to retain and safeguard good agricultural land for agricultural purposes. No strong justifications had been included in the submission to show that this application merits a departure from the planning intention.
- (2) The development intensity of the proposed scheme was excessive.
- (3) The layout of the proposed development was not satisfactory as the houses were cramped closely together and there was no information in the submission to demonstrate how proper vehicular access arrangement, car-parking spaces, fire safety measures, as well as drainage and sewage treatment facilities would be provided to serve the proposed development.
- (4) No detailed landscaping proposals had been included in the submission.
- (5) The approval of the application would set an undesirable precedent for similar applications.

¹ Applications No. A/YL-PH/49 and 134 were considered by the Rural and New Town Planning Committee when the applications site zoned “Agriculture” on the Pat Heung Outline Zoning Plan.

**Similar Applications within the same “Village Type Development” Zone
in the Vicinity of the Site in the Past Five Years**

Approved Applications

	Application No.	Proposed Uses/Developments	Date of Consideration (RNTPC)
1.	A/YL-PH/872	Proposed Temporary Private Car Park for a Period of 3 Years	16.4.2021
2.	A/YL-PH/931	Renewal of Planning Approval for Temporary Private Car Park for a Period of 3 Years	11.11.2022
3.	A/YL-PH/996	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Filling of Land	19.4.2024 (Revoked on 19.1.2026)
4.	A/YL-PH/1003	Proposed Temporary Private Vehicle Park for a Period of 3 Years and Filling of Land	24.5.2024 (Revoked on 24.11.2025)
5.	A/YL-PH/1069	Proposed Temporary Private Vehicle Park and Associated Filling of Land for a Period of 3 Years	6.2.2026

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (LandsD):

- no adverse comment on the application;
- the application site (the Site) comprises Government land (GL), House Lot Blocks and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structure is allowed to be erected without the prior approval of the Government;
- no permission is given for occupation of GL (about 217m² as mentioned in the application form) included in the Site. Any occupation of GL without Government's prior approval is an offence under the Land (Miscellaneous Provisions) Ordinance (Cap. 28);
- there is no Small House application approved or under processing within the Site; and
- advisory comment is at **Appendix V**.

2. Traffic

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance perspective; and
- advisory comments are at **Appendix V**.

3. Environment

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- no substantiated environmental complaint concerning the Site received in the past three years; and
- advisory comments are at **Appendix V**.

4. **Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no in-principle objection to the application from public drainage point of view;
- the submitted drainage proposal is considered acceptable;
- should the application be approved, approval conditions requiring the implementation of the accepted drainage proposal should be included in the planning permission; and
- advisory comments are at **Appendix V**.

5. **Landscape Aspect**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective;
- based on the aerial photo taken in 2024, the Site is located in an area of rural inland plain landscape character comprising temporary structures, open storage, small houses and scattered tree groups. The applied use is not incompatible with the surrounding environment; and
- with reference to the site photos taken in January 2026, the Site is hard-paved without any trees. It is noted that the applicant applies for regularisation of associated filling of land of the entire Site and no tree felling is involved. Significant adverse landscape impact arising from the applied use is not anticipated.

6. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and
- advisory comments are at **Appendix V**.

7. **District Office's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no particular comment on the application and no comment received from the locals upon close of consultation.

8. Other Departments

The following government departments have no objection to/no adverse comment/no comment on the application:

- Director of Fire Services;
- Chief Engineer/Construction, Water Supplies Department;
- Chief Engineer/Railway Development 1-1, HyD; and
- Project Manager (West), Civil Engineering and Development Department.

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given by the Rural and New Town Planning Committee/Town Planning Board to any further application;
- (c) to resolve any land issues relating to the applied use with the concerned owner(s) and/or occupant(s);
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that the lot owner(s) shall apply to his office for a Short Term Waiver (STW) and Short Term Tenancy (STT) to permit the structure(s) erected within the said private lot(s) and the occupation of the Government land. The application(s) for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee, rent and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department (TD). The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly. Sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - (i) HyD shall not be responsible for the maintenance of proposed access connecting the Site and Fan Kam Road, including the local track; and
 - (ii) adequate drainage measures should be provided to prevent surface water flowing from the Site to nearby public road and drains;
- (g) to note the comments of the Director of Environmental Protection that:
 - (i) the applicant shall follow the latest 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites'; and
 - (ii) the applicant shall meet the statutory requirements under relevant environmental legislation;

- (h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department:
 - (i) the applicant is advised to maintain all the drainage facilities on site in good condition and ensure that the applied development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
 - (ii) the applicant is required to rectify the drainage system at their own expense to the satisfaction of government parties concerned if they are found to be inadequate or ineffective during operation;
- (i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
 - (i) it is noted that one structure and associated filling of land are involved in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO) (Cap. 123). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iv) if the existing structure (not being a New Territories Exempted House) is erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the captioned application;
 - (v) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vii) detailed checking under the BO will be carried out at the building plan submission stage.

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

A/YL-PH/1101

tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2026年01月27日星期二 3:29
收件者: tpbpd/PLAND
主旨: A/YL-PH/1100 - 1101 DD 111 Ha Che, Pat Heung
類別: Internet Email

Dear TPB Members,

Both applications, 996 and 997, were streamlined and rubber stamped on 19 Apr 2024. Conditions not fulfilled.

This is not acceptable as the operations are adjacent to residential units.

THE APPLICANT FOR BOTH IS THE SAME SO THIS SHOULD BE CONSIDERED AS A SINGLE OPERATION.

Members have a duty to properly consider the impact of filling in over 3,000sq.mts on a residential community.

Any approval should at most be for ONE YEAR ONLY in order to concentrate minds of both operator and govt depts on the primary consideration, that the health and safety of the community should take precedence.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Thursday, 21 March 2024 4:02 AM HKT
Subject: A/YL-PH/996 - 997 DD 111 Ha Che, Pat Heung

A/YL-PH/997

Lots 1043 (Part), 1046 S.A ss.1 RP (Part), 1046 S.A ss.1 S.A and HTL House Lot

Blocks (Part) in D.D. 111 and Adjoining Government Land in D.D. 111, Ha Che, Pat Heung,

Site area: About 980sq.m

Zoning: "VTD"

Applied use: Warehouse / 21 Vehicle Parking / **Filling of Land**

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential
A/YL-PH/996

Location/address: Lots 1031, 1046 S.B RP, 1052 (Part) and 1053 (Part) in D.D. 111, Ha Che, Pat Heung,

Site area: About 2,340sq.m

Zoning: "VTD"

Applied use: Warehouse / 53 Vehicle Parking / **Filling of Land**

Dear TPB Members,

The Applications will be considered together as clearly one parking lot.

Objections to such a large car park when there are existing facilities in the district. The villa development "El Castillo" on "V" should have parking bays at ground floor.

The 997 site is already a parking lot but part of 996 has trees. There is no mention of how many in the documents provided. In addition, 3,000+sq.mts of land to be filled in with asphalt. This will have an impact on the residences when there is heavy rain.

This at grade parking is a most inefficient and destructive land use. It is time that these operations use stack parking. Also no mention of EV charging provision.

Mary Mulvihill