

2026年 1月 08日
此文件在 收到。城市規劃委員會
只會於收到所有資料及文件後才正式確認收到
申請。
This document is received on 2026-01-8
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board’s requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

**General Note and Annotation for the Form
填寫表格的一般指引及註解**

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2502954 23/12 By Hand

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-SK/446
	Date Received 收到日期	2026-01-08

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱
(<input checked="" type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構)
TSANG Man Ching 曾文靖

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)
(<input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構)
R-riches Planning Limited 盈卓規劃有限公司

3. Application Site 申請地點	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 597 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 99 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Draft Shek Kong OZP No.: S/YL-SK/10
(e) Land use zone(s) involved 涉及的土地用途地帶	"Village Type Development" Zone
(f) Current use(s) 現時用途	Shop and services (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified “current land owner(s)”#
已通知 名「現行土地擁有人」#。

Details of the “current land owner(s)”# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&
- posted notice in a prominent position on or near application site/premises on
13/11/2025 - 27/11/2025 (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 19/12/2025 (DD/MM/YYYY)&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Non-domestic part 非住用部分	sq.m 平方米	<input type="checkbox"/> About 約
	Total 總計	sq.m 平方米	<input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請	
(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 550 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 not more than 0.2 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
(b) Intended use/development 有意進行的用途/發展	Temporary Shop and Services and Associated Filling of Land for a Period of 5 Years

(iii) For Type (iii) application 供第(iii)類申請													
(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度 <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;">Name/type of installation 裝置名稱/種類</th> <th style="width: 15%;">Number of provision 數量</th> <th style="width: 52%;">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- Plot ratio restriction From 由 to 至
地積比率限制
- Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- Site coverage restriction From 由% to 至 %
上蓋面積限制
- Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至
.....mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- Non-building area restriction From 由m to 至 m
非建築用地限制
- Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Temporary Shop and Services and Associated Filling of Land for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	.....99..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	.....0.2.....	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	.....17..... %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	.....2.....	
Proposed no. of storeys of each block 每座建築物的擬議層數	.....1..... storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	.....4.2..... m 米	<input checked="" type="checkbox"/> About 約

- Domestic part 住用部分
- GFA 總樓面面積 sq. m 平方米 About 約
- number of Units 單位數目
- average unit size 單位平均面積sq. m 平方米 About 約
- estimated number of residents 估計住客數目

- Non-domestic part 非住用部分 GFA 總樓面面積
- eating place 食肆 sq. m 平方米 About 約
- hotel 酒店 sq. m 平方米 About 約
- (please specify the number of rooms 請註明房間數目)
- office 辦公室 sq. m 平方米 About 約
- shop and services 商店及服務行業 sq. m 平方米 About 約
- Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)
- 政府、機構或社區設施
-
-

- other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

STRUCTURE	PROPOSED USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	SHOP AND SERVICE	90m ² (ABOUT)	90m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
B2	METER ROOM	9m ² (ABOUT)	9m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
TCTAL		99m²(ABOUT)	99m²(ABOUT)	

- Open space 休憩用地 (please specify land area(s) 請註明地面面積)
- private open space 私人休憩用地 sq. m 平方米 Not less than 不少於
- public open space 公眾休憩用地 sq. m 平方米 Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]				
		STRUCTURE	PROPOSED USE	COVERED AREA	GFA	BUILDING HEIGHT
		B1	SHOP AND SERVICE	90m ² (ABOUT)	90m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
		B2	METER ROOM	9m ² (ABOUT)	9m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
		TCTAL		99m²(ABOUT)	99m²(ABOUT)	

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Vehicle parking, loading/unloading and circulation space and soft landscape area

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Existing

.....

.....

.....

.....

.....

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行人車通道安排**

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p><u>Kam Sheung Road via Nam Hing West Road and a local access.....</u></p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)</p> <p><input type="checkbox"/></p>																
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0" style="width: 100%;"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td style="text-align: right;">2</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table> <p><input type="checkbox"/></p>	Private Car Parking Spaces 私家車車位	2	Motorcycle Parking Spaces 電單車車位	N/A	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A	Others (Please Specify) 其他 (請列明)	N/A	_____	_____	_____	_____
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Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A																	
Others (Please Specify) 其他 (請列明)	N/A																	
_____	_____																	
_____	_____																	
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0" style="width: 100%;"> <tr> <td>Taxi Spaces 的士車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table> <p><input type="checkbox"/></p>	Taxi Spaces 的士車位	N/A	Coach Spaces 旅遊巴車位	N/A	Light Goods Vehicle Spaces 輕型貨車車位	1	Medium Goods Vehicle Spaces 中型貨車車位	N/A	Heavy Goods Vehicle Spaces 重型貨車車位	N/A	Others (Please Specify) 其他 (請列明)	N/A	_____	_____	_____	_____
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Heavy Goods Vehicle Spaces 重型貨車車位	N/A																	
Others (Please Specify) 其他 (請列明)	N/A																	
_____	_____																	
_____	_____																	

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the supplementary statement.....



11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Applicant 申請人 / Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters
姓名 (請以正楷填寫)

Position (if applicable)
職位 (如適用)

Professional Qualification(s) Member 會員 / Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他



on behalf of
代表

R-riches Planning Limited 盈卓規劃有限公司

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

22/12/2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches
在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches
在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches
單人龕位總數

Number of single niches (sold and occupied)
單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)
單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)
單人龕位數目 (待售)

Total number of double niches
雙人龕位總數

Number of double niches (sold and fully occupied)
雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)
雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)
雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)
雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)
除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)
龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)
龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)
龕位數目 (已售但未佔用)

Number of niches (residual for sale)
龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories		
Site area 地盤面積	597	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N/A	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Draft Shek Kong OZP No.: S/YL-SK/10		
Zoning 地帶	"Village Type Development" Zone		
Applied use/ development 申請用途/發展	Temporary Shop and Services and Associated Filling of Land for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	99	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	2	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	4.2 (about)	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	17 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	2
	Private Car Parking Spaces 私家車車位	2
	Motorcycle Parking Spaces 電單車車位	N/A
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A
	Others (Please Specify) 其他 (請列明)	N/A
	_____	N/A

	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數	1
	Taxi Spaces 的士車位	N/A
	Coach Spaces 旅遊巴車位	N/A
	Light Goods Vehicle Spaces 輕型貨車車位	1
	Medium Goods Vehicle Spaces 中型貨車車位	N/A
	Heavy Goods Vehicle Spaces 重型貨車車位	N/A
	Others (Please Specify) 其他 (請列明)	N/A
	_____	N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<small>Plans showing location/zoning/land status/filling of land of/at the Site; Swept path analysis; Accepted FSIs and drainage proposals under the previous application; and Accepted F.S. 251 and condition records of the drainage facilities under the previous application.</small>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及/或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) for **'Temporary Shop and Services and Associated Filling of Land for a Period of 5 Years'** (the development) on *Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories* (the Site) (**Plan 1**).
- 1.2 The development intends to continue to provide daily necessities, such as groceries, packaged snacks /drinks, home supplies, etc. to serve the needs of the nearby residents.

2) Planning Context

- 2.1 The Site currently falls within an area zoned "Village Type Development" ("V") on the Draft Shek Kong Outline Zoning Plan (OZP) No.: S/YL-SK/10 (**Plan 2**). According to the Notes of the OZP, 'Shop and Services' is a Column 2 use within the "V" zone, which requires planning permission from the Board.
- 2.2 The vicinity of the Site is predominantly rural in character with domestic dwellings, village houses, active/fallow farmland and sitting-out area. The applied use is considered not incompatible with surrounding land uses and would benefit nearby residents. Whilst the Site falls within the "V" zone which is to reflect existing recognised and other villages, and to provide land considered suitable for village expansion, other commercial, community and recreational uses may be permitted on application to the Board. As such, the temporary basis of the development would not frustrate the long-term planning intention of the "V" zone and can better utilise precious land resources in the New Territories.
- 2.3 The Site is subject of a last approved application (No. A/YL-SK/295) for the same applied use submitted by the same applicant, which was approved by the Board on a temporary basis for a period of 5 years in 2021. All planning conditions imposed under the last approved application have been considered complied with. The planning permission will lapse after 05.02.2026. Comparing with the last approved application, all development parameters, including the applied use, the site area and boundary, the gross floor area (GFA), the nos. of structure, and the nos. of parking and loading/unloading (L/UL) space, remain unchanged. Apart from the development parameters, the applicant intends to regualrise the existing filling of land at the Site.

- 2.4 The applicant has made effort to comply with all planning conditions imposed under the last approved. Details are shown at **Table 1** below.

Table 1 – Details of compliance with planning conditions of the last approved application

Planning conditions of application No. A/YL-SK/295		Date of compliance
(d)	The submission of a drainage proposal	06.07.2021
(e)	The implementation of the drainage proposal	02.02.2024
(g)	The submission of a fire service installations (FSI) proposal	16.04.2021
(h)	The implementation of the FSI proposal	02.02.2024

- 2.5 Apart from the last approved application, similar applications (Nos. A/YL-SK/308, 343, 351, 352, 366, 382, 385, 370, 405, 409, 411 and 434) for ‘Shop and Services’ were approved by the Board in the past 5 years within the “V” zone on the same OZP. Therefore, approval of the current application is in line with previous decisions of the Board and would not set an undesirable precedent within the “V” zone.

- 2.6 In support of the current application, the applicant has also submitted the accepted drainage and FSI proposals, as well as the accepted drainage condition records, and FSI and Equipment Certificates (F.S. 251) under the previous application (**Appendices I to IV**). The applicant will submit updated F.S. 251 and drainage condition records upon obtaining planning permission.

3) Development Proposal

- 3.1 The Site occupies an area of 597 m² (about) (**Plan 3**). 2 single-storey temporary structures are provided at the Site for shop and services and meter room with total GFA of 99 m² (about) (**Plan 4**). The operation hours are from 09:00 to 19:00 daily, including public holidays. 4 nos. of staff member will station at the Site and it will attract about 20 visitors on a daily basis. Detailed development parameters are shown at **Table 2** below.

Table 2 – Major development parameters

Site Area	597 m ² (about)
Covered Area	99 m ² (about)
Uncovered Area	498 m ² (about)
Plot Ratio	0.2 (about)
Site Coverage	17% (about)
No. of Structure	2
GFA	99 m ² (about)

- Domestic GFA	Not applicable
- Non-Domestic GFA	99 m ² (about)
Building Height	4.2 m (about)
No. of Storey	1

3.2 With a view to minimising the nuisance, a soft landscaping area of 47 m² (about) is provided at the northern part of the Site to serve as a buffer area between the Site and the nearby village houses. Apart from the soft landscaping area, the remaining area of the Site (i.e. 550 m² (about); 92% of the Site) has already been covered with concrete of not more than 0.2 m in depth. The current application serves to regularise the existing hard-paving, where the existing site level is at +27.1 mPD (**Plan 6**). The filling of land is to facilitate a flat surface for the provision of vehicle parking, L/UL and manoeuvring spaces, and site formation for structures. Hence, the hard-paving is considered necessary and has been kept to a minimum for the operation of the Site. The applicant will strictly follow the scheme, and no further filling of land will be carried out at the Site after obtaining relevant planning permission.

3.3 The Site is accessible from Kam Sheung Road via Nam Hing Road West and a local access (**Plan 1**). A total of 3 parking and L/UL spaces are provided at the Site. Visitors are required to access the development on foot as no visitor parking space is provided. Details of the parking and L/UL space provisions are shown at **Table 3** below.

Table 3 – Parking and L/UL provisions

Type of Space	No. of Space
Parking spaces for private car (PC) - 2.5 m (W) x 5 m (L)	2
L/UL spaces for light goods vehicle (LGV) - 3.5 m (W) x 5 m (L)	1

3.4 Sufficient space is provided for vehicles to smoothly manoeuvre to/from/within the Site to ensure no queuing, turning back outside the Site during the planning approval period (**Plan 6**). Staff will be deployed at the ingress/egress to direct incoming/outgoing vehicles to ensure pedestrian safety. No medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractor/trailer are allowed to enter/exit the site at any time during the planning approval period. As the trip generation/attraction of the development as shown in **Table 4** is expected to be minimal, the adverse traffic impact to the surrounding road network should not be anticipated.

Table 4 – Trip generation/attraction

Time Period	Trip Generation/Attraction				2-Way Total
	PC		LGV		
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (09:00 – 10:00)	2	0	0	0	2
Trips at <u>PM peak</u> per hour (18:00 – 19:00)	0	2	0	0	2
Average trip per hour (10:00 – 18:00)	0	0	1	1	2

3.5 The applicant will strictly comply with all environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. at all times during the planning approval period.

3.6 The applicant will also continue to follow relevant mitigation measures and requirements in the latest “*Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites*” and “*Professional Persons Environment Consultative Committee Practice Notes (ProPECC PN)*” issued by the Environmental Protection Department to minimise the potential adverse environmental impacts and nuisance to the surrounding area.

4) Conclusion

4.1 The development is not anticipated to create significant nuisance to the surrounding areas. Adequate mitigation measures, including the provision of effective drainage facilities and FSI have been provided by the applicant to mitigate the potential adverse impacts arising from the development (**Appendices I to IV**). The applicant will submit updated F.S. 251 and drainage condition records upon obtaining planning permission.

4.2 In view of the above, the Board is hereby respectfully recommended to **approve** the subject application for ‘**Temporary Shop and Services and Associated Filling of Land for a Period of 5 Years**’.

R-riches Planning Limited

December 2025

LIST OF PLANS

Plan 1	Location plan
Plan 2	Zoning plan
Plan 3	Land status plan
Plan 4	Layout plan
Plan 5	Plan showing the filling of land
Plan 6	Swept path analysis

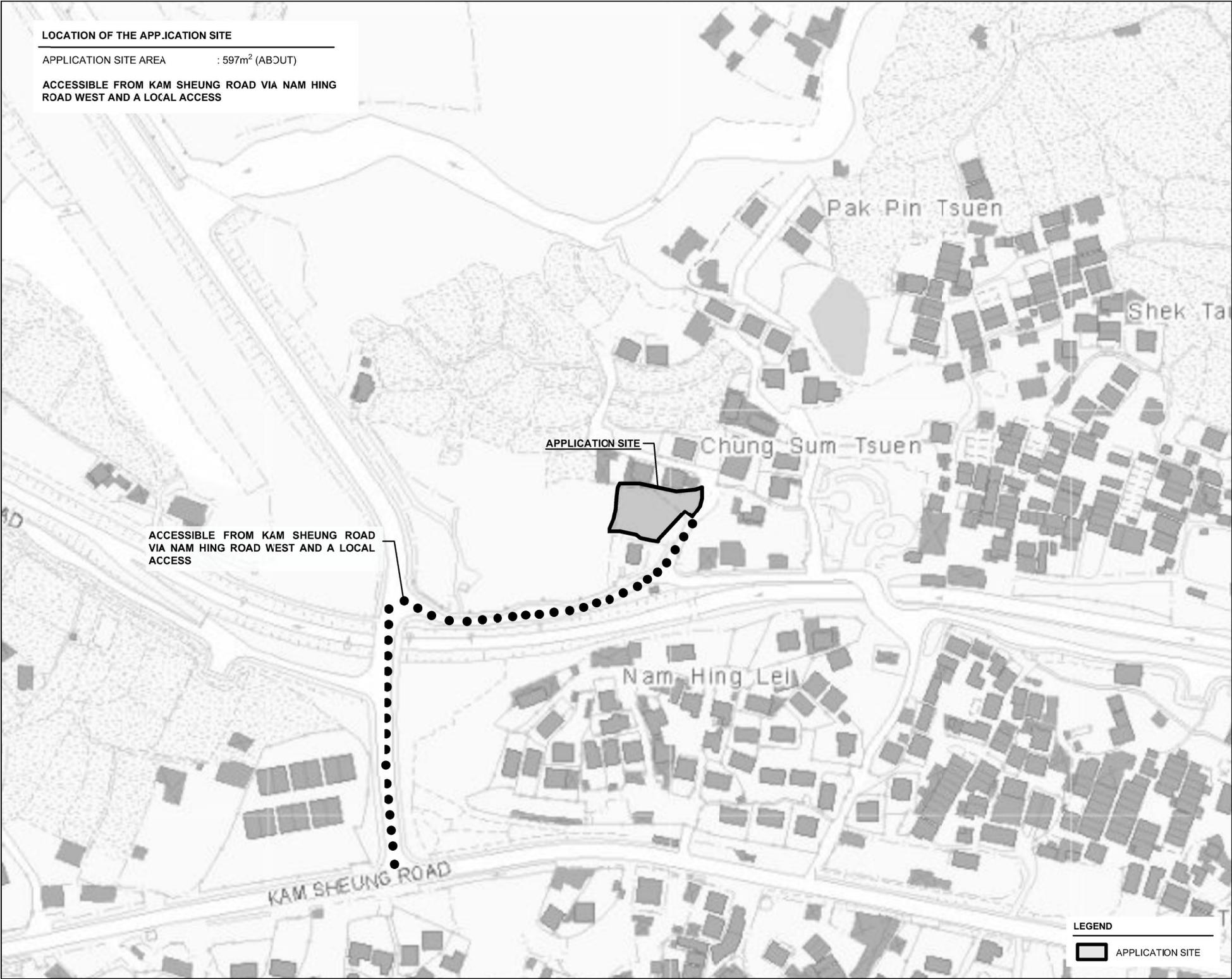
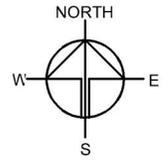
LIST OF APPENDICES

Appendix I	FSI proposal accepted under the previous application
Appendix II	Certificate of FSI and Equipment accepted under the previous application
Appendix III	Drainage proposal accepted under the previous application
Appendix IV	Condition records of the implemented drainage facilities accepted under the previous application

LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 597m² (ABOUT)

ACCESSIBLE FROM KAM SHEUNG ROAD VIA NAM HING ROAD WEST AND A LOCAL ACCESS



APPLICATION SITE

ACCESSIBLE FROM KAM SHEUNG ROAD VIA NAM HING ROAD WEST AND A LOCAL ACCESS

KAM SHEUNG ROAD

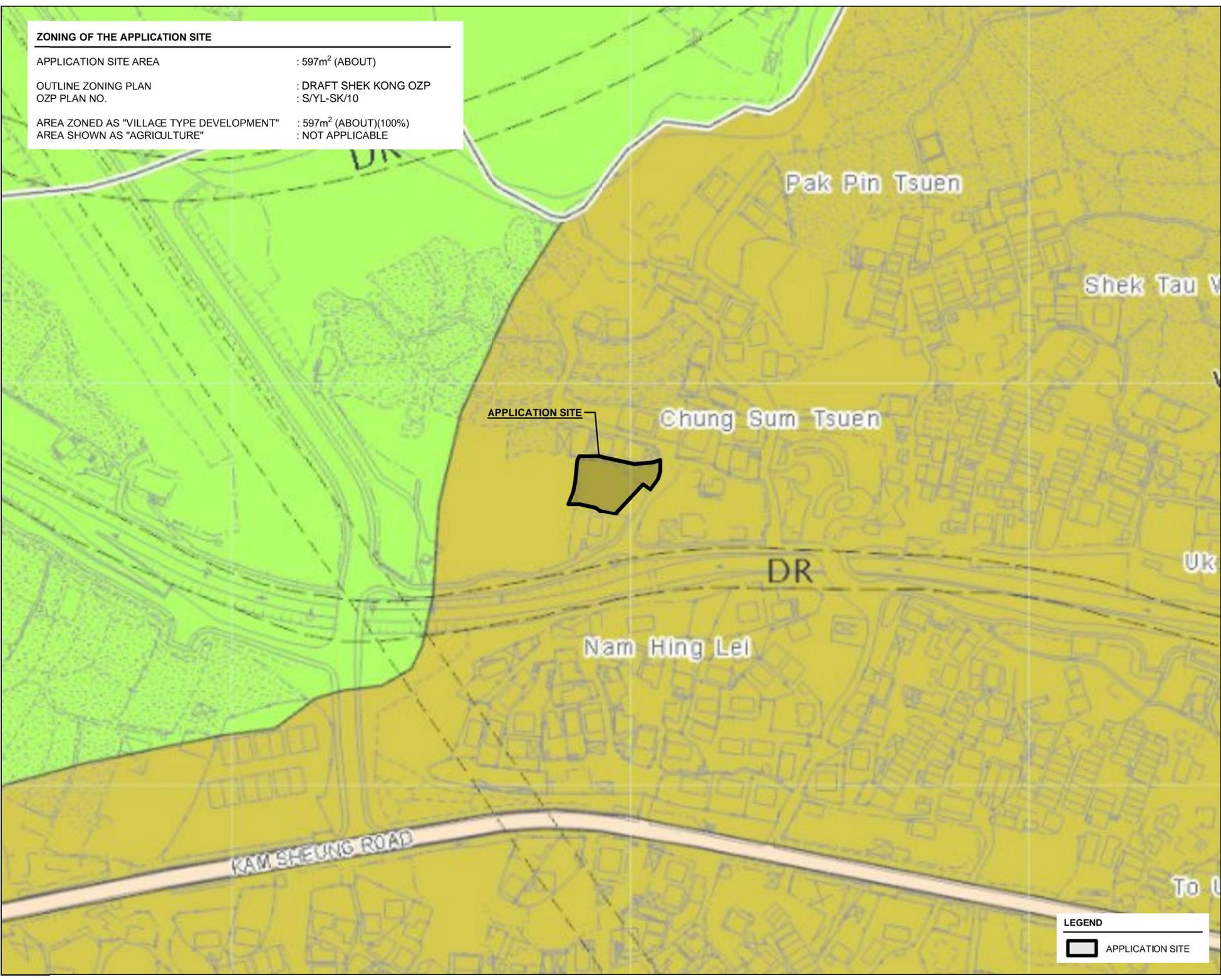
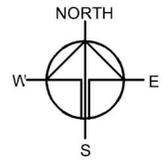
LEGEND

 APPLICATION SITE

Drawing No. P01	Ver. 01
Project TEMPORARY SHOP AND SERVICES WITH ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS LOT 1136 RP (PART) IN D.D. 114, CHUNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES	
Drawing Title LOCATION PLAN	
Scale of A4 1 : 2000	
Drawn	Date 24.11.2020
Revised	Date

ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA	: 597m ² (ABOUT)
OUTLINE ZONING PLAN OZP PLAN NO.	: DRAFT SHEK KONG OZP : S/YL-SK/10
AREA ZONED AS "VILLAGE TYPE DEVELOPMENT"	: 597m ² (ABOUT)(100%)
AREA SHOWN AS "AGRICULTURE"	: NOT APPLICABLE



Drawing No.	Ver.
P02	01

Project
 TEMPORARY SHOP AND SERVICES WITH ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS
 LOT 1136 RP (PART) IN D.D. 114, CHUNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES

Drawing Title
 ZONING OF THE SITE

Scale of A4
 1 : 2000

Drawn	Date
	17.12.2025
Revised	Date

LEGEND

APPLICATION SITE

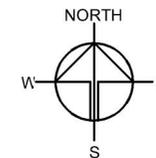
DEVELOPMENT PARAMETERS OF THE APPLICATION SITE

APPLICATION SITE AREA : 597m² (ABOUT)
 COVERED AREA : 99m² (ABOUT)
 UNCOVERED AREA : 498m² (ABOUT)

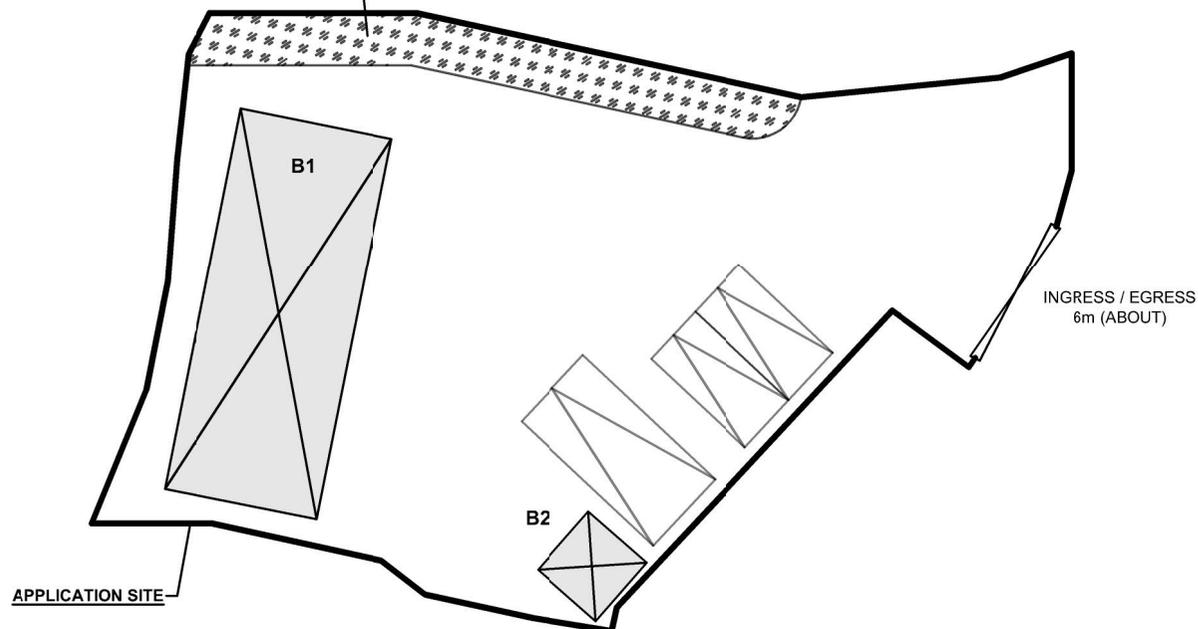
PLCT RATIO : 0.2 (ABOUT)
 SITE COVERAGE : 17% (ABOUT)

NO. OF STRUCTURE : 2
 DOMESTIC GFA : NOT APPLICABLE
 NON-DOMESTIC GFA : 99m² (ABOUT)
 BUILDING HEIGHT : 4.2m (ABOUT)
 NO. OF STOREY : 1

STRUCTURE	PROPOSED USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	SHOP AND SERVICE	90m ² (ABOUT)	90m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
B2	METER ROOM	9m ² (ABOUT)	9m ² (ABOUT)	4.2m (ABOUT)(1-STOREY)
TOTAL		99m²(ABOUT)	99m²(ABOUT)	



SOFT LANDSCAPING TO SEPARATE THE SITE WITH NEARBY DWELLINGS TO MINIMIZE NUISANCE



APPLICATION SITE

PARKING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE : 2
 DIMENSION OF PARKING SPACE : 2.5m (W) X 5m (L)

NO. OF L/ULG SPACE FOR LGV : 1
 DIMENSION OF PARKING SPACE : 3.5m (W) X 7m (L)

LEGEND

- APPLICATION SITE
- ENCLOSED STRUCTURE
- PARKING / L/UL SPACE
- INGRESS / EGRESS

Drawing No. P04 Ver. 01

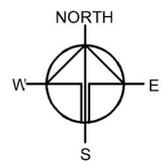
Project
 TEMPORARY SHOP AND SERVICES WITH ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS

LOT 1136 RP (PART) IN D.D. 114, CHUNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES

Drawing Title
 LAYOUT PLAN

Scale of A4
 1 : 30C

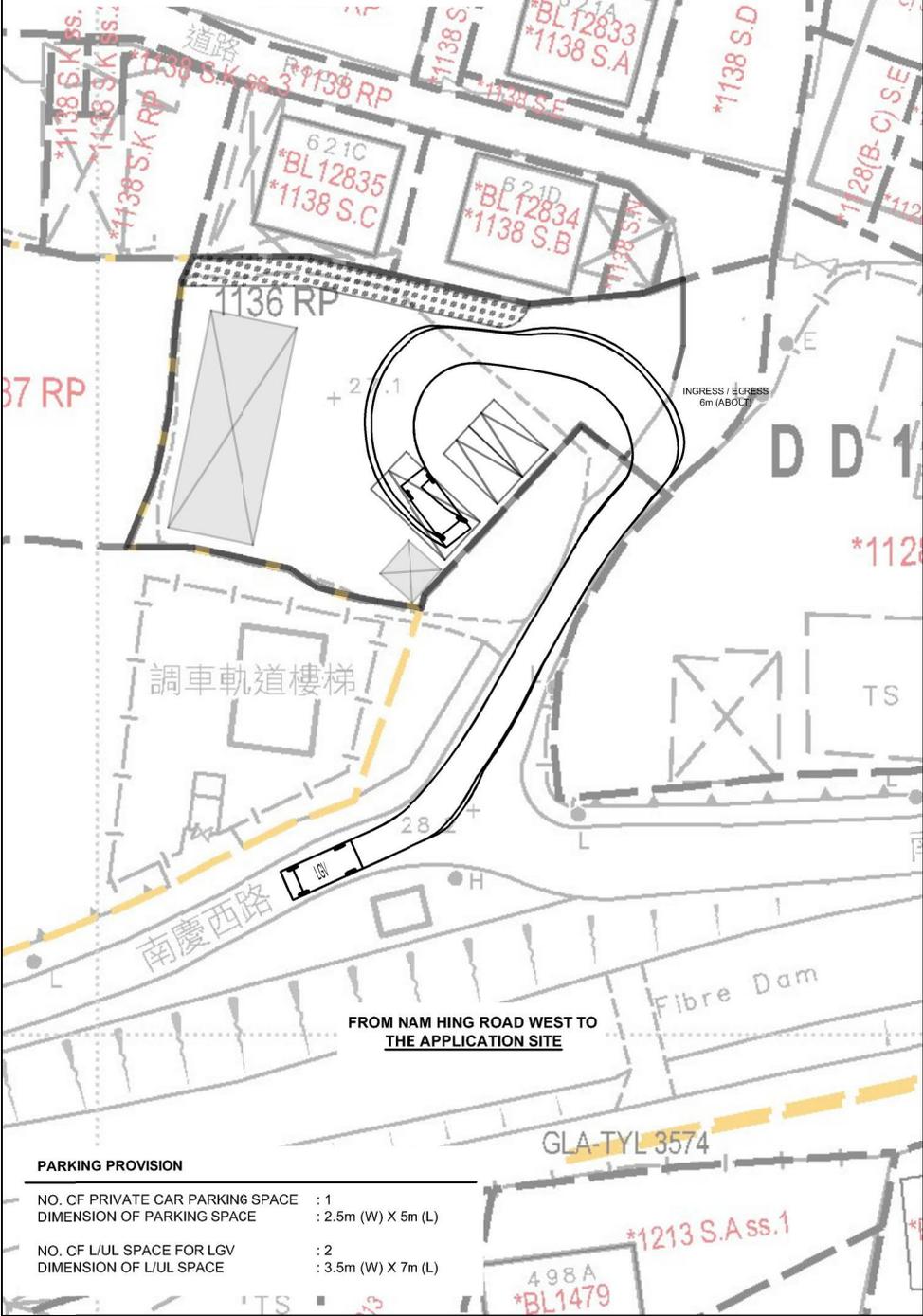
Drawn Date 24.11.2020
 Revised Date



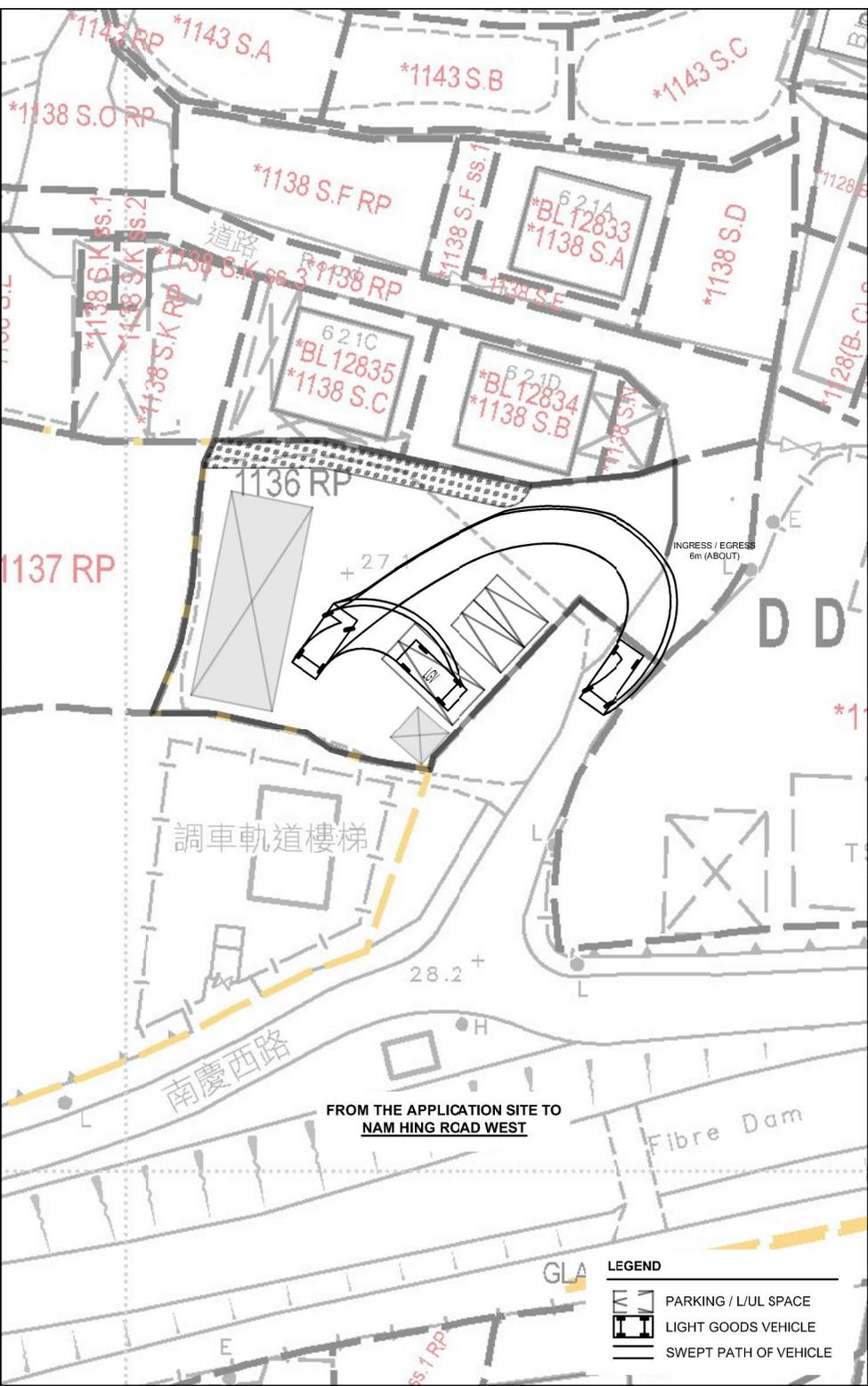
SWEPT PATH ANALYSIS

TYPE OF VEHICLE : LIGHT GOODS VEHICLE
 DIMENSION OF VEHICLE : 2.1m (W) X 5.2m (L) (LGV)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2019



FROM NAM HING ROAD WEST TO THE APPLICATION SITE



FROM THE APPLICATION SITE TO NAM HING ROAD WEST

Drawing No. P05 Ver. 01

Project
 TEMPORARY SHOP AND SERVICES WITH ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS

LOT 1136 RP (PART) IN D.D. 114, CHUNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES

Drawing Title
 SWEPT PATH ANALYSIS

Scale of A4
 1 : 500

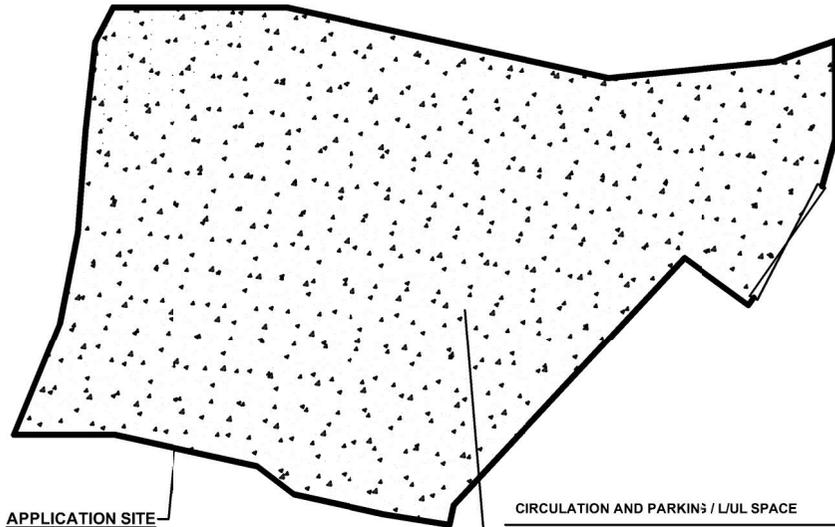
Drawn Date 23.11.2020

Revised Date

PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA : 597m² (ABOUT)
 COVERED BY STRUCTURE : 99m² (17%)(ABOUT)
 LANDSCAPING AREA : 47m² (8%)(ABOUT)
 HARD-PAVED AREA : 550m² (92%)(ABOUT)
 MATERIAL FOR HARD-PAVING : CONCRETE
 PURPOSE OF PAVING : SITE FORMATION OF STRUCTURES
 CIRCULATION AND PARKING / L/UL SPACES

NO FILLING/EXCAVATION OF LAND WILL BE CARRIED OUT AT THE APPLICATION SITE



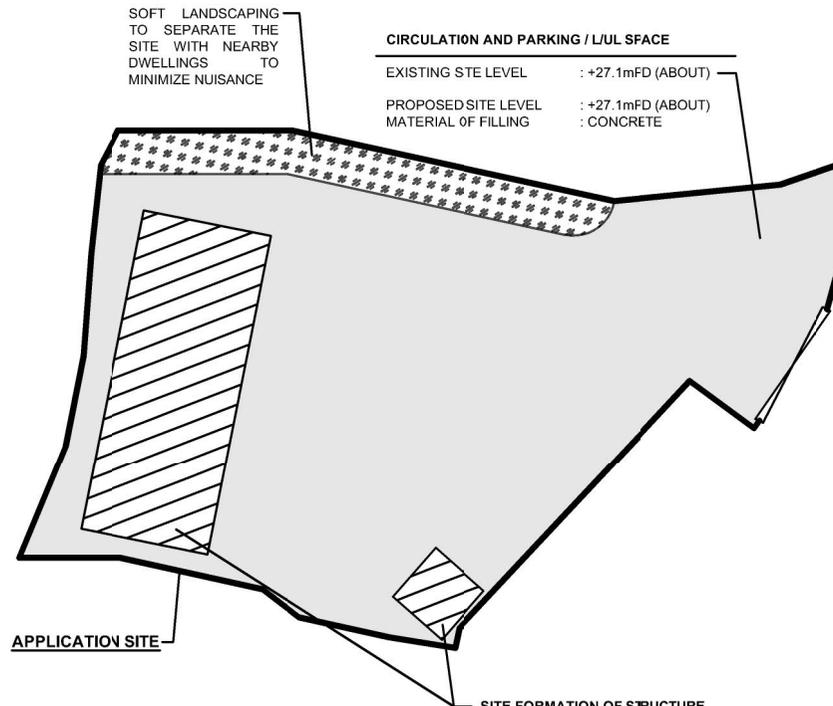
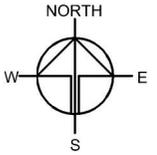
APPLICATION SITE

CIRCULATION AND PARKING / L/UL SPACE

EXISTING SITE LEVEL : +27.1mPD (ABOUT)

- THE SITE IS CURRENTLY COVERED BY GRAVEL WHICH IS NOT SUITABLE FOR THE OPERATION OF THE PROPOSED DEVELOPMENT
- GRAVEL WILL BE REMOVED FROM THE SITE

EXISTING CONDITION



APPLICATION SITE

CIRCULATION AND PARKING / L/UL SPACE

EXISTING SITE LEVEL : +27.1mPD (ABOUT)

PROPOSED SITE LEVEL : +27.1mPD (ABOUT)
 MATERIAL OF FILLING : CONCRETE

SITE FORMATION OF STRUCTURE

EXISTING SITE LEVEL : +27.1mPD (ABOUT)

PROPOSED SITE LEVEL : +27.1mPD (ABOUT)
 MATERIAL OF FILLING : CONCRETE

PROPOSED PAVED RATIO

LEGEND

- APPLICATION SITE
- HARD-PAVED AREA (SITE FORMATION)
- HARD-PAVED AREA (CIRCULATION SPACE)
- LANDSCAPING AREA
- INGRESS ; EGRESS

Drawing No. P05	Ver. 01
--------------------	------------

Project

TEMPORARY SHOP AND SERVICES WITH ASSOCIATED FILLING OF LAND FOR A PERIOD OF 5 YEARS

LOT 1136 RP (PART) IN D.D. 114, CHUNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES

Drawing Title
PAVED RATIO OF THE SITE

Scale of A4
1 : 300

Drawn	Date 26.1.2021
Revised	Date

LIST OF APPENDICES

- Appendix I** FSI proposal accepted under the previous application
- Appendix II** Certificate of FSI and Equipment accepted under the previous application
- Appendix III** Drainage proposal accepted under the previous application
- Appendix IV** Condition records of the implemented drainage facilities accepted under the previous application

Appendix I

FSI proposal accepted under the previous application



規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-SK/295
電話號碼 Tel. No. : [REDACTED]
傳真機號碼 Fax No. : [REDACTED]

By Post & Fax [REDACTED]

R-riches Property Consultants Ltd.
[REDACTED]

16 April 2021

Dear Sir/ Madam,

Submission for Compliance with Approval Condition (g) - the Submission of a Fire Service Installation Proposal

**Proposed Temporary Shop and Services (Convenience Store)
for a Period of 5 Years in "Village Type Development" Zone,
Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long
(Application No. A/YL-SK/295)**

I refer to your submission dated 25.3.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in *Appendix*.
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition **has not been complied with**. Please find detailed departmental comments in *Appendix*.

Should you have any queries on the departmental comments, please contact Mr. WONG Ho-yin (Tel: [REDACTED]) of the Fire Services Department directly.

Yours faithfully,

Anthony LUK

District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

c.c.
D of FS

(Attn.: Mr. WONG Ho-yin)

Internal
CTP/TPB

Appendix

Comments from Director of Fire Services:

The installation /maintenance/ modification/ repair work of fire service installation (FSI) shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to the Director of Fire Services.

JW/bl

Address DD114 Lot 1136RP(Part)
Application No.: TPB/A/YL-SK/295

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

25 March 2021

Dear Sir,

Compliance with Approval Condition (g)

**Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/295)

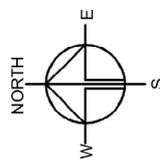
We are writing to submit a fire service installations (FSIs) proposal (Appendix I) for compliance with approval condition (g) of the subject application, i.e. the submission of FSIs proposal. Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Bon TANG at (852) [REDACTED] or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Orpheus LEE

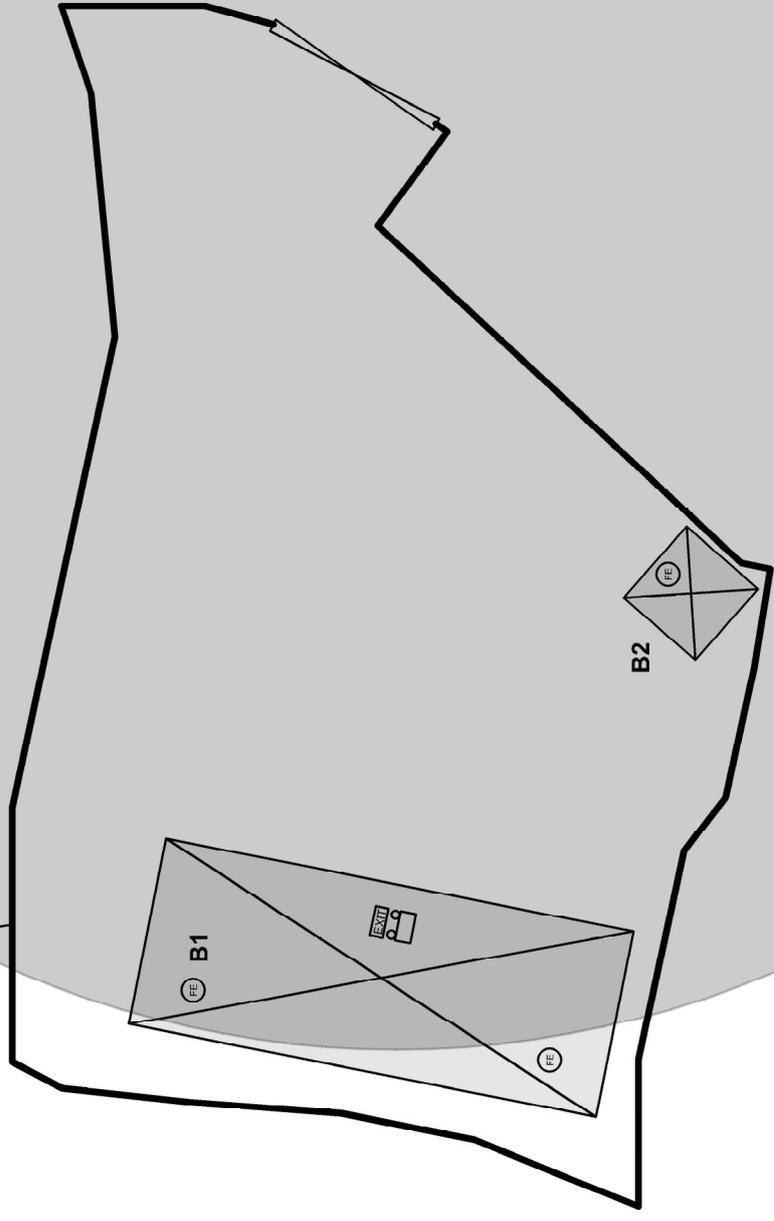


DEVELOPMENT PARAMETERS OF THE APPLICATION SITE

APPLICATION SITE AREA : 597m² (ABOUT)
 COVERED AREA : 99m² (ABOUT)
 UNCOVERED AREA : 498m² (ABOUT)
 PLOT RATIO : 0.2 (ABOUT)
 SITE COVERAGE : 17% (ABOUT)
 NO. OF STRUCTURE : 2
 DOMESTIC GFA : NOT APPLICABLE
 NON-DOMESTIC GFA : 99m² (ABOUT)
 BUILDING HEIGHT : 4.2m (ABOUT)
 NO. OF STOREY : 1

STRUCTURE	PROPOSED USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	SHOP AND SERVICE METER ROOM	90m ² (ABOUT) 9m ² (ABOUT)	90m ² (ABOUT) 9m ² (ABOUT)	4.2m (ABOUT)(1-STOREY) 4.2m (ABOUT)(1-STOREY)
B2				
TOTAL		99m²(ABOUT)	99m²(ABOUT)	

APPLICATION SITE



30M (RADIUS) FROM THE ACCESS FOR EMERGENCY VEHICLE

FIRE SERVICE INSTALLATIONS

- 1 x EXIT SIGN
- 1 x EMERGENCY LIGHTING
- 3 x 4.5 KG GAS-TYPE FIRE EXTINGUISHER

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266: PART1 AND BS EN1838.
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.

LEGEND

- APPLICATION SITE
- ENCLOSED STRUCTURE
- PARKING / LUL SPACE
- INGRESS / EGRESS

Drawing No. **APPENDIX I** Var. **01**

Project
 PROPOSED TEMPORARY SHOP AND SERVICES FOR A PERIOD OF 5 YEARS AND LAND FILLING
 LOT 1136 RP (PART) IN D.D. 114, CHJNG SUM TSUEN, SHEK KONG, YUEN LONG, NEW TERRITORIES

Drawing Title
FSIS PROPOSAL
 Scale of A4
1 : 300
 Drawn
 Date
25.3.2021
 Revised

Appendix II

Certificate of FSI and Equipment accepted under the previous application



規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-SK/295
電話號碼 Tel. No. :
傳真機號碼 Fax No. :

By Post & Fax

R-riches Property Consultants Limited

2 February 2024

Dear Sir/ Madam,

**Submission for Compliance with Approval Condition (h) –
the Implementation of the Fire Service Installation Proposal
Proposed Temporary Shop and Services (Convenience Store)
for a Period of 5 Years in “Village Type Development” Zone,
Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long
(Application No. A/YL-SK/295)**

I refer to your submission dated 11.12.2023 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied with.**
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries, please contact Mr. CHEUNG Wing Hei (Tel.:) of the Fire Services Department directly.

Yours faithfully,

(K WNG)
District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

c.c.

D of FS

(Attn.: Mr. CHEUNG Wing Hei)

Internal

CTP/TPB

KWN/RS/MS/th

Address DD114 Lot 1136RP(Part)
Application No.: TPB/A/YL-SK/295

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

11 December 2023

Dear Sir,

Compliance with Approval Condition (h)

**Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/295)

We are writing to submit a certificate of FSIs proposal (**Appendix I**) for compliance with approval condition (h) of the subject application, i.e. the implementation of FSIs proposal. Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Grace WONG at (852) [REDACTED] or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited




Orpheus LEE
Planning and Development

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9328488

FSD Ref.:
消防處編號

Name of Client: 顧客姓名

Name of Building: 樓宇名稱

Street No./Town Lot: 門牌號數/市地段 Lot 1136 RP(Part) In D.D. 114 Street/Road/Estate Name: 街道/屋苑名稱 Chung Sum Tsuen

Block: 座 District: 分區 Shek Kong, Yuen Long Area: 地區 HK 香港 K 九龍 NT 新界

Type of Building 樓宇類型: Industrial 工業 Commercial 商業 Domestic 住宅 Composite 綜合 Licensed premises 持牌處所 Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	3 x 5Kg CO2 F.E.	G/F	Supply & Install	Conforms with FSD requirements	05-12-2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

Authorized Signature: 授權人簽署

Name: 姓名

FSD/RC No.: 消防處註冊號碼

Company Name: 公司名稱

Telephone: 聯絡電話

Date: 日期

Hui Chi Hang
RC3/676
East Power Engineering Ltd
東力工程有限公司
06-12-2023

For FSD use only:

Inspected

Key-in

Verified

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防 (裝置及設備) 規例

(Regulation 9(1))

(第九條 (1) 款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9328033

FSD Ref.:

消防處編號

Name of Client :

顧客姓名

Name of Building :

樓宇名稱

Street No./Town Lot :

門牌號數/市地段

Lot 1136 RP(Part) In D.D. 114 Street/Road/Estate Name :

街道/屋苑名稱

Chung Sum Tsuen

Block :

座

District :

分區

Shek Kong, Yuen Long

Area :

地區

HK

香港

K

九龍

NT

新界

Type of Building 樓宇類型 : Industrial 工業

Commercial 商業

Domestic 住宅

Composite 綜合

Licensed premises 持牌處所

Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
11	Emergency Lighting	G/F	Supply & Install 1 x Emergency Light a&b Model: TS-EL 2053	Conforms with FSD requirements	14-10-2023
12	Exit Sign	G/F	Supply & Install 1 x Exit Sign a&b Model: LED B4	Conforms with FSD requirements	14-12-2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature :
受權人簽署

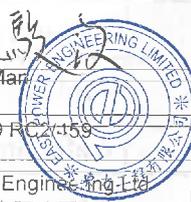
Name :
姓名

FSD/RC No. :
消防處註冊號碼

Company Name :
公司名稱

Telephone :
聯絡電話

Date :
日期



 Ng Chun Man
 RC1/309 RC2/159
 East Power Engineering Limited
 東力工程有限公司
 06-12-2023

For FSD use only:

Inspected

Key-in

Verified

Appendix III

Drainage proposal accepted under the previous application



規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-SK/295
電話號碼 Tel. No. : [REDACTED]
傳真機號碼 Fax No. : [REDACTED]

By Post & Fax [REDACTED]

R-riches Property Consultants Ltd.
[REDACTED]

6 July 2021

Dear Sir/ Madam,

Submission for Compliance with Approval Condition (d) - the Submission of a Drainage Proposal

Proposed Temporary Shop and Services (Convenience Store)
for a Period of 5 Years in "Village Type Development" Zone,
Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long
(Application No. A/YL-SK/295)

I refer to your submission dated 31.5.2021 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in *Appendix*.
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition **has not been complied with**. Please find detailed departmental comments in *Appendix*.

Should you have any queries on the departmental comments, please contact Mr. Bill CHAN (Tel: [REDACTED]) of the Drainage Services Department directly.

Yours faithfully,

Anthony LUK

District Planning Officer/
Fanling, Sheung Shui & Yuen Long East
Planning Department

c.c.
CE/MN, DSD

(Attn.: Mr. Bill CHAN)

Internal
CTP/TPB

Appendix

Comments from Chief Engineer/Mainland North, Drainage Services Department:

- (i) The applicant should implement the drainage facilities on site in accordance with the agreed drainage proposal.
- (ii) The applicant is required to rectify the drainage system if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system.
- (iii) The proposed development would neither obstruct overland flow nor adversely affected any existing natural streams, village drains, ditches and the adjacent areas.
- (iv) The applicant should consult DLO/YL and seek consent from relevant lot owners for any works to be carried out outside his lot boundary before commencement of the drainage works.

AL/LC/bl

[Handwritten signature]

District Planning Officer
Feeling Strong Spirit & Vision for East
Planning Department

Our Ref.: DD114 Lot 1136RP(Part)
Your Ref.: TPB/A/YL-SK/295

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

31 May 2021

Dear Sir,

Compliance with Approval Condition (d)

**Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/295)

We are writing to submit a letter in response to comments of CE/MN, DSD and revised drainage proposal (**Appendices I and II**) for compliance with approval condition (d) of the subject application, i.e. the submission of the drainage proposal. Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Bon TANG at (852) [REDACTED] or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Orpheus LEE



cc DPO/FSYLE, PlanD (Attn.: Mr. Boris LAI email: [REDACTED])

Response to comments of CE/MN, DSD

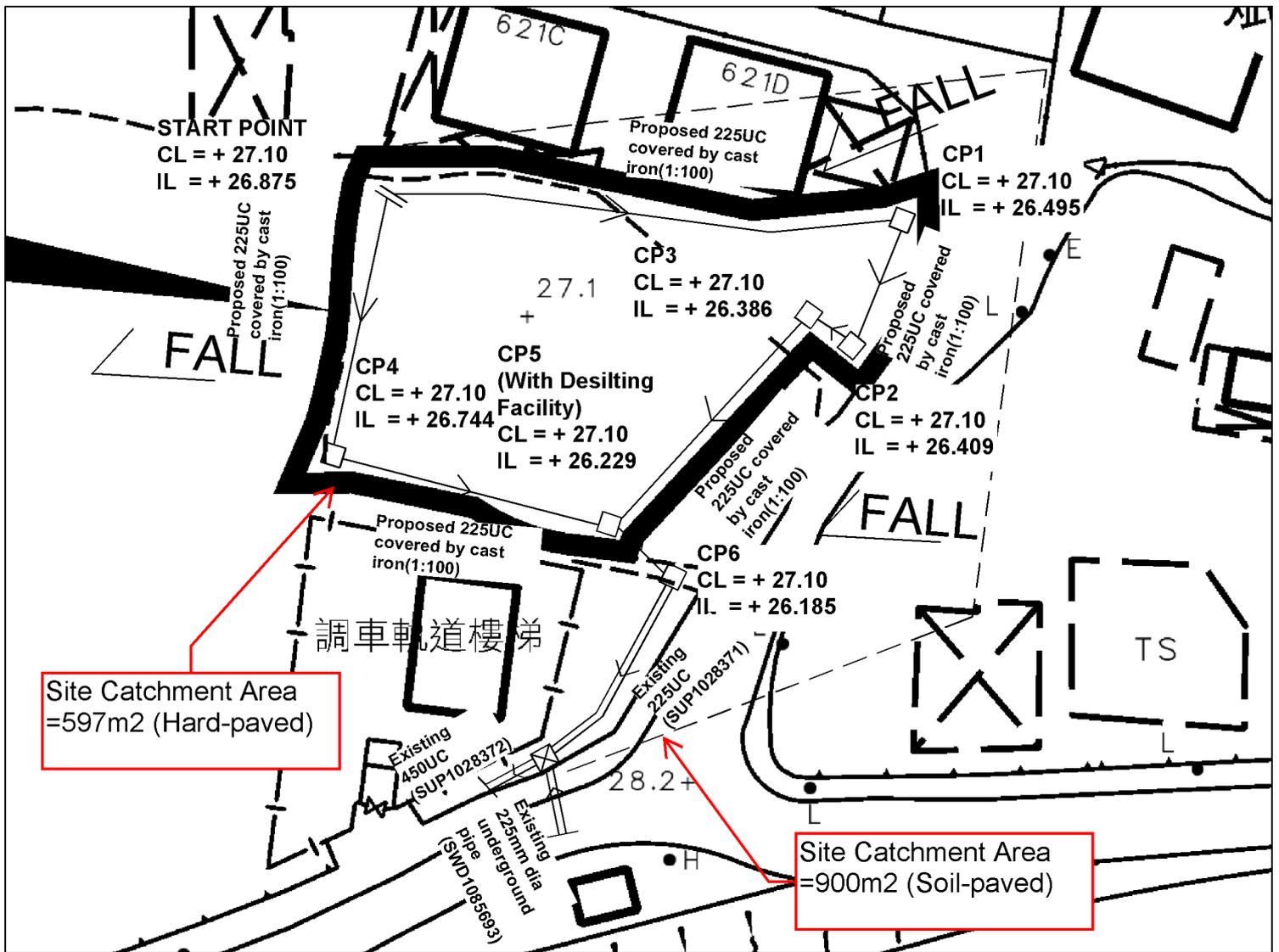
**Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/295)

Response to comments of CE/MN, DSD:

- (i) Cross section is provided.
- (ii) Noted
- (iii) Noted
- (iv) Noted



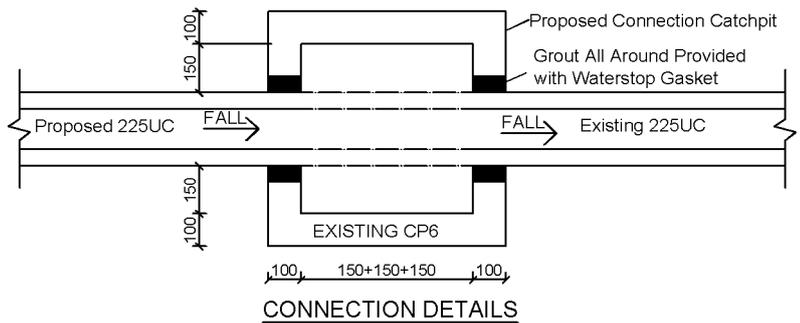


LEGEND

- CP Proposed CatchPit
- CP Existing CatchPit
- \Rightarrow Proposed UC (1:100) with Cast Iron Cover
- \Rightarrow Existing UC

Note:

1. No solid wall and hoarding shall be erected.
2. Catchpits (CP5) with desilting facility shall follow CEDD standard drawing No. C2406I.
3. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
4. Existing Houses at Adjacent Lots have their own stormwater collection system
5. Proposed UC are covered by cast iron



恆協工程有限公司
HANDSHIP ENGINEERING LTD CO.

Title:

Drainage Proposal

DD114-1136(D01)

Drawn by:

DM

Date:

10th April 2021

Check by:

DM

Scale:

Project

Proposed Temporary Shop and Services at Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long

(Application No.: A/YL-SK/295)

Company: 恆協工程有限公司
Project : Proposed drainage system
 at Lot1136 in DD114
Date: 10/4/2021

Calculation for channels:

Catchment Area of site
 Site Catchment Area = 597 m²
 = 0.000597 km²
 Peak runoff in m³/s = 0.278 x 0.95 x 250 mm/hr x 0.000597 km²
 = 0.039417 m³/s
 = 2365 liter/min
 Outside Catchment Area = 900 m²
 = 0.0009 km²
 Peak runoff in m³/s = 0.278 x 0.25 x 250 mm/hr x 0.0009 km²
 = 0.015638 m³/s
 = 938 liter/min
 Total Peak runoff in m³/s = 0.0551 m³/s
 = 3303 liter/min

225UC is adequate for stormwater surface runoff collection

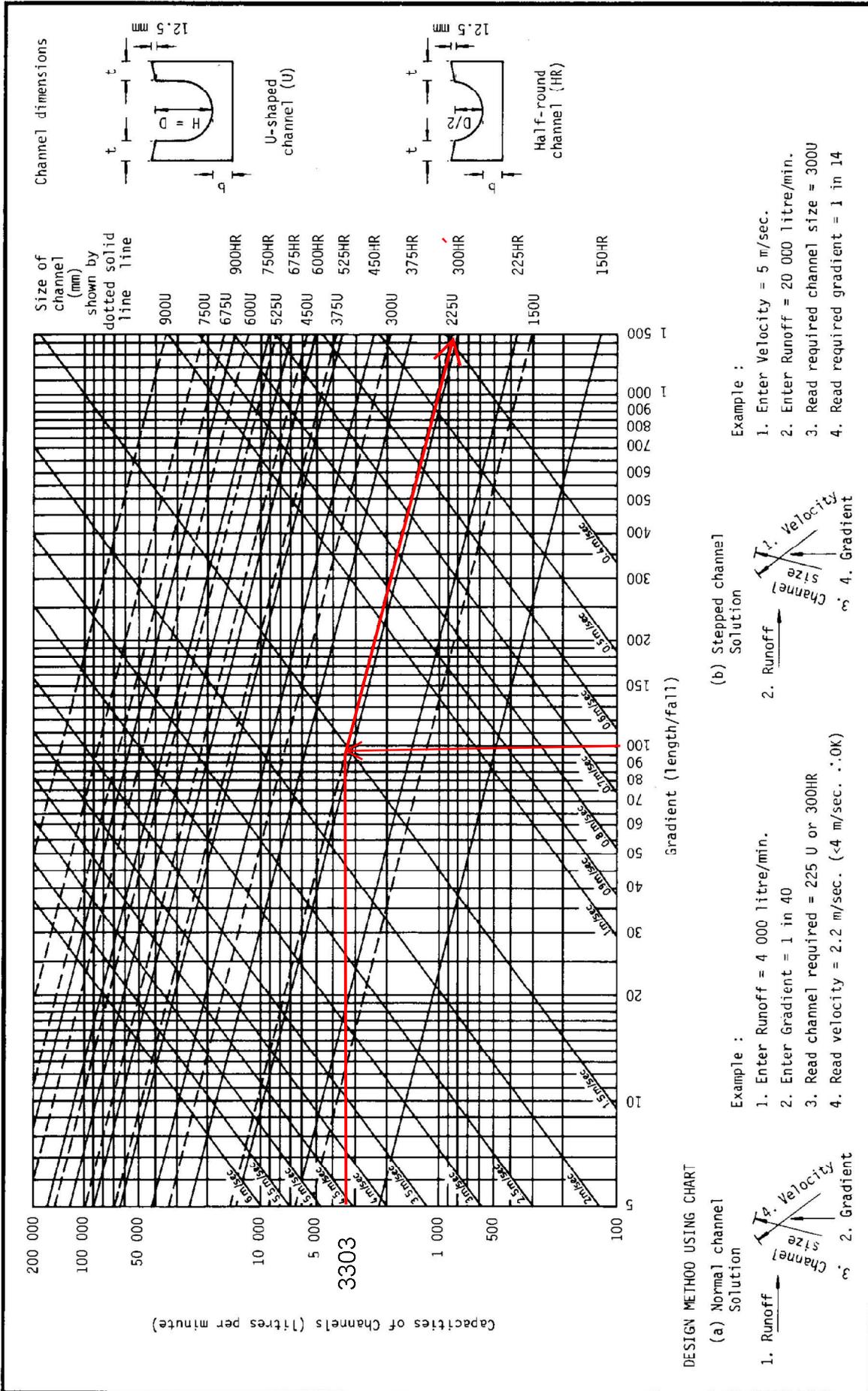
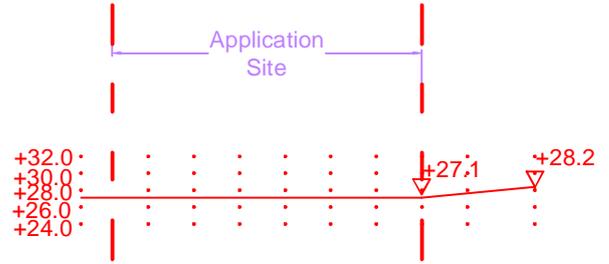
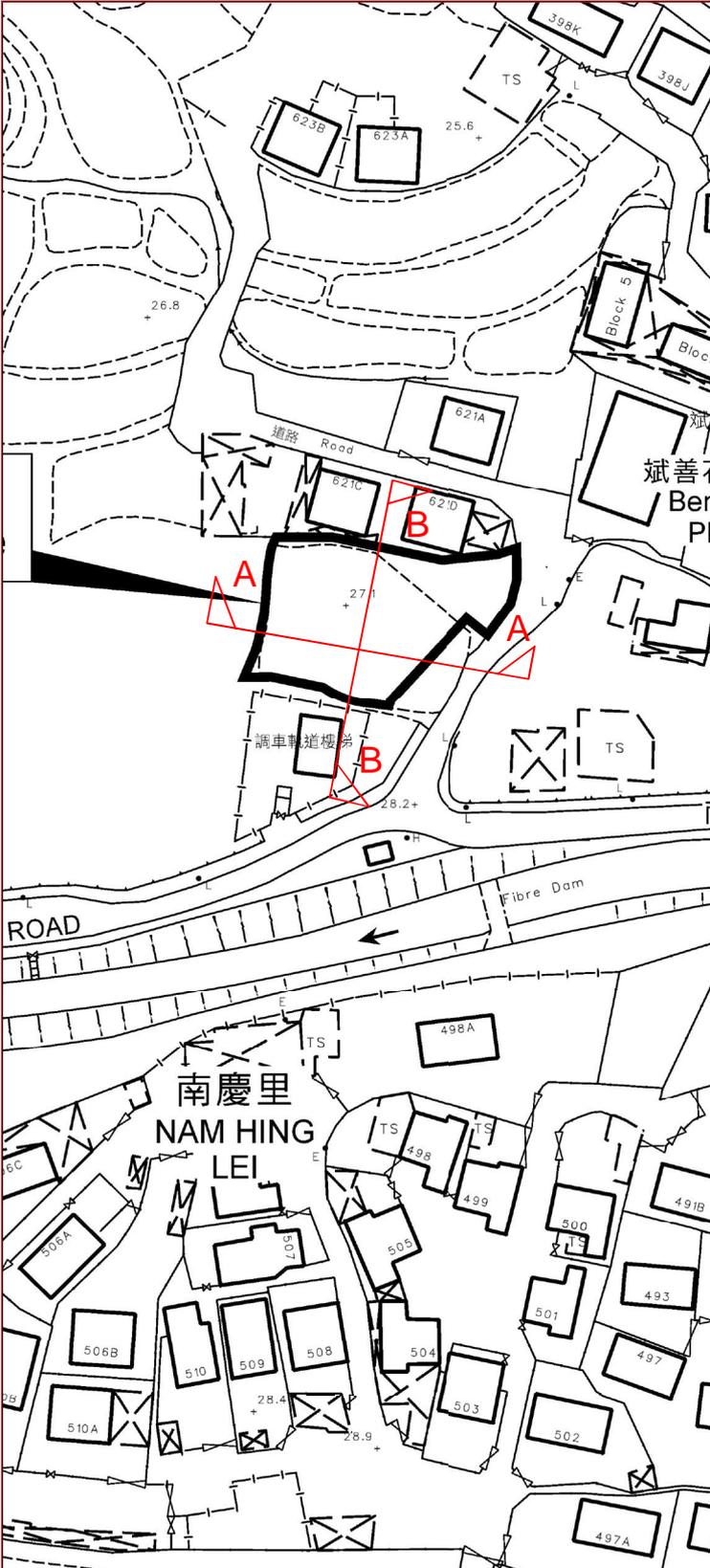
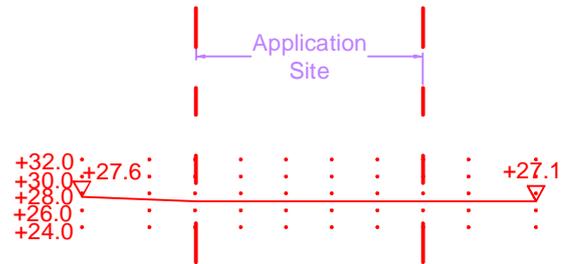


Figure 8.7 - Chart for the Rapid Design of Channels



Section A-A



Section B-B

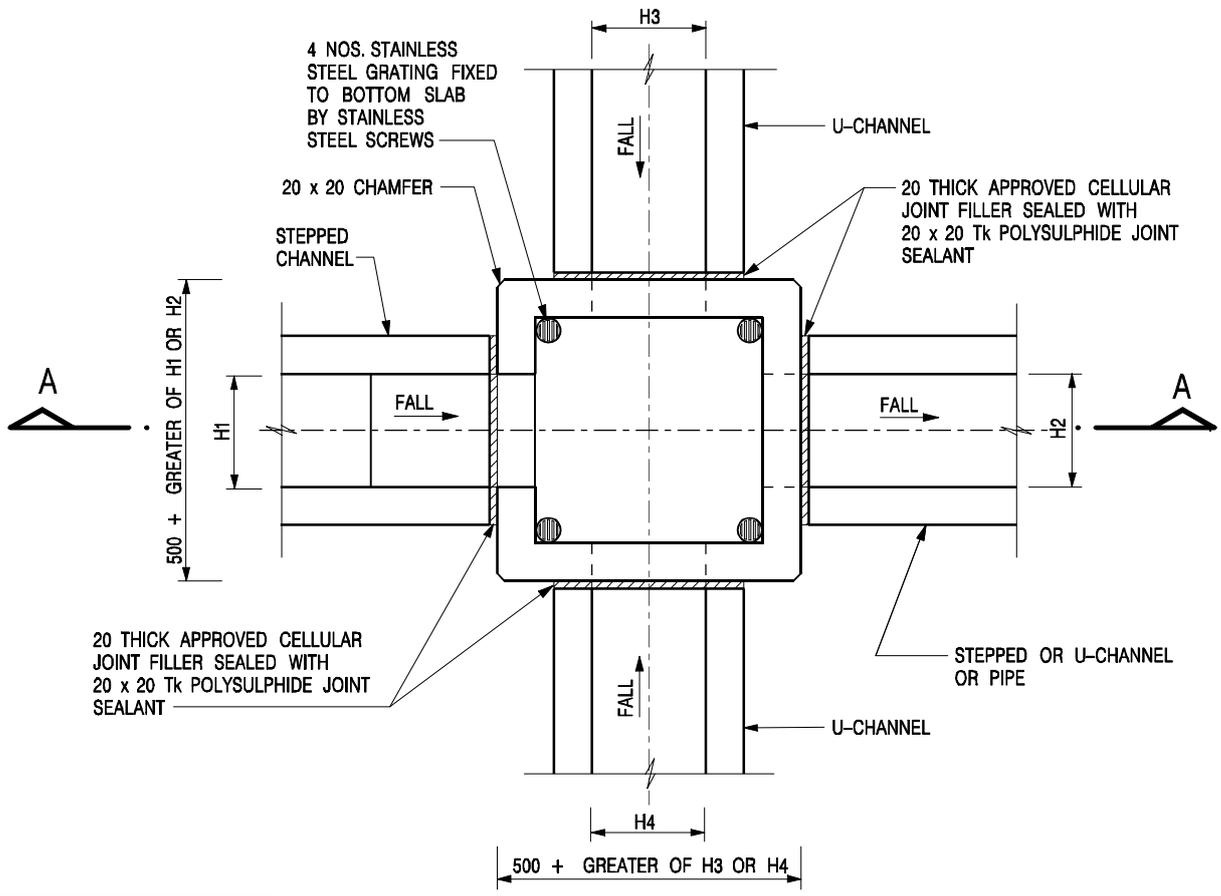
Note:

Proposed ground level is consistent with existing ground level due to no significant filling works or excavation works for site formation.

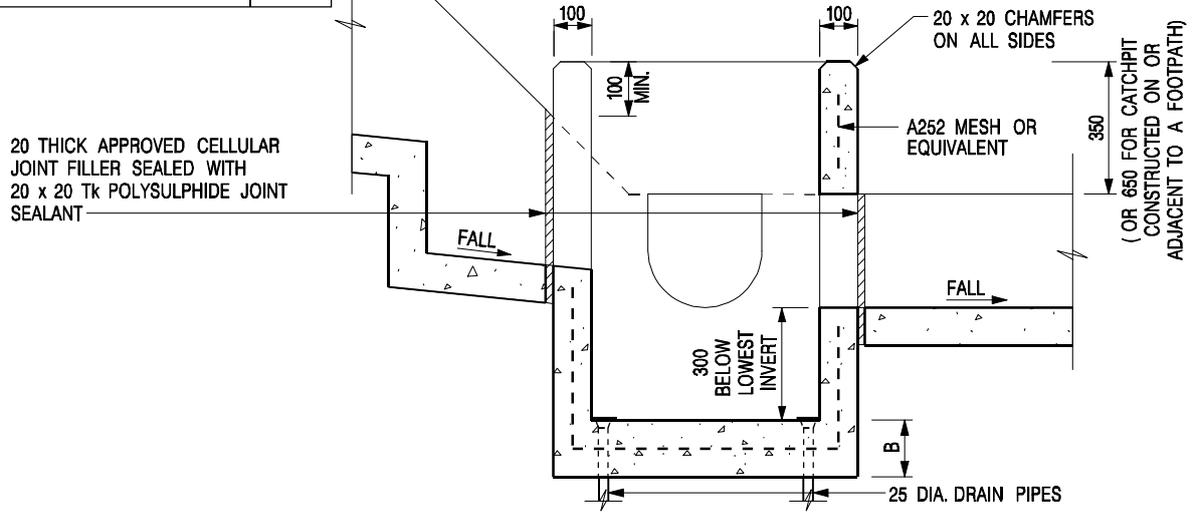
恆協工程有限公司
HANDSHIP ENGINEERING LTD CO.

Project:
Proposed Temporary Shop and Services at Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shek Kong, Yuen Long
(Application No.: A/YL-SK/295)

Title:		Section	DD114-1136(D02)
Drawn by:		DM	Date: 27th May 2021
Check by:		DM	Scale: ----



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



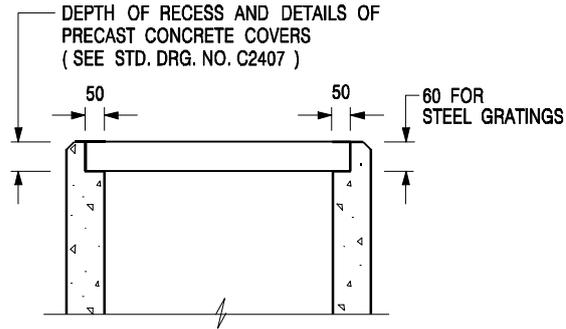
- NOTES:**
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. REFER TO SHEET 2 FOR OTHER NOTES.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

CEDD CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 20 **DRAWING NO.** C2406 /1
DATE JAN 1991



ALTERNATIVE TOP SECTION
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)

 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT	
SCALE 1 : 20	DRAWING NO.
DATE JAN 1991	C2406 /2

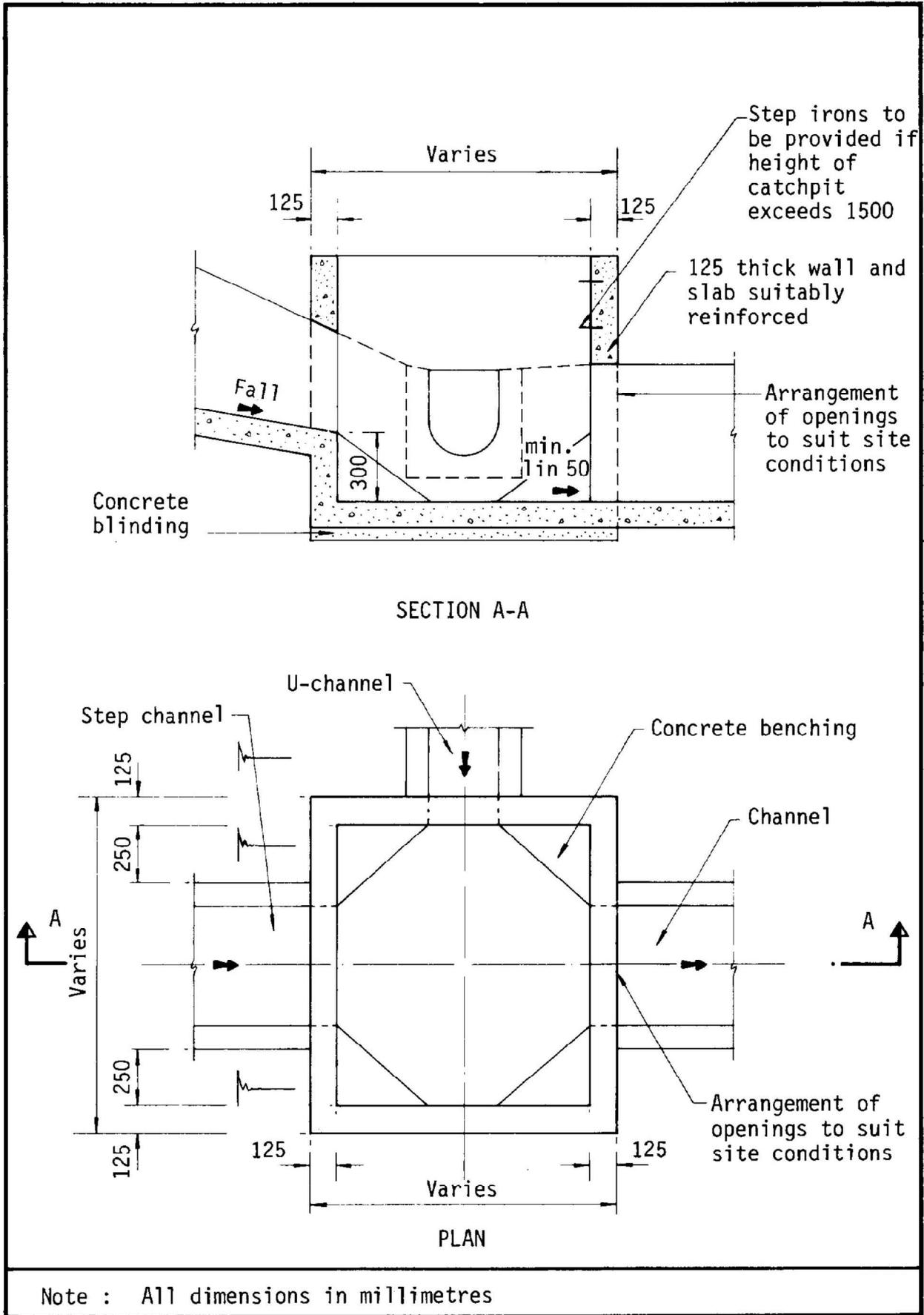
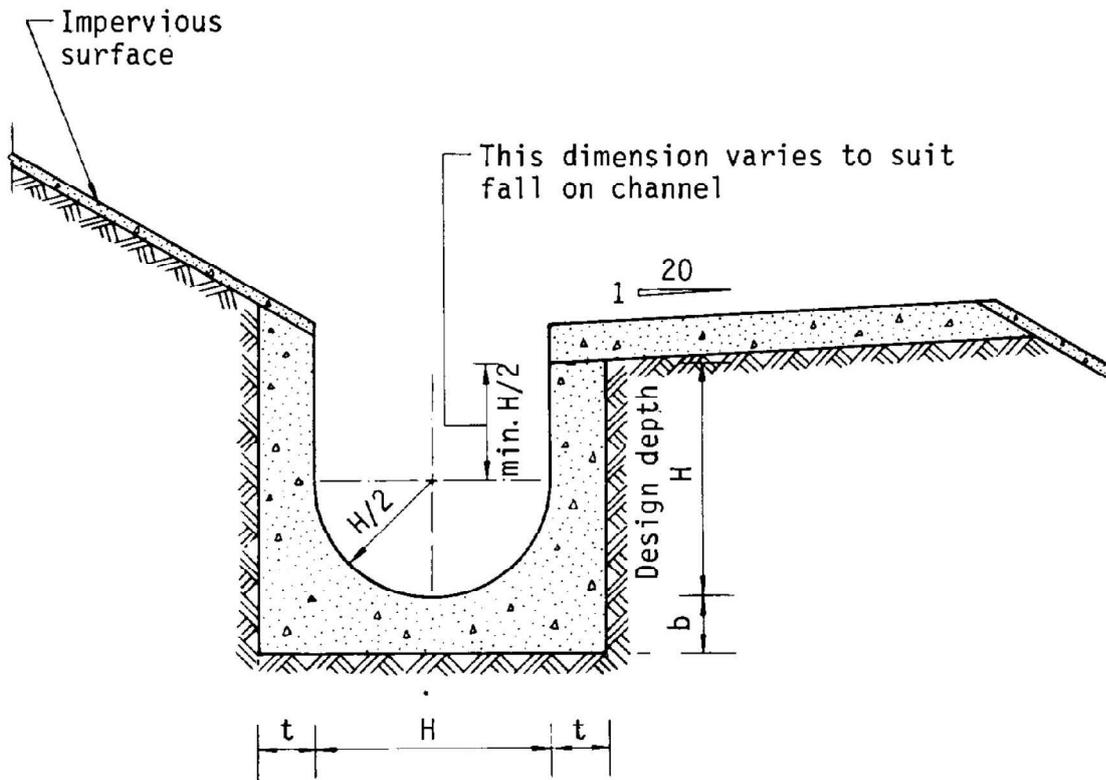


Figure 8.10 - Typical Details of Catchpits



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

Appendix IV

Condition records of the implemented drainage facilities
accepted under the previous application



規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函編號 Your Reference :
本署檔號 Our Reference : TPB/A/YL-SK/295
電話號碼 Tel. No. :
傳真機號碼 Fax No. :

By Post & Fax

R-riches Property Consultants Limited

2 February 2024

Dear Sir/ Madam,

**Submission for Compliance with Approval Condition (e) –
the Implementation of the Drainage Proposal**

**Proposed Temporary Shop and Services (Convenience Store)
for a Period of 5 Years in “Village Type Development” Zone,
Lot 1136 RP (Part) in D.D. 114, Chung Sum Tsuen, Shck Kong, Yuen Long
(Application No. A/YL-SK/295)**

I refer to your submission dated 11.12.2023 for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in *Appendix*.
- Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- Not acceptable. The captioned condition **has not been complied with**. Please find detailed departmental comments in *Appendix*.

Should you have any queries on the departmental comments, please contact Mr. Jeff TSE (Tel: [REDACTED]) of the Drainage Services Department directly.

Yours faithfully,

(K WNG)
District Planning Officer/
Fanling Sheung Shui & Yuen Long East
Planning Department

- 2 -

C.C.

CE/MN, DSD

(Attn.: Mr. Jeff TSE)

Internal

CTP/TPB

KWN/RS/MS/th

Appendix*Comments of the Director of Drainage Services:*

- The applicant is advised to maintain all the drainage facilities on site in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc. The applicant is required to rectify the drainage system at their own expense to the satisfaction of the government parties concerned if they are found to be inadequate or ineffective during operation.

Our Ref.: DD114 Lot 1136RP(Part)
Your Ref.: TPB/A/YL-SK/295

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

11 December 2023

Dear Sir,

Compliance with Approval Condition (e)

**Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in "Village Type Development" Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/295)

We are writing to submit a photographic record of implemented drainage facilities (**Appendix I**) for compliance with approval condition (e) of the subject application, i.e. the implementation of a drainage proposal. Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at [REDACTED] / [REDACTED] or the undersigned at your convenience.

Yours faithfully,

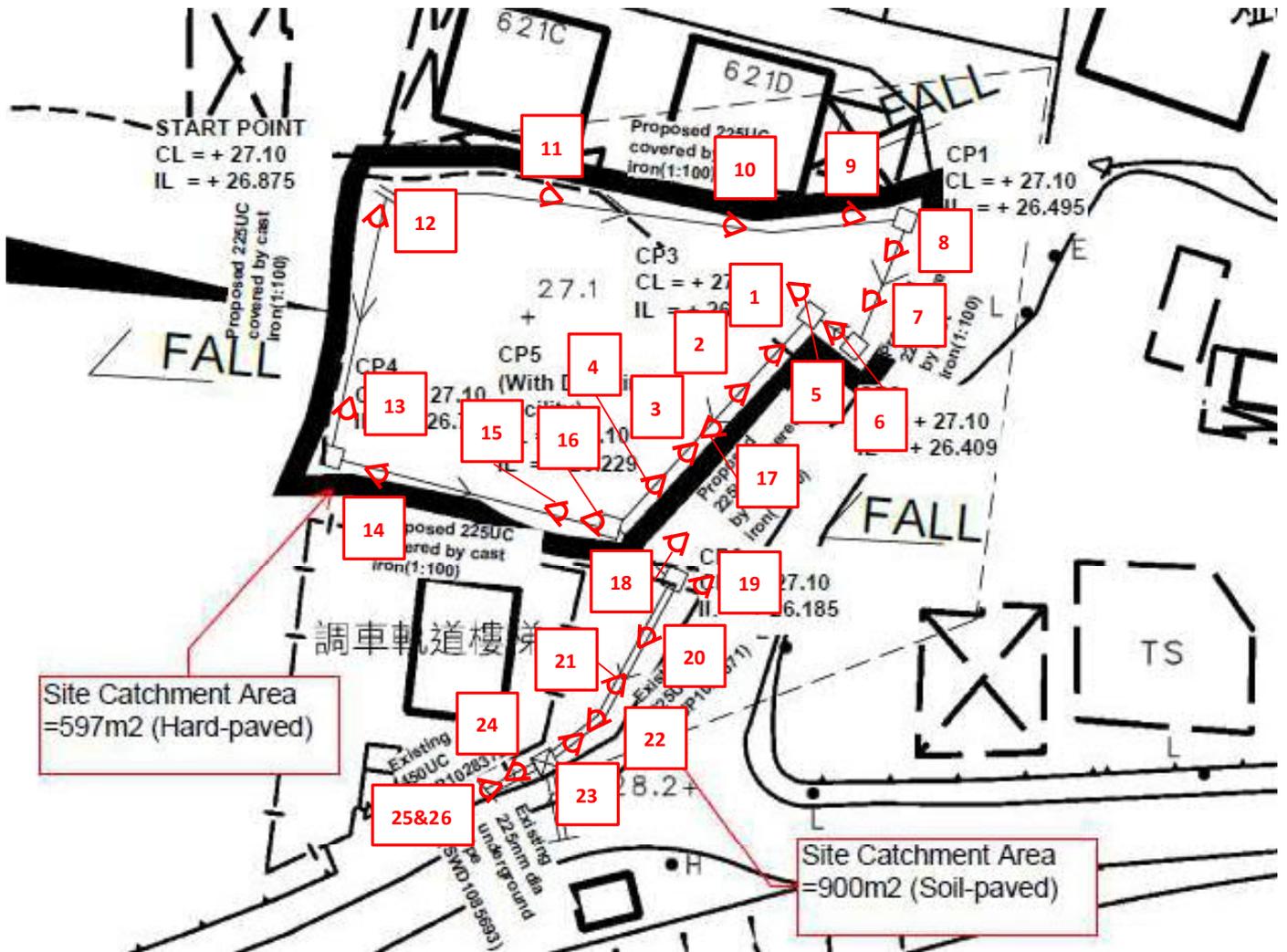
For and on behalf of
R-riches Property Consultants Limited

Kevin LAM
Planning Assistant

Proposed Temporary Shop and Services for a Period of 5 Years and Land Filling
in "Village Type Development" Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories

(S.16 Planning Application No. A/YL-SK/295)



2



1



4



3



6



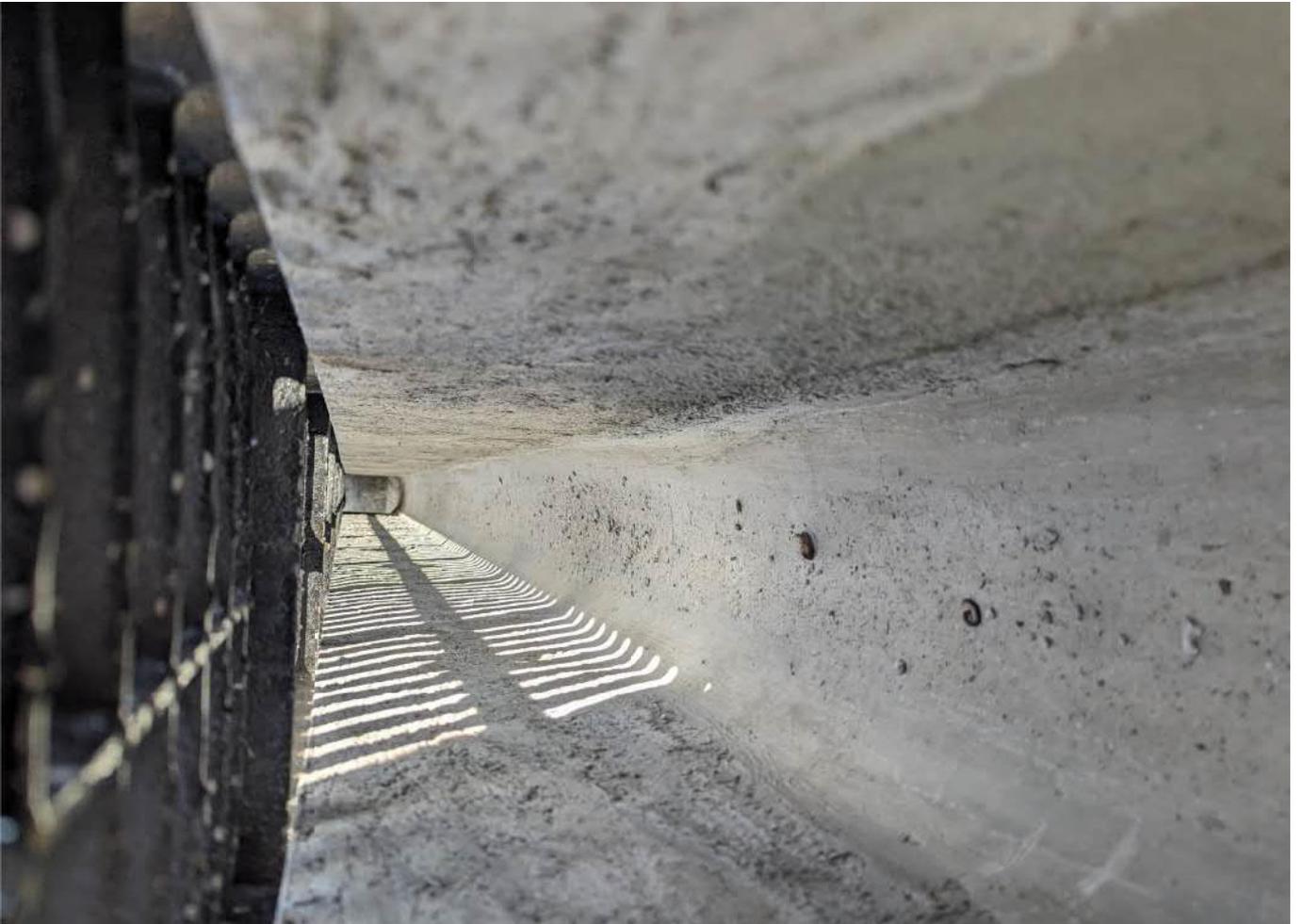
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8



7



10



9



12



11



14



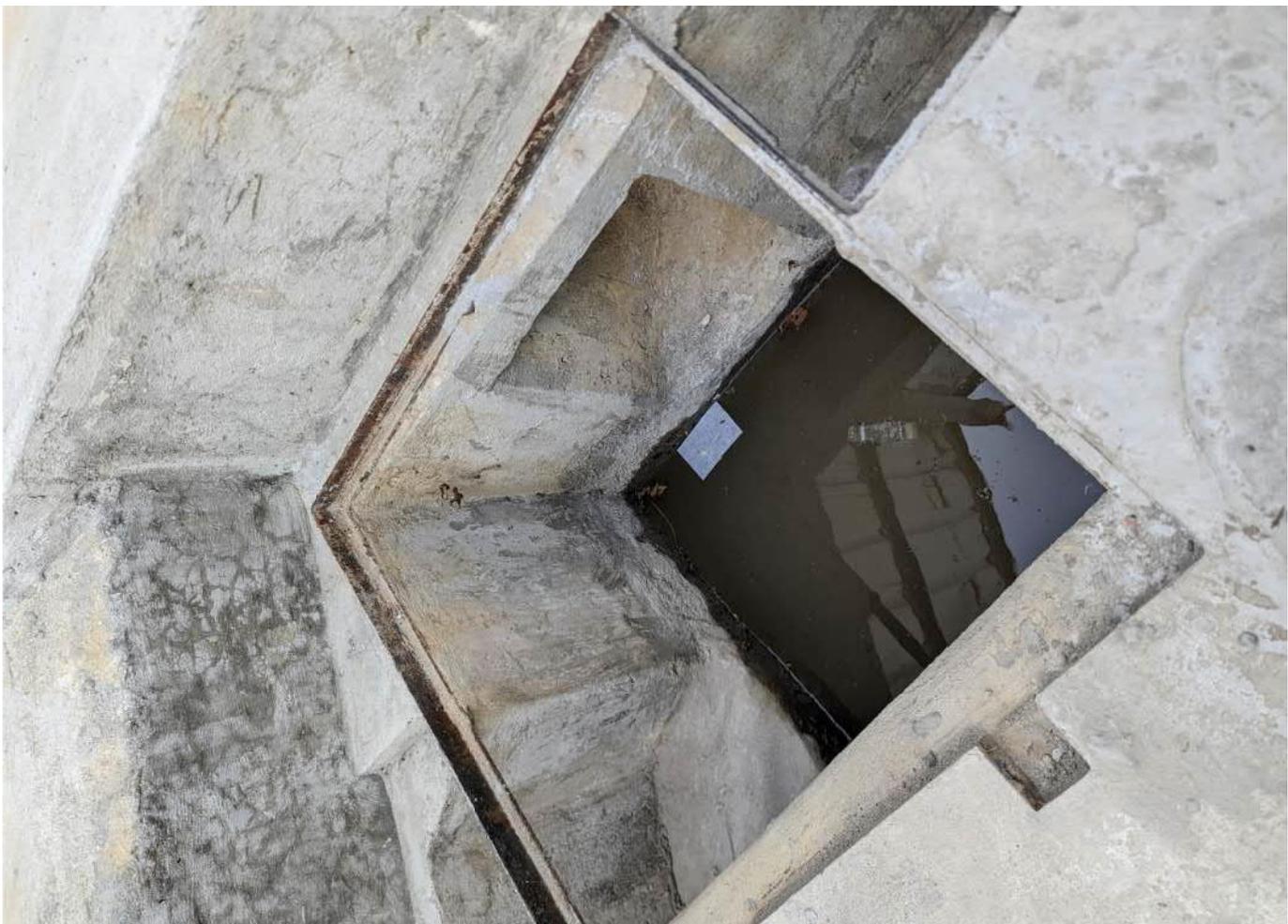
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盈卓
規劃
有限公司

Our Ref. : DD114 Lot 1136 RP
Your Ref. : TPB/A/YL-SK/446

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By E-mail

13 February 2026

Dear Sir,

1st Further Information

**Temporary Shop and Services and Associated Filling of Land
for a Period of 5 Years in "Village Type Development" Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/446)

We write to submit further information in response to departmental comments on the captioned application.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Planning Limited

Christian CHIM
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Jason WONG

email: [REDACTED])



Response-to-Comment (RtC)

Temporary Shop and Services and Associated Filling of Land
for a Period of 5 Years in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories

(S.16 Application No. A/YL-SK/446)

(i) A RtC table:

Departmental Comments		Applicant’s Responses
1. Comments of the District Planning Officer/Fanling, Sheung Shui and Yuen Long East, Planning Department (DPO/FSYLE, PlanD)		
(a)	Please advise if the proposed use will involve any use of public announcement system, whistle blowing, portable loud speaker and any form of audio amplification system.	No announcement system, whistle blowing, portable loud speaker and any form of audio amplification system will be used at the application site (the Site).
(b)	Please also clarify and provide more descriptions on the current use(s)/conditions of the application site.	The Site is currently vacant as the applicant is in search of a potential tenant. The structures are proposed for shop and services use, within which it will provide shop and services for daily necessities, such as groceries, packaged snacks/ drinks, home supplies etc. to serve the needs of nearby residents. The height of the structures serves to allow sufficient headroom to accommodate the stocking shelves.



盈卓
規劃
有限公司

Our Ref. : DD114 Lot 1136 RP
Your Ref. : TPB/A/YL-SK/446

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By E-mail

23 February 2026

Dear Sir,

1st Further Information

**Temporary Shop and Services and Associated Filling of Land
for a Period of 5 Years in "Village Type Development" Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-SK/446)

We write to submit further information in response to departmental comments on the captioned application.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Planning Limited

Christian CHIM
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Jason WONG

email: [REDACTED])



Response-to-Comment (RtC)

**Temporary Shop and Services and Associated Filling of Land
for a Period of 5 Years in “Village Type Development” Zone, Lot 1136 RP (Part) in D.D. 114,
Chung Sum Tsuen, Shek Kong, Yuen Long, New Territories**

(S.16 Application No. A/YL-SK/446)

(i) An RtC table:

Departmental Comments		Applicant’s Responses
1. Comments of the Director of Agriculture, Fisheries and Conservation (DAFC)		
(a)	Should the application be approved, please advise the applicant to adopt appropriate measures to avoid causing pollution or disturbance the adjacent mitigation planting located to the southeast of the subject site.	Noted. Periphery fencing has been erected along the boundary of the application site. Should the application be approved, the applicant will make sure the operation be strictly confined with the existing fencing at all times during the approval period of the planning permission. As such, it is anticipated that the development will not cause disturbance and pollution to the adjacent mitigation planting.

Previous s.16 Application at the Application Site (the Site)

Approved Application

Application No.	Use/Development	Date of Consideration (Rural and New Town Planning Committee (RNTPC))
A/YL-SK/295	Proposed Temporary Shop and Services for a Period of 5 Years	5.2.2021

Similar s.16 Applications within the same “V” Zone on the OZP in the Vicinity of the Site in the Past 5 Years

Approved Applications

Application No.	Use/Development	Date of Consideration (RNTPC)
A/YL-SK/316	Proposed Temporary Shop and Services (Motor-vehicle Showroom) for a Period of 5 Years	29.10.2021 (Revoked on 29.1.2024)
A/YL-SK/331	Proposed Temporary Shop and Services for a Period of 5 Years and Filling of Land	24.6.2022 (Revoked on 24.3.2025)
A/YL-SK/352	Renewal of Planning Approval for Temporary Shop and Services (Motor-vehicle Showroom) for a Period of 3 Years	27.10.2023
A/YL-SK/370	Temporary Shop and Services (Motor-vehicle Showroom) for a Period of 5 Years and Associated Excavation and Filling of Land	10.1.2025
A/YL-SK/385	Proposed Temporary Shop and Services (Motor-vehicle Showroom) for a Period of 5 Years and Associated Filling of Land	20.12.2024

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (LandsD):

- no adverse comment on the application;
- the application site (the Site) comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
- there is no small house application under processing or approved at the Site; and
- advisory comments are in **Appendix IV**.

2. Traffic

Comments of the Commissioner for Transport:

- no adverse comment on the application from traffic engineering perspective; and
- advisory comments are in **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are in **Appendix IV**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- he has no objection in principle to the application as the applicant would maintain the same drainage facilities as those implemented under previous s.16 application No. A/YL-SK/295; and
- should the application be approved, approval conditions should be stipulated requiring the applicant to maintain the existing drainage proposal under s.16 application No. A/YL-SK/295 and to submit records of the existing drainage facilities at the Site to his satisfaction or of the Town Planning Board.

4. Fire Safety

Comments of the Director of Fire Services:

- no objection in principle to the application subject to the fire services installations (FSIs) and water supplies being provided to his satisfaction; and

- advisory comments are in **Appendix IV**.

5. **Environment**

Comments of the Director of Environmental Protection:

- no objection to the application from environmental planning perspective;
- based on the applicant's submission, the proposed use would not generate traffic of heavy vehicles and dusty operation;
- there was no environmental complaint concerning the Site received in the past three years; and
- advisory comments are in **Appendix IV**.

6. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comments on the application from landscape planning perspective;
- with reference to the aerial photo taken in 2025, the Site is situated in an area of rural inland plains landscape character comprising village houses, warehouses, temporary structures, vegetated areas and tree clusters. The Site is fenced-off, hard-paved and occupied by two temporary structures, a small area covered with self-seeded vegetation. The proposed use is considered not entirely incompatible with the landscape character of its surroundings;
- no distinctive landscape resources are observed within the Site. Significant adverse landscape impact arising from the proposed use is not anticipated; and
- advisory comments are in **Appendix IV**.

7. **Railway Protection**

Comments of the Chief Engineer / Railway Development 1-1, Railway Development Office, Highways Department (CE/RD1-1, RDO, HyD):

- no comment from railway development perspective;
- the Site falls within the railway protection boundary of the existing Express Rail Link; and
- advisory comments are in **Appendix IV**.

8. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and

- advisory comments are in **Appendix IV**.

9. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no particular comments on the application; and
- his office has not received any comments from the locals upon close of consultation.

10. Other Departments

The following government departments have no objection to/no adverse comment on the application and their advisory comments, if any, are in **Appendix IV**:

- Director of Agricultural, Fisheries and Conservation;
- Director of Electrical and Mechanical Services;
- Project Manager (West), Civil Engineering and Development Department (CEDD);
- Head of the Geotechnical Engineering Office, CEDD;
- Chief Engineer/Construction, Water Supplies Department; and
- Commissioner of Police.

Recommended Advisory Clauses

**Appendix IV of RNTPC
 Paper No. A/YL-SK/446**

- (a) to resolve any land issues relating to the proposed use with the concerned owner(s) of the application site (the Site);
- (b) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that
 - (i) the following private lot is covered by Short Term Waiver (STW):

STW No.	Lot No. (in D.D. 114)	Purposes
5356	1136 RP	Temporary Shop and Services (Convenience Store)

- (ii) the STW holder(s) will need to apply to his office for modification of the STW conditions where appropriate *to permit the structure(s) erected within the private lot(s) and the lot owner(s) without STW shall apply to his office for STWs to permit the structure(s) erected within the private lot(s) covered by the application.* The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The application(s), if approved, will be subject to such terms and conditions including the payment of wavier fee and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (c) to note the comments of the Commissioner for Transport that:
 - (i) the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
 - (ii) sufficient manoeuvring space shall be provided within the Site; and
 - (iii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (d) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - (i) HyD shall not be responsible for the maintenance of the proposed access connecting the Site and Nam Hing West Road, including the local track, if any; and
 - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;

- (e) to note the comments of the Chief Engineer / Railway Development 1-1, Railway Development Office, HyD that the applicant is advised to consult MTR Corporation Limited with respect to the operation, maintenance, safety and any future works required for the existing railway network;
- (f) to note the comments of the Director of Environmental Protection that:
 - (i) the applicant shall follow the revised “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites”;
 - (ii) the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs);
 - (iii) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed uses; and
 - (iv) the applicant shall meet the statutory requirements under relevant environmental legislation;
- (g) to note the comments of the Director of Fire Services (D of FS) that:
 - (i) the detailed comments on the submitted fire service installations (FSIs) proposals previously provided to the applicant shall be taken into account in the revised FSIs proposal; and
 - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (h) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the application does not imply approval of tree works, if any, such as pruning, transplanting and felling. The applicant/future tenant shall seek comments and approval for any proposed tree works from the maintenance parties and relevant department prior to the commencement of the works;
- (i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
 - (i) it is noted that two structures are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;

- (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iv) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage.
- (j) to note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans to find out whether there is any underground cable within and/or in the vicinity of the concerned site. The applicant is reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines.