

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第S16-I號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

<b>1. Name of Applicant 申請人姓名/名稱</b>	
堅強貨運有限公司	(Company 公司)

<b>2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)</b>

<b>3. Application Site 申請地點</b>	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	新界元朗唐人新村丈量約份第 121 約地段第 551 號(部分)、第 625 號、第 626 號、第 627 號、第 629 號(部分)、第 632 號(部分)及第 635 號(部分)
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 7096 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 3299 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... sq.m 平方米 <input type="checkbox"/> About 約

<p>(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號</p>	<p>唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14</p>
<p>(e) Land use zone(s) involved 涉及的土地用途地帶</p>	<p>「住宅(丁類)」</p>
<p>(f) Current use(s) 現時用途</p>	<p>空置</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>
<p>(g) Additional Information (if applicable) 附加資料 (如適用)</p>	

**4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」**

The applicant 申請人 –

is the sole “current land owner”<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。

is one of the “current land owners”<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。

is not a “current land owner”<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

**5. Statement on Owner's Consent/Notification****就土地擁有人的同意/通知土地擁有人的陳述**

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of "current land owner(s)"<sup>#</sup>.  
 根據土地註冊處截至 ..... (日/月/年) 的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

- (b) The applicant 申請人 –

- has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.

已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified ..... "current land owner(s)"<sup>#</sup>

已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)”<sup>#</sup>& on \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers<sup>&</sup> on \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- posted notice in a prominent position on or near application site/premises<sup>&</sup> on  
\_\_\_\_\_ 06/05/2025 \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ 06/05/2025 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知  
&
- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid  
committee(s)/management office(s) or rural committee<sup>&</sup> on \_\_\_\_\_ 13/05/2025 \_\_\_\_\_ (DD/MM/YYYY)  
於 \_\_\_\_\_ 13/05/2025 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理  
處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.  
Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號  
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

## 6. Type(s) of Application 申請類別

### (A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	擬議臨時貨倉及露天存放建築材料  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年                      3.....  <input type="checkbox"/> month(s) 個月                      .....

(c) <u>Development Schedule</u> 發展細節表		
Proposed uncovered land area 擬議露天土地面積	3962	sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	3134	sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	11	
Proposed domestic floor area 擬議住用樓面面積		sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	3299	sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	3299	sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) 詳情請見附頁。(可參閱：場地設計圖)		
Proposed number of car parking spaces by types 不同種類停車位的擬議數目		
Private Car Parking Spaces 私家車車位	1	
Motorcycle Parking Spaces 電單車車位		
Light Goods Vehicle Parking Spaces 輕型貨車泊車位		
Medium Goods Vehicle Parking Spaces 中型貨車泊車位		
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		
Others (Please Specify) 其他 (請列明)		
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目		
Taxi Spaces 的士車位		
Coach Spaces 旅遊巴車位		
Light Goods Vehicle Spaces 輕型貨車車位		
Medium Goods Vehicle Spaces 中型貨車車位	4	
Heavy Goods Vehicle Spaces 重型貨車車位		
Others (Please Specify) 其他 (請列明)		
Proposed operating hours 擬議營運時間 星期一至星期六上午八時至下午六時，星期日及公眾假期休息。		
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <u>可由朗漢路經一條地區小徑到達申請地點</u>
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)

(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話,請另頁註明可盡量減少可能出現不良影響的措施,否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 <input type="checkbox"/>	Please provide details 請提供詳情 .....	
	No 否 <input checked="" type="checkbox"/>		
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是 <input type="checkbox"/>	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線,以及河道改道、填塘、填土及/或挖土的細節及/或範圍)	
		<input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約	
	No 否 <input checked="" type="checkbox"/>		
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
	_____		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p>
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<b>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas</b> 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ /
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	

<p>(e) Approval conditions 附帶條件</p>	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>_____</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>_____</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
<p>(f) Renewal period sought 要求的續期期間</p>	<p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

可參閱附頁申請理由

## 8. Declaration 聲明 (Applicant 申請人 #1)

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature 簽署  
Signed with recognised e-signature  
Signer: HUI HANG YU  
 Applicant 申請人 /  Authorised Agent 獲授權代理人  
文員.....

Name  
姓名

Position (if applicable)  
職位 (如適用)

Professional Qualification(s) 專業資格  
 Member 會員 /  Fellow of 資深會員

HKIP 香港規劃師學會 /  HKIA 香港建築師學會 /  
 HKIS 香港測量師學會 /  HKIE 香港工程師學會 /  
 HKILA 香港園境師學會 /  HKIUD 香港城市設計學會 /  
 RPP 註冊專業規劃師

Others 其他

On behalf of 代表

堅強貨運有限公司.....

### Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

### Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

### Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:  
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
  - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
  - facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.  
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

<b>Gist of Application 申請摘要</b> (Please provide details in both English and Chinese <u>as far as possible</u> . This part will also be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規畫資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	新界元朗唐人新村丈量約份第 121 約地段第 551 號(部分)、第 625 號、第 626 號、第 627 號、第 629 號(部分)、第 632 號(部分)及第 635 號(部分)		
Site area 地盤面積	7096 sq. m 平方米 <input checked="" type="checkbox"/> About 約  (includes Government land of 包括政府土地                      sq. m 平方米 <input type="checkbox"/> About 約)		
Plan 圖則	唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14		
Zoning 地帶	「住宅(丁類)」		
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規畫許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____		
Applied use/ development 申請用途/發展	擬議臨時貨倉及露天存放建築材料		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	3299 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.46 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不 多於

(ii) No. of blocks 幢數	Domestic 住用	
	Non-domestic 非住用	11
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	9 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
		2 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積	44.17 %	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨 車位數目	Total no. of vehicle parking spaces 停車位總數	1
	Private Car Parking Spaces 私家車車位	1
	Motorcycle Parking Spaces 電單車車位	
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	
	Others (Please Specify) 其他 (請列明)	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	4
	Taxi Spaces 的士車位	
	Coach Spaces 旅遊巴車位	
	Light Goods Vehicle Spaces 輕型貨車車位	
	Medium Goods Vehicle Spaces 中型貨車位	4
	Heavy Goods Vehicle Spaces 重型貨車車位	
	Others (Please Specify) 其他 (請列明)	

**Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件**

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
場地大綱圖、場地位置圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Air Ventilation Assessment 空氣流通評估	<input type="checkbox"/>	<input type="checkbox"/>
Management Plan 管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Social Impact Assessment 社會影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Heritage Impact Assessment	<input type="checkbox"/>	<input type="checkbox"/>
Ecological Impact Assessment 生態影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Conservation Management Plan 保育管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
地政文件	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

## 申請理由

申請地點位於新界元朗唐人新村丈量約份第121約地段第551號(部分)、第625號、第626號、第627號、第629號(部分)、第632號(部分)及第635號(部分)，申請面積為7096平方米，由堅強貨運有限公司提出申請，作為期三年的擬議臨時貨倉及露天存放建築材料，申請地點位於唐人新村分區計劃大綱核准圖編號 (S/YL-TYST/14) 的「住宅(丁類)」地帶內。

申請地點不涉及政府土地，申請地點地型不規則，總面積約 7096 平方米，總樓面面積為約 3299 平方米。政府就洪水橋及廈村的土地已逐步展開收地及發展，收地範圍廣闊，根據立法會發展事務委員會指出，洪水橋及廈村新發展區涉及土地面積約 441 公頃，第一期發展面積為約17公頃土地，第二期發展工程面積約251公頃土地，其餘為餘下發展。

洪水橋及廈村是物流業及貨櫃場雲集地區，周圍多屬露天倉地或貨櫃場地，受影響的營運者多不勝數，每個經營者背負著一個家庭，一個就業機會對於受影響的搬遷戶是十分難得。其中堅強貨運有限公司便是受影響一員，雖說新發展區將提供大量空間作辦公室、零售、酒店及特殊工業等經濟用途，但發展工程需時，數年內營運者仍需就業，故堅強貨運有限公司提出是次規劃申請。(可參閱附件：地政信件)

公司營運方面，堅強貨運有限公司於洪水橋營運的貨倉範圍共55000平方呎，31000平方呎上蓋約及24000平方呎空地，現有申請範圍及樓面面積相約但都比原有場地小。(可參閱附件)

搬遷方面，堅強貨運有限公司收到地政署信件後已開始發掘土地作搬遷，並向發展局及規劃署作出諮詢。團隊曾發掘元朗唐人新村丈量約份第121約地段第755號餘段及第756號餘段(部分)土地作搬遷，於5月16日發電郵諮詢發展局及規劃署，於5月30日收到不合適的結果。(可參閱附件)

於5月30日，團隊再次發出諮詢，地點為：元朗丈量約份第121約地段第551號(部分)、第623號(部分)、第625號(部分)及第627號(部分)。於6月29日，得到結果為合宜作重置貨倉。收到結果後，員工們都認為此地最合適不過，便立刻向城規會遞交申請。

申請地點內不會存放易燃物品，從事工作整齊而簡單，容易還完，能與周圍環境配合。發展項目不含有害廢料或污染物，不會發出氣味，對生態及環境不會帶來任何負面影響。申請人會委託專業管理公司進行管理，實施附帶條件工程設備提供工程及保養，包括渠道系統、消防裝置及現有的邊界圍欄等。管理公司亦會負責環境衛生並按時派專員收集和清理垃圾，噴灑防蚊藥水，確保環境衛生及美觀，相信場地發展後亦能繼續與社區保持和諧。申請人會遵從環保署署長最新發出的《處理臨時用途及露天貯存用地的環境問題作業指引》，盡量減低可能對附近易受影響地方所造成的環境影響。

申請地點發展作臨時貨倉及露天存放建築材料，「露天存放建築材料範圍」佔面積約 660 平方米。另外，內共設 11 個大小不一的構築物，構築物序號：TS1 至 TS11。11 個構築物共佔上蓋面積 3134 平方米，11 個構築物佔場地約 64.80% 的土地。以下為構築物的詳細資料：

構築物序號	上蓋面積 (平方米)	樓面面積 (平方米)	高度 (米)	層數	建築物料	用途
TS1	2299	2299	9	1	金屬搭建	貨倉
TS2	186	186	5	1	金屬搭建	貨倉及辦公室
TS3	110	110	3	1	金屬搭建	貨倉
TS4	110	110	3	1	金屬搭建	貨倉及辦公室
TS5	240	300	6	2	金屬搭建	貨倉及辦公室
TS6	45	45	5	1	金屬搭建	過貨涼棚及及洗手間
TS7	4	4	3	1	金屬搭建	電錶房
TS8	16	16	3	1	金屬搭建	消防泵房
TS9	4	4	3	1	金屬搭建	電錶房
TS10	105	210	6	2	金屬搭建	辦公室
TS11	15	15	3	1	金屬搭建	洗手間

申請地點設有 4 個中型貨車上落貨車位（每個面積 11 米 x 3.5 米）及 1 個私家車泊車位（每個面積 5 米 x 2.5 米），設置上落貨車位以供申請地點所屬的車輛輪候上落貨，作短暫停泊之用。

場地位於元朗唐人新村，出入口（閘門）設於場地東邊。出入口位置寬敞明確，可供消防車之類的緊急車輛進入，並連接朗漢路接駁元朗公路貫通新界道路網絡，方便往來各處。行車通道平坦寬廣且沒有彎位，已平整為混泥土地面，闊度近 12 米，可供駕駛者安全使用。行車通道地段屬私人物業，由場地使用者管理，並非由運輸署。申請前已取得業主同意。行車通道已使用多年，管理、維修及保養等工作由場地使用者與業主共同負責。

朗漢路實況照片



行車通道實況照片



申請地點開放時間為星期一至星期六上午八時至下午六時，星期日及公眾假期休息。必要運輸工作，會安排在日間非繁忙時間進行，晚上不會進行任何運輸工作。由於儲存貨物涉及貴重物品，基於保安考慮，申請地點不歡迎閒雜車輛進入，進入申請地點的車輛都會在進場前由職員預約通知，故不會出現排隊輪候或阻塞公共道路的情況。申請地點有足夠空間供車輛迴轉，可避免車輛以倒車方式進出場地，加上申請地點可以完全控制貨物交收時間。在良好的管理下，不會出現任何交通問題，不會對流浮山及附近交通構成壓力。

總括而言，車輛流量極為穩定。除標題發展所涉及的交通活動外，不會有其他運輸工作。由於進出申請地點的車輛數目極為穩定，故此車輛流量都可在預計之內。以下是申請地點的交通流量預算，詳細如下：

	星期一至六				每小時車輛出入 次數
	中型貨車		私家車		
	入	出	入	出	
08:00 - 09:00	0	0	1	0	1
09:00 - 10:00	0	0	0	0	0
10:00 - 11:00	4	0	0	0	4
11:00 - 12:00	0	4	0	0	4
12:00 - 13:00	0	0	0	1	1
13:00 - 14:00	0	0	1	0	1
14:00 - 15:00	3	0	0	0	3
15:00 - 16:00	0	3	0	0	3
16:00 - 17:00	0	0	0	0	0
17:00 - 18:00	0	0	0	1	1
以上數字為預算車輛進出場地記錄， 假設當天附近地區沒有交通事故，進出場地車輛數量正常。					

此申請獲得通過後，申請人會依足規定，向地政處就場地內上蓋物，進行上蓋牌照申請。此申請發展能提高地區治安警覺性，從而改善環境衛生。在完善管理下，可避免土地荒廢或被人胡亂傾倒泥頭或廢物，減少細菌及蚊蟲滋生的可能。

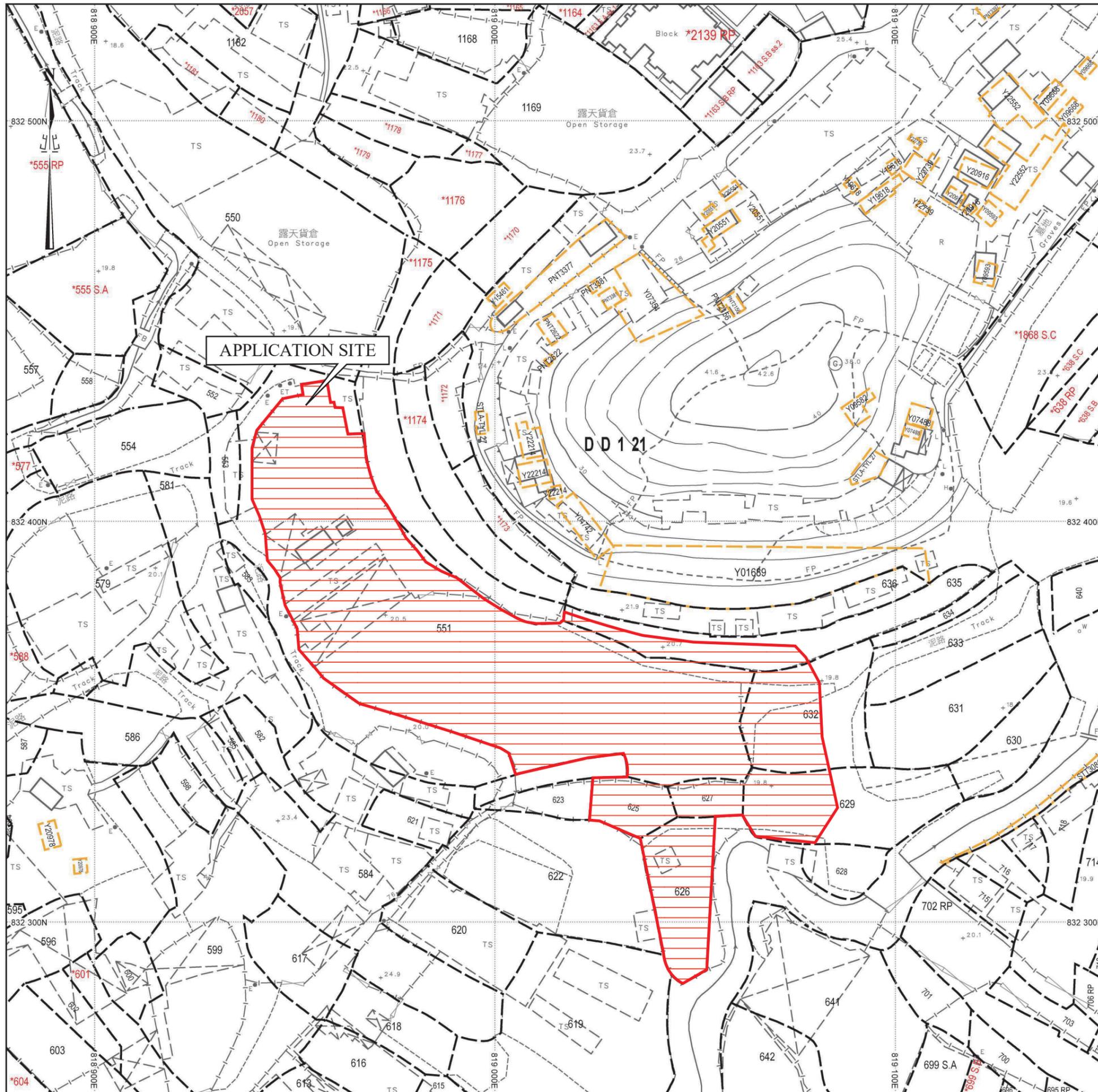
申請地點發展性質為靜態，不會對環境產生噪聲干擾社區。貨物裝卸所產生的音量非常少。另外，此交通流量不會產生交通噪音，對周邊道路網絡沒有不利影響。沒有車輛及工業活動在申請場地內進行，故預計沒有污水和粉塵排放。申請地點內不會存放易燃物品、不存在任何永久建築、不許標題以外的車輛使用，不會進行傾銷、維修、噴油、清洗、拆卸及汽車清潔等可能造成污染的工作。發展項目不會發出氣味，對生態及環境不會帶來任何負面影響。

此申請能有意義及靈活地善用地點資源。此乃屬過渡性質，為政府日後開闢土地帶來方便，發展項目簡單，容易還原，能與周圍環境配合，不存在任何永久建築，與未來規劃方向沒有抵觸，不會影響土地永久用途。申請人承諾會以友善的態度，積極與各政府部門溝通，遵從各方面守則並努力進行多樣紓緩環境影響工程，務求令場地獲得發展後仍不會對周圍環境帶來顯著影響。

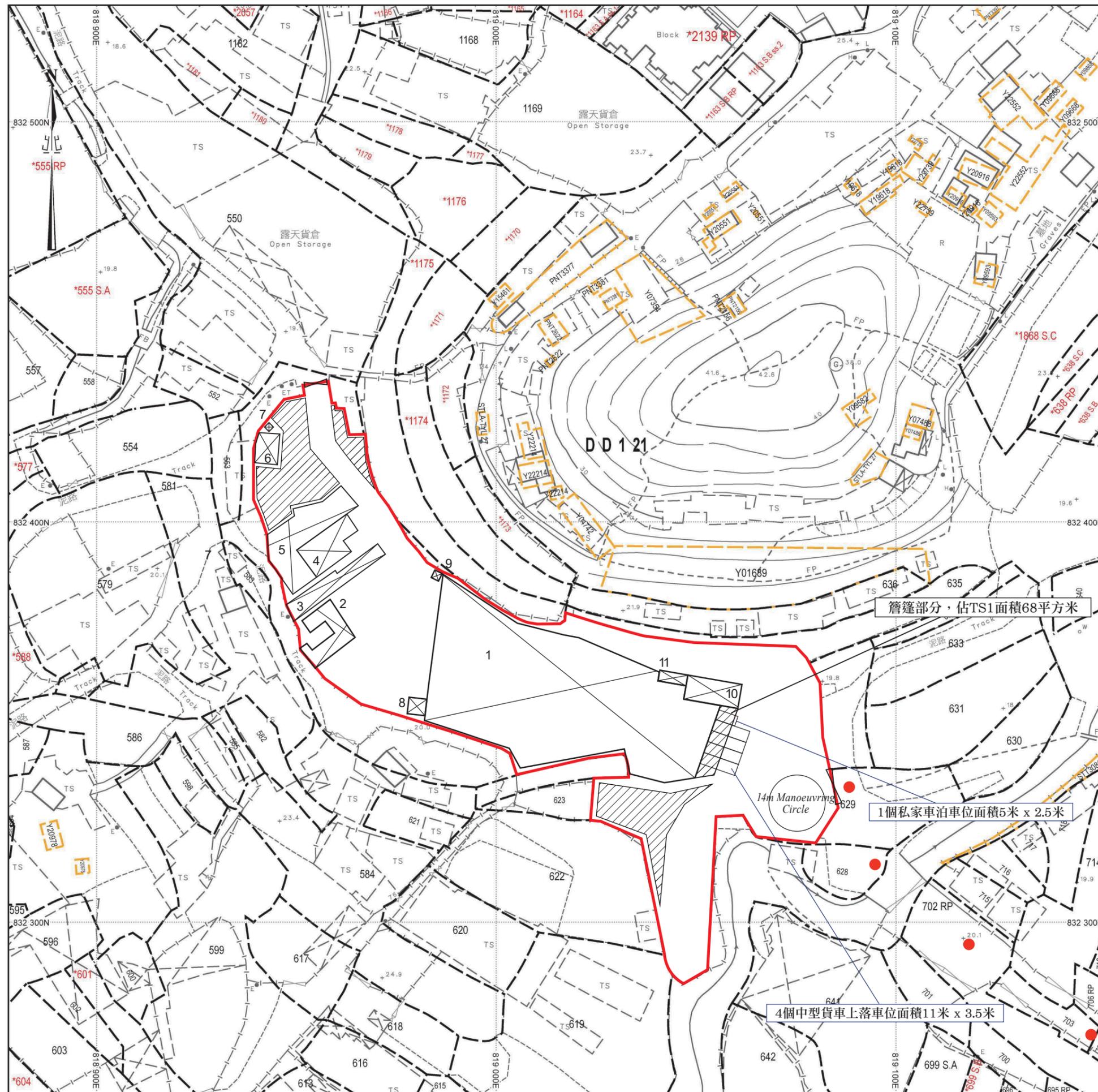
# 場地大綱圖



場地位置圖



SCALE 1 : 1000



### 場地設計圖

- |  |  |
|--|--|
| <p>構築物(1)<br/>用途：貨倉<br/>建築物料：以金屬搭建<br/>高度：約9米<br/>層數：1層<br/>面積：約2299平方米<br/>總樓面面積：約2299平方米</p>   | <p>構築物(7)<br/>用途：電錶房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約4平方米<br/>總樓面面積：約4平方米</p>      |
| <p>構築物(2)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約5米<br/>層數：1層<br/>面積：約186平方米<br/>總樓面面積：約186平方米</p> | <p>構築物(8)<br/>用途：消防泵房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約16平方米<br/>總樓面面積：約16平方米</p>   |
| <p>構築物(3)<br/>用途：貨倉<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約110平方米<br/>總樓面面積：約110平方米</p>     | <p>構築物(9)<br/>用途：電錶房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約4平方米<br/>總樓面面積：約4平方米</p>      |
| <p>構築物(4)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約110平方米<br/>總樓面面積：約110平方米</p> | <p>構築物(10)<br/>用途：辦公室<br/>建築物料：以金屬搭建<br/>高度：約6米<br/>層數：2層<br/>面積：約105平方米<br/>總樓面面積：約210平方米</p> |
| <p>構築物(5)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約6米<br/>層數：2層<br/>面積：約240平方米<br/>總樓面面積：約300平方米</p> | <p>構築物(11)<br/>用途：洗手間<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約15平方米<br/>總樓面面積：約15平方米</p>   |
| <p>構築物(6)<br/>用途：過貨涼棚及洗手間<br/>建築物料：以金屬搭建<br/>高度：約5米<br/>層數：1層<br/>面積：約45平方米<br/>總樓面面積：約45平方米</p> |  |

 露天存放建築材料範圍  
 行車路線  
**SCALE 1 : 1000**

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Edwin Wai Shing YEUNG/PLAND

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寄件者: 陳灝然 [REDACTED]  
寄件日期: 2025年07月30日星期三 18:14  
收件者: tpbpd/PLAND  
副本: Edwin Wai Shing YEUNG/PLAND  
主旨: A/YL-TYST/1326 補充資料  
附件: Form No. S.16-III\_Feb 2023.pdf; 場地設計圖.pdf; 申請理由.pdf  
  
類別: Internet Email

敬啟者

就上述檔案，由於申請地點受元朗南收地影響，申請人現進行澄清。

申請場地位置為：新界元朗唐人新村丈量約份第 121 約地段第 551 號餘段(部分)、第 625 號、第 626 號餘段、第 627 號、第 629 號(部分)、第 632 號(部分)、第 635 號(部分)及毗連政府土地，申請面積為 7096 平方米，包括 48.67 平方米政府土地。

For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories). 請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.info.gov.hk/tpb/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

堅強貨運有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	新界元朗唐人新村丈量約份第121約地段第551號餘段(部分)、第625號、第626號餘段、第627號、第629號(部分)、第632號(部分)、第635號(部分)及毗連政府土地
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 7096 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 3299 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... 48.67 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	新界元朗唐人新村丈量約份第121約地段第551號餘段(部分)、 第625號、第626號餘段、第627號、第629號(部分)、 第632號(部分)、第635號(部分)及毗連政府土地
Site area 地盤面積	7096 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 48.67 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	S/YL-TYST/14
Zoning 地帶	「住宅(丁類)」
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	擬議臨時貨倉及露天存放建築材料

## 申請理由

申請地點位於新界元朗唐人新村丈量約份第121約地段第551號餘段(部分)、第625號、第626號餘段、第627號、第629號(部分)、第632號(部分)、第635號(部分)及毗連政府土地，申請面積為 7096 平方米，包括 48.67 平方米政府土地。由堅強貨運有限公司提出申請，作為期三年的擬議臨時貨倉及露天存放建築材料，申請地點位於唐人新村分區計劃大綱核准圖編號 (S/YL-TYST/14) 的「住宅(丁類)」地帶內。

申請地點地型不規則，總面積約 7096 平方米，總樓面面積為約 3299 平方米。政府就洪水橋及廈村的土地已逐步展開收地及發展，收地範圍廣闊，根據立法會發展事務委員會指出，洪水橋及廈村新發展區涉及土地面積約 441 公頃，第一期發展面積為約 17 公頃土地，第二期發展工程面積約 251 公頃土地，其餘為餘下發展。

洪水橋及廈村是物流業及貨櫃場雲集地區，周圍多屬露天倉地或貨櫃場地，受影響的營運者多不勝數，每個經營者背負著一個家庭，一個就業機會對於受影響的搬遷戶是十分難得。其中堅強貨運有限公司便是受影響一員，雖說新發展區將提供大量空間作辦公室、零售、酒店及特殊工業等經濟用途，但發展工程需時，數年內營運者仍需就業，故堅強貨運有限公司提出是次規劃申請。(可參閱附件：地政信件)

公司營運方面，堅強貨運有限公司於洪水橋營運的貨倉範圍共 55000 平方呎，31000 平方呎上蓋約及 24000 平方呎空地，現有申請範圍及樓面面積相約但都比原有場地小。(可參閱附件)

搬遷方面，堅強貨運有限公司收到地政署信件後已開始發掘土地作搬遷，並向發展局及規劃署作出諮詢。團隊曾發掘元朗唐人新村丈量約份第121約地段第755號餘段及第756號餘段(部分)土地作搬遷，於5月16日發電郵諮詢發展局及規劃署，於5月30日收到不合適的結果。(可參閱附件)

於5月30日，團隊再次發出諮詢，地點為：元朗丈量約份第121約地段第551號(部分)、第623號(部分)、第625號(部分)及第627號(部分)。於6月29日，得到結果為合宜作重置貨倉。收到結果後，員工們都認為此地最合適不過，便立刻向城規會遞交申請。

申請地點內不會存放易燃物品，從事工作整齊而簡單，容易還完，能與周圍環境配合。發展項目不含有害廢料或污染物，不會發出氣味，對生態及環境不會帶來任何負面影響。

申請人會委託專業管理公司進行管理，實施附帶條件工程設備提供工程及保養，包括渠道系統、消防裝置及現有的邊界圍欄等。管理公司亦會負責環境衛生並按時派專員收集和清理垃圾，噴灑防蚊藥水，確保環境衛生及美觀，相信場地發展後亦能繼續與社區保持和諧。申請人會遵從環保署署長最新發出的《處理臨時用途及露天貯存用地的環境問題作業指引》，盡量減低可能對附近易受影響地方所造成的環境影響。

申請地點發展作臨時貨倉及露天存放建築材料，「露天存放建築材料範圍」佔面積約 660 平方米。另外，內共設 11 個大小不一的構築物，構築物序號：TS1 至 TS11。11 個構築物共佔上蓋面積 3134 平方米，11 個構築物佔場地約 64.80% 的土地。以下為構築物的詳細資料：

構築物序號	上蓋面積 (平方米)	樓面面積 (平方米)	高度 (米)	層數	建築物料	用途
TS1	2299	2299	9	1	金屬搭建	貨倉
TS2	186	186	5	1	金屬搭建	貨倉及辦公室
TS3	110	110	3	1	金屬搭建	貨倉
TS4	110	110	3	1	金屬搭建	貨倉及辦公室
TS5	240	300	6	2	金屬搭建	貨倉及辦公室
TS6	45	45	5	1	金屬搭建	過貨涼棚及及洗手間
TS7	4	4	3	1	金屬搭建	電錶房
TS8	16	16	3	1	金屬搭建	消防泵房
TS9	4	4	3	1	金屬搭建	電錶房
TS10	105	210	6	2	金屬搭建	辦公室
TS11	15	15	3	1	金屬搭建	洗手間

申請地點設有 4 個中型貨車上落貨車位（每個面積 11 米 x 3.5 米）及 1 個私家車泊車位（每個面積 5 米 x 2.5 米），設置上落貨車位以供申請地點所屬的車輛輪候上落貨，作短暫停泊之用。

場地位於元朗唐人新村，出入口（閘門）設於場地東邊。出入口位置寬敞明確，可供消防車之類的緊急車輛進入，並連接朗漢路接駁元朗公路貫通新界道路網絡，方便往來各處。行車通道平坦寬廣且沒有彎位，已平整為混凝土地面，闊度近 12 米，可供駕駛者安全使用。行車通道地段屬私人物業，由場地使用者管理，並非由運輸署。

申請前已取得業主同意。行車通道已使用多年，管理、維修及保養等工作由場地使用者與業主共同負責。

朗漢路實況照片



行車通道實況照片



申請地點開放時間為星期一至星期六上午八時至下午六時，星期日及公眾假期休息。必要運輸工作，會安排在日間非繁忙時間進行，晚上不會進行任何運輸工作。由於儲存貨物涉及貴重物品，基於保安考慮，申請地點不歡迎閒雜車輛進入，進入申請地點的車輛都會在進場前由職員預約通知，故不會出現排隊輪候或阻塞公共道路的情況。申請地點有足夠空間供車輛迴轉，可避免車輛以倒車方式進出場地，加上申請地點可以完全控制貨物交收時間。在良好的管理下，不會出現任何交通問題，不會對流浮山及附近交通構成壓力。

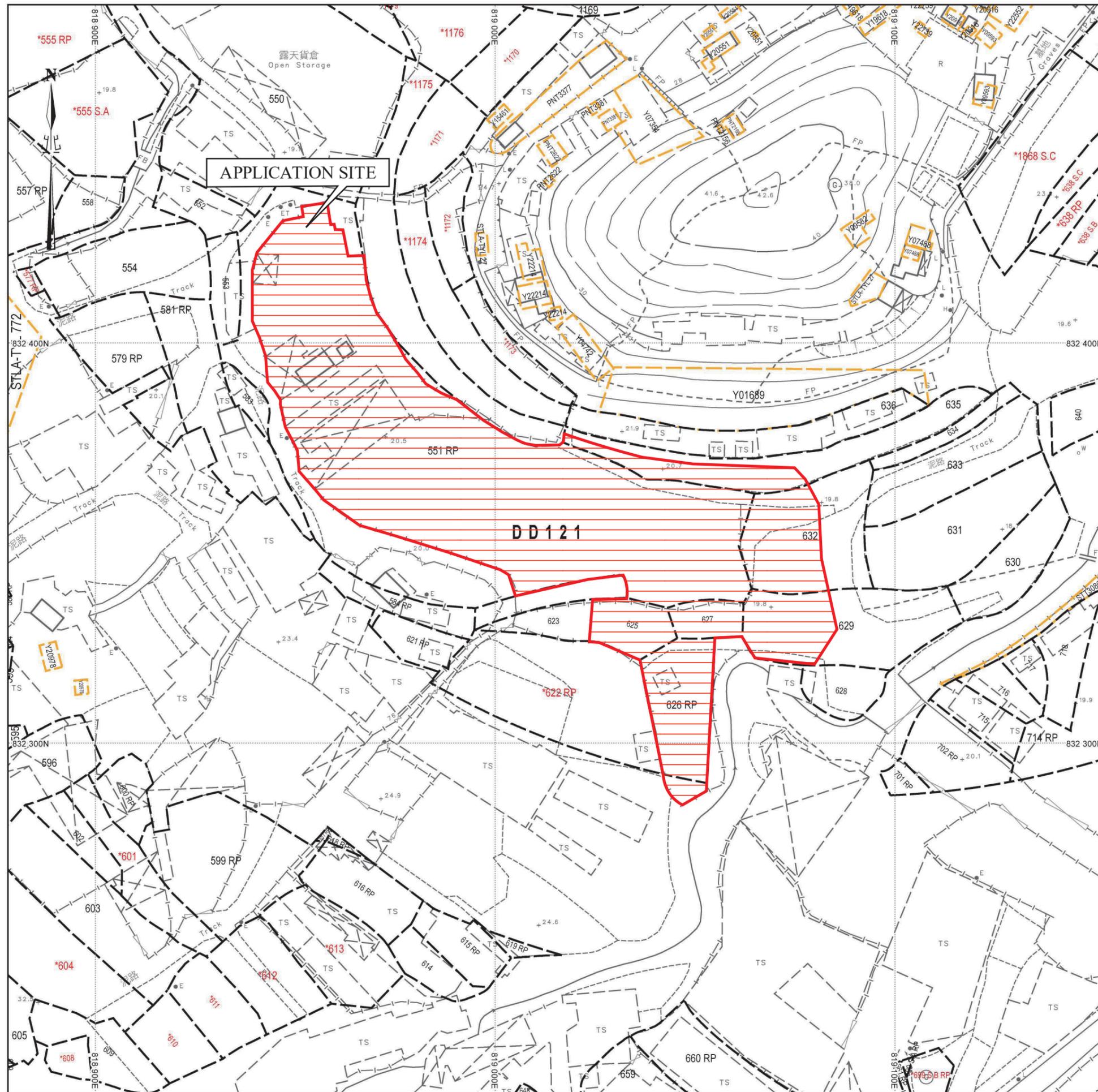
總括而言，車輛流量極為穩定。除標題發展所涉及的交通活動外，不會有其他運輸工作。由於進出申請地點的車輛數目極為穩定，故此車輛流量都可在預計之內。以下是申請地點的交通流量預算，詳細如下：

	星期一至六				每小時車輛出入 次數
	中型貨車		私家車		
	入	出	入	出	
08:00 - 09:00	0	0	1	0	1
09:00 - 10:00	0	0	0	0	0
10:00 - 11:00	4	0	0	0	4
11:00 - 12:00	0	4	0	0	4
12:00 - 13:00	0	0	0	1	1
13:00 - 14:00	0	0	1	0	1
14:00 - 15:00	3	0	0	0	3
15:00 - 16:00	0	3	0	0	3
16:00 - 17:00	0	0	0	0	0
17:00 - 18:00	0	0	0	1	1
以上數字為預算車輛進出場地記錄， 假設當天附近地區沒有交通事故，進出場地車輛數量正常。					

此申請獲得通過後，申請人會依足規定，向地政處就場地內上蓋物，進行上蓋牌照申請。此申請發展能提高地區治安警覺性，從而改善環境衛生。在完善管理下，可避免土地荒廢或被人胡亂傾倒泥頭或廢物，減少細菌及蚊蟲滋生的可能。

申請地點發展性質為靜態，不會對環境產生噪聲干擾社區。貨物裝卸所產生的音量非常少。另外，此交通流量不會產生交通噪音，對周邊道路網絡沒有不利影響。沒有車輛及工業活動在申請場地內進行，故預計沒有污水和粉塵排放。申請地點內不會存放易燃物品、不存在任何永久建築、不許標題以外的車輛使用，不會進行傾銷、維修、噴油、清洗、拆卸及汽車清潔等可能造成污染的工作。發展項目不會發出氣味，對生態及環境不會帶來任何負面影響。

此申請能有意義及靈活地善用地點資源。此乃屬過渡性質，為政府日後開闢土地帶來方便，發展項目簡單，容易還原，能與周圍環境配合，不存在任何永久建築，與未來規劃方向沒有抵觸，不會影響土地永久用途。申請人承諾會以友善的態度，積極與各政府部門溝通，遵從各方面守則並努力進行多樣紓緩環境影響工程，務求令場地獲得發展後仍不會對周圍環境帶來顯著影響。



場地位置圖

SCALE 1 : 1000



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Edwin Wai Shing YEUNG/PLAND

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寄件者: 陳灝然 [REDACTED]  
寄件日期: 2025年09月15日星期一 12:30  
收件者: tpbpd/PLAND  
副本: Edwin Wai Shing YEUNG/PLAND  
主旨: 有關A/YL-TYST/1326補充資料  
附件: 場地設計圖.pdf  
  
類別: Internet Email

敬啟者

有關上述檔案現提供補充資料及作進一步澄清。

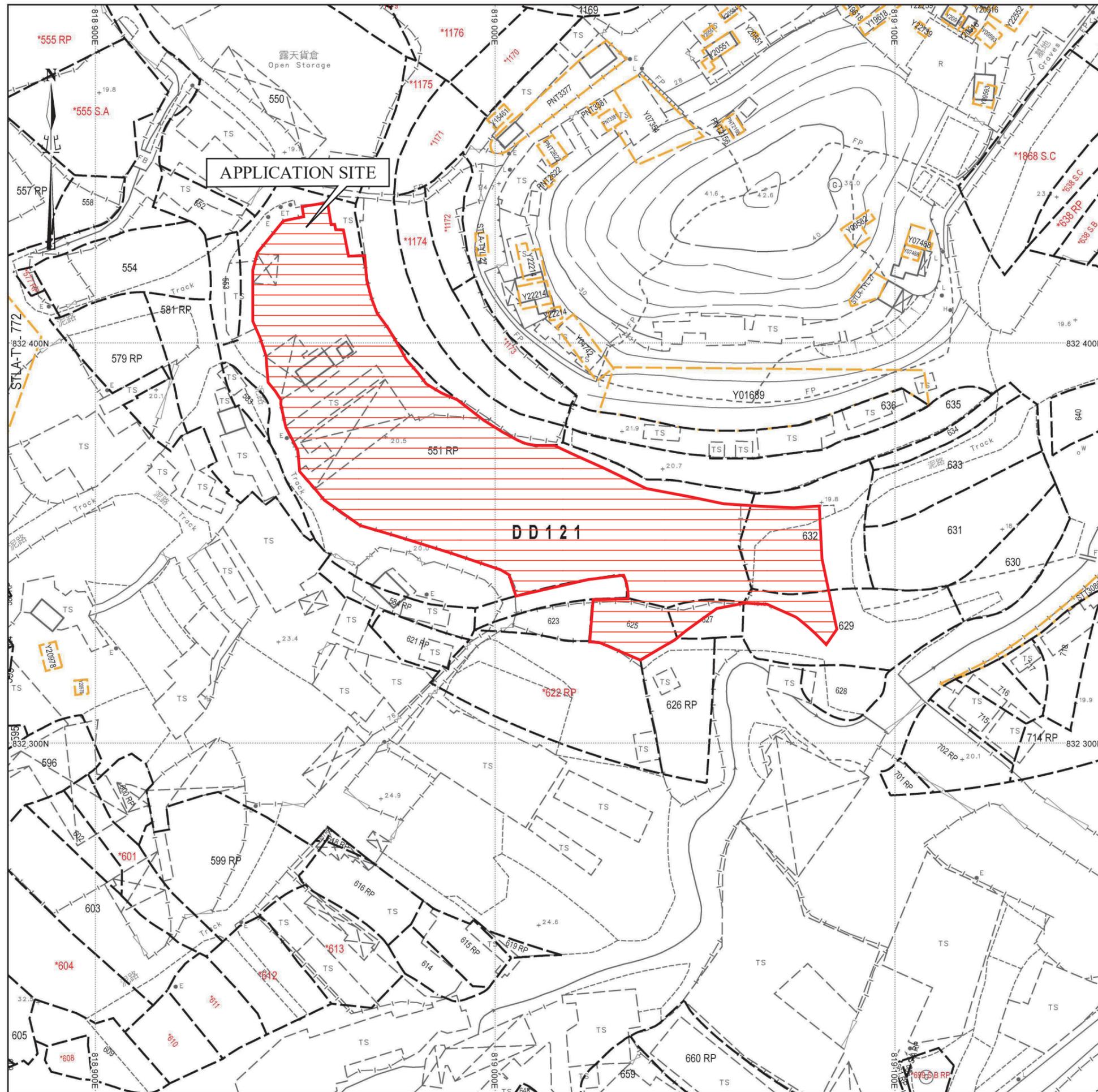
申請地點位於新界元朗唐人新村丈量約份第 121 約地段第 551 號餘段(部分)、第 625 號、第 627 號(部分)、第 629 號(部分) 及第 632 號(部分)，不涉及政府土地。由於原本的申請範圍涉及元朗南綠化地帶的發展，因此場地發展參數有改動。

申請面積由 7096 平方米改為 5734 平方米。申請地點發展作臨時貨倉及露天存放建築材料，「露天存放建築材料範圍」由原本佔面積 660 平方米改為 600 平方米。(可參閱場地設計圖)

此申請地點曾批給一個規劃申請，但最終被撤銷。規劃申請：A/YL-TYST/1234，用途：擬議臨時貨倉及露天存放建築材料（為期 3 年），於 10/11/2023 批給至 10/05/2025 被撤銷，因未能完成附帶條件：提交排水建議、落實排水建議、提交消防裝置建議及落實消防裝置建議。

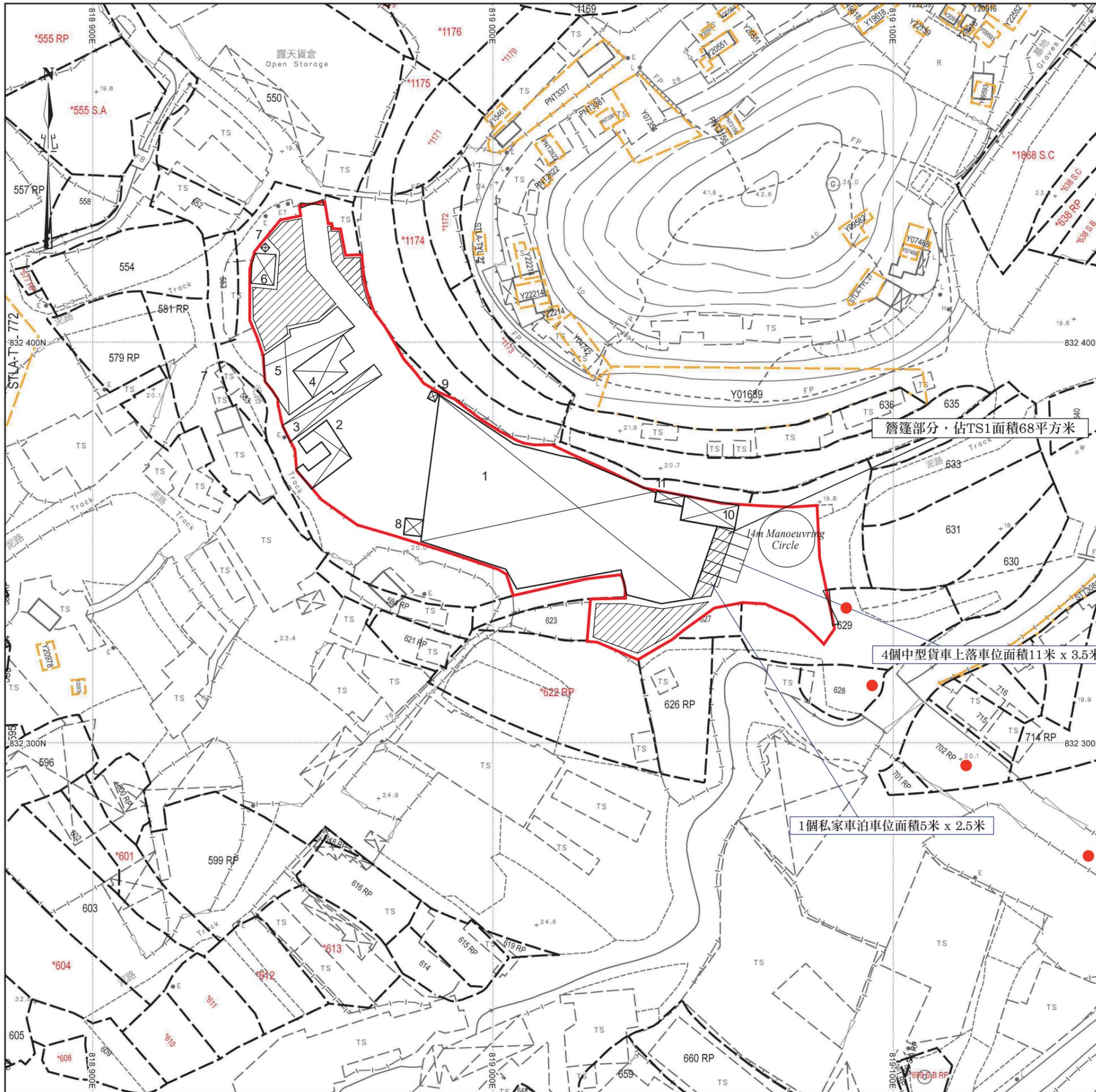
排水方面，由於場地範圍頗大，計算流量的部分較複雜，申請人已盡力修改建議，但都不獲部門接納。另外，消防方面，申請人希望改變佈局圖以增加場地範圍及擴大構築物，因此規劃批給其間一直與其他業主商談，因此建議一直遲遲未落實。

申請人承諾是次規劃申請定會做好所有附帶條件。



場地位置圖

SCALE 1 : 1000



### 場地設計圖

- |  |  |
|--|--|
| <p>構築物(1)<br/>用途：貨倉<br/>建築物料：以金屬搭建<br/>高度：約9米<br/>層數：1層<br/>面積：約2299平方米<br/>總樓面面積：約2299平方米</p>   | <p>構築物(7)<br/>用途：電錶房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約4平方米<br/>總樓面面積：約4平方米</p>      |
| <p>構築物(2)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約5米<br/>層數：1層<br/>面積：約186平方米<br/>總樓面面積：約186平方米</p> | <p>構築物(8)<br/>用途：消防泵房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約16平方米<br/>總樓面面積：約16平方米</p>   |
| <p>構築物(3)<br/>用途：貨倉<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約110平方米<br/>總樓面面積：約110平方米</p>     | <p>構築物(9)<br/>用途：電錶房<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約4平方米<br/>總樓面面積：約4平方米</p>      |
| <p>構築物(4)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約110平方米<br/>總樓面面積：約110平方米</p> | <p>構築物(10)<br/>用途：辦公室<br/>建築物料：以金屬搭建<br/>高度：約6米<br/>層數：2層<br/>面積：約105平方米<br/>總樓面面積：約210平方米</p> |
| <p>構築物(5)<br/>用途：貨倉及辦公室<br/>建築物料：以金屬搭建<br/>高度：約6米<br/>層數：2層<br/>面積：約240平方米<br/>總樓面面積：約300平方米</p> | <p>構築物(11)<br/>用途：洗手間<br/>建築物料：以金屬搭建<br/>高度：約3米<br/>層數：1層<br/>面積：約15平方米<br/>總樓面面積：約15平方米</p>   |
| <p>構築物(6)<br/>用途：過貨涼棚及洗手間<br/>建築物料：以金屬搭建<br/>高度：約5米<br/>層數：1層<br/>面積：約45平方米<br/>總樓面面積：約45平方米</p> |  |

/// 露天存放建築材料範圍

● ● ● 行車路線

SCALE 1 : 1000

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

Edwin Wai Shing YEUNG/PLAND

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寄件者: [REDACTED]  
寄件日期: 2026年01月07日星期三 11:14  
收件者: tpbpd/PLAND  
副本: Edwin Wai Shing YEUNG/PLAND  
主旨: A/YL-TYST/1326補充資料  
附件: DD121 LOT551唐人新村 FS Drawing 16092025.pdf; 搬遷戶原址位置.pdf; A-YL-TYST-1326 Drainage Proposal 7-1-2026.pdf  
  
類別: Internet Email

敬啟者

此電郵取代今日 09:14 發出的電郵。

有關上述檔案現提供補充資料。

發展局

搬遷戶原址為：

DD125 LOT 1490RP、1492RP(部份)、1503RP(部份)、1505S.A (部份)、1505RP(部份)、1506 (部份)、1512、1513 (部份)、1514 (部份)、1520 (部份)、1521 (部份)、1522。

附件為搬遷戶原址位置圖。

消防署

附件為消防建議。

渠務署

附件為渠務建議。

環保署

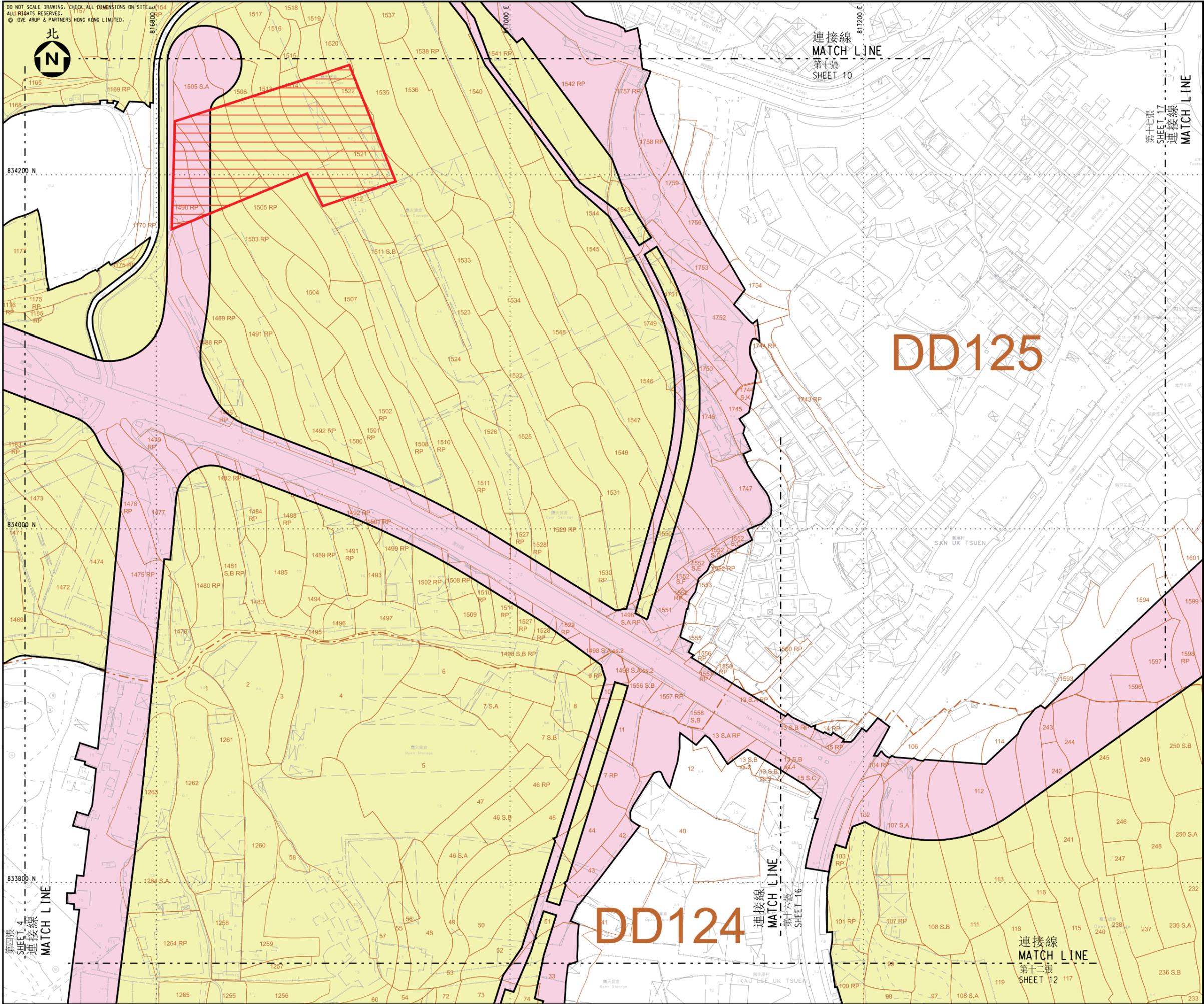
第一，場地存放的建築材料包括：磚石、玻璃、水泥等，不會產生塵埃，不會對環境有影響。



Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

第二，場地洗手間是臨時式廁所，會有便槽，便槽底部空間供儲存糞便，儲存容量為 600 升。作業者會定期聘請專業技術人員進行吸糞工作，所有污水皆獨立儲存在流動洗手間內。

DO NOT SCALE DRAWING. CHECK ALL DIMENSIONS ON SITE.  
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搬遷戶原址位置

DD125

DD124

連接線  
MATCH LINE  
第十張  
SHEET 10

第十七張  
SHEET 17  
連接線  
MATCH LINE

第十六張  
SHEET 16  
連接線  
MATCH LINE

第十二張  
SHEET 12  
連接線  
MATCH LINE

第四張  
SHEET 4  
連接線  
MATCH LINE

F. S. NOTES:

1. GENERAL

- 1.1 FIRE SERVICE INSTALLATIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE CODES OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATIONS AND EQUIPMENT AND INSPECTION, TESTING AND MAINTENANCE OF INSTALLATIONS AND EQUIPMENT 2022 (COP 2022), FSD CIRCULAR LETTERS AND THE HONG KONG WATERWORKS STANDARD REQUIREMENTS.
- 1.2 ALL TUBES AND FITTINGS SHALL BE G.M.S. TO BS1387 MEDIUM GRADE WHERE PIPEWORK UP TO Ø150mm.
- 1.3 ALL TUBES AND FITTINGS SHALL BE DUCTILE IRON TO BS EN545 K12 WHERE PIPEWORK ABOVE Ø150mm.
- 1.4 ALL DRAIN PIPES SHALL BE DISCHARGED TO A CONSPICUOUS POSITION WITHOUT THE POSSIBILITY OF BEING SUBMERGED.
- 1.5 ALL PUDDLE FLANGES SHALL BE MADE OF DUCTILE IRON
- 1.6 SMOKE EXTRACTION SYSTEM(S) SHALL NOT BE PROVIDED AS THE AGGREGATE AREA OF OPERABLE WINDOW OF STRUCTURE EXCEEDS 6.25% OF THE FLOOR AREA OF THE COMPARTMENT.
- 1.7 VENTILATION/AIR CONDITIONING SYSTEM NOT TO BE PROVIDED.

2. HOSE REEL SYSTEM

- 2.1 NEW FIRE HOSE REEL SHALL BE PROVIDED AS INDICATED ON PLAN TO ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30m HOSE REEL TUBING.
- 2.2 THE WATER SUPPLY FOR HOSE REEL SYSTEM WILL BE FED FROM A NEW 2m³ F.S. FIBREGLASS WATER TANK VIA TWO HOSE REEL PUMPS (DUTY/STANDBY) LOCATED INSIDE FS PUMP ROOM AT EXTERNAL AREA.
- 2.3 HOSE REEL PUMPS SHALL BE STARTED BY ACTUATION OF ANY BREAKGLASS UNIT FITTED ASIDE EACH HOSE REEL SETS
- 2.4 ALL FIRE HOSE REEL OUTLETS SHOULD BE HOUSED IN GLASS FRONTED CABINET SECURED UNDER LOCK & KEY.
- 2.5 ALL FIRE HOSE REEL SHOULD BE PROVIDED WITH FSD APPROVED TYPE INSTRUCTION PLATE & WSD WARNING PLATE
- 2.6 SECONDARY ELECTRICITY SUPPLY DIRECTLY TEE OFF BEFORE CLP'S INCOMING MAIN SWITCH SHALL BE PROVIDED FOR THE FH/HR PUMPS.

3. AUTOMATIC SPRINKLER SYSTEM

- 3.1 NEW AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12845: 2015 (INCLUDING TECHNICAL BULLETINS, NOTES, COMMENTAR AND RECOMMENDATIONS) AND FSD CIRCULAR LETTER NO. 5/2020. THE CLASSIFICATION OF THE OCCUPANCIES WILL BE ORDINARY HAZARD GROUP III.
- 3.2 ONE NEW 135m³ SPRINKLER WATER TANK WILL BE PROVIDED AS INDICATED ON PLAN. THE TOWN MAIN WATER SUPPLY WILL BE FED FROM SINGLE END.
- 3.3 TWO NEW SPRINKLER PUMPS (DUTY/STANDBY) AND ONE JOCKEY PUMP SHALL BE PROVIDED IN FS PUMP ROOM LOCATED AT EXTERNAL AREA.
- 3.4 NEW SPRINKLER CONTROL VALVE SET AND SPRINKLER INLET SHALL BE PROVIDED AS INDICATED ON PLAN.
- 3.5 A TEST VALVE SHALL BE PROVIDED FOR EACH ZONE OF SPRINKLER PIPE. THIS VALVE SHALL BE AT A CONSPICUOUS POSITION THAT WATER CAN BE DRAINED AWAY EASILY.
- 3.6 ALL SUBSIDIARY STOP VALVES TO BE ELECTRIC MONITORING TYPE.
- 3.7 ALL ELECTRIC TYPE VALVES SHOULD GIVE VISUAL SIGNALS TO FIRE SERVICE MAIN SUPERVISORY CONTROL PANEL TO INDICATE THE STATUS (OPEN/CLOSE) OF THE VALVES.
- 3.8 SECONDARY ELECTRICITY SUPPLY DIRECTLY TEE OFF BEFORE CLP'S INCOMING MAIN SWITCH SHALL BE PROVIDED FOR THE SPRINKLER PUMPS.
- 3.9 THE SPRINKLER SYSTEM DESIGN IS BASED ON THE FOLLOWINGS:  
 HAZARD CLASS : ORDINARY HAZARD GROUP III  
 TYPE OF STORAGE : POST-PALLET (ST2)  
 STORAGE CATEGORY : CATEGORY I  
 MAXIMUM STORAGE HEIGHT : 3.5m  
 SPRINKLER PROTECTION : CEILING PROTECTION ONLY  
 THE MAXIMUM STORAGE AREAS SHALL BE 50m² FOR SINGLE BLOCK  
 THE MINIMUM CLEARANCE AROUND EACH SINGLE STORAGE CLOCK : 2.4m

4. FIRE ALARM SYSTEM

- 4.1 NEW FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH BS 5839-1:2017 AND FSD CIRCULAR LETTERS NO. 6/2021.
- 4.2 NEW BREAKGLASS UNITS AND FIRE ALARM BELLS SHALL BE PROVIDED AT ALL NEW FIRE HOSE REEL POINTS. THE FIRE ALARM INTALLATION WILL BE INTEGRATED WITH THE HOSE REEL SYSTEM.

5. EMERGENCY LIGHTING

- 5.1 EMERGENCY LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH "BS 5266-1 :2016 AND BS EN 1838 :2013", AND THE FSD CIRCULAR LETTER NO. 4/2021, COVERING ALL AREA. EMERGENCY LIGHTINGS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE

6. EXIT SIGN

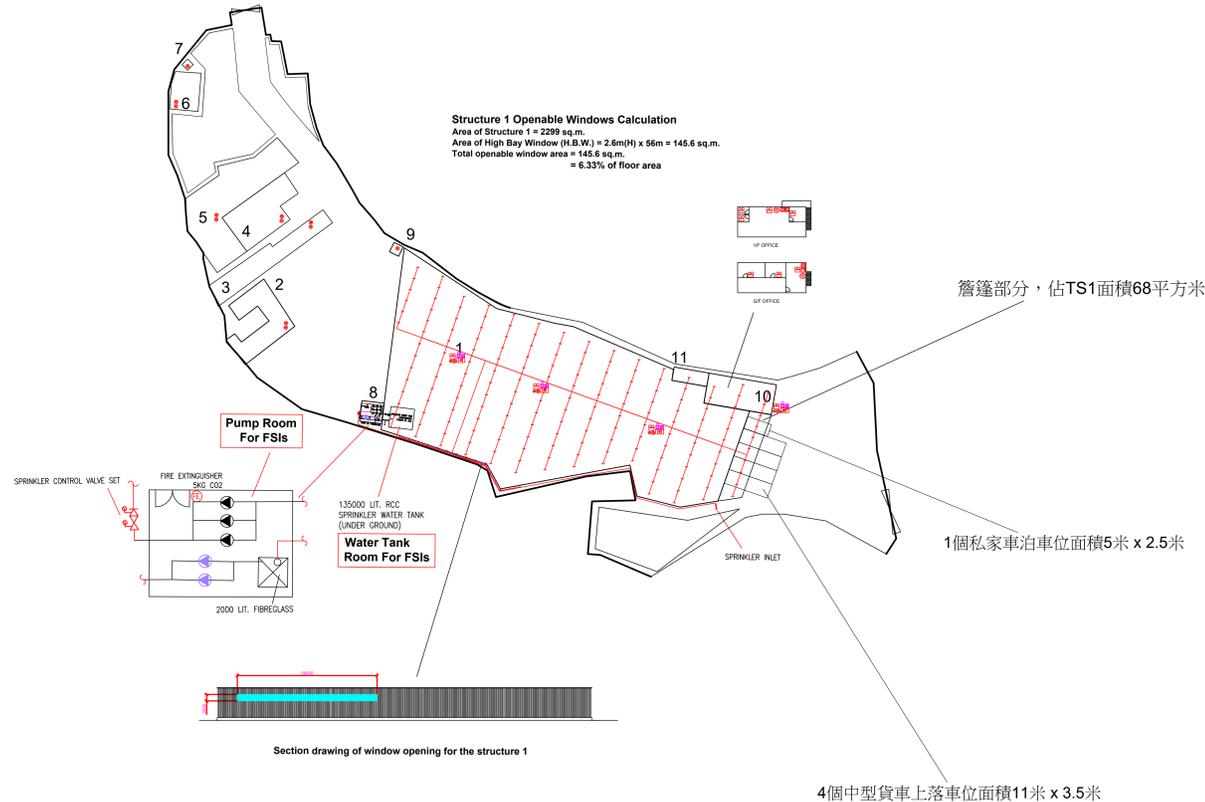
- 6.1 ALL EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH BS 5266-1 :2016 AND FSD CIRCULAR LETTER NO. 5/2008, FOR THE BUILDING. EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE.

7. PORTABLE APPLIANCES

- 7.1 PORTABLE HAND OPERATED APPLIANCES SHALL BE PROVIDED AS INDICATED ON PLAN.

LEGEND

HOSE REEL	EMERGENCY LIGHT	5KG CO2 FIRE EXTINGUISHER	SPRINKLER CONTROL VALVE SET	PUMP SET	PRESSURE GAUGE
BREAK GLASS UNIT	EXIT SIGN	VISUAL FIRE ALARM	GATE VALVE	Y-TYPE STRAINER	SPRINKLER HEAD (ON PLAN)
FIRE ALARM BELL	NON-RETURN VALVE	SUBSIDIARY VALVE / FLOW SWITCH	GATE TYPE (With MONITORING)	SPRINKLER INLET	5KG DRY POWDER FIRE EXTINGUISHER



場地設計圖

構築物(1)  
 用途：貨倉  
 建築物料：以金屬搭建  
 高度：約9米  
 層數：1層  
 面積：約2299平方米  
 總樓面面積：約2299平方米

構築物(7)  
 用途：電錶房  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約4平方米  
 總樓面面積：約4平方米

構築物(2)  
 用途：貨倉及辦公室  
 建築物料：以金屬搭建  
 高度：約5米  
 層數：1層  
 面積：約186平方米  
 總樓面面積：約186平方米

構築物(8)  
 用途：消防泵房  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約16平方米  
 總樓面面積：約16平方米

構築物(3)  
 用途：貨倉  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約110平方米  
 總樓面面積：約110平方米

構築物(9)  
 用途：電錶房  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約4平方米  
 總樓面面積：約4平方米

構築物(4)  
 用途：貨倉及辦公室  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約110平方米  
 總樓面面積：約110平方米

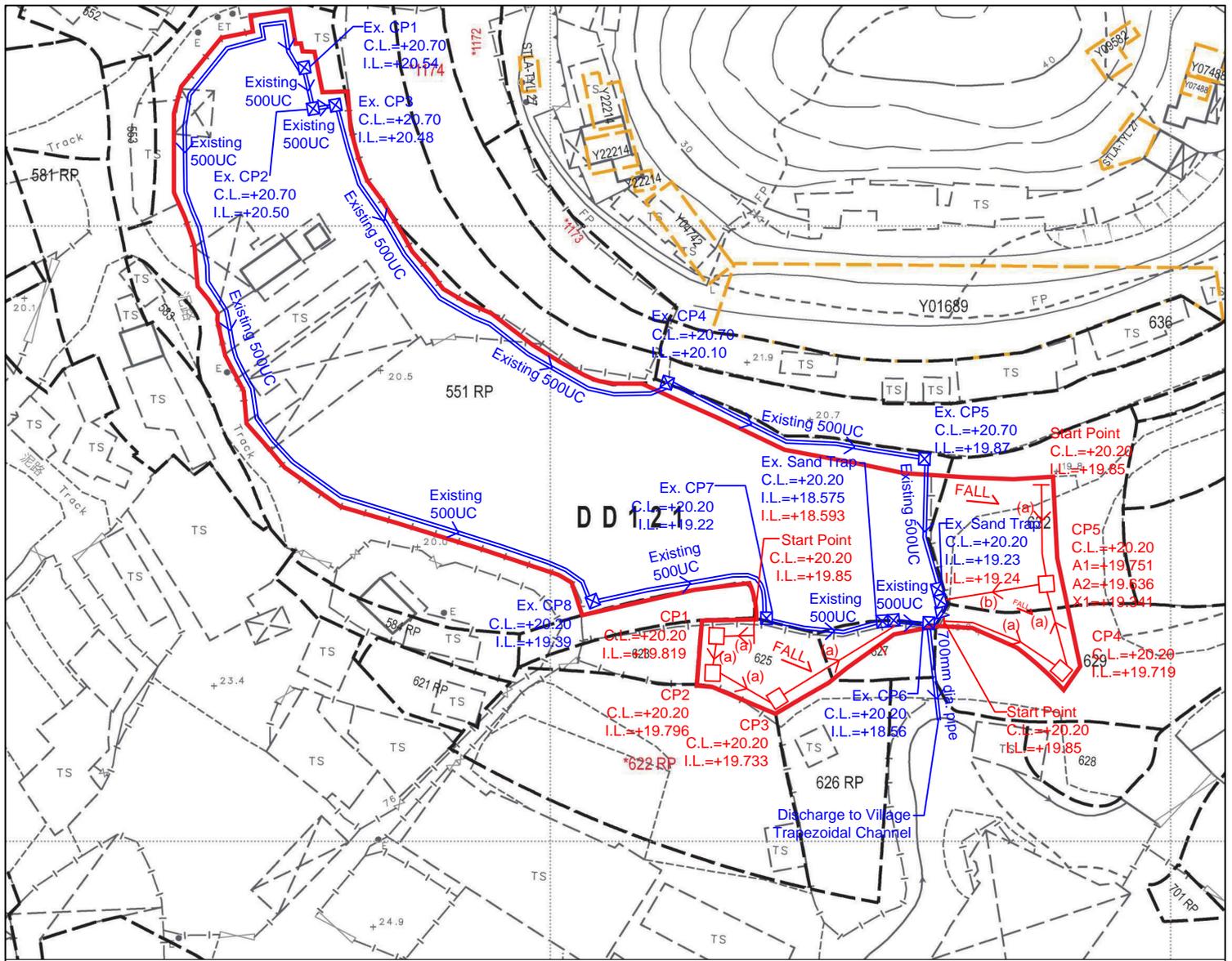
構築物(10)  
 用途：辦公室  
 建築物料：以金屬搭建  
 高度：約6米  
 層數：2層  
 面積：約105平方米  
 總樓面面積：約210平方米

構築物(5)  
 用途：貨倉及辦公室  
 建築物料：以金屬搭建  
 高度：約6米  
 層數：2層  
 面積：約240平方米  
 總樓面面積：約300平方米

構築物(11)  
 用途：洗手間  
 建築物料：以金屬搭建  
 高度：約3米  
 層數：1層  
 面積：約15平方米  
 總樓面面積：約15平方米

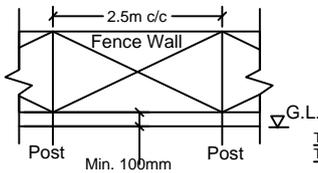
構築物(6)  
 用途：過貨涼棚及洗手間  
 建築物料：以金屬搭建  
 高度：約5米  
 層數：1層  
 面積：約45平方米  
 總樓面面積：約45平方米

PROJECT : LOT 551 (PART) IN D.D. 121, TONG TAN SAN TSUEN, YUEN LONG, NEW TERRITORIES	DRAWING TITLE : <b>F.S. Notes, Legend, Fire Service Installation Layout Plan</b>	ARCHITECT :	CONSULTANT :	FIRE SERVICE CONTRACTOR : <b>Century Fire Service Engineering Co., Ltd.</b>	NAME C.K.NG	DATE 16 Sep 2025	DRAWING NO : <b>FS-01</b>	REV. <b>0</b>
	REV	DESCRIPTION	DATE		DRAWN BY	CHECKED BY	APPROVED BY	SCALE : 1 : 1000 (A0)
								SOURCE : B.O.O. Ref. BD F.S.D. Ref. FP



- Note:**
1. This Drainage Proposal is designed based on the Drainage Proposal for Planning Application A/YL-TYST/1234 (as attached in Appendix A).
  2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
  3. Fence wall, if any, shall be of open-bottom type to avoid blocking of overland flow.

- LEGEND**
- Ex.CP Existing CatchPit
  - Existing 500UC /700mm dia. pipe
  - Under Planning Application A/YL-TYST/1234
  - CP Proposed CatchPit
  - (a) Proposed 300UC (1:150) with Cast Iron Cover
  - (b) Proposed 300mm dia. concrete pipe (1:150)



<h1>正宏工程顧問公司</h1> <p>CHING WAN ENGINEERING CONSULTANT COMPANY</p>	<b>Title:</b> Drainage Proposal - LAYOUT <span style="float: right;">D01</span>	
	<b>Drawn by:</b> DM	<b>Date:</b> 7-1-2026
<b>Project:</b> Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 551 RP (Part), 625, 626 RP, 627, 629 (Part), 632 (Part) and 635 (Part) in D.D.121 and adjoining Government Land, Tong Yan San Tsuen, Yuen Long, New Territories (Application No.:A/YL-TYST/1326)	<b>Check by:</b> DM	<b>Scale:</b> ----

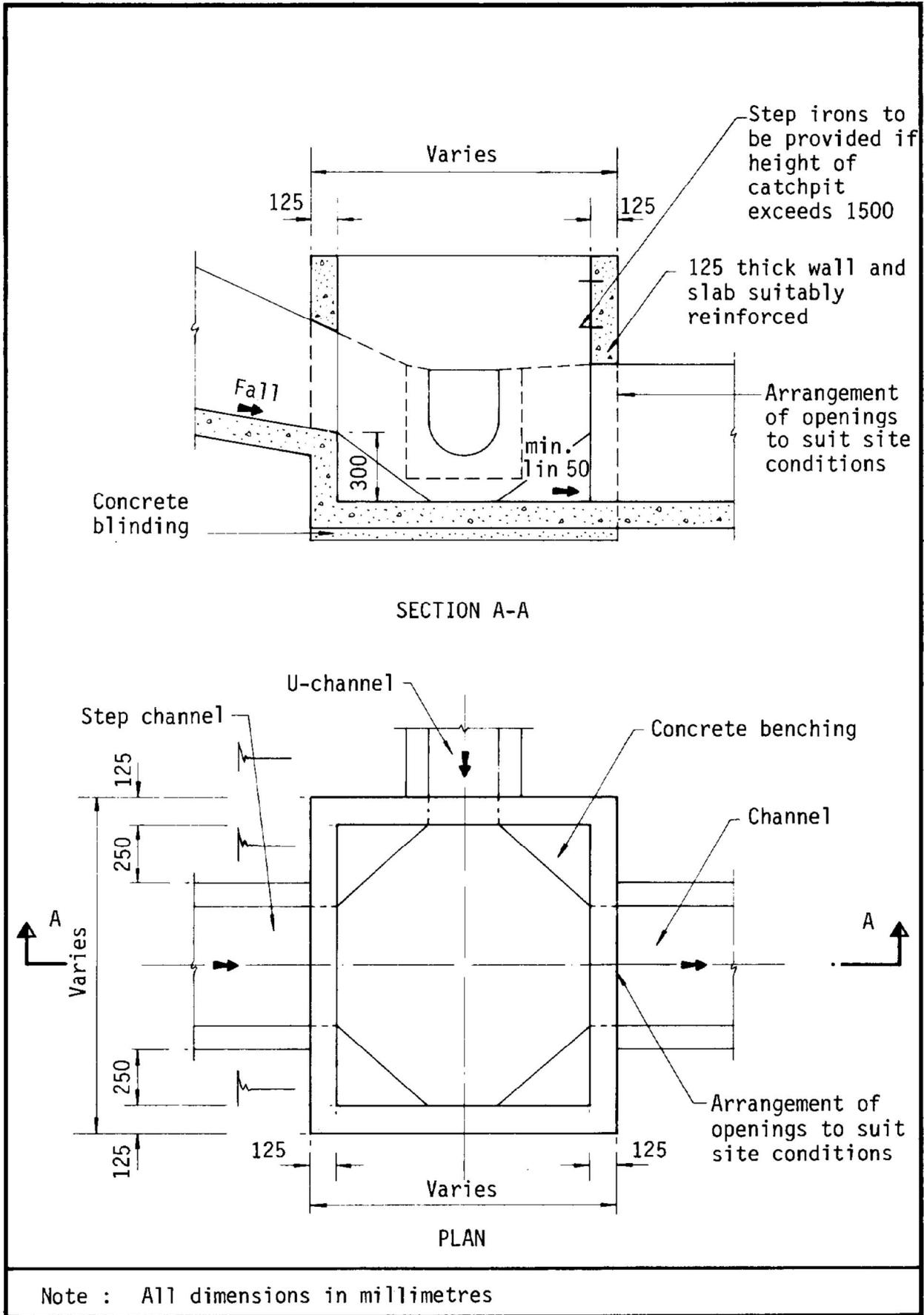
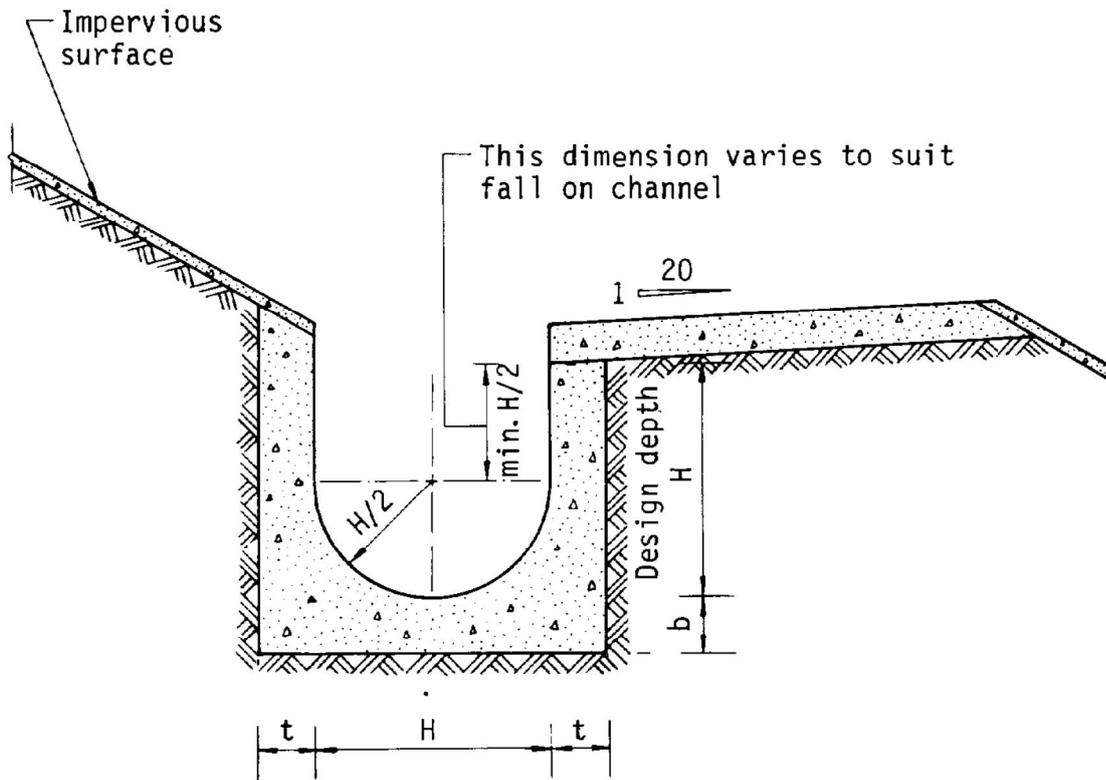


Figure 8.10 - Typical Details of Catchpits

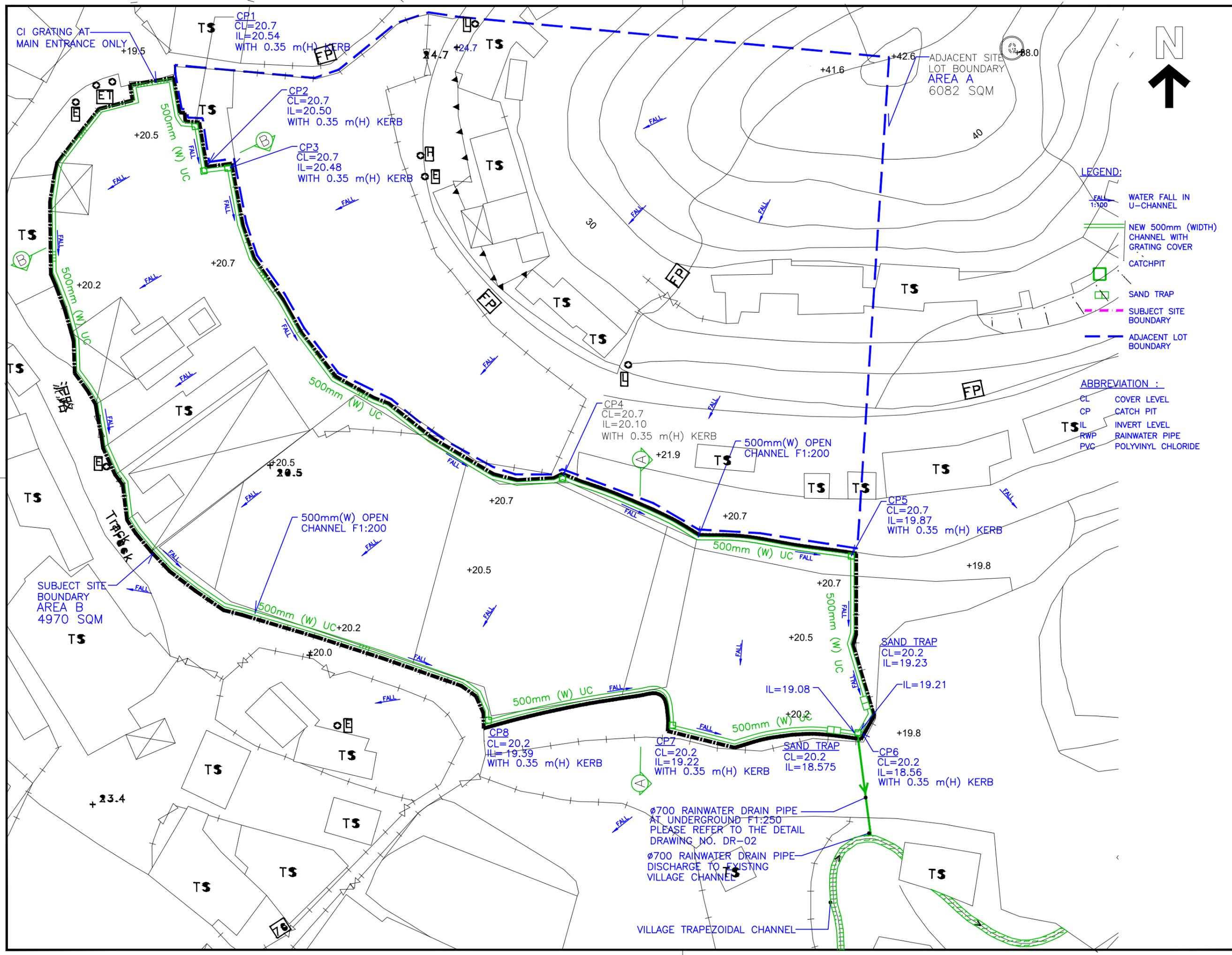


Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

Appendix A  
Drainage Proposal for Planning Application  
A/YL-TYST/1234



B.D. REF.  
F.S.D. REF.

N  
↑

**LEGEND:**

- WATER FALL IN U-CHANNEL
- NEW 500mm (WIDTH) CHANNEL WITH GRATING COVER
- CATCHPIT
- SAND TRAP
- SUBJECT SITE BOUNDARY
- ADJACENT LOT BOUNDARY

**ABBREVIATION :**

- CL COVER LEVEL
- CP CATCH PIT
- IL INVERT LEVEL
- RWP RAINWATER PIPE
- PVC POLYVINYL CHLORIDE

REV.	DATE	DESCRIPTION
-	04/24	1ST SUBMISSION

MAIN CONTRACTOR

ROOM 603, FORTUNE COMMERCIAL BUILDING,  
362 SHA TSUI ROAD, TSUEN WAN, N.T.  
TEL : 2185 7388 FAX : 3740 0255

PROJECT  
PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS  
LOT 551 (PART) IN D.D. 121, TONG YAN SAN TSUEN, YUEN LONG, NEW TERRITORIES

DRAWING TITLE  
**DRAINAGE LAYOUT PLAN OF G/F**

DRAWN BY	CHECKED BY	JOB NO.
FAY	CCH	TYST_1234

SCALE	DATE
1 : 500 @A3	APR 2024

DRAWING NO.	REV.
DR-01	-

**Project: Proposed Temporary Logistics Centre for a Period of 3 Years  
 LOT 551 (PART) IN D.D. 121, TONG YAN SAN TSUEN,  
 YUEN LONG, NEW TERRITORIES**

**Calculation of Stormwater Water Pipe Sizing**

(According to Cap.123I the number and size of water pipes shall be calculated at the rate of 700 mm<sup>2</sup> of pipe to every 10 m<sup>2</sup> of horizontal roofed-over surface.)

Catchment Area of site boundary: Area B =	4970 m <sup>2</sup> (approx.)
Catchment Area of adjacent area: Area A =	6082 m <sup>2</sup> (approx.)
Total Catchment area : Effectiive Area A+B=	7762.5 m <sup>2</sup> (approx.)
The Effective unpaved area Area A	0.5
The Effective paved area : Area B	0.95

**B) Collected Run-off**

Eff. Catchment area, CA = 7762.5 m<sup>2</sup> (approx.)

Rainfal intensity, I = 218 mm/hr

Rainfal increase 11.1%

Increase Rainfall intensity I = 242 mm/hr

(Refence from DSD Stormwater Manual Table 2: 50 years return period & 5 mins duration)

(Refence from Stormwater Drainage Manual. CORRIGENDUM No. 1/2022. Table 28,

Mid 21st Century, rainfall increase is 11.1%)

**Table 28 – Rainfall Increase due to Climate Change**

	Rainfall Increase
Mid 21 <sup>st</sup> Century	11.1%
End of 21 <sup>st</sup> Century	16.0%

Maximum run-off,  $Q_{rf} = I \times C_A$  (m<sup>3</sup>/hr)

$$Q_{rf} = 0.24 \text{ m/hr} \quad \times \quad 7762.5 \text{ m}^2$$

$$Q_{rf} = 1880.06 \text{ m}^3/\text{hr}$$

$$Q_{rf} = 522.24 \text{ L/s}$$

Maximum stormwater Run-off discharge = 522.24 L/s

**Project: Proposed Temporary Logistics Centre for a Period of 3 Years  
 LOT 551 (PART) IN D.D. 121, TONG YAN SAN TSUEN,  
 YUEN LONG, NEW TERRITORIES**

**Capacity of Stormwater Drain Pipe Calculation**

Manning Formula:

$$V = \frac{HMD^{2/3} s^{1/2}}{n}$$

V = Velocity (m/s)

HMD = Hydraulic Mean Depth (m)

A<sub>f</sub> = Area of Flow (m<sup>2</sup>)

R<sub>f</sub> = Rain Fall in Litre per second

Q = Volume of Flow (L/s)

D = 0.700 = Pipe Diameter in metre (m)

s = 1 : 250 = Gradient (slope)

n = 0.013 = Manning Friction Coefficient (Refer DSD Sewer Manual Part 1)

Type of Pipe	n
New smooth drain	0.011
Cast iron pipe	0.011
Old sewer	0.012
Concrete pipe	0.013

$$HMD = \frac{A_f}{\text{Wetted perimeter}}$$

Hydraulic Mean Depth (HMD):	
1/3 bore:	$\frac{A_f}{1.231 * D} = 0.1304$
1/2 bore:	$\frac{A_f}{1.571 * D} = 0.1750$
2/3 bore:	$\frac{A_f}{1.911 * D} = 0.2037$
3/4 bore:	$\frac{A_f}{2.094 * D} = 0.2114$
4/5 bore:	$\frac{A_f}{2.214 * D} = 0.2128$
Full bore:	$\frac{A_f}{\pi * D} = 0.1750$

Area of Flow (A <sub>f</sub> ):	
1/3 bore:	0.292 * A = 0.11237 m <sup>2</sup>
1/2 bore:	0.500 * A = 0.19242 m <sup>2</sup>
2/3 bore:	0.708 * A = 0.27247 m <sup>2</sup>
3/4 bore:	0.805 * A = 0.30980 m <sup>2</sup>
4/5 bore:	0.857 * A = 0.32981 m <sup>2</sup>
Full bore:	1.000 * A = 0.38485 m <sup>2</sup>

Apply HMD to Manning Formula,

Velocity (V):			
1/3 bore:	V	=	1.251 m/s
1/2 bore:	V	=	1.522 m/s
2/3 bore:	V	=	1.684 m/s
3/4 bore:	V	=	1.726 m/s
4/5 bore:	V	=	1.734 m/s
Full bore:	V	=	1.522 m/s

$$Q \text{ (m}^3\text{/s)} = V \times A \text{ (by Continuing Equation)}$$

$$Q \text{ (L/s)} = V \times A \times 1000$$

Volume of Flow (Q):

1/3 bore:	Q	=	<u>140.59 L/s</u>
1/2 bore:	Q	=	<u>292.86 L/s</u>
2/3 bore:	Q	=	<u>458.89 L/s</u>
3/4 bore:	Q	=	<u>534.78 L/s</u>
4/5 bore:	Q	=	<u>571.94 L/s</u>
Full bore:	Q	=	<u>585.78 L/s</u>

The Area A+B total discharge is **522.24** L/s, therefore the sewage pipe is running in between 2/3 bore and 3/4 bore at a velocity around 1.705m/s.

**Proposed 500mm(W) x 1000mm(D) Channel (CP1 - CP6) discharge capacity Calculation:**  
**(For Adjacent area A= 6082 sqm)**

Size of the channel = 500 (W)mm x 1000 (D)mm

Proposed maximum water level for channel = 600 (D)mm

Based on Manning's formula,

$$V = 1/n \times md^{2/3} \times i^{1/2}$$

V = velocity in m/s

md = hydraulic mean depth in metres

i = inclination (proposed fall) 1/200

n = factor in surface condition 0.015

U-Channel sectional area A =	(	0.5	x	0.35	) +	0.0982
	=	0.2732				m <sup>2</sup>
U-Channel Wetted perimeter P =	0.7	+	0.785			
	=	1.4854				m
md = A / P =	0.2732	/	1.4854	=	0.18	m
V = 1 / n	x	0.18 <sup>2/3</sup>	x	1/200 <sup>1/2</sup>		
	=	<u>1.5245</u>				<u>m/s</u>
Flowrate =	V x A					
	=	1.5245	x	0.2732	x	1000
	=	<b>416.45</b>				<b>L/s</b>

Refer to the channel discharge capacity, the maximum catchment area shall be estimated as below:

Site area = 0.5 x 6082 m<sup>2</sup> = 3041 m<sup>2</sup> (effective area)

Rf = Rain Fall in Litre per second(L/s)

ESA = The Effective Surface Area

SA = 6082.0 = Total Surface Area in squared metre (m<sup>2</sup>)

rf = 242.2 = Rainfall in millimetre per hour(mm/hr)

EP = 50% = The Effective unpaved area

The effective surface area is calculated below:

$$Rf = \frac{3041.0 \text{ m}^2 \times 242.198 \text{ mm/hr} / 1000 \times 1000}{3600}$$

$$= 204.59 \text{ L/s} < 416.45 \text{ L/s} \dots\dots\dots \text{OK}$$

**Therefore, the new proposed 500mm(W) x 1000mm(D) channel (CP1-CP6) is considered capable for site area (Adjacent area A) rainfall discharge 6082 sqm rainfall discharge at 50 year turnover period which is the time of concentration at 5 minutes.**

**Proposed 500mm(W) x 1000mm(D) Channel (CP8 - CP6)**  
**discharge capacity Calculation: (For Subject Site area B - 4970 sq.m)**

Size of the channel = 500 (W)mm x 1000 (D)mm

Proposed maximum water level for channel = 600 (D)mm

Based on Manning's formula,

$$V = 1/n \times md^{2/3} \times i^{1/2}$$

V = velocity in m/s

md = hydraulic mean depth in metres

i = inclination (proposed fall) 1/200

n = factor in surface condition 0.015

U-Channel sectional area A =	(	0.5	x	0.35	) +	0.0982
	=	0.2732				m <sup>2</sup>
U-Channel Wetted perimeter P =	0.7	+	0.785			
	=	1.4854				m
md = A / P =	0.2732	/	1.4854	=	0.18	m
V = 1 / n	x	0.18 <sup>2/3</sup>	x	1/200 <sup>1/2</sup>		
	=	1.5245				m/s
Flowrate = V x A						
	=	1.5245	x	0.2732	x	1000
	=	416.45				L/s

Refer to the channel discharge capacity, the maximum catchment area shall be estimated as below:

Site area = 0.95 x 4970 m<sup>2</sup> = 4721.5 m<sup>2</sup> (effective area)

Rf = Rain Fall in Litre per second(L/s)

ESA = The Effective Surface Area

SA = 4970.0 = Total Surface Area in squared metre (m<sup>2</sup>)

rf = 242.2 = Rainfall in millimetre per hour(mm/hr)

EP = 95.0% = The Effective paved area

The effective surface area is calculated below:

$$Rf = \frac{4721.5 \text{ m}^2 \times 242.198 \text{ mm/hr} / 1000 \times 1000}{3600}$$

$$= 317.65 \text{ L/s} < 416.45 \text{ L/s} \dots\dots\dots \text{OK}$$

**Therefore, the new proposed 500mm(W) x 1000mm(D) channel (CP8-CP6) is considered capable for subject site 4970 sqm rainfall discharge at 50 year turnover period which is the time of concentration at 5 minutes.**

**Estimation of Existing River Discharge Capacity Calculation:**

Size of the channel = 2500 (W)mm x 1700 (D)mm

Proposed maximum water level for channel = 1400 (D)mm

Based on Manning's formula,

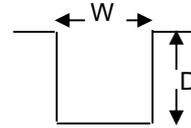
$$V = 1/n \times md^{2/3} \times i^{1/2}$$

V = velocity in m/s

md = hydraulic mean depth in metres

i = inclination (proposed fall)

n = factor in surface condition 0.06 (for natural channels, very poor condition)



Channel sectional area A	=	2.5	x	1.4	
	=	3.5000	m <sup>2</sup>		
Wetted perimeter P	=	2.50	+	2.8	
	=	5.3000	m		
md	=	A / P	=	3.5000 / 5.3000	= 0.660 m
V	=	1 / n	x	0.660 <sup>2/3</sup> x 1/200 <sup>1/2</sup>	
	=	<b>0.8937</b>	<b>m/s</b>		
Flowrate	=	V x A			
	=	0.8937	x	3.5000	x 1000
	=	<b>3127.97</b>	<b>L/s</b>	or	3.13 m <sup>3</sup> /s

Refer to the channel discharge capacity, the maximum catchment area shall be estimated as below:

Max. area = 0.5 x 92000.0 m<sup>2</sup> = 46000 m<sup>2</sup> (effective area)

Rf = Rain Fall in Litre per second(L/s)

ESA = The Effective Surface Area

SA = 92000.0 = Maximum catchment Area in squared metre (m<sup>2</sup>)

rf = 242.2 = Rainfall in millimetre per hour(mm/hr)

EP = 50% = The Effective unpaved area

The effective surface area is calculated below:

$$Rf = \frac{46000.0 \text{ m}^2 \times 242.198 \text{ mm/hr} / 1000}{3600} \times 1000 = 3094.75 \text{ L/s} < 3127.97 \text{ L/s} \dots \text{OK}$$

Total Effective Catchment area A&B = 7762.5 m<sup>2</sup> (approx.)

Total rainfall discharge from A&B = 522.24 L/s

**Total rainfall discharge from A&B are only occupy 16.70 % of existing river handling capacity**

Therefore, the existing 2500mm(W) x 1200mm(D) existing river is considered have large spare capacity for subject site area rainfall discharge at 50 year turnover period which is the time of concentration at 5 minutes.

**Previous Applications covering the Application Site**

**Approved Applications**

	<b><u>Application No.</u></b>	<b><u>Proposed Use(s)</u></b>	<b><u>Date of Consideration (RNTPC/TPB)</u></b>
1	A/YL-TYST/4	Temporary Open Storage of Construction Materials and Machineries for 12 Months	21.3.1997 [upon review]
2	A/YL-TYST/44	Temporary Open Storage of Construction Machinery and Materials for a Period of 12 Months	25.9.1998
3	A/YL-TYST/1234	Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years	10.11.2023 [revoked on 10.5.2025]

**Rejected Applications**

	<b><u>Application No.</u></b>	<b><u>Proposed Use(s)</u></b>	<b><u>Date of Consideration (RNTPC/TPB)</u></b>	<b><u>Rejection Reason(s)</u></b>
1	A/YL-TYST/119	Temporary Open Storage of Construction Machinery and Materials for a Period of 3 Years	9.3.2001 [upon review]	(1), (2), (3), (4)
2	A/YL-TYST/145	Temporary Open Storage of Construction Machinery and Materials for a Period of 3 Years	17.8.2001	(1), (2), (3)

Rejection Reason(s):

- (1) No strong justifications submitted for a departure from the planning intention.
- (2) Not compatible with the nearby residential structures.
- (3) Approval of the application would result in a further degradation of the environmental and traffic conditions of the area.
- (4) An area between Shan Ha Tsuen and Kung Um Road is zoned “Undetermined” (“U”) and intended for open storage use. No information is submitted to demonstrate why suitable sites within the “U” zone cannot be made available for the development.

**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- no adverse comment on the application;
- the application Site (the Site) comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without prior approval of the Government; and
- Lot 551 RP in D.D.121 is covered by Short Term Waiver (STW) No. 5737 for the purpose of 'Temporary Warehouse and Open Storage of Construction Materials'.

**2. Traffic**

(a) Comments of the Commissioner for Transport (C for T):

- no adverse comment from traffic engineering perspective on the application; and
- the local track and footpath leading to the Site is not under her purview.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

No adverse comment on the application.

**3. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the application from the public drainage point of view; and
- should the Town Planning Board (the Board) consider that the application is acceptable from the planning point of view, approval conditions requiring the submission, implementation and maintenance of a revised drainage proposal to the satisfaction of the Director of Drainage Services or of the Board should be stipulated.

**4. Fire Safety**

Comments of the Director of Fire Services (D of FS):

No in-principle objection to the application subject to fire service installations being provided to his satisfaction.

## **5. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- as there is no record of approval granted by the Building Authority (BA) for the existing structures at the Site, he is not in a position to offer comments on their suitability for the use proposed in the application; and
- it is noted that eleven structures are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works under the Buildings Ordinance (BO). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO.

## **6. Long-Term Development**

(a) Comments of the Chief Engineer/Cross-Boundary Infrastructure and Development, Planning Department (CE/CID, PlanD):

- the Civil Engineering and Development Department (CEDD) and PlanD jointly commissioned the “Planning and Engineering Study for Housing Sites in Yuen Long South (YLS) – Investigation”. According to the Revised Recommended Outline Development Plan of YLS promulgated in May 2020, the Site falls within an area zoned “Residential – Zone 5”; and
- the objective of YLS development is to transform the degraded rural land predominantly occupied by brownfield operations including open storage yards, warehouses and rural industrial uses into housing and other uses with supporting infrastructure and community facilities, and to improve the existing environment. It is noted that the application is for temporary uses for a period of 3 years. In considering the application for temporary uses, due consideration should be given on the possible implication on land clearance which would affect the future implementation of YLS.

(b) Comments of the Project Manager (West), CEDD (PM(W), CEDD):

No objection to the application.

## **7. District Officer’s Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any feedback from locals.

**8. Other Departments**

- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Director of Agriculture, Fisheries and Conservation (DAFC); and
- Director of Electrical and Mechanical Services (DEMS).

**Recommended Advisory Clauses**

- (a) prior planning permission should have been obtained before commencing the applied uses at the application site (the Site);
- (b) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (c) should you fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (d) the Site should be kept in a clean and tidy condition at all times;
- (e) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
  - (i) ***the Short Term Waiver (STW) holder will need to apply to his office for modification of the STW conditions where appropriate and*** the lot owner(s) shall apply to his office for a STW to permit the structure(s) erected within ***Lots 625, 627, 629 and 632 in D.D. 121.*** The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by his department. Besides, given the applied uses are temporary in nature, only erection of temporary structure(s) will be considered; and
  - (ii) the programme of Yuen Long South New Development Area (YLS NDA) should be taken into account when drawing up the STW boundary and layout of structures to be built on site. All STWs affected will have to be terminated upon land resumption and the Site will be cleared in accordance with the Civil Engineering and Development Department's (CEDD) scheduled programme;
- (f) to note the comments of the Commissioner for Transport (C for T) that:
  - (i) consent of the owners/managing departments of the local track and footpath should be obtained for using it as the access to the Site; and
  - (ii) sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads;
- (g) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
  - (i) the section of Long Hon Road adjacent to the Site is not maintained by his office and HyD shall not be responsible for the maintenance of any access road connecting the Site with Long Hon Road; and
  - (ii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (h) to note the comments of the Director of Environmental Protection (DEP) that:
  - (i) the relevant mitigation measures and requirements in the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" should be followed to minimise any potential environmental nuisances on the surrounding areas;
  - (ii) licensed collectors should be arranged to collect and dispose the sewage and waste from

the applied uses; and

- (iii) it is the obligation of the applicant to meet the statutory requirements under relevant pollution control ordinance;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Relevant layout plans incorporated with the proposed FSIs should be submitted to his department for approval;
  - (ii) the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of where the proposed FSIs to be installed should be clearly marked on the layout plans;
  - (iii) to address the approval condition on provision of fire extinguisher(s), a valid fire certificate (FS 251) should be submitted to his department for approval; and
  - (iv) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
  - (iii) if the existing structures are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under the BO and should not be designated for any applied uses under the application;
  - (iv) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
  - (v) any temporary shelters or converted containers for office, storage, washroom or other uses considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
  - (vi) detailed checking under the BO will be carried out at building plan submission stage; and
- (k) to note the comments of the Project Manager (West), Civil Engineering and Development Department (PM (W), CEDD) that based on the preliminary project boundary of the proposed YLS NDA, the Site falls within the YLS NDA. As the YLS Third Phase Development is subject to further review, the applicant should be aware of the possible implication on land clearance in relation to the implementation of YLS NDA. Detailed implementation programme with phasing and packaging of works for YLS Third Phase Development is being formulated.

Urgent Return receipt Expand Group Restricted Prevent Copy

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**From:**  
**Sent:** 2025-08-20 星期三 10:47:33  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** 有關提交意見(規劃申請編號: A/YL-TYST/1326)  
**Attachment:** 致城規會(A.YL.TYST1326)(13.08.2025).pdf

致 城市規劃委員會秘書處:

附件是有關唐人新村村代表就規劃申請編號 : A/YL-TYST/1326 提交意見書，請查閱。

如有任何問題，請致電 聯絡林如棟先生或 與本會聯絡。

謝謝!

屏山鄉鄉事委員會  
秘書處

城市規劃委員會  
城市規劃委員會主席  
何珮玲女士, J.P.

何珮玲主席:

新界元朗唐人新村丈量約份第 121 約地段第 551 號餘段(部分)、  
第 625 號、穆 626 號餘段、第 627 號、第 629 號(部分)、第 632 號(部分)  
及第 635 號(部分)和毗連政府土地  
擬議臨時貨倉及露天存放建築材料(為期 3 年)  
(申請編號: A/YL-TYST/1326)

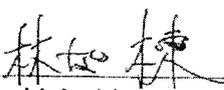
就有關上述規劃申請擬議臨時貨倉及露天存放建築材料(申請編號:  
A/YL-TYST/1326), 我們現向 貴委員會提出反對意見。

由於上述申請地點位於住宅用地, 如申請地點用作臨時貨倉及露天  
存放建築材料, 將不符合元朗南房屋發展計劃的規劃。除此之外, 上述  
申請地點沒有完善的道路設施, 現時只有一條碎石小路, 對大型車輛行  
駛造成困難, 難以進出貨倉, 更容易造成交通阻塞。

鑒於以上理由, 我們懇請 貴會再三考慮, 接納上述意見, 否決有關  
規劃申請。

唐人新村(一)村代表:   
周錦明

唐人新村(二)村代表:   
鄧喬年

唐人新村(三)村代表:   
林如棟

聯絡地址  
聯絡電話

2025 年 8 月 13 日

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**From:**  
**Sent:** 2025-08-20 星期三 03:13:34  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-TYST/1326 DD 121, Tong Yan San Tsuen nr Recours La Serre

A/YL-TYST/1234

Lots 551 RP (Part), 625, 626 RP, 627, 629 (Part), 632 (Part) and 635 (Part) in D.D. 121 and adjoining Government Land, Tong Yan San Tsuen nr Recours La Serre

Site area: About 7,096sq.m (Includes Government Land of about 48.67sq.m)

Zoning: "Res (Group D)"

Applied use: Warehouse and Open Storage of Construction Materials / 5 Vehicle Parking

Dear TPB Members,

1234 approved 10 Nov 2023. Conditions not fulfilled. Solution, file application for a larger site.

It is unacceptable that an ever larger open storage be located so close to residential buildings.

This district is not intended from brownfield operations and is not Cat. 2 designated.

The application should be rejected.

Mary Mulvihill

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**From:**  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Friday, 25 August 2023 3:25 AM HKT  
**Subject:** A/YL-TYST/1234 DD 121, Tong Yan San Tsuen nr Recours La Serre

A/YL-TYST/1234

Lot 551 (Part) in D.D. 121, Tong Yan San Tsuen nr Recours La Serre

Site area: About 4,970sq.m

Zoning : "Res (Group D)"

Applied use: Warehouse and Open Storage of Construction Materials / 5 Vehicle Parking

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Dear TPB Members,

This is an ongoing operation with previous applications.

However under **the NOW SERIOUSLY RESTRICTED ACCESS TO INFORMATION** it is most difficult to identify previous applications and if conditions have been fulfilled.

Presumably members are privy to this information and should check out the details on behalf of the community to ensure that conditions have been adhered to.

Mary Mulvihill

Seq 1 3

城市規劃委員會  
城市規劃委員會主席  
何珮玲女士, J.P.

何珮玲主席:

新界元朗唐人新村丈量約份第 121 約地段第 551 號餘段(部分)、  
第 625 號、第 626 號餘段、第 627 號、第 629 號(部分)、第 632 號(部分)  
及第 635 號(部分)和毗連政府土地  
擬議臨時貨倉及露天存放建築材料(為期 3 年)  
(申請編號: A/YL-TYST/1326)

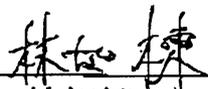
就有關上述規劃申請擬議臨時貨倉及露天存放建築材料(申請編號: A/YL-TYST/1326), 我們現向 貴委員會提出反對意見。

由於上述申請地點位於住宅用地, 如申請地點用作臨時貨倉及露天存放建築材料, 將不符合元朗南房屋發展計劃的規劃。除此之外, 上述申請地點沒有完善的道路設施, 現時只有一條碎石小路, 對大型車輛行駛造成困難, 難以進出貨倉, 更容易造成交通阻塞; 加上道路狹窄, 人車爭路恐怕危及進出的村民安危。

鑒於以上理由, 我們懇請 貴會再三考慮, 接納上述意見, 否決有關規劃申請。

唐人新村(一)村代表:   
周錦明 (身份證: )

唐人新村(二)村代表:   
鄧喬年 (身份證: )

唐人新村(三)村代表:   
林如棟 (身份證: )

聯絡地址:  
聯絡電話:

2025 年 9 月 30 日

Urgent Return receipt Expand Group Restricted Prevent Copy

**tpbpd/PLAND**

Seq 1 4

寄件者: [REDACTED]  
寄件日期: 2025年10月10日星期五 3:07  
收件者: tpbpd/PLAND  
主旨: Re: A/YL-TYST/1326 DD 121, Tong Yan San Tsuen nr Recours La Serre  
類別: Internet Email

A/YL-TYST/1326

Lots 551 RP (Part), 625, 627 (Part), 629 (Part) and 632 (Part) in D.D. 121 Tong Yan San Tsuen nr Recours La Serre

Site area: About 5,734sq.m

Zoning: "Res (Group D)"

Applied use: Warehouse and Open Storage of Construction Materials / 5 Vehicle Parking

Dear TPB Members,

Some lots and GL removed.

Previous objections relevant and upheld.

Mary Mulvihill

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**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Wednesday, 20 August 2025 3:13 AM HKT  
**Subject:** A/YL-TYST/1326 DD 121, Tong Yan San Tsuen nr Recours La Serre

A/YL-TYST/1234 SHOULD READ 1326

Lots 551 RP (Part), 625, 626 RP, 627, 629 (Part), 632 (Part) and 635 (Part) in D.D. 121 and adjoining Government Land, Tong Yan San Tsuen nr Recours La Serre

Site area: About 7,096sq.m (Includes Government Land of about 48.67sq.m)

Zoning: "Res (Group D)"

Applied use: Warehouse and Open Storage of Construction Materials / 5 Vehicle Parking

Urgent Return receipt Expand Group Restricted Prevent Copy

4

Dear TPB Members,

1234 approved 10 Nov 2023. Conditions not fulfilled. Solution, file application for a larger site.

It is unacceptable that an ever larger open storage be located so close to residential buildings.

This district is not intended from brownfield operations and is not Cat. 2 designated.

The application should be rejected.

Mary Mulvihill

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**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Friday, 25 August 2023 3:25 AM HKT  
**Subject:** A/YL-TYST/1234 DD 121, Tong Yan San Tsuen nr Recours La Serre

A/YL-TYST/1234

Lot 551 (Part) in D.D. 121, Tong Yan San Tsuen nr Recours La Serre

Site area: About 4,970sq.m

Zoning : "Res (Group D)"

Applied use: Warehouse and Open Storage of Construction Materials / 5 Vehicle Parking

Dear TPB Members,

This is an ongoing operation with previous applications.

However under **the NOW SERIOUSLY RESTRICTED ACCESS TO INFORMATION** it is most difficult to identify previous applications and if conditions have been fulfilled.

Presumably members are privy to this information and should check out the details on behalf of the community to ensure that conditions have been adhered to.

Mary Mulvihill

**Good Practice Guidelines for Open Storage Sites**

		Internal Access for Fire Appliances	Lot Boundaries (Clear Width)	Distance between Storage Cluster and Temporary Structure	Cluster Size	Storage Height
1.	Open Storage of Containers		2m	4.5m		
2.	Open Storage of Non- Combustibles or Limited Combustibles	4.5m	2m	4.5m		
3.	Open Storage of Combustibles	4.5m	2m	4.5m	40m x 40m	3m

Remarks: Smoking and naked flame activities shall not be allowed within the open storage / recycling site.