

2025年 7月 2 2日

此文件在 收到，城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 2025 -07- 2 2  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:  
適用於建議不涉及或不祇涉及:**

- (i) Construction of “New Territories Exempted House(s)”;  
興建「新界豁免管制屋宇」;**
- (ii) Temporary use/development of land and/or building not exceeding 3 years in  
rural areas or Regulated Areas; and  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時  
用途/發展;及**
- (iii) Renewal of permission for temporary use or development in rural areas or  
Regulated Areas  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board’s requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

填寫表格的一般指引及註解

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2501616 18/7 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A17C-KTS/1088
	Date Received 收到日期	2025-07-22

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.tpb.gov.hk/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

Rich Tone Management Limited 盈通管理有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

R-riches Planning Limited 盈卓規劃有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 1,210 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 304 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... N/A ..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South OZP No.: S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group C)" Zone
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified ..... “current land owner(s)”#  
已通知 ..... 名「現行土地擁有人」#。

Details of the “current land owner(s)”# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)#&  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)&  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知&

- posted notice in a prominent position on or near application site/premises on  
06/05/2025 - 20/05/2025 (DD/MM/YYYY)&

於\_\_\_\_\_ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知&

- sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 05/06/2025 (DD/MM/YYYY)&  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
<input type="checkbox"/>	Type (i) Change of use within existing building or part thereof 第(i)類 更改現有建築物或其部分內的用途
<input type="checkbox"/>	Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s) 第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
<input type="checkbox"/>	Type (iii) Public utility installation / Utility installation for private project 第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
<input type="checkbox"/>	Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s) 第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
<input checked="" type="checkbox"/>	Type (v) Use / development other than (i) to (iii) above 第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1: 可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2: 如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....	sq.m 平方米	<input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....	sq.m 平方米	<input type="checkbox"/> About 約
	Total 總計 .....	sq.m 平方米	<input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

<b>(ii) For Type (ii) application 供第(ii)類申請</b>	
(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約 <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
(b) Intended use/development 有意進行的用途/發展	

<b>(iii) For Type (iii) application 供第(iii)類申請</b>													
(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;">Name/type of installation 裝置名稱/種類</th> <th style="width: 15%;">Number of provision 數量</th> <th style="width: 52%;">Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											

**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- Site coverage restriction 上蓋面積限制 From 由 .....% to 至 .....
- Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至  
.....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- Non-building area restriction 非建築用地限制 From 由 .....m to 至 .....
- Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development 擬議用途/發展

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

Proposed gross floor area (GFA) 擬議總樓面面積	.....304..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	.....0.25.....	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	.....13..... %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	.....2.....	
Proposed no. of storeys of each block 每座建築物的擬議層數	.....2..... storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	.....7.2..... m 米	<input checked="" type="checkbox"/> About 約



### 7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)  
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)  
(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))  
(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

October 2025 .....

.....

.....

.....

.....

### 8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行车通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible from Kam Sheung Road via a local access.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td style="text-align: right;">13</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table> <p><input type="checkbox"/></p>	Private Car Parking Spaces 私家車車位	13	Motorcycle Parking Spaces 電單車車位	N/A	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A	Others (Please Specify) 其他 (請列明)	_____	_____	_____	_____	_____
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_____	_____																	
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td style="text-align: right;">1</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td style="text-align: right;">N/A</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____</td> </tr> </table> <p><input type="checkbox"/></p>	Taxi Spaces 的士車位	N/A	Coach Spaces 旅遊巴車位	N/A	Light Goods Vehicle Spaces 輕型貨車車位	1	Medium Goods Vehicle Spaces 中型貨車車位	N/A	Heavy Goods Vehicle Spaces 重型貨車車位	N/A	Others (Please Specify) 其他 (請列明)	_____	_____	_____	_____	_____
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Others (Please Specify) 其他 (請列明)	_____																	
_____	_____																	
_____	_____																	

<b>9. Impacts of Development Proposal 擬議發展計劃的影響</b>																															
<p>If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。</p>																															
<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情 ..... ..... ..... ..... .....</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">On environment 對環境</td> <td style="width: 10%;">Yes 會 <input type="checkbox"/></td> <td style="width: 10%;">No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>..... ..... ..... ..... .....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>..... ..... ..... ..... .....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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**10. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the supplementary statement.



**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



Applicant 申請人 /  Authorised Agent 獲授權代理人

.....  
Matthew NG

..... Director (Planning and Development) .....

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

Member 會員 /  Fellow of 資深會員

HKIP 香港規劃師學會 /  HKIA 香港建築師學會 /

HKIS 香港測量師學會 /  HKIE 香港工程師學會 /

HKILA 香港園境師學會 /  HKIUD 香港城市設計學會

RPP 註冊專業規劃師 (No. 411)

Others 其他 .....



on behalf of  
代表

R-riches Planning Limited 盈卓規劃有限公司

Company 公司 /  Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

..... 18/07/2025 ..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means –  
就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories		
Site area 地盤面積	1,210	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N/A	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South OZP No.: S/YL-KTS/15		
Zoning 地帶	"Residential (Group C)" Zone		
Applied use/ development 申請用途/發展	Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	304	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	2	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)	
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Non-domestic 非住用	7.2	m 米 <input type="checkbox"/> (Not more than 不多於)	
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		2	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)	
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
(iv) Site coverage 上蓋面積		13	%	<input checked="" type="checkbox"/> About 約
(v) No. of units 單位數目		N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米	<input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米	<input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	13
	Private Car Parking Spaces 私家車車位	13
	Motorcycle Parking Spaces 電單車車位	N/A
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A
	Others (Please Specify) 其他 (請列明)	
	_____	
	_____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數	1
	Taxi Spaces 的士車位	N/A
	Coach Spaces 旅遊巴車位	N/A
	Light Goods Vehicle Spaces 輕型貨車車位	1
	Medium Goods Vehicle Spaces 中型貨車車位	N/A
	Heavy Goods Vehicle Spaces 重型貨車車位	N/A
	Others (Please Specify) 其他 (請列明)	
	_____	
	_____	

<b>Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件</b>		
	<b>Chinese</b> 中文	<b>English</b> 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Plans showing location/zoning/land status of the Site; Swept path analysis; FSI proposal; and Drainage plan.</u>		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及/或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
Note: May insert more than one 「✓」. 註: 可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories (the Site) for '**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years**' (the proposed development) (**Plan 1**).
- 1.2 The Site is in close proximity to nearby residential developments and indigenous villages, where there is strong local demand for shop and service, eating place and vehicle parking spaces. The proposed development would introduce new varieties of shop and service and eating place for nearby residents and business operators.
- 1.3 In view of the increasing population in the Kam Tin area in recent years, the applicant proposes to provide hourly and monthly parking spaces to help alleviate the pressing demand for vehicle parking spaces, as well as minimise the illegal on-street parking circumstance in the area. The proposed development would meet the demand for the proposed uses to bring convenience to the growing population of Kam Tin.

### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned "Residential (Group C)" ("R(C)") on the Approved Kam Tin South Outline Zoning Plan (OZP) No.: S/YL-KTS/15 (**Plan 2**). According to the Notes of the OZP, the applied uses are Column 2 uses within the "R(C)" zone, which require planning permission from the Board.
- 2.2 The applied uses are considered not incompatible with the surrounding area which is dominated by low-rise residential developments, railway station, vacant land, parking of vehicles, shop and services, place of recreation, sports or culture, and open storage uses. Although the applied uses are not entirely in line with the planning intention of the "R(C)" zone, there is no known development of the area for residential use. Hence, approval of the application on a temporary basis would not frustrate the long-term planning intentions of the "R(C)" zone and would better utilise precious land resources in the New Territories.
- 2.3 A similar application (No. A/YL-KTS/972) partly for the same applied use, i.e. '*Shop and Services*', '*Eating Place*' and '*Public Vehicle Park*', namely The Richfield, was approved by the Board within

the same "R(C)" zone to the north of the Site in 2023. Therefore, approval of the application is in line with the Board's previous decisions and would not set an undesirable precedent within the "R(C)" zone.

- 2.4 In support of the application, the applicant has submitted a fire service installations (FSIs) proposal to enhance fire safety of the Site and a proposed drainage layout plan to mitigate potential drainage impacts that would have arisen from the proposed development (**Appendices I and II**).

### 3) Development Proposal

- 3.1 The Site occupies an area of 1,210 m<sup>2</sup> (about) (**Plan 3**). A total of 3 structures is proposed at the Site for shop and service/eating place uses with total gross floor area (GFA) of 304 m<sup>2</sup> (about) (**Plan 4**). The operation hours of the shop and services/eating place will be from 07:00 to 21:00 daily (including Sunday and public holidays), whilst the public vehicle park will be opened 24-hour daily. Details of the development parameters are shown at **Table 1** below:

**Table 1** – Major Development Parameters

<b>Site Area</b>	1,210 m <sup>2</sup> (about)
<b>Covered Area</b>	158 m <sup>2</sup> (about)
<b>Uncovered Area</b>	1,052 m <sup>2</sup> (about)
<b>Plot Ratio</b>	
	0.25 (about)
<b>Site Coverage</b>	
	13% (about)
<b>No. of Structure</b>	
	2
<b>Total GFA</b>	
- Domestic GFA	Not applicable
- Non-Domestic GFA	304 m <sup>2</sup> (about)
<b>Building Height</b>	
	7.2 m (about)
<b>No. of Storey</b>	
	2

- 3.2 The proposed shop and service/eating place would accommodate about 20 customers at the same time. Food and goods to support the daily operation of the proposed development will be transported by light goods vehicle (LGV) during non-peak hours (i.e. beyond 08:00 to 09:00 and 18:00 to 19:00). Given that the proposed development would target at residents from nearby villages in Kam Tin and Pat Heung areas, it is expected that a portion of the target

customers would assess the Site by private cars. The applicant proposes to provide adequate number of private car (PC) parking spaces to alleviate the pressing demand for hourly and monthly parking spaces and illegal on-street parking in the vicinity.

- 3.3 The Site is accessible from Kam Sheung Road via a local access (**Plan 1**). A 9 m-wide vehicular ingress/egress is proposed at the southern part of the Site. A separate pedestrian access connecting the adjoining site of an approved application No. A/YL-KTS/972 partly for the same applied uses, namely the Richfield, is located at the northern part of the Site. A total of 14 parking and loading/unloading (L/UL) spaces are proposed at the Site (**Plan 4**). Details of the parking and L/UL provisions are shown at **Table 2** below.

**Table 2 – Parking and L/UL Provisions**

Types of Space	Nos. of Space
Parking Space for PC - 2.5 m (W) x 5 m (L)	13
L/UL Space for LGV - 3.5 m (W) x 7 m (L)	1

- 3.4 Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 5**). As the estimated traffic generated/ attracted by the proposed development is expected to be minimal, adverse traffic impacts arising from the proposed development should not be anticipated. Details of the estimated trip generation/attraction are shown at **Table 3** below.

**Table 3 – Estimated Trip Generation/Attraction**

Time Period	Estimated Trip Generation/Attraction				
	PC		LGV		2-Way Total
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (08:00 – 09:00)	3	2	0	0	5
Trips at <u>PM peak</u> per hour (18:00 – 19:00)	2	4	0	0	6
Average trip per hour (Beyond AM & PM Peaks)	2	2	1	1	6

- 3.5 A notice will be posted at a prominent location of the Site to indicate that no medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers, as defined in the *Road Traffic Ordinance*, are allowed to be parked/stored on or enter/exit the Site at all times during

the planning approval period. No vehicle without valid licence issued under the *Road Traffic (Registration and Licensing of Vehicle) Regulations* are allowed to be parked/stored at the Site at any time during the planning approval period.

- 3.6 No open storage, storage of unlicensed vehicle, vehicle repairing, dismantling or other workshop activities will be involved at the Site. The applicant will strictly comply with all environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance* etc. at all times during the planning approval period. No public announcement system or any form of audio amplification system will be used at the Site during the planning approval period. The applicant will also follow relevant mitigation measures and requirements in the latest the '*Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites*' issued by the Environmental Protection Department (EPD) to minimise the potential adverse environmental impacts and nuisance to the surrounding area.
- 3.7 The applicant will follow the '*Control of Oily Fume and Cooking Odour from Restaurants and Food Business*' issued by EPD to control oily fume and cooking odour emissions generated from the eating place. To fulfill the requirements of the *Air Pollution Control Ordinance*, adequate equipment for air pollution control will be provided at the kitchen ventilation system to treat fume emissions before being discharged to the environment.

#### **4) Conclusion**

- 4.1 The proposed development is not anticipated to create significant nuisance to the surrounding area. Adequate mitigation measures have been provided by the applicant i.e. submission of FSIs and drainage proposals to alleviate any potential adverse impact arising from the proposed development (**Appendices I and II**).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years**'.

**R-riches Planning Limited**

**July 2025**

### **LIST OF PLANS**

<b>Plan 1</b>	Location plan
<b>Plan 2</b>	Plan showing the zoning of the Site
<b>Plan 3</b>	Plan showing the land status of the Site
<b>Plan 4</b>	Layout plan
<b>Plan 5</b>	Swept path analysis

### **LIST OF APPENDICES**

<b>Appendix I</b>	FSIs proposal
<b>Appendix II</b>	Drainage plan

**LOCATION OF THE APPLICATION SITE**

APPLICATION SITE AREA : 1,210 m<sup>2</sup> (ABOUT)

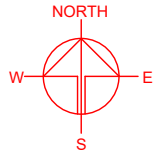
**VEHICULAR ACCESS**

ACCESSIBLE FROM KAM SHEUNG ROAD VIA A LOCAL ACCESS

ACCESSIBLE FROM KAM SHEUNG ROAD VIA A LOCAL ACCESS

APPLICATION SITE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.



PLANNING CONSULTANT



PROJECT  
PROPOSED PUBLIC VEHICLE (EXCLUDING TEMPORARY VEHICLE) FOR A PERIOD OF 5 YEARS  
TEMPORARY VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION  
VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
1 : 3000 @ A4

DRAWN BY MN DATE 4.6.2025

CHECKED BY DATE

APPROVED BY DATE

DWG. TITLE  
LOCATION PLAN

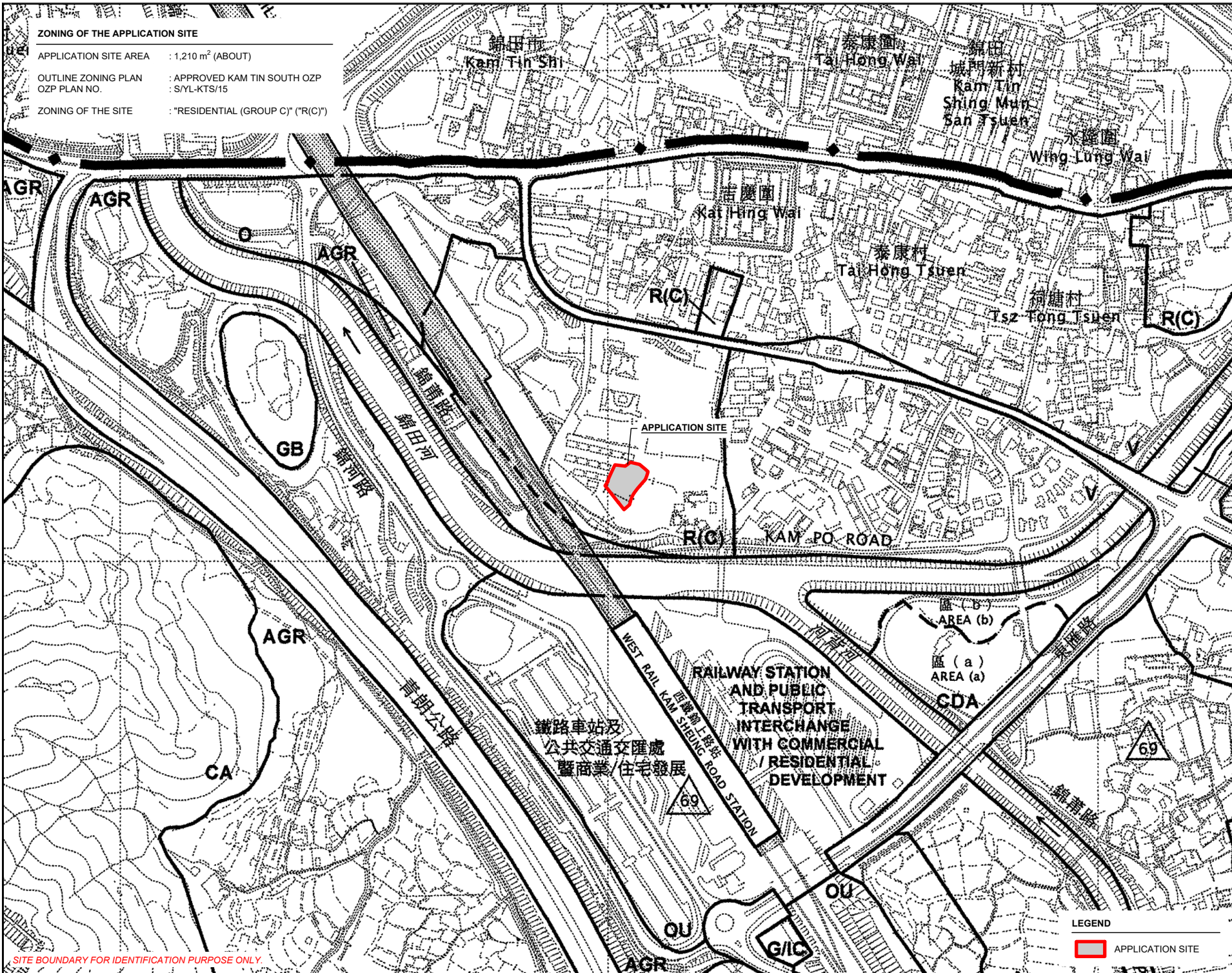
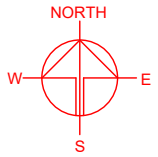
DWG NO. PLAN 1 VER. 001

**LEGEND**

 APPLICATION SITE

**ZONING OF THE APPLICATION SITE**

APPLICATION SITE AREA : 1,210 m<sup>2</sup> (ABOUT)  
 OUTLINE ZONING PLAN : APPROVED KAM TIN SOUTH OZP  
 OZP PLAN NO. : S/YL-KTS/15  
 ZONING OF THE SITE : "RESIDENTIAL (GROUP C)" ("R(C)")



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

PLANNING CONSULTANT



PROJECT

PROPOSED PUBLIC VEHICLE (EXCLUDING VEHICLE) FOR A PERIOD OF 5 YEARS  
 TEMPORARY PARK CONTAINER VEHICLE FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
 1 : 5000 @ A4

DRAWN BY: MN DATE: 4.6.2025

CHECKED BY: DATE:

APPROVED BY: DATE:

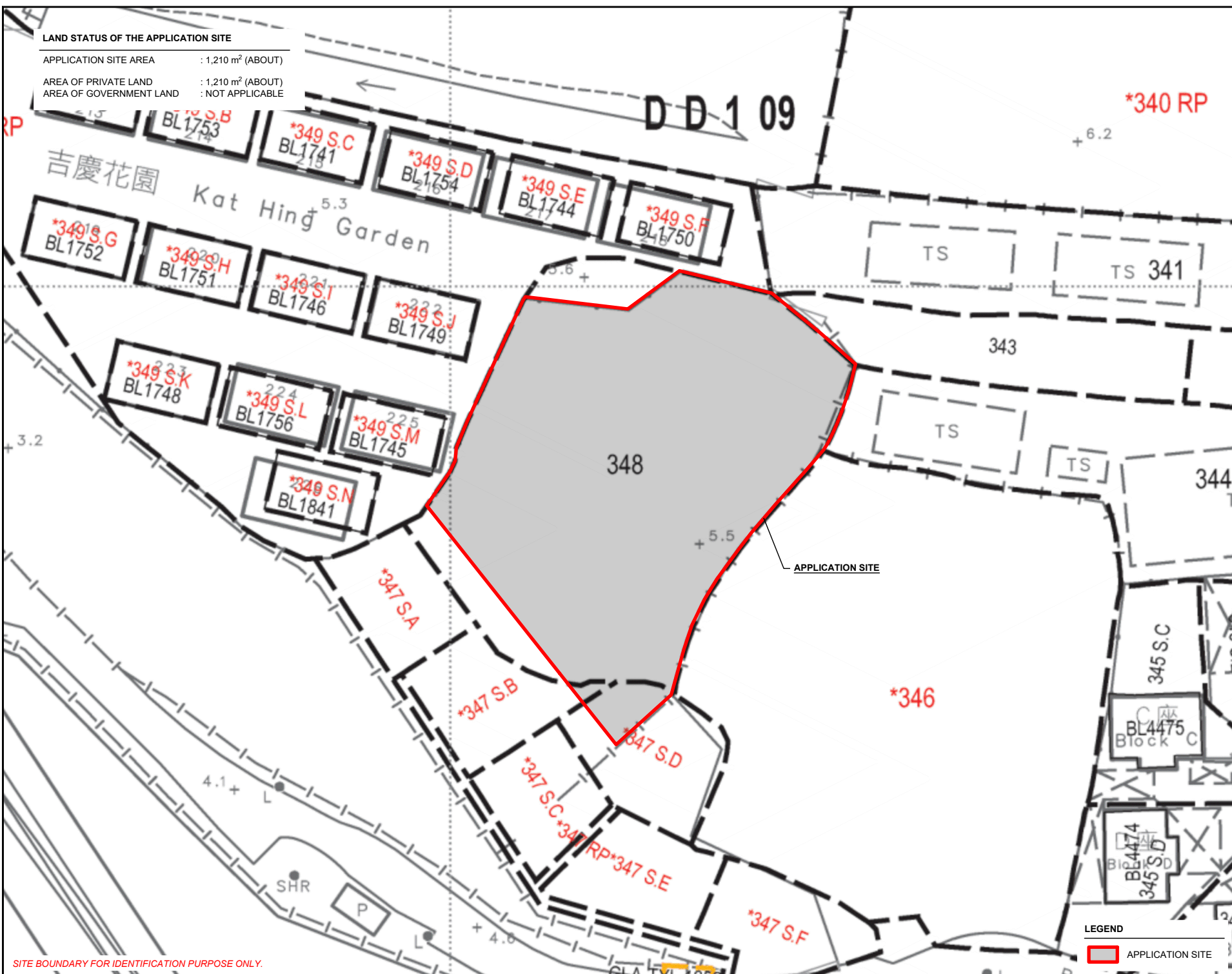
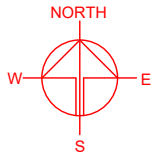
DWG. TITLE  
 ZONING OF THE SITE

DWG NO.: PLAN 2 VER.: 001

LEGEND  
 APPLICATION SITE

**LAND STATUS OF THE APPLICATION SITE**

APPLICATION SITE AREA : 1,210 m<sup>2</sup> (ABOUT)  
 AREA OF PRIVATE LAND : 1,210 m<sup>2</sup> (ABOUT)  
 AREA OF GOVERNMENT LAND : NOT APPLICABLE



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

**LEGEND**

	APPLICATION SITE
--	------------------

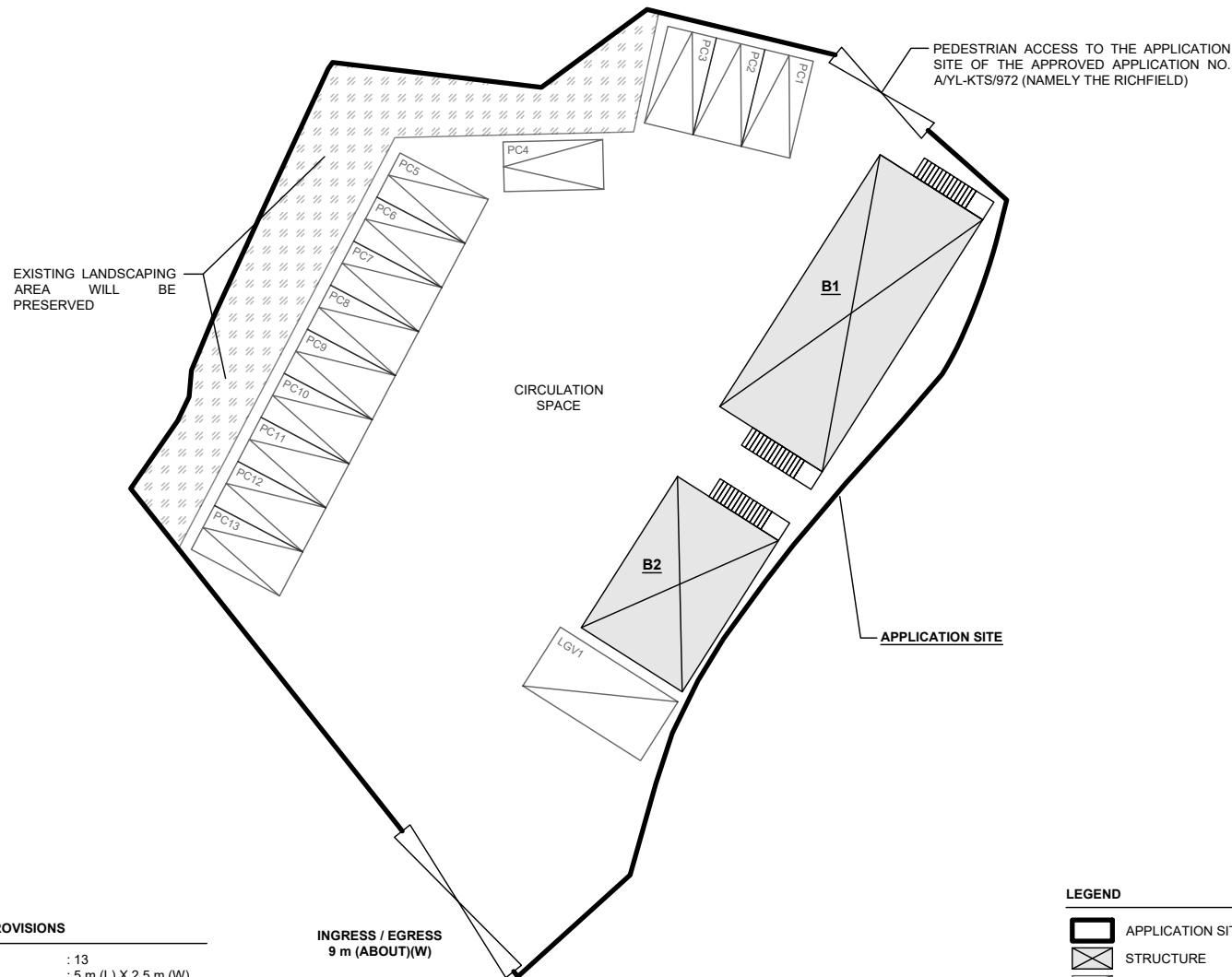
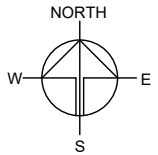
PLANNING CONSULTANT	
PROJECT	
PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS	
SITE LOCATION	
VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES	
SCALE	
1 : 500 @ A4	
DRAWN BY	DATE
MN	4.6.2025
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
LAND STATUS OF THE SITE	
DWG. NO.	VER.
PLAN 3	001

**DEVELOPMENT PARAMETERS**

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 158 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,052 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.25	(ABOUT)
SITE COVERAGE	: 13 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 304 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 304 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	58 m <sup>2</sup> (ABOUT)	112 m <sup>2</sup> (ABOUT)#	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>158 m<sup>2</sup> (ABOUT)</b>	<b>304 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)	# GFA OF 1/F	: 54 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)	GFA OF G/F	: 54 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)	COVERED AREA OF STAIRCASE	: 4 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>	<b>TOTAL GFA</b>	<b>: 112 m<sup>2</sup></b>	<b>(ABOUT)</b>



**PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS**

NO. OF PRIVATE CAR PARKING SPACE	: 13
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 350 @ A4

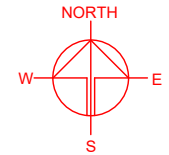
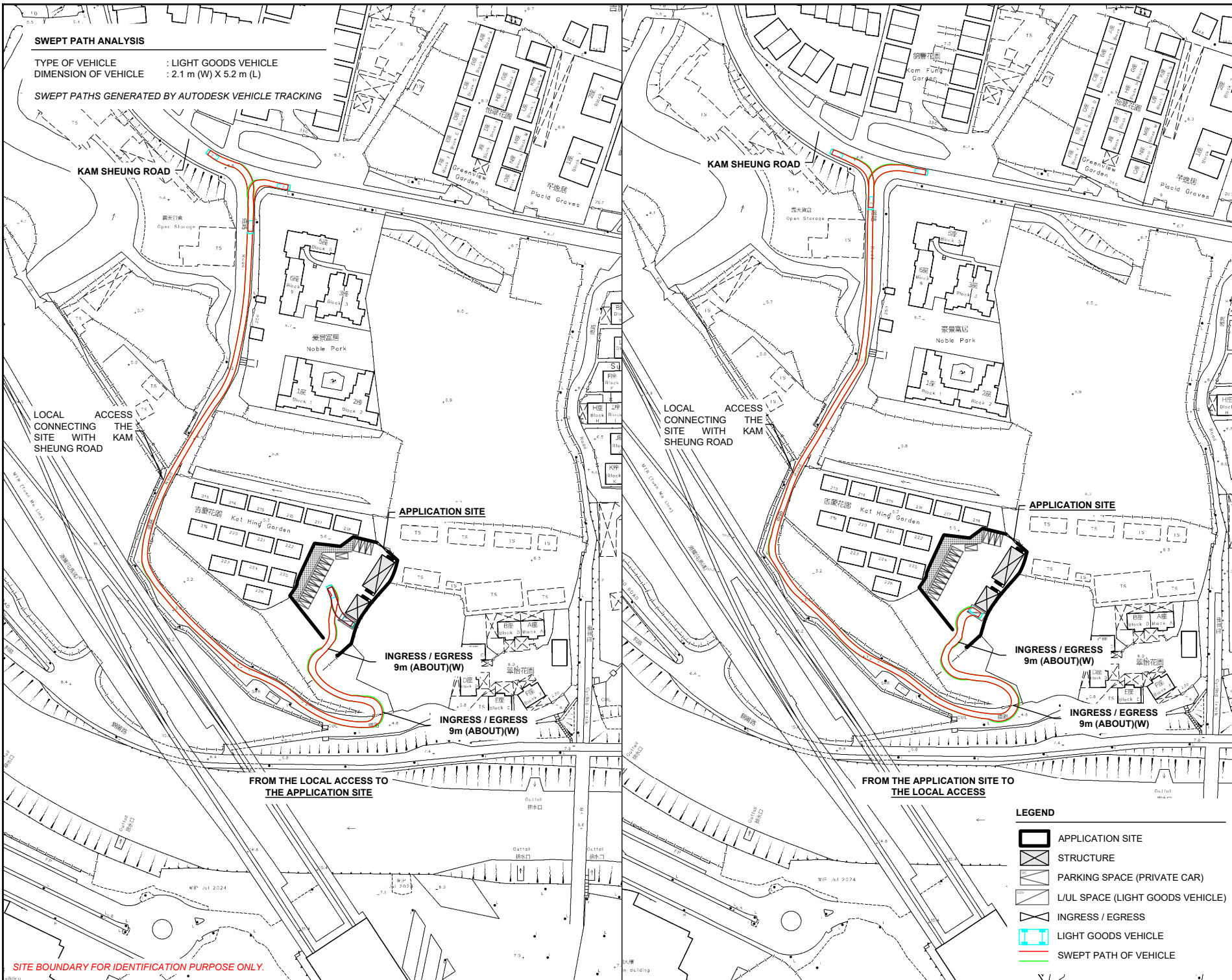
DRAWN BY: MN DATE: 18.7.2025

CHECKED BY: DATE:

APPROVED BY: DATE:

DWG. TITLE  
LAYOUT PLAN

DWG NO. VER.  
PLAN 4 001



**SWEEP PATH ANALYSIS**

TYPE OF VEHICLE : LIGHT GOODS VEHICLE  
 DIMENSION OF VEHICLE : 2.1 m (W) X 5.2 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING

**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS
- LIGHT GOODS VEHICLE
- SWEEP PATH OF VEHICLE

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY MN	DATE 18.7.2025
CHECKED BY	DATE

APPROVED BY	DATE
-------------	------

DWG. TITLE  
SWEEP PATH ANALYSIS

DWG. NO. PLAN 5	VER. 001
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SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

**Appendix I**  
FSIs proposal



**DEVELOPMENT PARAMETERS**

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 158 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,052 m <sup>2</sup>	(ABOUT)

PLOT RATIO	: 0.25	(ABOUT)
SITE COVERAGE	: 13 %	(ABOUT)

NO. OF STRUCTURE	: 2
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 304 m <sup>2</sup> (ABOUT)
TOTAL GFA	: 304 m <sup>2</sup> (ABOUT)

BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

**PARKING AND LOADING / UNLOADING (L/U/L) PROVISIONS**

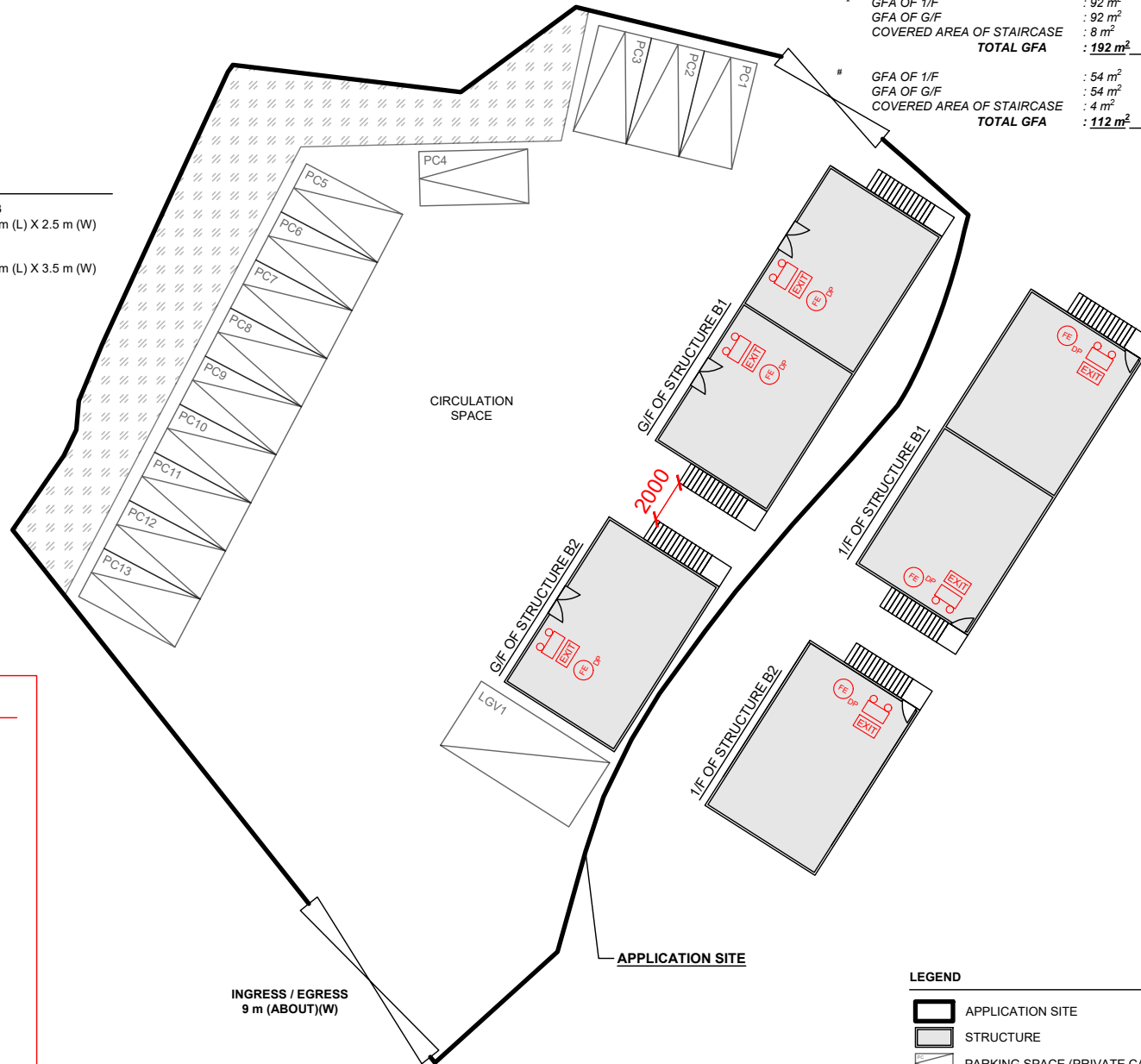
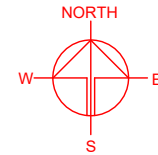
NO. OF PRIVATE CAR PARKING SPACE	: 13
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)

NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)




STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	58 m <sup>2</sup> (ABOUT)	112 m <sup>2</sup> (ABOUT)#	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>158 m<sup>2</sup> (ABOUT)</b>	<b>304 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>

# GFA OF 1/F	: 54 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 54 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 4 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 112 m<sup>2</sup></b>	<b>(ABOUT)</b>





**FIRE SERVICE INSTALLATIONS**

-  EMERGENCY LIGHT
-  EXIT SIGN
-  4KG DRY POWDER TYPE FIRE EXTINGUISHER

**FS NOTES:**

1. SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016, BS EN1838:2013 AND FSD CIRCULAR LETTER 4/2021
2. SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266 PART 1 AND FSD CIRCULAR LETTER 5/2008.
3. PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
4. ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

**LEGEND**

-  APPLICATION SITE
-  STRUCTURE
-  PARKING SPACE (PRIVATE CAR)
-  L/U/L SPACE (LIGHT GOODS VEHICLE)
-  INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
1 : 300 @ A4

DRAWN BY: MN DATE: 18.7.2025

CHECKED BY: DATE:

APPROVED BY: DATE:

DWG. TITLE  
FSI PROPOSAL

DWG NO. APPENDIX I VER. 001

**Appendix II**  
Drainage plan



PROPOSED DRAINAGE LAYOUT PLAN FOR VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, N.T.

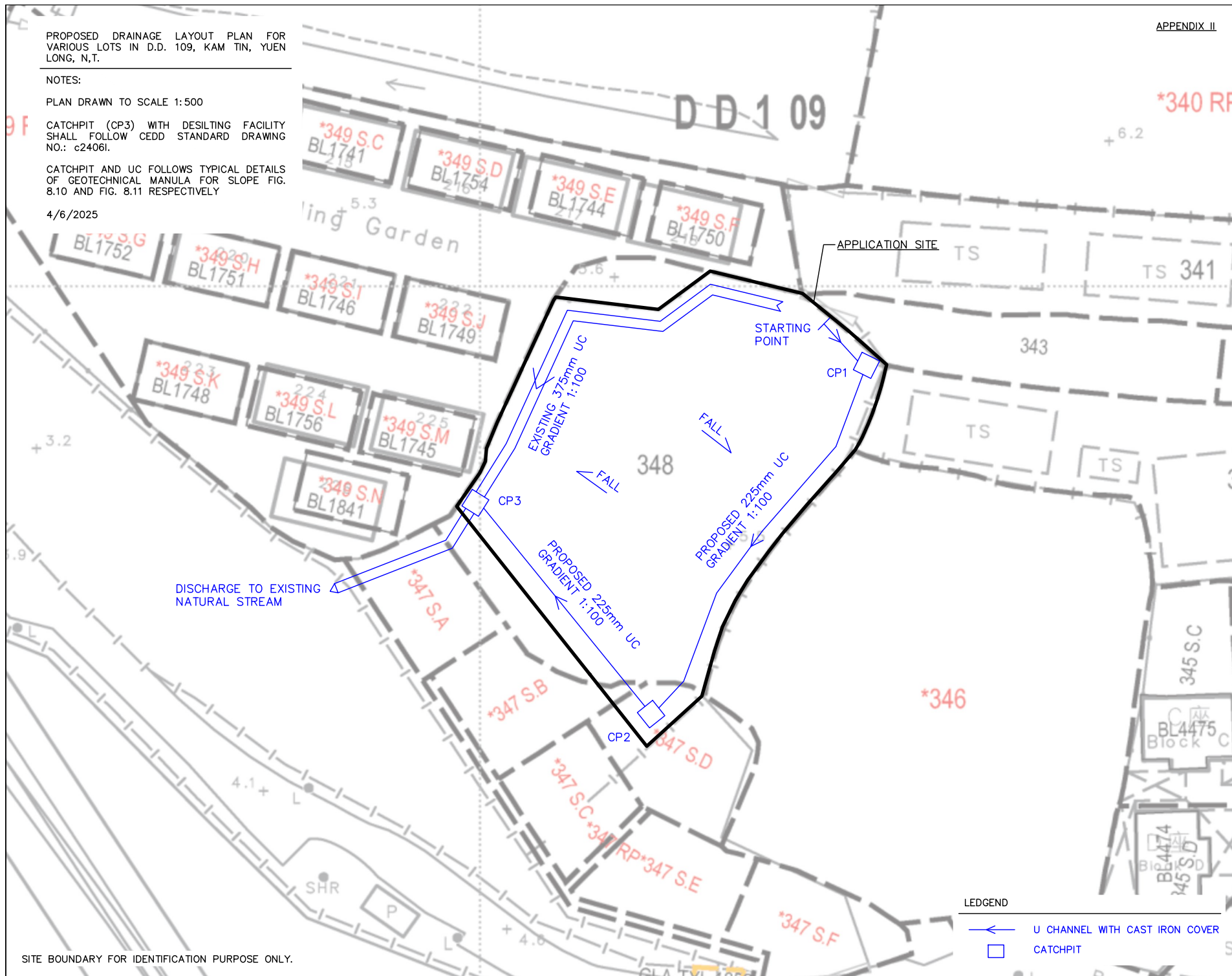
NOTES:

PLAN DRAWN TO SCALE 1:500



CATCHPIT (CP3) WITH DESILTING FACILITY SHALL FOLLOW CEDD STANDARD DRAWING NO.: c2406I.

CATCHPIT AND UC FOLLOWS TYPICAL DETAILS OF GEOTECHNICAL MANULA FOR SLOPE FIG. 8.10 AND FIG. 8.11 RESPECTIVELY

4/6/2025



LEDGEND

-  U CHANNEL WITH CAST IRON COVER
-  CATCHPIT

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

Our Ref.: DD 109 Lot 348 & VL  
Your Ref.: TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

30 July 2025

Dear Sir,

**Supplementary Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit supplementary information for the captioned application.

Revised documents are provided to reflect the reduced nos. of parking space (from 13 to 11) and additional floor area of Structure B2 (from 112 m<sup>2</sup> to 192 m<sup>2</sup>). The revised plans and drawings, and revised pages of Form No. S16-III and Supplementary Statement are enclosed at **Annexes 1 to 3**.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**



**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Woody LIN  
(Attn.: Mr. Michael SO

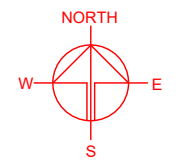
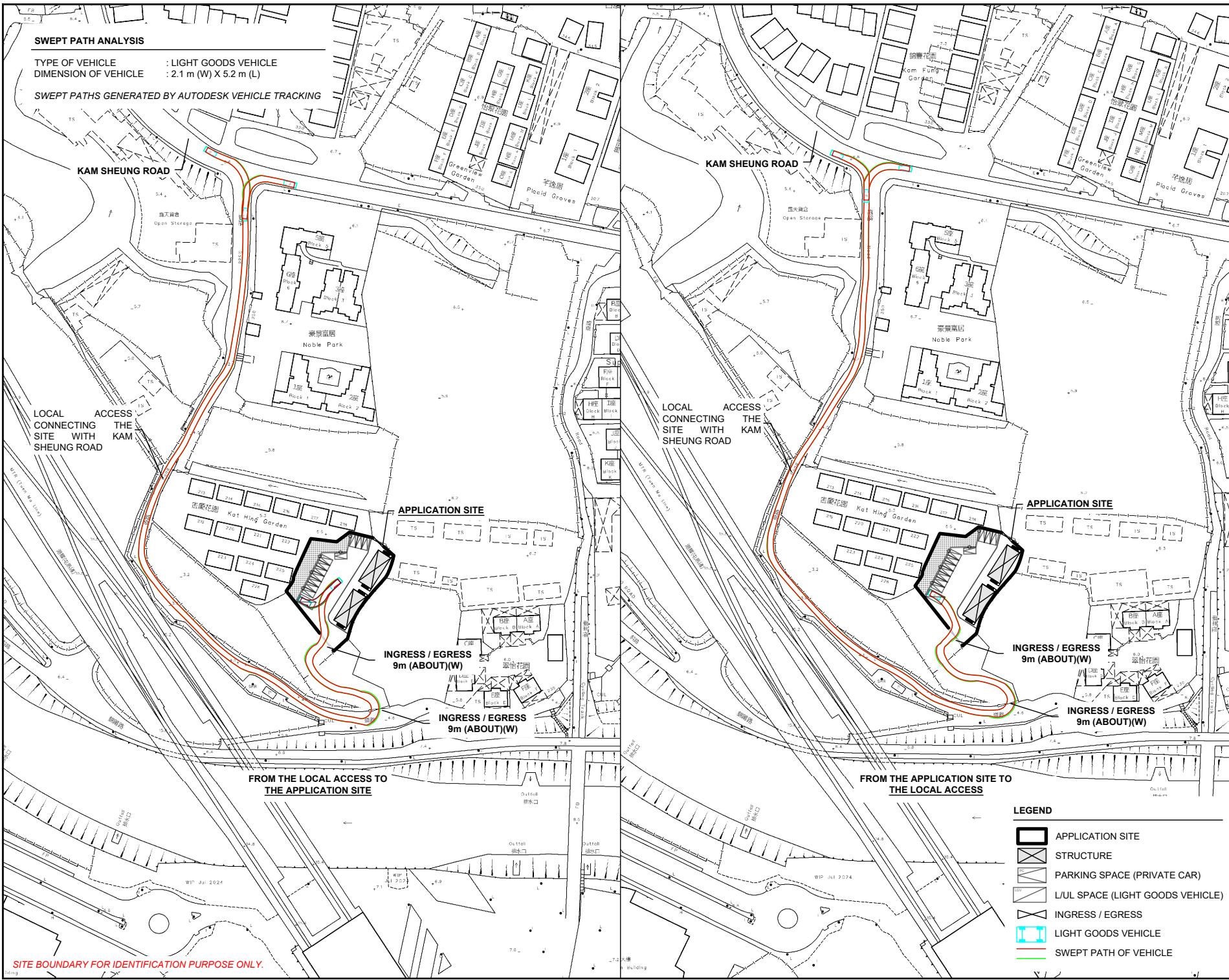
email: wkwlin@pland.gov.hk )  
email: mckso@pland.gov.hk )



**Annex 1**  
Plans and Drawings







**SWEPT PATH ANALYSIS**

TYPE OF VEHICLE : LIGHT GOODS VEHICLE  
 DIMENSION OF VEHICLE : 2.1 m (W) X 5.2 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING

KAM SHEUNG ROAD

KAM SHEUNG ROAD

LOCAL ACCESS CONNECTING THE SITE WITH KAM SHEUNG ROAD

LOCAL ACCESS CONNECTING THE SITE WITH KAM SHEUNG ROAD

APPLICATION SITE

APPLICATION SITE

INGRESS / EGRESS 9m (ABOUT)(W)

INGRESS / EGRESS 9m (ABOUT)(W)

INGRESS / EGRESS 9m (ABOUT)(W)

INGRESS / EGRESS 9m (ABOUT)(W)

FROM THE LOCAL ACCESS TO THE APPLICATION SITE

FROM THE APPLICATION SITE TO THE LOCAL ACCESS

**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS
- LIGHT GOODS VEHICLE
- SWEEP PATH OF VEHICLE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
1 : 2000 @ A4

DRAWN BY MN	DATE 25.7.2025
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CHECKED BY	DATE
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APPROVED BY	DATE
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DWG. TITLE  
SWEPT PATH ANALYSIS

DWG NO. PLAN 5	VER. 003
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**DEVELOPMENT PARAMETERS**

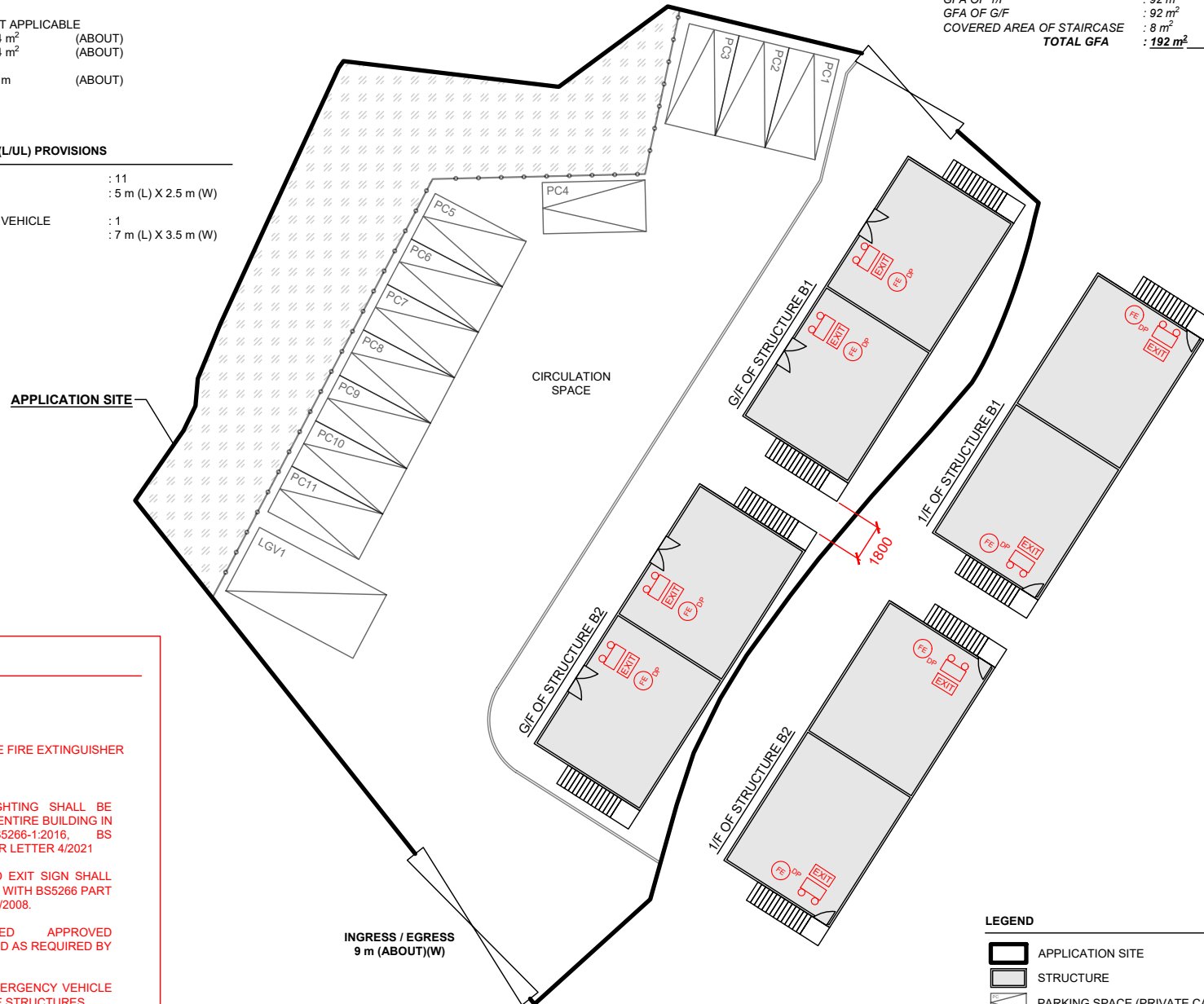
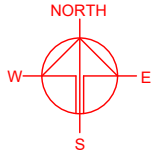
APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 200 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,010 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.32	(ABOUT)
SITE COVERAGE	: 17 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 384 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 384 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

**PARKING AND LOADING / UNLOADING (L/L) PROVISIONS**

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)</b>	<b>384 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>



**FIRE SERVICE INSTALLATIONS**

- EMERGENCY LIGHT
- EXIT SIGN
- 4KG DRY POWDER TYPE FIRE EXTINGUISHER

**FS NOTES:**

1. SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016, BS EN1838:2013 AND FSD CIRCULAR LETTER 4/2021
2. SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266 PART 1 AND FSD CIRCULAR LETTER 5/2008.
3. PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
4. ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/L SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 300 @ A4

DRAWN BY: MN DATE: 25.7.2025

CHECKED BY: DATE:

APPROVED BY: DATE:

DWG. TITLE  
FSI PROPOSAL

DWG NO. APPENDIX I VER. 003

**Annex 2**

Revised Pages of Form No. S16-III



For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

<b>1. Name of Applicant 申請人姓名/名稱</b>
( <input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構)
Rich Tone Management Limited 盈通管理有限公司

<b>2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)</b>
( <input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構)
R-riches Planning Limited 盈卓規劃有限公司

<b>3. Application Site 申請地點</b>	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 1,210 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 384 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... N/A ..... sq.m 平方米 <input type="checkbox"/> About 約

**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- Site coverage restriction 上蓋面積限制 From 由 .....% to 至 .....
- Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- Non-building area restriction 非建築用地限制 From 由 .....m to 至 .....
- Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development  
擬議用途/發展

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

Proposed gross floor area (GFA) 擬議總樓面面積	..... 384 ..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	..... 0.32 .....	<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	..... 17 ..... %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	..... 2 .....	
Proposed no. of storeys of each block 每座建築物的擬議層數	..... 2 ..... storeys 層	
	<input type="checkbox"/> include 包括..... storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括..... storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米(主水平基準上)	<input type="checkbox"/> About 約
	..... 7.2 ..... m 米	<input checked="" type="checkbox"/> About 約

- Domestic part 住用部分
- GFA 總樓面面積 ..... sq. m 平方米  About 約
- number of Units 單位數目 .....
- average unit size 單位平均面積 .....sq. m 平方米  About 約
- estimated number of residents 估計住客數目 .....

- Non-domestic part 非住用部分
- GFA 總樓面面積**
- eating place 食肆 ..... sq. m 平方米  About 約
- hotel 酒店 ..... sq. m 平方米  About 約
- (please specify the number of rooms  
請註明房間數目) .....
- office 辦公室 ..... sq. m 平方米  About 約
- shop and services 商店及服務行業 ..... sq. m 平方米  About 約

- Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)
- 政府、機構或社區設施
- .....
- .....
- .....

- other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)</b>	<b>384 m<sup>2</sup> (ABOUT)</b>	

- Open space 休憩用地 (please specify land area(s) 請註明地面面積)
- private open space 私人休憩用地 ..... sq. m 平方米  Not less than 不少於
- public open space 公眾休憩用地 ..... sq. m 平方米  Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)      384 m<sup>2</sup> (ABOUT)</b>

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途  
 Landscaping area, and vehicle parking, loading/unloading and circulation space  
 .....

.....

.....

.....

.....

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories		
Site area 地盤面積	1,210	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N/A	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South OZP No.: S/YL-KTS/15		
Zoning 地帶	"Residential (Group C)" Zone		
Applied use/ development 申請用途/發展	Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	384	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	2	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	7.2	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		2	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	17	% <input checked="" type="checkbox"/> About 約	
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	N/A	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	11
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)	11 N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	N/A N/A 1 N/A N/A

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Plans showing location/zoning/land status of the Site; Swept path analysis; Fire service installations proposal; and Drainage plan.</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

**Annex 3**

Revised Pages of the Supplementary Statement



## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories (the Site) for '**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years**' (the proposed development) (**Plan 1**).
- 1.2 The Site is in close proximity to nearby residential developments and indigenous villages, where there is strong local demand for shop and service, eating place and vehicle parking spaces. Besides, with the recent and expected in-take of nearby new residential developments e.g. Phases 1 and 2 of the Grand Mayfair, the NAScenT, Pok Oi Kong Ha Wai Village etc., the proposed development would introduce new varieties of shop and service to meet residents' and business operators' demand for daily necessities and eating place.
- 1.3 In view of the increasing population in the Kam Tin area in recent years, the applicant proposes to provide hourly and monthly parking spaces to provide parking spaces for visitors of the proposed shop and services and eating place, and to help alleviate the pressing demand for vehicle parking spaces, as well as minimise the illegal on-street parking circumstance in the area. The proposed development would meet the demand for the proposed uses to bring convenience to the growing population of Kam Tin.
- 1.4 Whereas the Kam Sheung Road Flea Market adjacent to Kam Sheung Road MTR Station is expected to cease operation in the short term, so as to give way for the Northern Link Project, the proposed development would help supplement the demand for the choice of shop and services and eating place in the area.

### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned "Residential (Group C)" ("R(C)") on the Approved Kam Tin South Outline Zoning Plan (OZP) No.: S/YL-KTS/15 (**Plan 2**). According to the Notes of the OZP, the applied uses are Column 2 uses within the "R(C)" zone, which require planning permission from the Board.
- 2.2 The applied uses are considered not incompatible with the surrounding area which is dominated by low-rise residential developments, railway station, vacant land, parking of vehicles, shop and

services, place of recreation, sports or culture, and open storage uses. Although the applied uses are not entirely in line with the planning intention of the "R(C)" zone, there is no known development of the area for residential use. Hence, approval of the application on a temporary basis would not frustrate the long-term planning intentions of the "R(C)" zone and would better utilise precious land resources in the New Territories.

2.3 A similar application (No. A/YL-KTS/972) partly for the same applied use, namely The Richfield, was approved by the Board within the same "R(C)" zone to the north of the Site in 2023. Therefore, approval of the application is in line with the Board's previous decisions and would not set an undesirable precedent within the "R(C)" zone.

2.4 In support of the application, the applicant has submitted a fire service installations (FSIs) proposal to enhance fire safety of the Site and a proposed drainage layout plan to mitigate potential drainage impacts from the proposed development (**Appendices I and II**).

### 3) Development Proposal

3.1 The Site occupies an area of 1,210 m<sup>2</sup> (about) (**Plan 3**). A total of 2 structures is proposed at the Site for shop and service/eating place uses with total gross floor area (GFA) of 384 m<sup>2</sup> (about) (**Plan 4**). The operation hours of the shop and services/eating place will be from 07:00 to 21:00 daily (including Sunday and public holidays), whilst the public vehicle park will be opened 24-hour daily. Details of the development parameters are shown at **Table 1** below:

**Table 1** – Major Development Parameters

<b>Site Area</b>	1,210 m <sup>2</sup> (about)
<b>Covered Area</b>	200 m <sup>2</sup> (about)
<b>Uncovered Area</b>	1,010 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.32 (about)
<b>Site Coverage</b>	17% (about)
<b>No. of Structure</b>	2
<b>Total GFA</b>	384 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	384 m <sup>2</sup> (about)
<b>Building Height</b>	7.2 m (about)
<b>No. of Storey</b>	2

- 3.2 The proposed shop and service/eating place could accommodate about 50-60 customers at the same time. Food and goods to support the daily operation of the proposed development will be transported by light goods vehicle (LGV) during non-peak hours (i.e. beyond 08:00 to 09:00 and 18:00 to 19:00). Given that the proposed development would target at residents from nearby residential developments, as well as various villages in Kam Tin and Pat Heung areas, it is expected that a portion of the target customers would assess the Site by private cars.
- 3.3 The applicant proposes to provide adequate number of private car (PC) parking spaces to alleviate the pressing demand for hourly/monthly parking spaces and illegal on-street parking in the vicinity. A fraction of the proposed parking spaces would also be reserved for visitors and staff of the proposed development. As the operation hours of the proposed shop and services/eating place would last until 21:00, it is expected the nighttime traffic flow induced by the proposed development should be minimal. The potential adverse impacts in relation to noise and traffic flow to nearby residents are not anticipated.
- 3.4 The Site is accessible from Kam Sheung Road via a local access (**Plan 1**). A 9 m-wide vehicular ingress/egress is proposed at the southern part of the Site. A total of 12 parking and loading/unloading (L/UL) spaces are proposed at the Site (**Plan 4**). Details of the parking and L/UL provisions are shown at **Table 2** below.

**Table 2 – Parking and L/UL Provisions**

Types of Space	Nos. of Space
Parking Space for PC - 2.5 m (W) x 5 m (L)	11
L/UL Space for LGV - 3.5 m (W) x 7 m (L)	1

- 3.5 A separate pedestrian access connecting the adjoining site of an approved application No. A/YL-KTS/972 partly for the same applied uses, namely the Richfield, is located at the northern part of the Site. A footpath of 3 m (about) in width is proposed solely for pedestrian use to allow visitors accessing the Site via the pedestrian access. The footpath margin will be clearly indicated with white paint to ensure pedestrian safety.
- 3.6 Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 5**). As the estimated traffic generated/ attracted by the proposed development is expected to be minimal, adverse traffic impacts

arising from the proposed development should not be anticipated. Details of the estimated trip generation/attraction are shown at **Table 3** below.

**Table 3** – Estimated Trip Generation/Attraction

Time Period	Estimated Trip Generation/Attraction				
	PC		LGV		2-Way Total
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (08:00 – 09:00)	3	2	0	0	5
Trips at <u>PM peak</u> per hour (18:00 – 19:00)	2	4	0	0	6
Average trip per hour (Beyond AM & PM Peaks)	2	2	1	1	6

- 3.7 The Site is currently surrounded by periphery fencing to minimise the noise and visual nuisance to the surrounding area. In order to further alleviate the potential noise and visual impact to the nearby residents, the applicant will enlarge the existing landscaping area with additional vegetations and erect wooden fencing of 2 m (about) in height along the edge of the landscaping area. The wooden fencing will be installed properly by licensed contractor to prevent misalignment. Separated by the enlarged landscaping area, the proposed parking spaces will maintain a distance of at least 6 m from the existing houses to the west of the Site. Moreover, the proposed structures will be arranged at the eastern portion of the Site so as to minimise the noise nuisance arising from the proposed shop and services/eating place to the surrounding residential establishments.
- 3.8 A notice will be posted at a prominent location of the Site to indicate that no medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers, as defined in the *Road Traffic Ordinance*, are allowed to be parked/stored on or enter/exit the Site at all times during the planning approval period. No vehicle without valid licence issued under the *Road Traffic (Registration and Licensing of Vehicle) Regulations* are allowed to be parked/stored at the Site at any time during the planning approval period.
- 3.9 No open storage, storage of unlicensed vehicle, vehicle repairing, dismantling or other workshop activities will be involved at the Site. The applicant will strictly comply with all environmental protection/pollution control ordinances, i.e. *Water Pollution Control Ordinance*, *Air Pollution Control Ordinance*, *Noise Control Ordinance* etc. at all times during the planning approval period. No public announcement system or any form of audio amplification system will be used at the

Site during the planning approval period. The applicant will also follow relevant mitigation measures and requirements in the latest the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by the Environmental Protection Department (EPD) to minimise the potential adverse environmental impacts and nuisance to the surrounding area.

3.10 The applicant will follow the 'Control of Oily Fume and Cooking Odour from Restaurants and Food Business' issued by EPD to control oily fume and cooking odour emissions generated from the eating place. To fulfill the requirements of the *Air Pollution Control Ordinance*, adequate equipment for air pollution control will be provided at the kitchen ventilation system to treat fume emissions before being discharged to the environment.

#### **4) Conclusion**

4.1 The proposed development is not anticipated to create significant nuisance to the surrounding area. Adequate mitigation measures have been provided by the applicant i.e. submission of FSIs and drainage proposals to alleviate any potential adverse impact arising from the proposed development (**Appendices I and II**).

4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years**'.

**R-riches Planning Limited**

**July 2025**

### **LIST OF PLANS**

<b>Plan 1</b>	Location plan
<b>Plan 2</b>	Plan showing the zoning of the Site
<b>Plan 3</b>	Plan showing the land status of the Site
<b>Plan 4</b>	Layout plan
<b>Plan 5</b>	Swept path analysis

### **LIST OF APPENDICES**

<b>Appendix I</b>	FSIs proposal
<b>Appendix II</b>	Drainage plan



盈卓  
規劃  
有限公司

Our Ref. : DD 109 Lot 348 & VL  
Your Ref. : TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

02 September 2025

Dear Sir,

**Further Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit further information in response to departmental comments on the captioned application.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

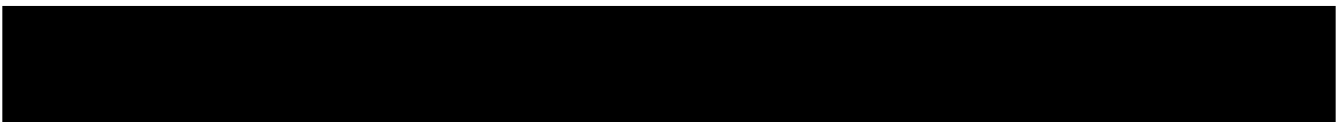
A handwritten signature in black ink, appearing to read 'Christian CHIM', is written over a circular blue stamp. The stamp contains the text 'R-riches Planning Limited' and '盈卓規劃有限公司' in Chinese characters.

**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Woody LIN  
(Attn.: Mr. Michael SO

email: wkmlin@pland.gov.hk )  
email: mckso@pland.gov.hk )



Response-to-Comment (RtC)

Proposed Temporary Shop and Services with Ancillary Facilities  
and Associated Filling of Land for a Period of 5 Years in “Open Space” Zone,  
Lot 2882 S.B RP in D.D. 104, Mai Po, Yuen Long, New Territories

(S.16 Application No. A/YL-KTS/1088)

(i) A RtC table:

Departmental Comments		Applicant’s Responses
<b>1. Comments of the Chief Engineer/Drainage Services Department (DEP)</b>		
(a)	Please clarify how the sewage generated from the proposed use will be properly collected, treated and disposed of.	As there is no existing public sewer in the vicinity of the Site, a septic tank and soakaway system is proposed for sewage treatment at the application site (the Site). The applicant will strictly follow relevant guidelines stipulated in <i>Professional Persons Environmental Consultative Committee Practice Notes 1/23</i> when designing the on-site sewage system at the Site. Licensed collectors will be employed by the applicant to collect and dispose of the sewage regularly.
<b>2. Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD)</b>		
(a)	There are unauthorised structures within Lot No. 347 S.B in D.D. 109 not covered by the subject planning application. The lot owner(s) should immediately rectify/apply for regularisation on the lease breaches and this office reserves the rights to take necessary lease enforcement action against the breaches without further notice.	The Site occupies a small fraction of Lot No. 347 S.B in D.D. 109, where no structure has been erected thereon and is currently separated from the remaining portion of Lot No. 347 S.B in D.D. 109 by metal fencing. Existing structures falling outside the site boundary are considered out of scope for the current planning application.  Please refer to the land status plan at Plan 3 of the original submission for the site boundary under the current planning application.

**S.16 Planning Application No. A/YL-KTS/1088**

<p>(b)</p>	<p>The lot owner(s)/applicant shall either (i) remove the unauthorised structure(s) not covered by the subject planning application immediately; or (ii) include the unauthorised structure(s) in the subject planning application for the further consideration by the relevant departments and, subject to the approval of the Town Planning Board to the planning application which shall have reflected the rectification or amendment as aforesaid require, apply to this office for a STW to permit the structure(s) erected.</p> <p>The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate to be imposed by LandsD. In addition, LandsD reserves the right to take enforcement action against the lot owner(s)/applicant for any breach of the lease conditions, including the breach(es) already in existence or to be detected at any point of time in future.</p>	<p>Upon obtaining relevant planning permission from the Town Planning Board, the applicant will submit an application for Short Term Waiver for the erection of the proposed structures within the site boundary.</p> <p>Please refer to the layout plan at Plan 4 of the original submission for the development parameters of the proposed structures.</p>
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Departmental Comments		Applicant's Responses
<b>3. Comments of the Director of Fire Services (D of FS)</b>		
(a)	For enclosed structure with gross floor area not exceeding 230 m <sup>2</sup> , only fire extinguisher and stand-alone fire detector shall be provided.	The applicant has proposed the installation of fire extinguishers and stand-alone fire detectors in the enclosed structures.  Please refer to the revised proposal at <b>Annex 1</b> .
(b)	In relation to (a) above, where two or more stand-alone fire detector are installed in an enclosed structure, all stand-alone fire detectors shall be inter-connected (either wired or wirelessly) such that when one of the stand-alone fire detectors is triggered, all connected stand-alone fire detectors shall sound an alarm simultaneously.	Noted.
(c)	The stand-alone fire detector shall be provided in accordance with the "Stand-alone Fire Detector General Guidelines on Purchase, Installation & Maintenance [Sep 2021]".	
(d)	If the applicant self-initiates the provision of directional and exit signs, the standards and specification shall be in accordance with "BS 5266-1:2016 and the FSD Circular Letter No. 5/2008".	
(e)	Emergency lighting, directional and exit signs are considered as self-upgrade and not a mandatory requirement by FSD.	

**DEVELOPMENT PARAMETERS**

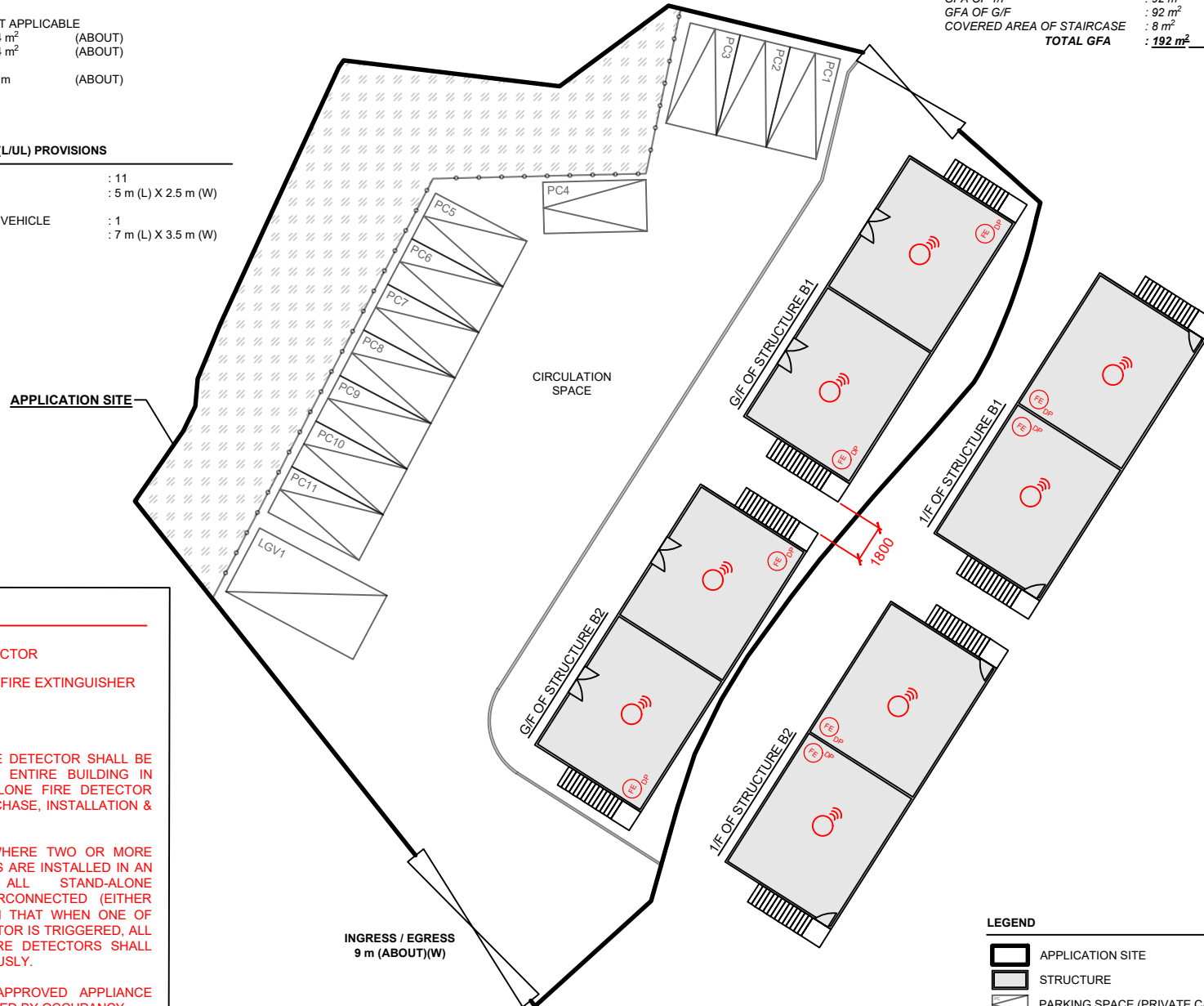
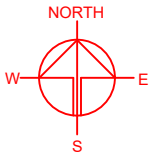
APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 200 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,010 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.32	(ABOUT)
SITE COVERAGE	: 17 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 384 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 384 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

**PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS**



NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)</b>	<b>384 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>





**FIRE SERVICE INSTALLATIONS**

-  STAND-ALONE FIRE DETECTOR
-  4 KG DRY POWDER TYPE FIRE EXTINGUISHER

**FS NOTES:**

- 1) SUFFICIENT STAND-ALONE FIRE DETECTOR SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH "STAND-ALONE FIRE DETECTOR GENERAL GUIDELINES ON PURCHASE, INSTALLATION & MAINTENANCE [SEP 2021]".
- 2) IN RELATION TO 1) ABOVE, WHERE TWO OR MORE STAND-ALONE FIRE DETECTORS ARE INSTALLED IN AN ENCLOSED STRUCTURE, ALL STAND-ALONE DETECTORS SHALL BE INTERCONNECTED (EITHER WIRED OR WIRELESSLY) SUCH THAT WHEN ONE OF THE STAND-ALONE FIRE DETECTOR IS TRIGGERED, ALL CONNECTED STAND-ALONE FIRE DETECTORS SHALL SOUND AN ALARM SIMULTANEOUSLY.
- 3) PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- 4) ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

**LEGEND**

-  APPLICATION SITE
-  STRUCTURE
-  PARKING SPACE (PRIVATE CAR)
-  L/UL SPACE (LIGHT GOODS VEHICLE)
-  INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 300 @ A4

DRAWN BY	DATE
CC	2.9.2025

CHECKED BY	DATE

APPROVED BY	DATE

DWG. TITLE
FSI PROPOSAL

DWG. NO.	VER.
ANNEX I	003



盈卓  
規劃  
有限公司

Our Ref. : DD 109 Lot 348 & VL  
Your Ref. : TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

23 September 2025

Dear Sir,

**2<sup>nd</sup> Further Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit further information in response to departmental comments on the captioned application.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

A handwritten signature in black ink, appearing to read 'Christian CHIM', is written over a circular blue stamp. The stamp contains the text 'R-riches Planning Limited' and '盈卓規劃有限公司' in Chinese characters.

**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD	(Attn.: Mr. Woody LIN	email: wkmlin@pland.gov.hk )
	(Attn.: Mr. Michael SO	email: mckso@pland.gov.hk )
	(Attn.: Ms. Anna TONG	email: akytong@pland.gov.hk )



Response-to-Comment (RtC)

**Proposed Temporary Shop and Services with Ancillary Facilities  
and Associated Filling of Land for a Period of 5 Years in “Open Space” Zone,  
Lot 2882 S.B RP in D.D. 104, Mai Po, Yuen Long, New Territories**

**(S.16 Application No. A/YL-KTS/1088)**

(i) A RtC table:

Departmental Comments		Applicant’s Responses
<b>1. Comments from the Chief Engineer/Railway Development 1-1, Railway Development Office, Highways Department (CE/RD1-1, RDO, HyD)</b>		
(a)	Based on the location plan and the Northern Link (NOL) Scheme Gazette Plan, it is noted that the proposed development site is in close proximity to the gazette boundary and the tunnel structure of NOL. Please confirm whether the proposed development shall have no adverse impact to the construction and operation of NOL.	No excavation of land will be carried out at the application site (the Site). Besides, the Site has already been paved, no further filling of land will be conducted at the Site. Given that the application itself and the proposed structures are temporary in nature, no foundation work will be carried out at the Site.  As such, the proposed development shall have no adverse impact to the construction and operation of the Norther Link (NOL).
(b)	It is also noted that the estimated trip generation /attraction from the application site would be in the maximum of 6 trips per hour distributed to Kam Sheung Road. Please confirm whether the traffic generated/attracted during their implementation period shall have no adverse impact to the construction and operation of NOL.	Given that the proposed development would only generate and attract a maximum of 6 trips per hour in total, the additional traffic being distributed to Kam Sheung Road is considered minimal when comparing with the existing traffic flow of Kam Sheung Road.  As such, the proposed development shall have no adverse impact to the construction and operation of NOL.
(c)	Please note that the construction of NOL will be from 2025 to 2034. The applicant should take into account the construction, operation and maintenance of NOL.	Noted. Noting that the proposed development is of temporary nature for a period of 5 years, its operation would not hinder the operation and maintenance of NOL in the long run.

Departmental Comments		Applicant's Responses
<b>2. Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>		
(a)	Please refer to DSD's Stormwater Drainage Manual and its corrigenda for preparation of the drainage assessment /proposal.	Noted. Please refer to the enclosed revised drainage proposal at <b>Annex 1</b> .
(b)	If land filling works will be carried out under this application, please ensure that existing drain path/overland flow from the adjacent lands should not be affected.	
(c)	The size and gradient of the proposed/existing drainage facilities to be discharged from the Site and/or the overland flow intercepted from the adjacent lands should be indicated in the drainage plan. The applicant should check and ensure the hydraulic capacity of the existing drainage facilities would not be adversely affected by the captioned development.	
(d)	Reference should be made to DSD Technical Note No. 1 for the sizes of the proposed u-channels.	
(e)	Where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site.	
(f)	Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	
(g)	Standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit/sand trap.	
(h)	The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	
(i)	Please provide hydraulic calculations for the proposed discharging drainage facility	

**S.16 Planning Application No. A/YL-KTS/1088**

	demonstrating its capacity to cater for the surface runoff from the entire application site.	
(j)	The existing drainage channel of the proposed discharge point is not maintained by this Department. The applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek the Lands Department's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land outside the application site.	
(k)	Connection details at discharge point (including cross section) with C.L., I.L. and catchpit/channel bottom level should be shown in the drawing.	
(l)	Colour photos to indicate the current conditions of the existing drainage facilities should be included in the submission. The photo taken locations and angles should be shown on the layout plan.	

**Annex 1**  
Revised Drainage Proposal



Proposed Temporary Shop and Services, Eating Place  
and Public Vehicle Park (Excluding Container Vehicle)  
for a Period of 5 Years in “Residential (Group C)”  
Zone, Various Lots in D.D. 109, Kam Tin, Yuen Long,  
New Territories

## Drainage Proposal

**Sep 2025**



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Figure 5 - Sections

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Appendix B - Development Layout Plan
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Appendix D – Site Photo

# 1 Introduction

## 1.1 Background

- 1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories (the Site) for ‘Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years’.
- 1.1.2 This report aims to support the development in drainage aspect.

## 1.2 Application Site

- 1.2.1 The application site is situated beside Kat Hing Garden, south of Kam Sheung Road. It has an area of approx. 1,210 m<sup>2</sup>. The site location is shown in **Figure 1**.
- 1.2.2 The existing site is mostly paved. The existing site levels are approx. + 5.50mPD. No major site formation works for the application site is anticipated.
- 1.2.3 There is an existing minimum 375mm channel by the west boundary of the application site. There is also an existing 525mm channel which would discharge to existing watercourse and eventually discharge to Kam Tin River. **Figure 2** indicate the existing drainage system of the area.

## 2 Development Proposal

### 2.1 The Proposed Development

2.1.1 The total site area is approximately 1,210 m<sup>2</sup>. The existing planter at the west portion of the site would be maintained. The catchment plan is shown in **Figure 4**.

Proposed Development Area (Approx.)	
Total Site Area (m <sup>2</sup> )	1,210
Planter Area before Development (m <sup>2</sup> )	223
Planter Area after Development (m <sup>2</sup> )	140
Paved Area after Development (m <sup>2</sup> )	1,070

**Table 1 – Site Development Area**

## 3 Assessment Criteria

3.1.1 The Recommended Design Return Period based on Flood Level from SDM (Table 10) is adopted for this report. The recommendation is summarized in **Table 2** below.

Description	Design Return Periods
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage Including Internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

**Table 2– Design Return Periods under SDM**

3.1.2 The proposed drainage system intended to collect runoff from internal site and external catchment. 1 in 50 years return period is adopted for the drainage design.

3.1.3 Stormwater drainage design will be carried out in accordance with the criteria set out in the Stormwater Drainage Manual published by DSD. The proposed design criteria to be adopted for design of this stormwater drainage system and factors which have been considered are summarised below.

1. Intensity-Duration-Frequency Relationship – The Recommended Intensity-Duration-Frequency relationship is used to estimate the intensity of rainfall. It can be expressed by the following algebraic equation.

$$i = \frac{a}{(t_d + b)^c}$$

The site is located within the HKO Zone. Therefore, for 50 years return period, the following values are adopted.

a	=	505.5
b	=	3.29
c	=	0.355

(Corrigendum No.1/2024)

The development is proposed for temporary use for a period of 5 years. 11.1% rainfall increase due to climate change is considered.

2. The peak runoff is calculated by the Rational Method  
i.e.  $Q_p = 0.278CiA$

where	$Q_p$	=	peak runoff in $m^3/s$
	C	=	runoff coefficient (dimensionless)
	i	=	rainfall intensity in mm/hr
	A	=	catchment area in $km^2$

3. The run-off coefficient (C) of surface runoff are taken as follows:

1. Paved Area: C = 0.95
2. Unpaved Area: C = 0.35

4. Manning's Equation is used for calculation of velocity of flow inside the channels:

$$\text{Manning's Equation: } v = \frac{R^{\frac{1}{6}}}{n} R^{\frac{1}{2}} S_f^{\frac{1}{2}}$$

Where,

V = velocity of the pipe flow (m/s)

S<sub>f</sub> = hydraulic gradient

n = manning's coefficient

R = hydraulic radius (m)

5. Colebrook-White Equation is used for calculation of velocity of flow inside the pipes:

$$\text{Colebrook-White Equation: } \underline{v} = -\sqrt{32gRS} \log \log \left( \frac{k_s}{14.8R} + \frac{1.255v}{R\sqrt{32gRS}} \right)$$

where,

V	=	velocity of the pipe flow (m/s)
S <sub>f</sub>	=	hydraulic gradient
k <sub>f</sub>	=	roughness value (m)
v	=	kinematics viscosity of fluid
D	=	pipe diameter (m)
R	=	hydraulic radius (m)

## 4 Proposed Drainage System

### 4.1. Proposed Channels

- 4.1.1 Proposed Channels are designed for collection of runoff for internal catchment. They are proposed to discharge to existing channel and watercourse which will eventually discharge to Kam Tin River. As the change in equivalent area is only 49.8 m<sup>2</sup>, the increase of flow due to change of equivalent to existing water course is only 0.1%. The existing channels and watercourse checking are shown in **Appendix A**. They have enough capacity.
- 4.1.2 The design calculations of proposed UChannel are shown in **Appendix A**.
- 4.1.3 The alignment, size, gradient and details of the proposed drains are shown in **Figure 3**. The catchment plan is shown in **Figure 4**.
- 4.1.5 Reference Drawings are shown in **Appendix C** for reference.

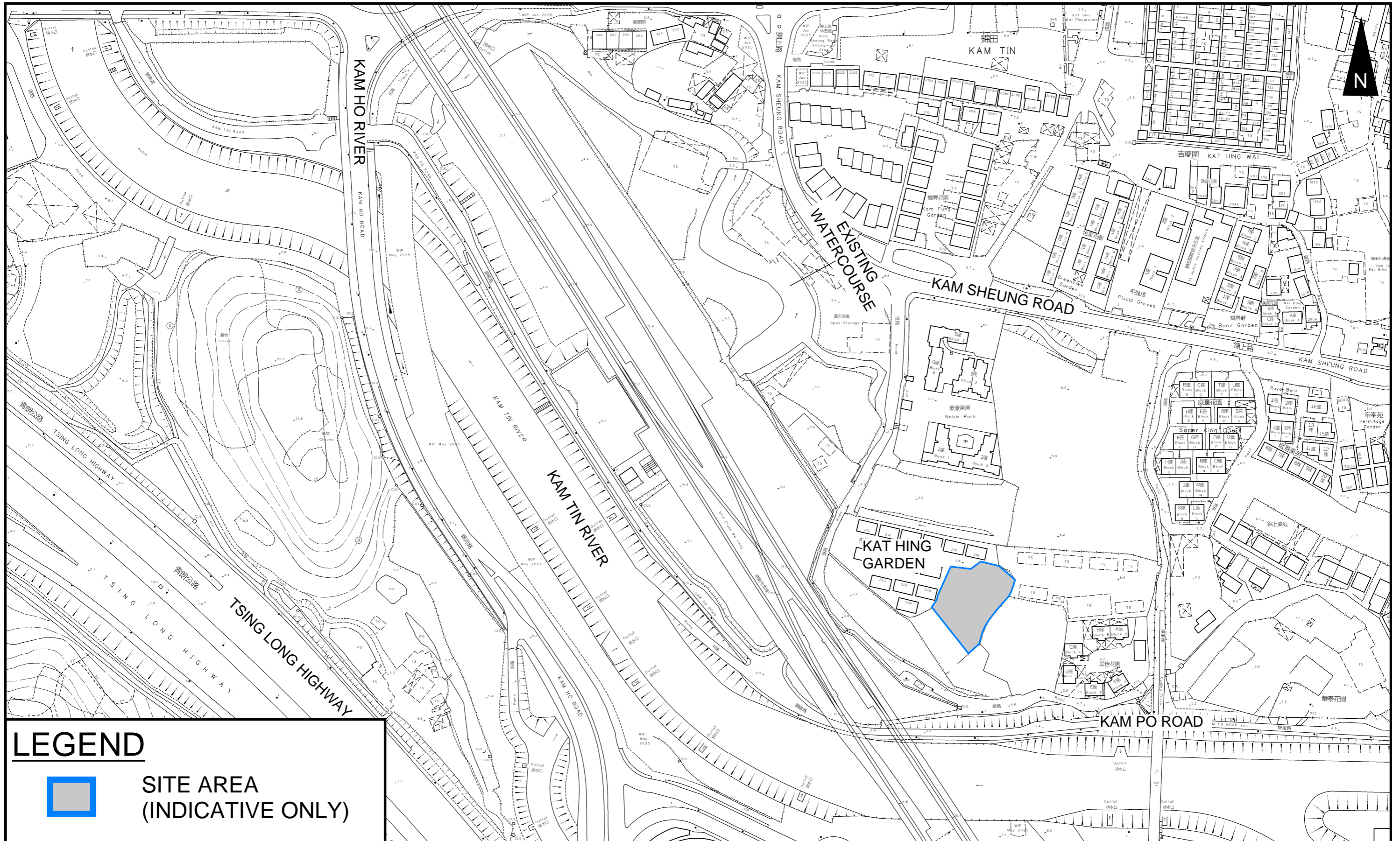
## 5 Conclusion

- 5.1.1 Drainage review has been conducted for the Proposed Development. The surface runoff will be collected by the proposed drains and discharged to existing drainage system. With implementation of the above drainage system, no unacceptable drainage impact is anticipated.

- End of Text -

# FIGURES

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## LEGEND



**SITE AREA  
(INDICATIVE ONLY)**

## PROJECT:

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

## LOCATION:

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

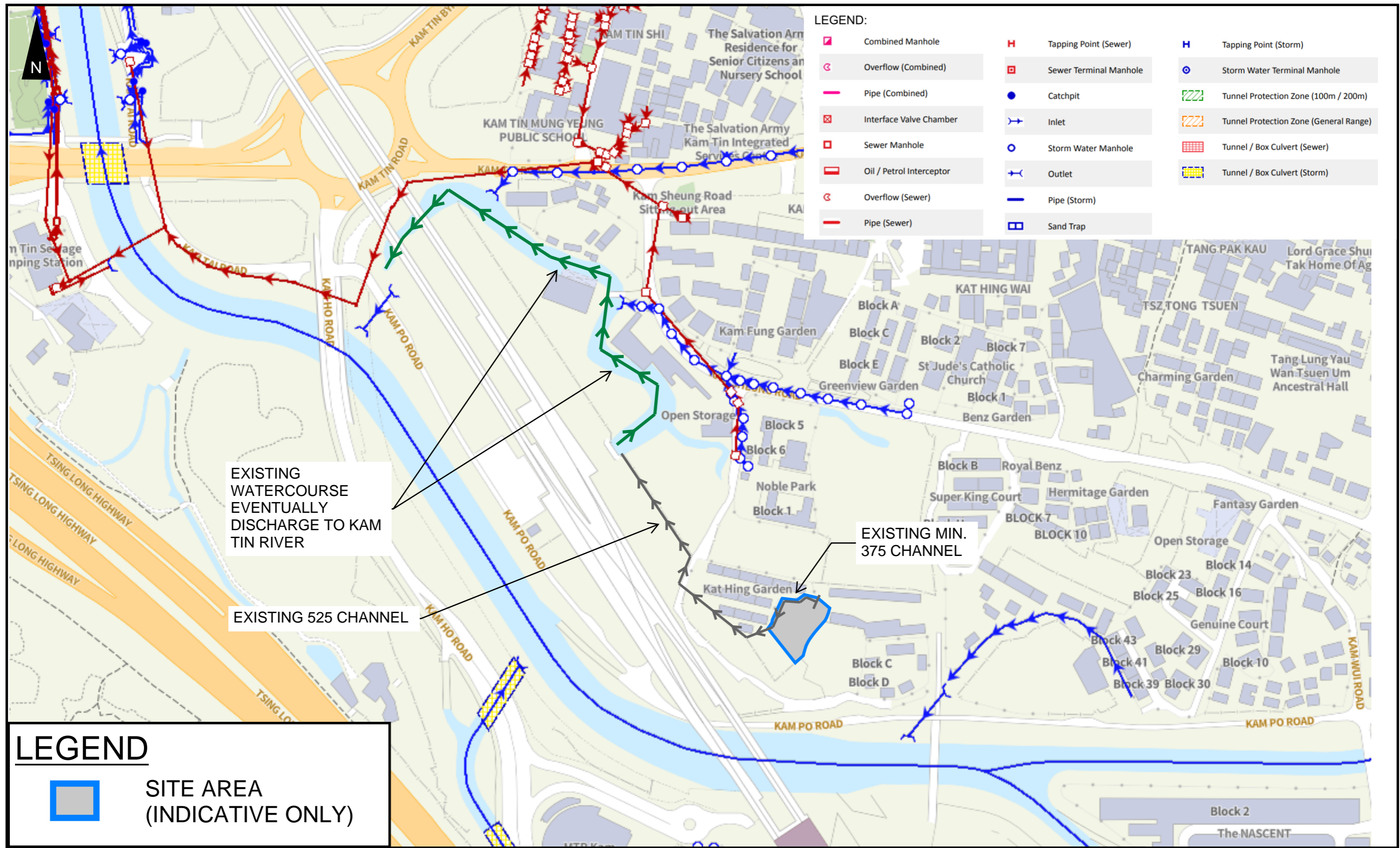
## TITLE

**SITE LOCATION PLAN**

## FIGURE NUMBER

**FIGURE 1**

VER	DESCRIPTION	DATE



**LEGEND:**

	Combined Manhole		Tapping Point (Sewer)		Tapping Point (Storm)
	Overflow (Combined)		Sewer Terminal Manhole		Storm Water Terminal Manhole
	Pipe (Combined)		Catchpit		Tunnel Protection Zone (100m / 200m)
	Interface Valve Chamber		Inlet		Tunnel Protection Zone (General Range)
	Sewer Manhole		Storm Water Manhole		Tunnel / Box Culvert (Sewer)
	Oil / Petrol Interceptor		Outlet		Tunnel / Box Culvert (Storm)
	Overflow (Sewer)		Pipe (Storm)		
	Pipe (Sewer)		Sand Trap		

**LEGEND**

	SITE AREA (INDICATIVE ONLY)
--	-----------------------------

**PROJECT:**  
 Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone


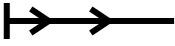




**TITLE**  
 EXISTING DRAINAGE PLAN

**FIGURE NUMBER**  
 FIGURE 2

**LOCATION:**  
 Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

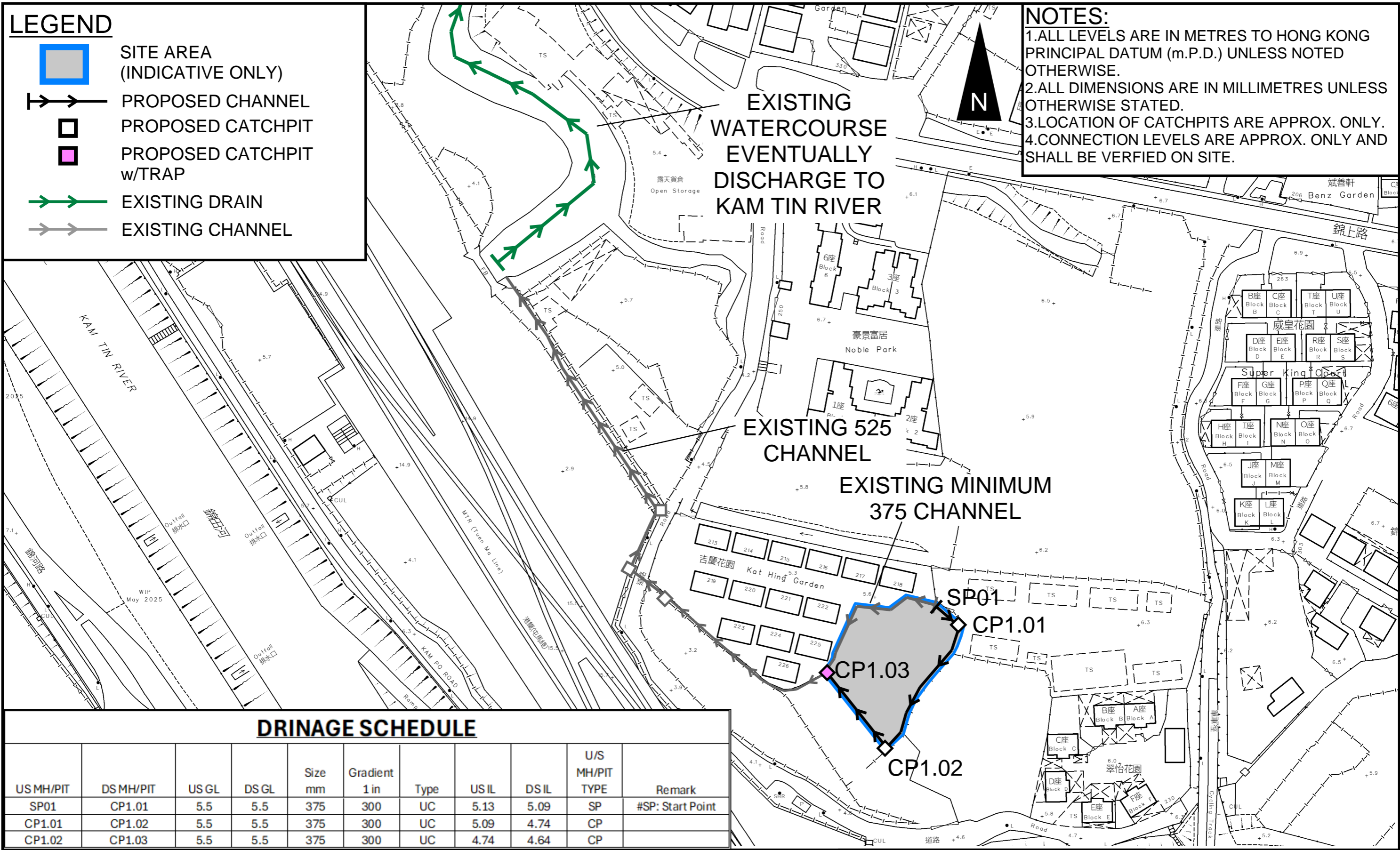
VER	DESCRIPTION	DATE

**LEGEND**

-  SITE AREA (INDICATIVE ONLY)
-  PROPOSED CHANNEL
-  PROPOSED CATCHPIT
-  PROPOSED CATCHPIT w/TRAP
-  EXISTING DRAIN
-  EXISTING CHANNEL

**NOTES:**

1. ALL LEVELS ARE IN METRES TO HONG KONG PRINCIPAL DATUM (m.P.D.) UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
3. LOCATION OF CATCHPITS ARE APPROX. ONLY.
4. CONNECTION LEVELS ARE APPROX. ONLY AND SHALL BE VERIFIED ON SITE.



**DRINAGE SCHEDULE**

US MH/PIT	DS MH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Remark
SP01	CP1.01	5.5	5.5	375	300	UC	5.13	5.09	SP	#SP: Start Point
CP1.01	CP1.02	5.5	5.5	375	300	UC	5.09	4.74	CP	
CP1.02	CP1.03	5.5	5.5	375	300	UC	4.74	4.64	CP	

**PROJECT:**  
Proposed Temporary Warehouse (excl. D.G.G.) with Ancillary Facilities and Associate Filling of Land for a Period of 3 Years in "Agriculture" Zone

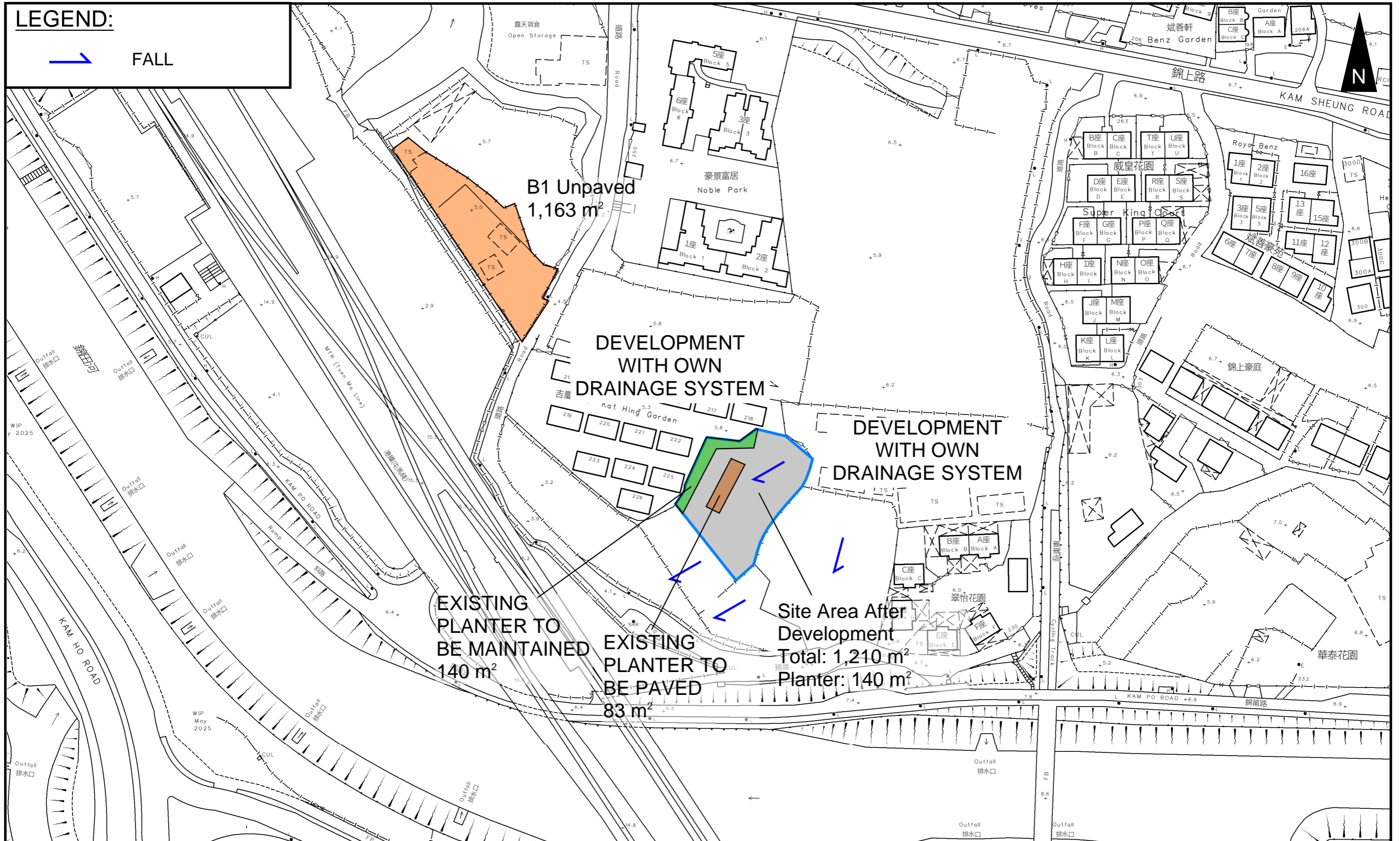
**TITLE**  
**PROPOSED DRAINAGE SYSTEM**

**FIGURE NUMBER**  
**FIGURE 3**

**LOCATION:**  
Lots 136 RP (Part) and 2149 in D.D. 106 and Adjoining GL, Kam Tin, Yuen Long, N.T.

VER	DESCRIPTION	DATE

**LEGEND:**



**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone

**TITLE**

**CATCHMENT PLAN**

**FIGURE NUMBER**


**FIGURE 4**

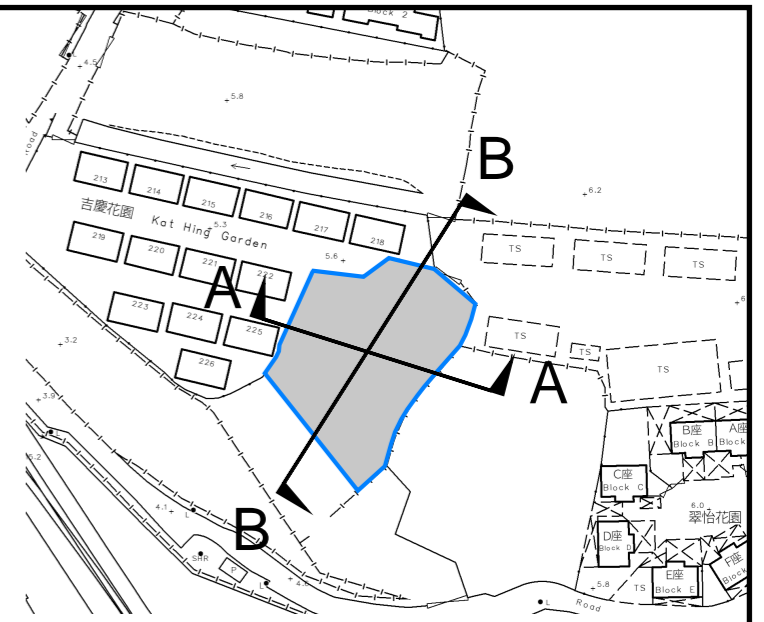
**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE

**LEGEND**

 SITE AREA (INDICATIVE ONLY)



EXISTING FENCE BY OTHERS



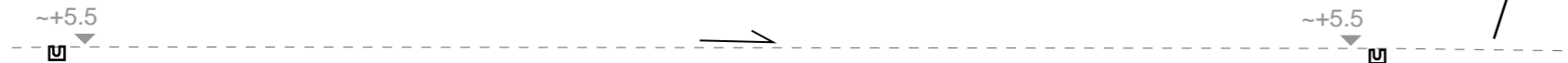
EXISTING GROUND LEVEL



N.T.S.  
SECTION A-A



EXISTING GROUND LEVEL



N.T.S.  
SECTION B-B

**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

TITLE  
SECTIONS

FIGURE NUMBER  
FIGURE 5

**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE

# APPENDIX

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# Appendix A: Design Calculation

Zone

HKO
-----

Return Period	1 in	50	years
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n	0.014
Ks	0.15
Viscosity	0.000001

Storm Constant	HKO a	505.5
	HKO b	3.29
	HKO c	0.355

Catchment Area Table (Area in m<sup>2</sup>)

Catchment	A1	B1	Site Area Before Development	Change of Equivalent Area															
Total Area	1210	1163	1210	-															
Hard Paved Area	1070	0	987	-															
Unpaved Area	140	1163	223	-															
Equival. Area	1065.5	407.05	1015.7	49.8															

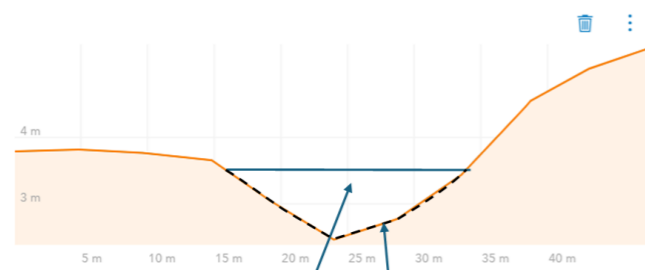
Pavement Type	Hard Paved	Unpaved
Runoff Coefficient	0.95	0.35

Calculation Table of Drainage System

US MH/PIT	DS MH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Length m	V m/s <sup>##</sup>	Capacity m <sup>3</sup> /s	Catchments	Total Equivalent Area m <sup>2</sup>	ToC min	Intensity mm/hr <sup>##</sup>	Total Discharge m <sup>3</sup> /s	Utilization n	Remark
SP01	CP1.01	5.50	5.50	375	300	UC	5.13	5.09	SP	9.5	1.06	0.13	A1	1065.50	0.40	353	0.10	78.7%	
CP1.01	CP1.02	5.50	5.50	375	300	UC	5.09	4.74	CP	104.8	1.06	0.13	A1	1065.50	0.55	348	0.10	77.6%	
CP1.02	CP1.03	5.50	5.50	375	300	UC	4.74	4.64	CP	29.9	1.06	0.13	A1	1065.50	2.20	307	0.09	68.3%	
CP1.03	Existing 525 channel			525	100	UC					2.30	0.57	A1,B1	1472.55	2.67	298	0.12	21.6%	
Checking of Existing min. 375 channel				375	200	UC					1.30	0.16	A1	1065.50	0.40	353	0.10	64.2%	
Flow due to change of Equivalent Area														Change of Equivalent Area	49.80	2.67	298	0.004	

#SP: Start Point  
## : With 11.1% rainfall increase as per Table 28 of SDM Corrigendum No. 1/2022.

Capacity Checking of Existing Watercourse against Flow from Development



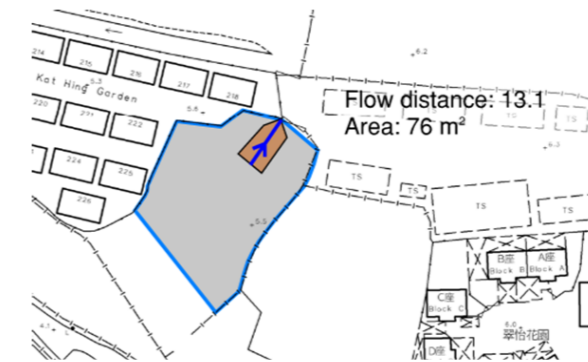
Assumed Water Depth	Freeboard	Base Width	Width of Water Surface	Flow Area	Wetted Perimeter	Hydraulic Radius	Manning's Roughness	Gradient	Velocity	Capacity
m	m	m	m	m <sup>2</sup>	m	m		1 in	m/s	m <sup>3</sup> /s
0.70	0.50	-	16.80	6.20	16.87	0.37	0.035	200	1.04	6.43

Total Flow from Site = 0.12 m<sup>3</sup>/s See Appendix A  
Utilization Rate = 1.9%  
Total flow from Development Site only occupy 1.9% of nearby Watercourse.

Flow due to change of Equivalent Area = 0.004 m<sup>3</sup>/s See Appendix A  
Utilization Rate = 0.1%  
Flow due to change of equivalent area only occupy 0.1% of nearby Watercourse.

## Time of Concentration Checking

Catchment	Flow Distance	Highest Level	Lowest Level	Gradient (per 100m) = (H1-H2)/L x 100	to (min) = 0.14465L / (H <sup>0.2</sup> A <sup>0.1</sup> )	tc = to + tf
(m <sup>2</sup> )	(m)	(mPD)	(mPD)		(min)	(min)
76	13.1	72	15	435.115	0.4	0.4



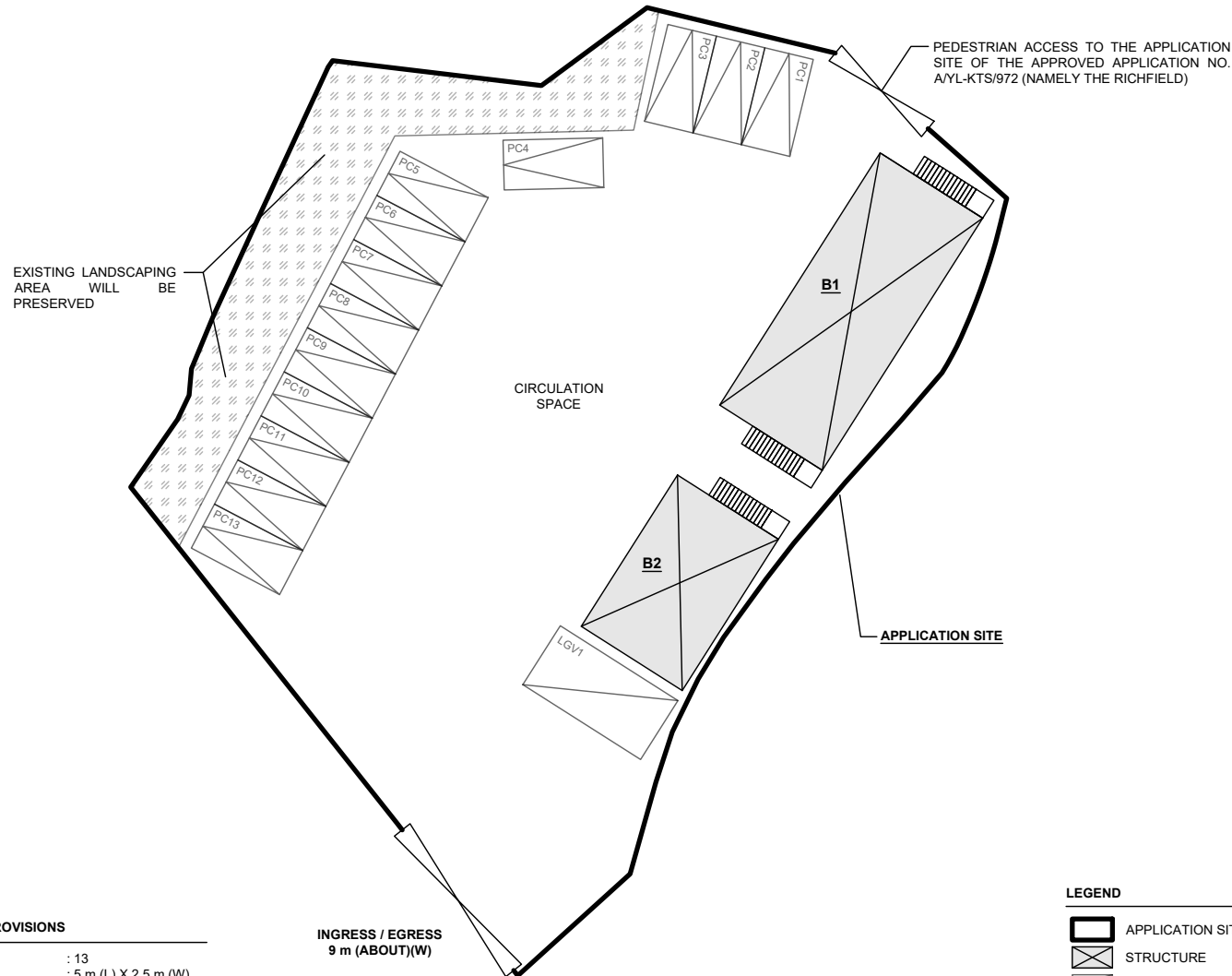
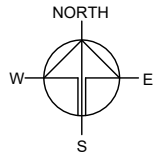
# APPENDIX B - PROPOSED SITE LAYOUT PLAN

## DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 158 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,052 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.25	(ABOUT)
SITE COVERAGE	: 13 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 304 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 304 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	58 m <sup>2</sup> (ABOUT)	112 m <sup>2</sup> (ABOUT)#	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>158 m<sup>2</sup> (ABOUT)</b>	<b>304 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)	# GFA OF 1/F	: 54 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)	GFA OF G/F	: 54 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)	COVERED AREA OF STAIRCASE	: 4 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>	<b>TOTAL GFA</b>	<b>: 112 m<sup>2</sup></b>	<b>(ABOUT)</b>



## PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 13
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

## LEGEND

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 350 @ A4

DRAWN BY: MN DATE: 18.7.2025

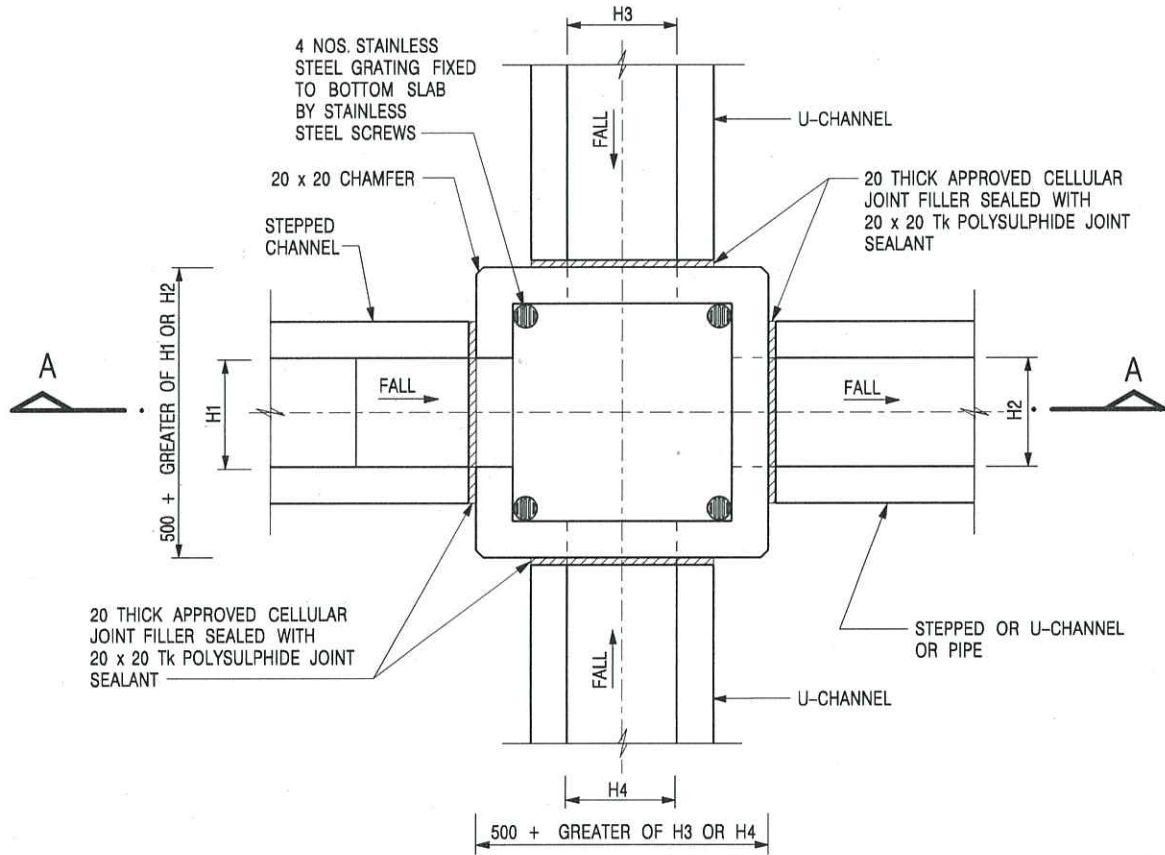
CHECKED BY: DATE:

APPROVED BY: DATE:

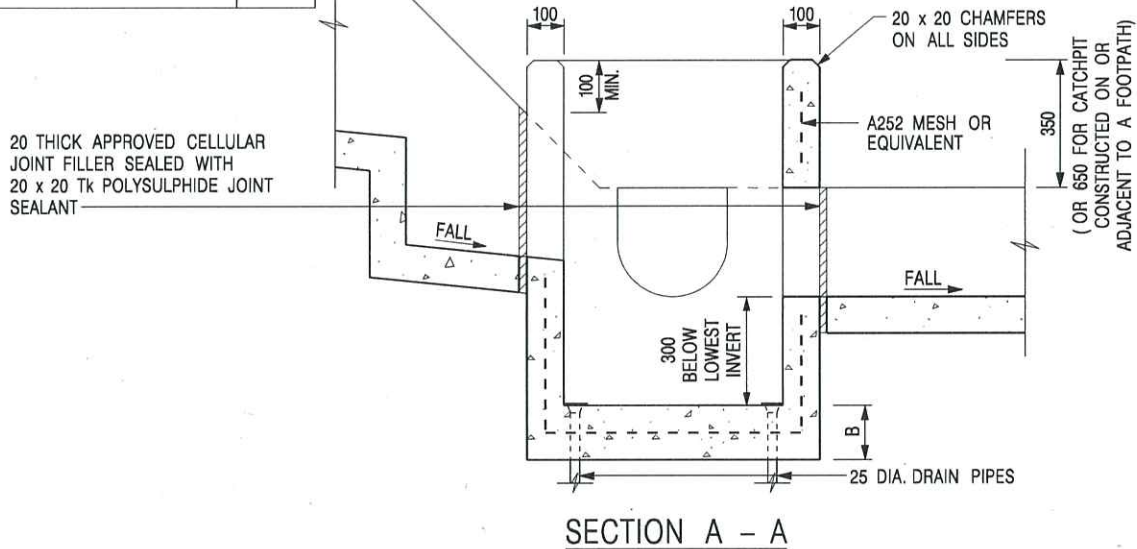
DWG. TITLE  
LAYOUT PLAN

DWG NO. PLAN 4 VER. 001

# Appendix C - Reference Drawings



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)



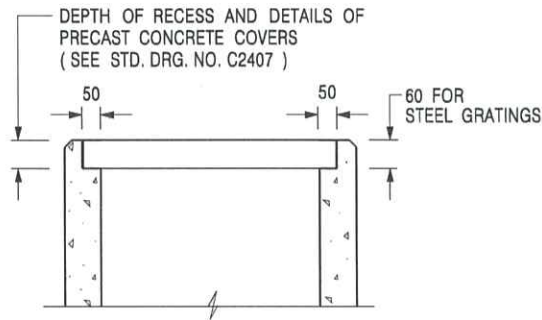
CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /1



**ALTERNATIVE TOP SECTION  
FOR PRECAST CONCRETE COVERS / GRATINGS**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2 ) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



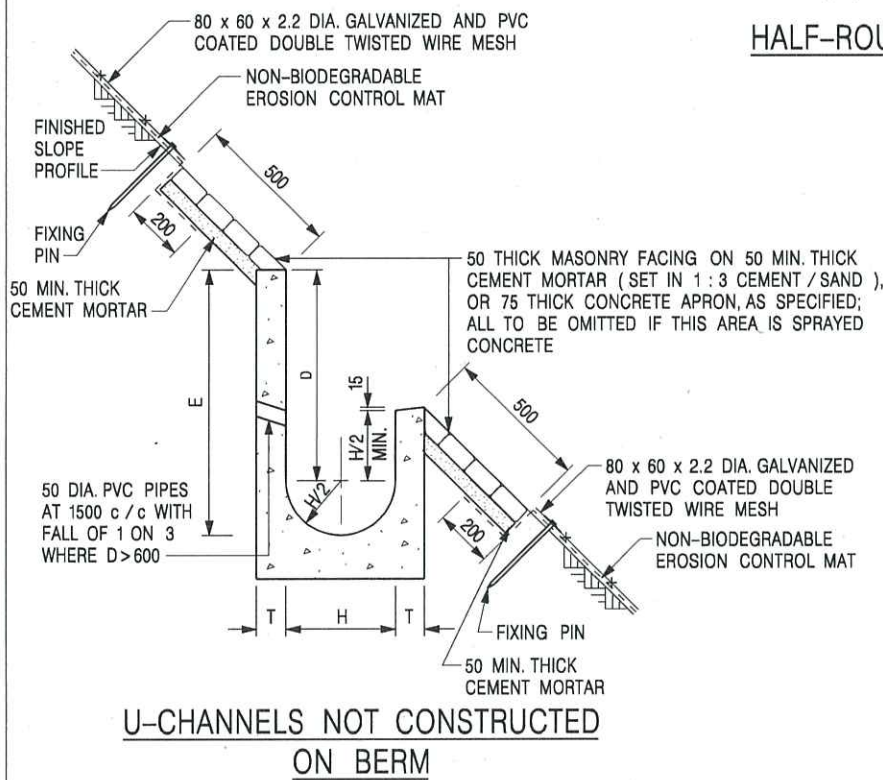
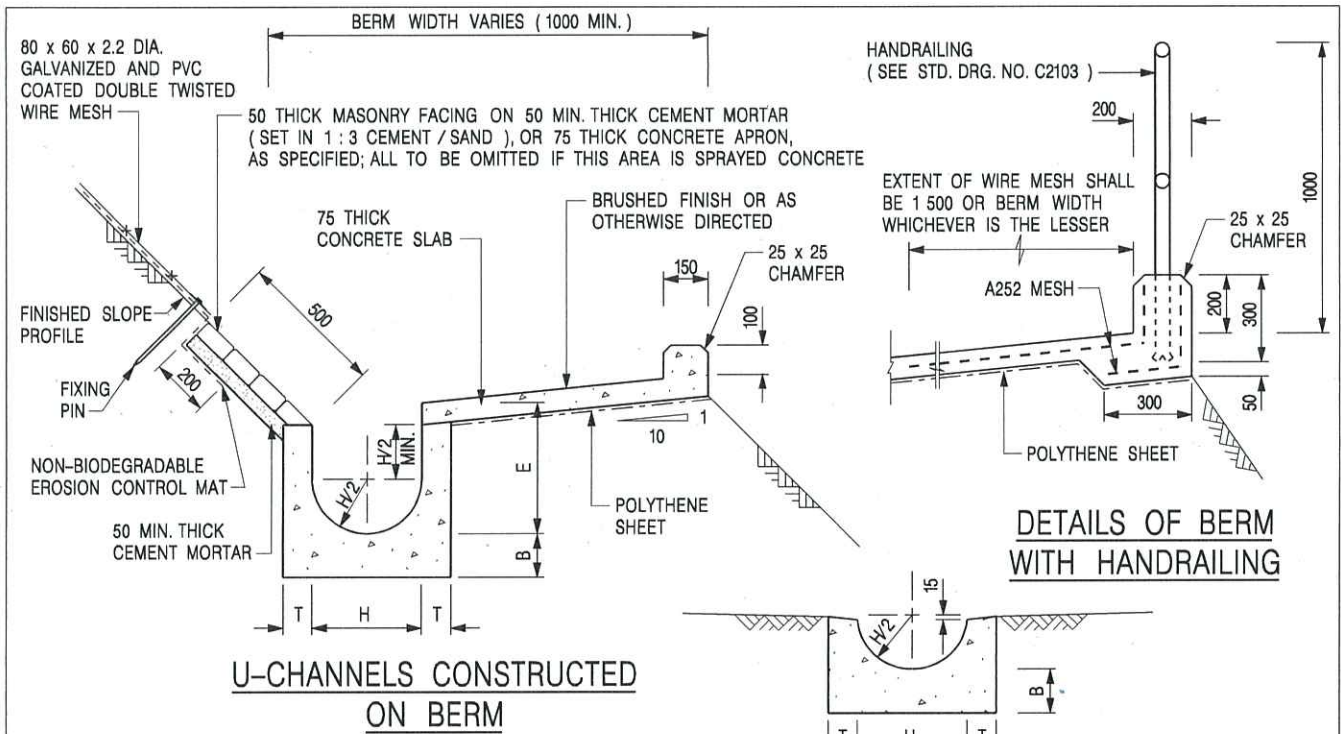
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DRAWING NO.**

**DATE** JAN 1991

**C2406 /2A**



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94
REF.	REVISION	SIGNATURE	DATE

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A WITH MASONRY APRON)**



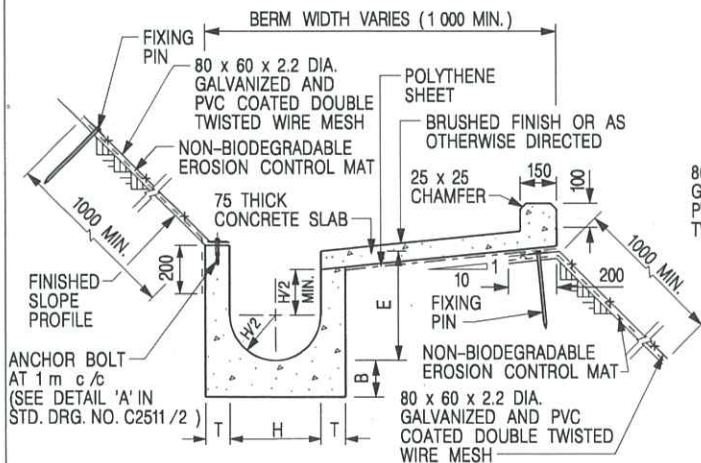
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 25

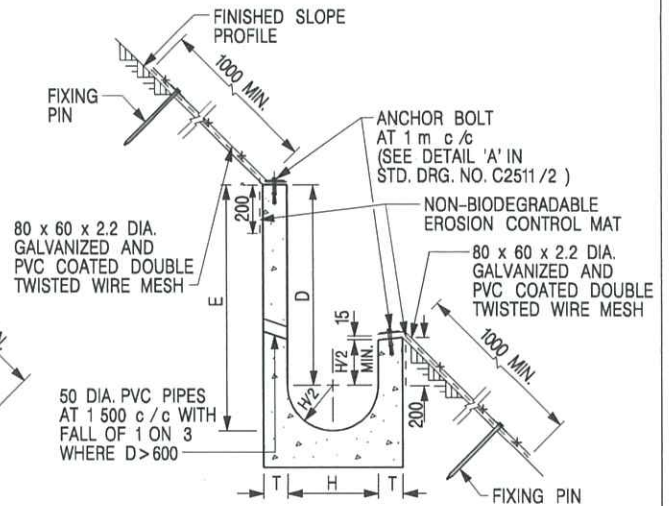
**DRAWING NO.**

**DATE** JAN 1991

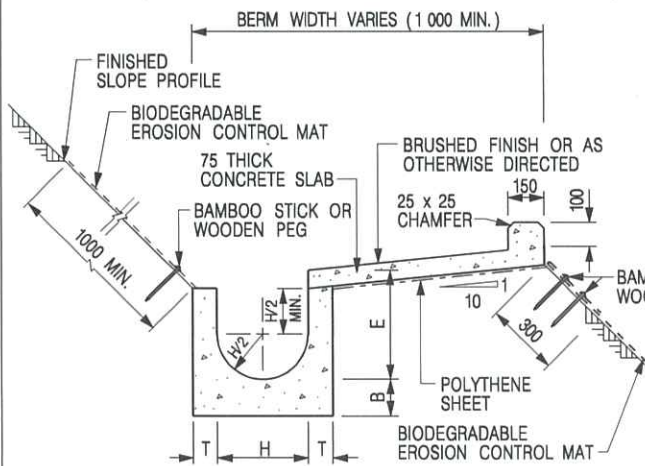
**C24091**



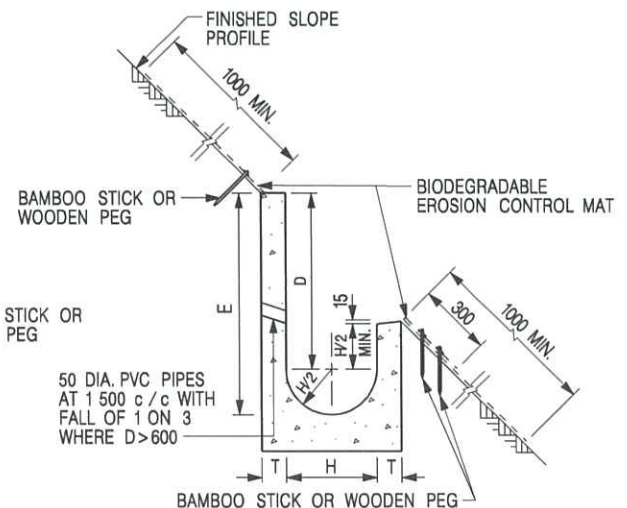
**U-CHANNELS CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE B - WITH EROSION CONTROL MAT APRON)**



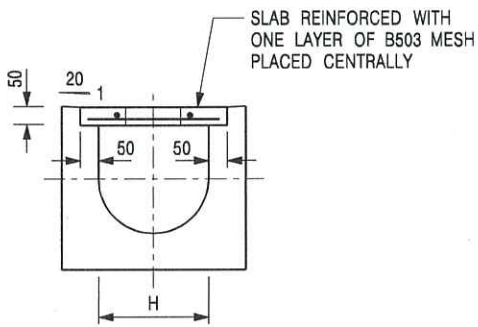
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** DIAGRAMMATIC

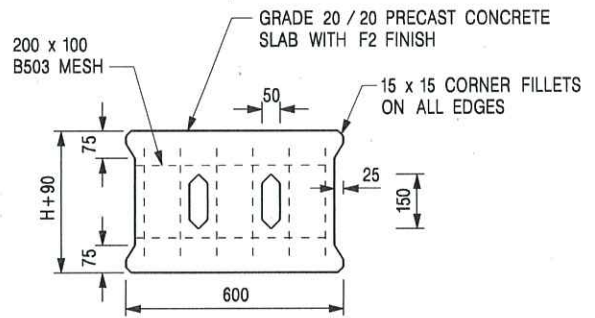
**DRAWING NO.**

**DATE** JAN 1991

**C24101**



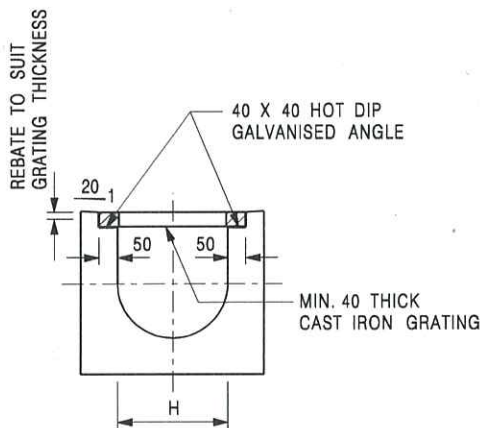
TYPICAL SECTION



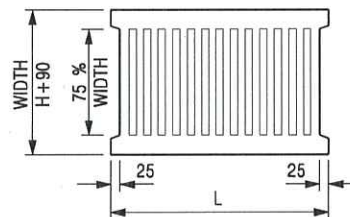
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

REF.	REVISION	SIGNATURE	DATE
E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002

COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS



CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

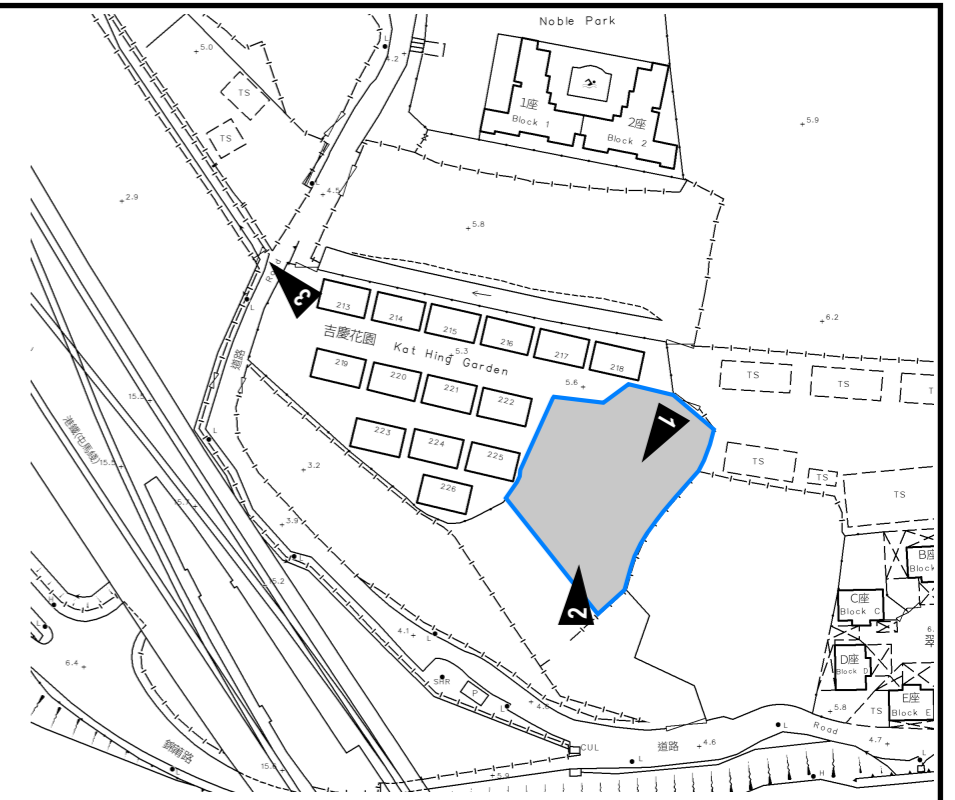
DRAWING NO.

DATE JAN 1991

C2412E



**VIEW 1**



**VIEW 2**



**VIEW 3**

**525 CHANNEL TO EXISTING WATERCOUSE**

<p><b>PROJECT:</b> Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone</p>	<p><b>SITE PHOTOS</b></p>	<p><b>APPENDIX D</b></p>		
<p><b>LOCATION:</b> Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories</p>		<p>VER</p>	<p>DESCRIPTION</p>	<p>DATE</p>



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Our Ref. : DD 109 Lot 348 & VL  
Your Ref. : TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

14 November 2025

Dear Sir,

**3<sup>rd</sup> Further Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit Further Information in response to departmental comments on the captioned application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Ajjum CHAN  
(Attn.: Ms. Anna TONG  
(Attn.: Mr. Thomas LAU

email: adchan@pland.gov.hk )  
email: akytong@pland.gov.hk )  
email: thllau@pland.gov.hk )



Response-to-Comment (RtC)

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

(i) A RtC table:

Departmental Comments		Applicant’s Responses
<b>1. Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>		
(a)	The size and gradient of the proposed/existing drainage facilities to be discharged from the site and/or the overland flow intercepted from the adjacent lands should be indicated in the drainage plan. The applicant should check and ensure the hydraulic capacity of the existing drainage facilities would not be adversely affected by the captioned development.	Noted. Drainage plan is updated and shown in <i>Figure 3</i> of <b>Annex I</b> . The hydraulic capacity is shown in <i>Appendix A</i> for your perusal ( <b>Annex I</b> ).
(b)	Please provide catchpit at the turning points of the channel.	Noted.
(c)	Where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.	Noted. 100mm opening from ground level along wall/ hoarding or equivalent to be provided where it is erected.
(d)	Standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit/sand trap.	Noted. Please find the standard details of channel in <i>Appendix C</i> for your perusal ( <b>Annex I</b> ).
(e)	The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	Noted.
(f)	The existing drainage channel of the proposed discharge point is not maintained by this Department. The applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new	Noted.

**S.16 Planning Application No. A/YL-KTS/1088**

	drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land outside the application site.	
(g)	Connection details at discharge point (including cross section) with C.L., I.L and catchpit/channel B.L. should be shown in the drawing.	Noted. Please refer to <i>Detail A</i> and <i>Photo A</i> in updated <i>Figure 3</i> for your perusal ( <b>Annex I</b> ).
(h)	Please include the existing planter details in section A-A.	Noted. Please refer to updated <i>Figure 5</i> ( <b>Annex I</b> ). Please kindly note that the existing planter level is about the same level of existing paved area. Overland flow would not be obstructed by existing planter.
(i)	Colour photos to indicate the current conditions of the existing drainage-facilities should be included in the submission. The photos taken locations and angles should be shown on the layout plan.	Noted. Please refer to updated <i>Appendix D</i> ( <b>Annex I</b> ).

- (ii) Noting that the surface runoff is proposed to be discharged to Kam Tin River via a section of the existing drainage channel within a fenced-off area under MTRC management, the applicant has submitted an enquiry to seek comments from MTRC on 12.11.2025, which is still pending reply as of today.

Proposed Temporary Shop and Services, Eating Place  
and Public Vehicle Park (Excluding Container Vehicle)  
for a Period of 5 Years in “Residential (Group C)”  
Zone, Various Lots in D.D. 109, Kam Tin, Yuen Long,  
New Territories

## Drainage Proposal

**Oct 2025**

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Figure 2 - Existing Drainage Plan
Figure 3– Proposed Drainage System
Figure 4 – Catchment Plan
Figure 5 - Sections

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Appendix A – Design Calculation
Appendix B - Development Layout Plan
Appendix C – Reference Drawings
Appendix D – Site Photo

# 1 Introduction

## 1.1 Background

- 1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories (the Site) for ‘Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years’.
- 1.1.2 This report aims to support the development in drainage aspect.

## 1.2 Application Site

- 1.2.1 The application site is situated beside Kat Hing Garden, south of Kam Sheung Road. It has an area of approx. 1,210 m<sup>2</sup>. The site location is shown in **Figure 1**.
- 1.2.2 The existing site is mostly paved. The existing site levels are approx. + 5.50mPD. No major site formation works for the application site is anticipated.
- 1.2.3 There is an existing minimum 375mm channel by the west boundary of the application site. There is also an existing 525mm channel which would discharge to existing watercourse and eventually discharge to Kam Tin River. **Figure 2** indicate the existing drainage system of the area.

## 2 Development Proposal

### 2.1 The Proposed Development

2.1.1 The total site area is approximately 1,210 m<sup>2</sup>. The existing planter at the west portion of the site would be maintained. The catchment plan is shown in **Figure 4**.

Proposed Development Area (Approx.)	
Total Site Area (m <sup>2</sup> )	1,210
Planter Area before Development (m <sup>2</sup> )	223
Planter Area after Development (m <sup>2</sup> )	140
Paved Area after Development (m <sup>2</sup> )	1,070

**Table 1 – Site Development Area**

## 3 Assessment Criteria

3.1.1 The Recommended Design Return Period based on Flood Level from SDM (Table 10) is adopted for this report. The recommendation is summarized in **Table 2** below.

Description	Design Return Periods
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage Including Internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

**Table 2– Design Return Periods under SDM**

3.1.2 The proposed drainage system intended to collect runoff from internal site and external catchment. 1 in 50 years return period is adopted for the drainage design.

3.1.3 Stormwater drainage design will be carried out in accordance with the criteria set out in the Stormwater Drainage Manual published by DSD. The proposed design criteria to be adopted for design of this stormwater drainage system and factors which have been considered are summarised below.

1. Intensity-Duration-Frequency Relationship – The Recommended Intensity-Duration-Frequency relationship is used to estimate the intensity of rainfall. It can be expressed by the following algebraic equation.

$$i = \frac{a}{(t_d + b)^c}$$

The site is located within the HKO Zone. Therefore, for 50 years return period, the following values are adopted.

a	=	505.5
b	=	3.29
c	=	0.355

(Corrigendum No.1/2024)

The development is proposed for temporary use for a period of 5 years. 11.1% rainfall increase due to climate change is considered.

2. The peak runoff is calculated by the Rational Method  
i.e.  $Q_p = 0.278CiA$

where	$Q_p$	=	peak runoff in $m^3/s$
	C	=	runoff coefficient (dimensionless)
	i	=	rainfall intensity in mm/hr
	A	=	catchment area in $km^2$

3. The run-off coefficient (C) of surface runoff are taken as follows:

1. Paved Area: C = 0.95
2. Unpaved Area: C = 0.35

4. Manning's Equation is used for calculation of velocity of flow inside the channels:

$$\text{Manning's Equation: } v = \frac{R^{\frac{1}{6}}}{n} R^{\frac{1}{2}} S_f^{\frac{1}{2}}$$

Where,

V = velocity of the pipe flow (m/s)

S<sub>f</sub> = hydraulic gradient

n = manning's coefficient

R = hydraulic radius (m)

5. Colebrook-White Equation is used for calculation of velocity of flow inside the pipes:

$$\text{Colebrook-White Equation: } \underline{v} = -\sqrt{32gRS} \log \log \left( \frac{k_s}{14.8R} + \frac{1.255v}{R\sqrt{32gRS_f}} \right)$$

where,

V	=	velocity of the pipe flow (m/s)
S <sub>f</sub>	=	hydraulic gradient
k <sub>f</sub>	=	roughness value (m)
v	=	kinematics viscosity of fluid
D	=	pipe diameter (m)
R	=	hydraulic radius (m)

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## 4 Proposed Drainage System

### 4.1. Proposed Channels

- 4.1.1 Proposed Channels are designed for collection of runoff for internal catchment. They are proposed to discharge to existing channel and watercourse which will eventually discharge to Kam Tin River. As the change in equivalent area is only 49.8 m<sup>2</sup>, the increase of flow due to change of equivalent to existing water course is only 0.1%. The existing channels and watercourse checking are shown in **Appendix A**. They have enough capacity.
- 4.1.2 The design calculations of proposed UChannel are shown in **Appendix A**.
- 4.1.3 The alignment, size, gradient and details of the proposed drains are shown in **Figure 3**. The catchment plan is shown in **Figure 4**.
- 4.1.5 A section of existing min. 375 mm channel downstream to CP1.03 to be reconstructed, if it cannot match with invert of CP1.03. Detail see **Figure 3**.
- 4.1.6 Reference Drawings are shown in **Appendix C** for reference.

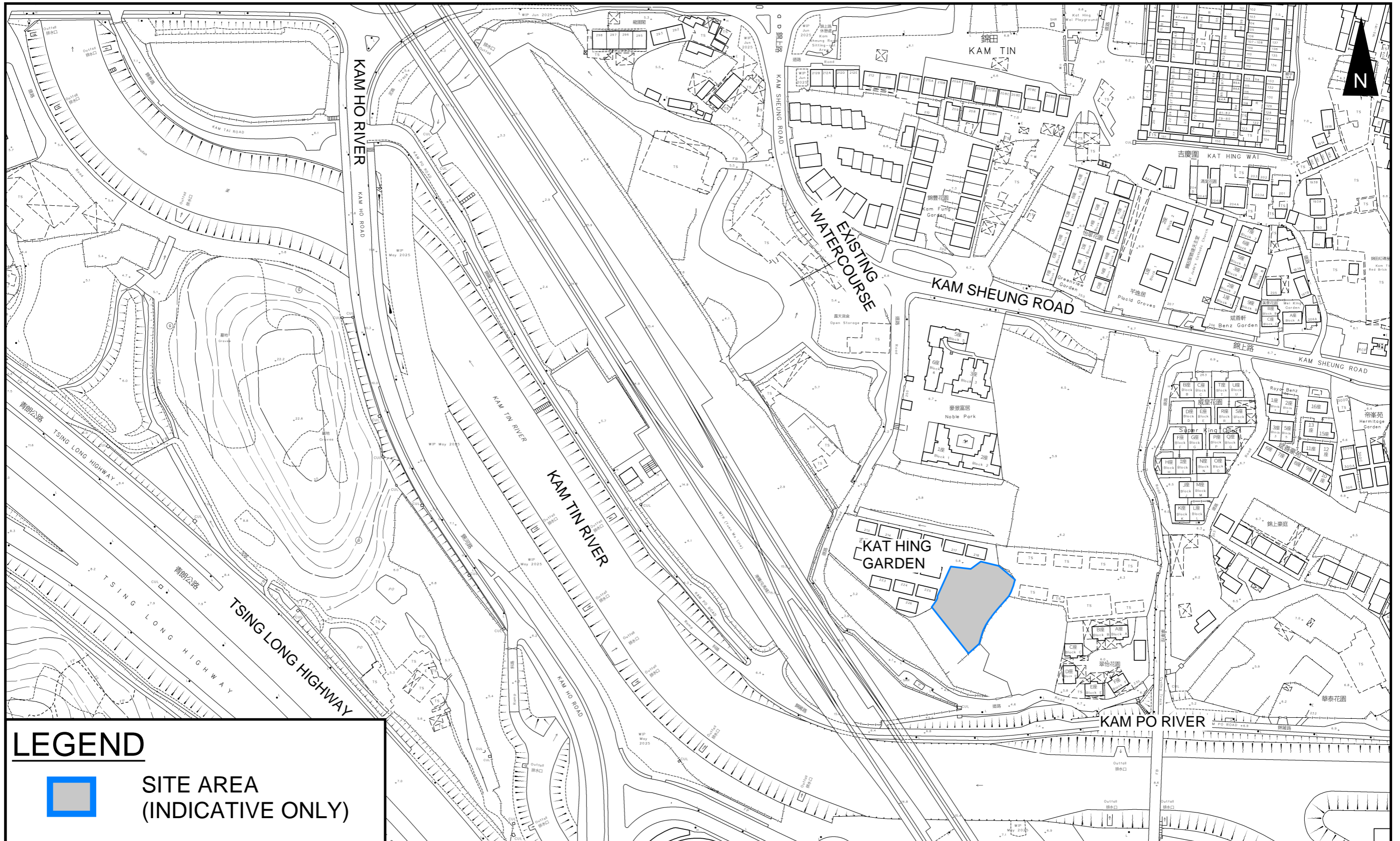
## 5 Conclusion

- 5.1.1 Drainage review has been conducted for the Proposed Development. The surface runoff will be collected by the proposed drains and discharged to existing drainage system. With implementation of the above drainage system, no unacceptable drainage impact is anticipated.

- End of Text -

# FIGURES

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## LEGEND



**SITE AREA  
(INDICATIVE ONLY)**

## PROJECT:

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

## TITLE

**SITE LOCATION PLAN**

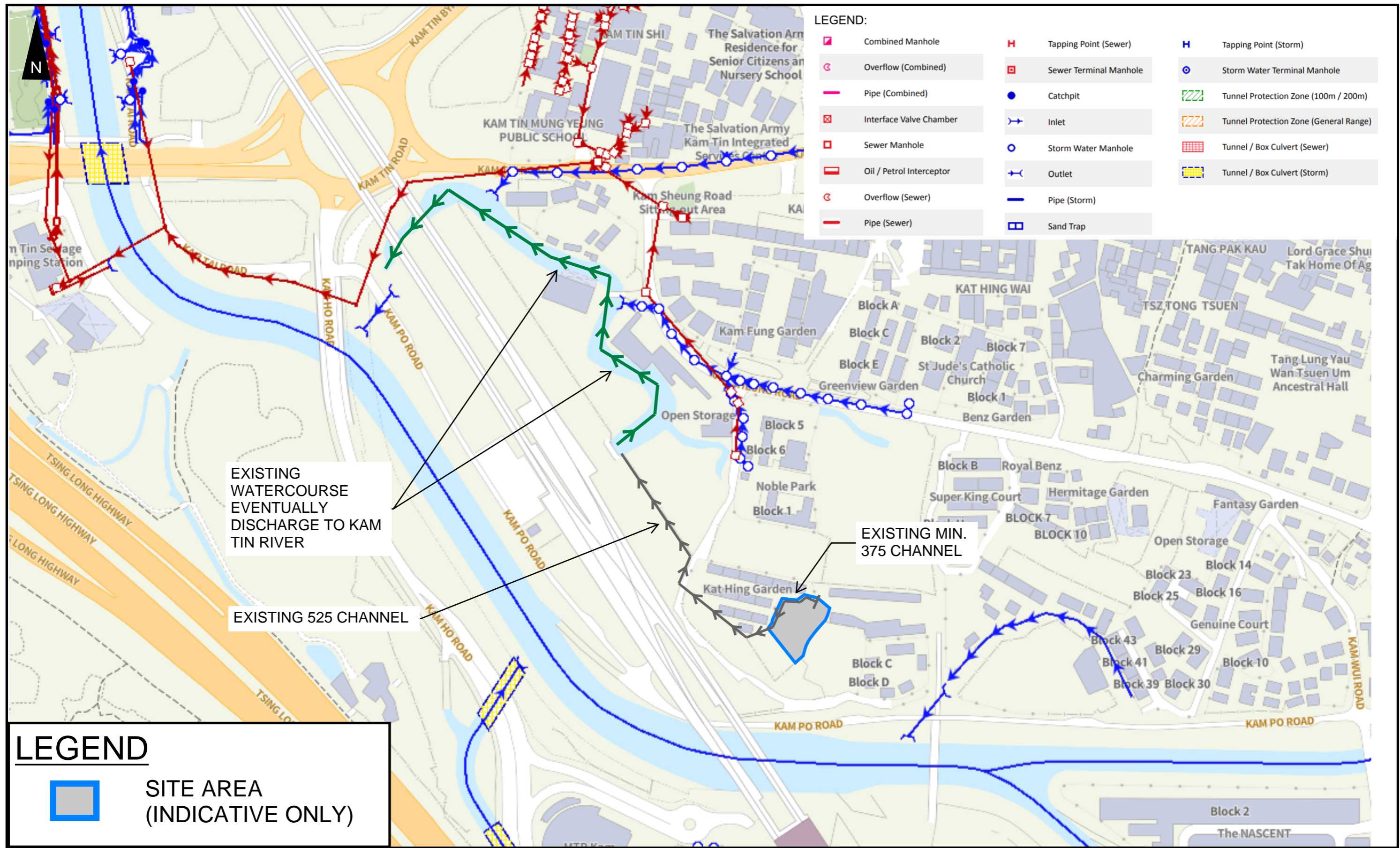
## FIGURE NUMBER

**FIGURE 1**

## LOCATION:

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE



**LEGEND:**

	Combined Manhole		Tapping Point (Sewer)		Tapping Point (Storm)
	Overflow (Combined)		Sewer Terminal Manhole		Storm Water Terminal Manhole
	Pipe (Combined)		Catchpit		Tunnel Protection Zone (100m / 200m)
	Interface Valve Chamber		Inlet		Tunnel Protection Zone (General Range)
	Sewer Manhole		Storm Water Manhole		Tunnel / Box Culvert (Sewer)
	Oil / Petrol Interceptor		Outlet		Tunnel / Box Culvert (Storm)
	Overflow (Sewer)		Pipe (Storm)		
	Pipe (Sewer)		Sand Trap		

**LEGEND**

	SITE AREA (INDICATIVE ONLY)
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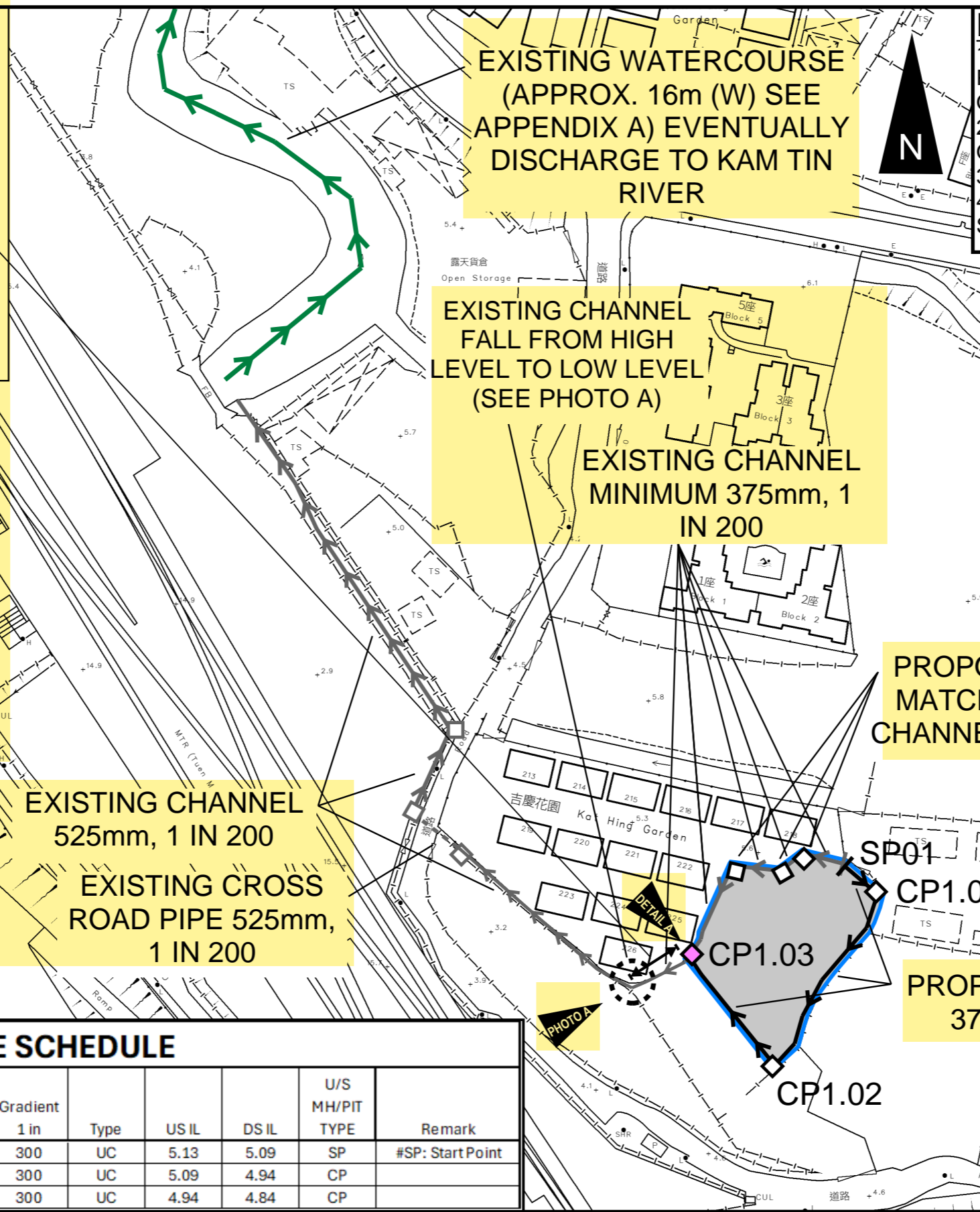
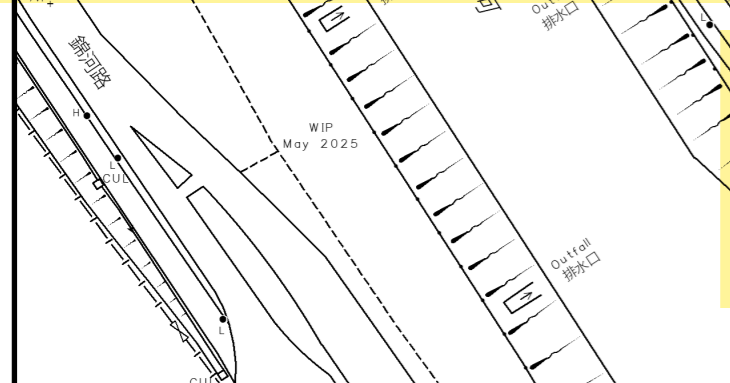
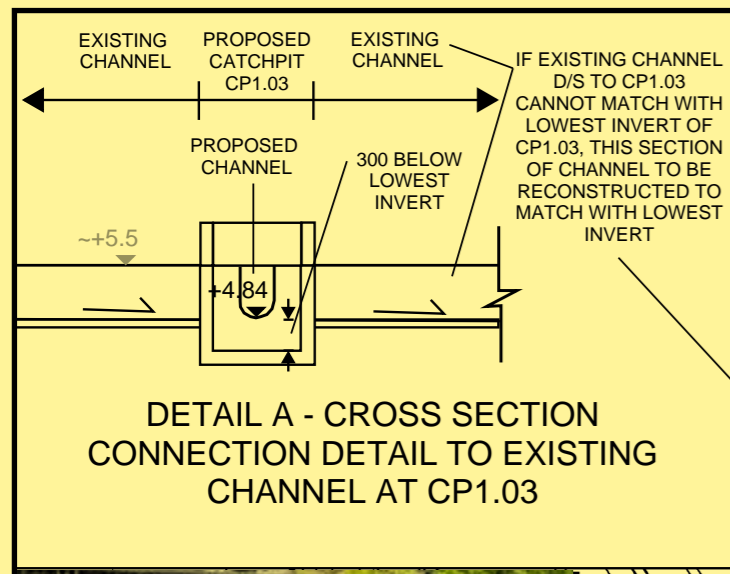
**PROJECT:**  
 Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE**  
 EXISTING DRAINAGE PLAN

**FIGURE NUMBER**  
 FIGURE 2

**LOCATION:**  
 Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE



**NOTES:**  
 1. ALL LEVELS ARE IN METRES TO HONG KONG PRINCIPAL DATUM (m.P.D.) UNLESS NOTED OTHERWISE.  
 2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.  
 3. LOCATION OF CATCHPITS ARE APPROX. ONLY.  
 4. CONNECTION LEVELS ARE APPROX. ONLY AND SHALL BE VERIFIED ON SITE.

**LEGEND**

- SITE AREA (INDICATIVE ONLY)
- PROPOSED CHANNEL
- PROPOSED CATCHPIT
- PROPOSED CATCHPIT w/TRAP
- EXISTING DRAIN
- EXISTING CHANNEL

DRAINAGE SCHEDULE										
US MH/PIT	DSMH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Remark
SP01	CP1.01	5.5	5.5	375	300	UC	5.13	5.09	SP	#SP: Start Point
CP1.01	CP1.02	5.5	5.5	375	300	UC	5.09	4.94	CP	
CP1.02	CP1.03	5.5	5.5	375	300	UC	4.94	4.84	CP	

**PROJECT:**  
 Proposed Temporary Warehouse (excl. D.G.G.) with Ancillary Facilities and Associate Filling of Land for a Period of 3 Years in "Agriculture" Zone

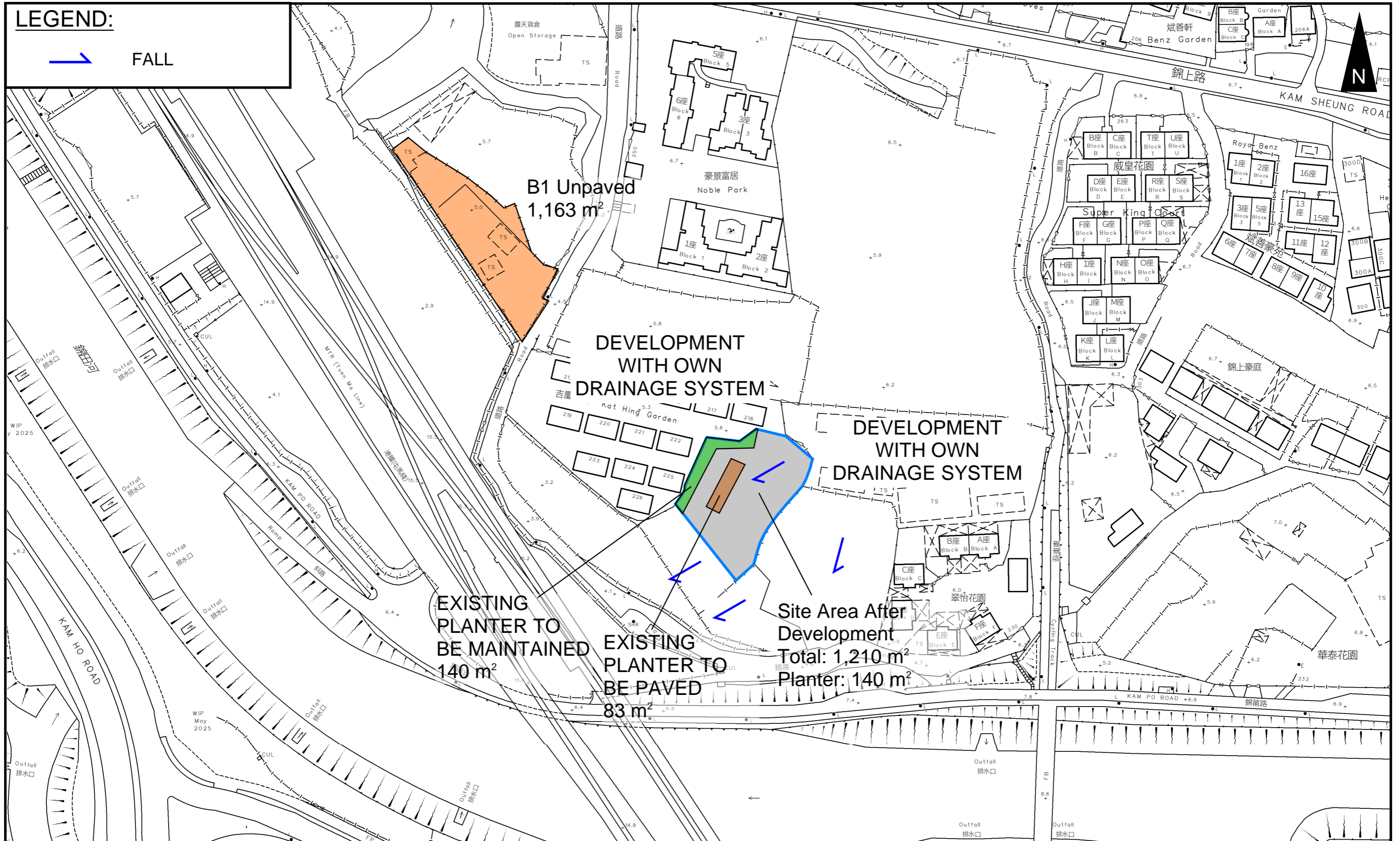
**TITLE**  
 PROPOSED DRAINAGE SYSTEM

**FIGURE NUMBER**  
 FIGURE 3

**LOCATION:**  
 Lots 136 RP (Part) and 2149 in D.D. 106 and Adjoining GL, Kam Tin, Yuen Long, N.T.

VER	DESCRIPTION	DATE

**LEGEND:**



**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone

**TITLE**

**CATCHMENT PLAN**

**FIGURE NUMBER**


**FIGURE 4**

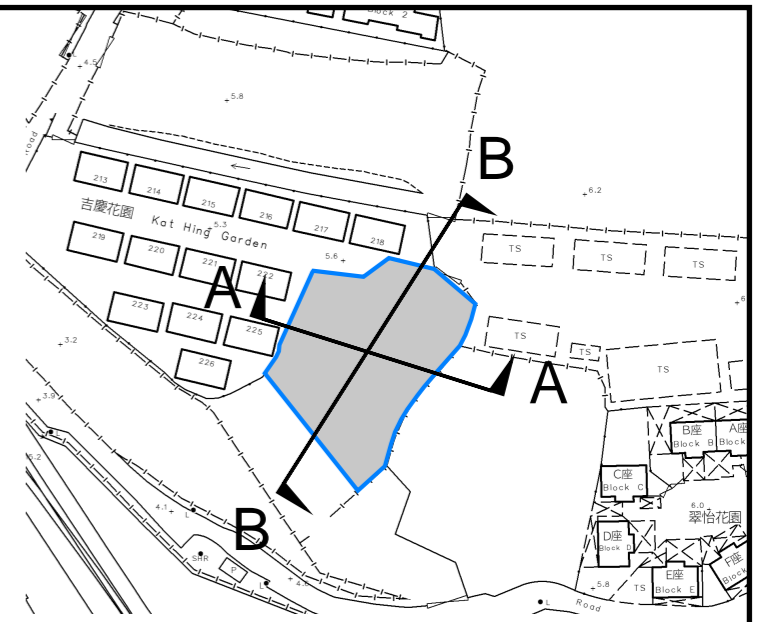
**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

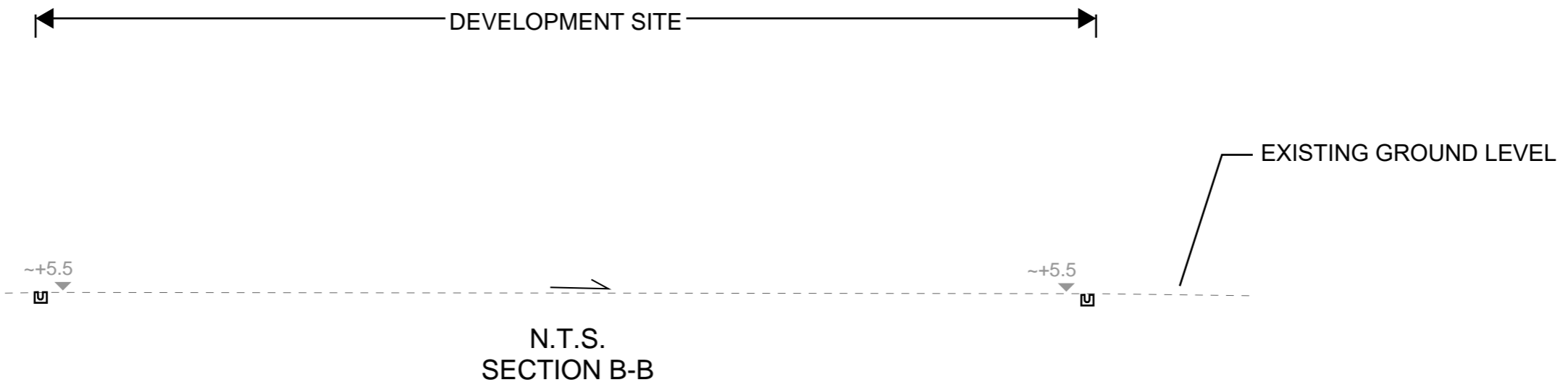
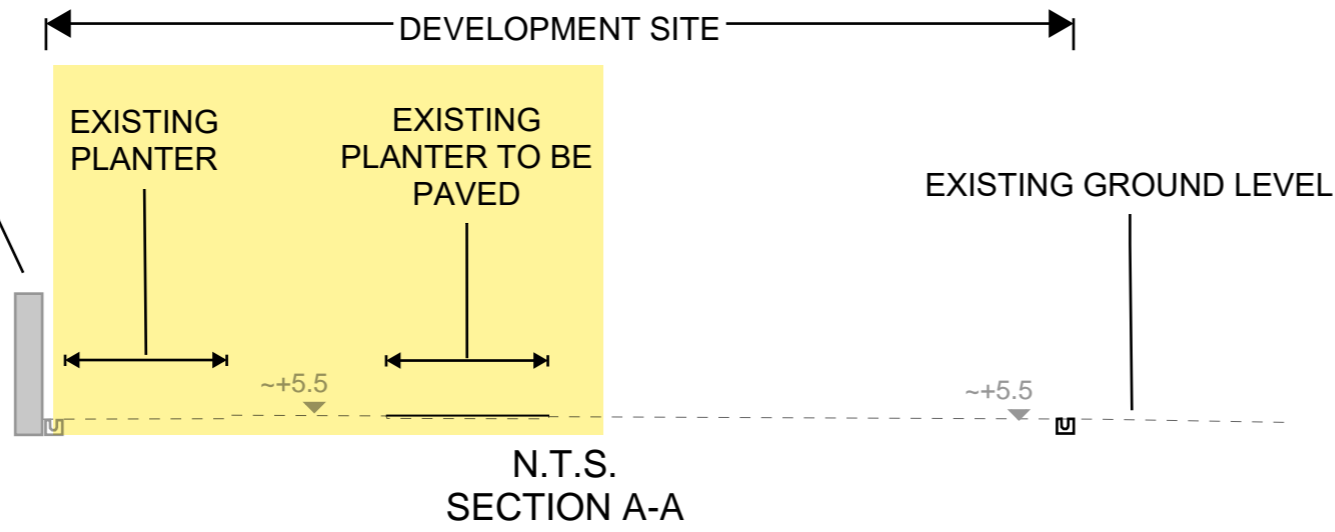
VER	DESCRIPTION	DATE

**LEGEND**

 SITE AREA (INDICATIVE ONLY)



EXISTING FENCE BY OTHERS



**PROJECT:**  
 Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE**  
**SECTIONS**

**FIGURE NUMBER**  
**FIGURE 5**

**LOCATION:**  
 Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE

# APPENDIX

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# Appendix A: Design Calculation

<b>Zone</b>
HKO

Return Period	1 in	50	years
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n	0.014
Ks	0.15
Viscosity	0.000001

Storm Constant	HKO a	505.5
	HKO b	3.29
	HKO c	0.355

**Catchment Area Table (Area in m<sup>2</sup>)**

Catchment	A1	B1	Site Area Before Development	Change of Equivalent Area														
Total Area	1210	1163	1210	-														
Hard Paved Area	1070	0	987	-														
Unpaved Area	140	1163	223	-														
Equival. Area	1065.5	407.05	1015.7	49.8														

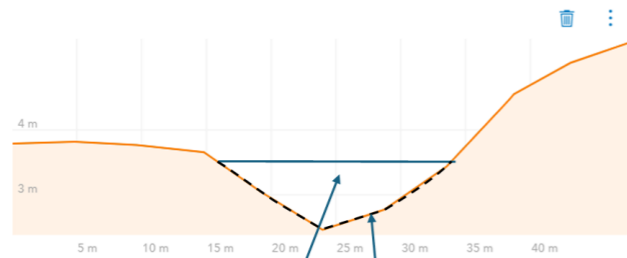
Pavement Type	Hard Paved	Unpaved
Runoff Coefficient	0.95	0.35

**Calculation Table of Drainage System**

US MH/PIT	DS MH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Length m	V m/s <sup>##</sup>	Capacity m <sup>3</sup> /s	Catchments	Total Equivalent Area m <sup>2</sup>	ToC min	Intensity mm/hr <sup>##</sup>	Total Discharge m <sup>3</sup> /s	Utilization n	Remark
SP01	CP1.01	5.50	5.50	375	300	UC	5.13	5.09	SP	9.5	1.06	0.13	A1	1065.50	0.40	353	0.10	78.7%	
CP1.01	CP1.02	5.50	5.50	375	300	UC	5.09	4.94	CP	45	1.06	0.13	A1	1065.50	0.55	348	0.10	77.6%	
CP1.02	CP1.03	5.50	5.50	375	300	UC	4.94	4.84	CP	29.9	1.06	0.13	A1	1065.50	1.26	328	0.10	73.1%	
CP1.03	Existing 525 channel			525	100	UC					2.30	0.57	A1,B1	1472.55	1.73	317	0.13	22.9%	
Checking of Existing min. 375 channel				375	200	UC					1.30	0.16	A1	1065.50	0.40	353	0.10	64.2%	
Checking of Existing 525 cross road pipe				525	200	PIPE					1.82	0.39	A1,B1	1472.55	1.73	317	0.13	32.9%	
Flow due to change of Equivalent Area														Change of Equivalent Area	49.80	1.73	317	0.004	

#SP: Start Point  
## : With 11.1% rainfall increase as per Table 28 of SDM Corrigendum No. 1/2022.

**Capacity Checking of Existing Watercourse against Flow from Development**



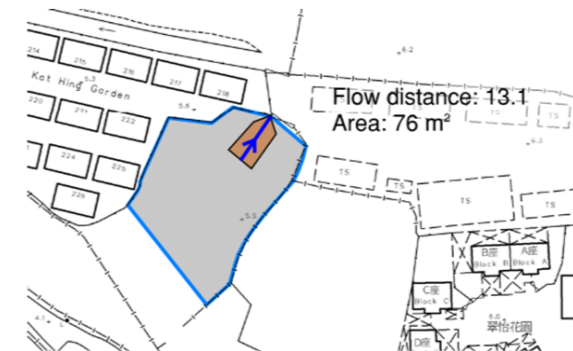
Assumed Water Depth	Freeboard	Base Width	Width of Water Surface	Flow Area	Wetted Perimeter	Hydraulic Radius	Manning's Roughness	Gradient	Velocity	Capacity
m	m	m	m	m <sup>2</sup>	m	m		1 in	m/s	m <sup>3</sup> /s
0.70	0.50	-	16.80	6.20	16.87	0.37	0.035	200	1.04	6.43

Total Flow from Site = 0.12 m<sup>3</sup>/s See Appendix A  
Utilization Rate = 1.9%  
Total flow from Development Site only occupy 1.9% of nearby Watercourse.

Flow due to change of Equivalent Area = 0.004 m<sup>3</sup>/s See Appendix A  
Utilization Rate = 0.1%  
Flow due to change of equivalent area only occupy 0.1% of nearby Watercourse.

## Time of Concentration Checking

Catchment	Flow Distance	Highest Level	Lowest Level	Gradient (per 100m) = (H1-H2)/L x 100	to (min) = 0.14465L / (H <sup>0.2</sup> A <sup>0.1</sup> )	tc = to + tf
(m <sup>2</sup> )	(m)	(mPD)	(mPD)		(min)	(min)
76	13.1	72	15	435.115	0.4	0.4



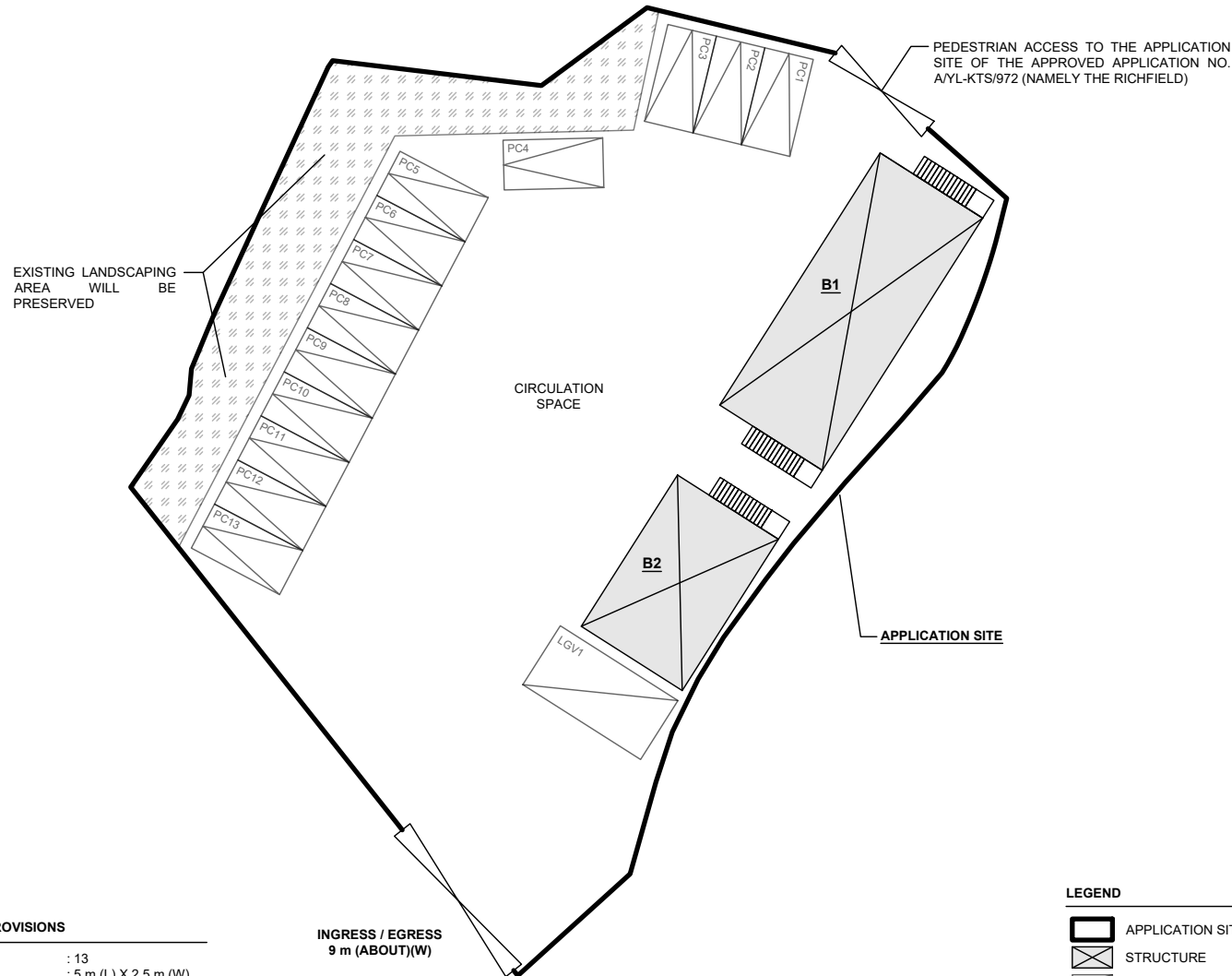
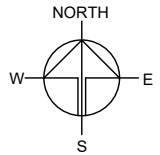
# APPENDIX B - PROPOSED SITE LAYOUT PLAN

## DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 158 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,052 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.25	(ABOUT)
SITE COVERAGE	: 13 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 304 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 304 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	58 m <sup>2</sup> (ABOUT)	112 m <sup>2</sup> (ABOUT)#	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>158 m<sup>2</sup> (ABOUT)</b>	<b>304 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)	# GFA OF 1/F	: 54 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)	GFA OF G/F	: 54 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)	COVERED AREA OF STAIRCASE	: 4 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>	<b>TOTAL GFA</b>	<b>: 112 m<sup>2</sup></b>	<b>(ABOUT)</b>



## PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 13
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

## LEGEND

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 350 @ A4

DRAWN BY: MN DATE: 18.7.2025

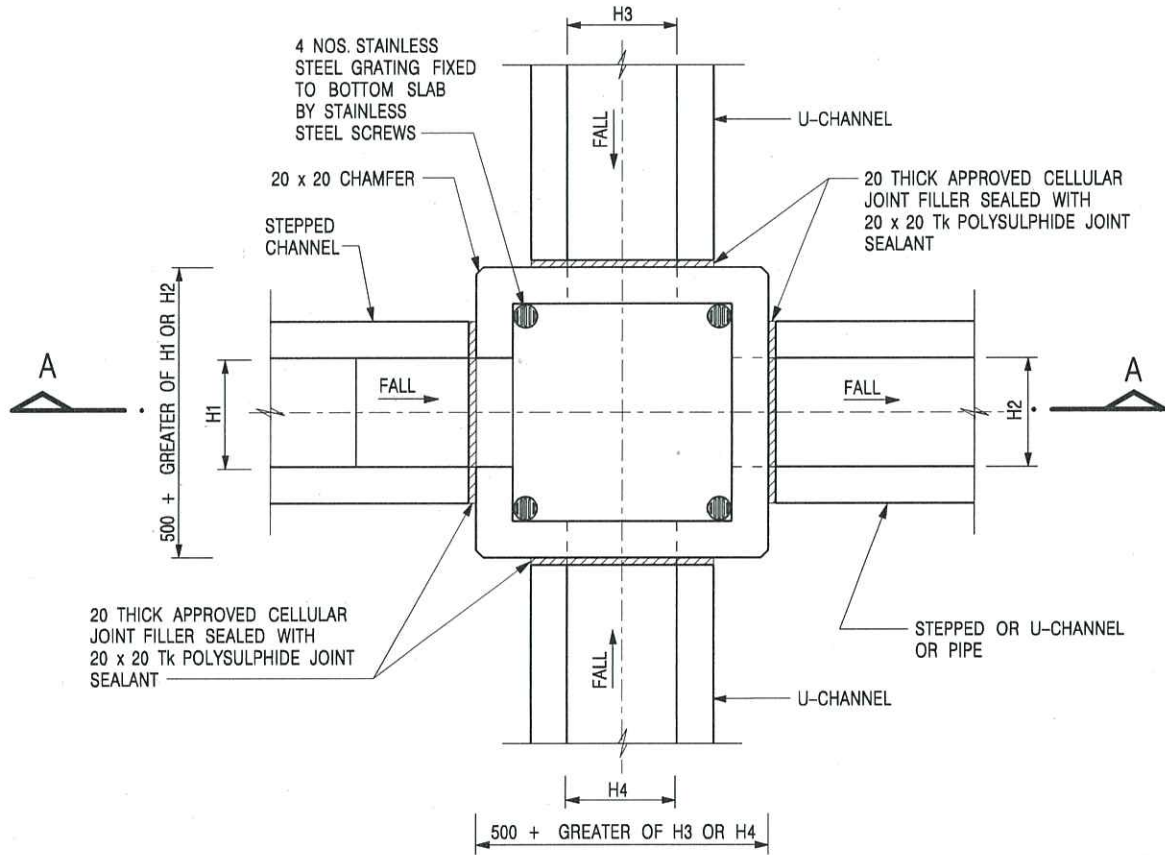
CHECKED BY: DATE:

APPROVED BY: DATE:

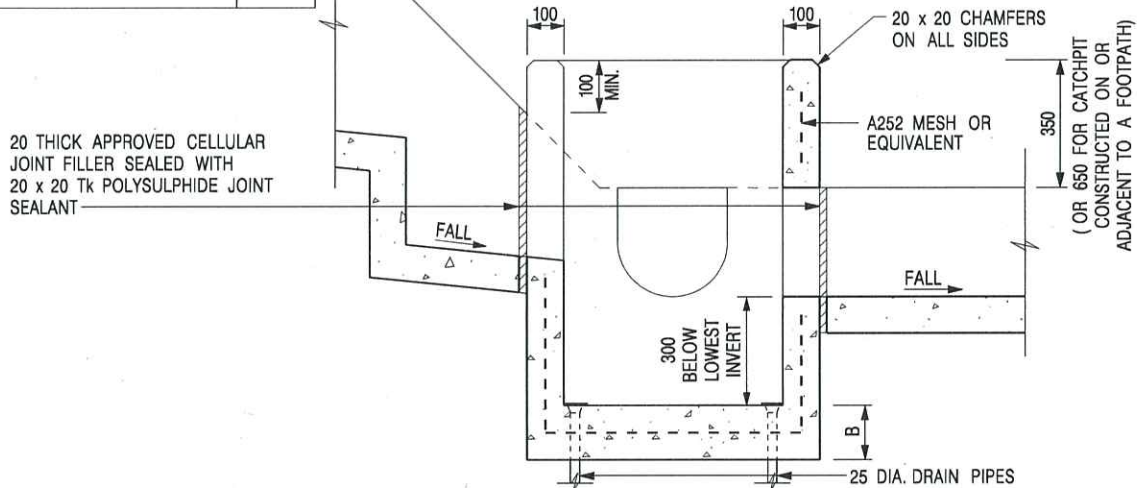
DWG. TITLE  
LAYOUT PLAN

DWG NO. PLAN 4 VER. 001

# Appendix C - Reference Drawings



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



SECTION A - A

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)



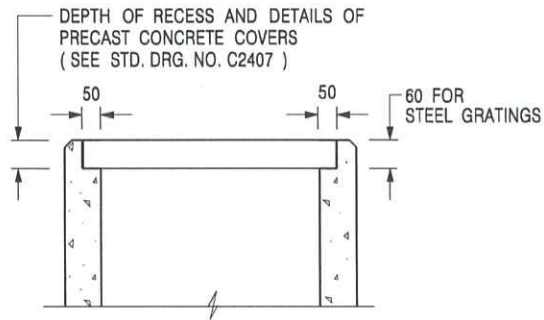
CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /1



ALTERNATIVE TOP SECTION  
FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2 ) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

CATCHPIT WITH TRAP  
(SHEET 2 OF 2)



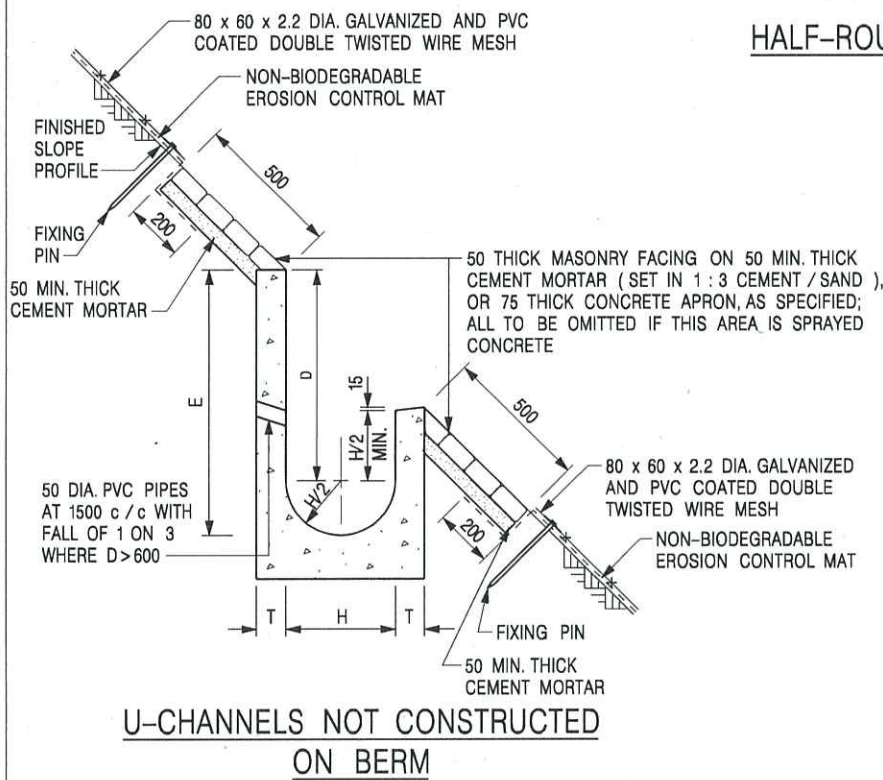
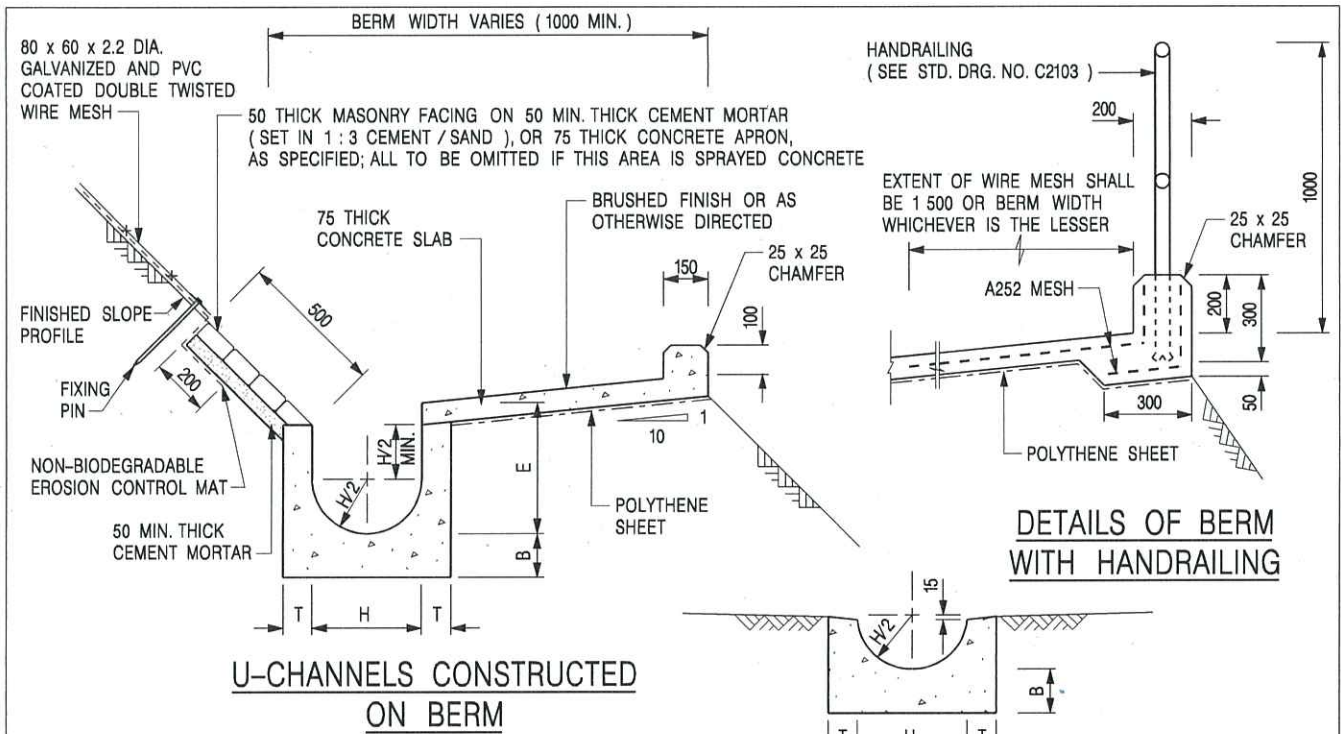
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DRAWING NO.**

**DATE** JAN 1991

**C2406 /2A**



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94
REF.	REVISION	SIGNATURE	DATE

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A WITH MASONRY APRON)**



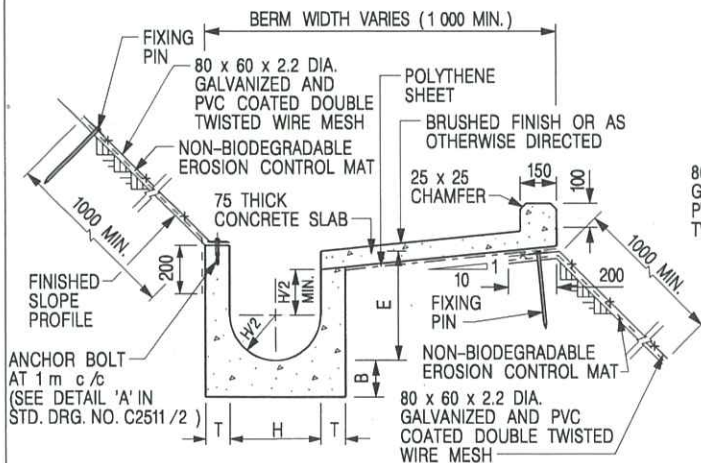
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 25

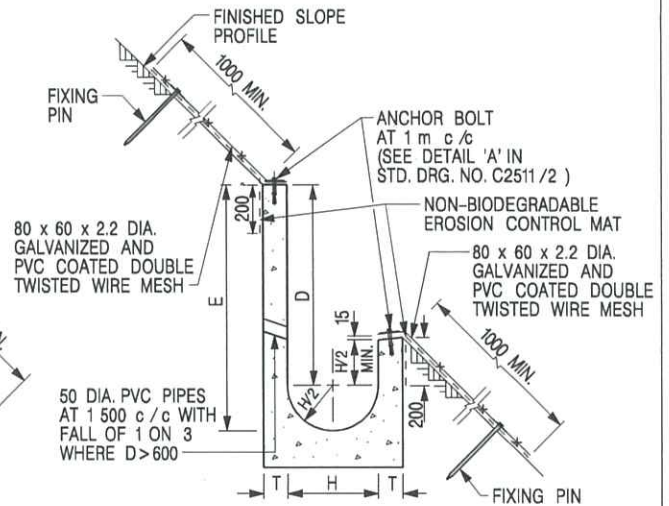
**DRAWING NO.**

**DATE** JAN 1991

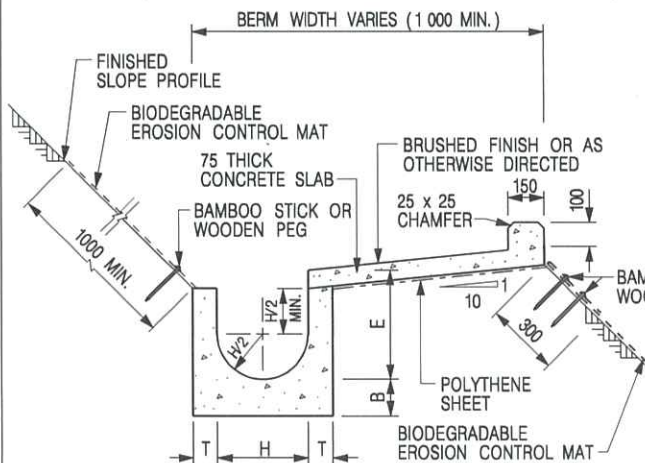
**C24091**



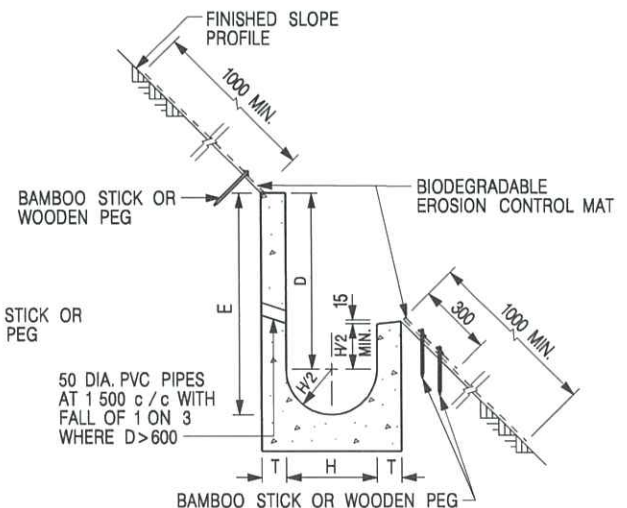
**U-CHANNELS CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
8. MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
9. MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
10. THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100 WHEN E > 650
375 - 600	100	150	
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE B - WITH EROSION CONTROL MAT APRON)**



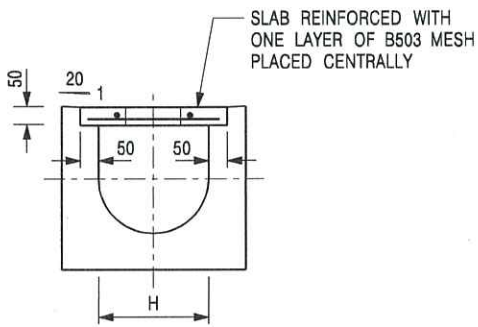
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** DIAGRAMMATIC

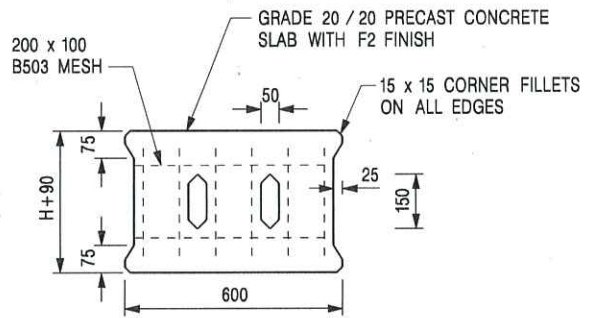
**DRAWING NO.**

**DATE** JAN 1991

**C24101**



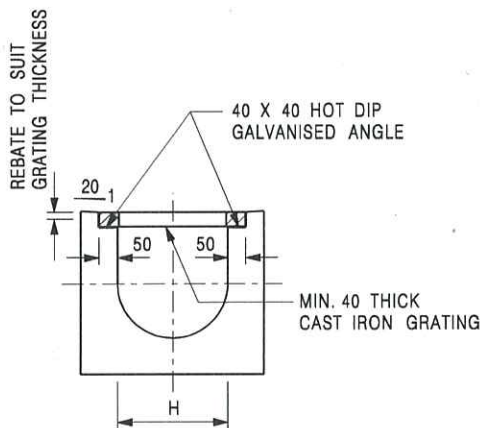
TYPICAL SECTION



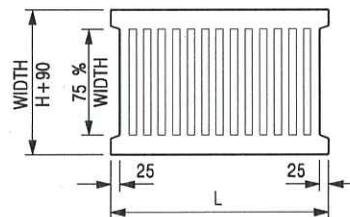
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS



CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2412E

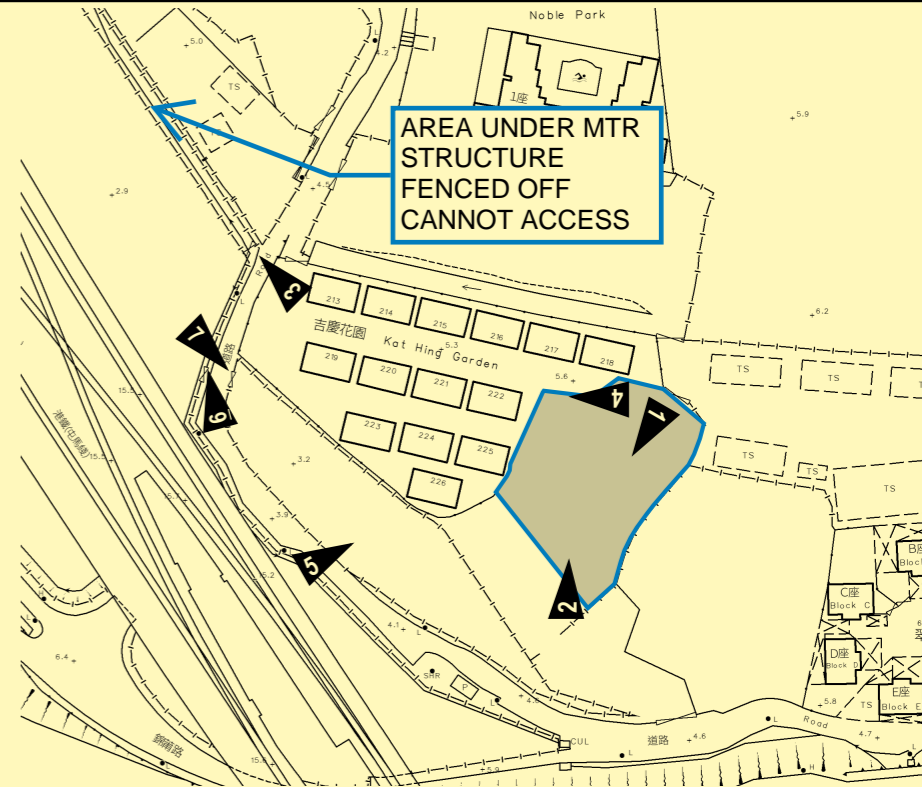
VIEW 1



VIEW 5



EXISTING MIN. 375 CHANNEL AT HIGH LEVEL FALL TO EXISTING 525 CHANNEL  
SEE PHOTO A IN FIGURE 3



AREA FENCED OFF BY OTHER AND CANNOT ACCESS

VIEW 2



VIEW 6



AREA UNDER MTR STRUCTURE FENCED OFF BY OTHER AND CANNOT ACCESS

VIEW 3



525 CHANNEL TO EXISTING WATERCOUSE, CANNOT ACCESS DUE TO FENCE UNDER MTR BRIDGE STRUCTURE.

EXISTING CHANNEL 400 DEPTH



VIEW 4

525 CHANNEL AND EXISTING PIT



VIEW 7

**PROJECT:**  
Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**SITE PHOTOS**

**APPENDIX D**

**LOCATION:**  
Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE



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Our Ref. : DD 109 Lot 348 & VL  
Your Ref. : TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

23 February 2026

Dear Sir,

**4<sup>th</sup> Further Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit Further Information in response to departmental comments on the captioned application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at (852) [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD

[REDACTED]  
[REDACTED]

[REDACTED]

Response-to-Comment (RtC)

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

(i) An RtC table:

Departmental Comments		Applicant’s Responses
<b>1. Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>		
(a)	According to Figure 3 and the photos in Appendix D of the submission, the applicant proposed to discharge the surface runoff to the drainage channels within KCRC’s fenced off area. Please seek KCRC’s comment on the applicant’s proposal.	As per the request of the CE/MN, DSD, the applicant has submitted an enquiry to the Mass Transit Railway Corporation (MTRC) in relation to the drainage proposal. Upon communication, MTRC replied on 20.02.2026 that they have <u>no objection</u> on the proposed development ( <b>Annex 1</b> ).
(b)	Subject to KCRC’s comment on the drainage discharge proposal, condition could be stipulated in the approval letter requiring the applicant the implementation and maintenance of the agreed drainage impact assessment’s proposal for the development to the satisfaction of the Director of Drainage Services or of the Town Planning Board, if KCRC agreed the applicant to discharge the surface runoff to the existing channels within the KCRC’s fenced off area.	Should the planning permission be granted, the applicant will implement the drainage facilities to the satisfaction of the Director of Drainage Services or of the Town Planning Board, and maintain the drainage facilities in good conditions at all times during the approval period of the planning permission.

**Christian Chim**

---

**From:** [REDACTED]  
**Sent:** 2026年2月20日星期五 15:20  
**To:** Christian Chim; [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** RE: [Urgent] RE: [External Email] S.16 Planning Application A/YL-KTS/1088 - Departmental Comments (DSD)  
**Attachments:** A\_YL-KTS\_1088 - RtC to MTRC (20260206).pdf  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Christian,

We have no objection on the proposed application subjects to the following comments:

1. No additional discharge/discharge via the KCRC/MTR maintained/vested area.
2. No modification to the KCRC/MTR assets
3. Any change/modification to the catchment area shall be subjected to separate review.
4. No oil or other contaminated fluid or material, except for its original intended purpose, shall be discharged via the KCRC/MTR-maintained vested area.
5. Catchpit with a trap will be provided to capture debris and prevent blockage of the drainage system.
6. For any works within the railway protection area, method statement and impact assessment shall be submitted for review and comment before commencement of work.

Regards,

**David Yuen**

Senior Railway Protection Engineer  
Hong Kong Transport Services  
MTR Corporation Limited

Tel (852) [REDACTED]





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Our Ref. : DD 109 Lot 348 & VL  
Your Ref. : TPB/A/YL-KTS/1088

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By E-mail**

03 March 2026

Dear Sir,

**5<sup>th</sup> Further Information**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

We write to submit Further Information in response to departmental comments on the captioned application.

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

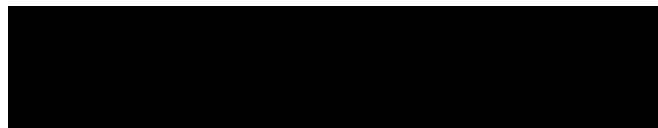
Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**

**Christian CHIM**  
Town Planner

cc DPO/FSYLE, PlanD



**Response-to-Comment (RtC)**

**Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park  
(Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone,  
Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1088)**

(i) An RtC table:

Departmental Comments		Applicant’s Responses
<b>1. Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>		
(a)	Please make reference to the latest Technical Note No. 1 issued by DSD for more details in preparing the drainage proposal. According to the size of the site area, please consider upgrading the size/gradient of the proposed peripheral surface channels accordingly.	Please refer to the updated proposal at <b>Annex 1</b> prepared with reference to the latest Technical Note No. 1 issued by DSD.
(b)	Please advise if there is any drain/watercourse connecting to the existing 375mm channel at upstream. If affirmative, please indicate the upstream drain on the drainage plan for review. Besides, please also confirm if any existing drain/ watercourse/ discharge connection(s) to be affected due to the proposed development. If affirmative, please provide adequate measures and drainage facilities to intercept their flow properly.	The upstream of existing min. 375 mm channel as shown on the drainage plan is the most upstream end of drain, there is no connection to the upstream end of the channel. No existing drain/watercourse/ discharge connections is anticipated to be affected due to the development.
(c)	Please advise if any site formation/levelling works to be carried out under this application. Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	The applicant intends to keep the existing levels. The cross sections are shown in Figure 5 of the proposal.
(d)	Please confirm if any walls or hoarding are/to be erected or laid along the site boundary under this application. If affirmative, adequate opening should be provided to intercept the existing overland flow passing	100 mm opening from the ground level along wall/ hoarding or equivalent will be provided where it is erected.

**S.16 Planning Application No. A/YL-KTS/1088**

	through the site and please provide its details for comments.	
(e)	The cover levels and invert levels of the proposed catchpits at the existing channel should be shown on the drainage plan.	Please refer to the updated Figure 3 of the proposal.
(f)	For Detail A, please indicate the invert level of the existing channel at both upstream and downstream locations at the proposed catchpit CP1.03 for review. Please also advise and indicate the size of the existing channel at the downstream side of the proposed catchpit CP1.03 on the drainage plan for reference.	Please refer to the updated Detail A.
(g)	Please provide more photos showing the presence and current condition of all existing drainage facilities for review (i.e. the existing 375mm u-channel within/nearby the application site, the existing 525mm channel at downstream beyond the fenced off area, etc.) for review.	Please refer to the updated Photos at Appendix D of the proposal
(h)	For Photo A, it cannot clearly show the existing discharge arrangement from the existing 375mm channel to the existing 525mm channel. Please provide clear photo(s) showing the above for our further review.	Please refer to the updated photos at Appendix D and Figure 3 of the proposal.
(i)	Please check and review the location title as shown in Figure 3.	Please refer to the updated Figure 3 of the proposal.
(j)	The existing 375mm and 525mm channels, the 525mm cross road pipe and the existing 16m width watercourse, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant(s) shall resolve any conflict/disagreement arisen for discharging the runoff from the application site(s) to the proposed discharge point(s). In the case that it is a local village drains, DO/YL should be consulted.	Noted.

**S.16 Planning Application No. A/YL-KTS/1088**

	Moreover, the applicant(s) should ensure that this drainage system and the existing downstream drains/channels/streams have adequate capacity to convey the additional runoff from the application site(s). Regular maintenance should be carried out by the applicant(s) to avoid blockage of the system.	
(k)	The development should neither obstruct overland flow and nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	Noted.
(l)	The applicant should resolve any conflict/disagreement with relevant lot owner(s) and seek permission from DLO/YL for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government Land, where required, outside the application site(s).	Noted.

- (ii) The applicant provides a revised layout plan (**Annex 2**) showing the existing unpaved area within the Site. Upon commencement of the proposed development, the existing unpaved area would remain unchanged. The paved/unpaved ratio would remain the same.

**Proposed Temporary Shop and Services, Eating Place  
and Public Vehicle Park (Excluding Container Vehicle)  
for a Period of 5 Years in “Residential (Group C)”  
Zone, Various Lots in D.D. 109, Kam Tin, Yuen Long,  
New Territories**

## **Drainage Proposal**

**Mar 2026**



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# 1 Introduction

## 1.1 Background

- 1.1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin, Yuen Long, New Territories (the Site) for ‘Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years’.
- 1.1.2 This report aims to support the development in drainage aspect.

## 1.2 Application Site

- 1.2.1 The application site is situated beside Kat Hing Garden, south of Kam Sheung Road. It has an area of approx. 1,210 m<sup>2</sup>. The site location is shown in **Figure 1**.
- 1.2.2 The existing site is mostly paved. The existing site levels are approx. + 5.50mPD. No major site formation works for the application site is anticipated.
- 1.2.3 There is an existing minimum 375mm channel by the west boundary of the application site. There is also an existing 525mm channel which would discharge to existing watercourse and eventually discharge to Kam Tin River. **Figure 2** indicate the existing drainage system of the area.

## 2 Development Proposal

### 2.1 The Proposed Development

2.1.1 The total site area is approximately 1,210 m<sup>2</sup>. All existing planter/unpaved area would be maintained. The catchment plan is shown in Figure 4.

Proposed Development Area (Approx.)	
Total Site Area (m <sup>2</sup> )	1,210
Planter Area before Development (m <sup>2</sup> )	223
Planter Area after Development (m <sup>2</sup> )	223
Paved Area after Development (m <sup>2</sup> )	987

Table 1 – Site Development Area

## 3 Assessment Criteria

3.1.1 The Recommended Design Return Period based on Flood Level from SDM (Table 10) is adopted for this report. The recommendation is summarized in Table 2 below.

Description	Design Return Periods
Intensively Used Agricultural Land	2 – 5 Years
Village Drainage Including Internal Drainage System under a polder Scheme	10 Years
Main Rural Catchment Drainage Channels	50 Years
Urban Drainage Trunk System	200 Years
Urban Drainage Branch System	50 Years

Table 2– Design Return Periods under SDM

3.1.2 The proposed drainage system intended to collect runoff from internal site and external catchment. 1 in 50 years return period is adopted for the drainage design.

3.1.3 Stormwater drainage design will be carried out in accordance with the criteria set out in the Stormwater Drainage Manual published by DSD. The proposed design criteria to be adopted for design of this stormwater drainage system and factors which have been considered are summarised below.

1. Intensity-Duration-Frequency Relationship – The Recommended Intensity-Duration-Frequency relationship is used to estimate the intensity of rainfall. It can be expressed by the following algebraic equation.

$$i = \frac{a}{(t_d + b)^c}$$

The site is located within the HKO Zone. Therefore, for 50 years return period, the following values are adopted.

a	=	505.5
b	=	3.29
c	=	0.355

(Corrigendum No.1/2024)

The development is proposed for temporary use for a period of 5 years. 11.1% rainfall increase due to climate change is considered.

2. The peak runoff is calculated by the Rational Method  
i.e.  $Q_p = 0.278CiA$

where	$Q_p$	=	peak runoff in $m^3/s$
	$C$	=	runoff coefficient (dimensionless)
	$i$	=	rainfall intensity in mm/hr
	$A$	=	catchment area in $km^2$

3. The run-off coefficient (C) of surface runoff are taken as follows:

1. Paved Area:  $C = 0.95$
2. Unpaved Area:  $C = 0.35$

4. Manning's Equation is used for calculation of velocity of flow inside the channels:

$$\text{Manning's Equation: } v = \frac{R^{\frac{1}{6}}}{n} R^{\frac{1}{2}} S_f^{\frac{1}{2}}$$

Where,

V = velocity of the pipe flow (m/s)

S<sub>f</sub> = hydraulic gradient

n = manning's coefficient

R = hydraulic radius (m)

5. Colebrook-White Equation is used for calculation of velocity of flow inside the pipes:

$$\text{Colebrook-White Equation: } \underline{v} = -\sqrt{32gRS} \log \log \left( \frac{k_s}{14.8R} + \frac{1.255v}{R\sqrt{32gRS_f}} \right)$$

where,

V	=	velocity of the pipe flow (m/s)
S <sub>f</sub>	=	hydraulic gradient
k <sub>f</sub>	=	roughness value (m)
v	=	kinematics viscosity of fluid
D	=	pipe diameter (m)
R	=	hydraulic radius (m)

## 4 Proposed Drainage System

### 4.1. Proposed Channels

- 4.1.1 Proposed Channels are designed for collection of runoff for internal catchment. They are proposed to discharge to existing channel and watercourse which will eventually discharge to Kam Tin River. **As the paved/unpaved ratio would remain unchanged, there is no additional generated by the development.** The existing channels and watercourse checking are shown in **Appendix A**. They have enough capacity.
- 4.1.2 The design calculations of proposed UChannel are shown in **Appendix A**.
- 4.1.3 The alignment, size, gradient and details of the proposed drains are shown in **Figure 3**. The catchment plan is shown in **Figure 4**.
- 4.1.5 A section of existing min. 375 mm channel downstream to CP1.03 to be reconstructed, if it cannot match with invert of CP1.03. Detail see **Figure 3**.
- 4.1.6 Reference Drawings are shown in **Appendix C** for reference.

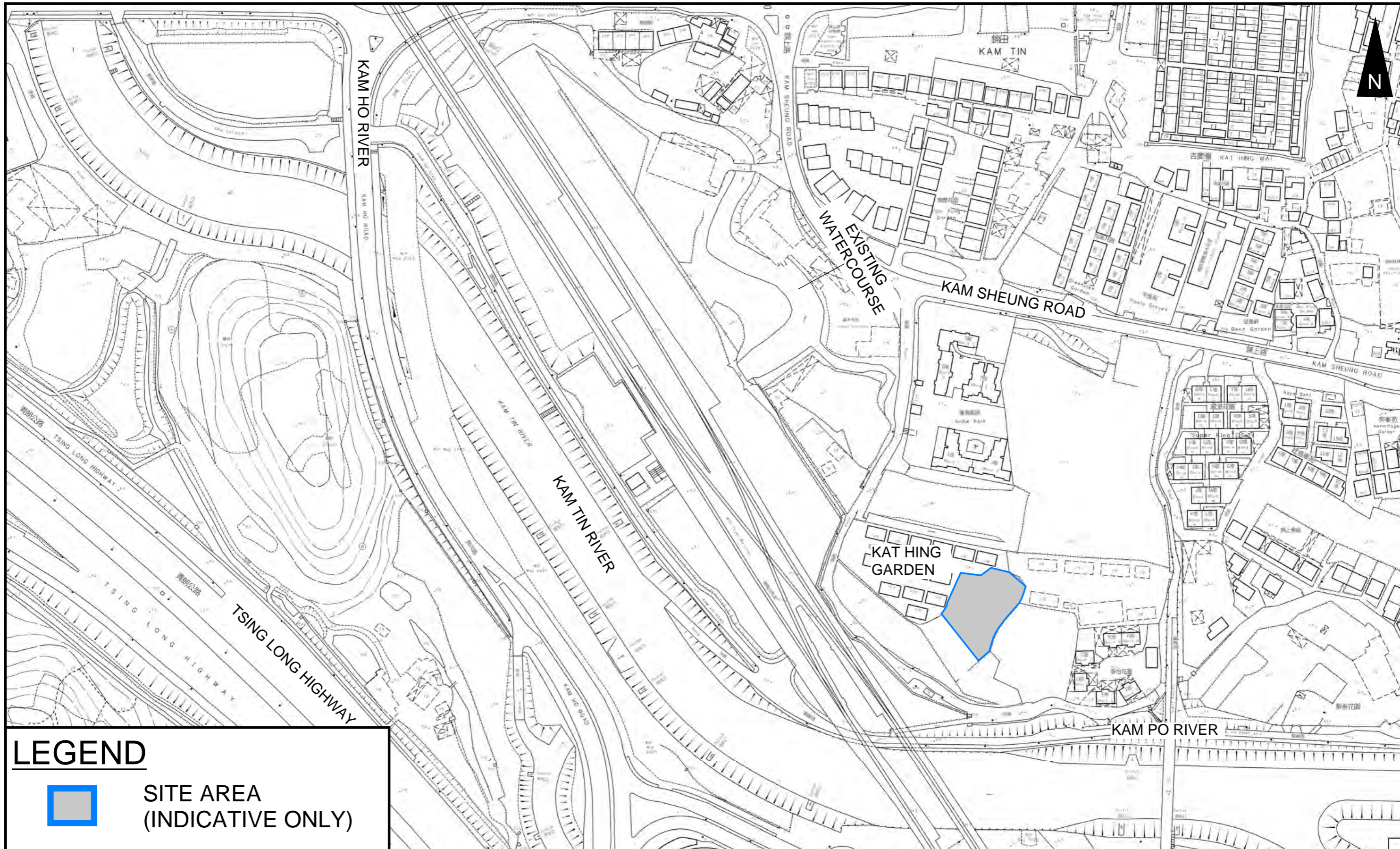
## 5 Conclusion

- 5.1.1 Drainage review has been conducted for the Proposed Development. The surface runoff will be collected by the proposed drains and discharged to existing drainage system. With implementation of the above drainage system, no unacceptable drainage impact is anticipated.

- End of Text -

# FIGURES

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**LEGEND**



**SITE AREA  
(INDICATIVE ONLY)**

**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE**

**SITE LOCATION PLAN**

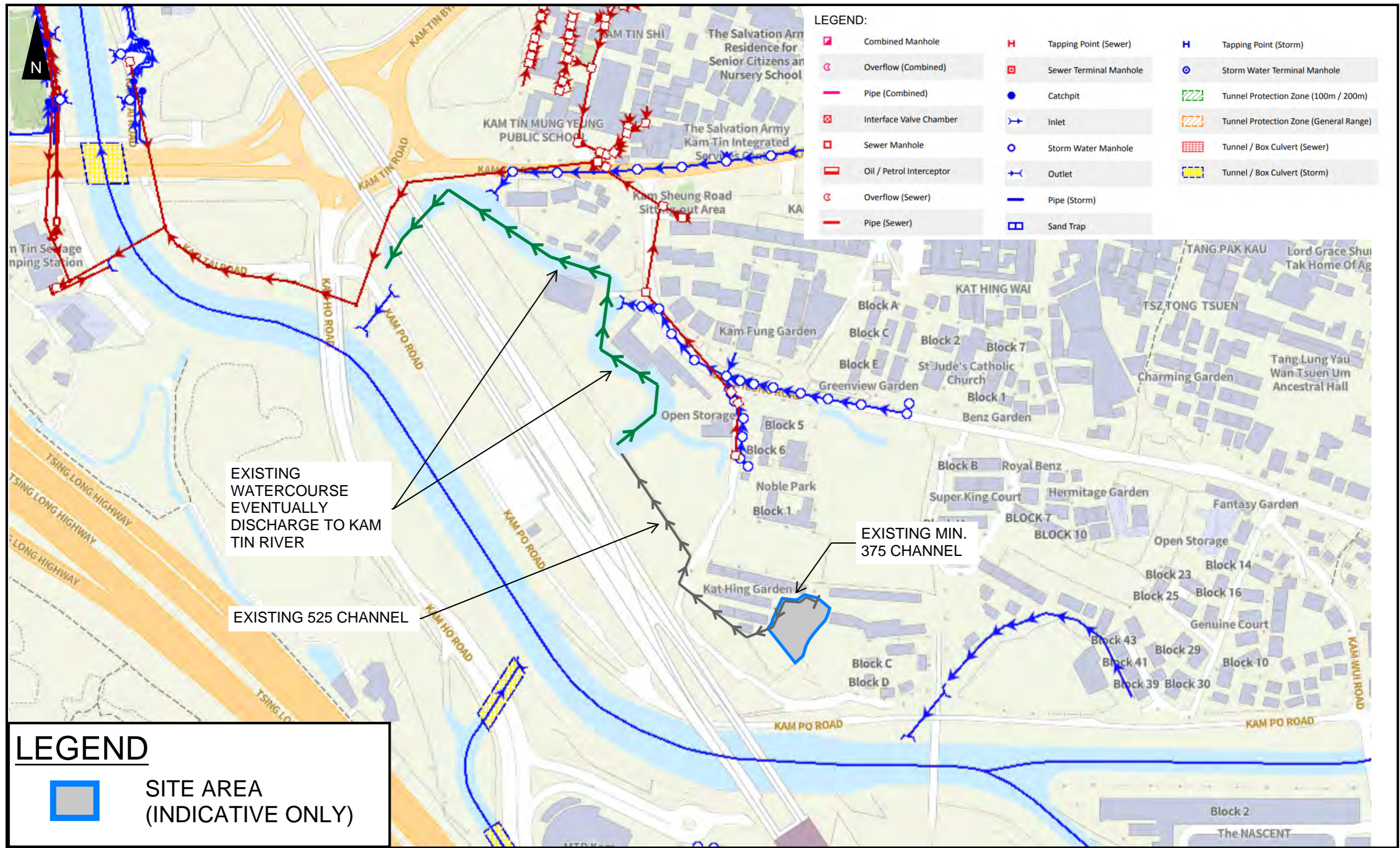
**FIGURE NUMBER**

**FIGURE 1**

**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE



**LEGEND:**

	Combined Manhole		Tapping Point (Sewer)		Tapping Point (Storm)
	Overflow (Combined)		Sewer Terminal Manhole		Storm Water Terminal Manhole
	Pipe (Combined)		Catchpit		Tunnel Protection Zone (100m / 200m)
	Interface Valve Chamber		Inlet		Tunnel Protection Zone (General Range)
	Sewer Manhole		Storm Water Manhole		Tunnel / Box Culvert (Sewer)
	Oil / Petrol Interceptor		Outlet		Tunnel / Box Culvert (Storm)
	Overflow (Sewer)		Pipe (Storm)		
	Pipe (Sewer)		Sand Trap		

**LEGEND**

	SITE AREA (INDICATIVE ONLY)
--	-----------------------------

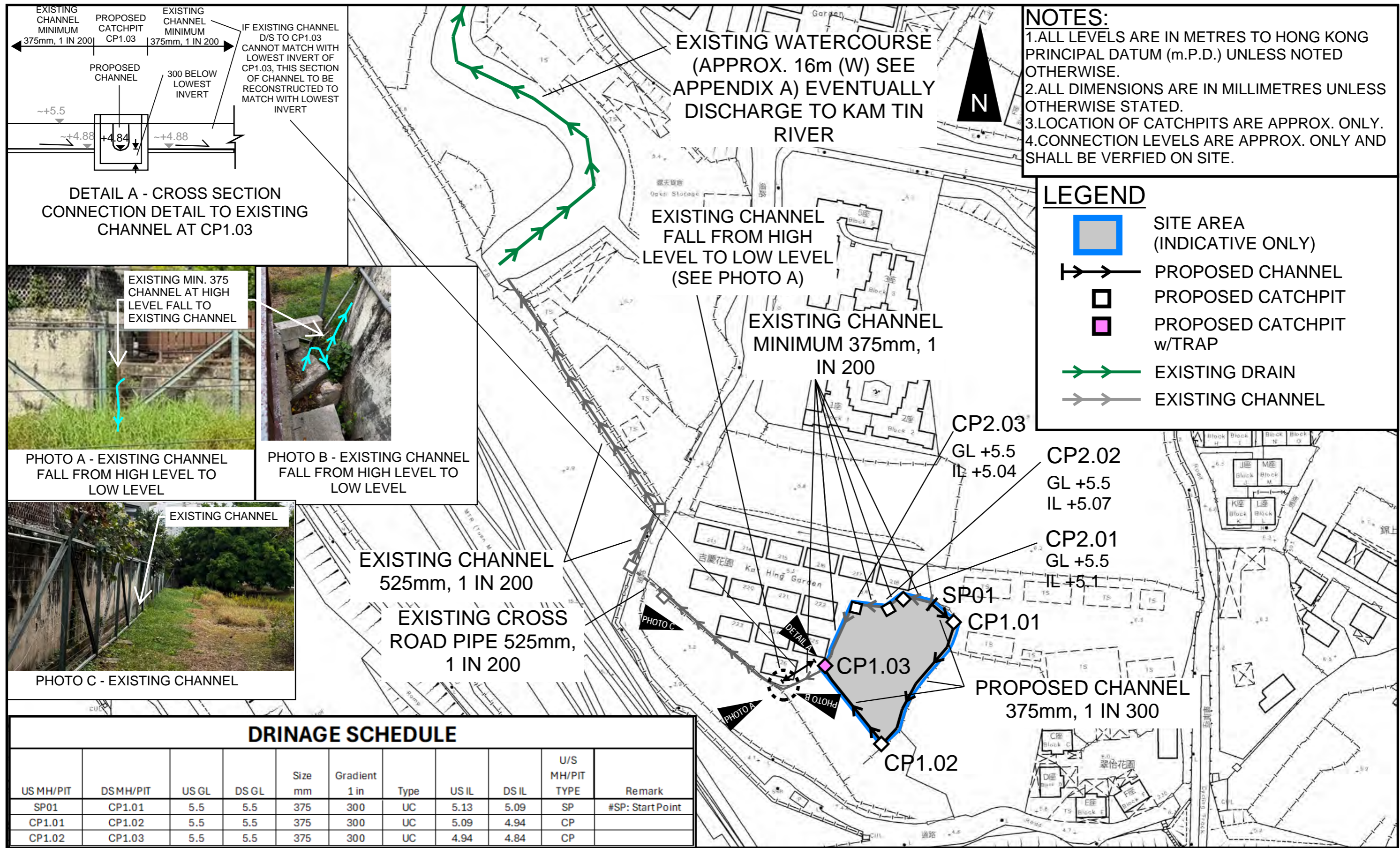
**PROJECT:**  
 Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE**  
 EXISTING DRAINAGE PLAN

**FIGURE NUMBER**  
 FIGURE 2

**LOCATION:**  
 Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE



**DRINAGE SCHEDULE**

US MH/PIT	DSMH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Remark
SP01	CP1.01	5.5	5.5	375	300	UC	5.13	5.09	SP	#SP: Start Point
CP1.01	CP1.02	5.5	5.5	375	300	UC	5.09	4.94	CP	
CP1.02	CP1.03	5.5	5.5	375	300	UC	4.94	4.84	CP	

**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE**

**PROPOSED DRAINAGE SYSTEM**

**FIGURE NUMBER**

**FIGURE 3**

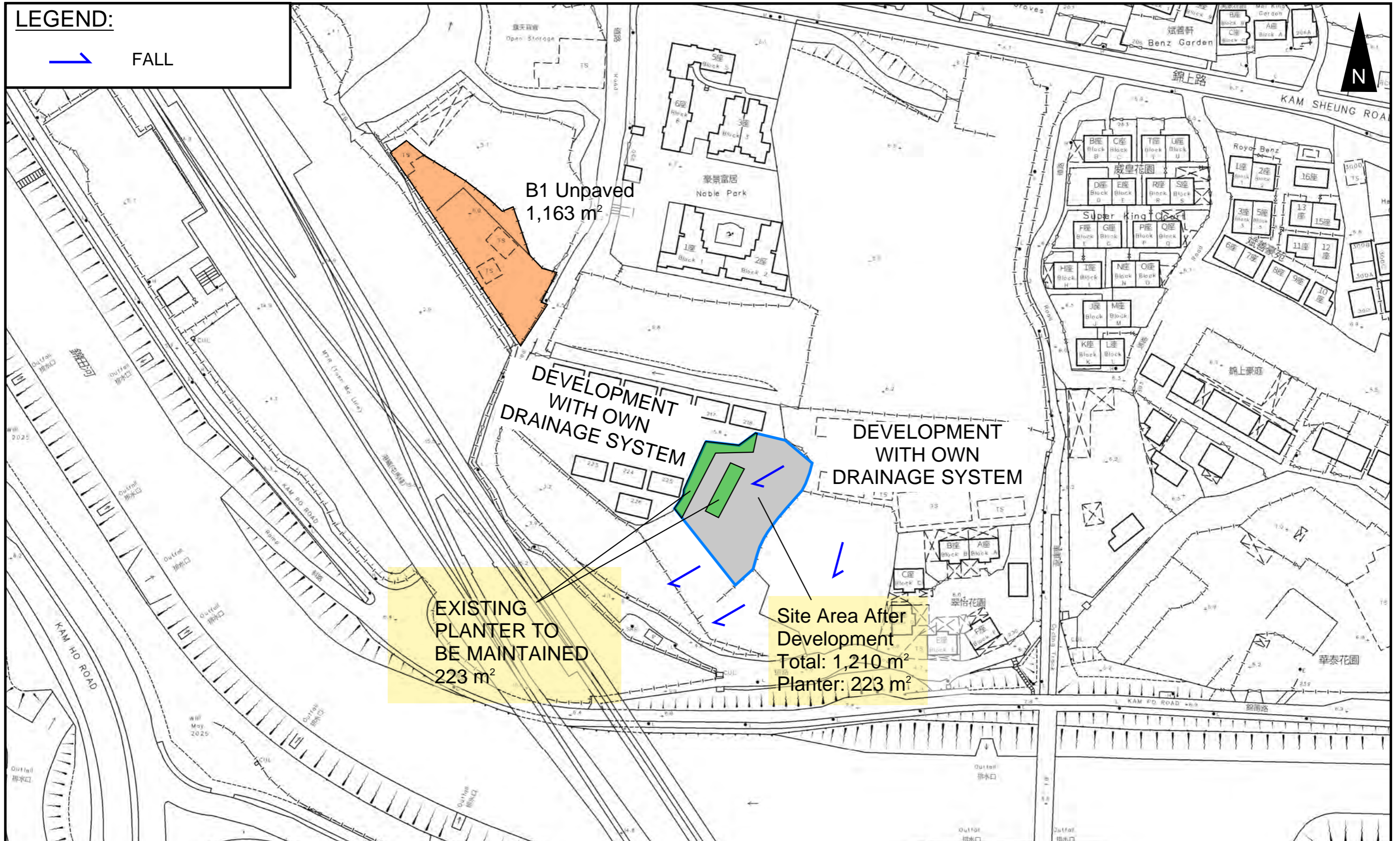
**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE

**LEGEND:**

 FALL



**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in “Residential (Group C)” Zone

**TITLE**

CATCHMENT PLAN

**FIGURE NUMBER**


FIGURE 4

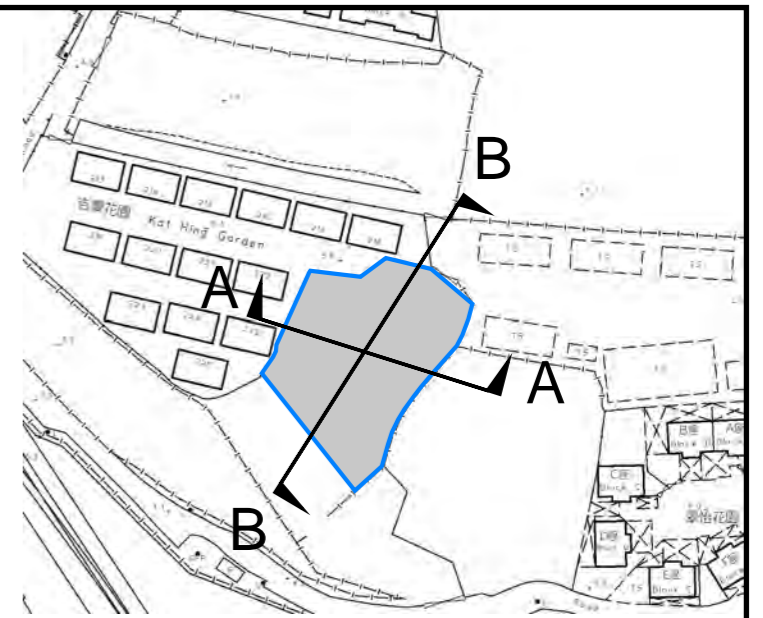
**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

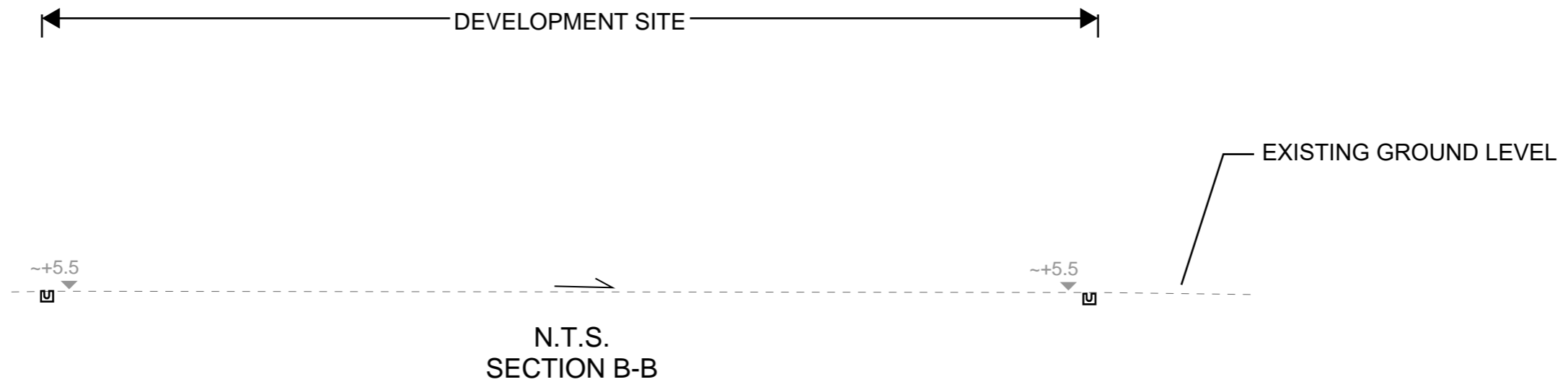
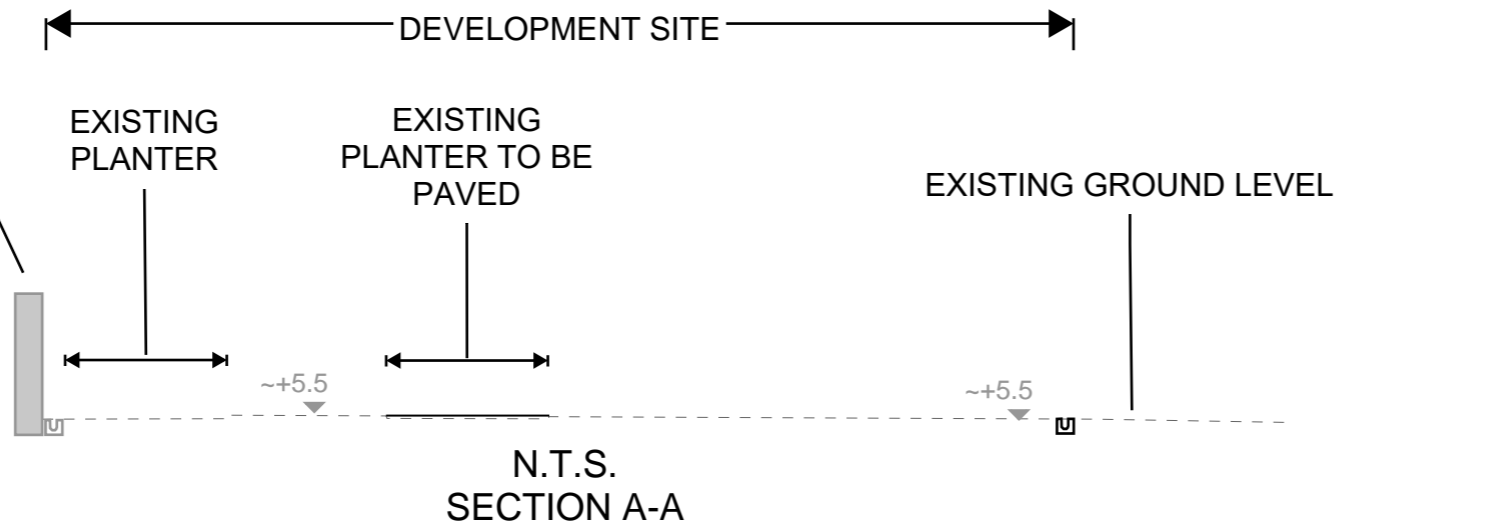
VER	DESCRIPTION	DATE

**LEGEND**

 SITE AREA (INDICATIVE ONLY)



EXISTING FENCE BY OTHERS



**PROJECT:**

Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**TITLE SECTIONS**

FIGURE NUMBER  
FIGURE 5

**LOCATION:**

Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

VER	DESCRIPTION	DATE

# APPENDIX

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## Appendix A: Design Calculation

<b>Zone</b>	HKO
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Return Period	1 in	50	years
---------------	------	----	-------

n	0.014
Ks	0.15
Viscosity	0.000001

Storm Constant	HKO a	505.5
	HKO b	3.29
	HKO c	0.355

**Catchment Area Table (Area in m<sup>2</sup>)**

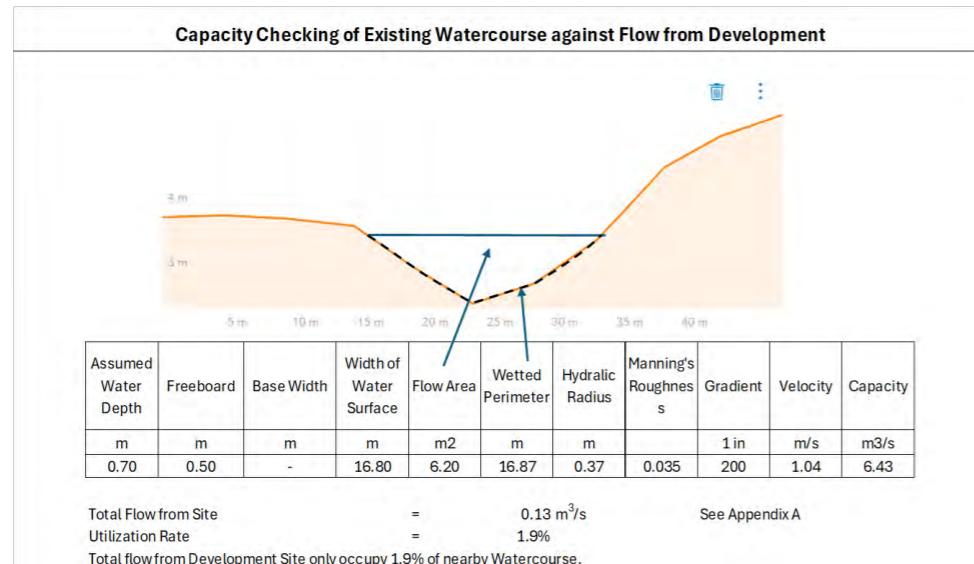
Catchment	A1	B1	Site Area Before Development	Change of Equivalent Area															
Total Area	1210	1163	1210	-															
Hard Paved Area	987	0	987	-															
Unpaved Area	223	1163	223	-															
Equival. Area	1015.7	407.05	1015.7	0															

Pavement Type	Hard Paved	Unpaved
Runoff Coefficient	0.95	0.35

**Calculation Table of Drainage System**

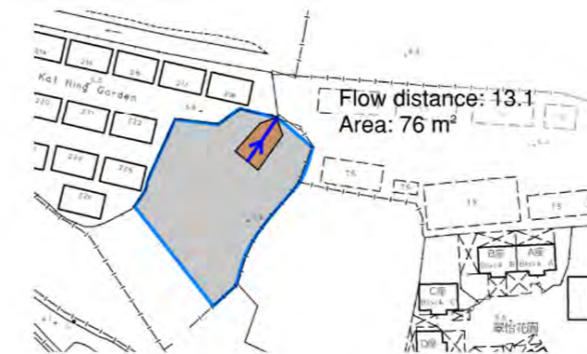
US MH/PIT	DS MH/PIT	US GL	DS GL	Size mm	Gradient 1 in	Type	US IL	DS IL	U/S MH/PIT TYPE	Length m	V m/s <sup>##</sup>	Capacity m <sup>3</sup> /s	Catchments	Total Equivalent Area m <sup>2</sup>	ToC min	Intensity mm/hr <sup>##</sup>	Total Discharge m <sup>3</sup> /s	Utilizatio n	Remark
SP01	CP1.01	5.50	5.50	375	300	UC	5.13	5.09	SP	9.5	1.06	0.13	A1	1015.70	0.40	353	0.10	75.0%	
CP1.01	CP1.02	5.50	5.50	375	300	UC	5.09	4.94	CP	45	1.06	0.13	A1	1015.70	0.55	348	0.10	74.0%	
CP1.02	CP1.03	5.50	5.50	375	300	UC	4.94	4.84	CP	29.9	1.06	0.13	A1	1015.70	1.26	328	0.09	69.6%	
CP1.03	Existing 525 channel			525	200	UC					1.62	0.40	A1,B1	1422.75	1.73	317	0.13	31.4%	
Checking of Existing min. 375 channel				375	200	UC					1.30	0.16	A1	1015.70	0.40	353	0.10	61.2%	
Checking of Existing 525 cross road pipe				525	200	PIPE					1.82	0.39	A1,B1	1422.75	1.73	317	0.13	31.8%	
Flow due to change of Equivalent Area (as the paved/unpaved ratio is remain unchanged after development, there is no additional runoff generated)													Change of Equivalent Area	0.00	1.73	317	0.00		

#SP: Start Point  
## : With 11.1% rainfall increase as per Table 28 of SDM Corrigendum No. 1/2022.



### Time of Concentration Checking

Catchment	Flow Distance	Highest Level	Lowest Level	Gradient (per 100m) = (H1-H2)/L x 100	to (min) = 0.14465L / (H <sup>0.2</sup> A <sup>0.1</sup> )	tc = to + tf
A	L	H1	H2		(min)	(min)
(m <sup>2</sup> )	(m)	(mPD)	(mPD)		(min)	(min)
76	13.1	72	15	435.115	0.4	0.4



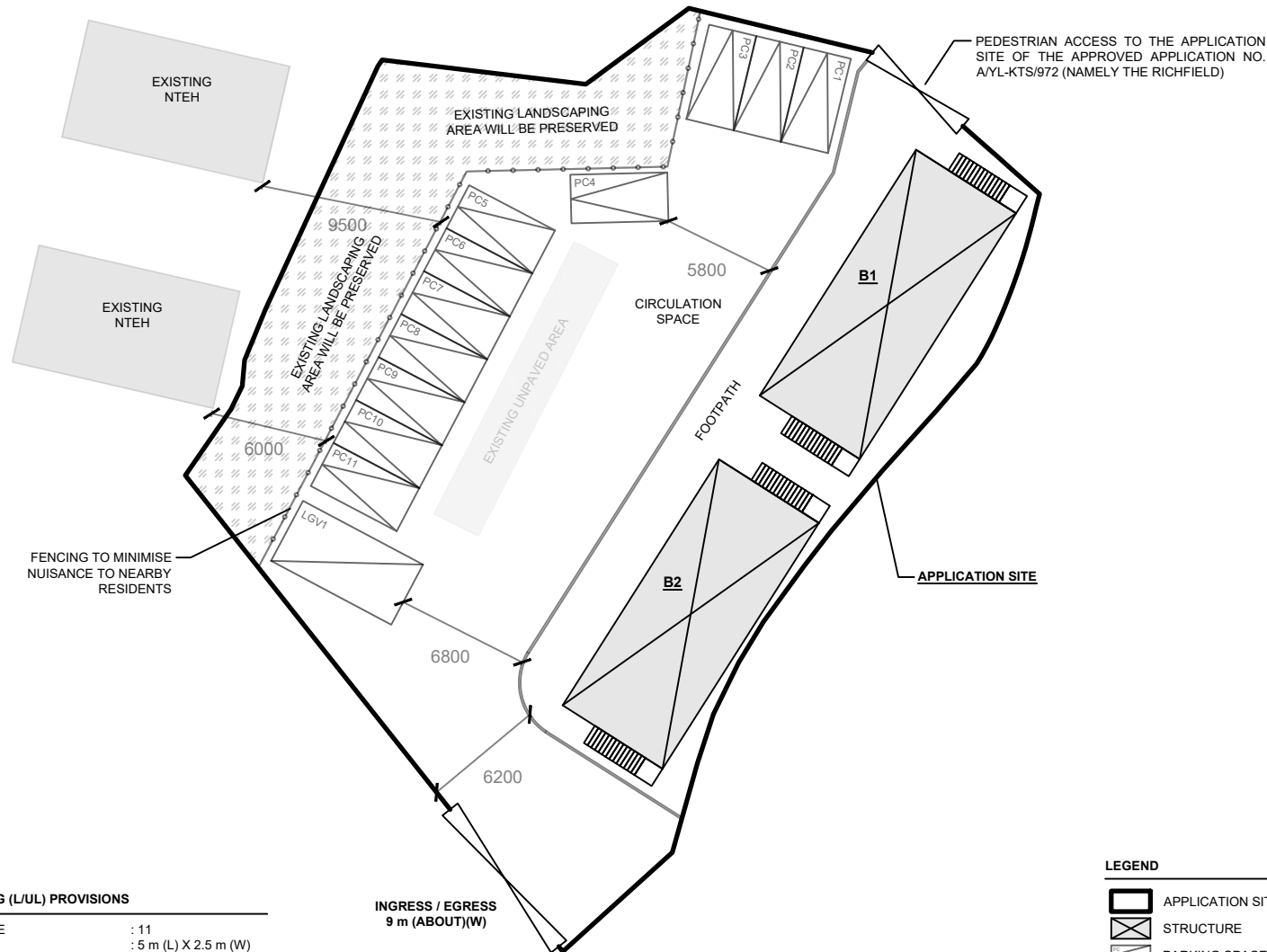
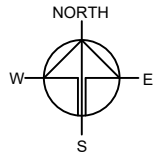
# APPENDIX B - PROPOSED SITE LAYOUT PLAN

## DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 200 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,010 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.32	(ABOUT)
SITE COVERAGE	: 17 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 384 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 384 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)</b>	<b>384 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>



## PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

INGRESS / EGRESS  
9 m (ABOUT)(W)

## LEGEND

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 350 @ A4

DRAWN BY: MN DATE: 2.3.2026

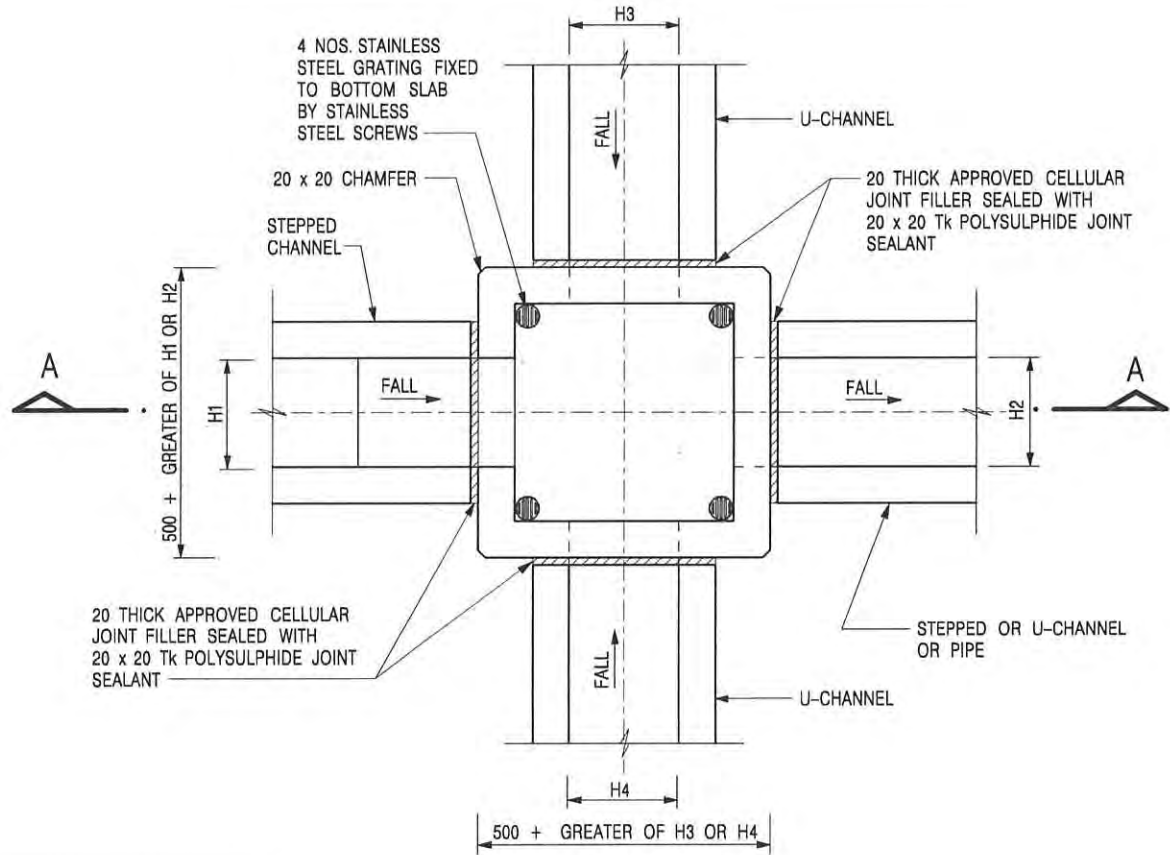
CHECKED BY: DATE:

APPROVED BY: DATE:

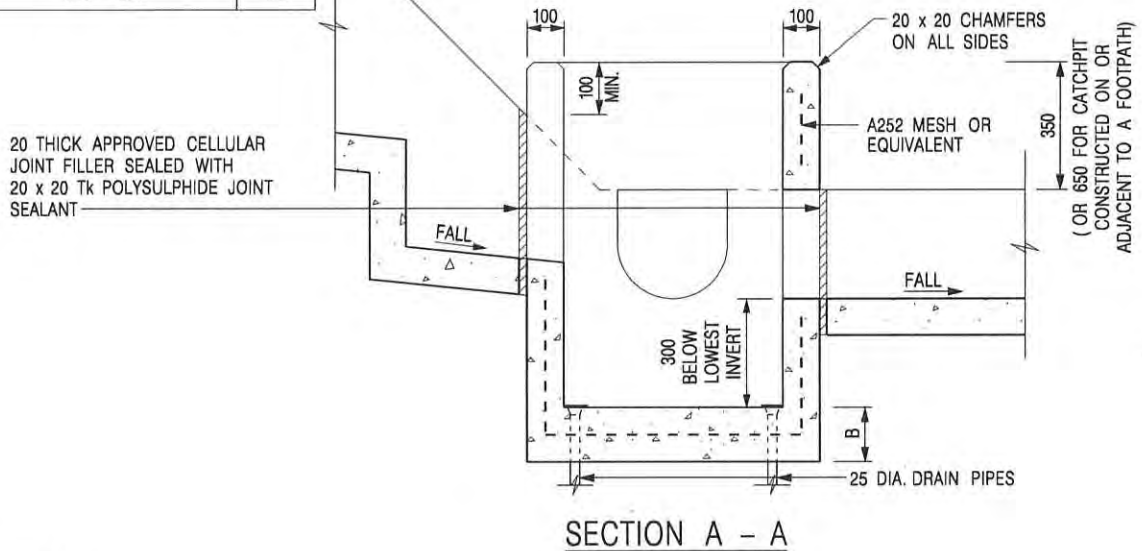
DWG. TITLE  
LAYOUT PLAN

DWG. NO. PLAN 4 VER. 003

# Appendix C - Reference Drawings



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



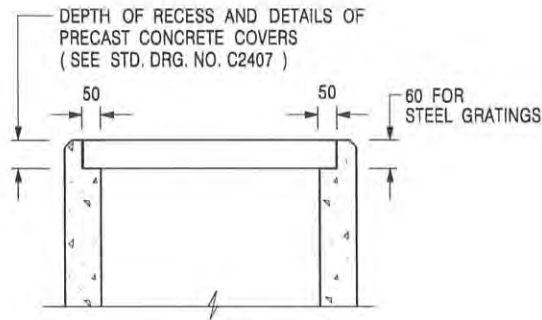
CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /1



**ALTERNATIVE TOP SECTION  
FOR PRECAST CONCRETE COVERS / GRATINGS**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2 ) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



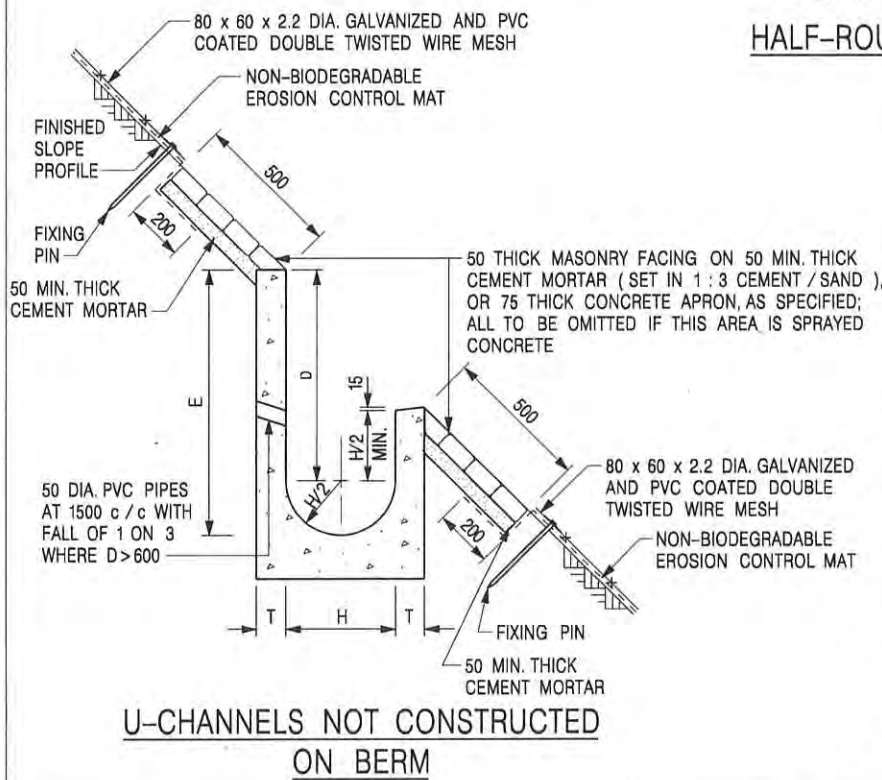
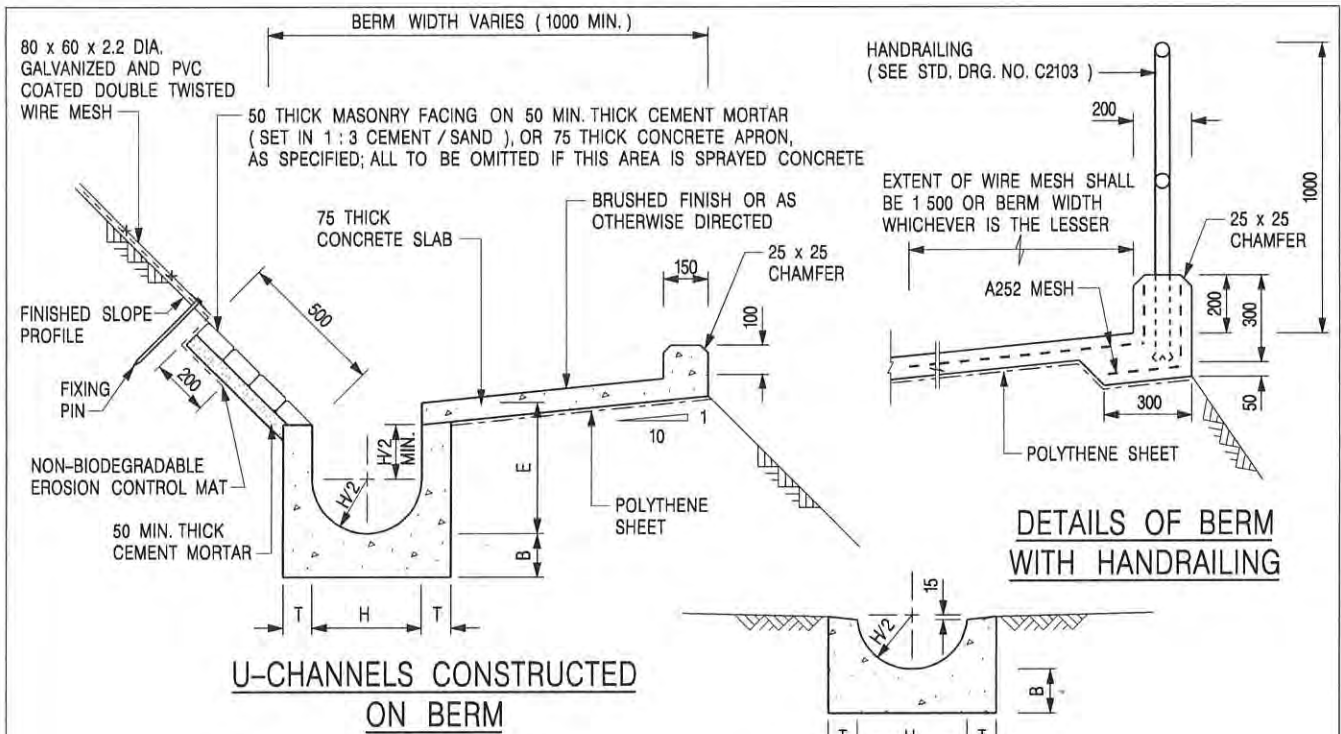
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DRAWING NO.**

**DATE** JAN 1991

**C2406 /2A**



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD DRG. NO. C2511/E)

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100
375 - 600	100	150	WHEN E > 650
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	THICKNESS OF MASONRY FACING AMENDED.	Original Signed	01.2005
G	MINOR AMENDMENT.	Original Signed	01.2004
F	GENERAL REVISION.	Original Signed	12.2002
E	DRAWING TITLE AMENDED.	Original Signed	11.2001
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENTS.	Original Signed	3.94

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE A - WITH MASONRY APRON)**



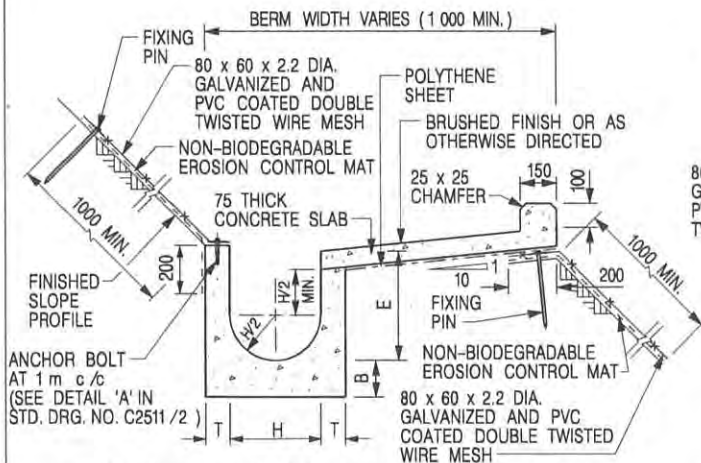
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 25

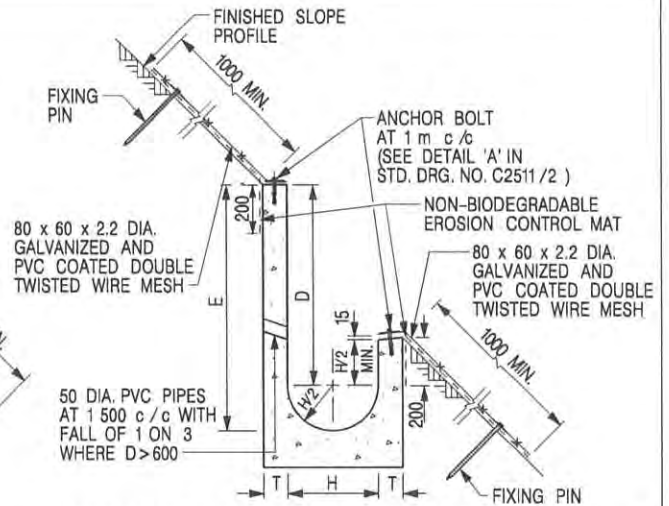
**DRAWING NO.**

**DATE** JAN 1991

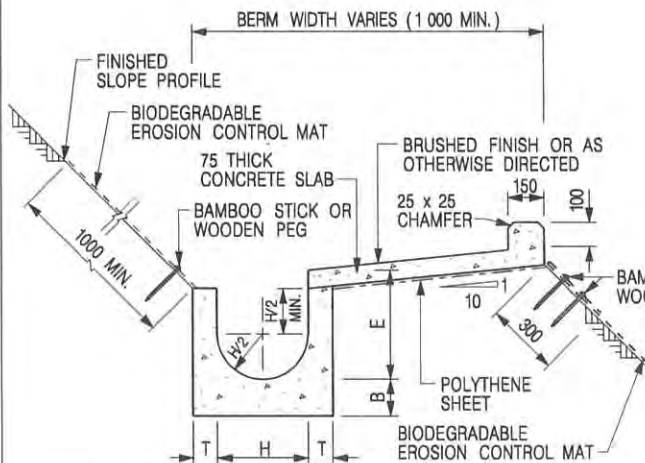
**C24091**



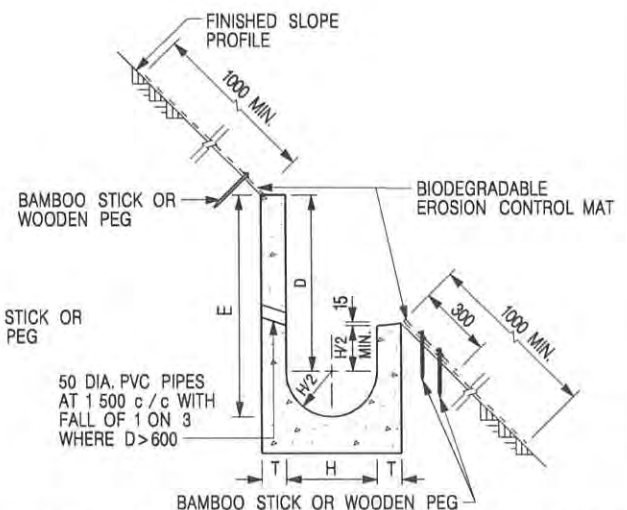
**U-CHANNELS CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH NON-BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**



**U-CHANNELS NOT CONSTRUCTED ON BERM WITH BIODEGRADABLE EROSION CONTROL MAT**

**NOTES:**

- ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL CONCRETE TO BE GRADE 20 /20.
- CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
- SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
- JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
- FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
- FOR TYPICAL FIXING PIN DETAILS, SEE STD. DRG. NO. C2511/2.
- MINIMUM SIZE OF 25 x 50 x 300mm SHALL BE PROVIDED FOR WOODEN PEG.
- MINIMUM SIZE OF 10mm DIAMETER WITH 200mm LONG SHALL BE PROVIDED FOR BAMBOO STICK.
- THE FIXING DETAILS OF NON-BIODEGRADABLE AND BIODEGRADABLE EROSION CONTROL MATS ON EXISTING BERM SHALL REFER TO STD. DRG. NO. C2511/1.

NOMINAL SIZE H	T	B	REINFORCEMENT
300	80	100	A252 MESH PLACED CENTRALLY AND T=100
375 - 600	100	150	WHEN E > 650
675 - 900	125	175	A252 MESH PLACED CENTRALLY

REF.	REVISION	SIGNATURE	DATE
I	MINOR AMENDMENT.	Original Signed	07.2018
H	FIXING DETAILS OF BIODEGRADABLE EROSION CONTROL MAT ADDED.	Original Signed	12.2017
G	DIMENSION TABLE AMENDED.	Original Signed	01.2005
F	MINOR AMENDMENT.	Original Signed	01.2004
E	GENERAL REVISION.	Original Signed	12.2002
D	MINOR AMENDMENT.	Original Signed	08.2001
C	150 x 100 UPSTAND ADDED AT BERM.	Original Signed	6.99
B	MINOR AMENDMENT.	Original Signed	3.94
A	MINOR AMENDMENT.	Original Signed	10.92

**DETAILS OF HALF-ROUND AND U-CHANNELS (TYPE B - WITH EROSION CONTROL MAT APRON)**



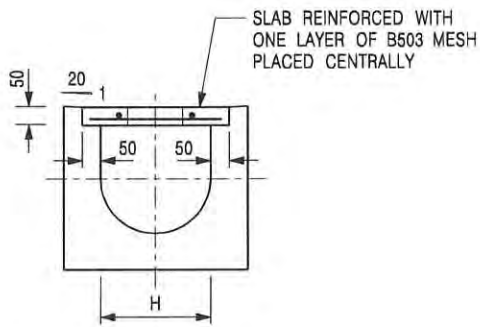
**CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT**

**SCALE** DIAGRAMMATIC

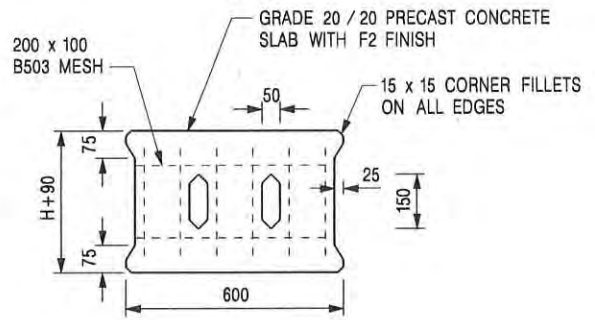
**DRAWING NO.**

**DATE** JAN 1991

**C24101**



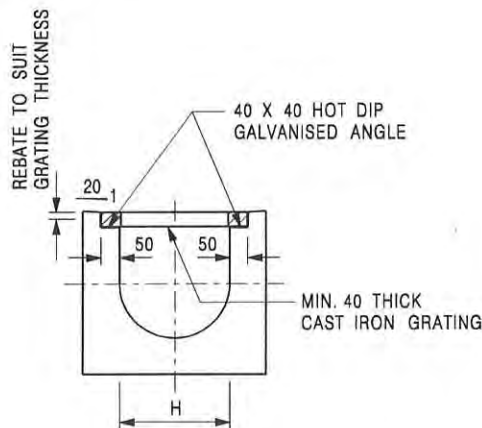
TYPICAL SECTION



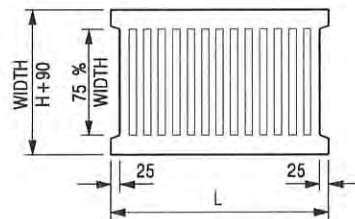
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT, NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS



CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2412E



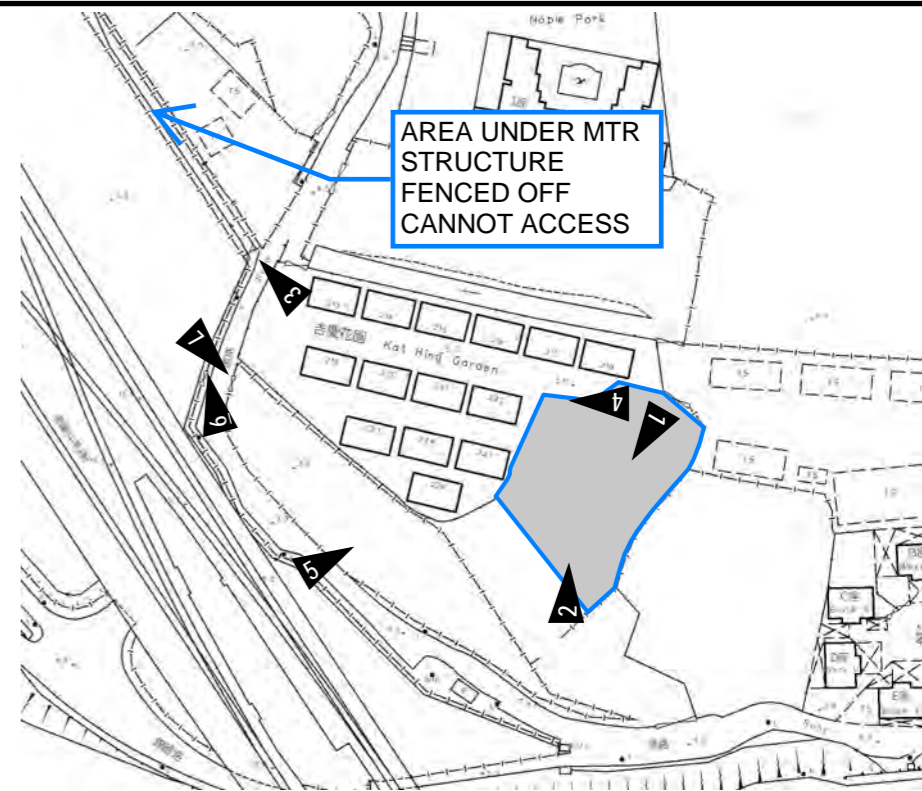
**VIEW 1**



**VIEW 5**

AREA FENCED OFF BY OTHER AND CANNOT ACCESS

EXISTING MIN. 375 CHANNEL AT HIGH LEVEL FALL TO EXISTING 525 CHANNEL  
SEE PHOTO A IN FIGURE 3



AREA UNDER MTR STRUCTURE FENCED OFF CANNOT ACCESS



**VIEW 2**



**VIEW 6**

AREA UNDER MTR STRUCTURE FENCED OFF BY OTHER AND CANNOT ACCESS



**VIEW 3**

525 CHANNEL TO EXISTING WATERCOUSE, CANNOT ACCESS DUE TO FENCE UNDER MTR BRIDGE STRUCTURE.



EXISTING CHANNEL 400 DEPTH

**VIEW 4**



525 CHANNEL AND EXISTING PIT

**VIEW 7**

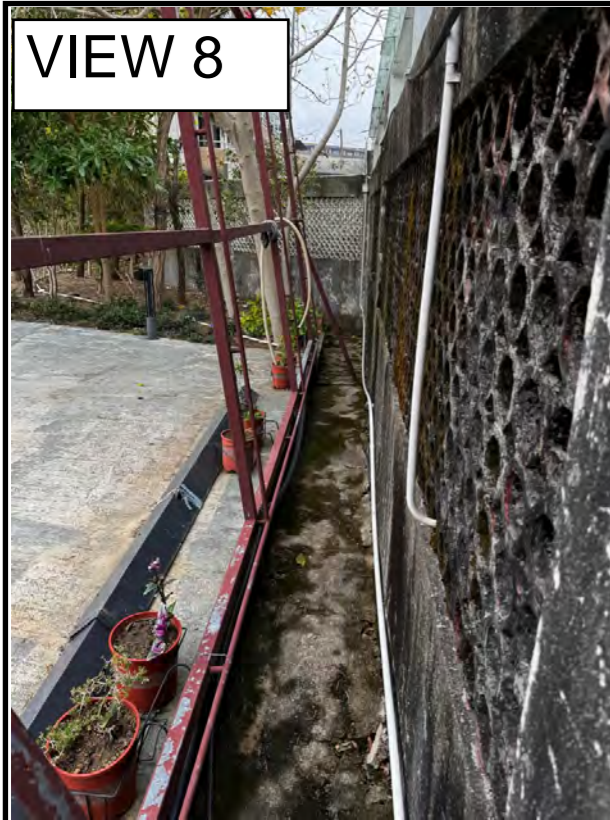
**PROJECT:**  
Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**SITE PHOTOS**  
(1 OF 2)

**APPENDIX D**

**LOCATION:**  
Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

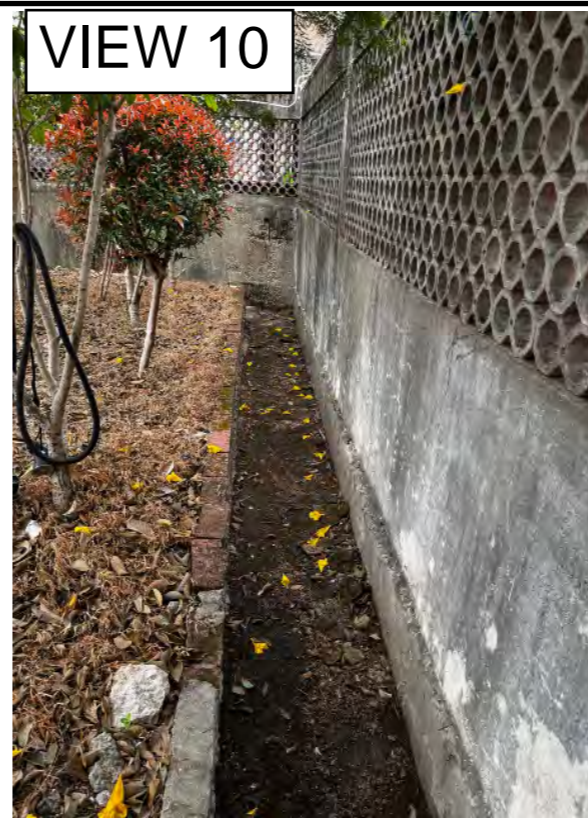
VER	DESCRIPTION	DATE



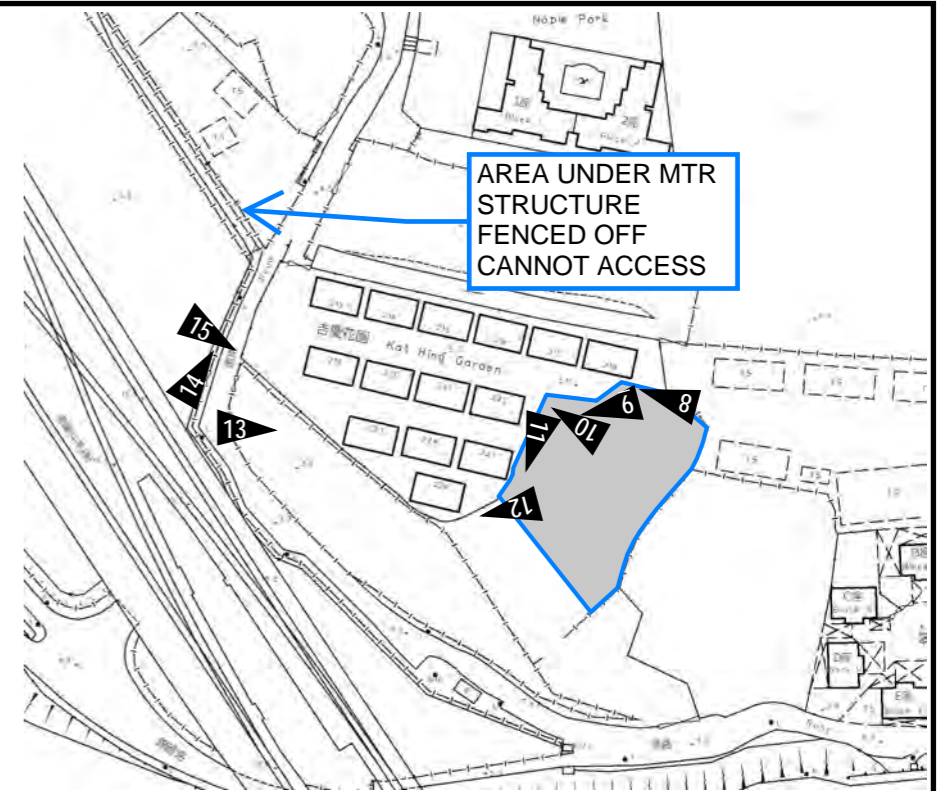
VIEW 8



VIEW 9



VIEW 10



AREA UNDER MTR STRUCTURE FENCED OFF CANNOT ACCESS



VIEW 11



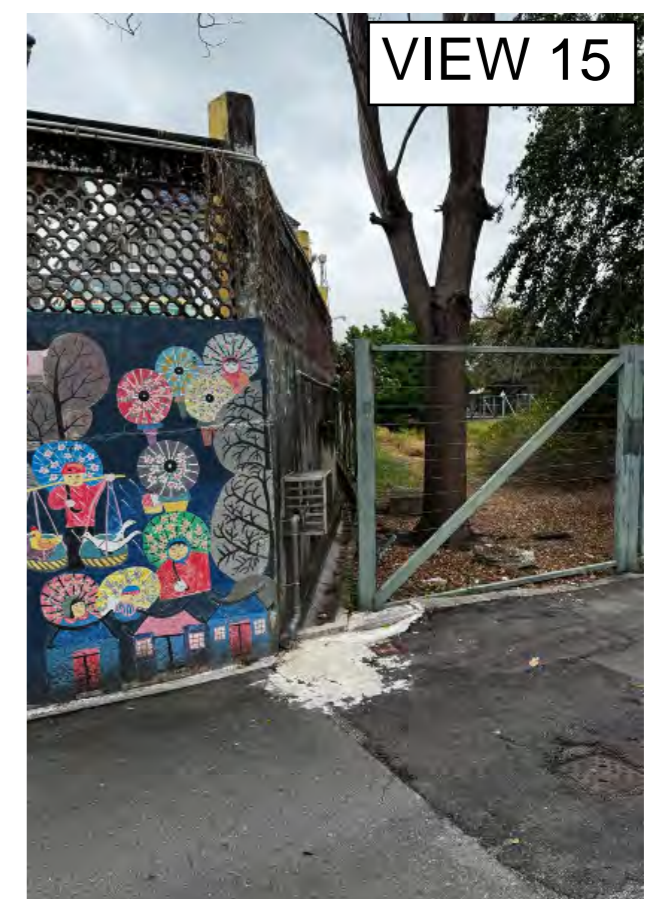
VIEW 12



VIEW 13



VIEW 14



VIEW 15

**PROJECT:**  
Proposed Temporary Shop and Services, Eating Place and Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years in "Residential (Group C)" Zone

**SITE PHOTOS**  
(2 OF 2)

**APPENDIX D**

**LOCATION:**  
Various Lots in D.D. 109, Kam Tin, Yuen Long, New Territories

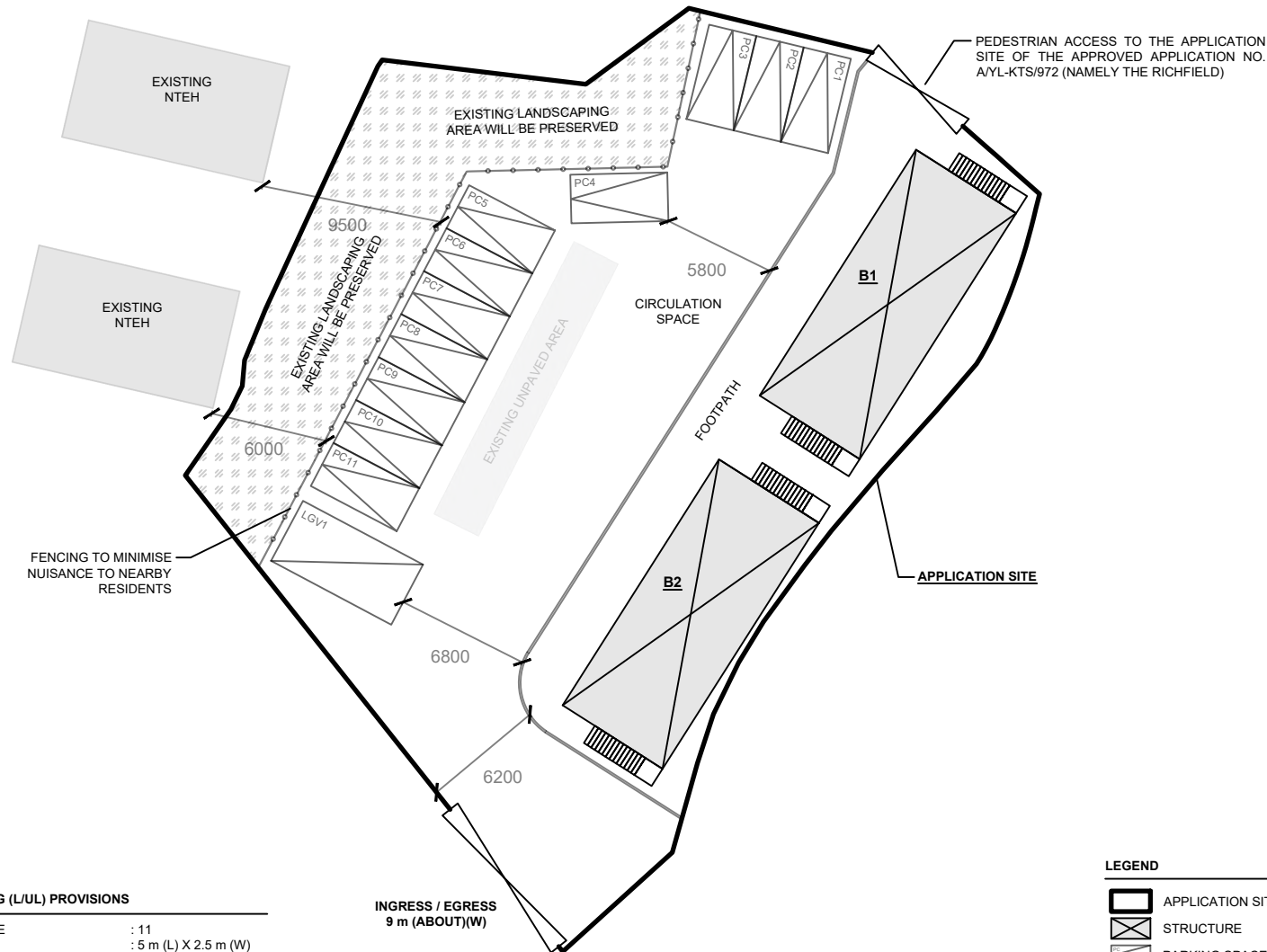
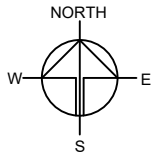
VER	DESCRIPTION	DATE

**DEVELOPMENT PARAMETERS**

APPLICATION SITE AREA	: 1,210 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 200 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 1,010 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.32	(ABOUT)
SITE COVERAGE	: 17 %	(ABOUT)
NO. OF STRUCTURE	: 2	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 384 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 384 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 7.2 m	(ABOUT)
NO. OF STOREY	: 2	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
B2	SHOP AND SERVICES / EATING PLACE	100 m <sup>2</sup> (ABOUT)	192 m <sup>2</sup> (ABOUT)*	7.2 m (ABOUT)(2-STOREY)
<b>TOTAL</b>		<b>200 m<sup>2</sup> (ABOUT)</b>	<b>384 m<sup>2</sup> (ABOUT)</b>	

* GFA OF 1/F	: 92 m <sup>2</sup>	(ABOUT)
GFA OF G/F	: 92 m <sup>2</sup>	(ABOUT)
COVERED AREA OF STAIRCASE	: 8 m <sup>2</sup>	(ABOUT)
<b>TOTAL GFA</b>	<b>: 192 m<sup>2</sup></b>	<b>(ABOUT)</b>



**PARKING AND LOADING / UNLOADING (L/UL) PROVISIONS**

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSIONS OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSIONS OF PARKING SPACE	: 7 m (L) X 3.5 m (W)

**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PRIVATE CAR)
- L/UL SPACE (LIGHT GOODS VEHICLE)
- INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED TEMPORARY SHOP AND SERVICES, EATING PLACE AND PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLE) FOR A PERIOD OF 5 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 109, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 350 @ A4

DRAWN BY	DATE
MN	2.3.2026

CHECKED BY	DATE

APPROVED BY	DATE

DWG. TITLE  
LAYOUT PLAN

DWG. NO.	VER.
ANNEX 2	003

**Previous s.16 Applications covering the Application Site**

**Approved Application**

Application No.	Use(s)/Development(s)	Date of Consideration (Rural and New Town Planning Committee (RNTPC))
A/YL-KTS/812	Temporary Shop and Services with Ancillary Facilities for a Period of 5 Years	22.2.2019

**Rejected Applications**

Application No.	Use(s)/Development(s)	Date of Consideration (RNTPC)	Rejection Reasons
A/YL-KTS/607	Proposed Temporary Public Vehicle Park (excluding Container Vehicles) for a Period of 3 Years	22.11.2013	(1) – (4)
A/YL-KTS/662	Proposed Temporary Public Vehicle Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	27.3.2015	(1) – (4)
A/YL-KTS/711	Proposed Temporary Public Vehicle Park (excluding Container Vehicle) for a Period of 3 Years	29.7.2016	(1), (3), (4)

**Rejection Reasons**

- (1) The proposed development is not in line with the planning intention of the “Residential (Group C)” (“R(C)”) zone which is intended primarily for low-rise, low-density residential developments. There is no strong justification in the submission for a departure from such planning intention, even on a temporary basis;
- (2) The proposed development is not compatible with the surrounding land uses which are predominated by residential developments/residential structures/dwellings.
- (3) The site is located within a cluster of residential settlements. The applicant fails to demonstrate that the development would not have adverse environmental, landscape and/or traffic impacts on the adjacent residential structures/dwellings.
- (4) The approval of the application, even on a temporary basis, would set an undesirable precedent for similar uses to proliferate into the same/nearby “R(C)” zones. The cumulative effect of approving such similar application would result in a general degradation of the environment and the rural character of the area.

**Similar s.16 Applications within the “Residential (Group C)” Zone  
on the Kam Tin South Outline Zoning Plan in the Past Five Years**

Approved Applications

<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (RNTPC)</b>
A/YL-KTS/898	Renewal of Planning Approval for Temporary Shop and Services (Motor Vehicles Showroom) for a Period of 3 Years	10.9.2021
A/YL-KTS/915	Renewal of Planning Approval for Temporary Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	4.3.2022
A/YL-KTS/929	Renewal of Planning Approval for Temporary Eating Place for a Period of 3 Years	29.7.2022
A/YL-KTS/972	Proposed Temporary Shop and Services, Eating Place, Place of Recreation, Sport or Culture and Public Vehicle Park (excluding Container Vehicle) with Ancillary Facilities for a Period of 5 Years	10.11.2023
A/YL-KTS/1029	Proposed Temporary Shop and Services (Motor-vehicle Showroom) for a Period of 3 Years	22.11.2024
A/YL-KTS/1047	Renewal of Planning Approval for Temporary Car Park (Private Cars and Light Goods Vehicles) for a Period of 3 Years	24.1.2025

**Government Departments' General Comments**

**1. Traffic**

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are in **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application from highways maintenance point of view; and
- advisory comments are at **Appendix IV**.

**2. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from the public drainage point of view;
- should the application be approved, approval conditions should be stipulated in the approval letter requiring the applicant to submit a revised drainage proposal and implement and maintain the revised drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board; and
- advisory comments are at **Appendix IV**.

**3. Fire Safety**

Comments of the Director of Fire Services:

- no objection in principle to the application subject to the fire service installations (FSIs) being provided to his satisfaction;
- the submitted FSIs proposal is considered acceptable to his department; and
- advisory comments are at **Appendix IV**.

**4. Environment**

Comments of the Director of Environmental Protection, Environmental Protection Department:

- no objection on the application from environmental planning perspective;
- there was no environmental complaint concerning the Site received in the past three years; and
- advisory comments are in **Appendix IV**.

## 5. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no significant landscape impact arising from the proposed uses is anticipated; and
- advisory comments are in **Appendix IV**.

## 6. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and
- advisory comments are in **Appendix IV**.

## 7. **District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment on the application; and
- his office has not received any comment from the locals upon close of consultation.

## 8. **Other Departments**

The following government departments have no objection to/no adverse comment/no comment on the application and their advisory comments, if any, are in **Appendix V**:

- Director of Agriculture, Fisheries and Conservation;
- Director of Electrical and Mechanical Services;
- Director of Food and Environmental Hygiene;
- Project Manager (West), Civil Engineering and Development Department;
- Commissioner of Police;
- Chief Engineer/ Railway Development Division 1-1, HyD; and
- Chief Engineer/Construction, Water Supplies Department.

**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the proposed uses with the concerned owner(s) and/or occupant(s);
- (b) the permission is given to the use and/or structures under application. It does not condone any other use(s) and/or structure(s) which currently occur on the application site (the Site) but not covered by the application. Immediate action should be taken to discontinue such use(s) and/or remove such structure(s) not covered by the permission;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that for the unauthorised structure(s) within the private lot(s) not covered by the application, the lot owner(s)/applicant shall either remove the unauthorised structures not covered by the application immediately; or include the unauthorised structure(s) in the application for the further consideration by the relevant departments and, subject to the approval of the Town Planning Board to the application which shall have reflected the rectification or amendment as aforesaid required, apply to his office for an Short Term Waiver (STW) to permit the structure(s) erected. The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate to be imposed by LandsD. In addition, LandsD reserves the right to take enforcement action against the lot owner(s)/applicant for any breach of the lease conditions, including the breaches already in existence or to be detected at any point of time in future;
- (d) to note the comments of the Commissioner for Transport that:
  - (i) the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
  - (ii) sufficient manoeuvring space shall be provided within the Site; and
  - (iii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
  - (i) HyD shall not be responsible for the maintenance of the proposed access connecting the Site and Kam Sheung Road, including the local tracks; and
  - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (f) to note the comments of the Chief Engineer/Railway Development Division 1-1, HyD that:
  - (i) the applicant shall note that the construction of the Northern Link (NOL) will be from 2025 to 2034, and take into account the construction, operation and

maintenance of NOL; and

- (ii) the site falls within or in the vicinity of the railway protection boundary of the existing railway line. With reference to Development Bureau Technical Circular (Works) No. 1/2019 and/or Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-24, the applicant shall consult MTR Corporation Limited's Railway Protection and Land Survey Section with respect to the operation, maintenance, safety and any future works required for the existing railway network;
- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that the detailed comments on the drainage proposal previously provided to the applicant shall be taken into account in the revised drainage proposal;
- (h) to note the comments of the Director of Environmental Protection that:
  - (i) the applicant shall follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
  - (ii) the applicant shall follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECCPN 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department';
  - (iii) the applicant shall provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
  - (iv) the applicant shall meet the statutory requirements under relevant environmental legislation;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
  - (i) the installation/maintenance/modification/repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to D of FS; and
  - (ii) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Director of Agriculture, Fisheries and Conservation that the applicant shall adopt appropriate measures to avoid causing pollution or disturbance to the mitigation wetland to the southwest of the Site;
- (k) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (PlanD) that approval of the application does not imply approval of tree works, such as pruning, transplanting and felling. The applicant shall seek comments and approval for any proposed tree works from the relevant department prior to the commencement of the works;

- (l) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
- (i) it is noted that two structures are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
  - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
  - (iv) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
  - (v) if the proposed uses under application is subject to issue of license, the applicant should be reminded that any existing structures on the application site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority;
  - (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
  - (vii) detailed checking under the BO will be carried out at building plan submission stage;
- (m) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
- (i) no Food and Environmental Hygiene Department's (FEHD) facilities shall be affected;
  - (ii) proper licence/permit issued by FEHD is required if there is any food business/catering service/activities regulated by DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. Under the Food Business Regulation (FBR) (Cap. 132X), a food business licence is required for the operation of the relevant type of food business listed in the FBR (e.g. a restaurant, a refreshment kiosk etc.). The application for licence, if acceptable by FEHD, will be referred to relevant government departments such as BD, Fire Services Department and PlanD for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the

requirements;

- (iii) depending on the mode of operation, generally there are several types of food business licence/permits that the operator of a shop/store may apply for under the FBR:
- if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
  - if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained;
  - if fresh, chilled or frozen beef, mutton, pork, reptiles (including live snake), fish (including live fish) and poultry is sold, a fresh provision shop licence should be obtained; and
  - if milk, frozen confections, non-bottled drinks, cut fruit etc. are to be sold, relevant restricted food permits should be obtained;
- (iv) proper licence issued by FEHD is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public Entertainment (PPE) Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement ride and mechanical device which is designed for amusement, a PPE Licence (or Temporary PPE Licence) should be obtained from FEHD whatever the general public is admitted with or without payment; and
- (v) there should be no encroachment on the public place and no environmental nuisance should be generated to the surroundings. The proposed uses should not be a nuisance or be injurious or dangerous to health and surrounding environment. Also, the applicant shall properly handle any waste generated from the proposed uses on their own/at their own expenses;
- (n) to note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable or overhead line under the application should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
- (o) to note the comments of the Commissioner of Police that the proposed uses shall not cause traffic congestion or flooding.

城市規劃委員會：

我支持 A/YL-KTS/1088 申請，作為附近一帶居民，我極度擔心未來錦上路第二期發展項目將會拆卸近 600 個車位的轉乘停車場，我相信現時柏瓏發展項目的 600 個車位只可應付新住宅需求，不可以完全消化這些失去的車位供應。即使未來二期項目可能會有停車位，政府必須未雨綢繆，解決這段過渡期的停車問題，所以城規會應該批准這個臨時商店及停車場的申請，能夠彌補未來發展時可能能減少的車位。謝謝。

錦上路居民

鄧小姐謹啟

2025-08-14



城市規劃委員會：

2

錦上路站附近的柏瓏項目即將入伙，項目有1500個單位，但只提供189個住宅專用車位，因此需要跟公眾爭奪剩餘的公眾車位，要知道有不少附近鄉村的私家車會停泊在這裏作轉乘，這項停車場的申請位於錦上路站旁，能夠增加附近的車位數量，減少附近住宅爭奪車位的壓力。因此，我支持 A/YL-KTS/1088 申請。

錦上路居民

黎先生

二零二五年八月十五日



城市規劃委員會秘書：

我支持 A/YL-KTS/1088 申請，一直以來，錦田八鄉的居民，甚至遠在錦綉花園的居民，都使用錦上路站的停車場作泊車轉乘至市區，既方便又環保，未來北環線落成後錦上路站功能會加強。但是，錦上路二期的發展將無可避免會拆卸停車場，這樣會大大削弱錦上路站的便利性。因此，錦上路站附近需要更多好像這個申請般具規模的停車場，最好停車場能轉作長期永久用途，以長遠便利附近一帶的轉乘居民。

錦田村民

陳先生

二零二五年八月十六日



城市規劃委員會：

本人支持 A/YL-KTS/1088 的擬議臨時商店及服務行業、食肆及公眾停車場，政府一直鼓勵鄉郊居民泊車轉乘，為環保出力，但錦上路站停車場於平日經常近乎爆滿，錦上路站附近住宅入伙後，錦田或八鄉居民必定每天要為哪裏泊車感到煩惱。該停車場申請則可以提供額外選擇，居民不用擔心車位不足問題，故不需要再直接駕車出市區，對環境有正面影響，懇請城規會批准這項申請。

居民

鄧小姐

二零二五年八月十三日



城市规划委员会：

5

作为柏珑业主，我十分支持此 A/YL-KTS/1088 申请。商店停车场选址恰当，位于锦田人口最密集的范围，而且未来一带有很多私人和公营住宅，申请能缓解未来车位紧张及设施不足问题。

市民

邓小姐

2025/08/16



城市規劃委員會：

作為錦田居民我支持 A/YL-KTS/1088 申請，理由如下：

1. 根據規劃署 2014 年《錦田南及八鄉區土地用途檢討》，區內發展密度大幅提升，但交通配套和民生設施嚴重滯後；
2. 錦田八鄉人口增長明顯，已經達到近 6 萬名居民，鄉村車位需求大增。

A/YL-KTS/1088 臨時商店和停車場緊靠錦上路站，能即時改善柏瓏居民與鄰近村落爭用公共車位的困境，並提供更多設施供居民使用。

市民  
譚小姐謹啟

二零二五年八月十四日



城規會：

我支持 A/YL-KTS/1088 此臨時商店及服務行業、食肆及公眾停車場申請。該地塊面積超過 1,000 平方米，長期處於閑置狀態，並且已平整，具有發展潛力，應當善用資源解決停車和商業設施不足問題，一舉兩得。

市民  
李小姐  
2025/08/13



城市規劃委員會秘書：

政府不應犧牲鄉郊居民權益。八鄉多條村落欠缺班次頻密的公共交通接駁服務，村民依賴自駕轉乘。此停車場不僅服務柏瓏業主，更可惠及周邊逾二萬名村民，避免發展項目造成車位爭奪。城規會當以大局為重，平衡各方需要，我因此支持 A/YL-KTS/1088 臨時商店停車場項目。

錦田居民

吳太

2025/08/16



城規會秘書：

作為柏瓏業主，本人深知項目僅提供 189 個住宅車位，遠低於 1500 戶居民需求。我支持 A/YL-KTS/1088，因為停車場位於錦上路站旁，能紓緩柏瓏居民與周邊村落爭奪公眾車位的衝突。此外，北環線通車後將吸引更多附近居民轉乘，現有停車場早已不敷應用，此停車場計劃刻不容緩，懇請批准。

市民

陳先生謹啟

二零二五年八月十八日



城規會：

我十分支持 A/YL-KTS/1088 此臨時商店和停車場申請。柏瓏只提供 189 個住宅專用車位，項目僅得 0.12 車位/戶比例，遠低於香港規劃標準與準則標準泊車位的要求，可見泊車供應嚴重不足。另外，在錦上路二期發展導致 600 個轉乘車位永久消失的過渡期間，A/YL-KTS/1088 臨時商店和停車場的設置，將發揮關鍵的緩衝功能，有助維持地區停車供需平衡。

市民  
陳先生

2025-08-15



致城市規劃委員會：

對比同區其他閒置棕地多數雜草叢生，此 1,000 平方米用地已完成平整卻長期荒廢，實屬資源錯配。轉作臨時商店和停車場不僅解決民生需求，更可活用閒置土地，避免土地資源浪費。因此，我支持A/YL—KTS/1088。

市民

李小姐

2025/08/14



本人支持 A/YL-KTS/1088 規劃申請。依據規劃署 2014 年完成的錦田南及八鄉區土地用途檢討，該區已獲准提高發展密度與地積比，大量土地將用於房屋開發。在此發展背景下，增設停車位與商業配套實為政府無可推卸的責任，以確保交通配套與發展規模相匹配。若然政府暫未能增加公眾停車場和屋邨商業設施之時，應當批准私人臨時商店及停車場的申請。

居民

陳先生

2025—08—17



相較於市區完善的公共交通網絡，錦田鄉郊居民長期面臨『last miles 最後一哩路』的接駁困境。當前錦上路及錦田公路沿線公共交通網絡覆蓋率明顯不足，此一服務缺口直接導致大量鄉村居民被迫依賴私人車輛接駁至錦上路站轉乘港鐵。此種交通模式衍生出的轉乘停車需求，已造成站周邊日間車位一位難求的窘境，興建臨時停車場是最能即時見效的方案。本人全力支持 A/YL-KTS/1088 臨時商店及服務行業、食肆及公眾停車場計劃，該設施將有效擴充轉乘停車容量，為村民提供現有西鐵站停車場之外的替代選擇，實質改善『泊車轉乘』的便利性。

市民



二零二五年八月十五日

城市規劃委員會：

我支持 A/YL-KTS/1088 臨時公眾停車場申請。因為此停車場選址距港鐵站僅 200 米，可有效推動泊車轉乘，鼓勵錦田居民乘搭港鐵出入市區。

錦田居民

唐先生

2025/08/12



城市規劃委員會：

北環線通車後，錦上路站將成新界西北樞紐。同時，未來錦上路二期發展含商業設施，此臨時停車場及商店可同時服務增長的居民與商業設施未落成前的潛在商戶。因此，我支持 A/YL-KTS/1088 臨時商店及公眾停車場申請。

錦田居民

鄧先生

二零二五年八月十五日



城規會：

本人作為柏瓏業主，十分支持 A/YL-KTS/1088 停車場發展。柏瓏項目即將入伙，但車位嚴重不足，此停車場能夠緩解居民停車壓力，避免與其他錦田居民爭奪車位。謝謝。

市民

張先生

二零二五年八月十八日



城市規劃委員會秘書：

我支持 A/YL-KTS/1088 臨時公眾停車場申請。現時錦上路一帶附近的停車場，例如盈匯坊停車場及柏瓏的停車場位都不能夠滿足新入伙柏瓏的停車位需求，更何況未來錦上路站一帶會有大規模發展呢？因此，我認為城規會應該支持任何增加車位的發展項目。

居民

鄧先生

二零二五年八月十四日



城規會秘書：

這個停車場位於盈匯坊旁邊，現時盈匯坊是錦上路一帶唯一相對大型和集中的商業設施，亦能預見未來會有更多附近的居民使用該商業設施，因此將會增加附近停車位的需求，新的商店亦有助產生協同效應。因此，我支持這項 A/YL-KTS/1088 臨時商店及停車場申請，以滿足車位和商業及發展需要。

居民

鄧太

二零二五年八月十八日



城規會:

我支持A / Y L—K T S / 1 0 8 8這項臨時商店及停車場申請，因為它選址  
恰當，能夠服務到錦上路人口最集中的一帶，包括錦上路站附近的發展項目及  
錦田的村落，並且鄰近盈匯坊商場，希望城規會能夠通過之後申請，謝謝。

居民

陳先生

二零二五年八月十五日



城市規劃委員會秘書：

我支持A/YL-KTS/1088這項停車場的申請，因為該發展項目所位處的土地一直閑置，並且已經鋪上石屎，具有發展潛力，亦不會造成額外的環境破壞。

居民

鄧先生

2025/08/14



城市規劃委員會秘書：

未來政府即將要興建北環線，將會吸引更多北部都會區的居民前往錦上路一帶，亦會有更多錦田的居民把車輛泊在錦上路站附近作轉乘，因此，我支持 A/YL-KTS/1088 臨時商店及停車場的發展，能夠應付未來泊車轉乘的需求和增加區內活力。

居民

吳先生

二零二五年八月十七日



城規會秘書：

現時無論錦上路或錦田公路一帶的公共交通工具服務不足，導致到不少村民需要駕車停泊在錦上路站而轉乘港鐵，正正因為交通服務不足，導致到錦上路站附近日間車位供應緊張，因此我支持 A/YL-KTS/1088 臨時商店及公眾停車場申請，能夠給予村民西鐵站轉乘停車場外的第二個選擇，讓村民能夠安心泊車轉乘港鐵。



二零二五年八月十五日

城規會委員：

我支持 A/YL-KTS/1088 申請。現時錦上路站一帶發展迅速，但這大片土地閑置已久，十分浪費資源，亦不能滿足附近發展所需。我支持臨時商店及停車場申請，這項發展能夠善用閑置土地之餘，亦能夠服務附近居民或村民，解決交通問題，一舉多得。

居民

鄧太

2025-08-17



城規會秘書：

我支持 A/YL-KTS/1088 臨時商店及停車場申請。這片位於錦上路站附近的土地面積龐大，卻現時遭到閑置，並不能滿足附近居民的日常需要，更違背政府善用土地的原則，理應加以善用。該發展屬於臨時性質，又可以服務附近村民，並且短期的發展相信不會阻礙這片土地長期規劃的用途，例如興建房屋。

錦田居民



2025-08-17

致城市規劃委員會：

我支持 A/YL-KTS/1088，錦上路站附近泊車位不足，該停車場申請所處於的土地長期閑置，政府應該支持善用土地的發展方案，而且臨時性質亦不會影響土地長期的未來用途，因此城規會應予以支持。

市民

鄧先生

2025/08/16



城規會：

本人堅定支持 A/YL-KTS/1088 停車場發展計畫。錦上路周邊近年陸續有大型公私營項目落成，包括柏瓏住宅群及錦田南公營房屋，人口增長勢必帶動交通需求激增。增設停車位乃未雨綢繆之舉，能有效應對未來社區發展所需，懇請貴會予以通過。

居民

陳生

2025/08/17



致城規會委員：

柏瓏住宅群將為錦田南區域引進 1,500 夥(數千新住戶)，現有停車設施勢必不敷應用。 A / Y L—K T S / 1 0 8 8 停車場及時提供新增車位，實為平衡發展與民生需求的關鍵措施，本人深表支持敦請並加快審批程序。

錦田居民林女士

2025 年 8 月 13 日



城規會委員：

本人支持 A/YL-KTS/1088 停車場申請。北環線通車後，錦上路站將升級為新界西北重要轉乘樞紐，停車需求預計增長。另外，錦上路站項目導致人口急升，但沒有提供任何商業設施。因此，城規會應該優先批准此臨時商店及服務行業、食肆及公眾停車場，並同步研究永久停車設施，街市，商場可行性。

市民

連小姐

二零二五年八月十八日



城市規劃委員會秘書：

我支持A/YL-KTS/1088項目，該土地無論政府或私人至少多年內都無具體建屋計劃。與其閒置，不如作短期活化用作商店及停車場，為社區提供更大效益。

村民

陳生

2025/08/15



城市規劃委員會：

隨著柏瓏入伙，錦上路站停車需求將激增。我支持 A/YL-KTS/1088 此臨時停車場，以滿足居民和附近鄉村轉乘需求，避免交通混亂並達致分流。

市民

林先生

二零二五年八月十三日



城規會：

本人十分支持 A/YL-KTS/1088 停車場申請。未來落成的公屋項目和現時的過渡屋居民中，可預見有不少家庭依賴的士、貨 Van 等「搵食車」維生，但柏瓏私營停車場由於是私人買賣車位，月租定必高昂，使基層難以負擔。若果鄰近能提供棕地停車場，則能夠讓這些基層以較低廉價格泊車，降低營運成本。

居民

鄧太

二零二五年八月十八日



城規會：

作為柏瓏業主，眼見柏瓏停車位不足，錦上路站停車場亦長期爆滿，相信這只能使居民被迫違泊於錦河路。我支持A/Y L—K T S/1088善用土地，利用已平整土地作臨時停車場無需額外工程，成本效益極高。

居民

鄭生

二零二五年八月十六日



城市規劃委員會：

本人支持 A/YL-KTS/1088 擬議臨時商店及服務行業、食肆及公眾停車場申請。此臨時申請無抵觸長遠規劃，仍保留未來發展彈性，以配合未來新發展需要。另外，該地鄰近交通樞紐，擁有區位優勢。批准此停車場申請，正能活用土地資源。

市民

吳太

二零二五年八月十八日



城規會:

本人十分支持A/YL-KTS/1088停車場發展，因為錦上路一帶不斷有很多私人和公營新發展，例如：柏瓏，錦田南公營房屋發展，預計項目落成後將會帶來龐大的交通和商業需求，新建停車位和商店能夠滿足未來人口增長，謝謝。

居民

鄧先生

2025/08/12



本人來信就 A / Y L—K T S / 1 0 8 8 表達支持意見，現時錦上路站停車場有不少居住在錦田和八鄉的居民的車主，隨着一帶越來越多的發展，停車場早在日間時間已經經常爆滿，相信錦上路附近的住宅即將入伙，停車場位置不足問題亦會更嚴重，該申請將能夠紓緩車位不足問題，謝謝。

居民

二零二五年八月十五日



致城規會：

本人支持 A/YL-KTS/1088 擬議臨時公眾停車場的規劃申請，本人深切關注錦上路一帶即將面臨的車位短缺危機。未來錦上路站二期商場物業發展將涉及拆卸現有公共運輸交匯處、現有泊車轉乘設施及現有公共電單車停車位，這代表區內現有停車設施將大幅減少，對居民和商戶造成極大不便。因此，本人認為臨時停車場計劃是解決可預見區內停車問題的有效方案。

錦田居民

鄧先生謹啟

2025/08/15



城市規劃委員會：

本人十分支持 A/YL-KTS/1088 的擬議臨時停車場，隨住北環線即將上馬和錦上路住宅項目完工，可見港鐵應該會於數年內出售現時巴士總站和停車場所在的二期發展土地，這亦代表現時轉乘停車場會拆卸，對於一直使用停車場作轉乘的八鄉居民而言，可見未來一定需要爭奪車位！因此，停車場申請涉及 10 多個車位，能暫時彌補未來的車位流失。

八鄉居民

黃小姐

二零二五年八月十六日



城市規劃委員會：

本人特此來函支持 A/YL-KTS/1088 申請。規劃署於 2014 年進行了錦田南及八鄉區土地用途檢討，大大增加錦田一帶的發展密度和地積比，預留大量土地作房屋發展。有見及此，政府有責任增加車位和預留空間給商業活動，迎合發展及交通需要。因此，本人認為規劃署應該支持這個申請，迎合錦田一帶未來的居民需求，亦避免增加的車輛對附近造成負面影響。

市民

羅先生謹啟

2025-08-17



城規會：

我十分支持 A/YL-KTS/1088 臨時公眾停車場和商店項目，此申請不僅解決當前交通問題，更是為『北部都會區』發展鋪路。隨著北環線通車，錦上路站將轉型為新界西北交通樞紐，停車需求只會持續增長。此時增設停車位，是部署未來區域交通韌性的明智之舉，亦避免重蹈『規劃趕不上發展』的覆轍。

市民黃先生

二零二五年八月十四日



城規會：

北環線的通車將徹底改變錦上路站的區域定位，使其成為新界西北的交通核心。再配合錦上路二期商業發展規劃，區域人流與車流預計將呈現倍數增長。面對即將到來的發展機遇，配套設施必須提早規劃。此臨時停車場不僅能滿足現有居民的停車需求，更能預先因應未來商業活動所衍生的停車需求，對促進地方經濟發展具有多重效益，能確保發展過程中不產生交通影響。因此，我支持 A/YL-KTS/1088 臨時商店及公眾停車場計劃。

鄧先生

二零二五年八月十八日



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**From:**  
**Sent:** 2025-08-21 星期四 12:59:16  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-KTS/1088 DD 109 Kam Tin

A/YL-KTS/1088

Lots 347 S.B (Part), 347 S.D (Part) and 348 (Part) in D.D. 109, Kam Tin

Site area: About 1,210sq.m

Zoning: "Res (Group C)"

Applied use: Shop and Services / Eating Place / 12 Public Vehicle Park / **5 years**

Dear TPB Members,

The dodgy Vehicle Park 1068 application withdrawn. Back with the usual split the site into smaller bites.

Again the question is that the location is not close to residences so Eating Place in particular is questionable.

**Strong Objections to an approval for 5 years when hygiene is an issue.**

Mary Mulvihill

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**From:**  
**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Date:** Friday, 9 May 2025 3:10 AM HKT  
**Subject:** A/YL-KTS/1068 DD 109 Kam Tin

A/YL-KTS/1068

Lots 346, 347 S.B (Part), 347 S.C, 347 S.D, 347 S.E, 347 S.F, 347 RP (Part) and 348 (Part) in D.D. 109, Kam Tin

Site area: About 3,595sq.m

Zoning: "Res (Group C)"

Applied use: 70 Public Vehicle Park / **5 years**

Dear TPB Members,

There are not very many residences close to the site and approval has already been given for a 30 vehicle parking facility on the adjacent site, Application 972.

Why are residential compounds being developed with insufficient parking facilities? At grade parking takes up an inappropriate amount of land. No mention of stacked facilities in order to reduce footprint.

No mention of any provision of recharging service, which should be mandatory for any new parking lot.

Mary Mulvihill

**tpbpd/PLAND**

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寄件者: [REDACTED]  
寄件日期: 2025年10月11日星期六 22:56  
收件者: tpbpd/PLAND  
主旨: Comment in Support of Planning Application No. A/YL-KTS/1088  
類別: Internet Email

Dear sir/madam

I am writing to express my strong support for the planning application.

Application Details

Application No.: A/YL-KTS/1088

I believe the proposed temporary development offers significant benefits to the local community and surrounding areas.

In view of the increasing number of residents of the large residential estate nearby, the Grand Mayfair, there is a strong need to shops, restaurants, daily services, and car parking spaces, especially because there is not much of restaurants, shops and affordable parking area nearby to meet the daily needs of the residents.

Given the application is for a temporary period of five years, it allows for the beneficial use of the site while maintaining flexibility for any future permanent planning strategies when more and more housing estates in the regions are finished.

I urge the Town Planning Board to approve this application as it represents a positive and practical use of the land that will serve the public interest.

Thank you for considering my comments.

Sincerely,  
Godfrey Ho