

2502101
2025年10月15日
此文件在 2025年10月15日 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on 15 OCT 2025
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2502/01

12/9

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-LFs/577
	Date Received 收到日期	15 OCT 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.info.gov.hk/tpb/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Wong Yin Tai (黃然泰)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Metro Planning & Development Company Limited (都市規劃及發展顧問有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 880 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 Nil sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有) Nil sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11
(c) Land use zone(s) involved 涉及的土地用途地帶	'Residential (Group E)' ("R(E)")
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- posted notice in a prominent position on or near application site/premises on
13/8/2025 to 27/8/2025 (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知[&]
- sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 11/9/2025 (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- others (please specify)
其他 (請指明)

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段 (倘適用) 及處所 (倘有) 分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B)) (如屬位於鄉郊地區臨時用途/發展的規劃許可續期, 請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	880sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	NAsq.m <input type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	NA
Proposed domestic floor area 擬議住用樓面面積	NAsq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	NAsq.m <input type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	NAsq.m <input type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足, 請另頁說明) NA	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	Nil
Motorcycle Parking Spaces 電單車車位	Nil
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	Nil
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	Nil
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	Nil
Others (Please Specify) 其他 (請列明)	Nil
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	Nil
Coach Spaces 旅遊巴車位	Nil
Light Goods Vehicle Spaces 輕型貨車車位	1 space of 7m x 3.5m
Medium Goods Vehicle Spaces 中型貨車車位	Nil
Heavy Goods Vehicle Spaces 重型貨車車位	Nil
Others (Please Specify) 其他 (請列明)	NA

Proposed operating hours 擬議營運時間 9:00a.m. to 7:00p.m. from Mondays to Saturdays. No operation on Sundays and public holidays																															
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	<p>Yes 是 <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Vehicular access leading from Lau Fau Shan Roundabout</p> <p>No 否 <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)</p>																														
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁表示可盡量減少可能出現不良影響的措施, 否則請提供理據/理由。)																															
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas 位於鄉郊地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 <input type="checkbox"/> month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。


- 1. The proposed development is an open storage yard It is intended to store construction machinery such as electric generators and building materials such as tiles and sanitary wares which is small in nature.
- 2. The scale of the development is not significant. Similar uses have been approved in the same "R(E)" zone.
- 3. The proposed development does not involve fallen of trees.
- 4. The proposed development is a temporary use for a period of 3 years which would not jeopardize the long term planning intention of the current zoning.
- 5. The proposed development is not incompatible with the surrounding environment including open storage yards and warehouses.
- 6. Warehouse nearby such as A/YL-LFS/546 at adjoining lots was granted with planning permission. Similar preferential treatment should be granted to the current application.
- 7. The proposed development would not be operated during sensitive hours (i.e. from 7:00p.m. to 9:00a.m.) next morning.
- 8. Minimal traffic impact.
- 9. No workshop activities will be carried out at the application site at all times.
- 10. Insignificant environmental and noise impacts because the proposed development is an inert use.
- 11. Insignificant drainage impact as proven in the submitted drainage proposal.
- 12. The application site is zoned 'Category 2' areas according to the Town Planning Board Guidelines PG-No. 13G.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署


.....
Patrick Tsui



Applicant 申請人 / Authorised Agent 獲授權代理人

Name in Block Letters
姓名 (請以正楷填寫)

.....
Consultant
Position (if applicable)
職位 (如適用)

Professional Qualification(s) 專業資格
 Member 會員 / Fellow of 資深會員
 HKIP 香港規劃師學會 / HKIA 香港建築師學會 /
 HKIS 香港測量師學會 / HKIE 香港工程師學會 /
 HKILA 香港園境師學會 / HKIUD 香港城市設計學會
 RPP 註冊專業規劃師
 Others 其他

on behalf of 代表 Metro Planning & Development Company Limited (都市規劃及發展顧問有限公司)

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期 12/9/2025 (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.
任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
 (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
 (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and deposited at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及存放於規劃署規劃資料查詢處以供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.
Site area 地盤面積	880 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 Nil sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Lau Fau Shan & Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11
Zoning 地帶	'Residential (Group E)' ('R(E)')
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	NA	
	Non-domestic 非住用	NA	
(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	NA	m 米 <input type="checkbox"/> (Not more than 不多於)
		NA	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	NA	m 米 <input type="checkbox"/> (Not more than 不多於)
		NA	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積	NA % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		0
	Private Car Parking Spaces 私家車車位		0
Motorcycle Parking Spaces 電單車車位		0	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位		0	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位		0	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		0	
Others (Please Specify) 其他 (請列明)			
NA			

Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數		1	
Taxi Spaces 的士車位		0	
Coach Spaces 旅遊巴車位		0	
Light Goods Vehicle Spaces 輕型貨車車位		1	
Medium Goods Vehicle Spaces 中型貨車位		0	
Heavy Goods Vehicle Spaces 重型貨車車位		0	
Others (Please Specify) 其他 (請列明)			
NA			

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Proposed drainage plan, site plan, location plan and discharge path plan</u>		
<u>Catchment plan</u>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Drainage proposal and estimated traffic generation</u>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years
at
Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Annex 1 Drainage Assessment

A. Site particulars

- 1.1.1 The site possesses an area of about 880m². The surface of the site has been hard paved.
- 1.1.2 The application site will be occupied by an open storage of construction machinery such as electric generators and construction materials such as tiles and sanitary wares.

B. Level and gradient of the subject site & proposed surface channel

- 1.1.3 The subject site has been hard paved and occupied an area of approximately 880m². It has a gradient sloping from southwest to northeast from about +26.5mPD to +25.2mPD.
- 1.1.4 In order to follow the topography of the application site, the proposed surface channel will be constructed following the gradient of the site. As demonstrated in the calculation in **Annex 1.3** hereunder, 525mm surface U-channel will be capable to drain surface runoff accrued at the subject site and the same passing through the site from adjacent area.

C. Catchment area of the proposed drainage provision at the subject site

- 1.1.5 With regard to the location of the existing drain and the topography surrounding the application site, the land to the southeast of the site is found higher than the application site. The land to the north and west of the site is found lower than the application site. (**Figure 4**)
- 1.1.6 As such, an external catchment is identified has been identified in **Figure 5**.

D. Particulars of the existing drainage facilities to accept the surface runoff collected at the application site

- 1.1.7 There is an existing 600mm surface channel surrounding the adjoining site to the immediate north of the application site. The ultimate discharge point is Deep Bay via the public drain connecting to the said 600mm surface channel.

1.2 Runoff Estimation & Proposed Drainage Facilities

A. Proposed drainage facilities

- 1.2.1 Subject to the calculations below, it is determined that 525mm surface channel which is made of concrete along the site periphery is adequate to intercept storm water passing through and generated at the application site (**Figure 4**).
- 1.2.2 The collected surface runoff will be conveyed to existing 600mm surface channel to the immediate north of the site. (**Figure 4**) The existing 600mm surface channel is capable to convey additional stormwater generated by the application site and its external catchment because the application site and its external catchment falls coincide with the external catchment of the adjoining site with planning permissions (No. A/YL-LFS/521 & 563) as shown in the discharge path plan.
- 1.2.3 All the proposed drainage facilities will be provided and maintained at the applicant's own expense. Also, sand trap and surface channel will be cleaned at regular interval to avoid the accumulation of rubbish/debris which would affect the dissipation of storm water.
- 1.2.4 The provision of the proposed surface U-channel will follow the gradient of the application site. All the proposed drainage facilities will be constructed and maintained at the expense of the applicant.
- 1.2.5 All proposed works at the site periphery would not obstruct the flow of surface runoff from the adjacent areas, the provision of surface channel at site boundary is detailed hereunder:
- (a) Soil excavation at site periphery, although at minimal scale, is inevitably for the provision of surface channel. In the reason that the accumulation of excavated soil at the site periphery would obstruct the free flow of the surface runoff from the surroundings, the soil will be cleared at the soonest possible after the completion of the excavation process.
 - (b) In view of that soil excavation may be continued for several working days, surface U-channel will be dug in short sections and all soil excavated will be cleared before the excavation of another short section.
 - (c) No leveling work will be carried at the site periphery. The level of the site periphery will be maintained during and after the works. As such, the works at the site periphery would not either alter or obstructed the flow of surface runoff from adjacent areas.
 - (d) 100mm openings will be provided at the toe of hoarding so as to allow unobstructed flow of surface runoff from adjacent area.

Annex 1.3 Drainage Calculation for the Proposed Provision of Drainage Facilities at Subject Site

1. Runoff Estimation

1.1 Rational method is adopted for estimating the designed run-off

$$Q = k \times i \times A / 3,600$$

Assuming that:

- i. The area of the entire catchment is approximately 11,000m²; (**Figure 4**)
- ii. The catchment is predominant unpaved, it is assumed that the value of run-off co-efficient (k) is taken as 0.8.

$$\text{Difference in Land Datum} = 38.6\text{m} - 25.2\text{m} = 13.4\text{m}$$

$$L = 152\text{m}$$

$$\therefore \text{Average fall} = 13.4\text{m in } 152\text{m} \text{ or } 1\text{m in } 11.34\text{m}$$

According to the Brandsby-Williams Equation adopted from the “Stormwater Drainage Manual – Planning, Design and Management” published by the Drainage Services Department (DSD),

$$\text{Time of Concentration } (t_c) = 0.14465 [L / (H^{0.2} \times A^{0.1})]$$

$$t_c = 0.14465 [152 / (8.82^{0.2} \times 11,000^{0.1})]$$

$$t_c = 5.61 \text{ minutes}$$

With reference to the Intensity-Duration-Frequency Curves provided in the abovementioned manual, the mean rainfall intensity (i) for 1 in 50 recurrent flooding period is found to be 265 mm/hr

$$\text{By Rational Method, } Q = 0.8 \times 265 \times 11,000 / 3,600$$

$$\therefore Q = 647.78 \text{ l/s} = 38,866.67 \text{ l/min}$$

In accordance with the Chart or the Rapid Design of Channels in “Geotechnical Manual for Slopes”, for an approximate gradient of about 1:50 & 1:55 along the site periphery of the site, 525mm surface U-channel is considered adequate to dissipate all the stormwater accrued by the application site and the adjacent land.

Annex 2 Estimated Traffic Generation

- 2.1 The ingress/egress of the application site is abutting a local vehicular track leading to Lau Fau Shan Roundabout. **(Figure 2)**
- 2.2 Only 5.5 tonnes light goods vehicle is required to deliver construction machinery and construction materials such as electric generators, tiles and sanitary wares to and from the application site.
- 2.3 The average and peak trip rates generated from and attracted to the site are shown below.

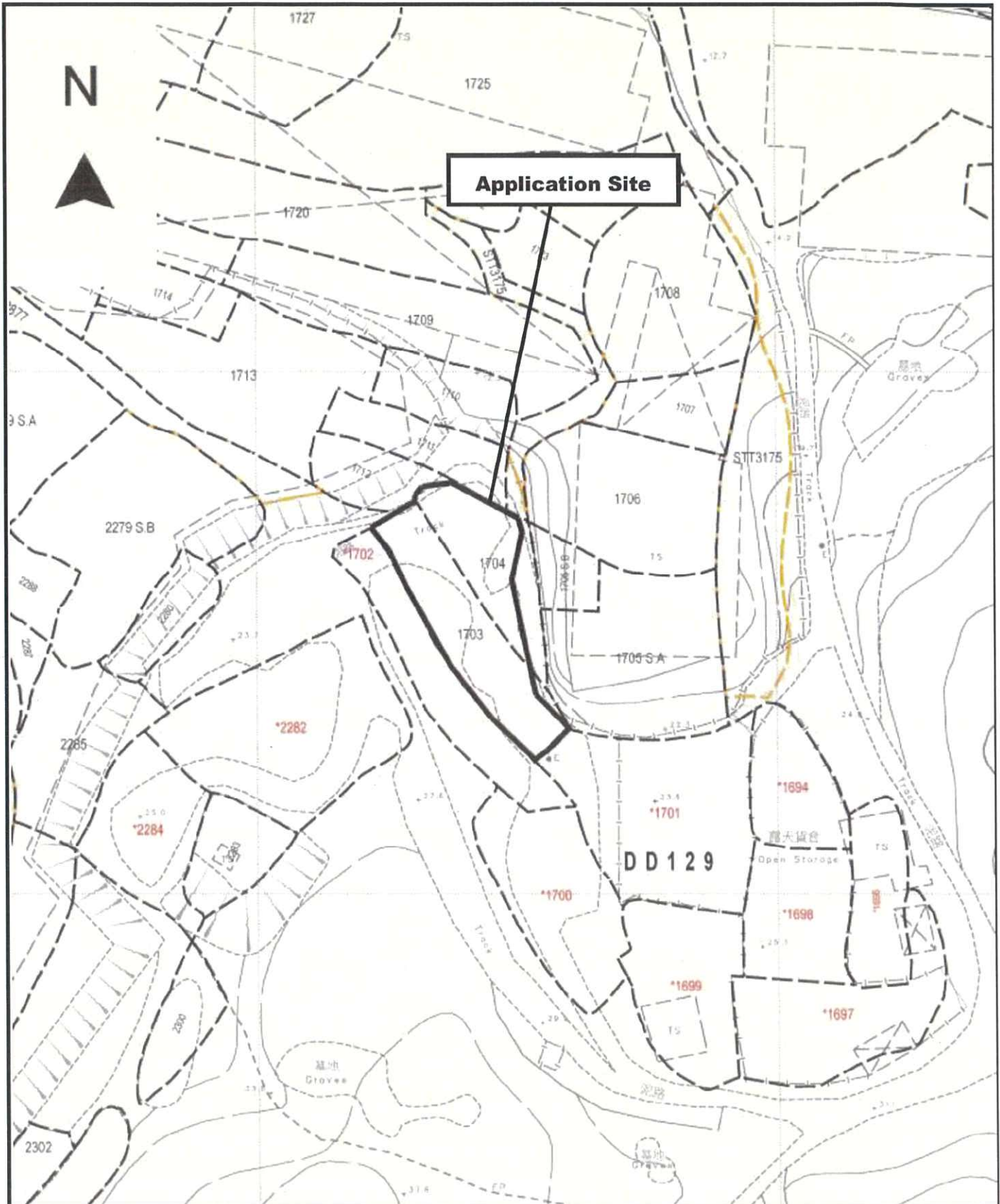
Type of vehicle	Average Traffic Generation Rate (pcu/hr)	Average Traffic Attraction Rate (pcu/hr)	Traffic Generation Rate at Peak Hours (pcu/hr)	Traffic Attraction Rate at Peak Hours (pcu/hr)
Light goods vehicle	0.15	0.15	0	0

Note 1: The opening hour of the proposed development is restricted to 9:00 a.m. to 7:00 p.m. from Mondays to Saturdays. No operation will be held on Sundays and public holidays.

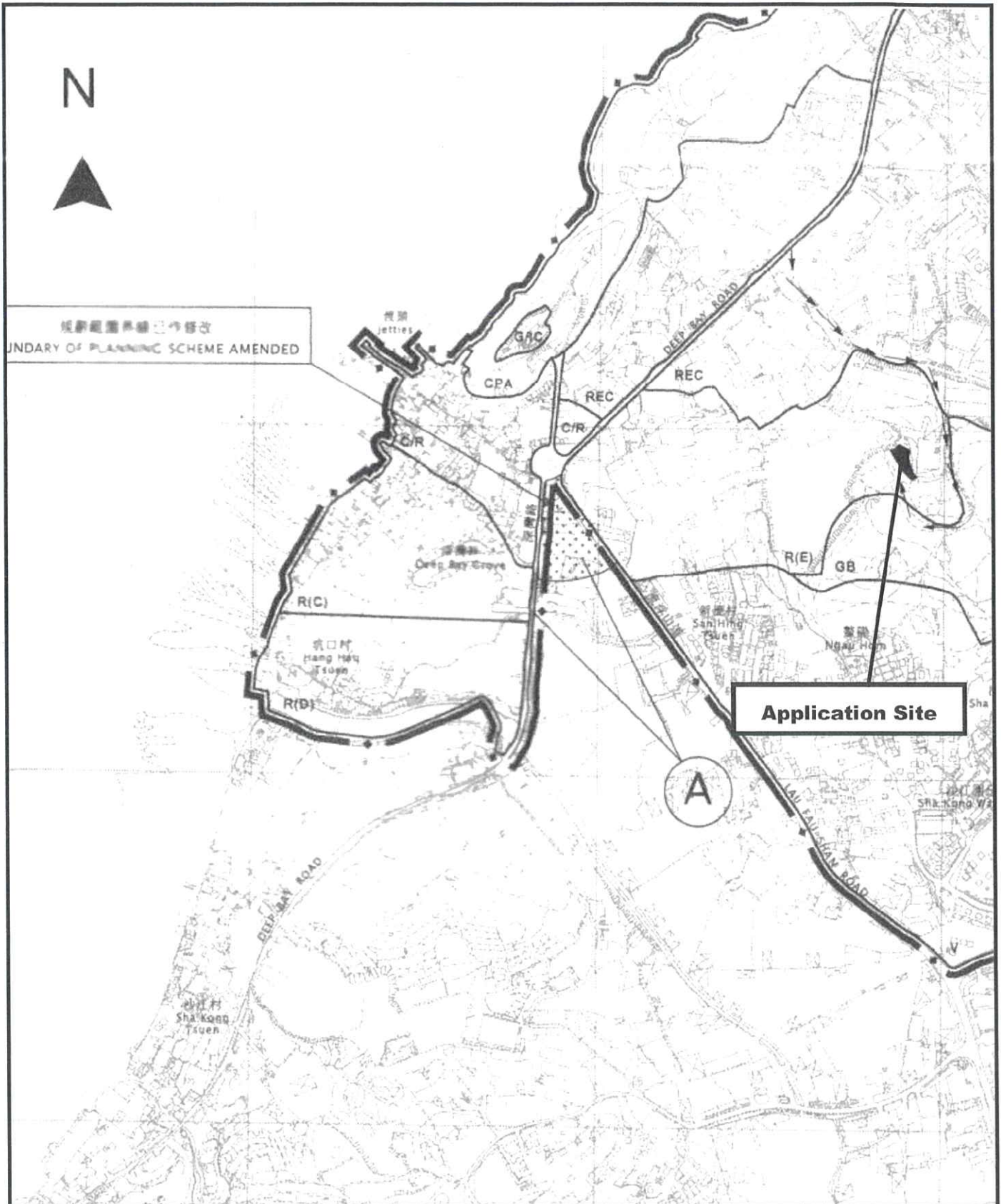
Note 2: The pcu of light goods vehicle is taken as 1.5; and

Note 3: Morning peak is defined as 7:00a.m. to 9:00a.m. whereas afternoon peak is defined as 5:00p.m. to 7:00p.m.

- 2.4 In association with the proposed use, adequate space for manoeuvring and loading/unloading are available within the application site. By virtue of the fact that the application site is directly linked with Yuen Long Highway via Lau Fau Shan Road and the traffic generated by the proposed development is insignificant, the proposed development being applied would not aggravate the traffic condition in the area. Adjacent open storage yard has also been approved by Town Planning Board recently such as A/YL-LFS/546.



<p>Project 項目名稱: Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.</p>	<p>Drawing Title 圖目: Application Site</p> <p>Drawing No. 圖號: Figure 1</p>	<p>Remarks 備註:</p> <p>Scale 比例: 1:1000</p>
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Project 項目名稱:

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Location Plan

Drawing No. 圖號:

Figure 2

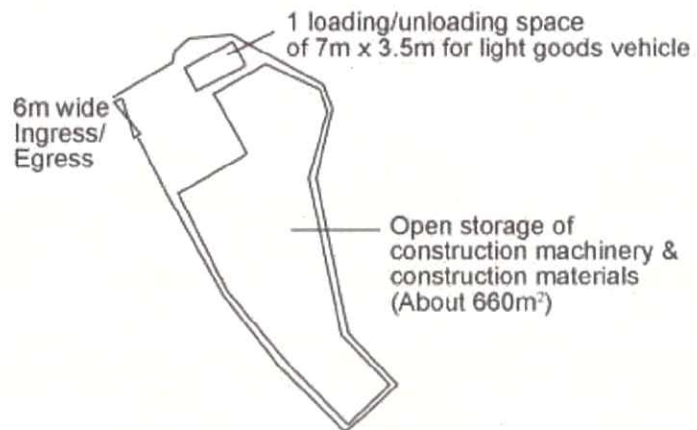
Remarks 備註:

→ Vehicular access leading from Deep Bay Road

Scale 比例:

1:7500

N



Project 項目名稱:

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖名:

Proposed Layout Plan

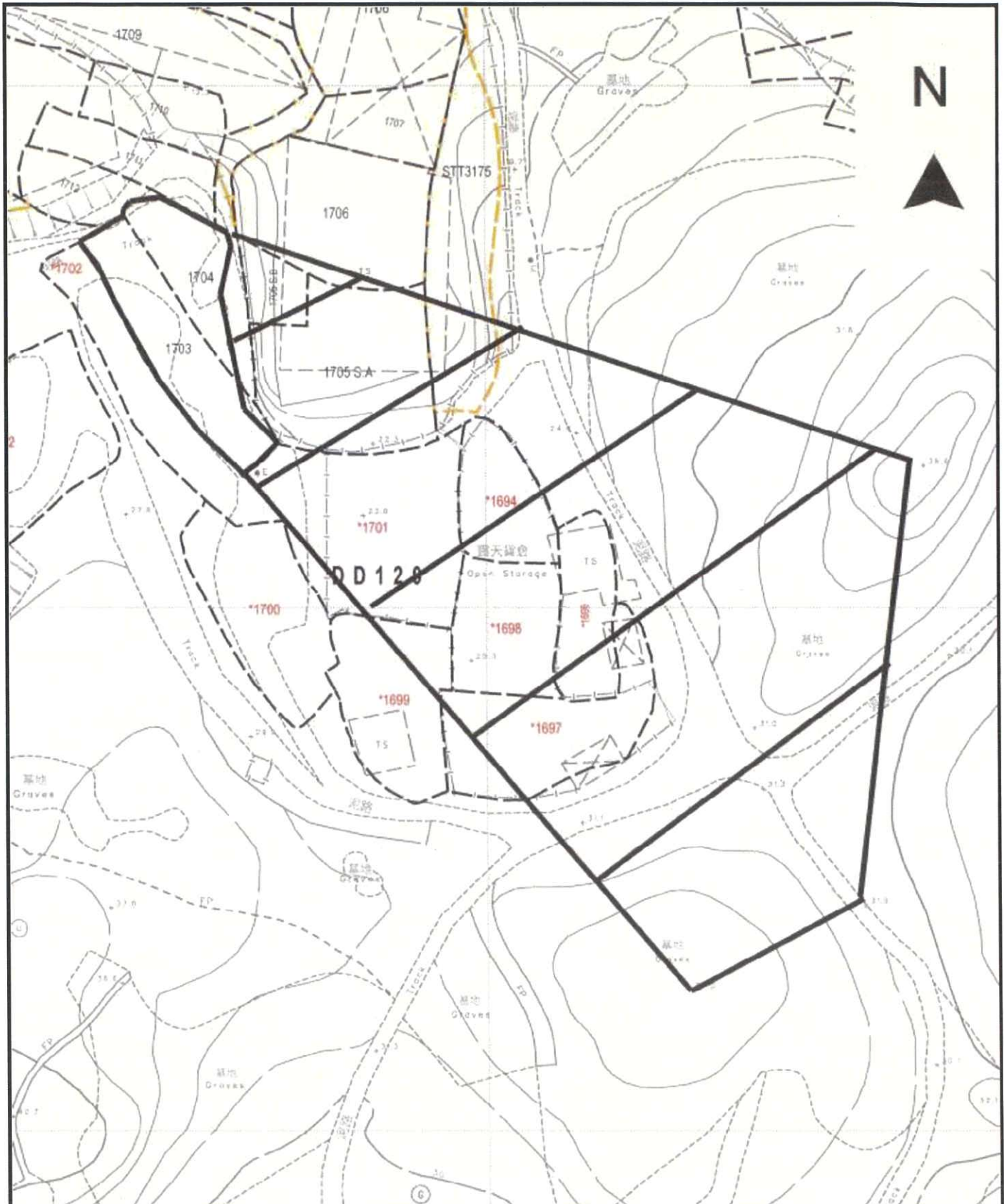
Remarks 備註:

Drawing No. 圖號:

Figure 3

Scale 比例:

1:1000



Project 項目名稱:

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Catchment Plan

Drawing No. 圖號:

Figure 5

Remarks 備註:

 Application site

 External catchment

Scale 比例:

1:1000



DETAIL 'A'
1:100 (A3)

Application site

AYL-LFS/563

AYL-LFS/521

150mm DIAMETER PIPE UNDER
SITE ENTRANCE

160mm DIAMETER PIPE UNDER
ENTRANCE TO ADJACENT SITE

LEGEND

- SITE BOUNDARY
- NEWLY INCLUDED AREA
- 50' TRACK
- OPEN RECTANGULAR CHANNEL AND LAUNCH
- CATCHMENT AND TRAP
- PROPOSED RECTANGULAR OPEN CHANNEL (WIDTH x DEPTH)

NOTE: LEVELS AND DIMENSIONS INDICATIVE ONLY

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	REWORK AS CLOSED	CM	137	
2	REWORK SITE BOUNDARY & NEW WHELLED AREA AROUND	CM	24	
3	TEMPERATURE AND INSTALLATION	CM	24	
4	STATION TYPES USED	CM	24	
5	75mm DIA CHANNEL UNDER SITE ENTRANCE AND DRAINAGE CHANNEL UNDER LAU FAU SHAN ROAD	CM	24	
6	ADDED DRAINAGE AND WELLED	CM	24	
7	PIPE SIZE CHANGED	CM	24	
8	50' BOUNDARY & PIPE SIZE CHANGED	CM	24	
9	FACT ISSUE	CM	24	
10	REWORK	CM	24	

PROPOSED OPEN STORAGE OF CONTAINERS & ANCILLARY USES ON D/D 129 VARIOUS LOTS LAU FAU SHAN, YUEN LONG, N.T.

PROPOSED DRAINAGE ARRANGEMENT

DATE: 11/11/11

SCALE: 1:200 (A3)

PROJECT: 11/11/11

CLIENT: C. M. CONSULTING

DESIGNER: AG_2

CHECKER: S. L. H.

Figure 6

Total: 57 pages

Appendix Ia of RNTPC Paper
No. A/YL-LFS/577B

Date: 23 December 2025

TPB Ref.: A/YL-LFS/577

By Email

Town Planning Board
15/F, North Point Government Offices
333, Java Road
North Point
Hong Kong
(Attn: The Secretary)

Dear Sir,

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

We are glad to submit the attached GPRR for the consideration of the CEDD.

Should you have any enquiries, please feel free to contact our Mr. Patrick Tsui at [REDACTED] at your convenience.

Yours faithfully,



Patrick Tsui

c.c. Tuen Mun and Yuen Long West District Planning Office (Attn: Ms. Christina LEE) – By Email

Total: 70 pages

Date: 5 March 2026

TPB Ref.: A/YL-LFS/577

By Email

Town Planning Board
15/F, North Point Government Offices
333, Java Road
North Point
Hong Kong
(Attn: The Secretary)

Dear Sir,

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

We are glad to submit the attached GPRR for the consideration of the CEDD.

Should you have any enquiries, please feel free to contact our [REDACTED] at your convenience.

Yours faithfully,



Patrick Tsui

c.c. Tuen Mun and Yuen Long West District Planning Office (Attn: Ms. Christina LEE) – By Email

Below is the response to the comments from GEO in their email dated 22 Jan 2026.

Description	Response
<p>1. Referring to Section 2 of the GPRR, a 15m long sheet pile wall on plan was found at the crest of Feature No. 2SW-C/C112 adjacent to the application site. The applicant should provide an accurate survey plan to show the existing nature of the site and the surrounds (including the existing slope, sheet pile wall, water mains, drains and other services). The approximate extent of the survey plan is shown on the attached Plan A.</p>	<p>The survey was carried out accordingly, the results are shown in Figure 3 of the Report.</p>
<p>2. It is noted from Section B-B in Figure 5 of the GPRR that the sheet pile wall is supporting a newly formed platform located within the application site (see attached Plan B). The type of filling materials and extent of the newly formed platform should be investigated. The stability of the slope, sheet pile wall and the newly formed platform should be assessed and proposed rectification works should be provided, if found necessary.</p>	<p>As shown in Figure 3, only a short length of the sheetpile (i.e. 0.866m compared to the overall length of 16.8m) has entered into the Application Site. The boundary of the Application Site has then shifted back for a distance of 6.8m from the sheetpiles, which is beyond any newly platform formed and the crest zone recommended in GEO Technical Guidance Note No. 15 (TGN 15). In addition, drainage has been provided to avoid causing surface erosion to the slope.</p>

GEOTECHNICAL PLANNING REVIEW REPORT (GPRR)

FOR

**TEMPORARY OPEN STORAGE OF CONSTRUCTION
MATERIALS FOR A PERIOD OF 3 YEARS**

AT

**LOT NO. 1703 (PART) & 1704 (PART) IN D.D. 129,
LAU FAU SHAN, YUEN LONG, N.T.**

Feb 2026

CONTENTS

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FIGURES

Figure 1 Location Plan

Figure 2 Layout Plan

Figure 3 Topographical Survey Plan

Figure 4 Existing Plan

Figure 5 Sections

Figure 6 Photo Plan

Figure 7 Hong Kong Geological Map Sheet No. 2

PLATES

Photo V1 – General view of the site (western side)

Photo V2 – General view of the site (the north side)

Photo V3 – General view of Feature 2SW-C/C120

Photo V4 – General view of the site

Photo V5 – Landslide scar

Photo V6 – Landslide scar

Photo V7 – General view of the site

Photo V8 – General view of the site

Photo V9 – General view of the site

Photo V10 – General view of the site (the north side)

Photo V11 – General view of the Feature 2SW-C/C115

Photo V12 – General view of the Feature 2SW-C/C115

APPENDICES

Appendix A - SIS for Registered Features in the Vicinity of the Site

Appendix B - SIMAR for Registered Features in the Vicinity of the Site

Appendix C - Incident Record for Registered Features in the Vicinity of the Site

Appendix D - Drainage Design

1. INTRODUCTION

It is proposed to apply the site to be the temporary open storage of construction materials for a period of 3 years at Lot Nos. 1703 (Part) and 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T., under section 16 of the Town Planning Ordinance (Application No. A/YL-LFS/577). This report presents a Geotechnical Planning Review Report (GPRR) of the site to support the planning application.

2. SITE DESCRIPTION

The subject site is located at Lot Nos. 1703 (Part) and 1704 (Part) in D.D. 129. A site location plan and site layout plan are shown in Figure 1 and Figure 2, respectively. The site is about rectangular shape on plan and has an area of approximately 830m², and the site is an open space.

A topographical survey was carried out (see Figure 3). Details of existing adjacent features are described as below.

There are 3 registered features in the vicinity of the proposed development. The locations of the features are shown in Figure 4. Slope Information System (SIS) reports, and Slope Maintenance Responsibility Information System (SIMAR) reports indicating the location of the features and their maintenance responsibility are attached in Appendix A and B. A landslide occurred at around 13m near the site area.

Maintenance Responsibility of features in the vicinity of the proposed development:

Feature No.	Sub-division No.	Maintenance Responsibility
2SW-C/C 112	1	D.D.129 Lot 1710
	2	D.D.129 Lot 1711
	3	D.D.129 Lot 1712
	4	Lands Department
	5	D.D.129 Lot 2279 S.B
	6	D.D.129 Lot 2280
	7	D.D.129 Lot 2285
	8	D.D.129 Lot 2296
	9	D.D.129 Lot 2284
2SW-C/C 115	1	D.D.129 Lot 1710
	2	D.D.129 Lot 1711
	3	Lands Department
	4	D.D.129 Lot 1706
	5	D.D.129 Lot 1705 S.B
	6	D.D.129 Lot 1705 S.A
	7	D.D.129 Lot 1701
	8	D.D.129 Lot 1703
	9	D.D.129 Lot 1704
2SW-C/C 120	1	D.D.129 Lot 1702

Description of the features is as follows:

Feature No. 2SW-C/C112

The feature is located at the north-west boundary of the site. It is a vegetated slope with a maximum height of 7.5 m in the vicinity of the application Site, and the average slope angle is 41°. The feature length is 155 m. A 16.8 m long sheet pile wall on plan was found at the crest of Feature 2SW-C/C112 adjacent to the Application Site with a retaining height of about 2.2m. Photos V2 and V10 show the location of the sheet pile.

Feature No. 2SW-C/C115

This is a U-shaped feature located at the eastern boundary of the site. It consists of a vegetated slope with a maximum height of 7 m and has a face angle of about 60°. This feature is about 160m long.

Feature No. 2SW-C/C120

The feature is located at the southern-west side boundary of the site. The feature is a slope with a maximum 3 m high and the slope angle is about 55°. The slope is dipping from west to east, and the length of the slope is about 55 m. During the site inspection carried out on 10 December 2025, 24 nos. of 1.0m x 1.0m x 1.0m concrete blocks have been placed along the northern part of the slope toe; the photo is shown in Photo V3.

3. DESK STUDY

3.1 Site Geology

With reference to the 1:20,000 geological map published by the Geotechnical Control Office, Hong Kong Geological Survey Sheet No. 2, the site is located within the area of megacrystic fine-medium-grained granite (gfm), which is in line with the site observation. It is reasonably expected that the subsurface geology comprises a stratum of CDG. An extract from the geological survey sheet is shown in Figure 7.

Feature 2SW-C/C112 was studied under S2R069/2018 in 2018. The study recommended the installation of drainage only; no action was required for the portion closest to our site. A landslide incident was recorded in Ginfo on 13 August 2025 at sub-division 4 & 6 of the feature. The location of the landslide scars is marked in the existing plan in Figure 4 and the incident records are shown in Appendix C.

3.2 Past Ground Investigation and Relevant Geotechnical Record in GIU

Based on the information search in the Geotechnical Information Unit (GIU) carried out on 19 December 2025 at the Civil Engineering & Development Department (CEDD), it revealed that there is no ground investigation and no relevant geotechnical record or report could be found in the vicinity of the site.

3.3 Groundwater

No piezometer or standpipe monitoring record could be found in the vicinity of the site.

4. GEOTECHNICAL CONSIDERATIONS

4.1 Gradient across the Site

The site is located on a level platform at around +21.5mPD with little level difference to be proposed as a temporary open storage area for the construction materials at Lau Fau Shan, Yuen Long.

4.2 Existing Geotechnical Features

Based on the GEO Technical Guidance Note No. 15 (TGN 15) - Guideline for Classification of Consequence-to-Life Category for Slope Features, the slope stability would not affect the proposed development when the facilities are not located within the crest and toe influence zone. The estimated crest influence zone of the feature is 0.4 times the slope height. And for the toe influence zone, the estimation is referred to Figure 1 of TGN 15, and the travel angle for the travel distance of landslide debris is estimated from paragraph 5.2.2 of TGN 15. The area of influence zone would be shown in the Existing Plan in Figure 4. The Sections are shown in Figure 5. Photos of the application Site are shown Photos V1 to V12 and Figure 6 shows the locations where the photos were taken.

Feature No. 2SW-C/C112

The feature is located at the northwestern side outside the site, the application site is located at the crest of this feature, and no works will be carried out within the crest influence zone of the feature. Although a landslip occurred on 13 August 2025, the location of the landslip is at a sufficient distance from the site location. No other signs of distress or instability were found at the portion adjacent to the site during site reconnaissance; it was concluded that the proposed development is geotechnical feasible provided that the boundary of the application site adjacent to the feature is set back 4m to avoid the crest influence zone.

The feature's maximum height is 7.5m, and the crest influence zone of the feature is estimated as 3m away from the slope crest.

Feature No. 2SW-C/C115

This is a U-shaped feature which located adjacent to the eastern boundary of the site. Since the proposed development is a temporary open storage area for construction materials without any structure or building constructed on site, and no foundation works, site formation works, building works, or excavation works will be carried out. Hence, the proposed development is considered to be feasible from a geotechnical point of view.

The cut slope height of the feature is 7.0m. According to Paragraph 5.3.1 in TGN 15, the estimated crest influence zone is not larger than 0.4 times the slope height. It is therefore, the crest influence zone is about 3.0m away from the existing slope crest.

Feature No. 2SW-C/C120

The feature could not be found at the location marked on the plan. However, a retaining wall can be found at around 6m west of the supposed location of the feature. This retaining wall is composed of a maximum of 2 mass concrete blocks and is around 2.5m high. The estimated toe influence zone of said structure is estimated at around 1m and will not cause a stability threat to the application site.

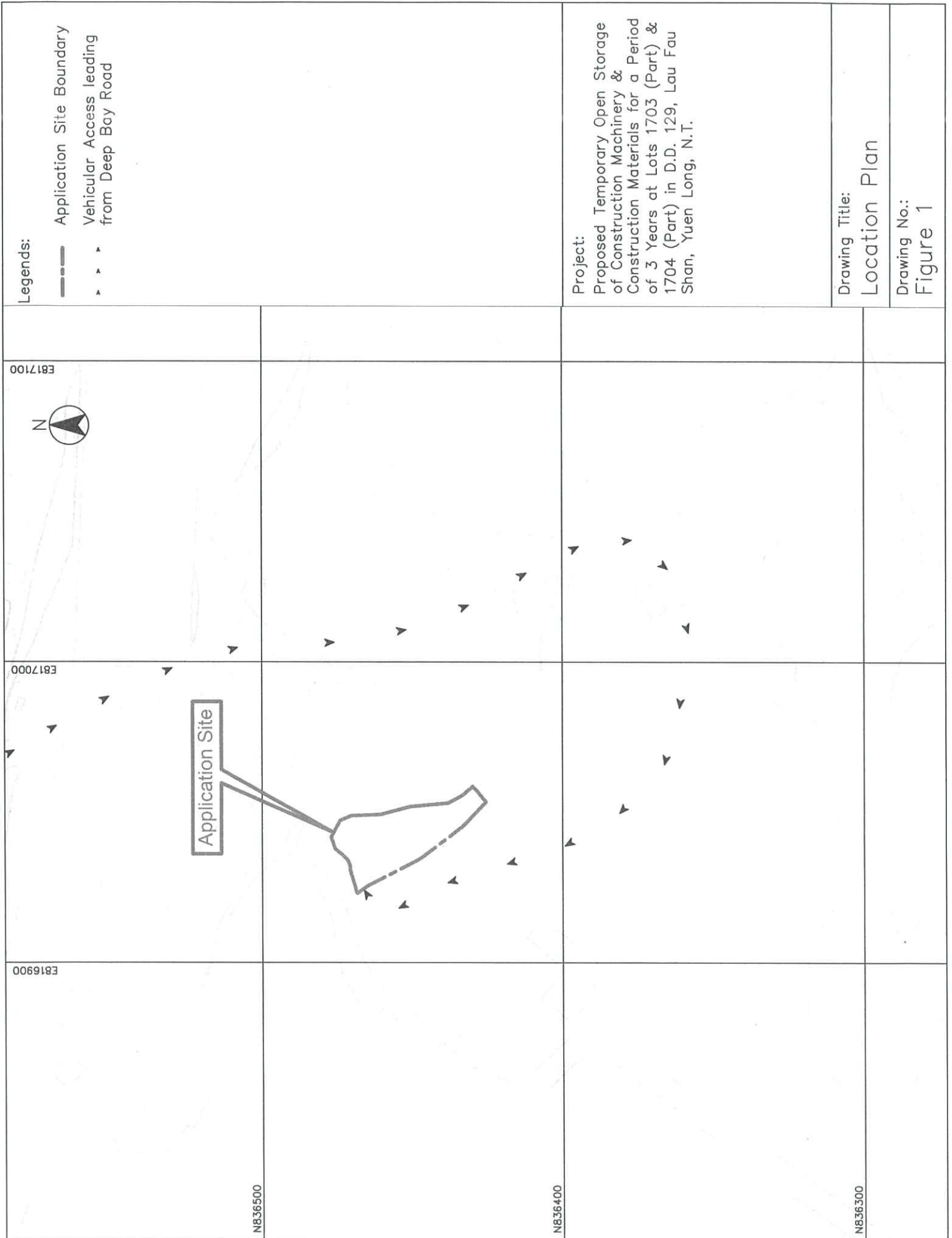
5. DRAINAGE

The application site is sloping at a gentle gradient of approximately 1:50 towards Feature No. 2SW-C/C112. To avoid causing erosion, channels have been designed and provided to collect the rainwater (see Appendix D).

6. CONCLUSION

This report has discussed all the issues concerning the geotechnical planning review under Town Planning Ordinance Section 16 for the captioned project. Since no foundation works, site formation works, building works, or excavation works would be involved in this application, therefore, the stability of existing features would not be affected. In conclusion, the proposed development is considered geotechnical feasible.

FIGURES



Legends:

- Application Site Boundary
- ▶ Vehicular Access leading from Deep Bay Road

Project:
 Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title:
 Location Plan

Drawing No.:
 Figure 1

E817100



E817000

Application Site

E816900

N836500

N836400

N836300

Legends:



E816950

E816900

N836500

N836450

Application Site

1 loading/unloading space of 7m x 3.5m for light goods vehicle

6m wide ingress/egress

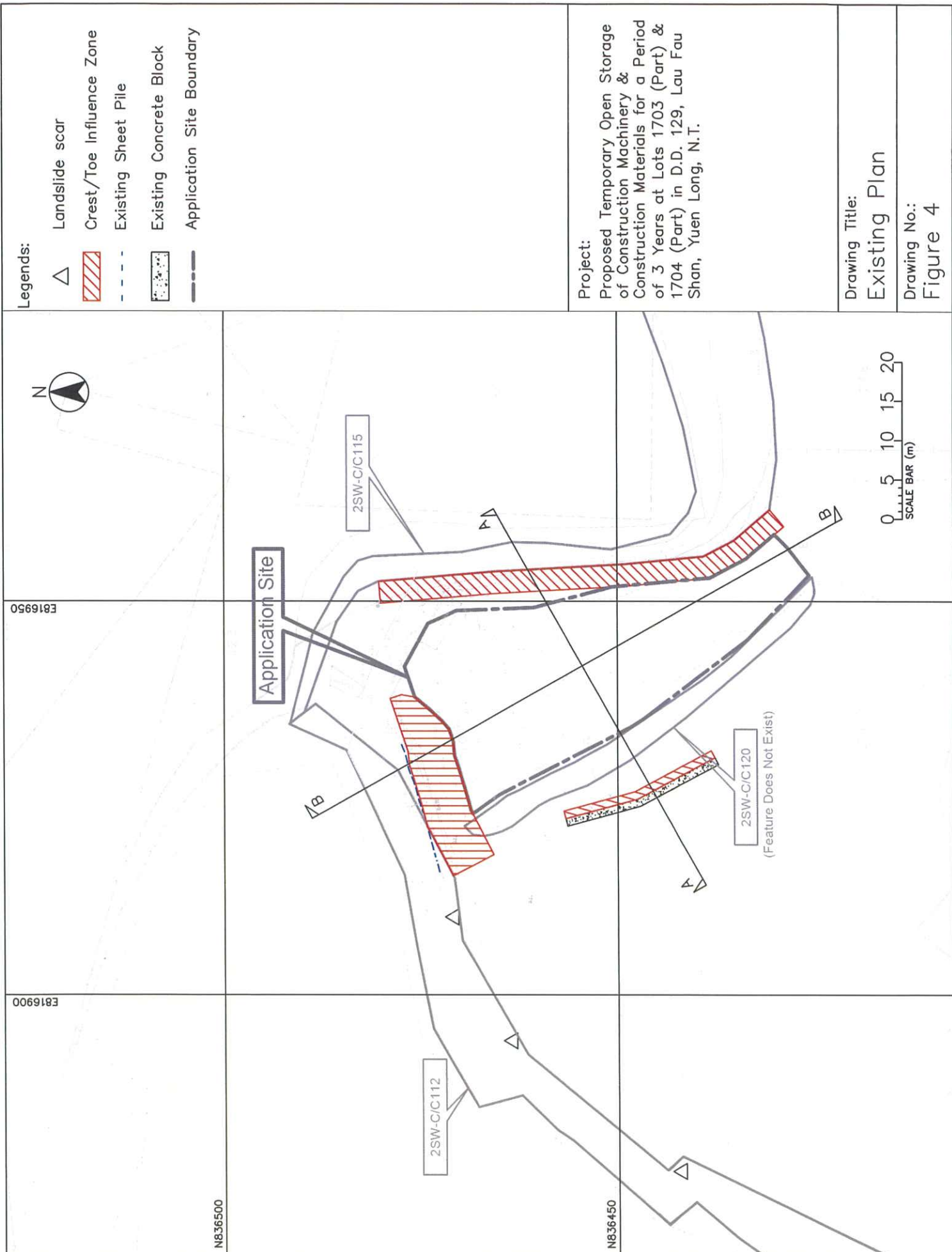
Open storage of construction machinery & construction materials (about 630m²)

Project:
Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

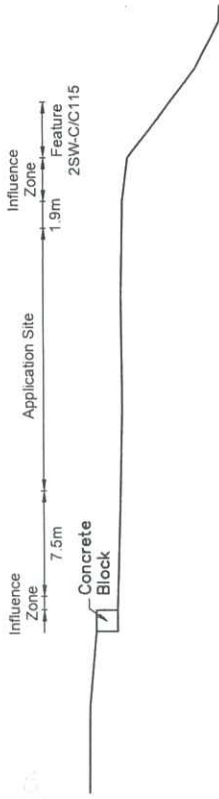
Drawing Title:
Layout Plan

Drawing No.:
Figure 2

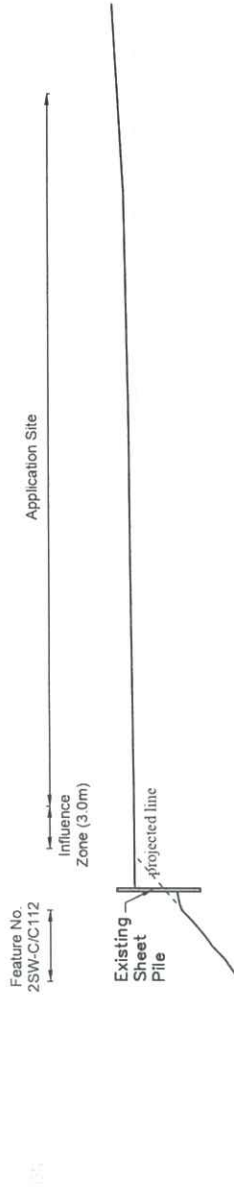




Legends:



Section A-A

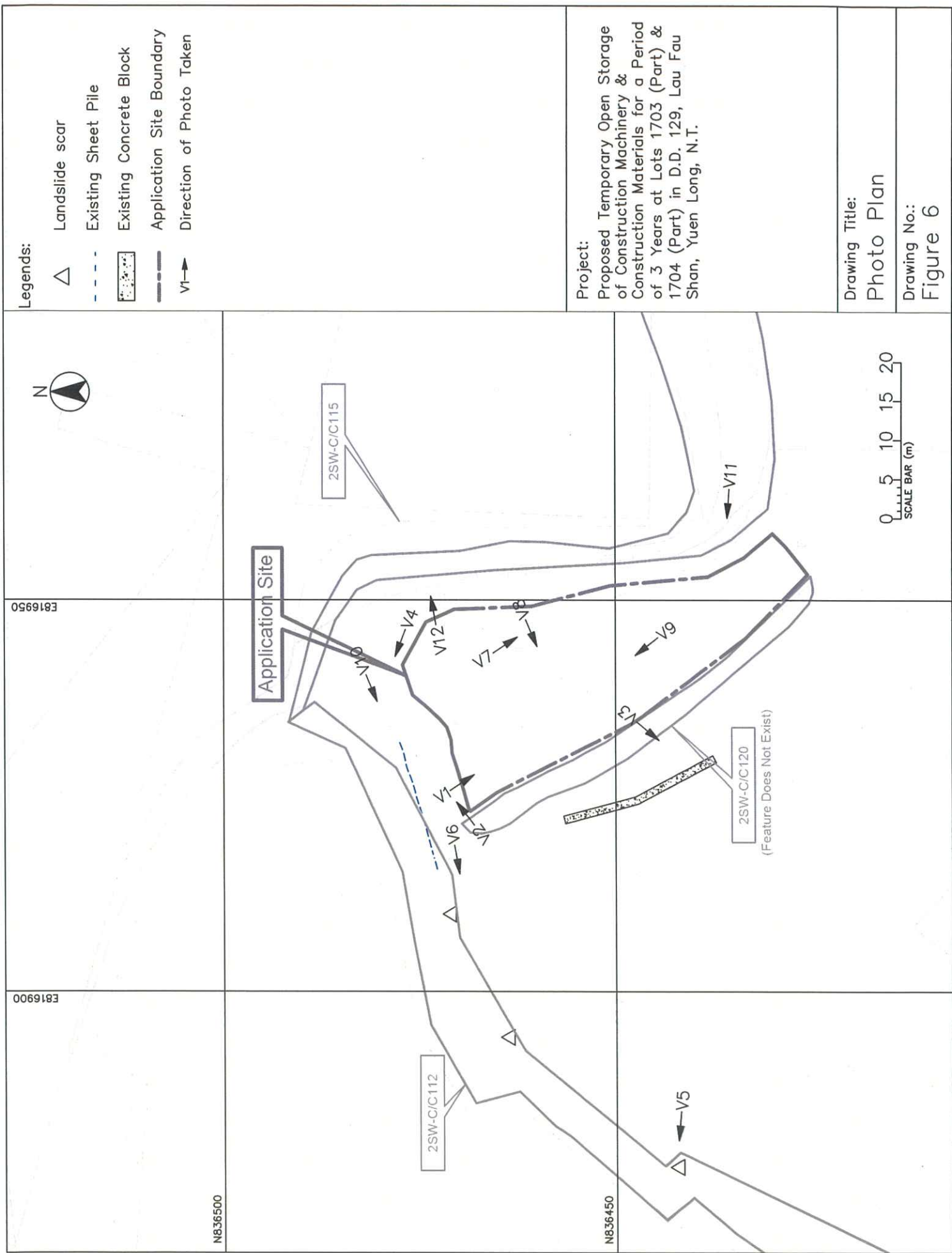


Section B-B

Project:
Proposed Temporary Open Storage
of Construction Machinery &
Construction Materials for a Period
of 3 Years at Lots 1703 (Part) &
1704 (Part) in D.D. 129, Lau Fau
Shan, Yuen Long, N.T.

Drawing Title:
Sections

Drawing No.:
Figure 5



N



806

808

HQ

Project 項目名稱:

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Hong Kong Geological Map Sheet No. 2

Remarks 備註:

Drawing No. 圖號:

Figure 7

Scale 比例:

1:20000

PLATES

Location: LOT NO. 1703 (Part) & 1704 (Part) IN D.D. 129, LAU FAU SHAN, YUEN LONG, N.T.

RECORD PHOTOGRAPHS



Photo V1 - General view of the site (western side)



Photo V2 - General view of the site (the north side)

RECORD PHOTOGRAPHS



Photo V3 - General view of Feature 2SW-C/C120



Photo V4 - General view of the site

RECORD PHOTOGRAPHS



Photo V5 - Landslide scar



Photo V6 - Landslide scar

RECORD PHOTOGRAPHS



Photo V7 - General view of the site



Photo V8 - General view of the site

RECORD PHOTOGRAPHS



Photo V9 - General view of the site



Photo V10 - General view of the site (the north side)

RECORD PHOTOGRAPHS



Photo V11 - General view of the Feature 2SW-C/C115

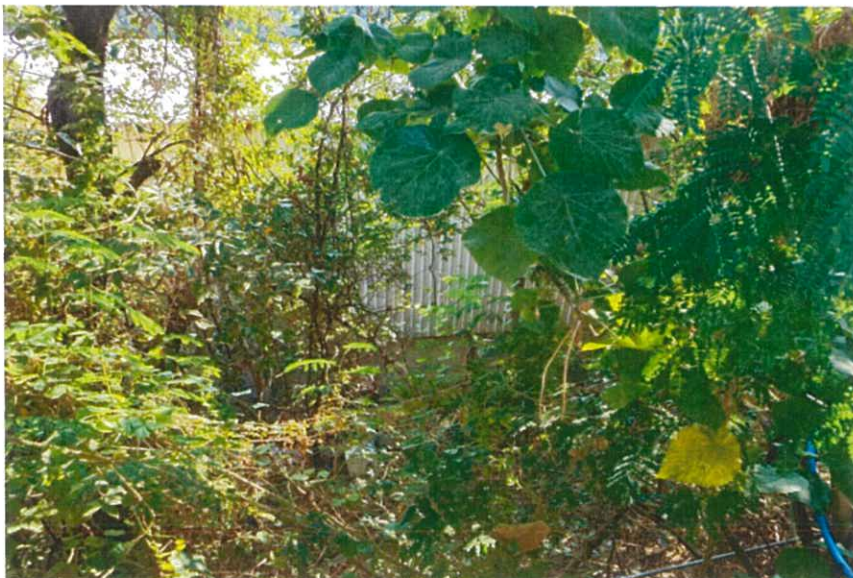


Photo V12 - General view of the Feature 2SW-C/C115

APPENDIX A

SIS FOR REGISTERED FEATURES IN THE VICINITY OF THE SITE



BASIC INFORMATION

Location: PERIMETER OF OPEN STORAGE AREA(CONTAINER), NEAR SAN HING TSUEN, LAU FAU SHAN, YUEN LONG
 Registration Date: 06-05-1998
 Ranking Score (NPRS): 1102 (LPMit)
 Date of Formation: post-1977
 Date of Construction/ Modification:
 Data Source: SIRST
 Approximate Coordinates: Easting : 816882 Northing : 836453

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt
 Distance of Facility from Crest (m): 0
 Facility at Toe: Other thinly populated buildings
 Distance of Facility from Toe (m): 1
 Consequence-to-life Category: 1
 Remarks: N/A

SLOPE PART

(1) Max. Height (m): 9 Length (m): 155 Average Angle (deg): 54

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1710	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(2) Sub Div.: 2	Mixed Feature	Party: DD129 LOT 1711	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(3) Sub Div.: 3	Mixed Feature	Party: DD129 LOT 1712	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(4) Sub Div.: 4	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 62	MR Endorsement Date: 29-08-2025
(5) Sub Div.: 5	Mixed Feature	Party: DD129 LOT 2279 S.B	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(6) Sub Div.: 6	Mixed Feature	Party: DD129 LOT 2280	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(7) Sub Div.: 7	Mixed Feature	Party: DD129 LOT 2285	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(8) Sub Div.: 8	Mixed Feature	Party: DD129 LOT 2296	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025
(9) Sub Div.: 9	Mixed Feature	Party: DD129 LOT 2284	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 29-08-2025

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 26-02-1998
 Data Source: SIRST
 Slope Part Drainage: N/A
 Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 70 Vegetated: 30 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 2SW22C2
Map Sheet Reference (1:1000): 2SW-22C
Aerial Photos: A 24264 (1990), A24265 (1990)
Nearest Rainguage Station (Station Number): Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On: 26-02-1998
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1990 After: 1988
Related Reports/Files or Documents: N/A
Remarks: N/A
Follow Up Actions: N/A
DH-Order (To Be Confirmed with Buildings Department): None
Advisory Letter (To Be Confirmed with Buildings Department): Date of Recommendation to BD: N/A File Reference: N/A
Date Served by BD: 29/11/2019
Date of Recommendation to BD: N/A File Reference: N/A
Date Served by BD: 29/11/2019
LPMIS: Agreement No.: CE50/2017 Report No.: S2R069/2018



ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 21/11/2025)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Other thinly populated buildings

Distance from Toe(m): 1

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:

Action By: N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 2SW-C/C 112
 Location: PERIMETER OF OPEN STORAGE AREA(CONTAINER), NEAR SAN HING TSUEN, LAU FAU SHAN, YUEN LONG
 District Council: Yuen Long
 Maintenance Responsibility (At the Time of Selection): Private
 Responsible Party for Maintenance of Government Portion: N/A
 Private Lot No.: DD129 Lot1710,DD129 Lot1711,DD129 Lot1712,DD129 Lot2279B,DD129 Lot2280,DD129 Lot2285,DD129 Lot2296,DD129 Lot2812DRP

LPM/LPMit Study

Agreement No.: CE50/2017
 Study Type: Stage 2 Study
 Consultant: C M Wong & Associates Ltd.
 GEO Managing Section / Engineer: SS / SS2
 Study Status: Study completed
 Design Approach: N/A
 Option Assessment Accepted: N
 Study Report No.: S2R069/2018
 Programme / Actual Commencement: 07-09-2018
 Programme / Actual Completion: 29-11-2019
 Report Recommendation (For Stage 2 Study): Advisory Letter, No action required
 District Check Status: N/A
 Checking Certificate No.: N/A
 GEO Engineer's Remarks: Advisory Letters for sub-division 6 & 7 issued on 29/11/2019.

LPM/LPMit Works

Works Contract No.: N/A
 GEO Managing Section / Engineer: N/A / N/A
 Contractor: N/A
 Progress Status: N/A



Reason of Study Termination / Works Deletion (If Necessary):	N/A
Forecast Commencement Date:	N/A
Forecast Completion Date:	N/A
Completion Cert. Issued:	N/A
Site Handed Over to Maintenance Department on:	N/A
Estimated Cost for Upgrading (HK\$M):	N/A
Maintenance Manual No.:	N/A
Actual Works:	N/A
No. of Tree Felled:	N/A
No. of Tree Planted (Incl. Transplant):	N/A
% Bare of Slope Surfacing:	N/A
% Vegetated of Slope Surfacing:	N/A
% Shotcrete of Slope Surfacing:	N/A
Other Hard Surface of Slope Surfacing:	N/A

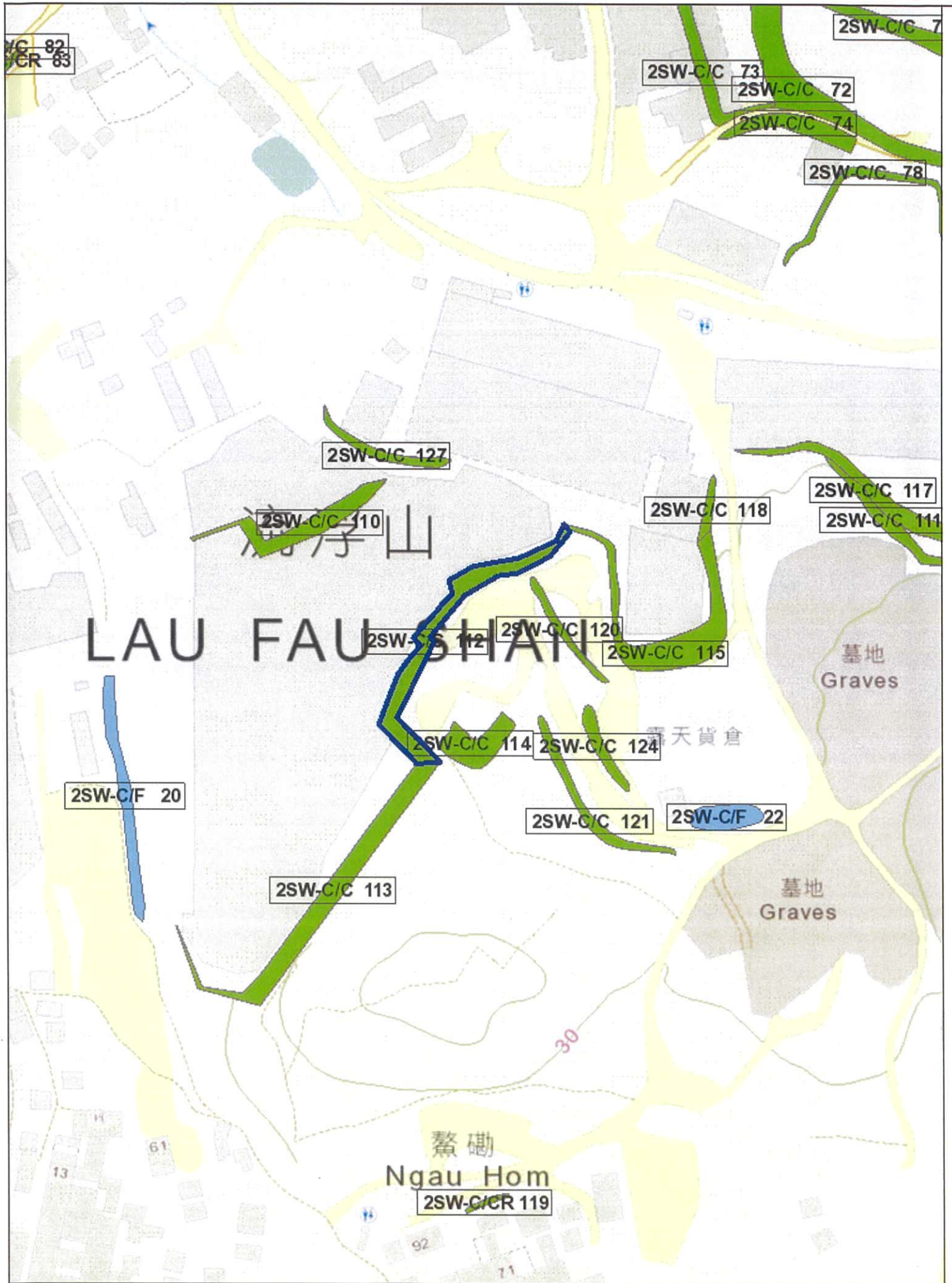
PHOTO



2SW-C/C112

GENERAL VIEW

F3



BASIC INFORMATION

Location: Behind stone cutting storage yard, near Lau Fau Shan
 Registration Date: 06-05-1998
 Ranking Score (NPRS): 0 (EI)
 Date of Formation: pre-1977
 Date of Construction/ Modification:
 Data Source: EI
 Approximate Coordinates: Easting : 816984 Northing : 836438

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density
 Distance of Facility from Crest (m): 0
 Facility at Toe: Non-dangerous goods storage site
 Distance of Facility from Toe (m): 0
 Consequence-to-life Category: 3
 Remarks: N/A

SLOPE PART

(1) Max. Height (m): 7 Length (m): 160 Average Angle (deg): 60

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1	Mixed Feature	Party: DD129 LOT 1710	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(2) Sub Div.: 2	Mixed Feature	Party: DD129 LOT 1711	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(3) Sub Div.: 3	Mixed Feature	Party: Lands D	Agent: Lands D	Land Cat.: 5b(vi)	Reason Code: 59,62	MR Endorsement Date: 27-09-2021
(4) Sub Div.: 4	Mixed Feature	Party: DD129 LOT 1706	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(5) Sub Div.: 5	Mixed Feature	Party: DD129 LOT 1705 S.B	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(6) Sub Div.: 6	Mixed Feature	Party: DD129 LOT 1705 S.A	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(7) Sub Div.: 7	Mixed Feature	Party: DD129 LOT 1701	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(8) Sub Div.: 8	Mixed Feature	Party: DD129 LOT 1703	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021
(9) Sub Div.: 9	Mixed Feature	Party: DD129 LOT 1704	Agent: N/A	Land Cat.: 1	Reason Code: 1	MR Endorsement Date: 27-09-2021

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 07-11-2001
 Data Source: EI
 Slope Part Drainage: N/A
 Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

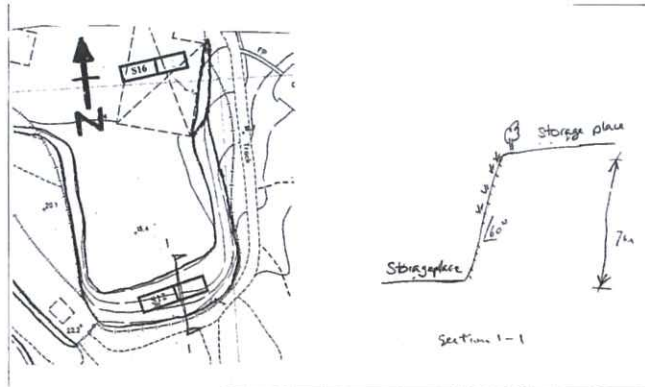
GIU Cell Ref.: 2SW22C2
Map Sheet Reference (1:1000): 2SW-22C
Aerial Photos: 9874 (1974), 9875 (1974)
Nearest Rainguage Station (Station Number): Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On: 07-11-2001
Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1973 After: 1963
Related Reports/Files or Documents: N/A
Remarks: N/A
Follow Up Actions: N/A
DH-Order (To Be Confirmed with Buildings Department): None
Advisory Letter (To Be Confirmed with Buildings Department): None
LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 21/11/2025)

STAGE 1 STUDY REPORT

Inspected On: 26-02-1998
 Weather: Some Rain
 District: MW



Section No: 1-1
 Height(m): H1 : 7 , H2 : 0
 Type of Toe Facility: Non-dangerous goods storage site
 Distance from Toe(m): 0
 Type of Crest Facility: Road/footpath with low traffic density
 Distance from Crest(m): 0
 Consequence Category: 3
 Engineering Judgement: P
 Section No: 2-2
 Type of Toe Facility: N/A
 Distance from Toe(m): 0
 Type of Crest Facility: N/A
 Distance from Crest(m): 0
 Consequence Category: 3
 Engineering Judgement: P
 Sign of Seepage: Slope : No signs of seepage
 Wall : N/A
 Criterion A satisfied: N
 Sign of Distress: Slope : N/A
 Wall : N/A
 Criterion D satisfied: N
 Non-routine maintenance required: N
 Note: N/A
 Masonry wall/Masonry facing: N
 Note: N/A



Consequence category (for critical section): 3

Observations: N/A

Emergency Action Required: N

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study: Y

Action By: Mixed

OTHER EXTERNAL ACTION

Check / repair Services: N

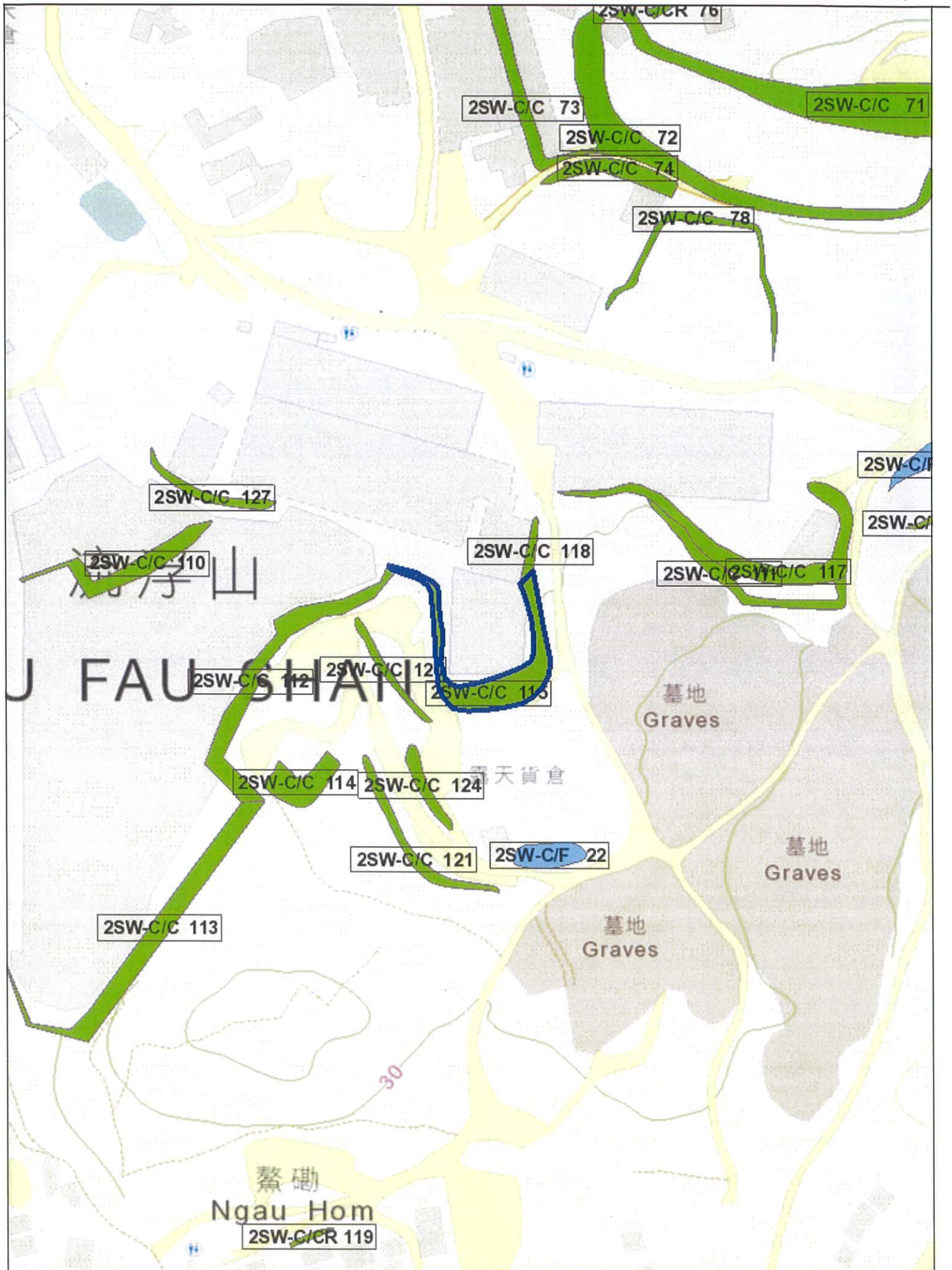
Action By: N/A

Non-routine Maintenance: N

Action By: N/A

PHOTO





BASIC INFORMATION

Location: 250M NORTH OF NGAU HOM, LAU FAU SHAN, YUEN LONG
Registration Date: 06-05-1998
Ranking Score (NPRS): 0 (Notional)
Date of Formation: post-1977
Date of Construction/ Modification:
Data Source: SIRST
Approximate Coordinates: Easting : 816933 Northing : 836446

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt
Distance of Facility from Crest (m): 0
Facility at Toe: Non-dangerous goods storage site
Distance of Facility from Toe (m): 1
Consequence-to-life Category: 3
Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3 Length (m): 55 Average Angle (deg): 55

WALL PART

N/A

MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD129 Lot1702 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 01-09-1998

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 26-02-1998
Data Source: SIRST
Slope Part Drainage: N/A
Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed granite
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A

WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.:	2SW22C2
Map Sheet Reference (1:1000):	2SW-22C
Aerial Photos:	55758 (1984), 55759 (1984)
Nearest Rainguage Station (Station Number):	Hong Shui House, Shui Pin Wai Estate(N12)
Data Collected On:	26-02-1998
Date of Construction, Subsequent Modification and Demolition:	Modification: Constructed Before: 1984 After: 1981
Related Reports/Files or Documents:	N/A
Remarks:	N/A
Follow Up Actions:	N/A
DH-Order (To Be Confirmed with Buildings Department):	None
Advisory Letter (To Be Confirmed with Buildings Department):	None
LPMIS:	None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 21/11/2025)



STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: MW

Section No: 1-1

Height(m):

Type of Toe Facility: Non-dangerous goods storage site

Distance from Toe(m): 1

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

Check / repair Services:

Action By: N/A

Non-routine Maintenance:



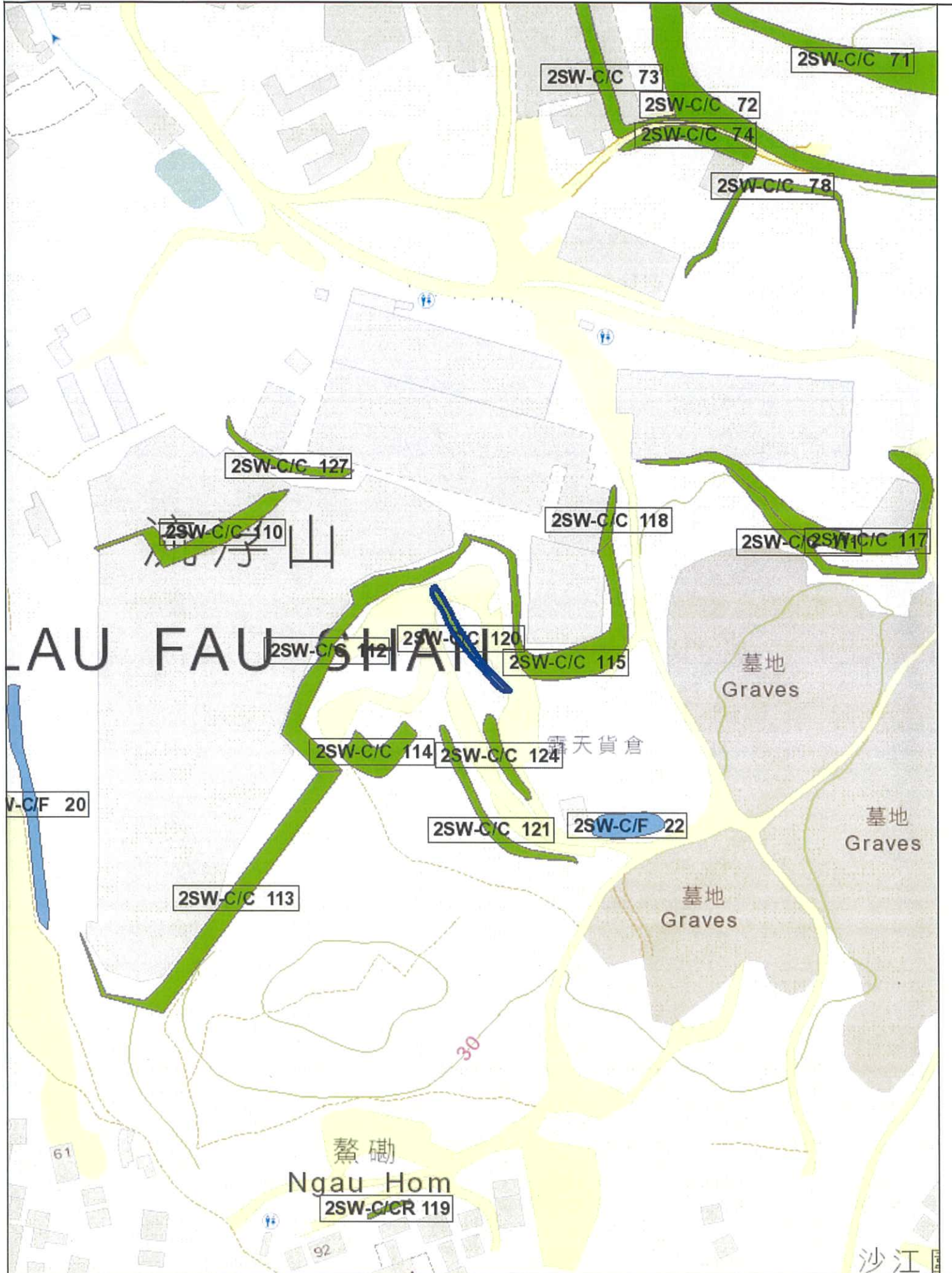
Action By:

N/A

PHOTO



2SW-4C20 GENERAL VIEW Fig



APPENDIX B

SIMAR FOR REGISTERED FEATURES IN THE VICINITY OF THE SITE

Slope Maintenance Responsibility Report

(2SW-C/C112)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	2SW-C/C112		Sub-Division	1
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 1710	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	2SW-C/C112		Sub-Division	2
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 1711	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
3	2SW-C/C112		Sub-Division	3
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 1712	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
4	2SW-C/C112		Sub-Division	4
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
5	2SW-C/C112		Sub-Division	5
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 2279 S.B	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

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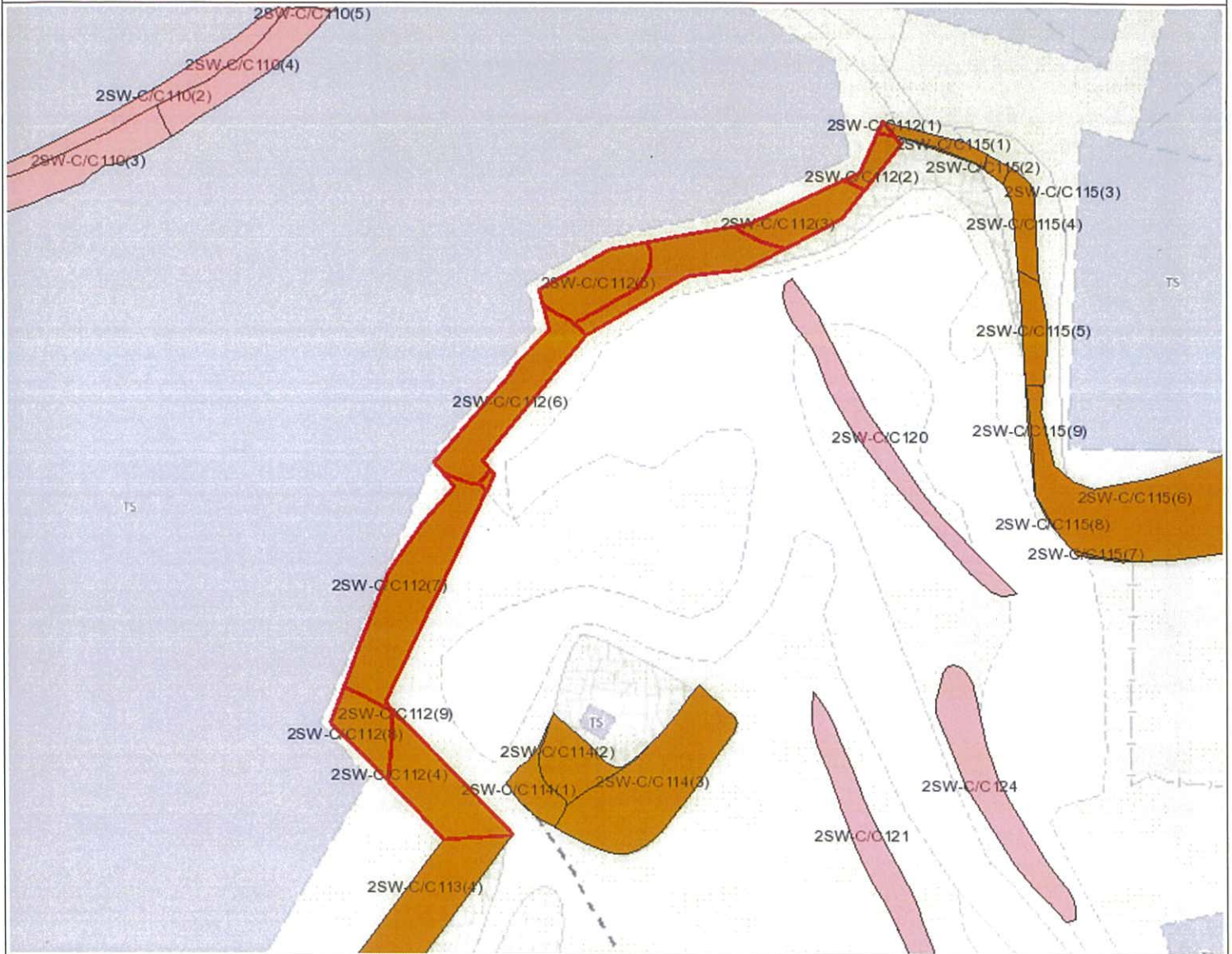
6	2SW-C/C112		Sub-Division	6
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 2280	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
7	2SW-C/C112		Sub-Division	7
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 2285	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
8	2SW-C/C112		Sub-Division	8
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 2296	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
9	2SW-C/C112		Sub-Division	9
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1712, LOT 2279 S.B, LOT 2280, LOT 2285, LOT 2296, LOT 2284 and partly within unallocated Government land, Lau Fau Shan, Yuen Long		
	Responsible Lot/Party	DD129 LOT 2284	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

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Slope Maintenance Responsibility Report

(2SW-C/C115)


**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**
List of Slope Maintenance Responsibility Area(s)

1	2SW-C/C115		Sub-Division	1
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1710	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
2	2SW-C/C115		Sub-Division	2
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1711	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
3	2SW-C/C115		Sub-Division	3
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	1. Slope information being reviewed. 2. For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		
4	2SW-C/C115		Sub-Division	4
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1706	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
5	2SW-C/C115		Sub-Division	5
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1705 S.B	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		

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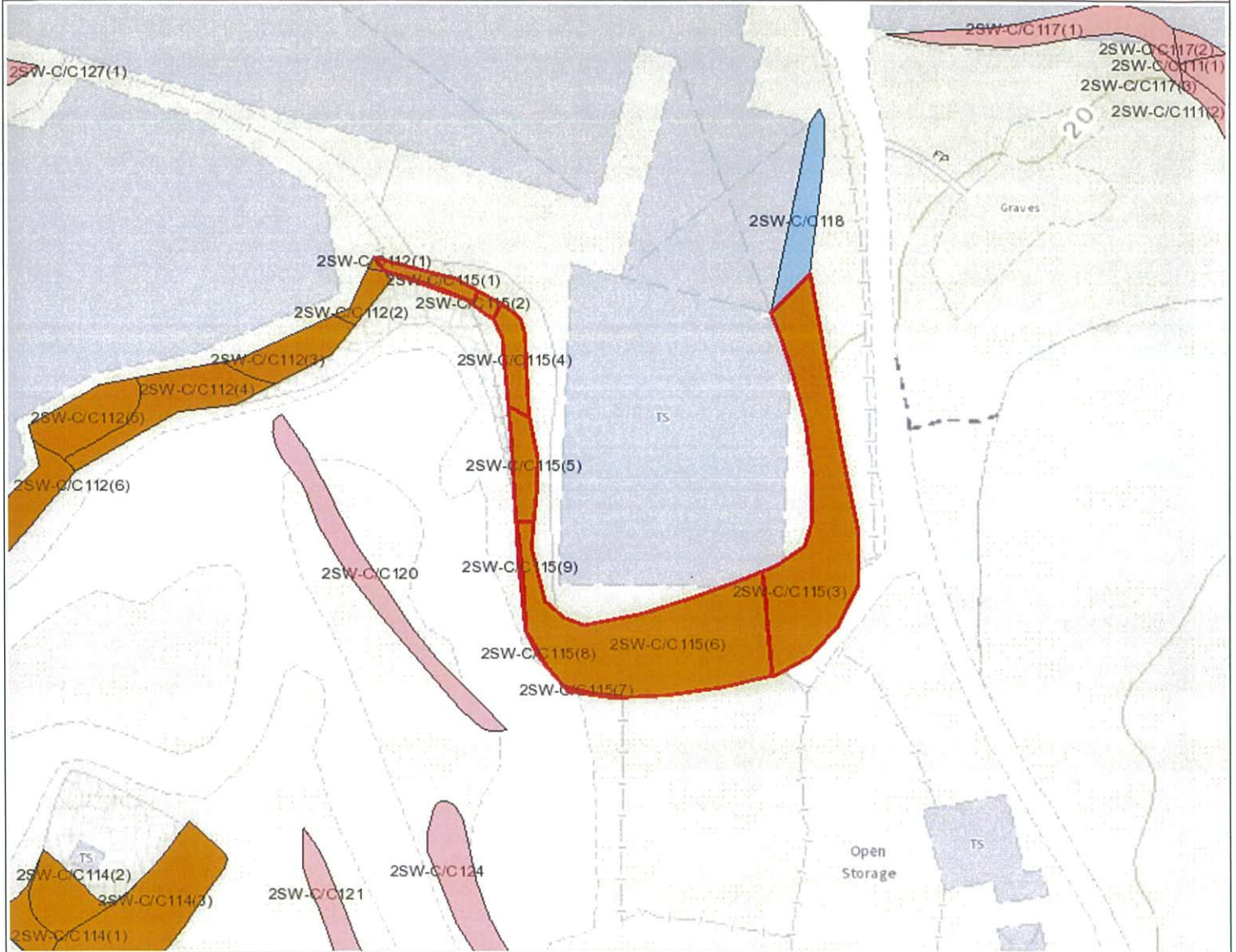
6	2SW-C/C115		Sub-Division	6
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1705 S.A	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
7	2SW-C/C115		Sub-Division	7
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1701	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
8	2SW-C/C115		Sub-Division	8
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1703	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		
9	2SW-C/C115		Sub-Division	9
	Location	Partly within DD129 LOT 1710, LOT 1711, LOT 1706, LOT 1705 S.B, LOT 1705 S.A, LOT 1704, LOT 1703 and LOT 1701, partly within STT3175 and partly on adjoining Government land		
	Responsible Lot/Party	DD129 LOT 1704	Maintenance Agent	Not Applicable
	Remarks	Slope information being reviewed.		

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

Location Plan



Legend

- Slope Area(s)
- Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

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Slope Maintenance Responsibility Report

(2SW-C/C120)

**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

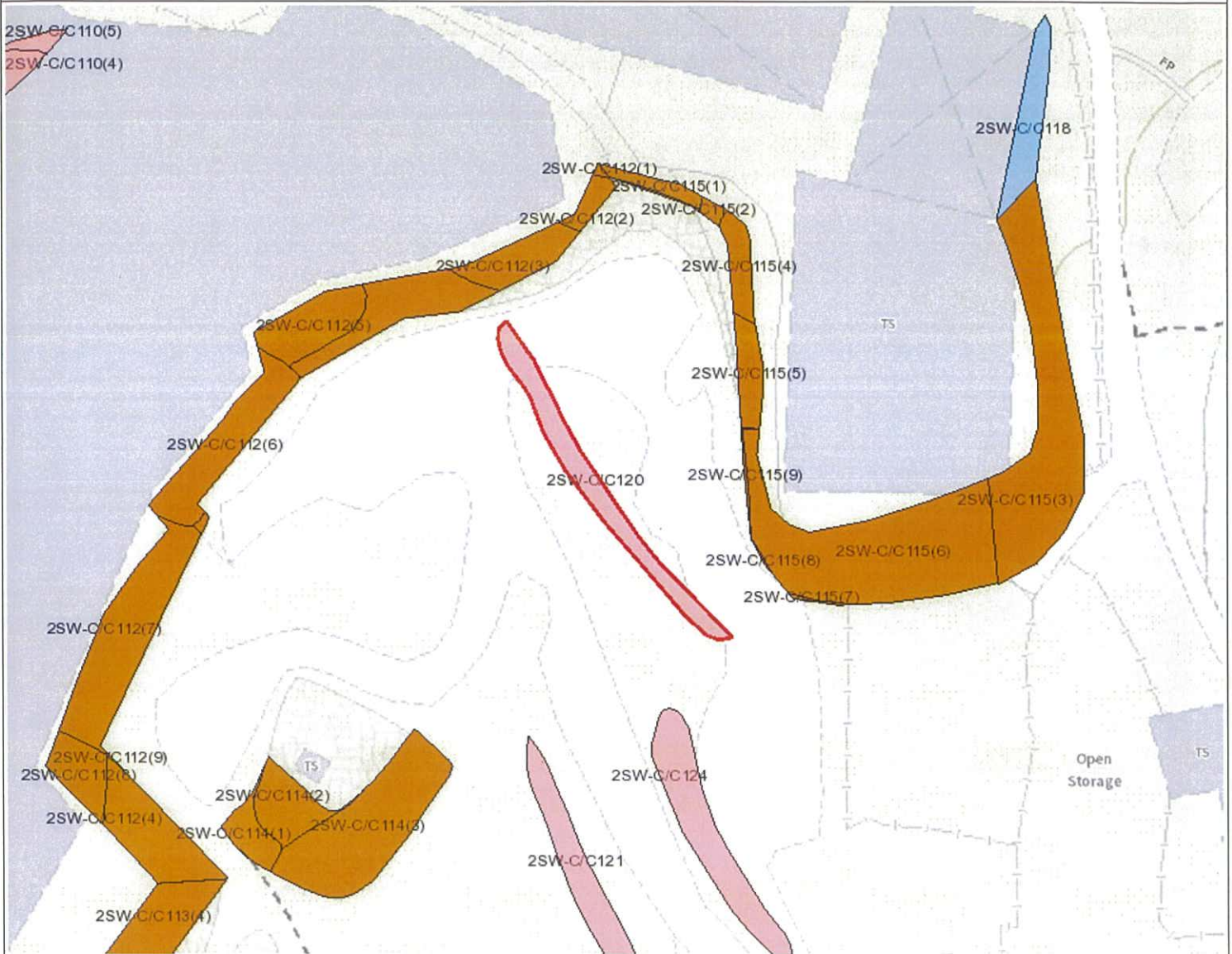
1	2SW-C/C120	Sub-Division	Not Applicable	
	Location	WITHIN DD129 LOT1702		
	Responsible Lot/Party	DD129 Lot1702	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

Location Plan



Legend

- Slope Area(s)
- - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

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Printed on: 18/12/2025

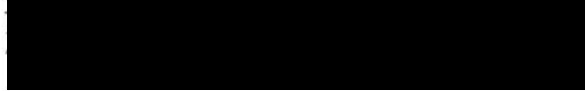
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APPENDIX B

INCIDENT RECORD FOR REGISTERED FEATURES IN THE VICINITY OF THE SITE

27 August 2025

Wong Hung Cheong (黃鴻昌)



Dear Sir/Madam,

**Emergency Slope Repair Works for
Landslide at Feature No. 2SW-C/C112 (Sub-Division No. 6)
at Lot No. 2280 in D.D. 129
Lau Fau Shan, Yuen Long, New Territories**

Site inspection by staffs of Geotechnical Engineering Office and this Department on 13 August 2025 revealed landslide scars at the captioned feature. A location plan and inspection photos are attached for your easy reference.

2. As Landslide Scar no.3 shown on the location plan rest on your private lot, you are requested to carry out the following emergency slope repair works within your lot immediately:-

- (i) Remove the landslide debris;
- (ii) Remove loose materials on the failure scars and minor trim back the failure surfaces; and
- (iii) Provide hard surface cover with wire mesh and weepholes to the failure surfaces.

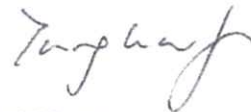
3. The Government Contractor was also instructed on 13 August 2025 to cordon off area in danger behind the failed portions of the captioned feature and cover the failure scars with secured tarpaulin sheet as an emergency, on your behalf under section 27A(4) of the Buildings Ordinance. Pursuant to the same section stated above, the cost of the works in question plus supervision charges shall be recoverable from you as owner(s) under Section 32A, 32B and 33 of the Buildings Ordinance and I shall shortly forward to you a demand note for this purpose.

4. You are requested to appoint an authorized person and a registered geotechnical engineer to undertake the works. If the works involve structural elements, a registered structural engineer shall be appointed. The appointee(s) could be the same person provided that he/she possesses the required qualifications.

P.2/.....

5. To safeguard your interest, you shall carry out site survey to verify your private lot boundary and the landslide scar to determine the portion of the area under your purview that need to repair.
6. This Department has also issued a similar letter to the owners of Lot No. 2812 s.D R.P. in D.D. 129 and Lot No. 2279 s.B in D.D. 129. It would be of mutual benefit for you to liaise with the above owners to co-ordinate the works.
7. You are required to notify on commencement and completion of the recommended emergency slope repair works to this Department. If we have not received your notification on commencement of the works before **1 September 2025**, the Building Authority may instruct the Government Contractor to carry out the necessary emergency works under section 27A(4) of the Buildings Ordinance on your behalf and subsequently recover the cost of the emergency works plus supervision charges from you.
8. To notify on commencement and completion of the works or if you need further information, please contact our Structural Engineer/Slope Safety 7, Mr. LO Ming-kay at 3842 3916 or Survey Officer/Slope Safety 7, Mr. CHAN Kin-wai at 3842 3979.

Yours faithfully,



(TANG Wan-fung)
Senior Structural Engineer/Slope Safety (MW)
for Building Authority

Encl.

c.c. CGE/MW, GEO, CEDD ✓



MW Area 34W BSH-00000

Mainland West Division		ERKS No.
MW-	DH1015-F02786	
CGE/MW	PT/M	Due Date
SGE/MW1	STO/MW1	
SGE/MW2	STO/MW2	
SGE/MW3	STO/MW3&5	
SGE/MW4	STO/MW4	
SGE/MW5	STO/MW6	Item*
SGE/MW6	SH	Y / N
SGE/MW7	GR	Y / N
SGE/MW8	GE	Priority Y / N
CC MW-	25W-C/1012	

PHOTOGRAPHS

File Ref.: Incident No. 2025/08/3982

Location : Feature No. 2SW-C/C112, Perimeter of Open Storage Area near San Hing Tsuen, Lau Fau Shan, Yuen Long



Photo 1 (Landslide Scar 1)



Photo 2 (Landslide Scar 1)

PHOTOGRAPHS

File Ref.: Incident No. 2025/08/3982 .

Location : Feature No. 2SW-C/C112, Perimeter of Open Storage Area near San Hing Tsuen, Lau Fau Shan, Yuen Long



Photo 3 (Landslide Scar 2)



Photo 4 (Landslide Scar 2)

Geotechnical Engineering Office

District Division



PHOTOGRAPHS

File Ref.: Incident No. 2025/08/3982

Location : Feature No. 2SW-C/C112, Perimeter of Open Storage Area near San Hing Tsuen, Lau Fau Shan, Yuen Long



Photo 5 (Landslide Scar 3)



Photo 6 (Landslide Scar 3)

Geotechnical Engineering Office

District Division



APPENDIX D

DRAINAGE DESIGN

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years
at
Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Annex 1 Drainage Assessment

A. Site particulars

- 1.1.1 The site possesses an area of about 880m². The surface of the site has been hard paved.
- 1.1.2 The application site will be occupied by an open storage of construction machinery such as electric generators and construction materials such as tiles and sanitary wares.

B. Level and gradient of the subject site & proposed surface channel

- 1.1.3 The subject site has been hard paved and occupied an area of approximately 880m². It has a gradient sloping from southwest to northeast from about 23.25 mPD to 22.2 mPD.
- 1.1.4 In order to follow the topography of the application site, the proposed surface channel will be constructed following the gradient of the site. As demonstrated in the calculation in **Annex 1** hereunder, 600mm surface U-channel will be capable to drain surface runoff accrued at the subject site and the same passing through the site from adjacent area.

C. Catchment area of the proposed drainage provision at the subject site

- 1.1.5 With regard to the location of the existing drain and the topography surrounding the application site, the land to the southeast of the site is found higher than the application site. The land to the north and west of the site is found lower than the application site. (**Figure 2**)
- 1.1.6 As such, an external catchment is identified has been identified in **Figure 1**.

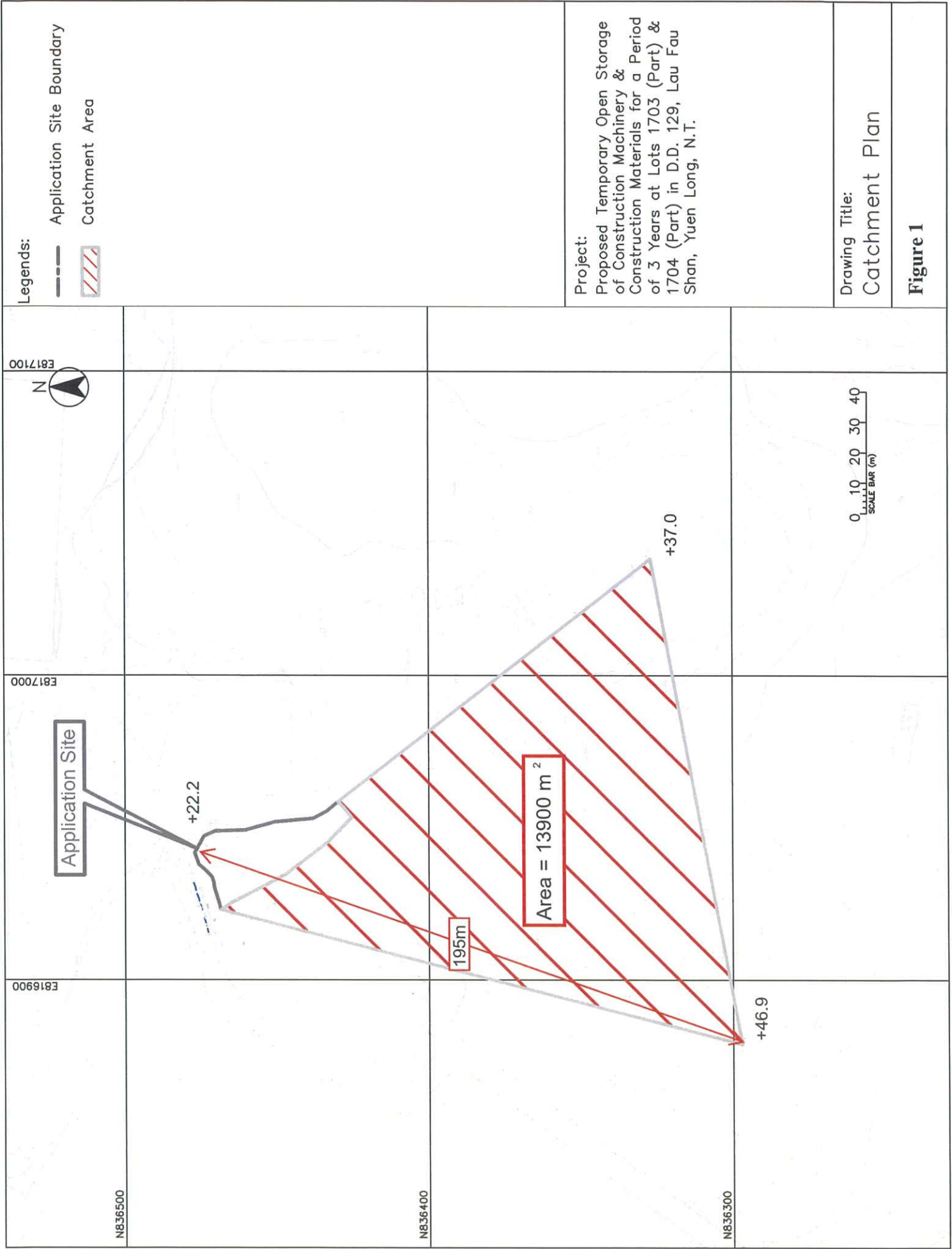
D. Particulars of the existing drainage facilities to accept the surface runoff collected at the application site

- 1.1.7 There is an existing 600mm surface channel surrounding the adjoining site to the immediate north of the application site. The ultimate discharge point is Deep Bay via the public drain connecting to the said 600mm surface channel.

1.2 Runoff Estimation & Proposed Drainage Facilities

A. Proposed drainage facilities

- 1.2.1 Subject to the calculations below, it is determined that 600mm surface channel which is made of concrete along the site periphery is adequate to intercept storm water passing through and generated at the application site (**Figure 2**).
- 1.2.2 The collected surface runoff will be conveyed to existing 600mm surface channel to the immediate north of the site. (**Figure 3**) The existing 600mm surface channel is capable to convey additional stormwater generated by the application site and its external catchment because the application site and its external catchment falls coincide with the external catchment of the adjoining site with planning permissions (No. A/YL-LFS/521 & 563) as shown in the discharge path plan.
- 1.2.3 All the proposed drainage facilities will be provided and maintained at the applicant's own expense. Also, sand trap and surface channel will be cleaned at regular interval to avoid the accumulation of rubbish/debris which would affect the dissipation of storm water.
- 1.2.4 The provision of the proposed surface U-channel will follow the gradient of the application site. All the proposed drainage facilities will be constructed and maintained at the expense of the applicant.
- 1.2.5 All proposed works at the site periphery would not obstruct the flow of surface runoff from the adjacent areas, the provision of surface channel at site boundary is detailed hereunder:
- (a) Soil excavation at site periphery, although at minimal scale, is inevitably for the provision of surface channel. In the reason that the accumulation of excavated soil at the site periphery would obstruct the free flow of the surface runoff from the surroundings, the soil will be cleared at the soonest possible after the completion of the excavation process.
 - (b) In view of that soil excavation may be continued for several working days, surface U-channel will be dug in short sections and all soil excavated will be cleared before the excavation of another short section.
 - (c) No leveling work will be carried at the site periphery. The level of the site periphery will be maintained during and after the works. As such, the works at the site periphery would not either alter or obstructed the flow of surface runoff from adjacent areas.
 - (d) 100mm openings will be provided at the toe of hoarding so as to allow unobstructed flow of surface runoff from adjacent area.



Legends:

- Application Site Boundary
- ▨ Catchment Area

Project:
 Proposed Temporary Open Storage
 of Construction Machinery &
 Construction Materials for a Period
 of 3 Years at Lots 1703 (Part) &
 1704 (Part) in D.D. 129, Lau Fau
 Shan, Yuen Long, N.T.

Drawing Title:
 Catchment Plan

Figure 1

Legends:

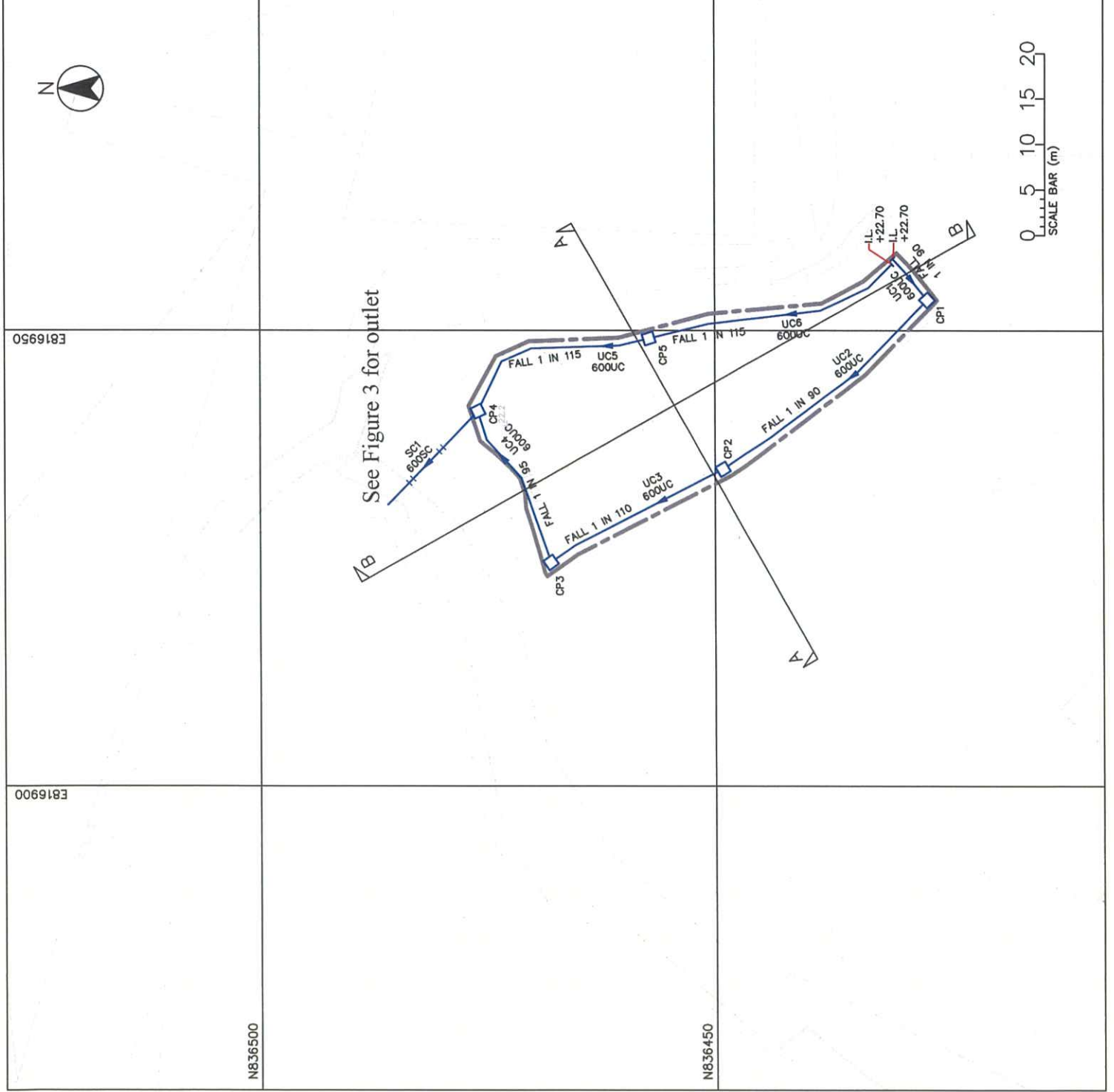
- Application Site Boundary
- ++ 225mm Stepped Channel
- 225mm U-Channel
- Proposed Catchpit

PROPOSED CATCHPIT	COVER LEVEL	INLET LEVEL	OUTLET LEVEL
CP1	23.25	22.60	22.00
CP2	22.54	21.50	21.50
CP3	22.37	21.20	21.20
CP4	22.20	20.90	20.90 </td
CP5	21.70	22.30	21.50

Project:
 Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

Drawing Title:
Proposed Drainage Plan

Figure 2



Annex 1.3 Drainage Calculation for the Proposed Provision of Drainage Facilities at Subject Site

1. Runoff Estimation

1.1 Rational method is adopted for estimating the designed run-off

$$Q = k \times i \times A / 3,600$$

Assuming that:

- i. The area of the entire catchment is approximately 13,900m²; (**Figure 1**)
- ii. The catchment is predominant unpaved, it is assumed that the value of run-off co-efficient (k) is taken as 0.8.

$$\text{Difference in Land Datum} = 46.9\text{ m} - 22.2\text{ m} = 24.7\text{ m}$$

$$L = 195\text{ m}$$

$$\therefore \text{Average fall} = 24.7\text{ m in } 195\text{ m} \text{ or } 1\text{ m in } 12.7\text{ m}$$

According to the Brandsby-Williams Equation adopted from the “Stormwater Drainage Manual – Planning, Design and Management” published by the Drainage Services Department (DSD),

$$\text{Time of Concentration (t}_c\text{)} = 0.14465 [L / (H^{0.2} \times A^{0.1})]$$

$$t_c = 0.14465 [195 / (12.7^{0.2} \times 13,900^{0.1})]$$

$$t_c = 6.54\text{ minutes}$$

With reference to the Intensity-Duration-Frequency Curves provided in the abovementioned manual, the mean rainfall intensity (i) for 1 in 50 recurrent flooding period is found to be 280 mm/hr

$$\text{By Rational Method, } Q = 0.8 \times 280 \times 13,900 / 3,600$$

$$\therefore Q = 866\text{ l/s} = 0.86\text{ m}^3/\text{s}$$

In accordance with the Chart or the Rapid Design of Channels in “Geotechnical Manual for Slopes”, for an approximate gradient of about 1:50 & 1:55 along the site periphery of the site, 600 mm surface U-channel is considered adequate to dissipate all the stormwater accrued by the application site and the adjacent land.

ANNEX 1

DRAINAGE CALCULATIONS

Annex 1.3 Drainage Calculation for the Proposed Provision of Drainage Facilities at Subject Site

1. Runoff Estimation

1.1 Rational method is adopted for estimating the designed run-off

$$Q = k \times i \times A / 3,600$$

Assuming that:

- i. The area of the entire catchment is approximately 13,900m²; (**Figure 1**)
- ii. The catchment is predominant unpaved, it is assumed that the value of run-off co-efficient (k) is taken as 0.8.

$$\text{Difference in Land Datum} = 46.9\text{m} - 22.2\text{m} = 24.7\text{m}$$

$$L = 195\text{ m}$$

$$\therefore \text{Average fall} = 24.7\text{m in } 195\text{m} \text{ or } 1\text{m in } 12.7\text{m}$$

According to the Brandsby-Williams Equation adopted from the “Stormwater Drainage Manual – Planning, Design and Management” published by the Drainage Services Department (DSD),

$$\text{Time of Concentration } (t_c) = 0.14465 [L / (H^{0.2} \times A^{0.1})]$$

$$t_c = 0.14465 [195 / (12.7^{0.2} \times 13,900^{0.1})]$$

$$t_c = 6.54 \text{ minutes}$$

With reference to the Intensity-Duration-Frequency Curves provided in the abovementioned manual, the mean rainfall intensity (i) for 1 in 50 recurrent flooding period is found to be 280 mm/hr

$$\text{By Rational Method, } Q = 0.8 \times 280 \times 13,900 / 3,600$$

$$\therefore Q = 866 \text{ l/s} = 0.86 \text{ m}^3/\text{s}$$

In accordance with the Chart or the Rapid Design of Channels in “Geotechnical Manual for Slopes”, for an approximate gradient of about 1:50 & 1:55 along the site periphery of the site, 600mm surface U-channel is considered adequate to dissipate all the stormwater accrued by the application site and the adjacent land.

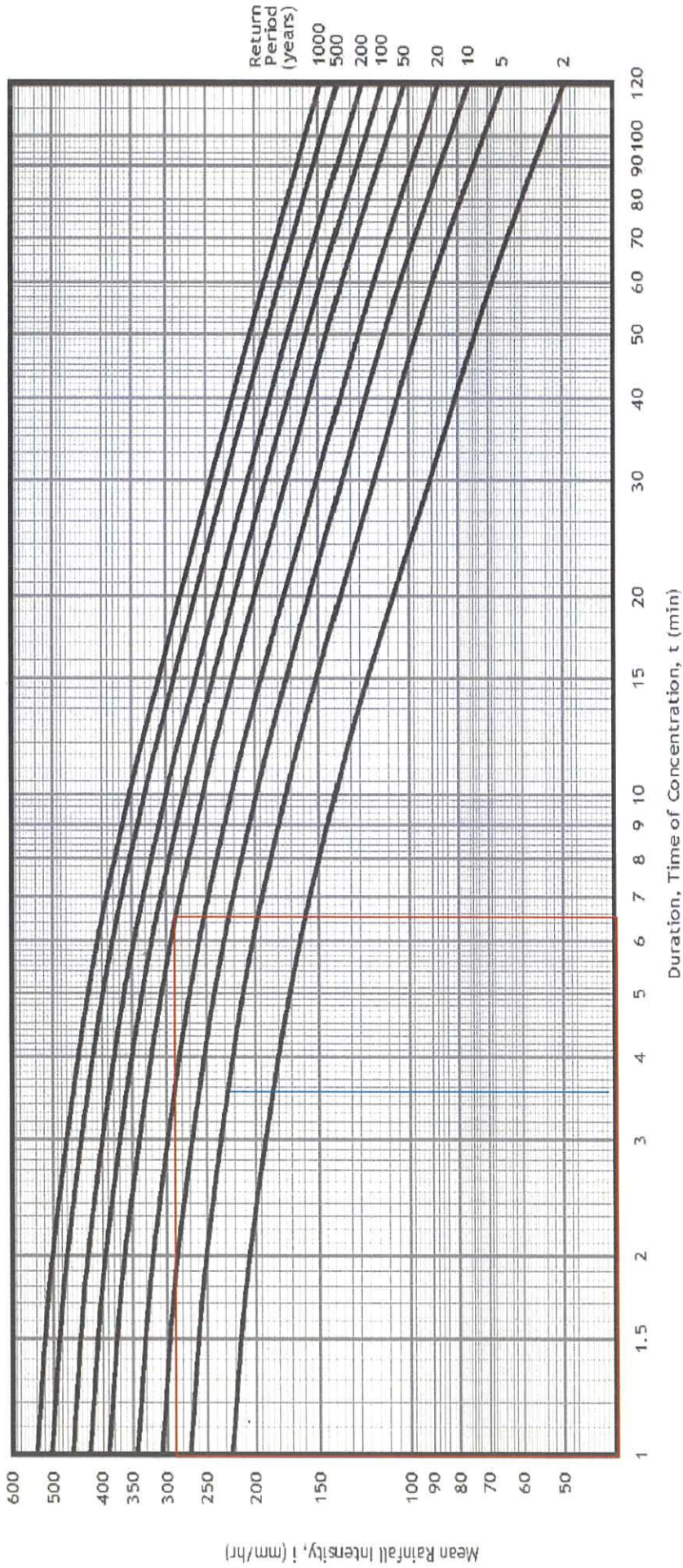


Figure 1 – New Intensity-Duration-Frequency (IDF) Curves (Tang & Cheung, 2011)

U-channel No	Catchpitt No	Catchment Area		Invert Level (mPD)		Manhole/Catchpitt			Channel design				Checking	Remarks							
		Area	Q (req), m ³ /s	L (m)	In	Out	Platform level	Inlet Invert level	Outlet Invert level	Depth (m)	n	Gradient			Size of channel	A (m ²)	WS (m)	R(m) =A/P	V (m/s)	$\frac{Q_{prop}}{1/n \cdot A \cdot R^{4/3} \cdot S^{1/2}}$	If $Q_{prop} > Q_{req}$ OK, if not, Not OK
U1		A1	0.550	8.61	22.70	22.60	23.25			0.55	0.013	0.01	1 in 87	525.00	0.25	1.35	0.18	2.67	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.6558	OK
U2	CP1	A1	0.550	45.61	22.60	21.50	22.54	22.60	22.00	1.25	0.013	0.01	1 in 92	525.00	0.25	1.35	0.18	2.59	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.6371	OK
U3	CP2	A1	0.550	33.00	21.50	21.20	22.37	21.50	21.50	1.04	0.013	0.01	1 in 110	525.00	0.25	1.35	0.18	2.36	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.5802	OK
U4	CP3	A1	0.550	28.38	21.20	20.90	22.20	21.20	21.20	1.17	0.013	0.01	1 in 95	525.00	0.25	1.35	0.18	2.54	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.6257	OK
U6	CP4	A1	0.550	45.63	20.90	22.30	22.25	20.90	20.90	1.30	0.013	0.01	1 in 115	525.00	0.25	1.35	0.18	2.32	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.5697	OK
U5	CP5	A1	0.550	34.52	21.50	21.20	22.20	22.30	21.50	1.04	0.013	0.01	1 in 116	525.00	0.25	1.35	0.18	2.31	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.5673	OK
	CP4	A1			21.20	22.20	22.20	21.20	20.90	1.30	0.013	0.01	1 in 116	525.00	0.25	1.35	0.18	2.31	$0.25 \cdot (0.18^{2/3}) \cdot (0.01^{1/2}) / 0.013 =$	0.5673	OK

Urgent Return receipt Expand Group Restricted Prevent Copy Confidential

Christina Ki Na LEE/PLAND

寄件者: king king [REDACTED]
寄件日期: 2026年04月02日星期四 17:23
收件者: tpbpd/PLAND
副本: Christina Ki Na LEE/PLAND
主旨: A/YL-LFS/577
類別: Internet Email

Dear Sir,

We write to clarify that only light goods vehicle will access/park at the application site. No medium goods vehicle, heavy goods vehicle and container tractor/trailer will access/park at the application site.

Best regards,

Patrick Tsui

[REDACTED]

Total: 1 page

Date: 2 April 2026

TPB Ref.: A/YL-LFS/577

By Email

Town Planning Board
15/F, North Point Government Offices
333, Java Road
North Point
Hong Kong
(Attn: The Secretary)

Dear Sir,

Proposed Temporary Open Storage of Construction Machinery & Construction Materials for a Period of 3 Years at Lots 1703 (Part) & 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long, N.T.

We write to confirm that the GRPP submitted on 5.3.2026 was intended to supersede the GRPP submitted on 23.12.2025.

Should you have any enquiries, please feel free to contact our Mr. Patrick Tsui at [REDACTED] at your convenience.

Yours faithfully,

Patrick Tsui

c.c. Tuen Mun and Yuen Long West District Planning Office (Attn: Ms. Christina LEE) – By Email

Relevant extract of the Town Planning Board Guidelines for
Application for Open Storage and Port Back-up Uses
(TPB PG-No. 13G)

1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for the various categories of area:
 - (a) Category 1 areas: favourable consideration will normally be given to applications within these areas, subject to no major adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments should be submitted if the proposed uses may cause significant environmental and traffic concerns;
 - (b) Category 2 areas: planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments, where appropriate or if required, should be submitted to demonstrate that the proposed uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas;
 - (c) Category 3 areas: applications would normally not be favourably considered unless the applications are on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant). Sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. Planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions; and
 - (d) Category 4 areas: applications would normally be rejected except under exceptional circumstances. For applications on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant), and subject to no adverse departmental comments and local objections, sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. The intention is however to encourage the phasing out of such non-conforming uses as early as possible. Planning permission for a maximum period of 3 years may be allowed for an applicant to identify suitable sites for relocation. Application for renewal of approval will be assessed on its individual merits.

2. In assessing applications for open storage and port back-up uses, the other major relevant assessment criteria are also summarised as follows:
- (a) port back-up sites and those types of open storage uses generating adverse noise, air pollution, visual intrusion and frequent heavy vehicle traffic should not be located adjacent to sensitive receivers such as residential dwellings, hospitals, schools and other community facilities;
 - (b) port back-up uses are major generators of traffic, with container trailer/tractor parks generating the highest traffic per unit area. In general, port back-up sites should have good access to the strategic road network, or be accessed by means of purpose built roads;
 - (c) adequate screening of the sites through landscaping and/or fencing should be provided where sites are located adjacent to public roads or are visible from surrounding residential areas;
 - (d) there is a general presumption against conversion of active or good quality agricultural land and fish ponds to other uses on an ad-hoc basis. For flood prone areas or sites which would obstruct natural drainage channels and overland flow, advice should be sought; and
 - (e) for applications involving sites with previous planning approvals, should there be no evidence to demonstrate that the applicants have made any genuine effort to comply with the approval conditions of the previous planning applications, planning permission may be refused, notwithstanding other criteria set out in the Guidelines are complied with.

Similar s.16 Applications within/straddling the same “Residential (Group E)” Zone on the Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan in the past 5 years

Approved Applications

	<u>Application No.</u>	<u>Applied Use(s)/ Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-LFS/396	Renewal of Planning Approval for Temporary Open Storage of Construction Material for a Period of 3 Years	R(E)	28.5.2021
2	A/YL-LFS/451	Proposed Temporary Open Storage of Construction Materials and Engineering Machineries for a Period of 3 Years	R(E), REC	3.2.2023
3	A/YL-LFS/525	Temporary Open Storage of Sand, Bricks and Gravel for a Period of 3 Years	R(E)	6.9.2024
4	A/YL-LFS/546	Proposed Temporary Open Storage of Construction Materials for a Period of 3 Years	R(E)	23.5.2025

Rejected Application

	<u>Application No.</u>	<u>Applied Use(s)/ Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC)</u>	<u>Rejection Reasons</u>
1	A/YL-LFS/416	Proposed Temporary Open Storage of Containers, Metal Wares, Construction and Industrial Equipment and Machineries for a Period of 3 Years	R(E), GB	14.1.2022	(1), (2) & (3)
2	A/YL-LFS/508	Temporary Open Storage of Construction Materials for a Period of 3 Years	R(E), GB	15.3.2024	(1), (2) & (3)
3	A/YL-LFS/524	Proposed Temporary Open Storage of Construction Materials for a Period of 3 Years	R(E), GB	19.7.2024	(1), (2) & (3)

Rejection Reasons

1. No strong planning justification in the submission for a departure from the planning intentions.
2. Not in line with the TPB PG-No. 10.
3. Not in line with the (then) TPB PG-No. 13.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- (a) The application site (the Site) comprises Old Schedule Agriculture Lots (OSALs) held under Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government.
- (b) It is noted that no structure is proposed on the Site by the applicant.
- (c) His office does not guarantee any right-of-way to the Site.

2. Traffic

(i) Comments of the Commissioner for Transport (C for T):

- (a) He has no adverse comment on the application from traffic engineering perspective.
- (b) The applicant should note his advisory comments at **Appendix V**.

(ii) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

- (a) He has no objection to the application from highway maintenance perspective.
- (b) The applicant should note his advisory comments at **Appendix V**.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- (a) He has no adverse comment on the application from environmental planning perspective since no heavy vehicle or dusty operation would be involved.
- (b) There is no substantiated environmental complaint pertaining to the Site in the past three years.
- (c) The applicant should note his advisory comments at **Appendix V**.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- (a) He has no objection in principle to the application from drainage point of view.
- (b) Should the Town Planning Board consider the application acceptable from the planning point of view, an approval condition should be stipulated requiring the

applicant to submit a drainage proposal, to implement and maintain the proposed drainage facilities to his satisfaction.

- (c) The applicant should note his advisory comments at **Appendix V**.

5. Fire Safety

Comments of the Director of Fire Services (D of FS):

- (a) He has no objection in principle to the proposal subject to fire service installations and water supplies for firefighting being provided to his satisfaction.
- (b) The applicant should note his advisory comments at **Appendix V**.

6. Project Interface

Comments of the Project Manager (West) (PM(W)), CEDD:

- (a) The Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) “Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai areas - Investigation”, which is the Investigation Study and jointly commissioned by PlanD and CEDD. The implementation programme and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change.
- (b) If the planning application is granted, notwithstanding its validity period, the applicant should note his advisory comments at **Appendix V**.

7. District Officer’s Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any feedback from locals.

8. Other Departments’ Comments

The following government departments have no objection to/no comment on the application:

- (a) Chief Building Surveyor/New Territories West, Buildings Department;
- (b) Chief Engineer/Construction, Water Supplies Department;
- (c) Chief Engineer/Land Works, CEDD;
- (d) Chief Geotechnical Engineer/Slope Maintenance, Lands Department;
- (e) Head of Geotechnical Engineering Office, Civil Engineering and Development Department; and
- (f) Director of Agriculture, Fisheries and Conservation.

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied development at the application site (the Site);
- (b) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (c) to note the comments of the Commissioner for Transport (C for T) that sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads. The local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (d) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that the proposed vehicular access should be commented by the Transport Department (TD). The local access connecting to Deep Bay Road is not and will not be maintained by HyD and HyD will not take up the maintenance of the access road. Adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (e) to note the comments of the Chief Geotechnical Engineer/Slope Maintenance, Slope Maintenance Section, Lands Department, there are 2 existing Features No. 2SW-C/C112 (Sub-division No. 4) and 2SW-C/C115 (Sub-division No.3), currently maintained by LandsD, which are in close proximity to the site area (**Plan A-2**). It is noted that the applied development is still under the planning stage. It is presumed that suitable clauses would be incorporated in the lease conditions to ensure that all the existing/to-be modified features/newly formed geotechnical features adjoining or affecting the site would be maintained by the applicant under the "owner-maintains" principle and/or "beneficiary-maintains" principle as stipulated in DEVB TC(W) No. 6/2011 unless there are other government departments agree to take up the maintenance responsibility. Presumably, all the features within or in close proximity to the site area will be studied and upgraded as necessary by the applicant where appropriate. The associated geotechnical submissions should be submitted to GEO for comment in accordance with the relevant ETWB/DEVB circulars in future;
- (f) to note the comments of the Director of Environmental Protection (DEP) that:
 - (i) to follow the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites";
 - (ii) to follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs). If septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of ProPECC PN 1/23 "Drainage Plans subject to Comment by the Environmental Protection Department" including completion of percolation test and certification by Authorized Person;
 - (iii) to provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - (iv) to meet the statutory requirements under relevant environmental legislation;

- (g) to note the comments of the Chief Engineer/Mainland North (CE/MN, DSD) on the submitted drainage proposal:
- (i) that the overland flow from the adjacent lands should not be affected;
 - (ii) the existing drainage facilities, to which the stormwater of the development from the Site would discharge, are not maintained by his office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made. Also, DSD noticed that the proposed drainage connection(s) to the surrounding/downstream area(s) will run through other private lot(s). The applicant shall demonstrate that the proposed drainage construction / improvement / modification works and the operation of the drainage can be practicably implemented;
 - (iii) to provide record that the concerned private lot owners agreed the proposed discharge connection;
 - (iv) to provide site photos to show latest condition and existence of the drainage facilities which receive the discharge from the Site;
 - (v) to clarify whether any walls or hoarding would be erected along the site boundary. Where walls or hoarding are erected/ laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site;
 - (vi) the proposed drains should be shown in the cross sections;
 - (vii) standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit;
 - (viii) sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities;
 - (ix) the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc; and
 - (x) the applicant(s) shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the application site(s);
- (h) to note the comments of the Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD) that the Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) "Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai Areas - Investigation", which is the Investigation Study and jointly commissioned by the Planning Department and CEDD. The implementation and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change. The applicant should be reminded that the Site may be resumed at any time during the planning approval period for potential development project and advised not to carry out any substantial works therein;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- (i) in consideration of the design/nature of the application, the applicant is advised to submit

a declaration form together with relevant FS 251 for approval;

- (ii) the applicant is reminded that if the application will involve the erection of enclosed structures, the aforesaid declaration form will no longer be applicable while the applicant is required to submit relevant layout plans incorporated with proposed FSIs to his Department for approval;
 - (iii) notwithstanding the introduction and implementation of the Declaration Form by his Department effective 2 July 2025, the FS related Approval Conditions, i.e. the submission of an FSI proposal and the implementation of FSI, should be incorporated into the application. The submission of a completed Declaration Form alongside valid FS251 will be considered equivalent to compliance with the relevant Approval Conditions; and
 - (iv) if the proposed structures are required to comply with the Buildings Ordinance (Cap. 123) (BO), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Building Surveyor/New Territories West (CBS/NTW), BD that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
 - (iii) before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (iv) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings and are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage.

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tpbpd/PLAND

寄件者: [REDACTED]
寄件日期: 2025年11月07日星期五 2:43
收件者: tpbpd/PLAND
主旨: A/YL-LFS/577 DD 129 Lau Fau Shan
類別: Internet Email

A/YL-LFS/577

Lots 1703 (Part) and 1704 (Part) in D.D. 129, Lau Fau Shan, Yuen Long

Site area: About 880sq.m

Zoning: "Res (Group E)"

Applied use: Open Storage of Construction Machinery / 1 Vehicle Parking

Dear TPB Members,

On 23 May you approved without question a similar application 546 for adjoining lots. This despite a similar application 508 being rejected on 15 Mar 2024.

Members rubberstamped 546, no questions asked and despite objections from local residents.

BOTH APPLICATIONS WERE SUBMITTED LONG AFTER AMENDMENTS TO TPB PG-No. 13G (Revised April 2023)

Approval of 546 has now encouraged further applications for brownfield on Res E.

Members have displayed an irrational approach to the decision process.

THE COMMUNITY HAS A RIGHT TO DEMAND CLARIFICATION AS TO WHY A LAND USE IS NOT CONSIDERED APPROPRIATE ONE DAY BUT IS APPROVED THE NEXT.

The application should be rejected as the public was led to understand that the revisions to 13G were focussed on Agriculture Zoning.

Mary Mulvihill