

此文件在 2025年 11月 25日 收到
只會在收到所有必要的資料及文件後才正式確認收到
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This document is received on 2025-11-25
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.
*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- * "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
- ⌘ Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2802899

11/14

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-TT/753
	Date Received 收到日期	2025-11-25

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Man Sing Taxi & Public Light bus Co. Ltd

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	DD116 LOT 972 (Part)
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	☒ Site area 地盤面積 715 sq.m 平方米 ☐ About 約 ☒ Gross floor area 總樓面面積 383.2 sq.m 平方米 ☐ About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	 sq.m 平方米 ☐ About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/YL-TT/20
(e) Land use zone(s) involved 涉及的土地用途地帶	AGR
(f) Current use(s) 現時用途	臨時辦公室及私人停車場(只限的士及小巴) 連附屬貯物用途 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別																									
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)																									
(a) Proposed use(s)/development 擬議用途/發展	臨時辦公室及私人停車場(只限的士及小巴) 連附屬貯物用途 (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)																								
(b) Effective period of permission applied for 申請的許可有效期	☒ year(s) 年 3 ☐ month(s) 個月																								
(c) Development Schedule 發展細節表 <table border="0"> <tr> <td>Proposed uncovered land area 擬議露天土地面積</td> <td>415</td> <td>.....sq.m</td> <td>☒ About 約</td> </tr> <tr> <td>Proposed covered land area 擬議有上蓋土地面積</td> <td>300</td> <td>.....sq.m</td> <td>☒ About 約</td> </tr> <tr> <td>Proposed number of buildings/structures 擬議建築物/構築物數目</td> <td>7</td> <td>.....</td> <td></td> </tr> <tr> <td>Proposed domestic floor area 擬議住用樓面面積</td> <td>0</td> <td>.....sq.m</td> <td>☒ About 約</td> </tr> <tr> <td>Proposed non-domestic floor area 擬議非住用樓面面積</td> <td>383.2</td> <td>.....sq.m</td> <td>☒ About 約</td> </tr> <tr> <td>Proposed gross floor area 擬議總樓面面積</td> <td>383.2</td> <td>.....sq.m</td> <td>☒ About 約</td> </tr> </table>		Proposed uncovered land area 擬議露天土地面積	415	sq.m	☒ About 約	Proposed covered land area 擬議有上蓋土地面積	300	sq.m	☒ About 約	Proposed number of buildings/structures 擬議建築物/構築物數目	7			Proposed domestic floor area 擬議住用樓面面積	0	sq.m	☒ About 約	Proposed non-domestic floor area 擬議非住用樓面面積	383.2	sq.m	☒ About 約	Proposed gross floor area 擬議總樓面面積	383.2	sq.m	☒ About 約
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Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) *請參照場地設計圖*																									
Proposed number of car parking spaces by types 不同種類停車位的擬議數目 <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>2</td> <td>.....</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>.....</td> <td>.....</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td>.....</td> <td>.....</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td>.....</td> <td>.....</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td>.....</td> <td>.....</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>1 - TAXI</td> <td>.....</td> </tr> <tr> <td></td> <td>1 - GMB</td> <td>.....</td> </tr> </table>		Private Car Parking Spaces 私家車車位	2		Motorcycle Parking Spaces 電單車車位			Light Goods Vehicle Parking Spaces 輕型貨車泊車位			Medium Goods Vehicle Parking Spaces 中型貨車泊車位			Heavy Goods Vehicle Parking Spaces 重型貨車泊車位			Others (Please Specify) 其他 (請列明)	1 - TAXI			1 - GMB				
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Proposed number of loading/unloading spaces 上落客貨車位的擬議數目 <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td>.....</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td>.....</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td>.....</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td>.....</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td>.....</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>.....</td> </tr> </table>		Taxi Spaces 的士車位		Coach Spaces 旅遊巴車位		Light Goods Vehicle Spaces 輕型貨車車位		Medium Goods Vehicle Spaces 中型貨車車位		Heavy Goods Vehicle Spaces 重型貨車車位		Others (Please Specify) 其他 (請列明)													
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Proposed operating hours 擬議營運時間 早上10:00至晚上8:00 (星期一至四)			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 朗河路及通往辦公室的未命名路 ☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) ☐	
	No 否		
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	☐ Please provide details 請提供詳情 No 否 ☒	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	☐ (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) ☐ Diversion of stream 河道改道 ☐ Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 ☐ About 約 Depth of filling 填塘深度 m 米 ☐ About 約 ☐ Filling of land 填土 Area of filling 填土面積 sq.m 平方米 ☐ About 約 Depth of filling 填土厚度 m 米 ☐ About 約 ☐ Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 ☐ About 約 Depth of excavation 挖土深度 m 米 ☐ About 約 No 否 ☒	
	No 否		
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 Yes 會 ☐ No 不會 ☒ On traffic 對交通 Yes 會 ☐ No 不會 ☒ On water supply 對供水 Yes 會 ☐ No 不會 ☒ On drainage 對排水 Yes 會 ☐ No 不會 ☒ On slopes 對斜坡 Yes 會 ☐ No 不會 ☒ Affected by slopes 受斜坡影響 Yes 會 ☐ No 不會 ☒ Landscape Impact 構成景觀影響 Yes 會 ☐ No 不會 ☒ Tree Felling 砍伐樹木 Yes 會 ☐ No 不會 ☒ Visual Impact 構成視覺影響 Yes 會 ☐ No 不會 ☒ Others (Please Specify) 其他 (請列明) Yes 會 ☐ No 不會 ☒		

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可) 該地方購買時已是平地多年，沒有任何影響。
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas	
位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	☐ The permission does not have any approval condition 許可並沒有任何附帶條件 ☐ Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 ☐ Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： Reason(s) for non-compliance: 仍未履行的原因： (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	☐ year(s) 年 ☐ month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

本公司受元朗南影響下，原有的地方需要歸還給政府，需要另尋地方繼續經營現有業務，而現時申請的地方正適合本公司繼續經營辦公室及公司車輛停泊處，將現有的業務轉移到現時申請的地方，希望貴署能盡快處理有關申請及在不影響其他人的情況下，繼續經營相關業務。

現附上相關圖片A：有關貨櫃的擺放位置。

而本人是第二次申請，有關所需的第一次申請要求，已全部滿足，只是時間上的差異靈需要重新申請。

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會對本申請所提交的資料作全數複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

(Handwritten Signature)
MAN SING TAXI AND PUBLIC LIGHT BUS COMPANY LIMITED
文升的士小巴有限公司

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

TAM WAI YIN

MANAGER

Name in Block Letters
姓名 (請以正楷填寫)

Position (if applicable)
職位 (如適用)

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

17 Nov 2025

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	DD116 LOT 972 (Part)
Site area 地盤面積	715 sq. m 平方米 ☒ About 約 (includes Government land of 包括政府土地 sq. m 平方米 ☐ About 約)
Plan 圖則	S/YL-TT/20
Zoning 地帶	AGR
Type of Application 申請類別	☒ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 ☒ Year(s) 年 3 ☐ Month(s) 月 ☐ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 ☐ Year(s) 年 ☐ Month(s) 月
Applied use/ development 申請用途/發展	臨時辦公室及私人停車場(只限的士及小巴) 連附屬貯物用途

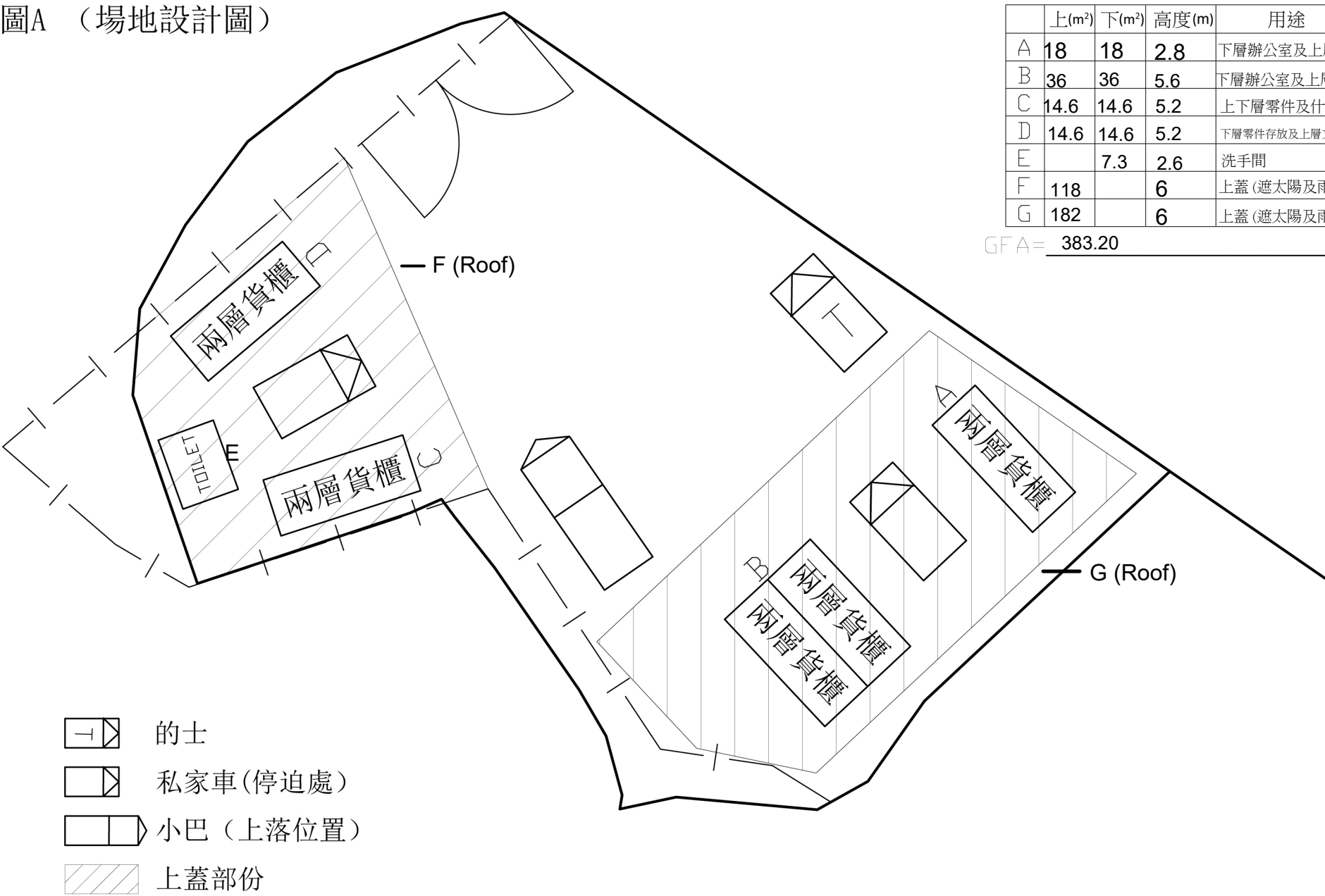
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	☐ About 約 ☐ Not more than 不多於	☐ About 約 ☐ Not more than 不多於
	Non-domestic 非住用	383.2 ☒ About 約 ☐ Not more than 不多於	0.54 ☒ About 約 ☐ Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	7	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	_____ m 米 ☐ (Not more than 不多於)	
		_____ Storeys(s) 層 ☐ (Not more than 不多於)	
	Non-domestic 非住用	6 m 米 ☒ (Not more than 不多於)	
		2 Storeys(s) 層 ☒ (Not more than 不多於)	
(iv) Site coverage 上蓋面積	42 % ☒ About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) TAXI _____ GMB _____		4 2 1 1
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☒	☐
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☐
Sectional plan(s) 截視圖	☐	☐
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他（請註明）	☒	☐
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	☐	☐
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他（請註明）	☐	☐
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

圖A （場地設計圖）

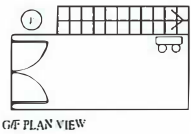
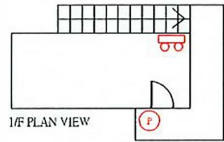


1. GENERAL

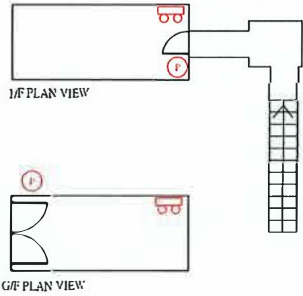
- 1 SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH 'BS 5266-PART 1 :2016 AND BS EN 1838 :2013', FSD CIRCULAR LETTER 4/2021.
- 2 PORTABLE FIRE FIGHTING APPLIANCES SHALL BE PROVIDED AT POSITIONS AS INDICATED ON LAYOUT PLAN. IN ACCORDING TO CODES OF PRACTICE FOR MINIMUM FIRE SERVICES INSTALLATIONS AND EQUIPMENT.

NO STORAGE OF DANGEROUS GOODS WITHOUT THE PERMISSION BY THE DIRECTOR OF FIRE SERVICES ANY INTENDED STORAGE OR USE DEFINED IN CHAPTER 295 OF THE LAWS OF HONG KONG SHOULD BE NOTIFIED TO THE DIRECTOR OF FIRE SERVICES.

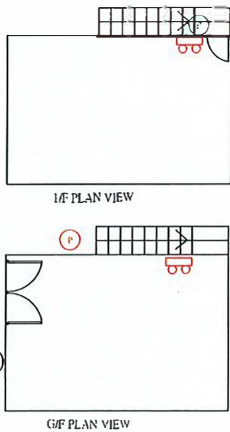
兩層高有蓋附屬寫字樓
6.1米(長) x 2.44米(闊) x 5.18米(高)



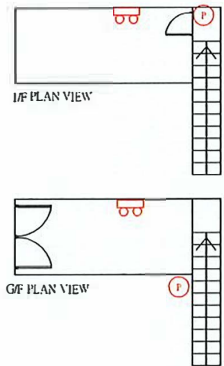
兩層高有蓋附屬寫字樓
6.1米(長) x 2.44米(闊) x 5.18米(高)



兩層高有蓋附屬寫字樓
6.1米(長) x 4.88米(闊) x 5.18米(高)



兩層高有蓋附屬寫字樓
6.1米(長) x 2.44米(闊) x 5.18米(高)



LEGEND

- (CO2) 5KG CO2 FIRE EXTINGUISHER
- (SB) SAND BUCKET
- (P) 5KG DRY POWDER FIRE EXTINGUISHER
- Emergency Light

Equipments specifications are following
Code of Practice
September 2022 13thVersion



FSI Contractor :
Hang Yue Engineering Consultants Limited
恒裕工程顧問有限公司 RC 1/432 , RC 2/606

Address :
LOT 972(Part) in D.D. 116,
Yuen Long

Title :
F.S. Layout Plan

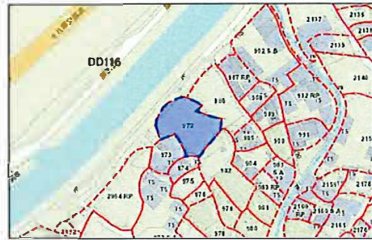
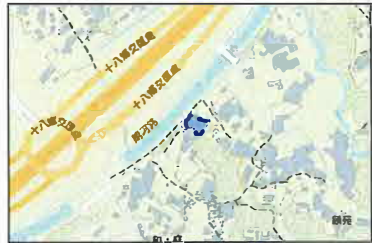
Drawn By :
Isaac Wong
Signature :

Checked By :
Anky Lee
Signature :

Drawing No :
E-W003CI
Scale :
1:100 (A1)

Rev :
4
Date :
14-JAN-2025

Location Plan:



改為臨時寫字樓及停車場(連附屬貯物用途)的申請
TPB ref: TPB/A/YL-TT/753

DD116 Lot 972 Vehicle Park

DRAINAGE PROPOSAL

Ref N° : DH/138

Issue : 6

Date : 18/06/2025

Application No.: TPB/A/YL-TT/753

Drainage Proposal for Temporary Office and Private Vehicle Park

CONTENTS

- 1.0 SCOPE OF WORK
- 2.0 DESCRIPTION
 - 2.1 SITE & LOCATION
 - 2.1.1 SIMPLE SITE
 - 2.2 EXISTING STORMWATER DRAINS,
STREAMCOURSES, PIPES ETC.
 - 2.3 DRAINAGE NETWORK WITH PROPER
DISCAHRGE POINT
 - 2.4 EARTH FILLING AND SURFACE PAVING
 - 2.5 RUN-IN / RUN-OUT
 - 2.6 BOUNDARY FENCE / BOUNDARY WALL
 - 2.7 OBSERVATION
- 3.0 DRAINAGE PROPOSAL & IMPROVEMENT
 - 3.1 MAINTENANCE & IMPROVEMENT PROPOSAL
- 4.0 CONCLUSION
- 5.0 REFERENCE DRAWINGS

Compiled by:



.....
Desmond Huang, IEAust CIHT
(Civil Engineer, MIEAust No. 120889)

<i>DD116 Lot 972 Vehicle Park</i>		
DRAINAGE PROPOSAL	Ref N° : DH/138	Issue : 6
		Date : 18/06/2025
Application No.: TPB/A/YL-TT/753		

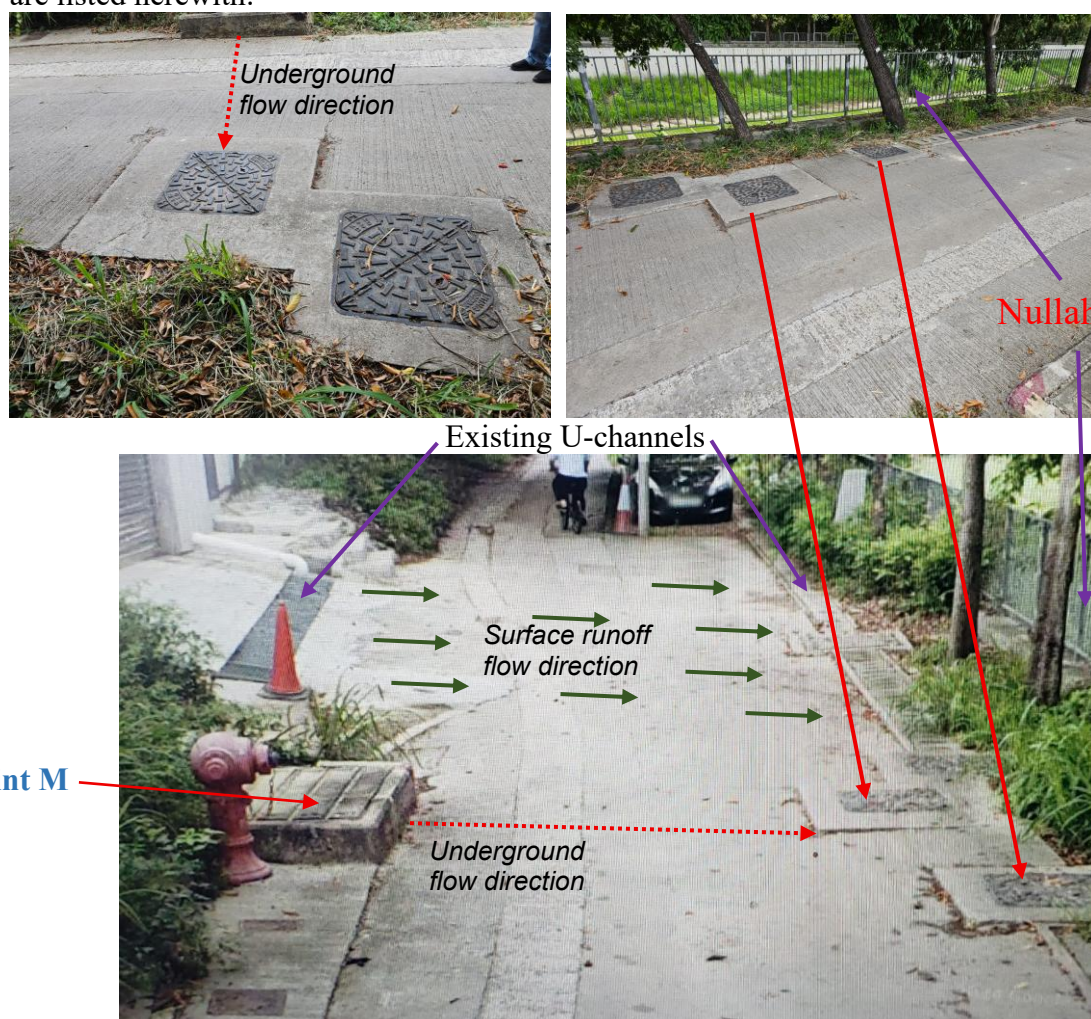
Comments of the CE/MN of DSD:

- i) Please make reference to the latest Technical Note No.1 issued by DSD for more details in preparing the drainage proposal.
- ii) Please provide a drainage plan showing all the existing and proposed drainage system on the drainage plan for comments. The gradients and the sizes of the proposed/existing drainage facilities should be shown on the drainage plan. Please also provide site photos to demonstrate the presence and condition of all existing drainage facilities for review.
- iii) The cover levels and invert levels of the proposed u-channels, catchpits/sand traps should be shown on the drainage plan.
- iv) Besides, the drainage plan should be clearly indicated the full alignment of the discharge path from the application site all the way down to the ultimate discharge point (e.g. A well-established stream course/public drainage system). Peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands.
- v) According to Photo 2, the existing 300mm u-channel was covered with timber, which is not desirable to intercept the overland flow from the adjacent lands. Please review.
- vi) Referring to R-to-C, it is noted that no wall or hoarding to be erected or laid along the site boundary under this planning application. Please clearly indicate the above on the drainage plan for clarify. Besides, please confirm if any site formation/levelling works to be carried out under this application. If affirmative, the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given in cross section drawing for clarity.
- vii) According to Photo E, it is not a typical sand trap or provision alike. Please be reminded that sand trap or provision alike should be provided inside the application site before the collected runoff is discharged to the public drainage facilities. Please make reference to DSD's standard drawing (DS 1025B) for the provision of sand trap for your information.
- viii) The existing 300mm channel, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant(s) shall resolve any conflict/disagreement arisen for discharging the runoff from the application site(s) to the proposed discharge point(s). In the case that it is a local village drains, DO/YL should be consulted. Moreover, the applicant(s) should ensure that this drainage system and the existing downstream drains/channels/streams have adequate capacity to convey the additional runoff from the application site(s). Regular maintenance should be carried out by the applicant(s) to avoid blockage of the system.
- ix) Standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit/sand trap.
- x) The development should neither obstruct overland flow and nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.
- xi) The applicant should resolve any conflict/disagreement with relevant lot owner(s) and seek permission from DLO/YL for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government Land, where required, outside the application site(s).

<i>DD116 Lot 972 Vehicle Park</i>		
DRAINAGE PROPOSAL	Ref N° : DH/138	Issue : 6
		Date : 18/06/2025
Application No.: TPB/A/YL-TT/753		

Client Responses:

- i) Technical Note No.1 issued December 2024 has been used as a reference guideline for this drainage proposal.
- ii) Please refer to **Drawing No. 6** of the overall Drainage Plan.
The gradients and sizes of the existing drainage facilities are also shown on the drainage plan; the existing gradient is 1:24 approximately towards the existing nullah.
Relevant site photos to demonstrate the presence condition of existing drainage system are listed herewith:



The photos show the drainage system is part of the Yuen Long Bypass Floodway (DC/2022/06) which is to collect the stormwater runoff from the premise.\

The existing Yuen Long Bypass Floodway takes the capacity of water runoff from the site as shown in **Drawing No. 8** herewith.

- iii) The cover levels and invert levels of the existing u-channels and modified catchpit are as shown on the drainage plan on **Drawing No.s 6 and 7**.
- iv) **Drawing No. 6**, the Drainage Plan shows the full alignment with Invert Levels and existing Ground Levels from **points A to B, C, D, F (and from E to F), K, G, L, M** then to the final discharge point of the nullah.

DD116 Lot 972 Vehicle Park

DRAINAGE PROPOSAL

Ref N° : DH/138

Issue : 6

Date : 18/06/2025

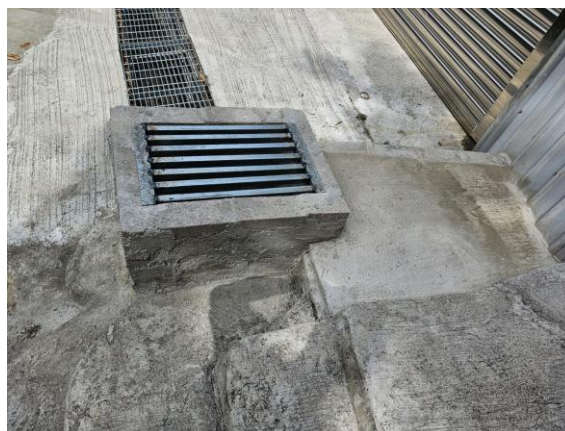
Application No.: TPB/A/YL-TT/753

- v) The existing 300mm u-channel as shown on Photo 2 was covered by timber board as to temporarily protect the channel from falling dirt and mud alongside the verge which belongs to Lands Department purview.
The owner has contacted the Yuen Long District of Lands Department to cleanse the u-channel and provide the grating cover permanently.
At the moment the owner conducts the cleansing regularly by himself as to maintain the good of the u-channel.



The above photos were taken early May 2025 showing the said timber board was removed from the 300mm u-channel and the u-channel is now adequately in service.

- vi) Please note that no site formation was carried out in the history, therefore no construction of wall / structural hoarding is under this application at all.
So, it is confirmed that there is no site formation/levelling works to be carried out under this application.
- vii) Yes, Photo E indicated a nonstandard catchpit which was constructed by previous land owner.
Instruction was given to the new owner to modify the catchpit early May 2025.
Below please find the modification of the said catchpit:



The nonstandard catchpit was modified as on 28 May 2025 as shown on **Drawing No. 7**

- viii) The owner has made several contacts with Yuen Long District Office of Lands Department for the maintenance of the existing 300mm u-channel, their Term

DD116 Lot 972 Vehicle Park

DRAINAGE PROPOSAL

Ref N° : DH/138

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Application No.: TPB/A/YL-TT/753

Contractor has performed grass trimming and u-channel cleansing since last year after the new owner (the Applicant) took over the property.
However, the owner emphasized that their staff had also maintained the good condition of the u-channel regularly since the purchased of the land so far.

ix) The cross-sectional details of the existing 300mm u-channel and the catchpit are shown on **Drawing No.s 6 and 7** respectively for reference.

x) A further site inspection was carried out on 18 May 2025.

The existing drainage system is directly discharging the stormwater into the nullah (see above R-C Point ii), the existing village drains is working adequately for years and has no report on flooding after interviewed the local people living nearby.



The existing village drains functioning well and Lands Department has Term Contractor to clear the ditch and drains frequently.

xi) An interview with neighbour on 18 May 2025 found out that there is no disagreement with the existing drainage system at all, and there is no conflict with other private lots as well as the Government Land.



Government Land was preserved well so far.

<i>DD116 Lot 972 Vehicle Park</i>		
DRAINAGE PROPOSAL	Ref N° : DH/138	Issue : 6
		Date : 18/06/2025
Application No.: TPB/A/YL-TT/753		

1.0 SCOPE OF WORK

This proposal has been prepared and updated as to suit with the contemporary condition of the site as to accommodate the stormwater drainage using the existing u-channel and catchpit to cater the capacity of volume of flow.

This is to demonstrate the existing and proposed drainage facilities to prevent potential flooding caused by the inclement weather.

DSD Technical Note No. 1 (Dec 2024) has been used as a step-by-step guideline in preparation of this drainage proposal accordingly.

2.0 DESCRIPTION

The site has existing drainage facilities built by the former owner years ago.

This drainage proposal is divided into two parts: Existing Formation and Proposed Improvement.

2.1 Site and Location

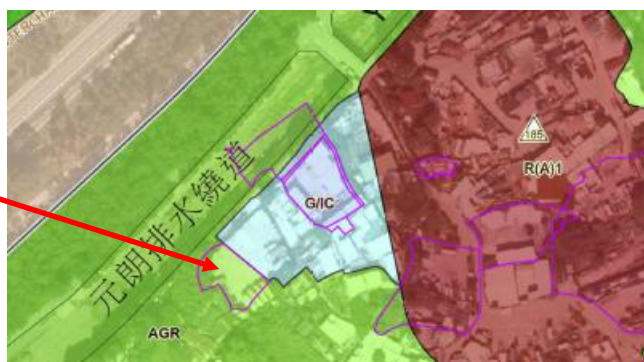
The site with existing concrete pavement for years before hand overed to new owner.

This concrete pavement site is less than 1 ha in size and which is not fall within the flood-prone areas (areas not as low-lying areas and flooding blackspots) and not in the pond filling or substantial earth filled area.

Therefore, the drainage requirements for this site are normally basic, a typical drainage proposal is needed as this is classified as a *simple site*.

2.1.1 Simple Site

DD116 LOT 972



Picture 1 Map of Land Uses

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In front of the subject there is s **Nullah called Yuan Long Drainage Bypass (元朗排水繞道)** which is connected to the existing U-channel along roadside for the stormwater discharge from Lot 972 particularly



Photo 1: Roadside existing U-Channel

Two sides around the subject is the agriculture lands as shown in green color in *Picture 1* with Lots 973, 974 and 982 respectively with a high ground are now being used as storage sites, the temporary structures.

The other side of the subject is the proposed governmental development project as shown in blue color in *Picture 1*.

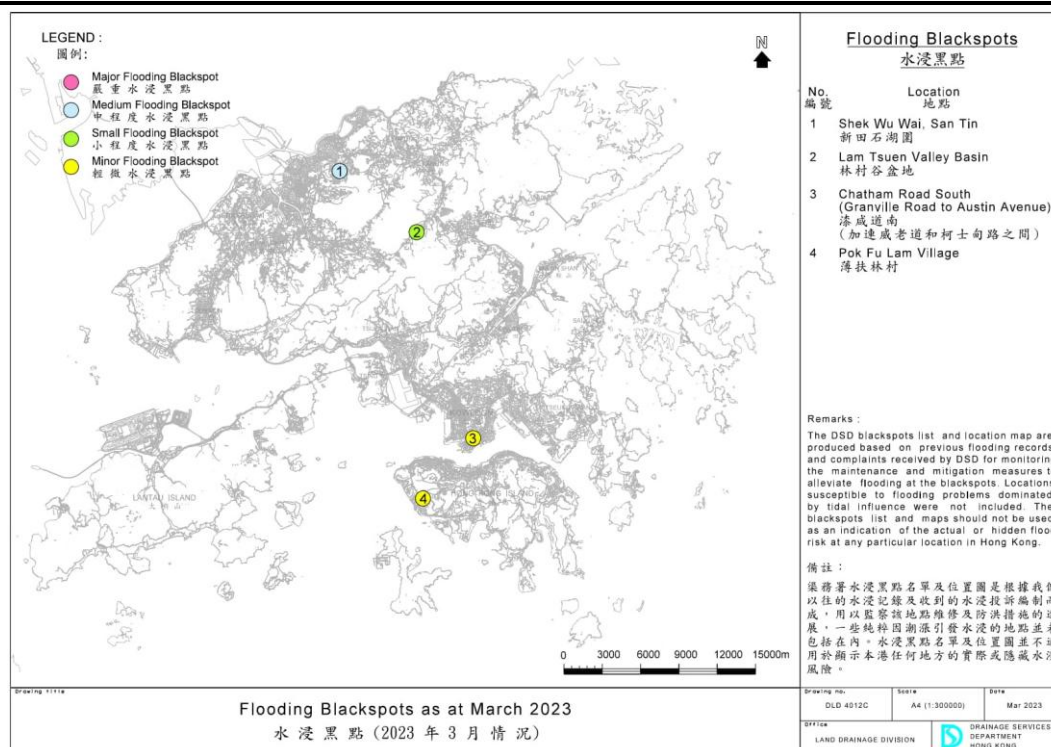
2.2 Existing Stormwater Drains, Stream courses, Pipes etc.

The existing overall drainage works of the said area was constructed by previous owner of the property before the premise was transacted to the new owner for the use of temporary office and private vehicle park.

Upon the site investigation in February 2024 the said premise already has existing 300mm drainage open channel established earlier.

The said premise with **total area less than one (1) hectare** and which **is not within the flood area (or so called the ‘Blackspot’)** in the history (refer to *Picture 2* below).

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Picture 2: the Flooding Blackspot

Also, it is understandable that the area is **not backfilled from a pond or a low land.**

The area has existing level with almost 8m approximately above sea level that is **providing a free surface run-off** to the existing 300mm U-Channel (refer to Drawing No. 04), stormwater in the area is to be collected by an existing 300mm U-channel before discharging to the existing roadside catchpit then onto the existing nullah which was constructed in 2002 under DSD Project DC/2002/06 **The Construction of Yuen Long Bypass Floodway.**



Photo 2: An existing 300mm open channel along the roadside before discharge into the public catchpit for the Nullah which is outside the private lot.

Please note: the timber board was removed on 23 May 2025 (refer to R-C Point V)

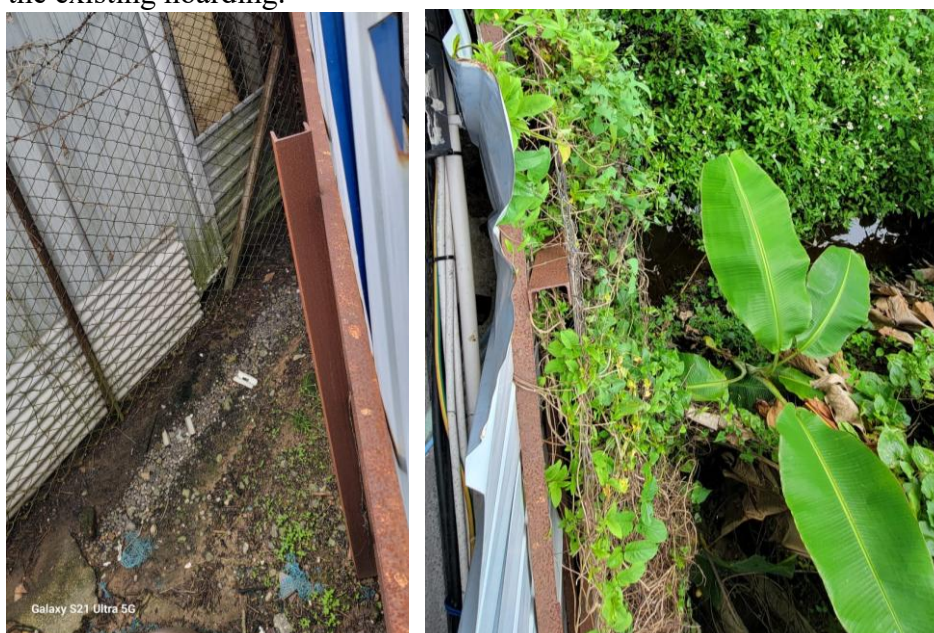
(Photo taken in February 2024, the **timber board is now no longer existed**)

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Photo 3: existing 300mm open channel
The outlet non-standard catchpit was modified in May 2025

Overland flow from adjacent lots has been observed that there is no obstruction by the existing hoarding.



Photos 4 & 5: Natural streams collect the stormwater from the adjacent lots into countryside natural channel.

The rainwater falling onto this site will be collected by the existing 300mm u-channel and the surface run-off down to another existing 300mm u-channel which is owned by DSD.

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2.3 Drainage Network with Proper Discharge Point

The existing 300mm u-channel is shown on Drawing No. 6 with yellow color, the rainwater runs along the existing u-channel from **Point A** to **Point F** will be collected into the existing 300mm uPVC pipeline from **Point F** to **Point G** before discharged into the new constructed sand trap.

The stormwater continues to run through the existing 300mm u-channel onto the manhole namely **Pont M** before fully discharge onto the nullah.

The surface run-off without obstruction from **Point B** onto **Points G, B and L** before get into Manhole named **Point M** then fully discharge onto the nullah (the surface run-off is shown on Drawing No. 4 in red arrows).

2.4 Earth Filling and Surface Paving

The site is not an earth filled site.

The site is a concrete pavement with impervious surface which increase the surface run-off capability and durability.

The concrete surface is fined grade that providing a positive rainfall surface run-off with a gradient greater than 1:200 approximately.

2.5 Run-in / Run-out

The existing u-channel alongside the site is 300mm in size and the underground drain pipeline is also DN300 in diameter. There is no blockage has been observed at each points say **Point F**, **Point G** and **Point M** respectively.

2.6 Boundary Fence / Boundary Wall

This site has no boundary fencing and wall at all but only has existing metal hoarding which was erected by the previous owner. A site survey was taken in early 2024 to check the ground levels and invert levels of the existing u-channel and the concrete pavement.

There are spaces underneath of the existing hoarding which allows excessive rainwater to pass through when applicable.

2.7 Observation

On 6th April 2024 the area was under the attack of a thunderstorm and heavier shower, almost 40mm of rainfall was recorded by the Hong Kong Observatory.

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However, no flooding around the site was reported at all, the surface discharge at the area is functioning well.

Obviously, the existing drainage 300mm open channel is working excellently as to provide stormwater discharge along the Lot boundary during the thunderstorm on 6th April.

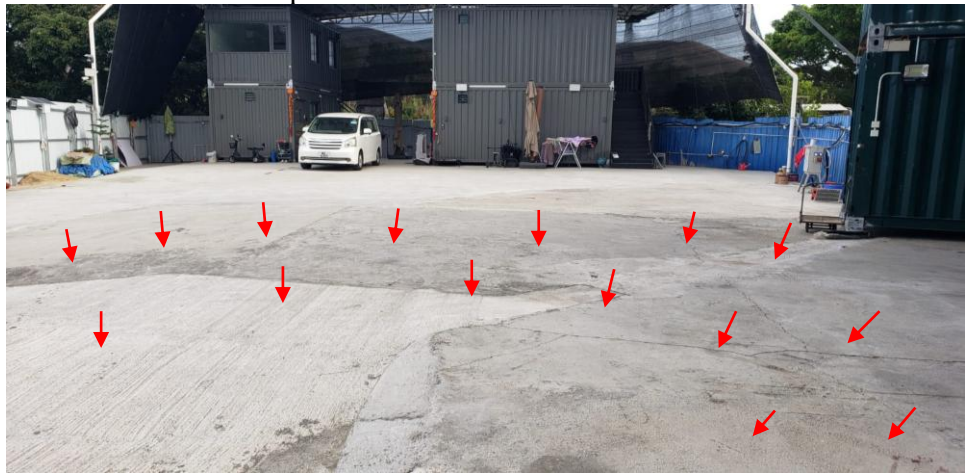


Photo 6: Directions of surface run-off



Photo 7: Series showing the 300mm open channel along the site boundary



Photo 8: Minimum 30mm spacing for water flow underneath of hoarding

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3.0 Drainage Proposal and Improvement

Since the drainage facilities are well developed years ago before the purchasing of the property. The maintenance of the existing drainage system is therefore important and considered seriously.

3.1 Drainage Maintenance & Improvement Proposal

Drawing No.04 shows the downstream alignment of existing 300mm open channel facilitating the surface water runs off to the existing 300mm open channel before ends up at the natural countryside channel surrounding.

The flow direction of surface runoff is shown on **Drawing No.04** that the existing concrete pavement profile provides a smooth water runoff into the existing U-channel and then the catchpit. Therefore, the pavement surface has to be well maintained and no broken or damages to be occurred during the rainy season.

Since the said premise has some areas having gradient greater than 1:200 (providing the area is $500 < 949.2 \text{ s.m} < 1200$) a 300mm U-channel is therefore to be maintained accordingly. **(Refer to Technical Note No. 1)**

Hence the existing 300mm U-channel is satisfactorily capable to cater the area surface run-off, the channel inside and outside the site have to be free from any obstruction such as dirt, rubbishes and wastes etc.

4.0 CONCLUSION

1. The flow direction of the open channel has been indicated clearly on **Drawing No. 04**, the surface water run off is in gradient of 1:200 or greater;
2. No right angle or greater (90-degree angle) of the open channel has been observed on site;
3. The 300mm surface channel around the site discharges the surface water into the existing U-channel accordingly without disturbing the overall water run-off;
4. The overall setting out of the drainage system on the site has been constructed by previous owner but not this owner regardingly;

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5. The surrounding facilities such as the natural countryside channel and the nullah, the no flooding result which proved that the area has excellent water discharge system remarkably;
6. The non-standard sand trap at **Point G** has been modified accordingly in May 2025 to suit the request of DSD's comment.

5.0 Reference Drawings

Drawing No. 01: Location Map

Drawing No. 02: Site of DD116 Lot 972

Drawing No. 03: Planning Layout

Drawing No. 04: Direction of Surface Run-Off

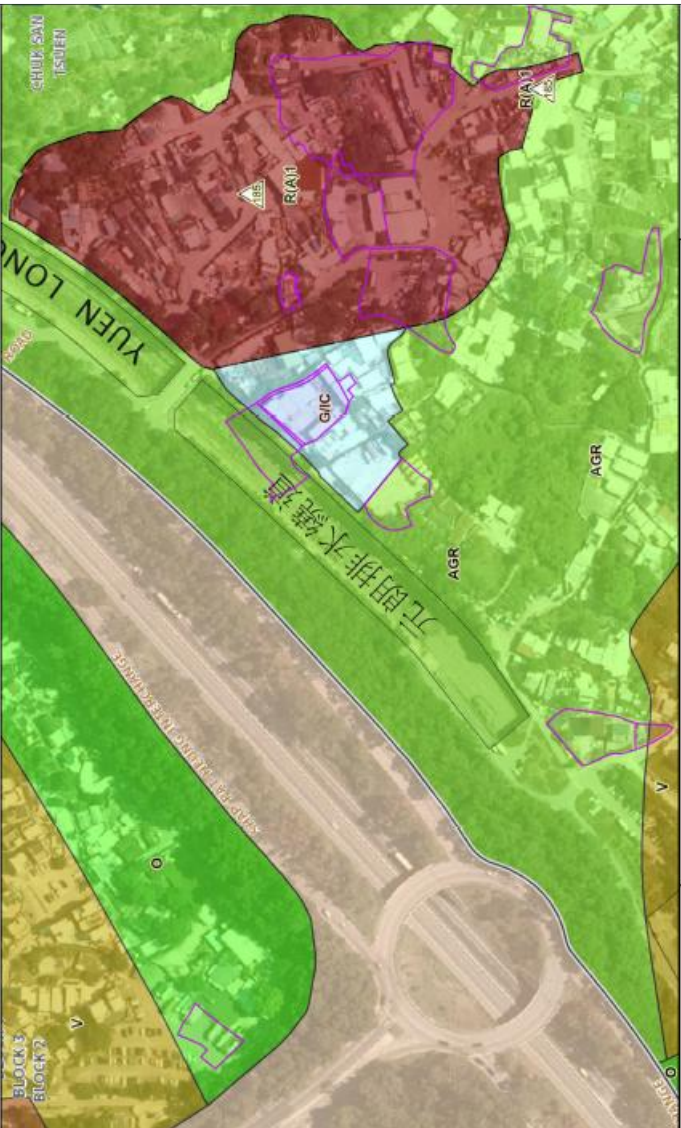
Drawing No. 05: Topographical Survey

Drawing No. 06: Cross Sections with Drainage Table

Drawing No. 07: Modification of Non-standard Catchpit (Point G)

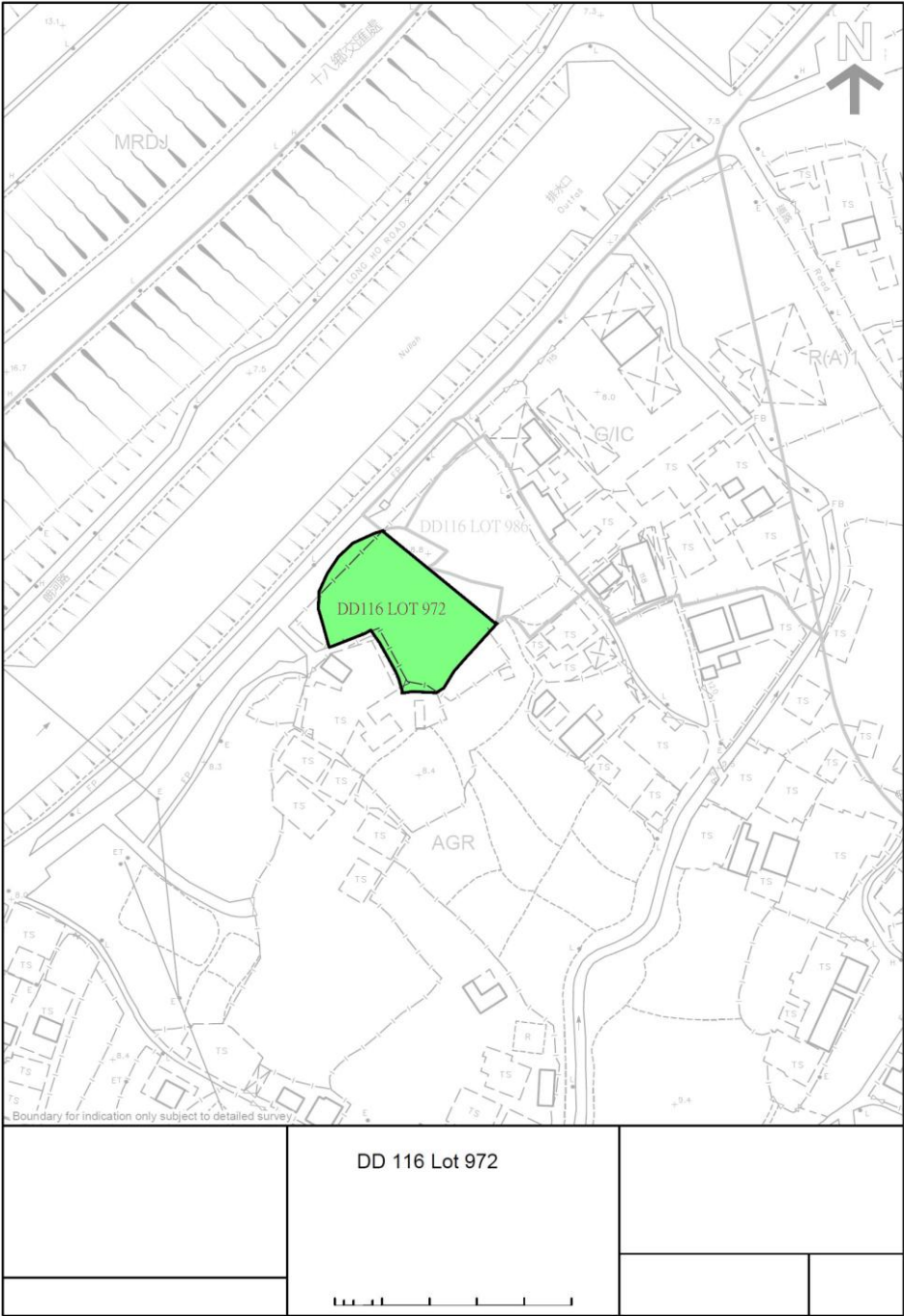
Drawing No. 08: Yuen Long Bypass Floodway (DC/2002/06)

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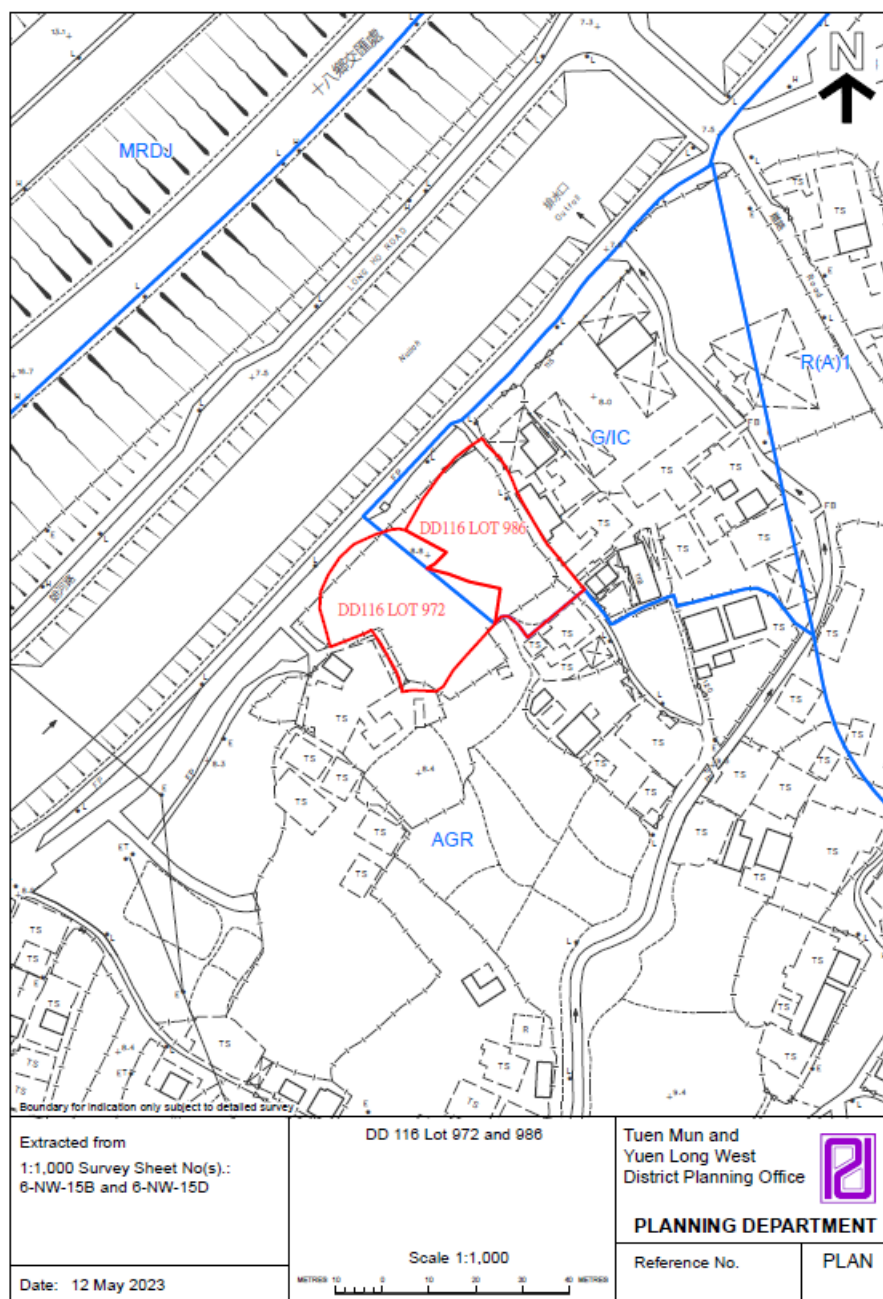
Drawing No. 01: Location Map

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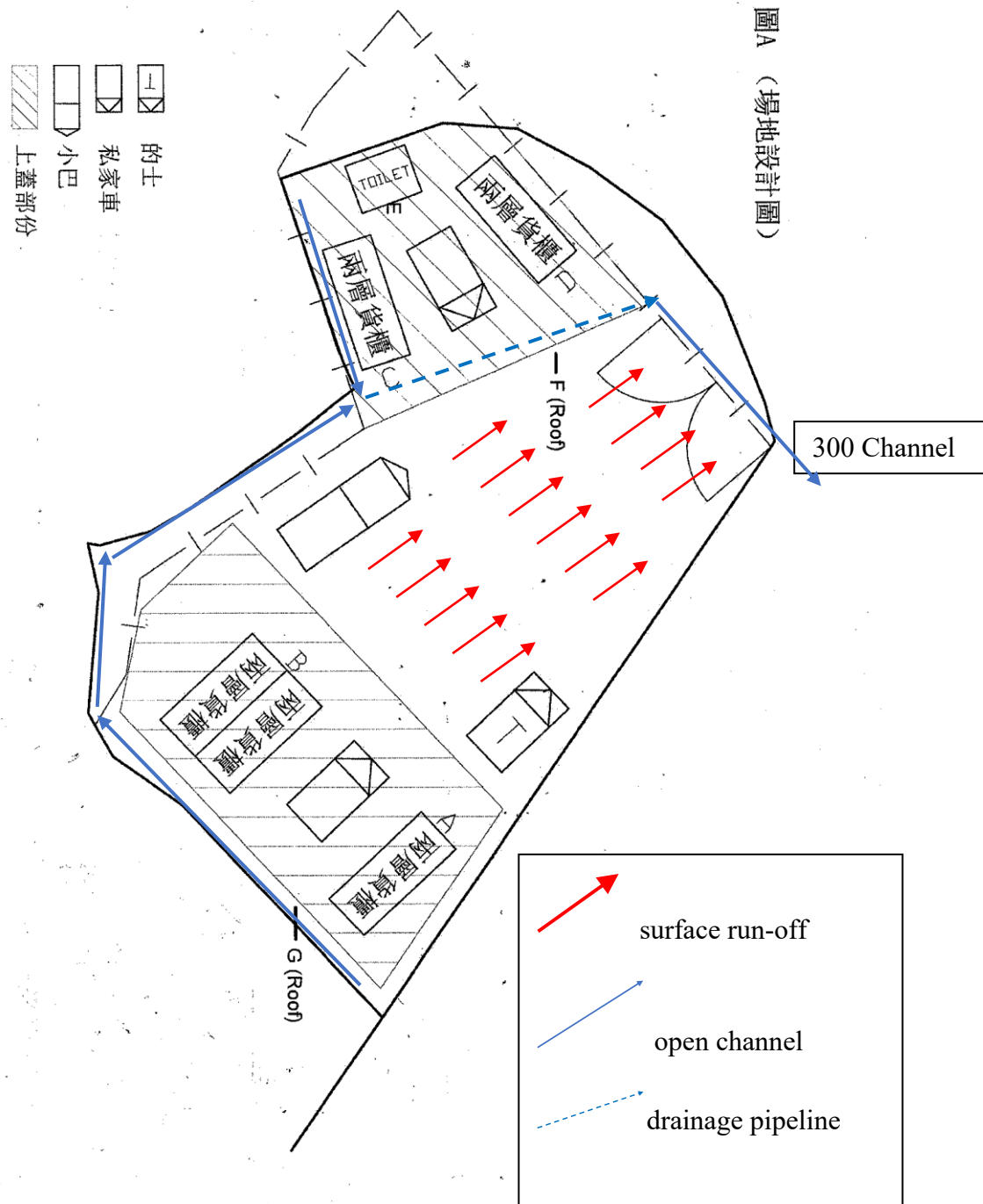
Drawing No. 02: Site of DD116 Lot 972

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Drawing No. 03: Planning Layout

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Drawing No. 04 Direction of Surface Run-Off

DD116 Lot 972 Vehicle Park

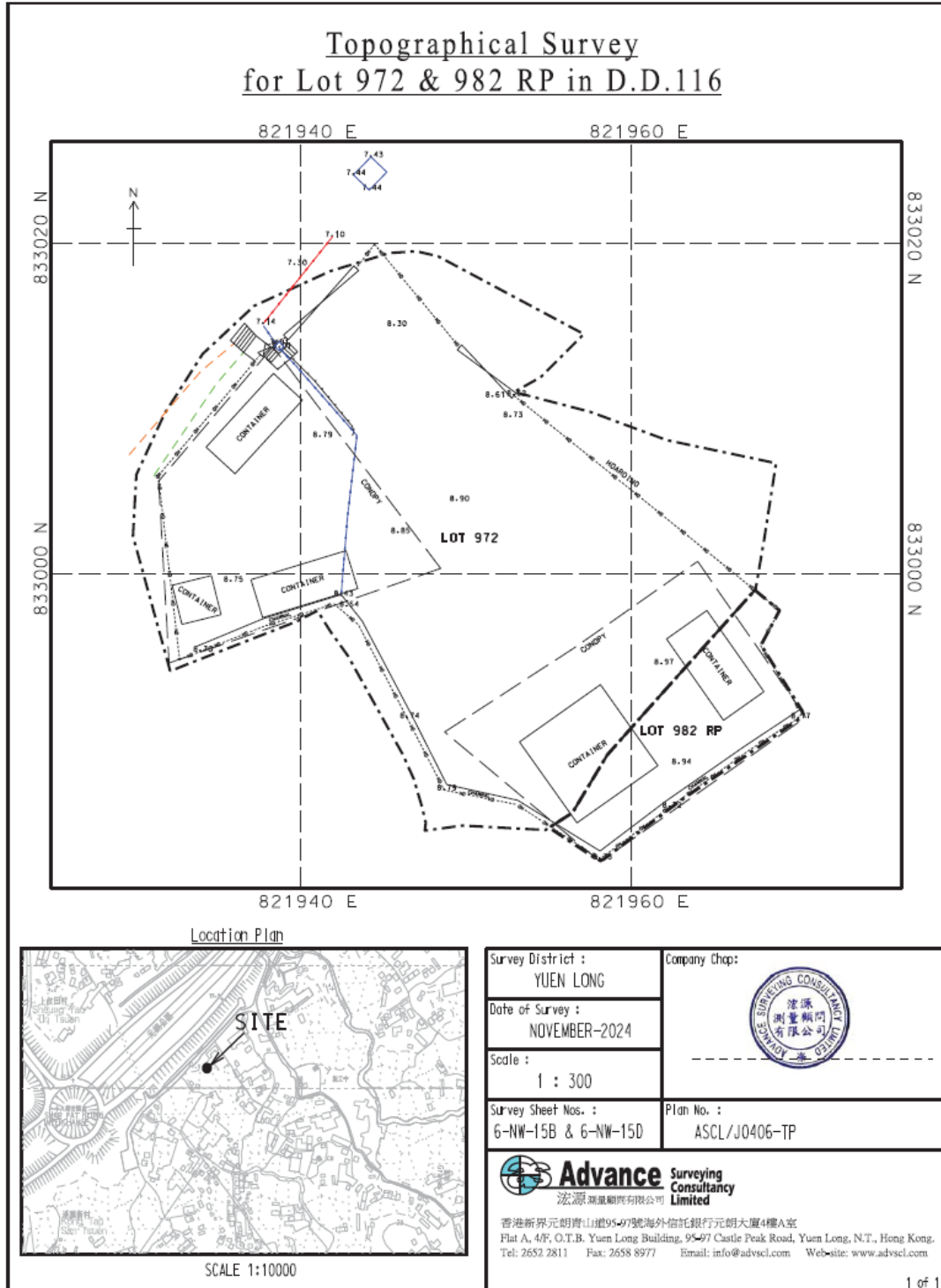
DRAINAGE PROPOSAL

Ref N^o : DH/138

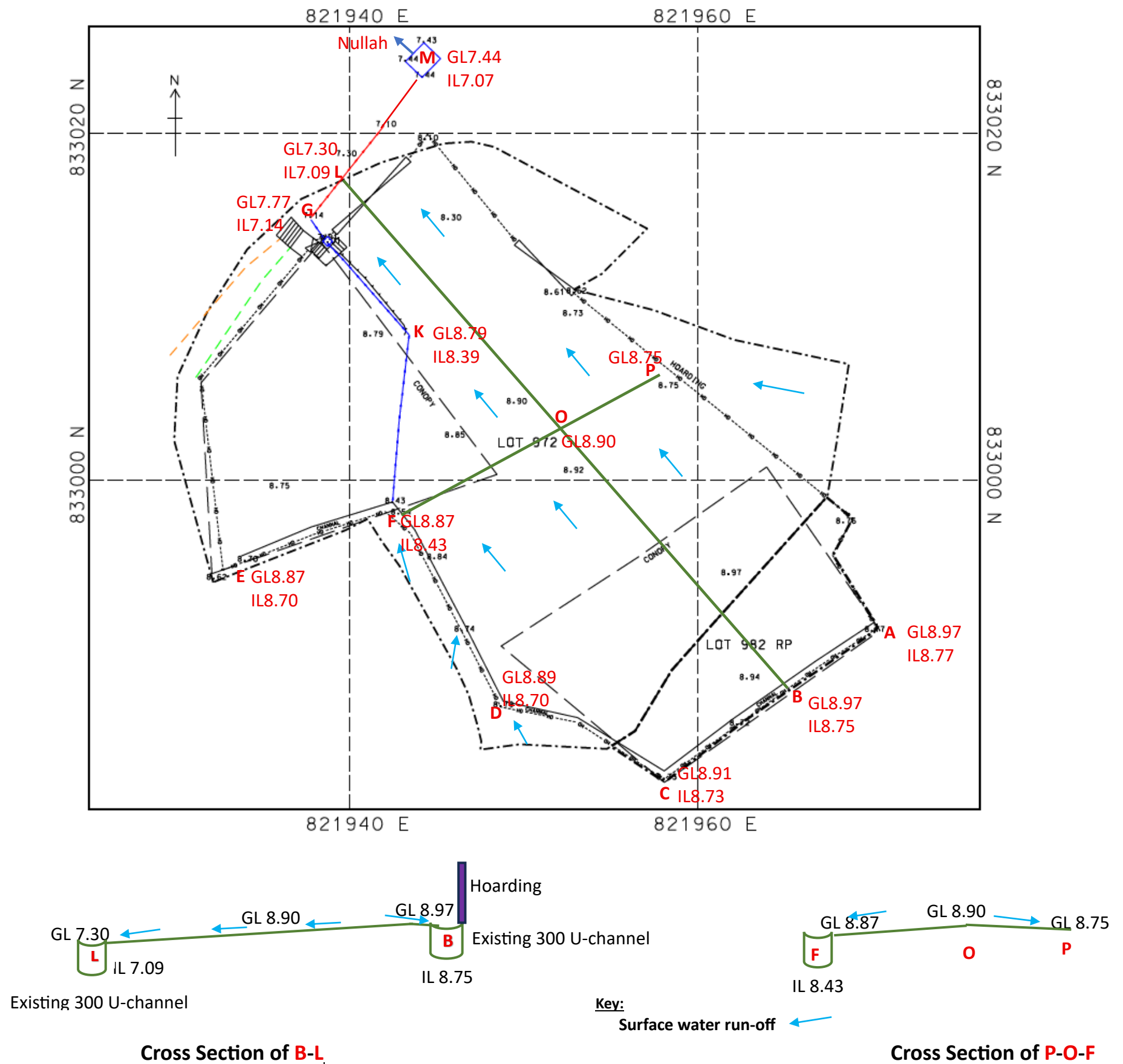
Issue : 6

Date : 18/06/2025

Application No.: TPB/A/YL-TT/753



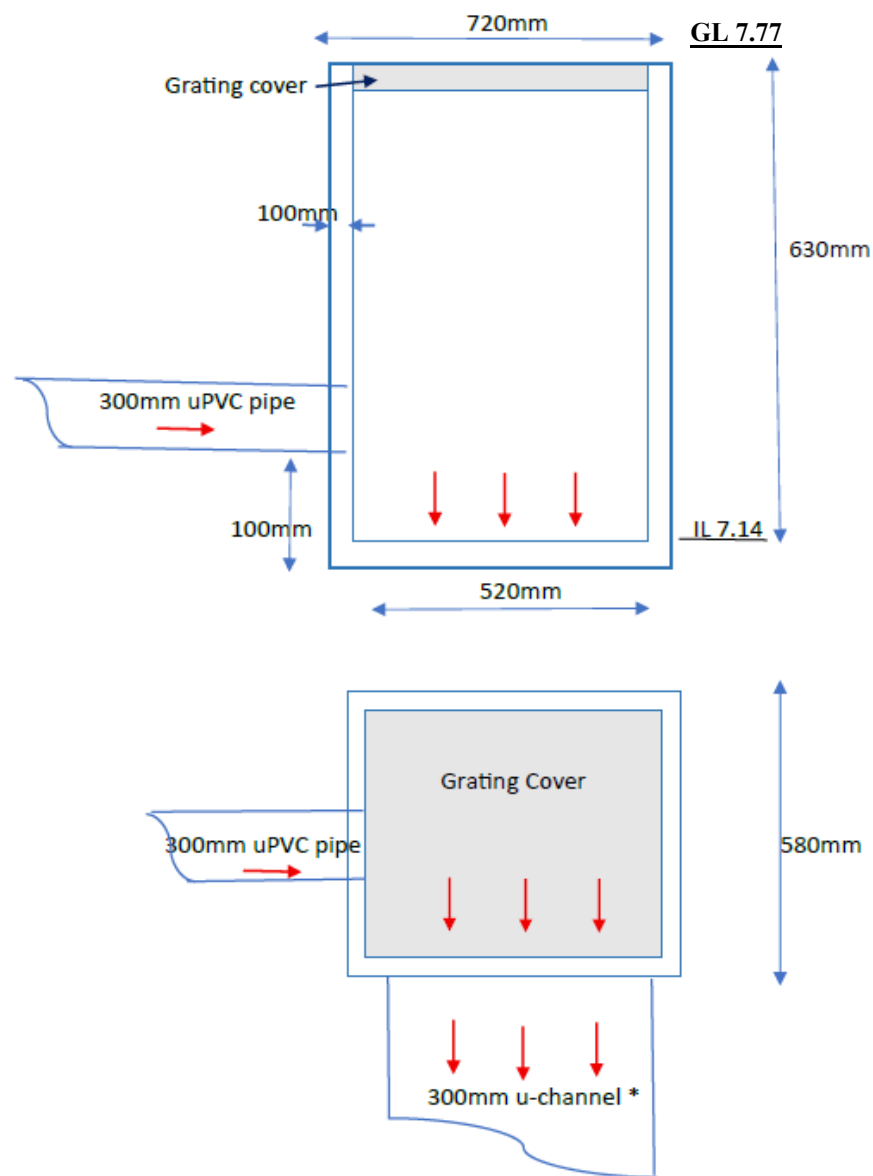
Drawing No. 05 Topographical Survey



Drawing No. 06 The Cross Sections with Drainage Table (NTS)

Points		Upstream		Downstream		Length (m) (Approximately)	Remark	Responsible Party
		GL (mPD)	IL (mPD)	GL (mPD)	IL (mPD)			
A	B	8.97	8.77	8.97	8.75	6.0	Open Chennel	Owner
B	C	8.97	8.75	8.91	8.73	14.4	Open Chennel	Owner
C	D	8.91	8.73	8.89	8.70	10.0	Open Chennel	Owner
O	P	8.90	-	8.75	-	7.2	Surface Runoff	Owner
O	F	8.90	-	8.87	8.43	9.0	Surface Runoff	Owner
E	F	8.87	8.70	8.87	8.43	9.6	Open Chennel	Owner
D	F	8.89	8.70	8.87	8.43	13.0	Open Chennel	Owner
F (Inlet)	K	8.87	8.43	8.79	8.39	9.2	300 uPVC Pipe	Owner
K	G (Catchpit)	8.79	8.39	7.77	7.14	8.6	300 uPVC Pipe	Owner
G	L	7.77	7.14	7.30	7.09	3.6	Cover Grating Channel	Owner
B	L	8.97	8.75	7.30	7.09	38.0	Surface Runoff	Owner
L	M (Manhole)	7.30	7.09	7.44	7.07	6.8	Covered Chennel	Lands/DSD
M	Nullah	7.44	7.07	-	-	3.2	Underground Pipeline	DSD

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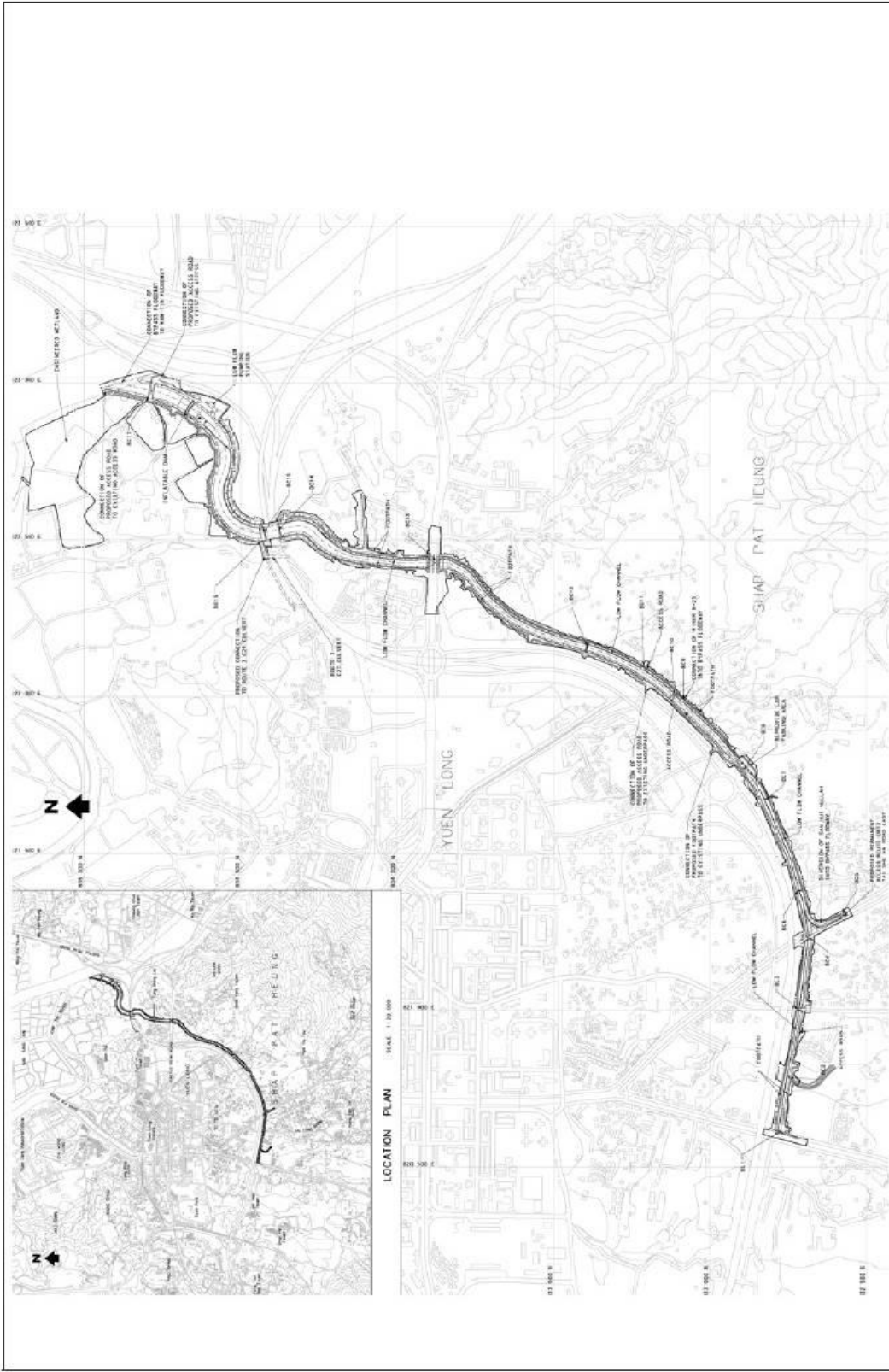
Key:  flow direction

Note: * 300mm u-channel with 25mm chamfer edge

(Not to Scale)

Drawing No. 7 Modification of Non-standard Catchpit at Point G

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Title	CINOTECH		
	Scale	N.T.S	Project No. MA2049
		Date 2006	Figure 1.1

Drawing No. 08 Yuen Long Bypass Floodway (DC/2022/06)

From: [REDACTED]
Sent: Friday, November 28, 2025 1:45 PM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: TT/753

現補上附加文件作備份，煩請代為處理。
渠務文件一份及消防文件一份。

本人是第二次申請，而根據上一次申請的發展參數是同一樣，沒有任何改變，在上次申請中，消防的事項中已達到了合格要求及確認，由於在渠務上的時間使用太多，排水問題上未能得到完全的共識，就算最後得到渠務處完全接納合格要求及確認的情況下，亦因申請許可的時間上有所差異，才要重新入紙申請，希望貴署在是次申請上協助本人盡快完成，萬分感謝！

寄件者: Tam Gary [REDACTED]
寄件日期: 2026年03月10日星期二 13:11
收件者: tpbpd/PLAND
副本: Kevin Ting Hong LAM/PLAND
主旨: A/YL-TT/753 Departmental Comments (回應部門意見)

類別: Internet Email

**Appendix Ib of RNTPC
Paper No. A/YL-TT/753B**

第一點：

Comments from EPD (Contact Person: Mr. FONG, Tel: 2835 2164)

Please confirm whether the toilet indicated in the layout plan is portable toilet, if affirmative, whether licensed collectors will be arranged to collect and dispose the sewage and waste from the proposed use. If not, please advise whether septic tank and soakaway system will be provided. If affirmative, whether the septic tank and soakaway system will be designed and constructed according to the requirements of EPD's ProPECC PN 1/23, including requirements for minimum clearance distance, percolation test and certification by Authorized Person.

本公司現作出以下回應：

該洗手間為流動洗手間，主要給公司現時3名工作人員使用，多為排解小事情而設置，並不經常性使用，而本公司會定期找合資格人士，平均4個月至半年時間會做一次。

第二點：

本公司現作出以下回應：

就有關土地上的問題，該使用的地方在本公司購買時已作出土地平整，現是次申請中目的是規管化原有的填土。

寄件者: Tam Gary [REDACTED]
寄件日期: 2026年06月15日星期一 14:34
收件者: tpbpd/PLAND
副本: Kevin Ting Hong LAM/PLAND
主旨: TT/753 - 補交資料
附件: 1.pdf; 2.pdf; 3.pdf; 4.pdf
類別: Internet Email

補充說明:

1. 現時已使泥混凝土做了填土，厚度約0.2米，用途作土地平整及車輛運轉使用。
2. 有關遷移的原因：本公司選擇該地點的主要原因，主要本公司的服務對像為元朗區的市民，服務的地方與公司相近，內部的員工有合適的公共交通服務方便員工上班及下班，方便員工取車。
3. 而現時選址與原本大棠TT471的申請的地址大小相約。
4. 該申請地點為臨時性質，不會破壞農業地帶用途的長遠規劃意向。
5. 本人亦希望遞交申請表格的替換頁，已反映是次申請的填土安排。

煩請代為處理，謝謝幫忙。

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/YL-TT/20
(e) Land use zone(s) involved 涉及的土地用途地帶	AGR
(f) Current use(s) 現時用途	臨時辦公室及私人停車場(只限的士及小巴)連附屬貯物用途及相關填土工程 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at . (DD/MM/YYYY), this application involves a total of . “current land owner(s)”[#].
根據土地註冊處截至 . 年 . 月 . 日的記錄，這宗申請共牽涉 . 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of “current land owner(s)”[#].
已取得 . 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	臨時辦公室及私人停車場(只限的士及小巴)連附屬貯物用途及相關填土工程 (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	☒ year(s) 年 3 ☐ month(s) 個月
(c) Development Schedule 發展細節表 Proposed uncovered land area 擬議露天土地面積 415sq.m ☒ About 約 Proposed covered land area 擬議有上蓋土地面積 300sq.m ☒ About 約 Proposed number of buildings/structures 擬議建築物／構築物數目 7 Proposed domestic floor area 擬議住用樓面面積 0sq.m ☒ About 約 Proposed non-domestic floor area 擬議非住用樓面面積 383.2sq.m ☒ About 約 Proposed gross floor area 擬議總樓面面積 383.2sq.m ☒ About 約 Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) *請參照場地設計圖*	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目 Private Car Parking Spaces 私家車車位 2 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) 1 - TAXI 1 - GMB	
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間 早上10:00至晚上8:00 (星期一至日)			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))	
	No 否	☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	☐ Please provide details 請提供詳情	
	No 否	☒	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	☒ (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍)	
		☐ Diversion of stream 河道改道 ☐ Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 ☐ About 約 Depth of filling 填塘深度 m 米 ☐ About 約 ☒ Filling of land 填土 Area of filling 填土面積 715 sq.m 平方米 ☒ About 約 Depth of filling 填土厚度 0.2 m 米 ☒ About 約 ☐ Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 ☐ About 約 Depth of excavation 挖土深度 m 米 ☐ About 約	
	No 否	☐	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境	Yes 會 ☐	No 不會 ☒
	On traffic 對交通	Yes 會 ☐	No 不會 ☒
	On water supply 對供水	Yes 會 ☐	No 不會 ☒
	On drainage 對排水	Yes 會 ☐	No 不會 ☒
	On slopes 對斜坡	Yes 會 ☐	No 不會 ☒
	Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒
	Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒
	Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒
	Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒
	Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☒

Gist of Application 申請摘要 (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	DD116 Lot 972 (Part)
Site area 地盤面積	715 sq. m 平方米 ☒ About 約 (includes Government land of 包括政府土地 sq. m 平方米 ☐ About 約)
Plan 圖則	S/YL-TT/20
Zoning 地帶	AGR
Type of Application 申請類別	☒ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 ☒ Year(s) 年 <u>3</u> ☐ Month(s) 月 <u> </u> ☐ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 ☐ Year(s) 年 <u> </u> ☐ Month(s) 月 <u> </u>
Applied use/ development 申請用途/發展	臨時辦公室及私人停車場(只限的士及小巴)連附屬貯物用途及相關填土工程

Previous S.16 Application covering the Application Site

Approved Application

	<u>Application No.</u>	<u>Development(s)/Use(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-TT/605	Temporary Office and Private Vehicle Park for a Period of 3 Years	8.12.2023 [Revoked on 8.6.2025]

Government Departments' General Comments

1. Traffic

Comments of the Chief Highway Engineer/New Territories West, Highways Department:

- No adverse comment on the application from highways maintenance perspective.
- Advisory comments as detailed in **Appendix IV**.

2. Environment

Comments of the Director of Environmental Protection:

- No objection to the application.
- No environmental complaint concerning the application site (the Site) was received in the past three years.
- Advisory comments as detailed in **Appendix IV**.

3. Drainage

Comments of the Chief Engineer/Mainland North of Drainage Services Department:

- No in-principle objection to the application from the public drainage point of view and no adverse comment on the submitted drainage proposal provided that all existing drains/watercourse should be maintained and the overland flow from adjacent lands should not be affected.
- For any change of existing ground level and associated works proposed by the applicant that could affect adjacent land and cause other impacts and/or other issues to public, the applicant should be required to submit technical assessment(s) in other aspect(s) and seek comment from relevant departments as necessary.
- Should the application be approved, conditions should be stipulated in the approval letter requiring the applicants to implement and maintain the agreed drainage proposal for the development to the satisfaction of the Director of Drainage Services or of the Town Planning Board.
- Advisory comments as detailed in **Appendix IV**.

4. Fire Safety

Comments of the Director of Fire Services:

- No in-principle objection to the proposal subject to the fire service installations being provided to the Site.
- Advisory comments as detailed in **Appendix IV**.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- No objection to the application.
- Advisory comments as detailed in **Appendix IV**.

6. **Electricity Safety**

Comments of the Director of Electrical and Mechanical Services:

- No objection to the application.
- Advisory comments as detailed in **Appendix IV**.

7. **District Officer's Comments**

Comment of the District Officer (Yuen Long), Home Affairs Department:

His office has not received any comments on the application from the village representatives in the vicinity of the Site.

8. **Landscape**

Comment of the Chief Town Planner/Urban Design and Landscape, Planning Department:

The Site was already paved with temporary structures. As no existing landscape resources are observed within the Site, no significant adverse landscape impact arising from the proposed uses are anticipated.

9. **Other Departments**

The following departments have no objection to/ no comment on the application:

- Chief Engineer/Construction, Water Supplies Department;
- Project Manager (West), Civil Engineering and Development Department; and
- Commissioner of Police.

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (c) failure to reinstate the Site as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government; and
 - (ii) the lot owner(s) shall apply to LandsD for a Short Term Waiver (STW) to permit the structure(s) erect within the said private lot. The application(s) for STW will be considered by the LandsD in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
 - (i) the local track and footpath leading to the Site are not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track and footpath for using the local track and footpath as the access to the Site; and
 - (ii) sufficient manoeuvring space should be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - (i) HyD should not be responsible for maintaining any access connecting the Site and Long Ho Road; and
 - (ii) adequate drainage measures should be provided to prevent surface water running from the Site to nearby public roads and drains;
- (g) to note the comments of the Director of Environmental Protection that:
 - (i) to follow the relevant mitigation measures and requirements in the latest "Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites" issued by Environmental Protection Department to minimise the potential environmental nuisances on the surrounding areas;

- (ii) to implement appropriate pollution control measures outlined in the Professional Persons Environmental Consultative Committee (ProPECC) Practice Notes 2/24 'Construction Site Drainage' to minimise any potential environmental impacts on nearby water bodies during the construction of the project; and
 - (iii) to arrange licensed collectors to collect the sewage and waste from the Site for disposal regularly;
- (h) to note the comments of the Chief Engineer/Mainland North of Drainage Services Department (CE/MN, DSD) that:
- (i) according to photo 8 of the submitted drainage proposal, it is noted that a minimum 30mm gap will be provided at the toe of the proposed hoarding. Please note that any proposed hoarding/wall are/to be erected under this planning application should not affect the existing flow path/direction of overland flow from adjacent lands;
 - (ii) the applicant is required to carry out regular maintenance works for all the proposed/existing drainage facilities to avoid blockage of the drainage system;
 - (iii) the applicant is required to regularly review the effectiveness of the proposed drainage system and conduct adequate improvement works if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the drainage system;
 - (iv) the existing 300mm u-channel, to which the applicant proposed to discharge the stormwater from the Site was not maintained by this office. The applicant(s) shall resolve any conflict/disagreement arisen for discharging the runoff from the Site(s) to the proposed discharge point(s). In the case that it is a local village drains, District Officer/ Yuen Long, Home Affairs Department should be consulted;
 - (v) the development should neither obstruct overland flow nor adversely affected existing natural streams, village drains, ditches and the adjacent areas; and
 - (vi) the applicant should consult District Lands Officer/ Yuen Long, Lands Department and seek consent from relevant lot owner(s) for any works to be carried out outside his lot boundary before commencement of the drainage works;
- (i) to note the comments of the Director of Fire Services that:
- (i) for enclosed structure with gross floor area not exceeding 230m², only fire extinguisher and Stand-alone Fire Detector shall be provided;
 - (ii) in relation to (i) above, where two or more Stand-alone Fire Detectors are installed in an enclosed structure, all stand-alone detectors shall be interconnected (either wired or wirelessly) such that when one of the stand-alone fire detector is triggered, all connected Stand- alone Fire Detectors shall sound an alarm simultaneously;
 - (iii) the Stand- alone Fire Detector shall be provided in accordance with the "Stand-alone Fire Detector General Guidelines on Purchase, Installation & Maintenance [Sep 2021]";
 - (iv) emergency lighting is considered as self-upgrade and not a mandatory requirement by this Department;

- (v) the gross floor area of each structure shall be indicated; and
 - (vi) if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iii) for unauthorised building work (UBW) erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under the BO;
 - (iv) seven structures are proposed in the application. Before any new building works (including containers/open shed as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are UBWs under the BO. An Authorized Person should be appointed as the coordinator for the proposed building works in accordance with the BO;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings which are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage; and
- (k) to note the comments of the Director of Electrical and Mechanical Services that:

in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organising and supervising any activity near the underground cable under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans to find out whether there is any underground cable within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines.