

2024年 1月 2 3日

此文件在 收到 城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

23 JAN 2024

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

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by hnd

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/17/184
	Date Received 收到日期	23 JAN 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

THE HONG KONG JOCKEY CLUB

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

DLN ARCHITECTS LIMITED

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	48 SHAN KWONG ROAD, HAPPY VALLEY, HONG KONG I.L. 3054
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input type="checkbox"/> Site area 地盤面積 9030.000sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1605.145sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/H7/21
(e) Land use zone(s) involved 涉及的土地用途地帶	R(C)1
(f) Current use(s) 現時用途	<p>TEMPORARY "PRIVATE CLUB (RECREATION FACILITIES)"</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]遞送要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	m 米	<input type="checkbox"/> About 約
	<input type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填土厚度	m 米	<input type="checkbox"/> About 約
	<input type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of excavation 挖土深度	m 米	<input type="checkbox"/> About 約
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))			
(b) Intended use/development 有意進行的用途/發展			

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置														
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置														
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度														
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>			Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)									
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)												
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)															

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至%
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

RENEWAL OF PLANNING APPROVAL FOR TEMPORARY
"PRIVATE CLUB (RECREATION FACILITIES)" FOR A PERIOD
OF 3 YEARS

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- Proposed gross floor area (GFA) 擬議總樓面面積 1605.145 sq.m 平方米 ☒ About 約
- Proposed plot ratio 擬議地積比率 ☐ About 約
- Proposed site coverage 擬議上蓋面積 % ☐ About 約
- Proposed no. of blocks 擬議座數 1
- Proposed no. of storeys of each block 每座建築物的擬議層數 4 storeys 層
- ☐ include 包括 storeys of basements 層地庫
- ☐ exclude 不包括 storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 69.60 mPD 米(主水平基準上) ☐ About 約
- 15.10 m 米 ☐ About 約

☐ Domestic part 住用部分

GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積 sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 sq. m 平方米 ☐ About 約

☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約

☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities (please specify the use(s) and concerned land
政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

.....

.....

.....

☒ other(s) 其他

(please specify the use(s) and concerned land
area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

TEMPORARY "PRIVATE CLUB

(RECREATION FACILITIES)"

SITE AREA: 9030 SQ. M

.....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於

☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
1	LEVEL 1	SQUASH COURT, GOLF SIMULATOR ROOM, STUDIO
	LEVEL 2	UPPER PART OF SQUASH COURT, UPPER PART OF GOLF
		SIMULATOR ROOM AND UPPER PART OF STUDIO
	LEVEL 3	CHANGING ROOMS & TOILETS
	LEVEL 4	SNACK BAR, ACTIVITY ROOM, AEROBIC STUDIO, SPORTS
		EQUIPMENT KIOSK, STORES AND ANCILLARY OFFICES

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal

擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

[illegible]

8. Vehicular Access Arrangement of the Development Proposal

擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Shan Kwong Road</p> <p>.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/></p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Refer to Annex A

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



WONG MING YIM

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

DEPUTY MANAGING DIRECTOR

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

- ☐ HKIP 香港規劃師學會 / ☒ HKIA 香港建築師學會 /
☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /
☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會
☐ RPP 註冊專業規劃師
 Others 其他

on behalf of
代表

DLN ARCHITECTS LIMITED



☒ Company 公司 / ☐ Organisation 機構 Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期 11/01/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
 (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	48 SHAN KWONG ROAD, HAPPY VALLEY, HONG KONG I.L. 3054		
Site area 地盤面積	9030.000	sq. m 平方米 <input checked="" type="checkbox"/> About 約	
	(includes Government land of 包括政府土地	sq. m 平方米 <input type="checkbox"/> About 約)	
Plan 圖則	S/H7/21		
Zoning 地帶	R(C)1		
Applied use/ development 申請用途／發展	RENEWAL OF PLANNING APPROVAL FOR TEMPORARY "PRIVATE CLUB (RECREATION FACILITIES)" FOR A PERIOD OF 3 YEARS		
(i) Gross floor area and/or plot ratio 總樓面面積及／或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1605.145 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	1	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用		15.10 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
			69.60 mPD 米(主水平基準上) <input checked="" type="checkbox"/> (Not more than 不多於)
			4 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	N/A % <input type="checkbox"/> About 約		
(v) No. of units 單位數目	N/A		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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Justifications for a Three-year Extension of the Temporary Private Club (Recreational Facilities) Use for IL 3054

1. The Hong Kong Jockey Club (“HKJC”) would like to seek renewal of the last planning approval (No. A/H7/178) dated 16 April 2021 to continue the use of Inland Lot No. 3054 located at 48 Shan Kwong Road, Happy Valley (“the Site”), a private land lot purchased and wholly owned by HKJC, for Temporary Private Club (Recreational Facilities) Use (“TRU”) for a further period of 3 years to maintain the existing sports and recreational facilities (“Sports Complex”) for HKJC members while actively pursuing advance planning for the redevelopment of the Site.
2. Since the last planning approval (No. A/H7/178), there is no material change in planning circumstances, land use of the surrounding areas, or the proposed use/layout in the renewal application. The facilities, mode of operation and provisions in the Site remain unchanged. The Sports Complex has resumed normalcy after the pandemic with persistent high utilization rate for its facilities and are most patronized by members of the Club.
3. No adverse planning implication will arise from the renewal of this planning approval. Besides, the planning conditions under the previous approval have been complied with to the satisfaction of the concerned government departments, e.g. the Fire Services Department (“FSD”) under the latest FS 251.
4. Advance planning and preparatory work for the redevelopment of the Site into a residential cum sports complex (“the Project”) since the last planning approval in April 2021 and the justifications for the present renewal application are summarised below:

Assessment on the impact of pandemic and economic downturn

- (a) Despite the impact of the prolonged pandemic, HKJC has been working in earnest to pursue the Project in the past few years. As the Project is an important and major investment by HKJC, there is a need to thoroughly consider its financial, operational and technical implications.
- (b) Given the global economic downturn as well as in Mainland and Hong Kong post-pandemic, HKJC has to thoroughly re-examine the market studies and other technical studies and assessments conducted before to deliberate the optimal residential flat-mix, new facilities required, financial viability of the Project to best suit HKJC’s integrated business model for senior management approval because it will be the first time for HKJC to venture into such kind of project. HKJC has recently revisited the proposed flat mix and conducted a further business review in response to the downturn in the property market in Q4 2023.

- (c) The prolonged pandemic and the tardy recovery of the local economy have to some extent delayed the results of the market studies to enable the senior management to make an informed decision on the best development model of the Project. In fact, the delayed lifting of various pandemic precautionary measures not until end 2022 have seriously affected HKJC's business from resuming to normalcy for a better overall financial and technical assessments on a major investment decision of the Project. In terms of operational impact, though the Happy Valley New Clubhouse was officially opened for Club members' use on a much reduced scope in late October 2020, unfortunately it could only gradually run to its full scale by end December 2022. The Club was then able to start conducting detailed assessment of the impact of our New Clubhouse on the neighbourhood such as traffic impact, users' feedback on its facilities as well as focus group discussions to ascertain Club members' expectation of facility provision in the future sports complex of the Project vis-a-vis the offerings of the current Sports Complex.

Concrete actions taken to prepare for the redevelopment project

- (d) Since Q1 2022, HKJC has initiated market research and explored different development options for the Project. Against all economic uncertainties and the impact of the pandemic, to fully demonstrate HKJC's resolve and commitment to redeveloping the Site, HKJC has appointed consultants including an Authorized Person ("AP") and Registered Structural Engineer ("RSE") to conduct a number of technical studies and assessments to prepare for the Project since Q4 2022. Major assessments including Geotechnical Assessment, Tree Preservation and Removal Proposal, Sewerage and Drainage Impact Assessment, Environmental Assessment and Traffic Noise Impact Assessment have been completed. HKJC is actively pursuing a Visual Impact Assessment and a further Traffic Impact Assessment of the Project.

All the above assessments completed or being pursued fully demonstrate the importance HKJC attaches to safety, sustainability and environmental responsibility in the whole redevelopment process.

Liaison with relevant government departments

- (e) To fully prepare for the Project, HKJC has been in regular dialogues with relevant government departments including the Planning Department, Buildings Department, Transport Department ("TD"), FSD, etc. since Q2 2023 to ascertain and identify at an early stage key development parameters as well as technical constraints for redeveloping the Site such as building disposition and slope management from both environmental and geotechnical engineering perspectives. HKJC considers such early dialogues with relevant government departments conducive to the

preparatory work for the subsequent Section 16 Application to re-provision the facilities of the existing sports complex into the new residential development.

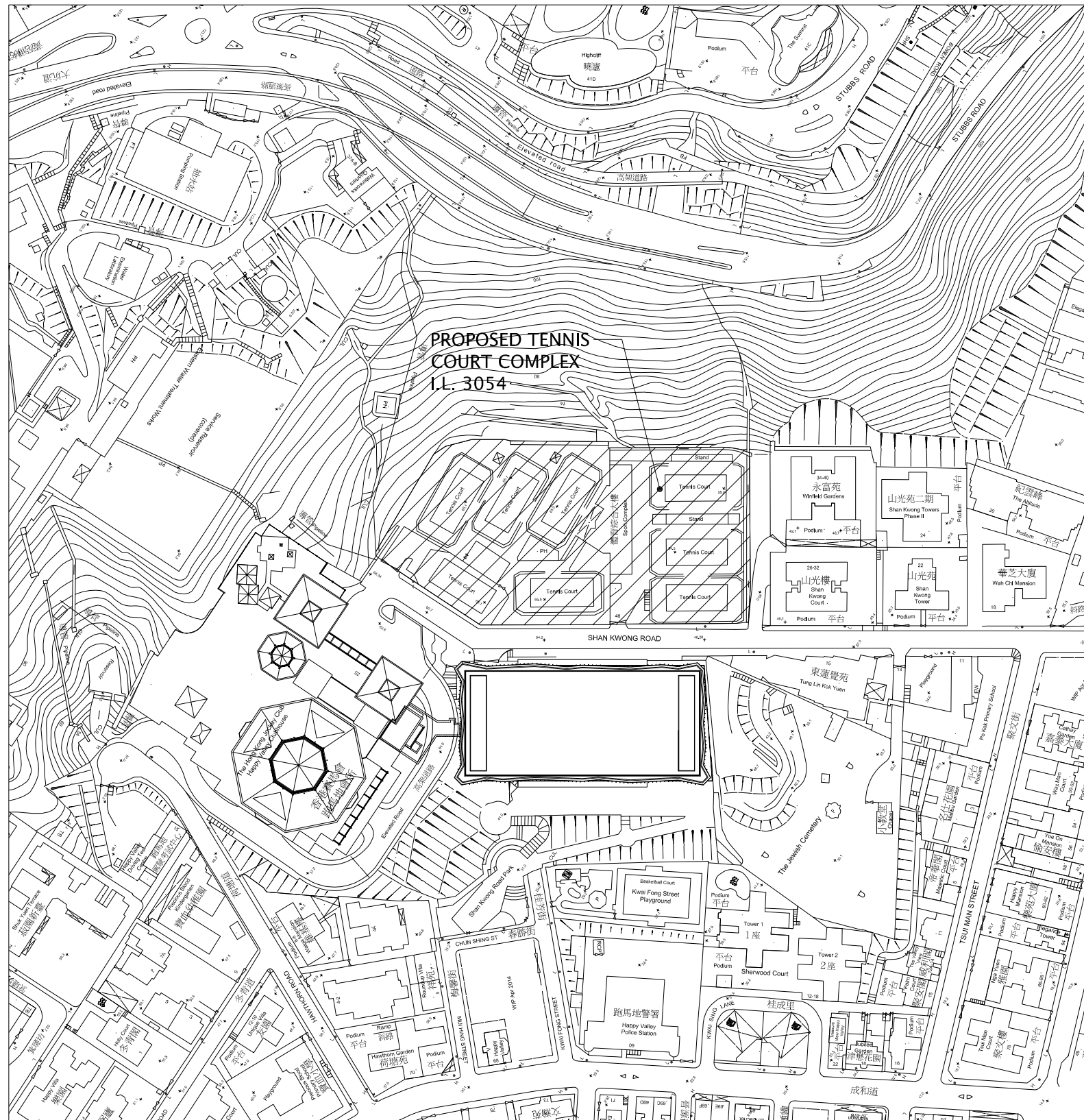
- (f) HKJC has been receiving useful and valuable feedbacks from relevant government departments on the redevelopment of the Site during the departmental discussions. Of note, HKJC has received very useful comments from TD on the traffic implications of the Project in Q4 2023. To help assess the traffic impact of the Project to the neighbourhood, HKJC is actively conducting a robust Traffic Impact Assessment to evaluate the potential traffic impact and explore possible traffic improvement means, if necessary, in light of TD's comments. HKJC is working closely with TD to complete the study in a few months' time which may have implications on the final Section 16 development scheme.

Action plans ahead

- (g) HKJC hopes that all of the above advance planning and assessments will help fine-tune the parameters and design brief for us to engage an international acclaimed architect through design competition or other procurement method with a view to finalising the Section 16 Application to the Town Planning Board for re-provisioning the current sports and recreational facilities of the Site into the redevelopment scheme of the Project by Q4 2025 according to the present planning.
- (h) The Site is situated alongside a steep slope with the Happy Valley New Club House and Happy Valley Old Club House close to the upper tip of Shan Kwong Road. The requisite advance works and a prolonged construction period (possibly by stages) are expected given the geotechnical constraints and many other engineering challenges, having regard to the safety of members and visitors to the Clubhouses as well as residents in and visitors to the neighbourhood. Meticulous planning on this Project before demolition of the existing sports complex in Q2 2027 according to the present planning is required. It is envisaged that the construction of the whole Project will take a minimum of five years to complete.
- (i) HKJC has been in close contact and regular liaison with the neighbourhood and key local stakeholders. There are no major complaints on the present recreational use.

5. Considering the time required to complete and fine-tune (i) the various studies and assessments outlined above; (ii) HKJC's internal governance process for sourcing an international design architect through design competition or other procurement method; iii) final design development and internal approval for the Project according to our current plan; and (iv) the statutory step to obtain Section 16 approval of the Project, HKJC would like to seek approval for the TRU renewal for a further period of three years.

Appendix B



BD REF :	—
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FSD REF : —

Notes :

1. MEASUREMENTS ARE BASED ON METRIC SYSTEM.
2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE.
3. DO NOT SCALE DRAWING.
4. FIGURE DIMENSIONS ARE TO BE FOLLOWED.
5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHTECT.
6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.

NO.	DATE	REVISIONS
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CLIENT:



香港賽馬會
The Hong Kong Jockey Club

PROJECT :
SPORTS COMPLEX
SHAN KWONG ROAD
I.L. 3054

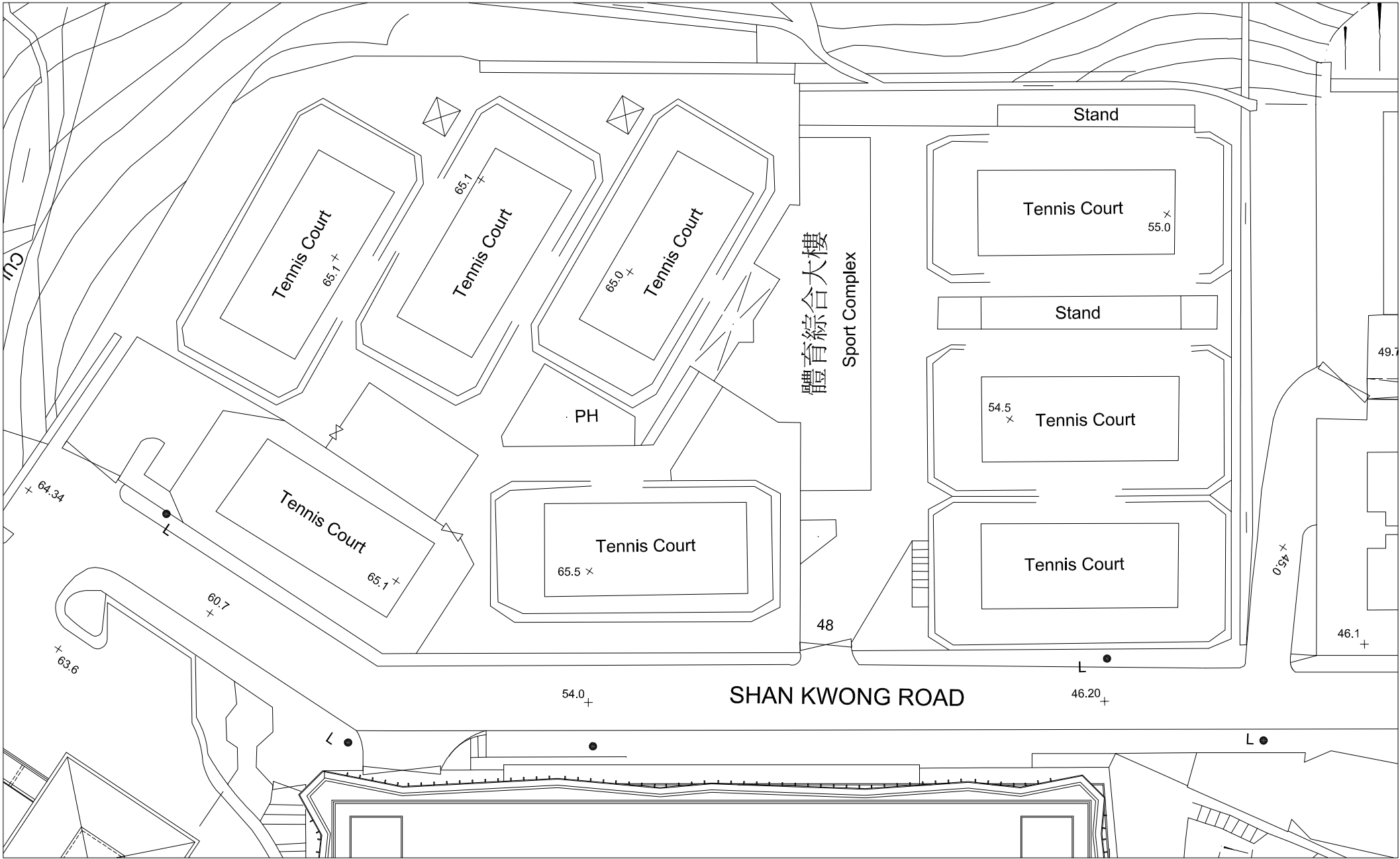
DRAWING TITLE :

SITE PLAN
(UPDATED ON 26-2-18)

DESIGNED : Gene	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : Y.W.C.	SCALE : 1: 2000 (A3)	JOB NO. —
DATE: —	REVISION : —	DRAWING NO. A-1



DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
13/F, PARKVIEW COMMERCIAL BUILDING,
9-11 SHELTER STREET, CAUSEWAY BAY, HONG KONG.
Tel : 28151929 Fax : 28150570 E-mail : dtcaa@dtcaa.com.hk



UPPER AND LOWER SITE PLAN
SCALE (1:600)

- BD REF : —
- FSD REF : —
- Notes :
1. MEASUREMENTS ARE BASED ON METRIC SYSTEM.
 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE.
 3. DO NOT SCALE DRAWING.
 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED.
 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT.
 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.

NO.	DATE	REVISIONS
CLIENT:		
 香港賽馬會 The Hong Kong Jockey Club		
PROJECT : SPORTS COMPLEX SHAN KWONG ROAD I.L. 3054		
DRAWING TITLE : UPPER AND LOWER SITE PLAN (UPDATED ON 26-2-18)		
DESIGNED : Gene	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : Y.W.C.	SCALE : 1: 600 (A3)	JOB NO. —
DATE: —	REVISION : —	DRAWING NO. A-2
 DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED 13/F, PARKVIEW COMMERCIAL BUILDING, 9-11 SHELTER STREET, CAUSEWAY BAY, HONG KONG. Tel : 28151929 Fax : 28150570 E-mail : dtcaa@dtcaa.com.hk		

GENERAL NOTES

- Dimensions not to be scaled.
- Dimensions given on drawings are to structure, unless otherwise stated.
- All foundations to be rest on solid ground.
- All R.C.C. works to be in 1:2:4 mix unless otherwise stated.
- For levels of all foundations refer to structural drawings.
- For superstructure see structural details and calculations submitted.
- For all drainage works refer to drainage plans and details.
- Water Authority requirements to be complied with for all plumbing works.
- All bath & shower room to have ceramic tiles wall and flooring.
- Treads of staircases to be not less than 225 mm and risers to be not more than 175 mm.
- Every staircases to have a clear headroom of not less than 2000 mm.
- Staircases more than 1050 mm wide to be provided with handrails on both sides.
- All beams to be at not less than 2300 mm measured from the floor to underside of beam and minimum clear height from finished floor to ceiling to be 2500 mm.
- Requirement of disable lavatory to be complied with Building Regulations.
- Artificial lighting and mechanical ventilation to be provided as indicated on plan.
- Hot water supply to bath room and shower room is from central hot water system.

FIRE SERVICE NOTES

- Fire Services HR / FH system in accordance with HKFSD Code of Practice, consisting of :

6	nos. of Hose Reel
4	nos. of Fire Hydrant

 at positions as indicated on plans.
- Portable equipment provided at locations on plan:

3	nos. 9 litre water CO ₂ F.S.
2	nos. 3 kg BCF F.S.
2	nos. bucket of sand
- Hosereel length to be 30 m, and 1 no. of F.S. Inlet to be provided at the position indicated. A water tank of capacity not less than 27000 litres to be provided to supply the FH/HR installation.
- Standard requirements for switch rooms to be complied with.
- No dangerous goods to be stored without the Authority of the Director of Fire Services.
- All electrical circuits to be protected by Miniature Circuit Breakers in lieu of conventional re-wireable fuses.
- All fire doors to be solid hardwood core of the thickness and FRP shown on the drawings. Fire doors to be held closed by self-closers (which do not have a check action that allows the door to be held open at 90°). All smoke lobby doors to have appropriate "Keep Closed" notices on both sides.
- A manual fire alarm system to be provided throughout the building and to be incorporated in the FH/HR installation.
- Parity valves shall be provided for the hydrants to maintain a pressure not exceeding 700kpa max to 400kpa min. at any one hydrant point.
- (i) Services ducts to be of substantial fire and mechanical resistant construction (i.e. brick or concrete).
(ii) Services ducts to be sealed up at point which they pass through floor and compartment walls. All inspection doors to be 59 mm hardwood selfclosing or equivalent.
- The internal diameter of each rising main of the fire services installation shall be not less than 80 mm each rising main shall supply one outlets at each hydrant point.
- All internal linings for acoustic, thermal insulation or decorative purposes shall be of Class 1 or 2 rate of surface flame spread as laid down by BS 476 of 1971 (Part 7).
- All exits as shown on the plans to be clearly indicated by illuminated "EXIT" signs in both English and Chinese characters in 125 mm height.
- A secondary electricity supply to be provided to maintain all essential services in the event of a main power failure or a fire incident.
- All elements of construction shall have an FRP not less than 1 hour.
- Building (Ventilation System) Regulations to be complied with when applicable.

INDICATION

- | | |
|--|-----------------------|
| | R.C. CONCRETE |
| | BRICK |
| | SOLID CONCRETE BLOCK |
| | HARDCORE |
| | METAL WORK |
| | WOOD WORK |
| | CERAMIC TILES |
| | CEMENT SAND RENDERING |
| | GLAZING |
| | SANITARY FITTINGS |
| | EXISTING LEVEL |
| | NEW FORM LEVEL |
| | DIRECTION OF FALL |
| | HOSE REEL |
| | FIRE HYDRANT |
| | FIRE EXTINGUISHER |
| | SPRINKLER HEAD |

DOOR MARKS

- | | |
|------|--|
| (D1) | 50mm HARDWOOD SELF-CLOSING DOOR WITH WIRED GLASS PANEL |
| (D2) | 50mm HARDWOOD SELF-CLOSING DOOR |
| (D3) | 50mm HARDWOOD SELF CLOSING INSPECTION PANEL |
| (D4) | METAL FRENCH DOOR |

FIRE SERVICE NOTES (CONT.)

- An automatic sprinkler system, Ordinary Hazard Group 1, will be provided in accordance with FOC rules for automatic sprinkler installation 1994 edition, to protect the entire building except squash courts, toilets, showers and mechanical/electrical rooms such as pump rooms, A/C plant room, A/C chiller room, switch room and electric water heater room.
- One no. sprinkler inlet and one no. sprinkler annunciator panel will be provided at the position indicated.
- A 55 m³ sprinkler tank to be provided to supply the sprinkler system installation.
- Water supply for the 27 m³ tank and the 55 m³ sprinkler tank shall be fed from a single and feed town main at Shan Kwong Road via a pump and pump system.
- No automatic fire detection system will be provided.
- Emergency lighting shall be provided throughout the entire building and all exit routes leading to ground level on level 0 and level 1.



SITE PLAN (SCALE: 1:1000)

B.D.D. REF.NO. 2/86

F.S.D. REF.NO.

AUTHORISED PERSON
Graham J. Jex
Dip. Arch., RIBA, etc. Authorised Person
for Robert Matthew, Johnson-Marshall (Hong Kong)

FOR B.O. SUBMISSION ONLY

Author Date Revision

The Royal Hong Kong Jockey Club
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Drawing Title

SITE PLAN & NOTES

Scale
1:1000

Date
01-09-87

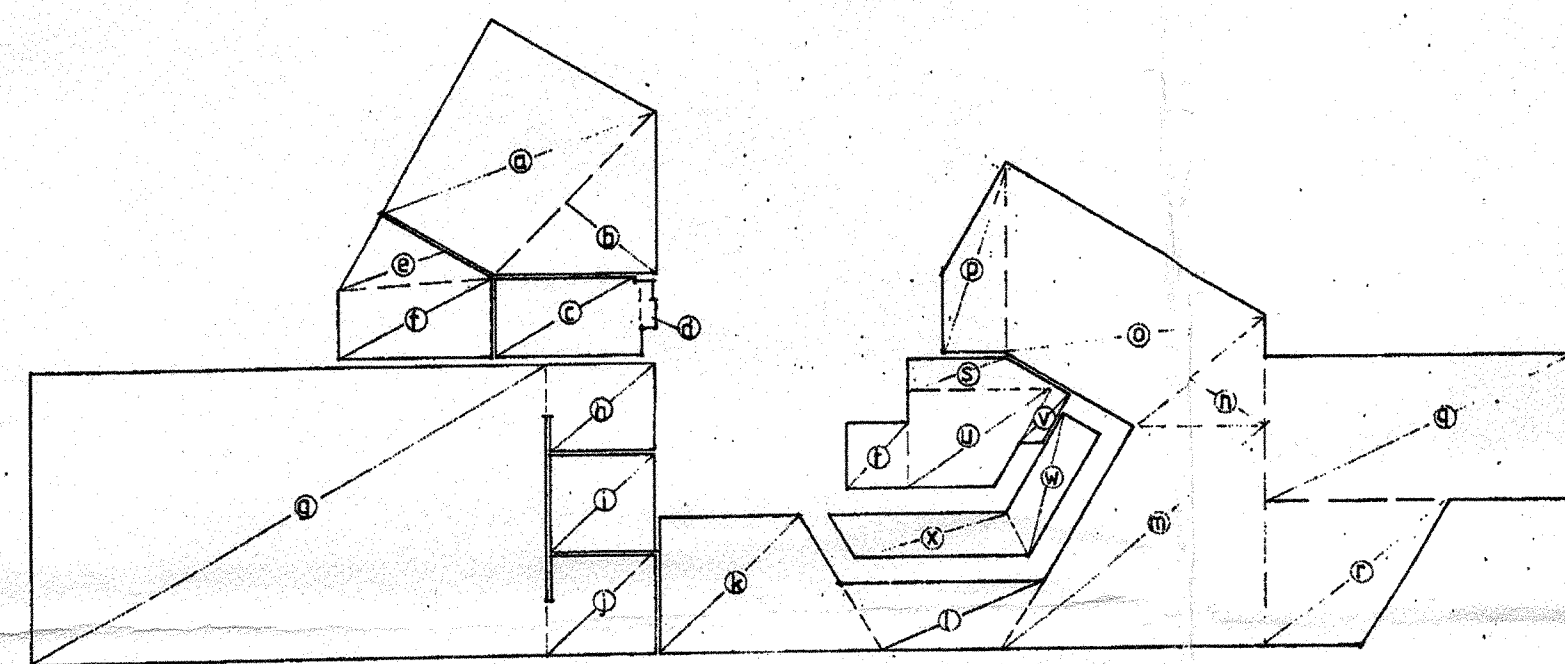
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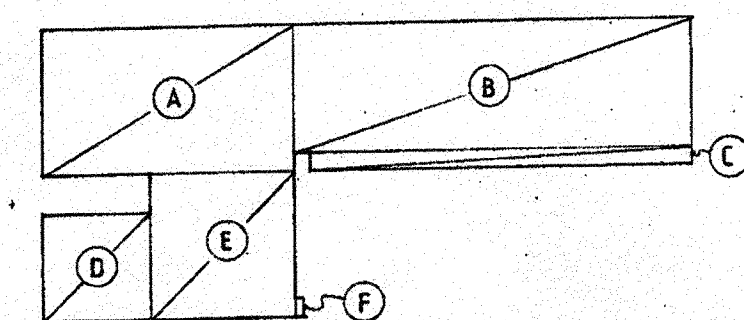
HSC-110

SITE AREA	9 030 m ²
CLASS OF SITE	'A'
PERMISSIBLE PLOT RATIO	N/A
PERMISSIBLE SITE COVERAGE	N/A
BUILDING HEIGHT	65.50 m - 54 m = 11.5 m (under 13 m)
OPEN SPACE	N/A
STREET SHADOW AREA	N/A

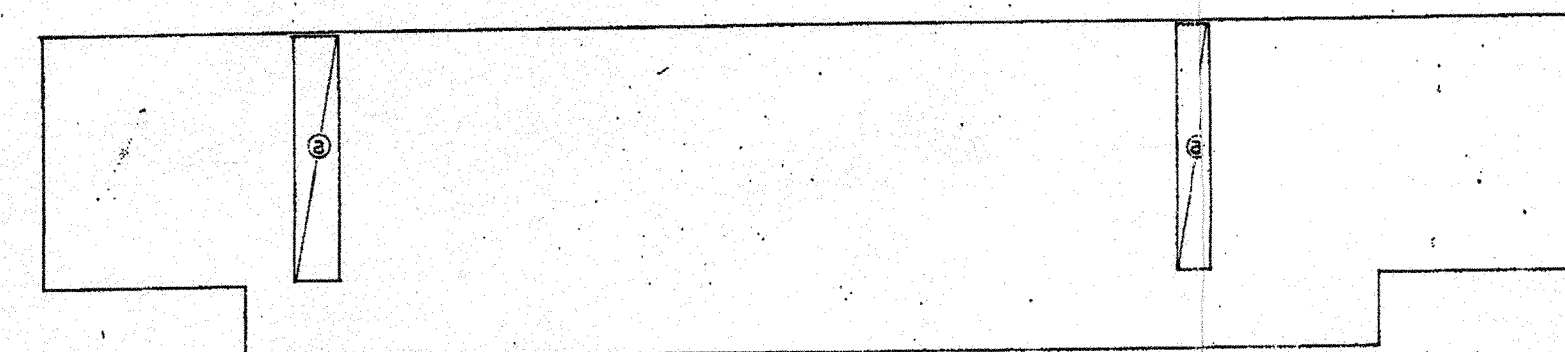
U. F. A. DIAGRAM



LEVEL 4



LEVEL 3



LEVEL 2

U.F.A. CALCULATION

LEVEL 4

SPORTS EQPT. KIOSK	
a) (5 + 3.5) x 6 x 1/2	= 25.500
b) 4.2 x 4.45 x 1/2	= 9.345
c) 3.85 x 2.15	= 8.278
d) 0.5 x 1.3	= 0.650
TOTAL	= 43.773 m²

OFFICE	
e) 2.4 x 3.5 x 1/2	= 4.200
f) (1.9 + 2.15) x 4.25 x 1/2	= 8.606
TOTAL	= 12.806 m²

AEROBIC STUDIO	
g) 14.2 x 8.15	= 115.730
h) (2.8 x 2.4) + (1.4 x 0.1)	= 6.860
i) 2.8 x 2.65	= 7.420
j) (2.8 x 2.9) + (1.9 x 0.1)	= 8.310
TOTAL	= 138.320 m²

SNACK BAR	
k) (4 + 6.2) x 3.9 x 1/2	= 19.890
l) (3.2 + 5.5) x 2.0 x 1/2	= 8.700
m) (3.85 + 7.5) x 6.3 x 1/2	= 35.753
n) 3.85 x 3.0 x 1/2	= 5.775
o) (4.1 + 8.4) x 4.5 x 1/2	= 28.125
p) (2.15 + 5.1) x 1.65 x 1/2	= 5.981
q) 8.4 x 4.0	= 33.600
r) (5 + 2.6) x 4.1 x 1/2	= 15.580
TOTAL	= 153.404 m²

BAR	
s) (2.55 + 4.33) x 1/2	= 3.440
t) 1.7 x 1.7	= 2.890
u) (2.2 + 3.75) x 2.5 x 1/2	= 7.438
v) (1.5 + 1.8) x 0.5 x 1/2	= 0.825
w) (3.1 + 3.8) x 1.2 x 1/2	= 4.140
x) 4.7 x 1.2	= 5.640
TOTAL	= 24.373 m²

TOTAL U.F.A. OF LEVEL 4 = 372.676 m²

LEVEL 3

A	6.900 x 3.950	= 27.255 sqm
B	10.950 x 3.450	= 37.778 sqm
C	10.550 x 0.500	= 5.275 sqm
D	3.000 x 3.100	= 9.300 sqm
E	4.100 x 3.900	= 15.990 sqm
F	0.500 x 0.150	= 0.075 sqm
G	12.650 x 3.950	= 49.968 sqm
H	7.450 x 3.450	= 25.703 sqm
I	6.900 x 0.500	= 3.450 sqm
J	6.900 x 4.100	= 28.290 sqm
K	0.500 x 0.150	= 0.075 sqm

TOTAL U.F.A. OF LEVEL 3 = 203.159 sqm

LEVEL 2

a)	2 x 6.5 x 1.2	= 15.600 m ²
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SANITARY FITMENTS

FLOOR	USE	U.F.A. (m ²)	DENSITY	CAPACITY	RATIO	TOTAL	MALE : FEMALE	REQUIRED				PROVIDED			
								W.C.	BASIN	URINAL	SHOWER	W.C.	BASIN	URINAL	SHOWER
LEVEL 1	SQUASH COURT	3 COURTS	2 NOS./COURT	6											
LEVEL 2	VIEWING GALLERY	15.600	1 m ² /PERSON	16											
LEVEL 3	CHANGING ROOMS	203.159	1.8 m ² /PERSON	113											
LEVEL 4	SNACK BAR	153.404	1 m ² /PERSON	154	1:1	344	172	2	3	3	—	3	6	4	7
	AEROBIC STUDIO	138.320	3 m ² /PERSON	47			172	4	3	—	—	7	6	—	7
	SPORTS EQPT. KIOSK	43.773	15 m ² /PERSON	3											
	OFFICE	12.806	9 m ² /PERSON	2											
	BAR	24.373	9 m ² /PERSON	3											

NOTE: IN ADDITION TO THE ABOVE
1 NO. WC+WHB IS PROVIDED FOR
THE HANDICAPPED ON LEVEL 4.

MEANS OF ESCAPE

FLOOR	CAPACITY	NO. OF EXIT	EXIT DOOR		EXIT ROUTE		TOTAL EXIT DOORS		TOTAL EXIT ROUTES	
			REQ'D	PRO'D	REQ'D	PRO'D	REQ'D	PRO'D	REQ'D	PRO'D
LEVEL 1	6	1	750	1500	900	1500	750	1500	900	1500
LEVEL 2	16	1	750	900	900	1500	750	1800	900	1500
LEVEL 3	113	2	1050	1800	1050	1500	3000	3600	3000	3000
LEVEL 4	209	2	1050	1800	1050	1500	3000	3600	3000	3000

DISCHARGE VALUE

FLOOR	USABLE FL. AREA	NO. OF PERSON	NO. OF STOREY ABOVE G/F	TOTAL CAPACITY	NO. OF STAIRCASE	DISCHARGE VALUE
LEVEL 1	—	6	3	344	1 NO. 1500 mm WIDE	525
LEVEL 2	5.600 m ²	16				
LEVEL 3	103.159 m ²	113				
LEVEL 4	172.676 m ²	209				

FIRE RESISTING PERIOD

FLOOR	USE	CLASS	COMPARTMENT OF BLDG.		F.R.P.	MINIMUM DIMENSION OF ELEMENTS OF CONSTRUCTION							
			AREA (m ²)	VOLUMN (m ³)		R.C.C. SLAB		R.C.C. BEAM		R.C.C. COL.		R.C.C. WALL	
						THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL	THICKNESS	COVER TO STEEL
LEVEL 1, 2, 5	SWITCH WATER HEATER ROOM , F.S. PUMP, A/C PLANT ROOM	6	—	—	2 HRS.	125	15	—	50	300	50	100	25
LEVEL 1	SQUASH COURT	4	192.075	701.074	1 HR.	90	15	—	50	—	50	75	25
LEVEL 2	VIEWING GALLERY	4	15.600	55.380	1 HR.	90	15	—	50	—	50	75	25
LEVEL 3	CHANGING ROOM	4	203.159	751.688	1 HR.	90	15	—	50	—	50	75	25
LEVEL 4	SNACK AEROBIC OFFICE STORE , BAR	4	328.903	1348.502	1 HR.	100	15	—	50	225	50	75	25

B.D.D. REF. NO.

/ 86

F.S.D. REF. NO.

AUTHORISED P.L.

Graham J. Jex
Dip. Arch., RIBA
for Robert Matthew, Jex

2 FEB 91

Authorised Person
Small (Hong Kong)

FOR B.O. SUBMISSION
ONLY

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Drawing Title

CALCULATION & SCHEDULES

Scale

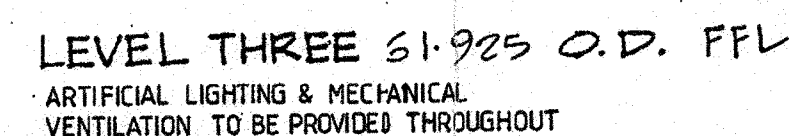
1:200

PROJECT

240

IN 333 B/B/02

HSC-111



AUTHORISED PERSON

Cheung Jex

Graham J Jex
Cip. Arch., CIMA, MIMA, Authorised Person
for
Robert Bingham & Co., Chartered Accountants (Hong Kong)

[illegible]

**The Royal Hong Kong Jockey Club
TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054**

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Drawing Title

FLOOR PLAN LEVEL 3

Scale	1:100	Date	1.9.87	Drawn	D.C.	Checked	WHS
PROJECT 240		Dwg No	HK 333B/B/07			Revision	

HSC-106

B.D.D. REF. NO. : 2 / 3092 / 86

F.S.D. REF. NO. :

NOTE:
ROOF FALLS 1:80

FOR B.O.O. SUBMISSION ONLY
- 2 FEB 1988

FORISED PERSON
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Graham J. Jex
Dip. Arch., RIBA, HKIA, Authorised Person
for Robert Matthew, Johnson-Marshall (Hong Kong)

31.7.87 INFORMAL SUBMISSION TO B.O.O. B.L.

Rev.	Date	Revision	Drawn	Checked
1	31.7.87	INFORMAL SUBMISSION TO B.O.O.		

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TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054

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Tel: 5-8902016, Fax: 5-785385

Maunsell Consultants Asia Ltd.
Consulting Civil & Structural Engineers
14/F, 1 Kowloon Park Drive,
Tsimshatsui, Kowloon, Hong Kong
Tel: 5-895251, Fax: 5-7224570

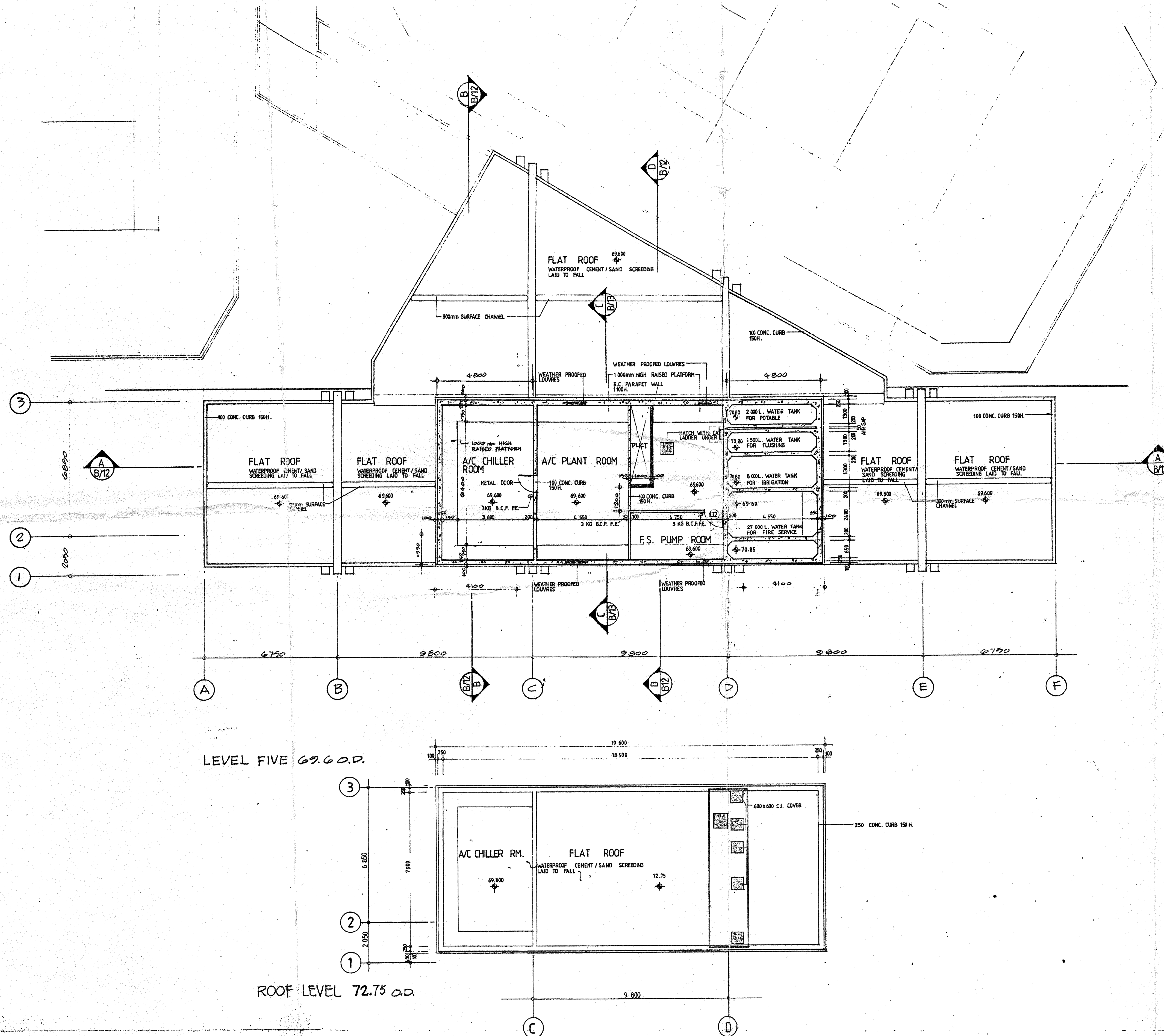
J Roger Preston & Partners
Consulting Mechanical & Electrical Engineers
1801, Guardian House, 21 Kwan Road,
Causeway Bay, Hong Kong
Tel: 5-747321, Fax: 5-8918951

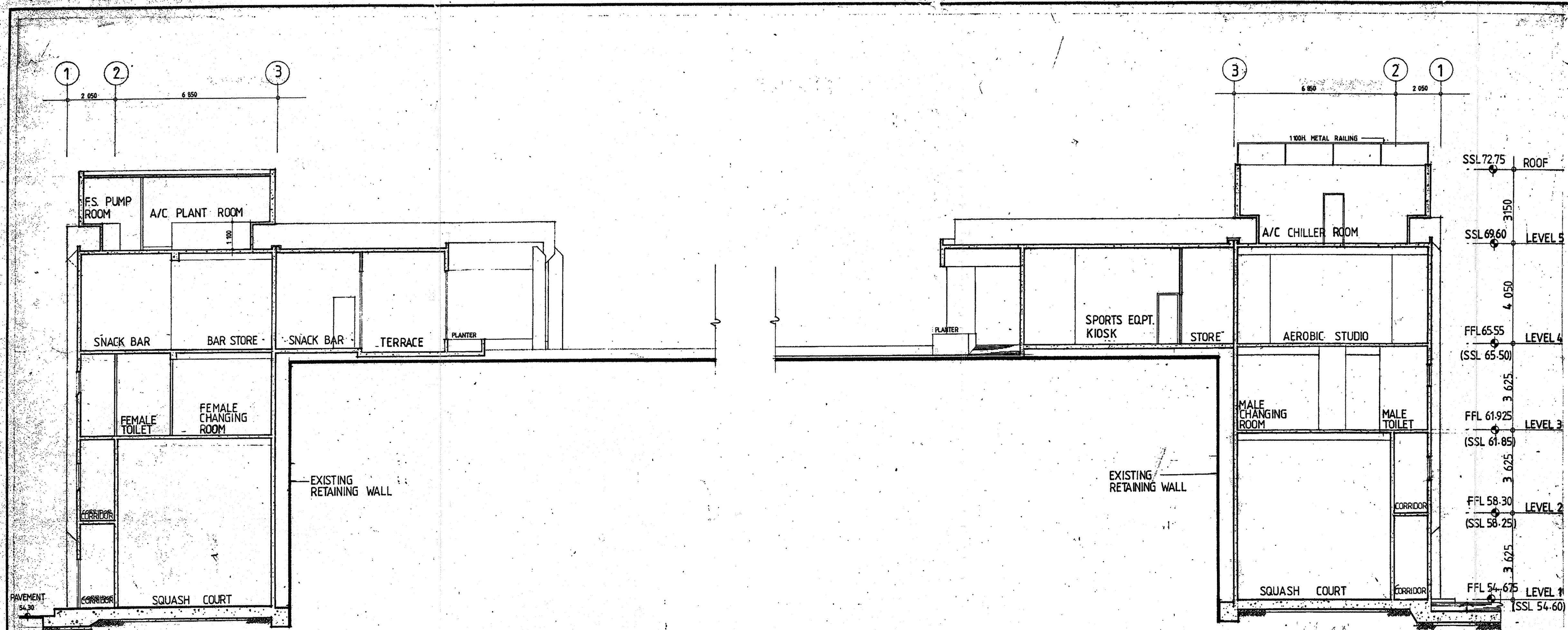
Langdon Every and Seah
Quantity Surveyors, Construction Cost Consultants
21/F, Legation Centre,
77 Leighton Road, Hong Kong
Tel: 5-763231, Fax: 5-780416

Drawing Title
FLOOR PLAN LEVEL 5 & ROOF

Scale	1:100	Date	1.9.87	Drawn	D.C.	Checked	
PROJECT	240	Dwg. No.	HK 333B/B/09	Revision	A		

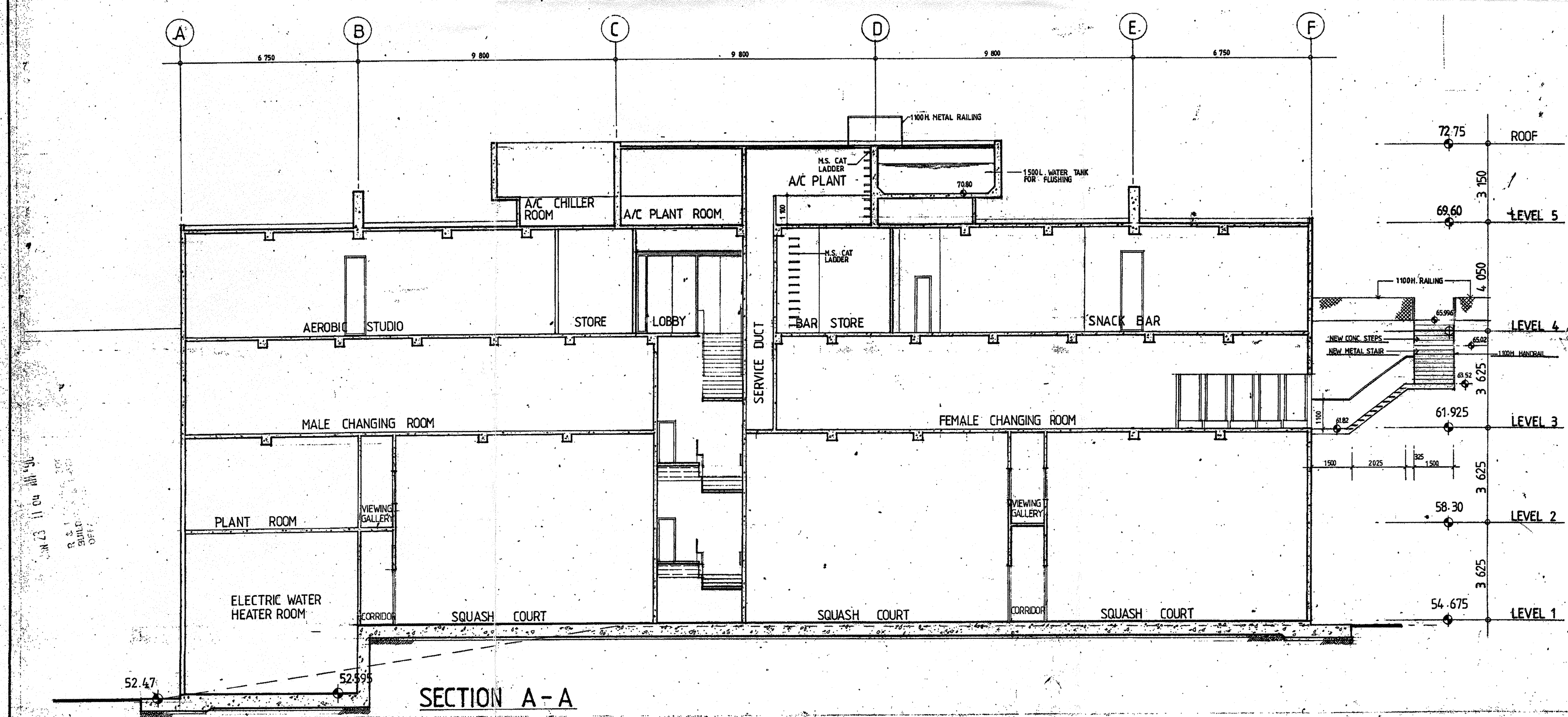
HSC-118





SECTION D-D

SECTION B-B



SECTION A-A

B.O.D. REF. NO. : 2 / 3092 / 86

F.S.D. REF. NO. :

FOR B.O.O. SUBMISSION ONLY

AUTHORISED PERSON
 Robert Matthew, Johnson-Marshall (HK)
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 311 Gloucester Road, Causeway Bay, Hong Kong
 Tel: 5-862018, Fax: 5-760386

B	11-11-86	SECTION OF TENNIS COURT NO. 1 TO SECTION A-A	N.Y.
A	24-12-86	FORM 31 SUBMISSION TO B.O.O.	S.L.
	31-7-87	INFORMAL SUBMISSION TO B.O.O.	S.L.

Sl. No.	Date	Revision	Drawn	Checked
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The Royal Hong Kong Jockey Club
TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054

Robert Matthew, Johnson-Marshall (HK)
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 14/F, 1 Kowloon Park Drive,
 Tsimshatsui, Kowloon, Hong Kong
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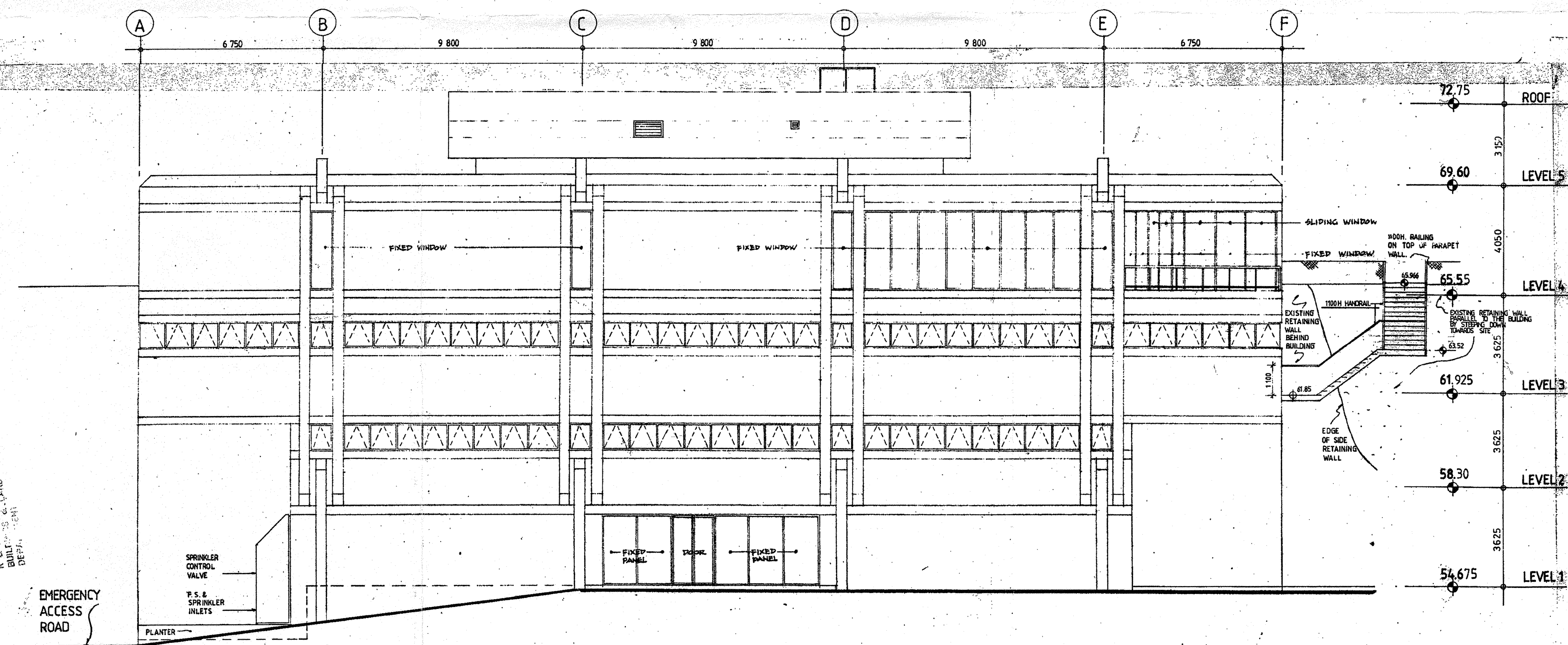
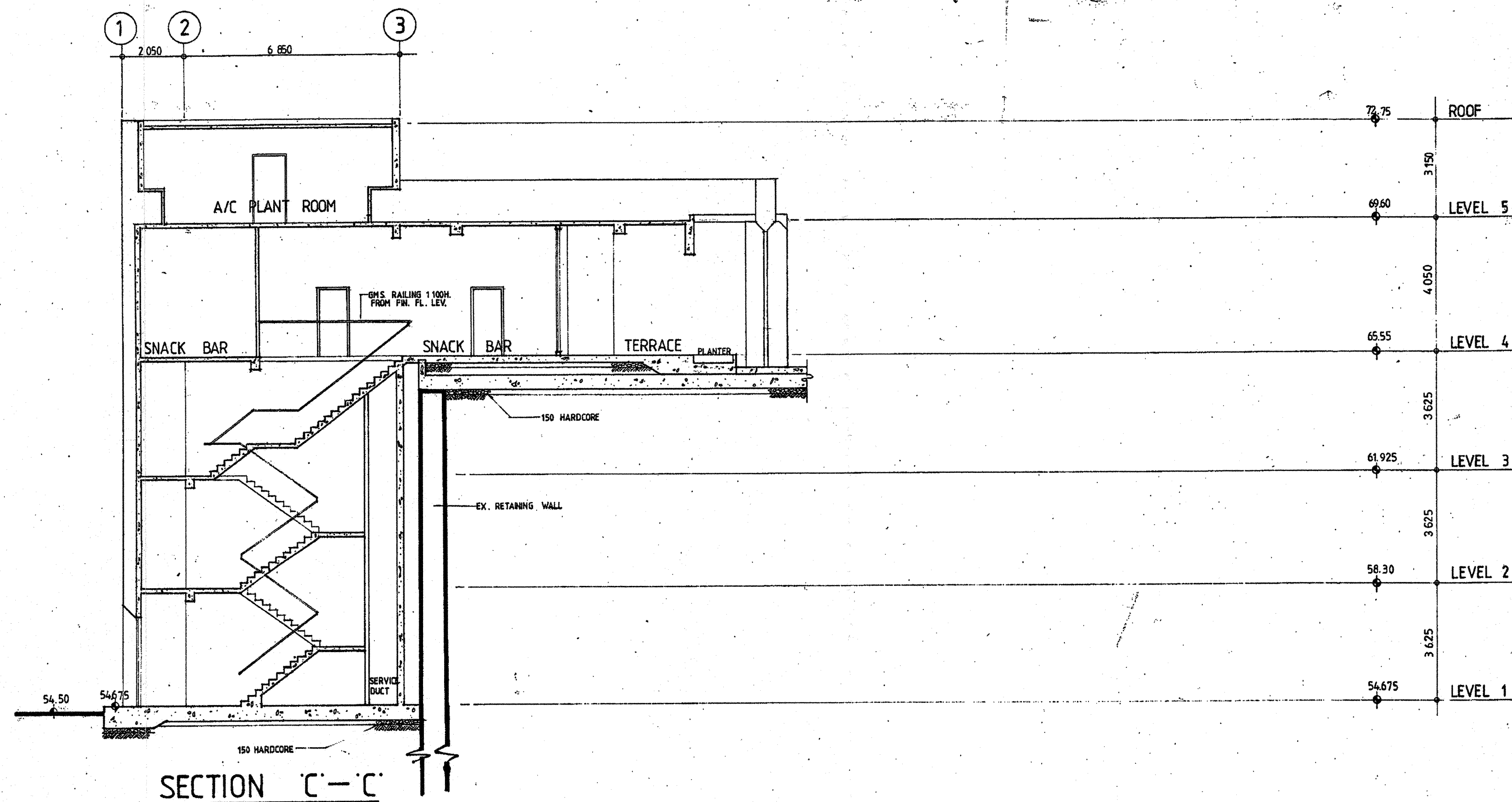
J Roger Preston & Partners
 Consulting Mechanical & Electrical Engineers
 1801, Guardian House, 20 Jwan Road,
 Causeway Bay, Hong Kong
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Langdon Every and Seah
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Drawing Title
BUILDING SECTIONS

Scale	1:100	Date	1.9.87	Drawn	D.C.	Checked	
PROJECT	240	Dwg No	HK333B/B/10	Revision			

HSC-107



NORTH-WEST ELEVATION

B.D.D. REF. NO. : 2 / 3092 / 86

F.S.D. REF. NO. :

FOR B.O.C. SUBMISSION ONLY

Sluffs	Date	Revision	Drawn	Checked

The Royal Hong Kong Jockey Club
TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054

Robert Matthew, Johnson-Marshall(HK)
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 Tel: 5-8602018, Fax: 5-765385

Maunsell Consultants Asia Ltd.
 Consulting Civil & Structural Engineers
 14/F, 1 Kowloon Park Drive
 Tsimshatsui, Kowloon, Hong Kong
 Tel: 3-685251, Fax: 3-7224070

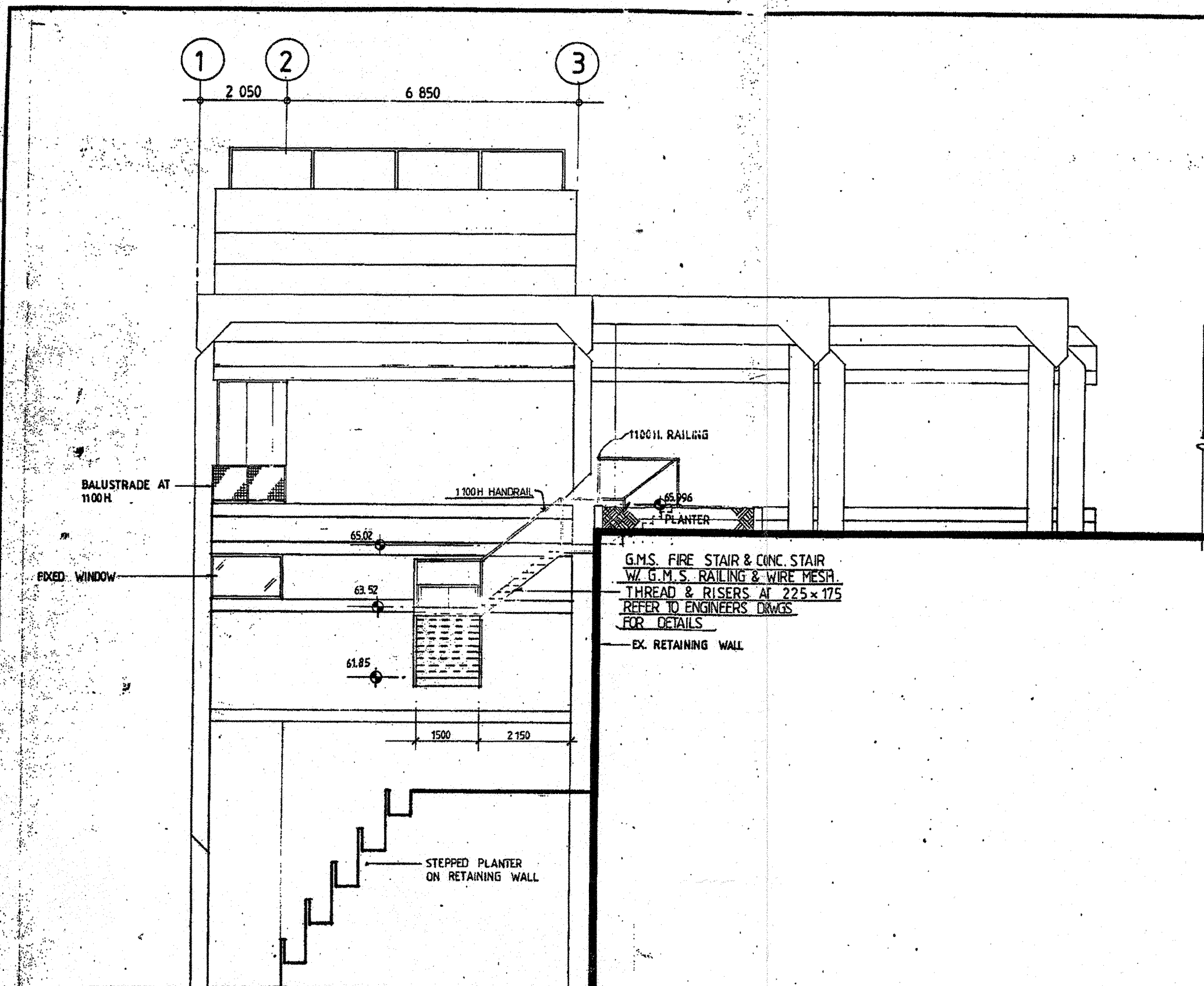
J Roger Preston & Partners
 Consulting Mechanical & Electrical Engineers
 1801, Guardian House, 20 Kwan Road
 Causeway Bay, Hong Kong
 Tel: 5-747321, Fax: 5-8910651

Langdon Every and Seah
 Quantity Surveyors: Construction Cost Consultants
 21/F, Leighton Centre
 77 Leighton Road, Hong Kong
 Tel: 5-765511, Fax: 5-765416

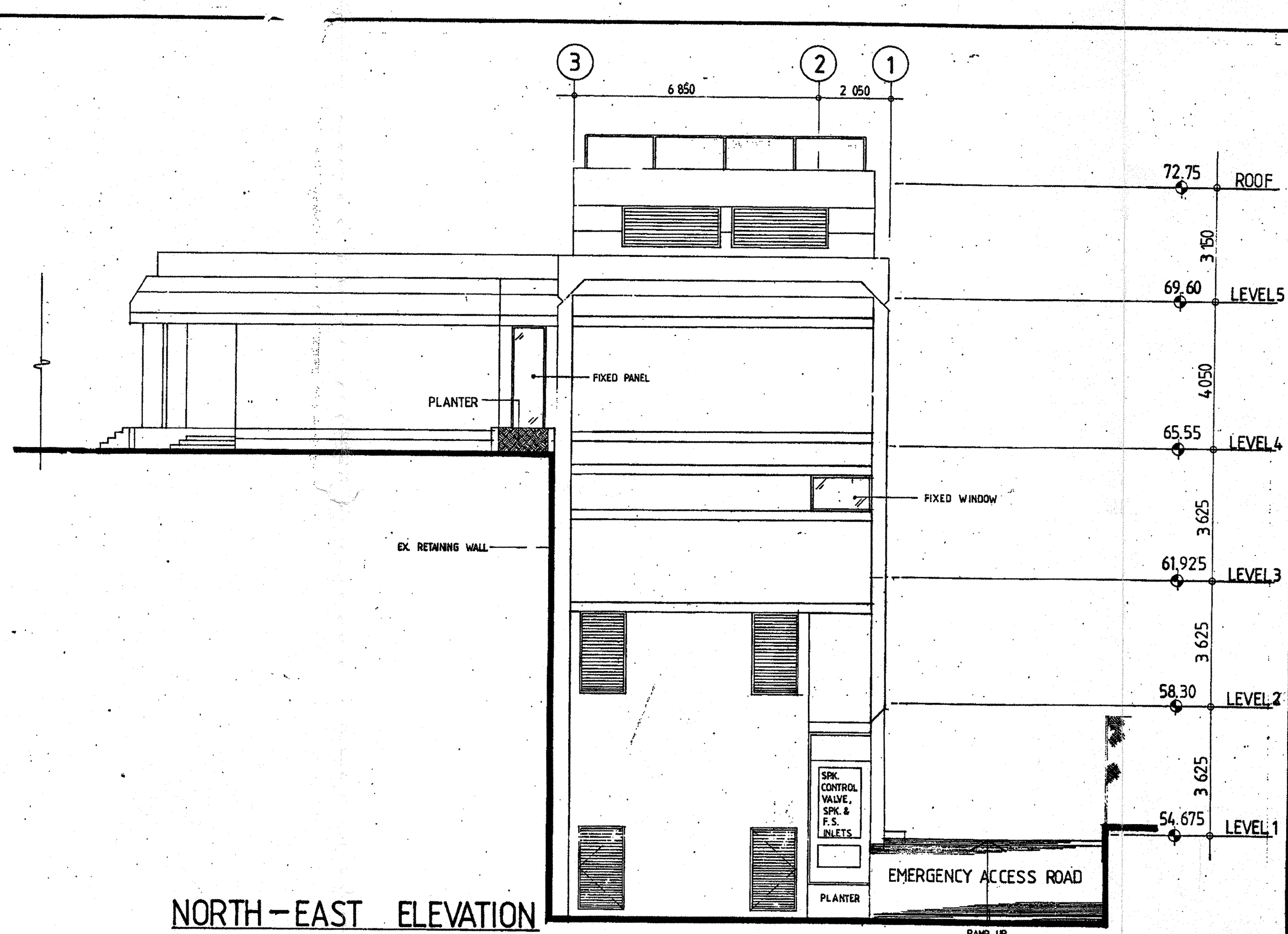
ELEVATION & SECTION 'C-C'

1:100	1.9.87	DC	
PROJECT 240	Day No	Revision	
	HK333B/B/11		

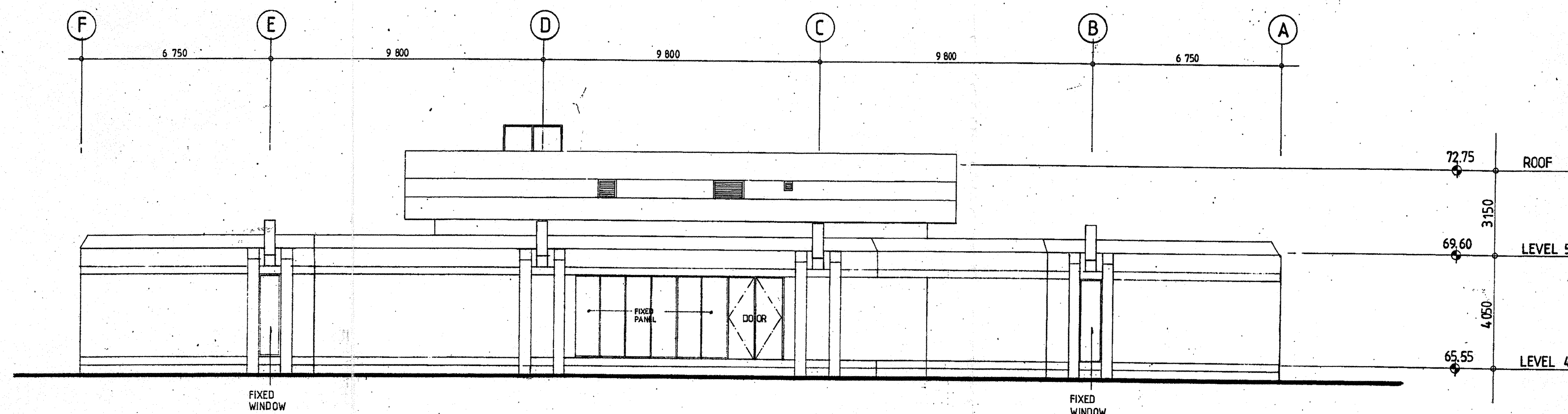
HSC-108



SOUTH-WEST ELEVATION



NORTH-EAST ELEVATION



SOUTH-EAST ELEVATION

B.D.D. REF. NO. : 2 / 500 / 86

F.S.D. REF. NO. :

FOR B.O.O. SUBMISSION ONLY

THORISED PERSON			
Graham J. Jex			
Dip. Arch. RIBA, M.A. (Hons.)			
Robert Matthew, Johnson-Marshall (HK)			
REVISIONS			
1	1-1-86	REVISIONS	HY
2	1-1-86	REVISIONS	HY
3	1-1-86	REVISIONS	HY
4	1-1-86	REVISIONS	HY
5	1-1-86	REVISIONS	HY
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100	1-1-86	REVISIONS	HY

The Royal Hong Kong Jockey Club
TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054

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Architects & Planners
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Langdon Every and Seah
Quantity Surveyors, Construction Cost Consultants
21/F, Leighton Centre
77 Leighton Road, Hong Kong
Tel: 5-763231 Fax: 5-763416

Drawing Title			
ELEVATIONS			
Scale	1: 100	Drawn	D.C.
PROJECT	240	Revision	
HK333B/B/12			

45c-103

GENERAL NOTES :-

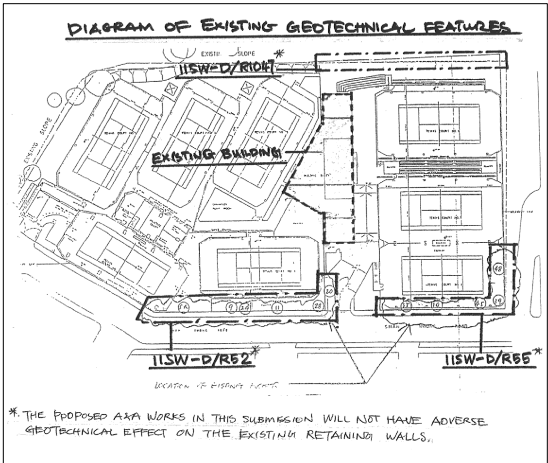
- ALL BRICK WORKS TO BE BUILT IN CEMENT MORTAR.
- ALL 100 mm Y-TONG BLOCK TO BE BUILT IN CEMENT MORTAR.
- CEMENT MORTAR TO BE COMPOSED OF 1 PART CEMENT
3 PARTS SAND.
- FIRE SERVICES REQUIREMENT TO BE COMPLIED WITH.
- THIS SUBMISSION COVERS THE COLOURED PORTION ONLY.
- TREADS OF STAIRCASE TO BE NOT LESS THAN 225mm
AND RISER TO BE NOT MORE THAN 175mm.
- NO CHANGE IN PLOT RATIO AND SITE COVERAGE IS INVOLVED.

FIRE SERVICES NOTES :

- EXISTING AUTOMATIC SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH FOC RULES FOR AUTOMATIC SPRINKLER INSTALLATION 29TH EDITION, ORDINARY HAZARD GROUP I.
- EXISTING SPRINKLER INSTALLATION SHALL BE ALTERED AT AREAS "EXTENT OF SUBMISSION" AS MARKED ON PLANS TO SUIT NEW LAYOUT IN ACCORDANCE WITH FOC RULES 29TH EDITION, OH I.
- EXISTING FIRE HYDRANT AT STAIRCASE TO BE REMAINED UNCHANGED AS SHOWN ON PLANS.
- FIRE HOSE REEL TO BE RELOCATED AS SHOWN ON PLANS AND CONNECTED TO EXISTING FH/HR SYSTEM. HOSE REEL HOSE SHALL REACH EVERY PART OF THE PREMISES WITHIN 30 METER HOSE LENGTH.
- MANUAL FIRE ALARM SYSTEM INCORPORATED IN THE HOSE REEL SYSTEM TO BE RELOCATED ACCORDING TO HOSE REEL LOCATION AS SHOWN ON PLANS AND CONNECTED TO EXISTING FIRE ALARM SYSTEM.
- SUFFICIENT DIRECTIONAL AND EXIT SIGNS TO ENSURE ALL EXIT ROUTES CLEARLY INDICATED.
- EMERGENCY LIGHTING TO BE INSTALLED THROUGHOUT THE AREAS AS MARKED "EXTENT OF SUBMISSION" IN ACCORDANCE WITH REQUIREMENT OF BSS266 PART I.
- EXISTING FS PANEL TO BE REMAIN UNCHANGED.
- EXISTING PORTABLE FIRE EXTINGUISHER AT SNACK BAR TO BE RETAINED.
- ALL LININGS FOR ACOUSTIC AND THERMAL INSULATION PURPOSES IN DUCTINGS AND CONCEALED LOCATIONS SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BSA76: PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
- ANY INTENDED STORAGE OR USE OF DANGEROUS GOODS AS DEFINED IN CHAPTER 295 OF THE LAWS OF HONG KONG SHOULD BE NOTIFIED TO THE DIRECTOR OF FIRE SERVICES.

COLOUR INDICATION :-

- CONCRETE
- NEW 100mm THICK LIGHTWEIGHT Y-TONG BLOCK WALL WITH 4 HRS. F.R.P. (UNLESS OTHERWISE SPECIFIED)
- GLASS
- TIMBER WORK
- METAL WORK
- SANITARY FITTING
- EXISTING WORK
- DRY WALL PARTITION
- CONCRETE BLOCK



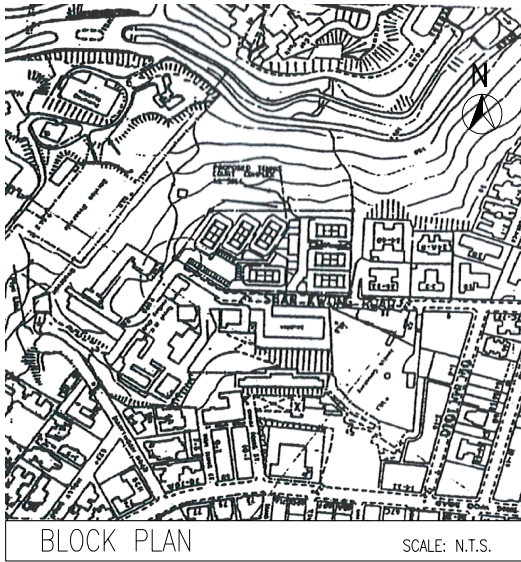
DOOR MARK :-

- EXISTING 50mm HARDWOOD SELF-CLOSING DOOR WITH WIRED GLASS PANEL
- EXISTING 50mm HARDWOOD SELF-CLOSING DOOR
- EXISTING 50mm HARDWOOD SELF CLOSING INSPECTION PANEL
- EXISTING METAL FRENCH DOOR
- NEW 1HR. F.R.P. SELF-CLOSING DOOR
- NEW NON-FIRE RATED DOOR

ALL NEW DOORS INCLUDING FRAMES SHOULD BE TESTED OR ASSESSED IN ACCORDANCE WITH BS 476: PART 22 : 1987 AND CERTIFIED IN ACCORDANCE WITH PARAGRAPH 6.5 OF F.R.C. CODE 1996 AS BEING CAPABLE OF RESISTING THE ACTION OF FIRE, IN TERMS OF INTEGRITY AND INSULATION OR IN TERMS OF INTEGRITY ONLY, AS THE CASE MAY BE FOR THE SPECIFIED PERIOD.

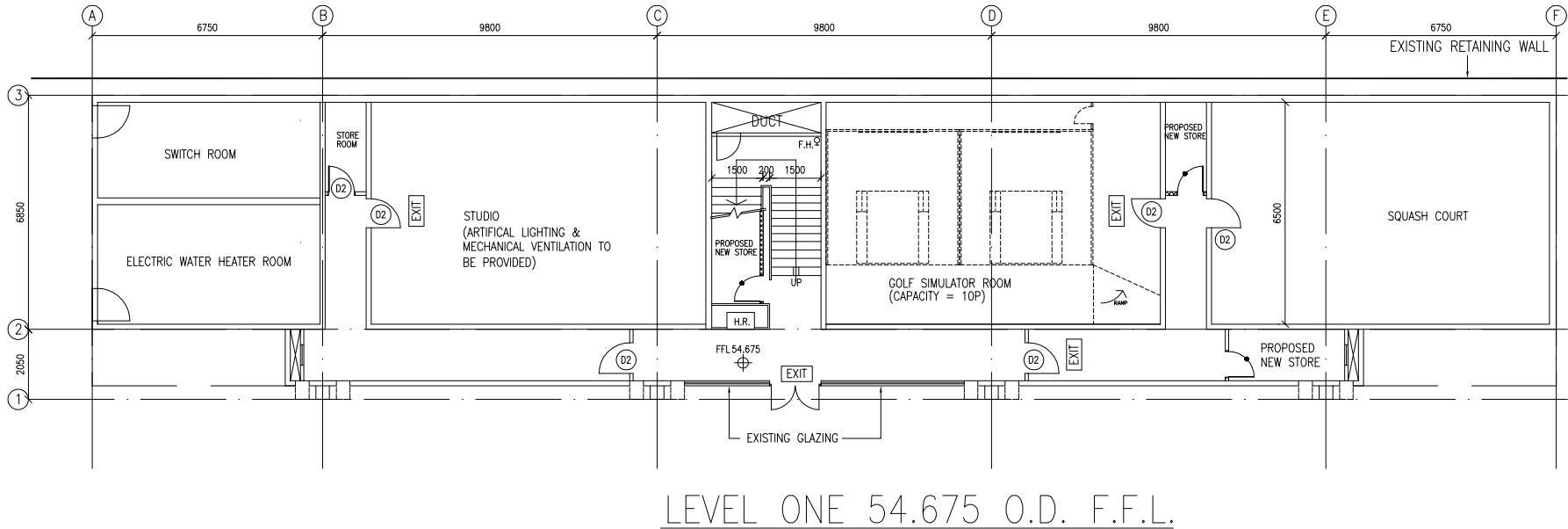
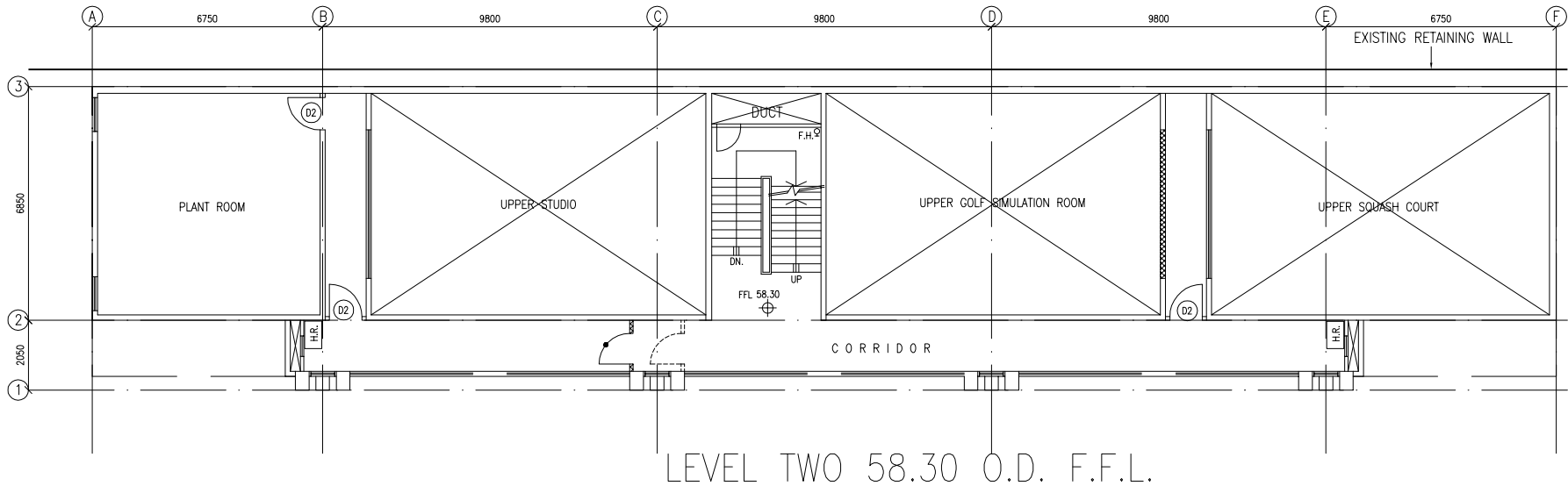
LEGEND :-

- EX. FINISHED FLOOR LEVEL
- EX. STRUCTURAL LEVEL
- PROPOSED STRUCTURAL LEVEL
- PROPOSED FINISHED LEVEL
- EXIT SIGN
- HOSE REEL



- Notes :
- MEASUREMENTS ARE BASED ON METRIC SYSTEM.
 - ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE.
 - DO NOT SCALE DRAWING.
 - FIGURE DIMENSIONS ARE TO BE FOLLOWED.
 - THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT.
 - ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.

DEVELOPMENT SCHEDULE				
A. LOCATION & LOT NO.		HONG KONG JOCKEY CLUB SPORT COMPLEX, SHAN KWONG ROAD I.L.3054		
B. SITE AREA : NO CHANGE				
C. HEIGHT OF BUILDING : NO CHANGE				
Block	No. of Storeys	Proposed Height of Building	Height Restrictions Under Lease	Special Condition Referred
-	STOERYS	NO CHANGE	-	REFERRED SC (5)
D. SCHEDULE OF ACCOMMODATION :				
Accommodation	Proposed	Required/Permitted under the Lease	Special Condition Referred	
1. User	N.A.	PERMITTED: N.A.		
2. Gross Floor Area	N.A.	PERMITTED: N.A.		
3. Site Coverage	N.A.	PERMITTED: N.A.		
4. Exterior Elevations	N.A.	REQUIRED: N.A.		
5. Carpark	N.A.	PERMITTED: N.A.		
6. Loading & Unloading Space	N.A.	REQUIRED: N.A.		
7. Vehicular Access Points	N.A.	PERMITTED: N.A.		
8. Caretaker's	N.A.	REQUIRED: N.A.		
9. Recreational Facilities	N.A.	PERMITTED: N.A.		
10. Non-building Area	N.A.	REQUIRED: N.A.		
11. Formation Areas	N.A.	REQUIRED: N.A.		
12. Tree Preservation	N.A.	REQUIRED: N.A.		
13. Landscaping	N.A.	REQUIRED: N.A.		
14. Other Special – Requirements under Lease (e.g. Design And Disposition)	N.A.	REQUIRED: N.A.		
E. IN COMPLIANCE WITH THE MASTER LAYOUT PLANS APPROVED ON _____ N.A. (if applicable).				
F. DATE OF LAST SUBMISSION ON _____ 9 NOV 2007 (if applicable).				
G. PRESCRIBED WINDOW & FIRE ACCESS REQUIREMENTS – YES				



B	NOV 12	GENERAL REVISIONS FOR TEMP PERMIT
A	NOV 07	GENERAL REVISIONS
NO.	DATE	REVISIONS

CLIENT



香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BMMK RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG

PROJECT

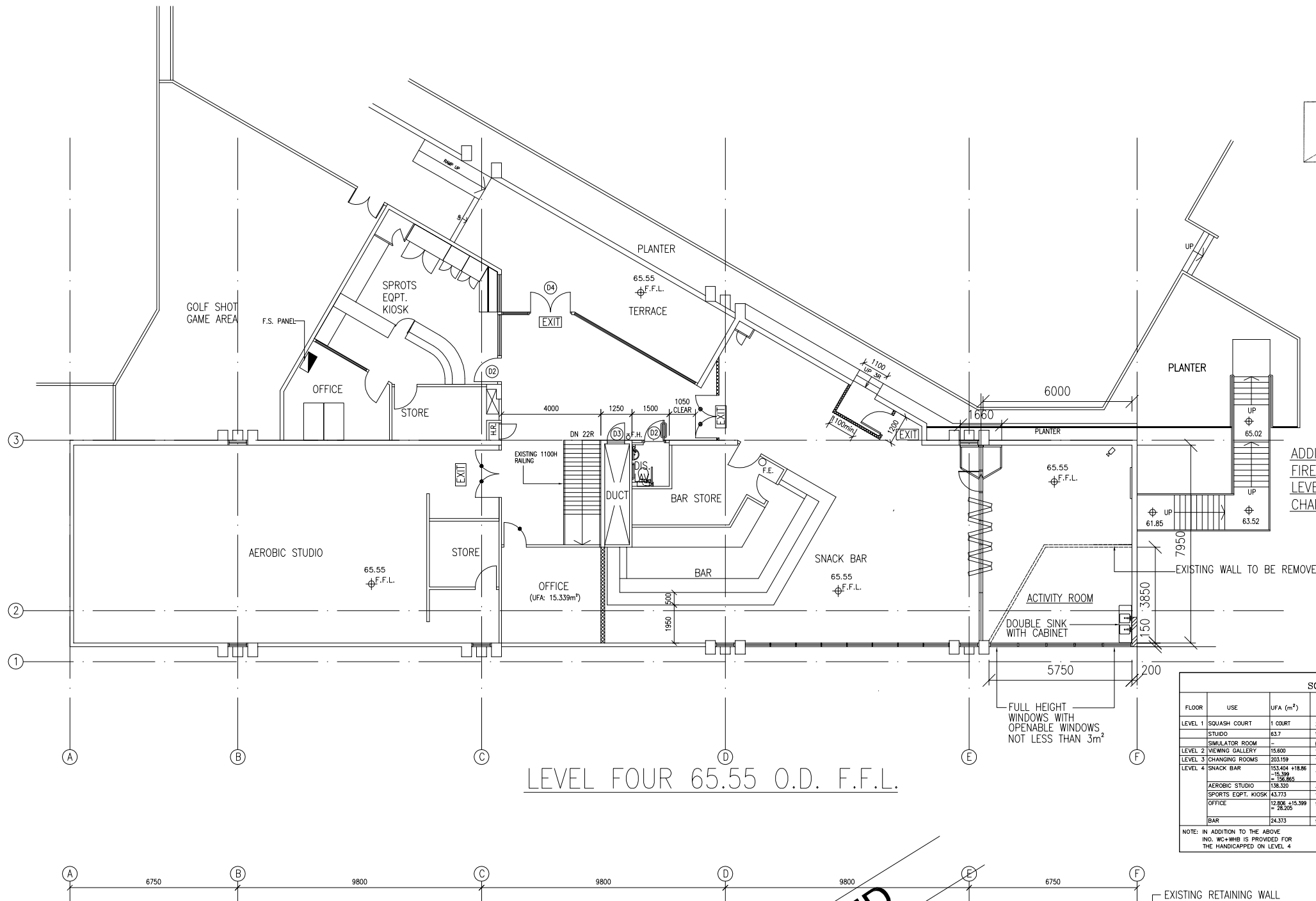
HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

TITLE

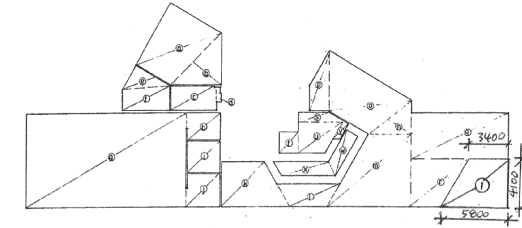
BLOCK PLAN, GENERAL
NOTES, DEVELOPMENT
SCHEDULE, PROPOSED
LEV.1 & LEV. 2
LAYOUT PLAN

DESIGNED : W.P	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : D.P.	SCALE : 1: 100	JOB NO. DT-2177(III)
DATE: AUG-2007	REVISION : B	DRAWING NO. A-01

DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
SUITE 902, 9th Floor, Honest Motors Building,
9-11 Leighton Road, Causeway Bay, Hong Kong.
Tel : 28151929 Fax : 28150570 E-mail : dtcao@netvigator.com



UFA DIAGRAM FOR LEVEL 4



UFA CALCULATION

LEVEL 4:

TOTAL UFA OF LEVEL 4

$$= 372.676\text{m}^2 + (3.4 + 5.8) \times 4.1 \times \frac{1}{2} (1)$$

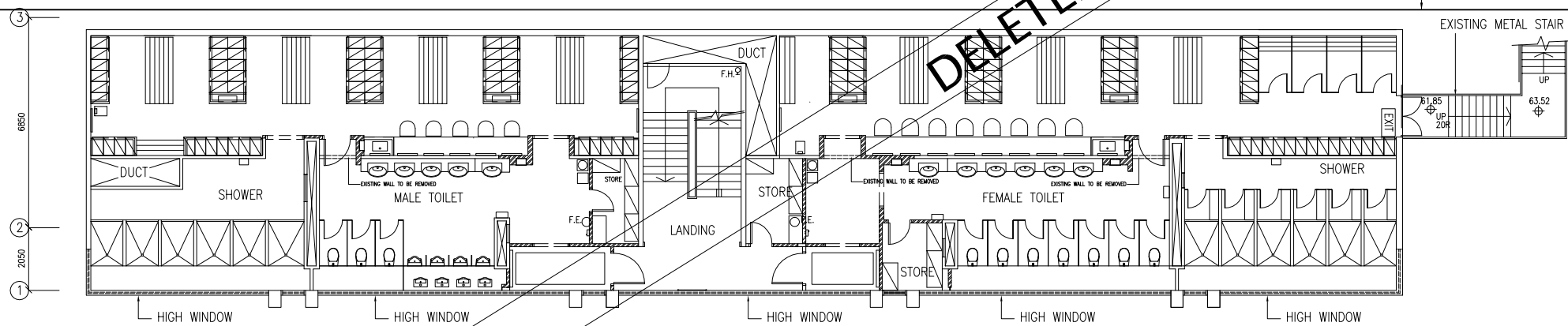
$$= 372.676\text{m}^2 + 18.86\text{m}^2$$

$$= 391.536\text{m}^2$$

ADDITIONAL G.M.S. & CONC.
FIRE STAIR FROM
LEVEL 3 THRU FEMALE
CHANGING ROOM

SCHEDULE OF SANITARY FITMENTS														
FLOOR	USE	UFA (m ²)	DENSITY	CAPACITY	RATIO	TOTAL	MALE	REQUIRED					REQUIRED	
								W.C.	BATH	URINAL	SHOWER	W.C.	BATH	URINAL
LEVEL 1	SQUASH COURT	1 COURT	2NOS./COURT	2										
	STUDIO	63.7	9M ² /PERSON	8										
	SIMULATOR ROOM	-	HEAD COUNT	10										
LEVEL 2	VIEWING GALLERY	15.600	1M ² /PERSON	16										
LEVEL 3	CHANGING ROOMS	203.159	1.8M ² /PERSON	113										
LEVEL 4	SNACK BAR	153.404 + 18.86 = 172.265	1M ² /PERSON	157	1:1	362	181	2	3	3	-	3	6	7
	AEROBIC STUDIO	138.500	5M ² /PERSON	47			181	4	3	-	7	6	-	7
	SPORTS EQPT. KIOSK	43.713	15M ² /PERSON	3										
	OFFICE	12.906 + 15.339 = 28.205	9M ² /PERSON	3										
	BAR	24.373	9M ² /PERSON	3										
NOTE: IN ADDITION TO THE ABOVE INC. W.C.HUB IS PROVIDED FOR THE HANDICAPPED ON LEVEL 4														

NOTE: IN ADDITION TO THE ABOVE
ING. WC+WB IS PROVIDED FOR
THE HANDICAPPED ON LEVEL 4




Notes :

1. MEASUREMENTS ARE BASED ON METRIC SYSTEM.
2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE.
3. DO NOT SCALE DRAWING.
4. FIGURE DIMENSIONS ARE TO BE FOLLOWED.
5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT.
6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.

B	NOV 12	GENERAL REVISIONS FOR TEMP PERMIT
A	NOV 07	GENERAL REVISIONS
NO.	DATE	REVISIONS

CLIENT



香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BMMK RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG


PROJECT

HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

TITLE

PROPOSED
LEV. 4
LAYOUT PLAN

DESIGNED : W.P	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : D.F.	SCALE : 1: 100	JOB NO. DT-2177(III)
DATE: AUG-2007	REVISION : B	DRAWING NO. A-02

 DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
SUITE 902, 9th Floor, Honest Motors Building,
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Appendix E

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

Name of Client 顧客姓名

The Hong Kong Jockey Club

Address 地址

Clubhouse Sports Complex, Shan Kwong Road, Happy Valley, Hong Kong Island

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☒ Licensed premises 持牌處所 ☐ Institutional 社團**Part 1 Annual Maintenance ONLY****第一部 只適用於年檢事項**

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
11	Emergency Lighting (1 Lot)	G/F - 4/F	Conforms with FSD requirements	22/08/2023	21/08/2024
12	Exit Sign (1 Lot)	G/F - 4/F	Conforms with FSD requirements	22/08/2023	21/08/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

MP463

Contact Person: Raymond Leung

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature: 受權人簽署

Name: 姓名

Kai Hoi Man, Simon

FSD/RC No.: 消防處註冊號碼

RC1 / 0341 RC2 / 0496

Company Name: 公司名稱

Link-Foong Engineering Services Limited

Telephone: 聯絡電話

Date: 日期

22/08/2023



Inspected

Key-in

Verified



Serial Number

Name of Client 顧客姓名

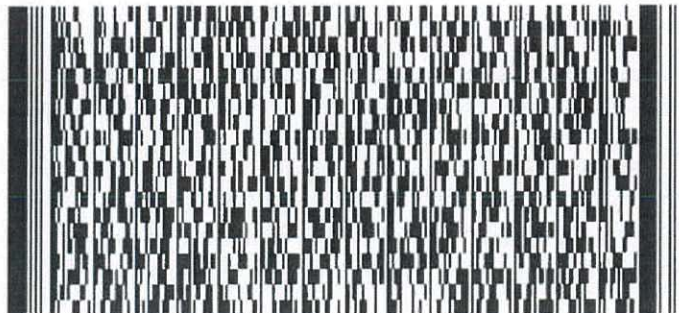
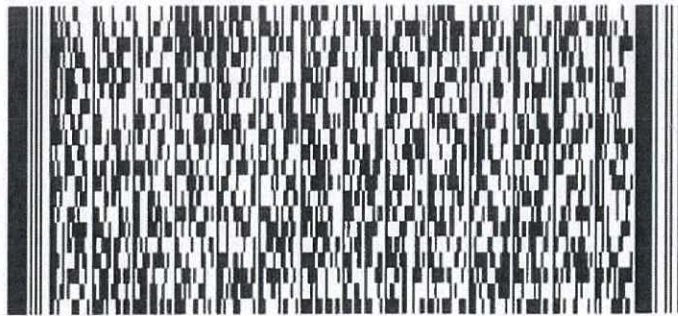
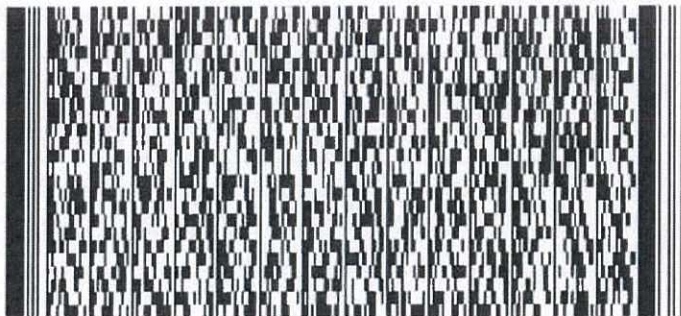
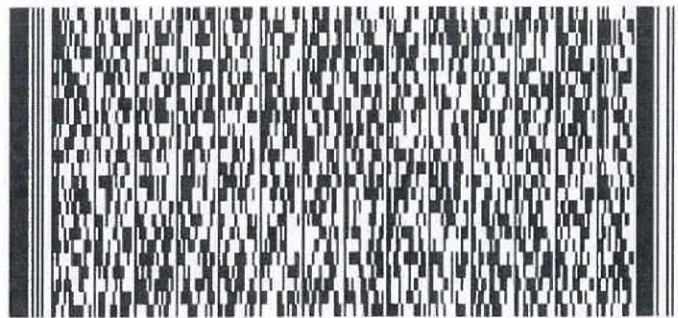
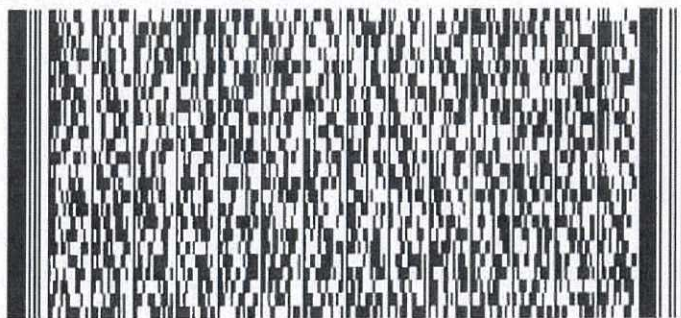
The Hong Kong Jockey Club

Part 1 Annual Maintenance ONLY

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Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
16	FH /HR System	G/F - 4/F	Conforms with FSD requirements	22/08/2023	21/08/2024
17	Fire Shutters	G/F - 4/F	Conforms with FSD requirements	22/08/2023	21/08/2024
28	Sprinkler System	G/F - 4/F	Conforms with FSD requirements	22/08/2023	21/08/2024

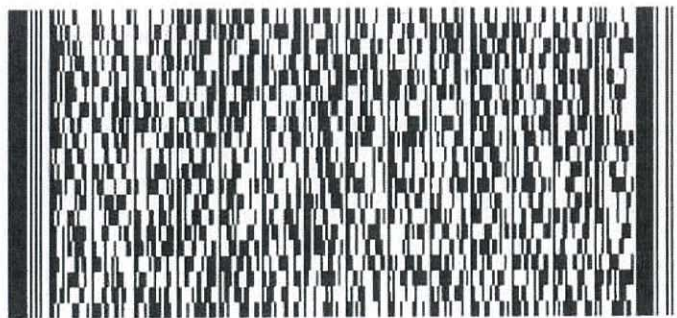
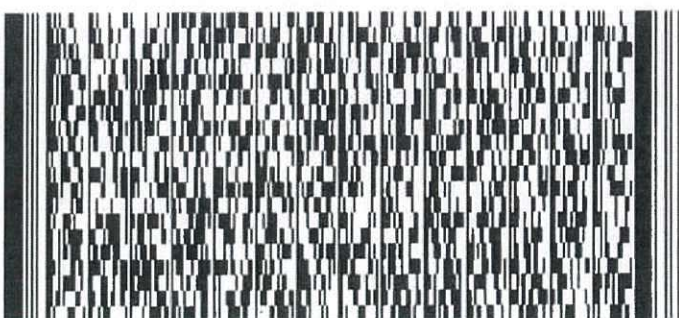
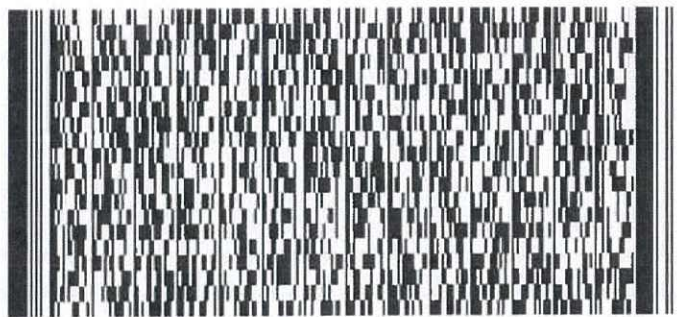
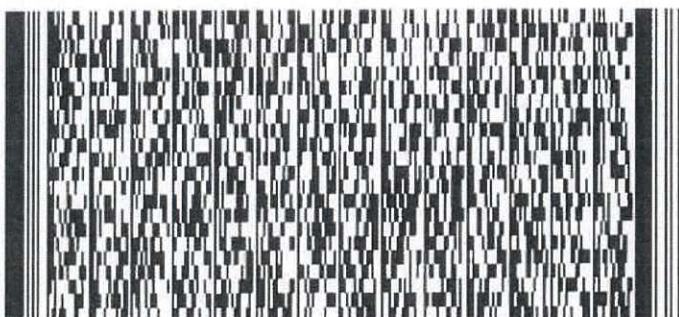
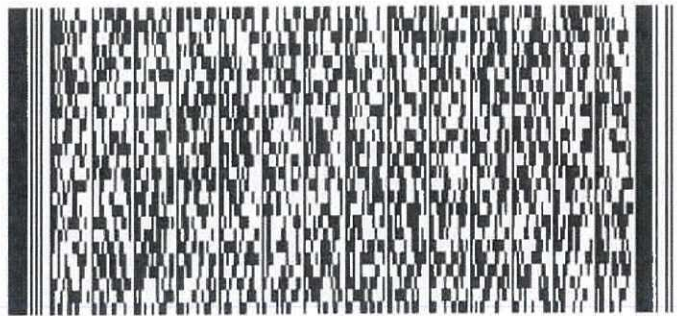
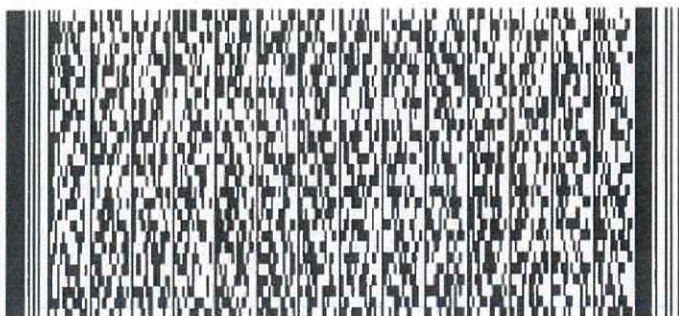
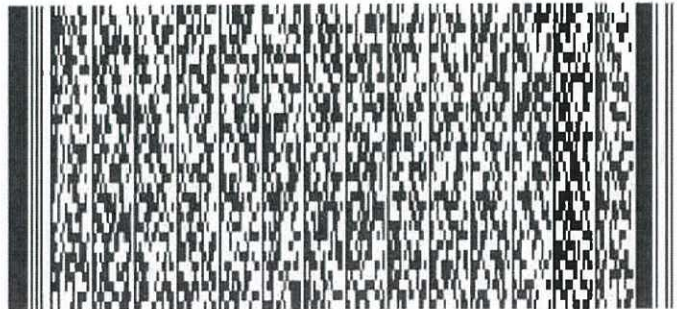
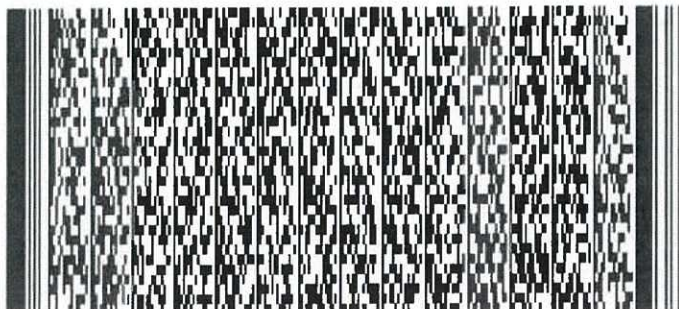


Serial Number



Name of Client 顧客姓名

The Hong Kong Jockey Club



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

Name of Client 顧客姓名

The Hong Kong Jockey Club

Address 地址

Sports Complex, Happy Valley Club House, No. IL3054 Shan Kwong Road, Happy Valley, Hong Kong Island

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☒ Licensed premises 持牌處所 ☐ Institutional 社團

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
13	Fire Alarm Systems (MFA)	All	Conforms with FSD requirements	20/10/2023	19/10/2024
13	Fire Alarm Systems (VFA)	All	Conforms with FSD requirements	20/10/2023	19/10/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Lau Ching Chin

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

Siemens Ltd.

Telephone:

聯絡電話

Date:

日期

24/10/2023

For FSD
use only

Inspected

Key-in

Verified

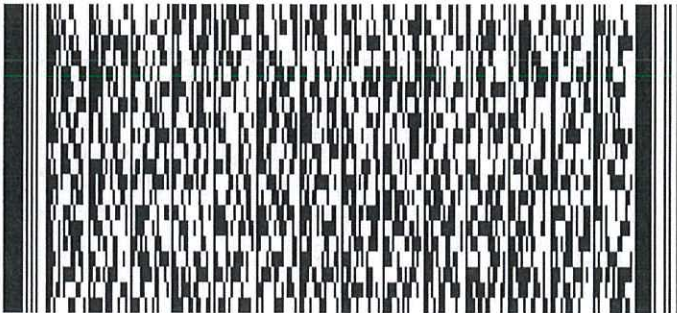
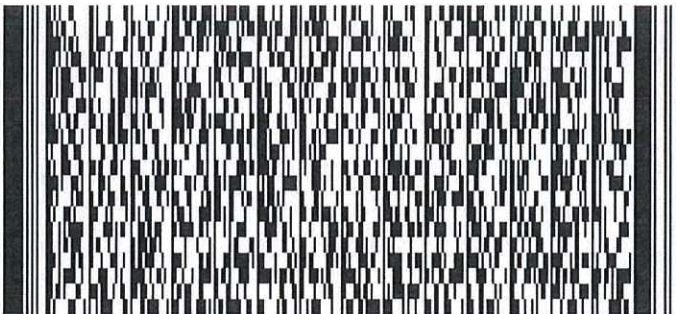
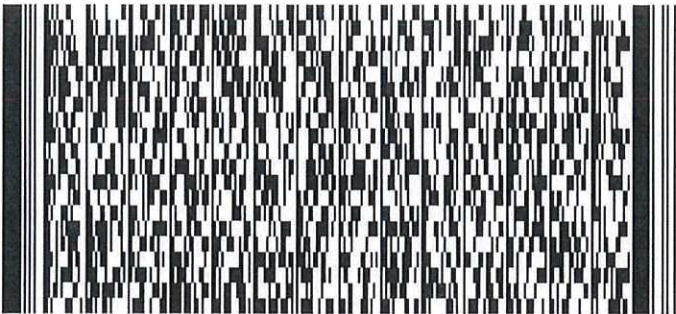
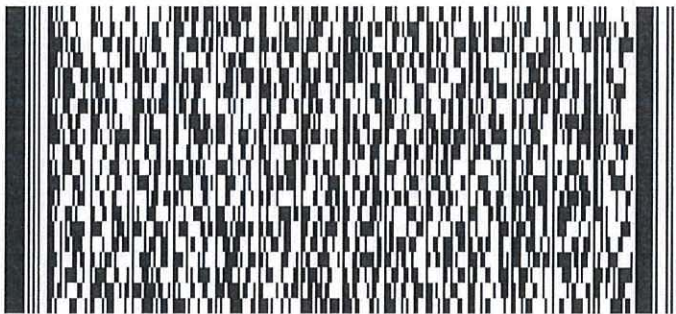
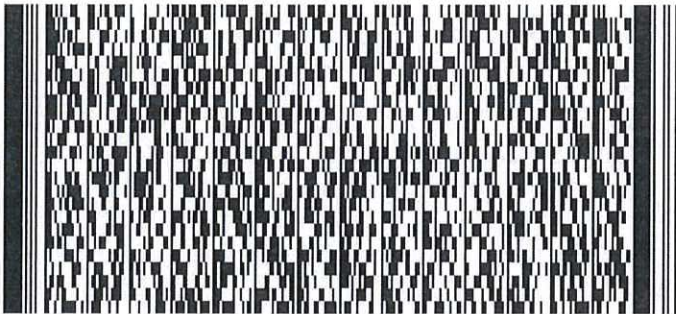


Serial Number

Name of Client 顧客姓名

The Hong Kong Jockey Club

<div>Part 1 Annual Maintenance ONLY</div> <div>第一部 只適用於年檢事項</div> <div>In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。</div>					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
15	Fire Detection Systems	All	Conforms with FSD requirements	20/10/2023	19/10/2024

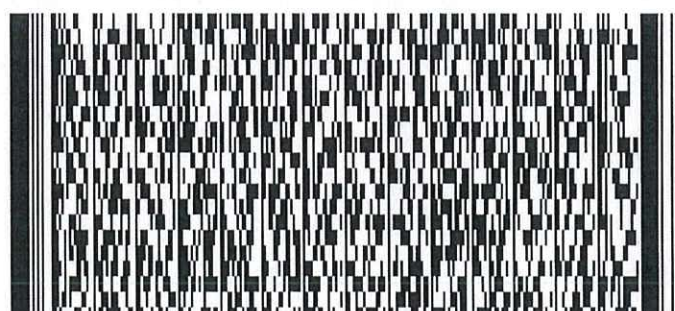
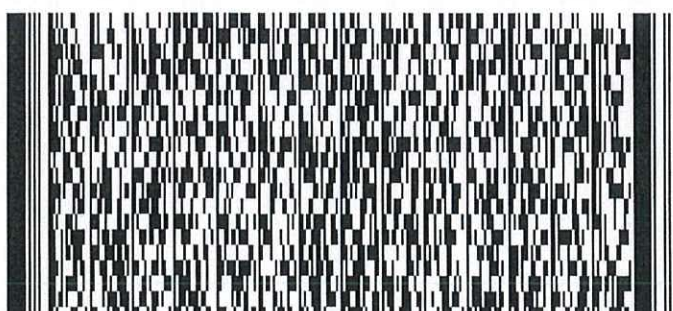
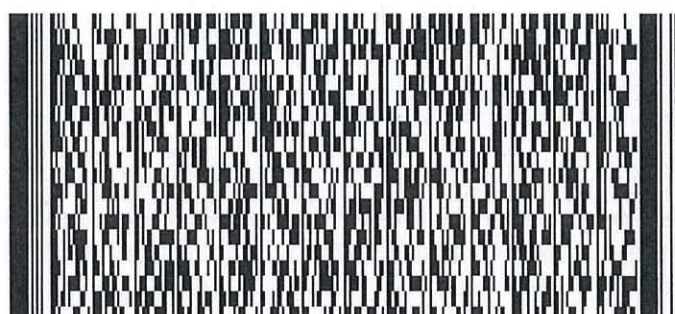
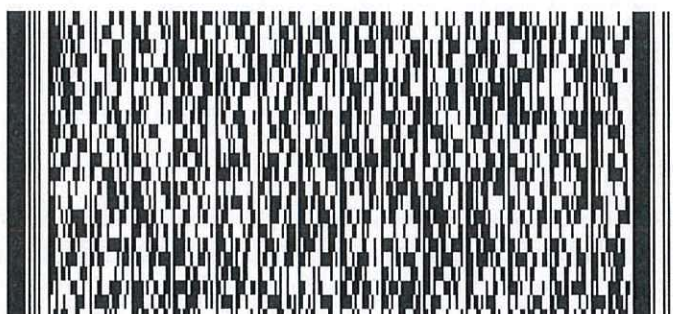
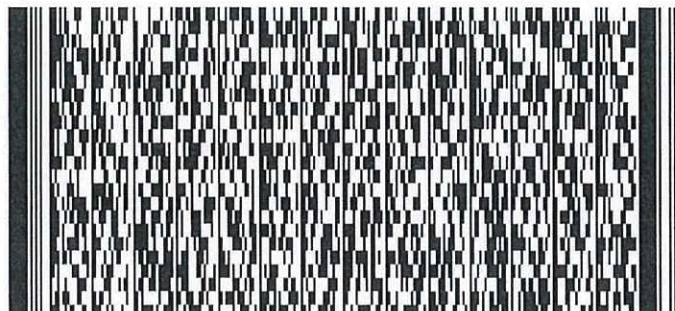
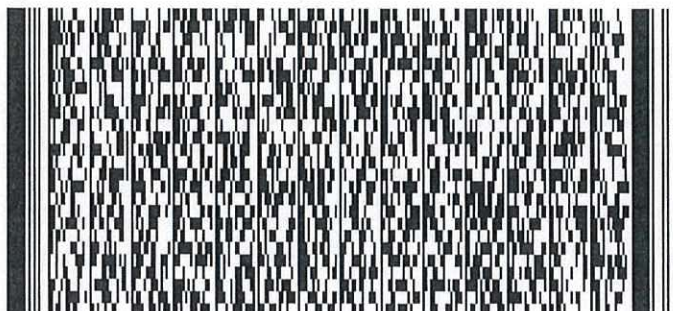
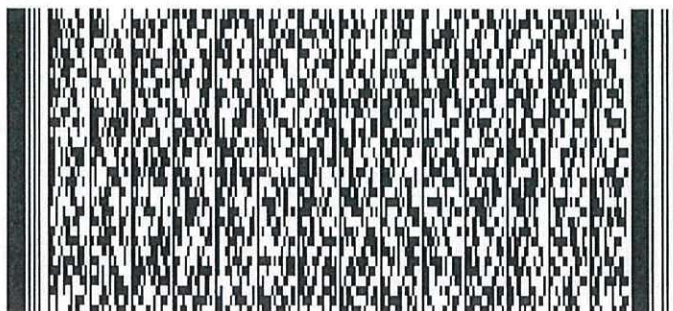


Serial Number

[REDACTED]

Name of Client 顧客姓名

The Hong Kong Jockey Club



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:
消防處檔號

Serial Number

Name of Client 顧客姓名

The Hong Kong Jockey Club

Address 地址

Happy Valley Club House - Sports Complex, LL 3054 & 8204, Shan Kwong Road, Happy Valley, Hong Kong Island

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☒ Licensed premises 持牌處所 ☐ Institutional 社團**Part 1 Annual Maintenance ONLY**
第一部 只適用於年檢事項

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Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
24	5kg CO2 FE x 13 nos.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024
24	9L Water FE x 7 nos.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

MP464

Contact: Raymond Leung

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:
授權人簽署Name:
姓名

Kai Hoi Man, Simon

FSD/RC No.:
消防處註冊號碼

RC3 / 0511 RC /

Company Name:
公司名稱

Kai Hoi Man, Simon

Telephone:
聯絡電話Date:
日期

12/04/2023

For FSD use only

Inspected

Key-in

Verified



Serial Number

Name of Client 顧客姓名

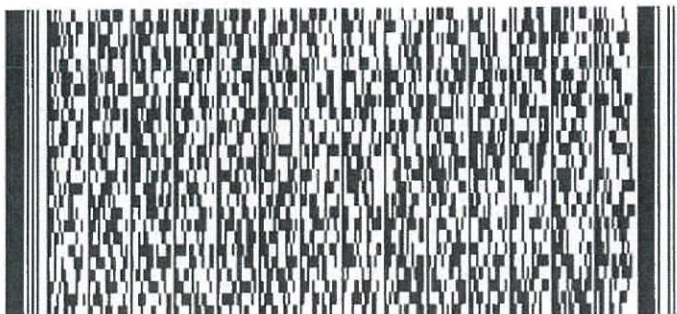
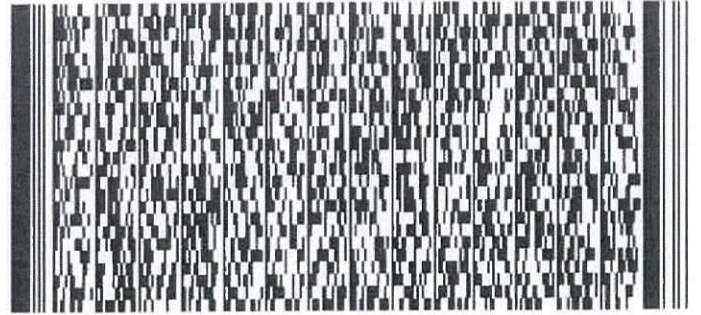
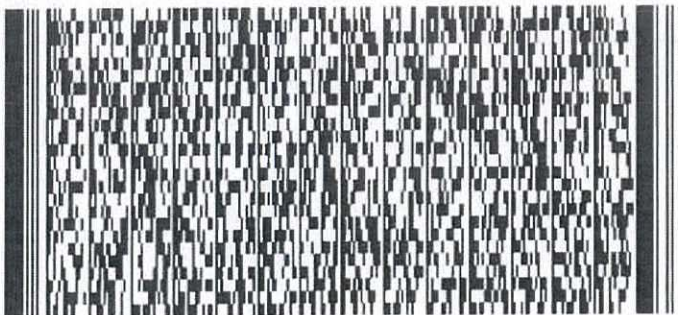
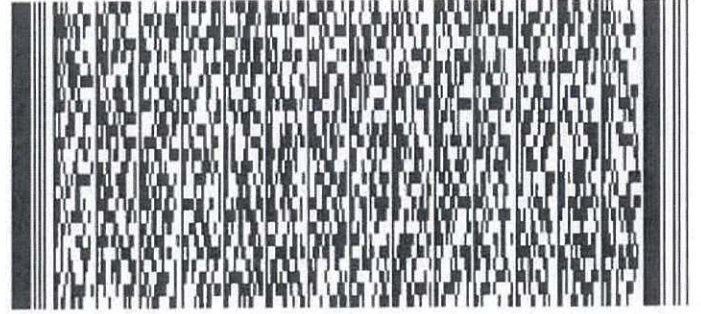
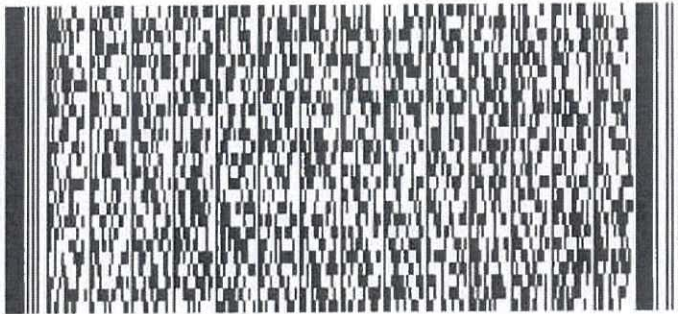
The Hong Kong Jockey Club

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

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Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
24	6kg Dry Powder FE x 1 no.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024
24	5kg Dry Powder FE x 2 nos.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024
24	2kg Dry Powder FE x 1 no.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024
25	Sand Bucket x 3 nos.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024
25	Fire Blanket x 2 nos.	Whole Building	Conform with FSD requirements	06/04/2023	05/04/2024

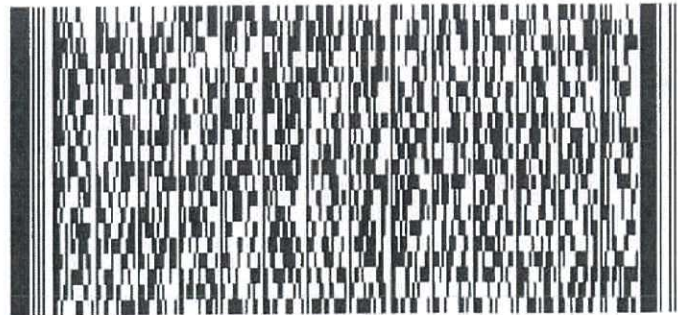
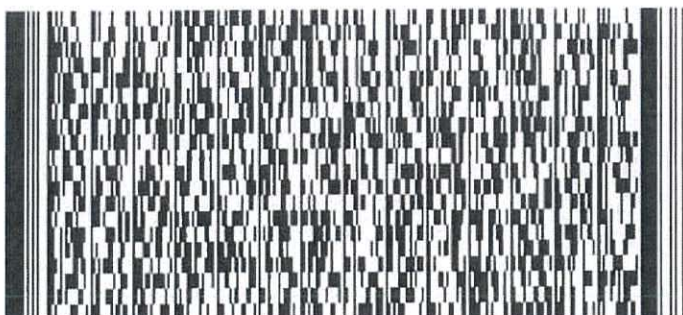
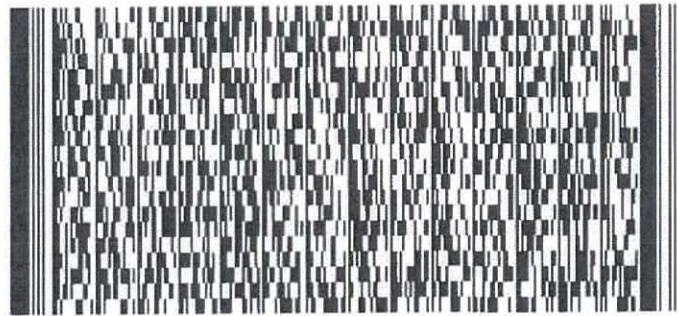
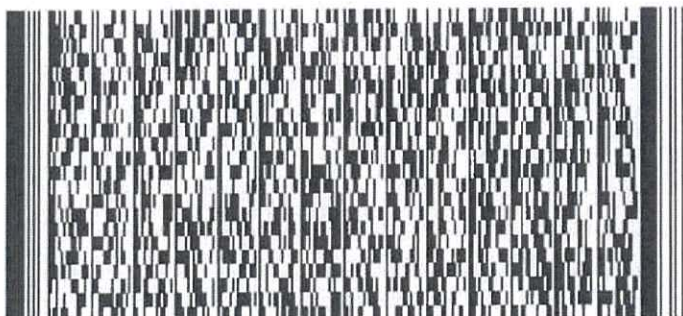
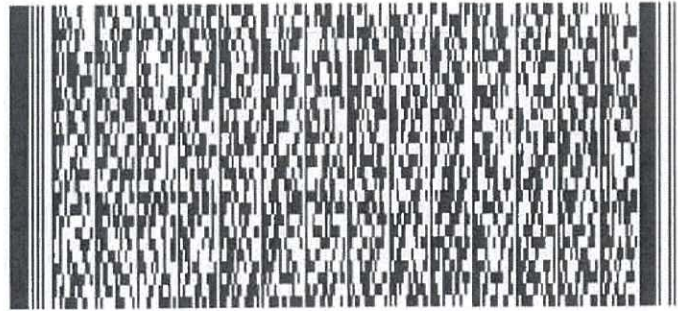
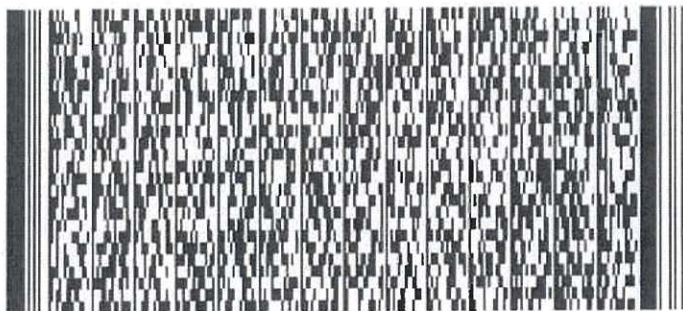
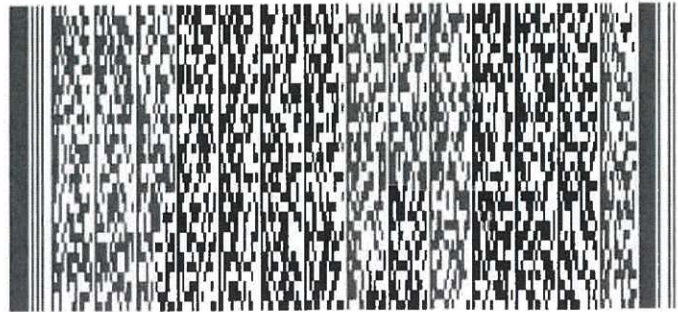


Serial Number

[REDACTED]

Name of Client 顧客姓名

The Hong Kong Jockey Club



Equipment List at Various Club Premises

Appendix Im

(For reference only)

SoW Item	District	Building	Location	Cutte No.	Brand Name	Equipment	Installed Date	L.M Date	Date of Next Replacement	Serial No.	Certificate No.
2.5.1	HVOC	Sports Complex	F.S. Un Feed Pump Rm	SC-1F-01	VSIJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	2020	30511030154
2.5.1	HVOC	Sports Complex	Switch Rm	SC-1F-02	VSIJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	1740	30511030154
2.5.1	HVOC	Sports Complex	Boiler Rm	SC-1F-03	VSIJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	1573	30511030154
2.5.1	HVOC	Sports Complex	Corridor	SC-1F-04	NCF	9 Litre Water/CO2	Apr-2022	Apr-2022	Apr-2025	---	30511030154
2.5.1	HVOC	Sports Complex	Boiler Rm	SC-1F-05	Local	Sand Bucket	Jun-2019	Apr-2022	---	---	30511030154
2.5.1	HVOC	Sports Complex	Boiler Rm	SC-1F-06	Local	Sand Bucket	Jun-2019	Apr-2022	---	---	30511030154
2.5.1	HVOC	Sports Complex	Duct Rm	SC-1F-07	FJ	5 kg CO2 Gas	Apr-2022	Apr-2022	Apr-2027	1368	30511030154
2.5.1	HVOC	Sports Complex	Golf Rm	SC-1F-08	FJ	5 kg CO2 Gas	Apr-2022	Apr-2022	Apr-2027	1052	30511030154
2.5.1	HVOC	Sports Complex	Plant Rm	SC-2F-01	VSIJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	2033	30511030154
2.5.1	HVOC	Sports Complex	Corridor	SC-2F-02	NCF	9 Litre Water/CO2	Apr-2022	Apr-2022	Apr-2027	---	30511030154
2.5.1	HVOC	Sports Complex	Corridor	SC-2F-03	NCF	9 Litre Water/CO2	Apr-2022	Apr-2022	Apr-2027	---	30511030154
2.5.1	HVOC	Sports Complex	2/F 廚房	SC-2F-04	VSIJ	2 kg Dry Powder	Apr-2019	Apr-2022	Apr-2024	3792	30511030154
2.5.1	HVOC	Sports Complex	2/F 廚房	SC-2F-05	---	Sand Bucket	Apr-2022	Apr-2022	Apr-2024	---	30511030154
2.5.1	HVOC	Sports Complex	2/F 廚房	SC-2F-06	---	Fire Blanket	Apr-2019	Apr-2022	Apr-2024	---	30511030154
2.5.1	HVOC	Sports Complex	Male Changing Rm	SC-3F-01	VSIJ	5 kg Dry Powder	Apr-2022	Apr-2022	Apr-2027	504226	30511030154
2.5.1	HVOC	Sports Complex	Female Changing Rm	SC-3F-02	VSIJ	5 kg Dry Powder	Apr-2022	Apr-2022	Apr-2027	504211	30511030154
2.5.1	HVOC	Sports Complex	Strinkler Pump Rm	SC-4F-01	FJ	5 kg CO2 Gas	Apr-2022	Apr-2022	Apr-2027	986	30511030154
2.5.1	HVOC	Sports Complex	Switch Rm	SC-4F-02	NCF	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	1968	30511030154
2.5.1	HVOC	Sports Complex	Corridor	SC-4F-03	NCF	9 Litre Water/CO2	Apr-2022	Apr-2022	Apr-2027	---	30511030154
2.5.1	HVOC	Sports Complex	Switch Rm (inside Uniser Studio)	SC-4F-04	VSIJ	5 kg CO2 Gas	Jun-2018	Apr-2022	Jun-2023	7256	30511030154
2.5.1	HVOC	Sports Complex	Snack Bar	SC-4F-05	NCF	9 Litre Water/CO2	Apr-2022	Apr-2022	Apr-2027	---	30511030154
2.5.1	HVOC	Sports Complex	4F	SC-4F-8	SRI	6 kg Dry Powder	May-2020	Apr-2022	May-2025	---	30511030154
2.5.1	HVOC	Sports Complex	4F	SC-4F-9	NCF	9 Litre Water/CO2	May-2020	Apr-2022	May-2025	---	30511030154
2.5.1	HVOC	Sports Complex	4F	SC-4F-6	FJ	5 kg CO2 Gas	Apr-2018	Apr-2022	Apr-2023	---	30511030154
2.5.1	HVOC	Sports Complex	4F	SC-4F-7	---	Fire Blanket	Apr-2019	Apr-2022	Apr-2024	---	30511030154
2.5.1	HVOC	Sports Complex	Snack Bar	SC-4F-10	NCF	9 Litre Water/CO2	Apr-2018	Apr-2022	Apr-2023	---	30511030154
2.5.1	HVOC	Sports Complex	Snack Bar	SC-4F-01	FJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	---	30511030154
2.5.1	HVOC	Sports Complex	Snack Bar	SC-4F-02	FJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	---	30511030154
2.5.1	HVOC	Sports Complex	Snack Bar	SC-4F-03	FJ	5 kg CO2 Gas	May-2020	Apr-2022	May-2025	---	30511030154

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:
消防處檔號

Serial Number

Name of Client 顧客姓名

The Hong Kong Jockey Club

Address 地址

Sports Complex, Happy Valley Club House, No. IL3054 Shan Kwong Road, Happy Valley, Hong Kong Island

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☒ Licensed premises 持牌處所 ☐ Institutional 社團

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
31	Ventilation/Air Conditioning Control Systems(Fire Trip Signal)	All	Conforms with FSD requirements	06/02/2023	05/02/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Lau Ching Chin

FSD/RC No.:

消防處註冊號碼

RC1 / 0370 RC2 / 0529

Company Name:

公司名稱

Siemens Ltd.

Telephone:

聯絡電話

Date:

日期

07/02/2023

For FSD use only

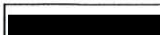
Inspected

Key-in

Verified

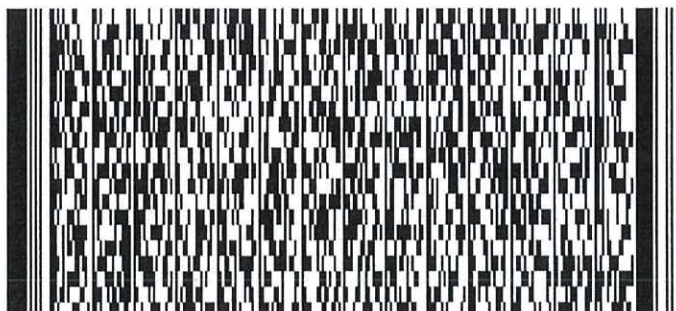
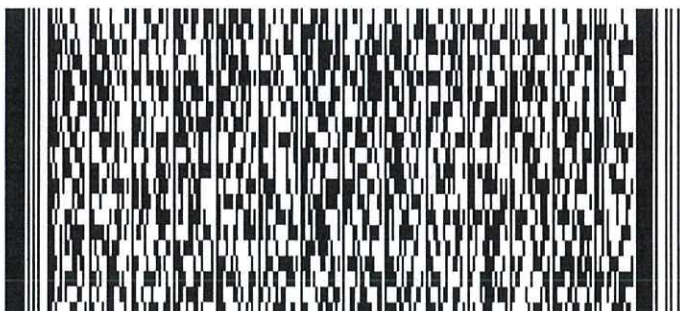
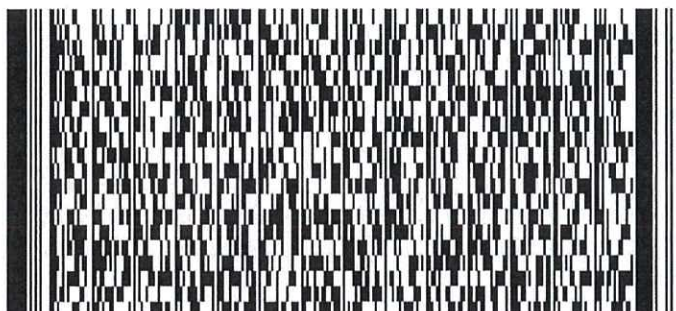
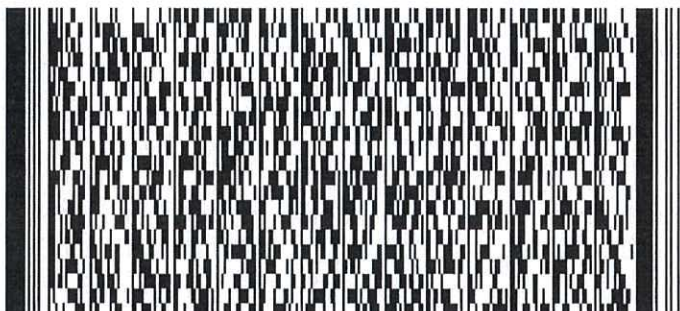
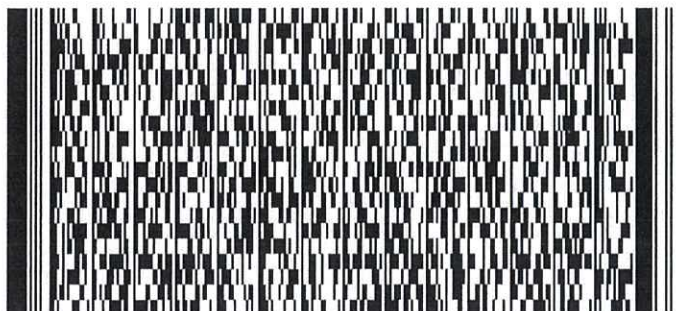
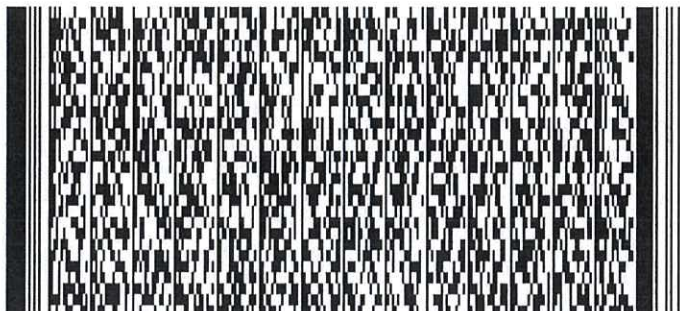
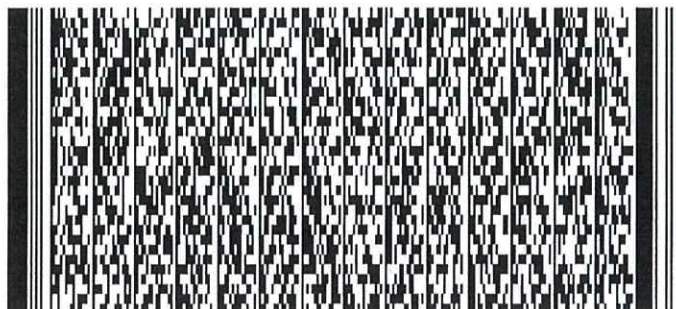
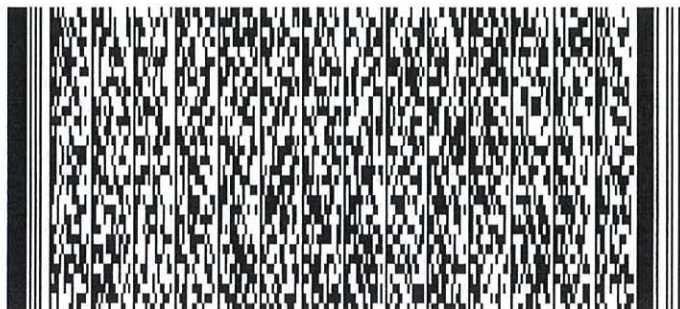


Serial Number



Name of Client 顧客姓名

The Hong Kong Jockey Club



Appendix F

CERTIFIED TRUE COPY

M. C. WONG

Senior Clerical Officer

A public officer authorized by the Building Authority in writing for the purposes of Section 36 of the Buildings Ordinance.

1111 1997

GOVERNMENT OF HONG KONG

Form 32

BUILDING (PLANNING) REGULATIONS

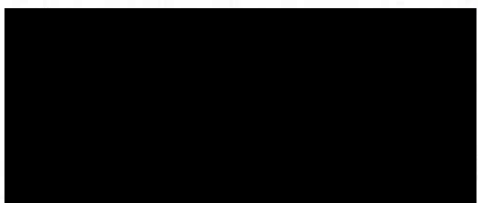
Regulation 51

Permit to erect a temporary building

Permit No. 5/88

B.O.O. Ref. No. BLD(B) 2/3092/86

To The Hong Kong Jockey Club
c/o Mr. TONG Kin-Long



THIS PERMIT HAS BEEN EXTENDED
UNTIL 4 OCT 1993
C. P. Tsang
pro Building Authority

THIS PERMIT HAS BEEN EXTENDED
UNTIL 1 MAY 2003
CHOW Kim ping, Alex
Chief Building Surveyor
for Building Authority
DATE 17 JUL 2002

OFFICE OF THE BUILDING AUTHORITY

21st April, 1988.

I hereby permit the erection of a temporary building at (No. and name of street) Shan Kwong Road,

Happy Valley

on (Lot No./Permit Area) I.L. 3054

in accordance with the plans submitted by Mr. Graham J. Jex on 3rd February, 1988 and amended /
authorized person.

2. The permit is issued subject to the following conditions—

- (a) the work shall be carried out in accordance with the provisions of Part VII of the Building (Planning) Regulations;
- (b) all precautions against fire shall be taken to the satisfaction of the Director of Fire Services;
- (c) the maximum number of persons to be accommodated shall be as shown on the plans;
- (d) this permit shall be returned to the above office on expiry;
- (e) this permit may be cancelled at any time without compensation by the service of a notice in writing on the permittee by the Building Authority; and
- (f) upon expiry or cancellation of this permit, the temporary building shall be removed forthwith.

3. This permit is valid until 20th April, 1993.

THIS PERMIT HAS BEEN EXTENDED
UNTIL 30 APR 2002
CHOW Kim ping, Alex
Chief Building Surveyor
for Building Authority
DATE 10 JUL 2003

KCM/kc c.c. C. of R. & V.
D.U.S.
D.L.O./H.K.W.

(C.P. TSANG)
pro. Building Authority

香港政府

表格三十二

建築物(設計)規例
規例第五十一條

22 JUL 2002

DATE 16 JUN 1997

臨時建築物興建許可證

THIS PERMIT HAS BEEN EXTENDED
UNTIL - 1 MAY 2013
HO Kwok-hung CBS
for Building Authority
DATE 16 MAY 2008

許可證編號
建築物條例執行處檔案編號
致：
Chief Building Surveyor
for Building Authority
DATE

THIS PERMIT HAS BEEN EXTENDED
UNTIL 1 MAY 2011
LAM Siu-kay, Junkers
Chief Building Surveyor
for Building Authority
DATE 27 APR 2018

發證機關：建築事務監督辦事處

發證日期：一九 年 月 日

(地段號數/許可證地區號數)

按照由認可人士 先生呈交之圖則，興建一臨時建築物

二、本許可證乃根據下開條件而簽發：——

- (a) 有關工程須按照建築物(設計)規例第七部條文予以執行；
- (b) 必須採取一切防火措施，而此等措施必須達消防事務處處長認為滿意程度；
- (c) (有關建築物)所容納人數最多僅應為 人；
- (d) 本許可證滿期後，應立即將之交回上述發證機關；
- (e) 建築事務監督可藉向許可證持有人送達書面通知而隨時將本許可證撤銷，不須給予補償；
- (f) 本許可證滿期或遭撤銷後，該臨時建築物須予隨即拆除。

三、本許可證有效期迄

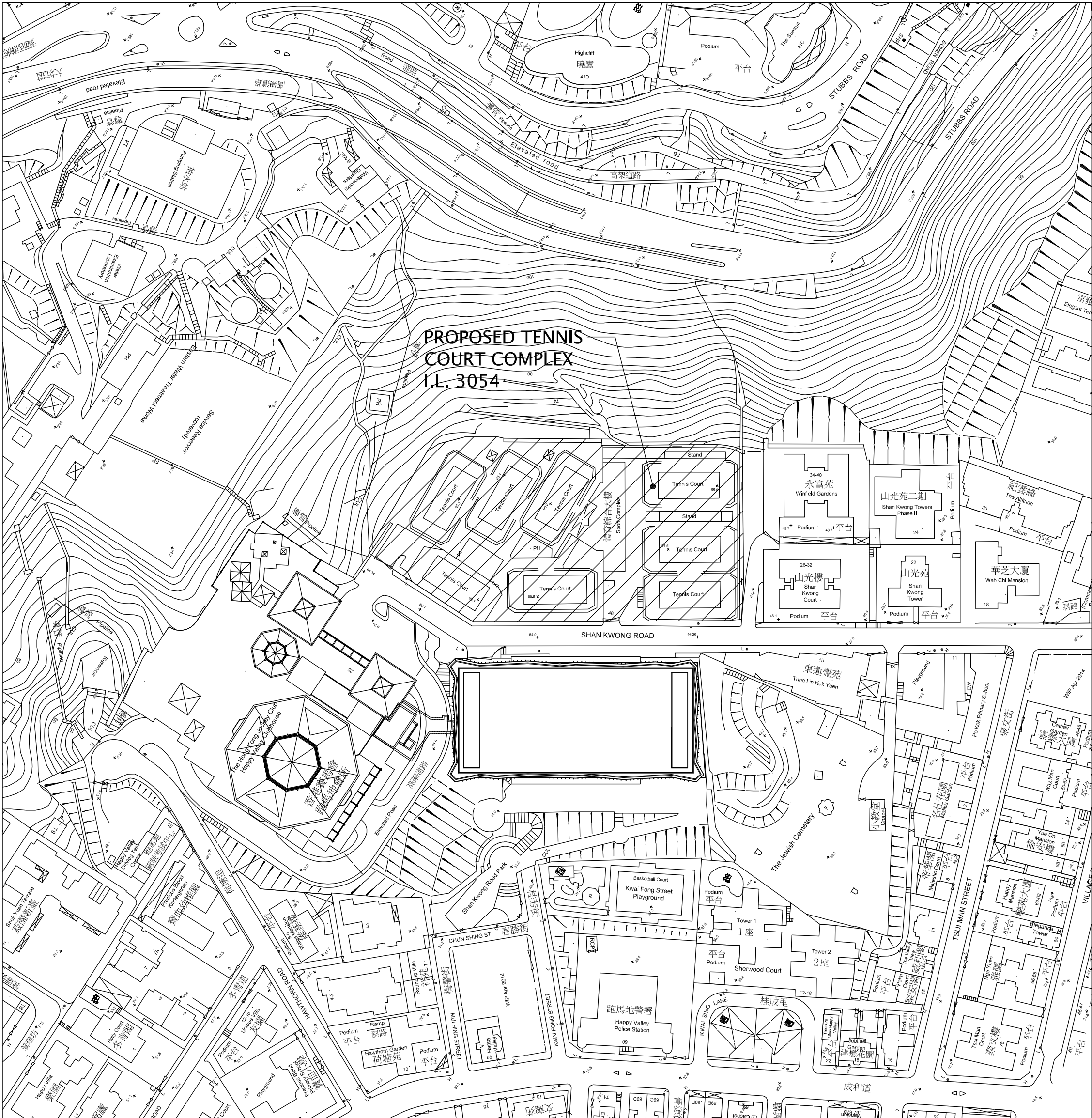
THIS PERMIT HAS BEEN EXTENDED
UNTIL 1 MAY 2014
YU Po-mei, Clarice
Chief Building Surveyor
for Building Authority
DATE 17 MAY 2013

THIS PERMIT HAS BEEN EXTENDED
UNTIL 13 MAR 2018
LEUNG Tung-choi, Thomas
Chief Building Surveyor
for Building Authority
DATE 13 MAR 2014

THIS PERMIT HAS BEEN EXTENDED
UNTIL
建築事務監督
(代行)
Chief Building Surveyor
for Building Authority
DATE

Appendix G

FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

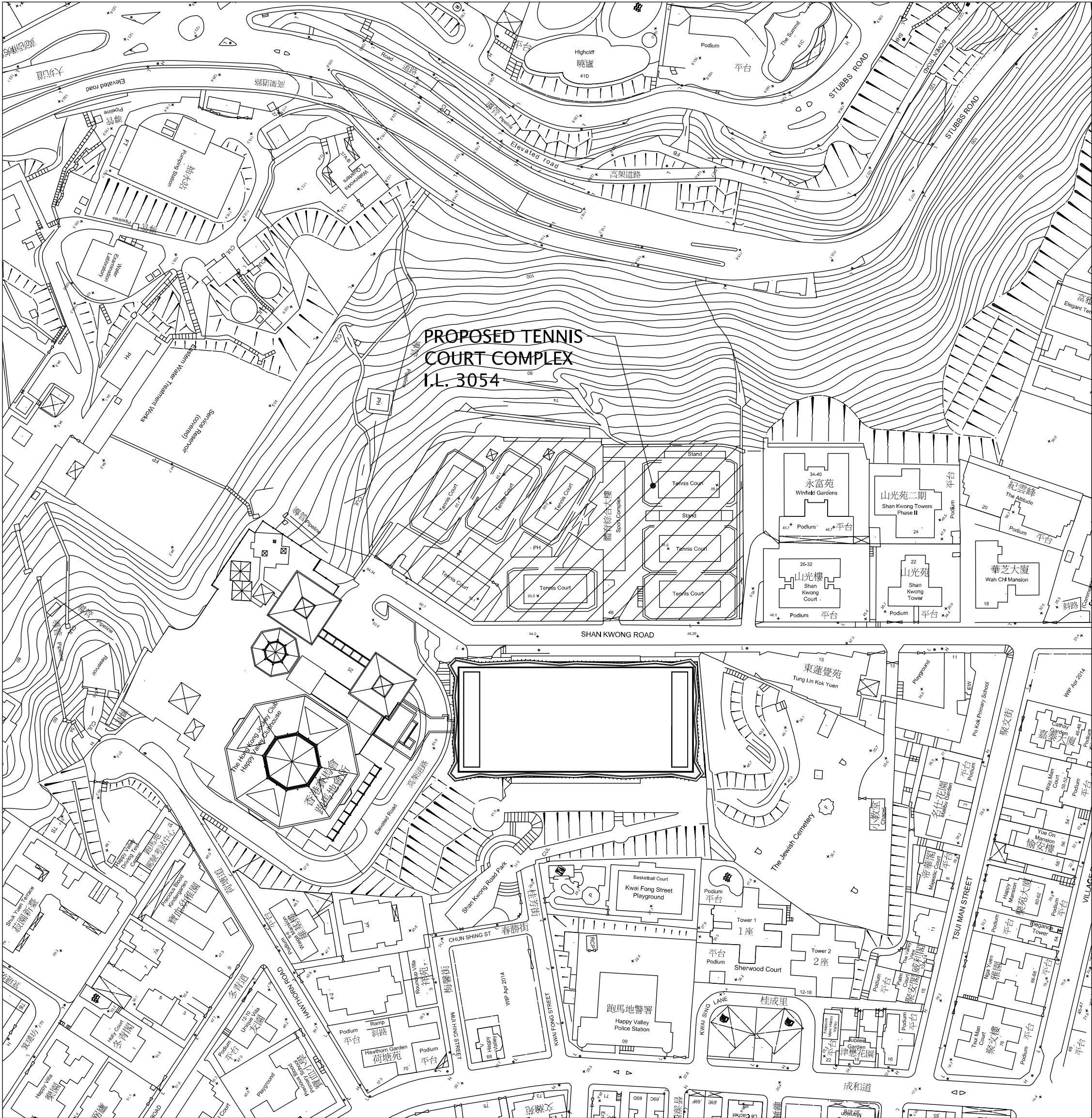


SITE PLAN
SCALE (1:2000)

BD REF :	—
FSD REF :	—
Notes : 1. MEASUREMENTS ARE BASED ON METRIC SYSTEM. 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE. 3. DO NOT SCALE DRAWING. 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED. 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT. 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.	

NO.	DATE	REVISIONS
CLIENT:  香港賽馬會 The Hong Kong Jockey Club		
PROJECT: SPORTS COMPLEX SHAN KWONG ROAD I.L. 3054		
DRAWING TITLE : SITE PLAN (UPDATED ON 26-2-18)		
DESIGNED BY : Gene	CHECKED BY : D.T.	CONFIRMED BY : D.T.
DRAWN BY : Y.W.C.	SCALE : 1: 2000 (A3)	JOB NO. : —
DATE : —	REVISION : —	DRAWING NO. : A-1
 DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED 13/F, PARKVIEW COMMERCIAL BUILDING, 9-11 SHELTER STREET, CAUSEWAY BAY, HONG KONG. Tel : 28151929 Fax : 28150570 E-mail : dtcsoo@dtcsoo.com.hk		

CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

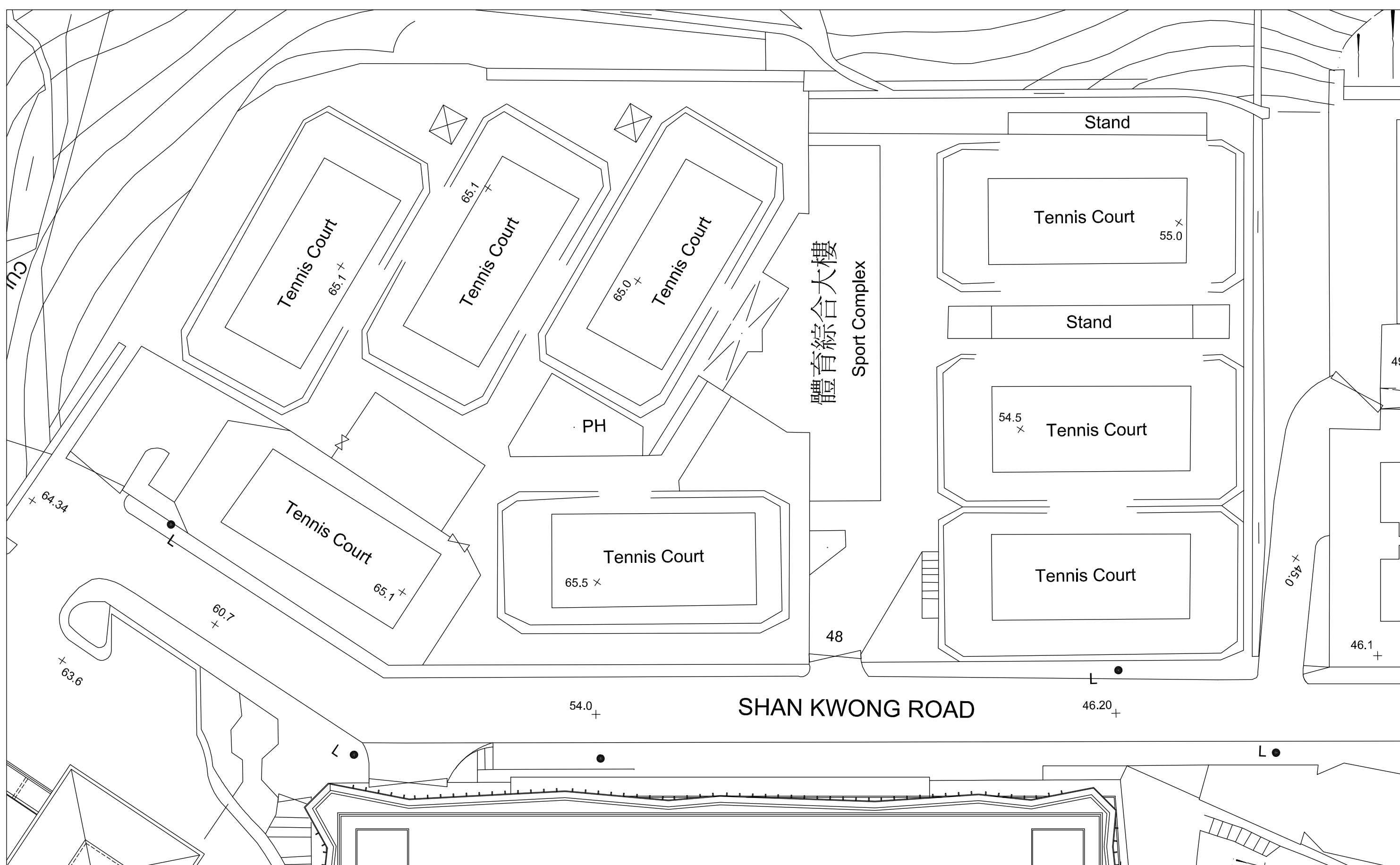


SITE PLAN
SCALE (1:2000)



BD REF :	—
FSD REF :	—
Notes : 1. MEASUREMENTS ARE BASED ON METRIC SYSTEM. 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE. 3. DO NOT SCALE DRAWING. 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED. 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT. 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION.	

NO.	DATE	REVISIONS
CLIENT:  香港賽馬會 The Hong Kong Jockey Club		
PROJECT: SPORTS COMPLEX SHAN KWONG ROAD I.L. 3054		
DRAWING TITLE : SITE PLAN (UPDATED ON 26-2-18)		
DESIGNED BY : Gene	CHECKED BY : D.T.	CONFIRMED BY : D.T.
DRAWN BY : Y.W.C.	SCALE : 1: 2000 (A3)	JOB NO. : —
DATE : —	REVISION : —	DRAWING NO. : A-1
 DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED 13/F, PARKVIEW COMMERCIAL BUILDING, 9-11 SHELTER STREET, CAUSEWAY BAY, HONG KONG. Tel : 28151929 Fax : 28150570 E-mail : dtcsoo@dtcsoo.com.hk		

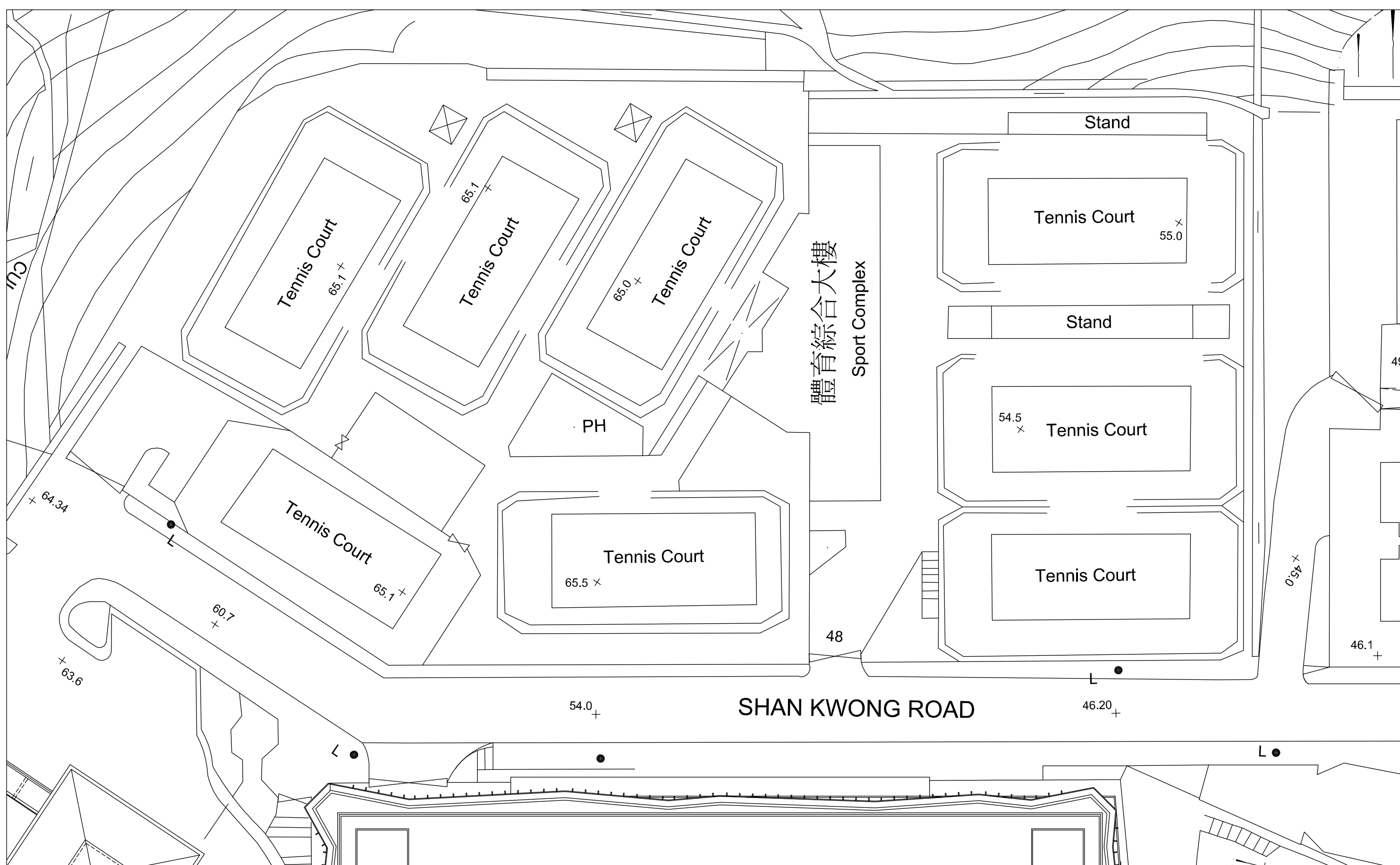
BD REF :	—
FSD REF :	—
<p>Notes :</p> <ol style="list-style-type: none"> 1. MEASUREMENTS ARE BASED ON METRIC SYSTEM. 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE. 3. DO NOT SCALE DRAWING. 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED. 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT. 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION. 	





UPPER AND LOWER SITE PLAN
SCALE (1:600)

NO.	DATE	REVISIONS
CLIENT:		
		
<p style="text-align: center;">香港賽馬會 The Hong Kong Jockey Club</p>		
PROJECT :		
SPORTS COMPLEX		
SHAN KWONG ROAD		
I.L. 3054		
DRAWING TITLE :		
UPPER AND LOWER		
SITE PLAN		
(UPDATED ON 26-2-18)		
DESIGNED :	CHECKED BY :	CONFIRMED :
Gene	D.T.	D.T.
DRAWN :	SCALE :	JOB NO. :
Y.W.C.	1: 600 (A3)	—
DATE :	REVISION :	DRAWING NO. :
—	—	A-2
 DANIEL CHEONG CHARTERED ARCHITECT & ASSOCIATES LIMITED 13/F, PARKVIEW COMMERCIAL BUILDING, 9-11 SHELTER STREET, CAUSWAY BAY, HONG KONG. Tel. : 28101928 Fax : 28102070 E-mail : efc@dcfa.com.hk		

BD REF :	—
FSD REF :	—
<p>Notes :</p> <ol style="list-style-type: none"> 1. MEASUREMENTS ARE BASED ON METRIC SYSTEM. 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE. 3. DO NOT SCALE DRAWING. 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED. 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT. 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY DEVIATION FROM DIMENSION BEFORE CONSTRUCTION. 	



UPPER AND LOWER SITE PLAN
SCALE (1:600)

NO.	DATE	REVISIONS
CLIENT:		
		
香港賽馬會 The Hong Kong Jockey Club		
PROJECT :		
SPORTS COMPLEX		
SHAN KWONG ROAD		
I.L. 3054		
DRAWING TITLE :		
UPPER AND LOWER		
SITE PLAN		
(UPDATED ON 26-2-18)		
DESIGNED :	CHECKED BY :	CONFIRMED :
Gene	D.T.	D.T.
DRAWN :	SCALE :	JOB NO. :
Y.W.C.	1: 600 (A3)	—
DATE :	REVISION :	DRAWING NO. :
—	—	A-2
 DANIEL, FOOK & ASSOCIATES LIMITED 13/F, PARKVIEW COMMERCIAL BUILDING, 9-11 SHELTER STREET, CAUSWAY BAY, HONG KONG. Tel. : 28101928 Fax : 28102070 E-mail : dfcas@dfcas.com.hk		

FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

1. Dimensions not to be scaled.
2. Dimensions given on drawings are to structure, unless otherwise stated.
3. All foundations to be rest on solid ground.
4. All R.C.C. works to be in 1:2:4 mix unless otherwise stated.
5. For levels of all foundations refer to structural drawings.
6. For superstructure see structural details and calculations submitted.
7. For all drainage works refer to drainage plans and details.
8. Water Authority requirements to be complied with for all plumbing works.
9. All bath & shower room to have ceramic tiles wall and flooring.
10. Treads of staircases to be not less than 225 mm and risers to be not more than 175 mm.
11. Every staircases to have a clear headroom of not less than 2000 mm.
12. Staircases more than 1050 mm wide to be provided with handrails on both sides.
13. All beams to be at not less than 2300 mm measured from the floor to underside of beam and minimum clear height from finished floor to ceiling to be 2500 mm.
14. Requirement of disable lavatory to be complied with Building Regulations.
15. Artificial lighting and mechanical ventilation to be provided as indicated on plan.
16. Hot water supply to bath room and shower room is from central hot water system.

FIRE SERVICE NOTES

1. Fire Services HR / FH system in accordance with HKFSD Code of Practice, consisting of:
- 6 nos. of Hose Reel
- 2 nos. of Fire Hydrant
- at positions as indicated on plans.
2. Portable equipment provided at locations on plan:
- 3 nos. 9 litre water CO₂ F.S.
- 2 nos. 3 kg BCF F.S.
- 2 nos. bucket of sand
3. Hose reel length to be 30 m, and 1 no. of F.S. Inlet to be provided at the position indicated. A water tank of capacity not less than 27000 litres to be provided to supply the FH/HR installation.
4. Standard requirements for switch rooms to be complied with.
5. No dangerous goods to be stored without the Authority of the Director of Fire Services.
6. All electrical circuits to be protected by Miniature Circuit Breakers in lieu of conventional re-wireable fuses.
7. All fire doors to be solid hardwood core of the thickness and FRP shown on the drawings. Fire doors to be held closed by self-closers (which do not have a check action that allows the door to be held open at 90°). All smoke lobby doors to have appropriate "Keep Closed" notices on both sides.
8. A manual fire alarm system to be provided throughout the building and to be incorporated in the FH/HR installation.
9. Parity valves shall be provided for the hydrants to maintain a pressure not exceeding 700kPa max to 400kPa min. at any one hydrant point.
10. (i) Services ducts to be of substantial fire and mechanical resistant construction (i.e. brick or concrete).
- (ii) Services ducts to be sealed up at point which they pass through floor and compartment walls. All inspection doors to be 50 mm hardwood selfclosing or equivalent.
11. The internal diameter of each rising main of the fire services installation shall be not less than 80 mm each rising main shall supply one outlets at each hydrant point.
12. All internal linings for acoustic, thermal insulation or decorative purposes shall be of Class 1 or 2 rate of surface flame spread as laid down by BS 476 of 1971 (Part 7).
13. All exits as shown on the plans to be clearly indicated by illuminated "EXIT" signs in both English and Chinese characters in 125 mm height.
14. A secondary electricity supply to be provided to maintain all essential services in the event of a main power failure or a fire incident.
15. All elements of construction shall have an FRP not less than 1 hour.
16. Building (Ventilation System) Regulations to be complied with when applicable.

INDICATION

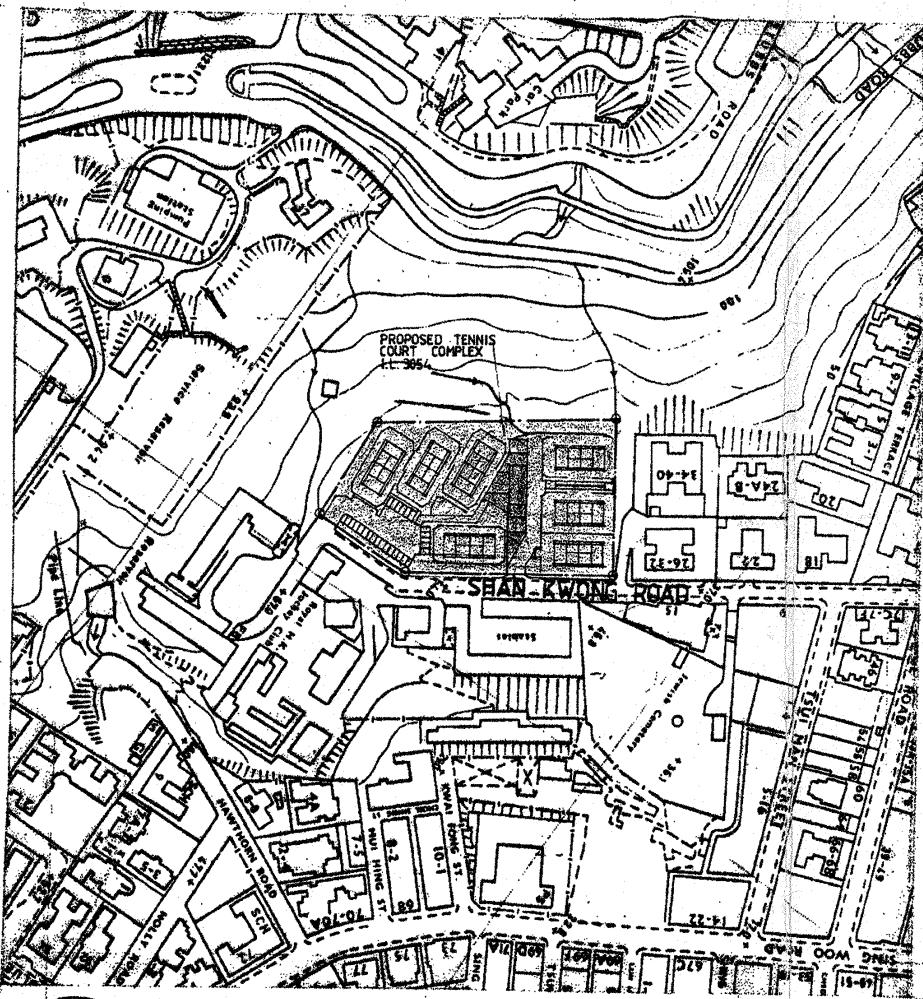
- R.C. CONCRETE
- BRICK
- SOLID CONCRETE BLOCK
- HARDCORE
- METAL WORK
- WOOD WORK
- CERAMIC TILES
- CEMENT SAND RENDERING
- GLAZING
- SANITARY FITMENTS
- EXISTING LEVEL
- NEW FORM LEVEL
- DIRECTION OF FALL
- HOSE REEL
- FIRE HYDRANT
- FIRE EXTINGUISHER
- SPRINKLER HEAD

DOOR MARKS

- 50mm HARDWOOD SELF-CLOSING DOOR WITH WIRED GLASS PANEL
- 50mm HARDWOOD SELF-CLOSING DOOR
- 50mm HARDWOOD SELF CLOSING INSPECTION PANEL
- METAL FRENCH DOOR

FIRE SERVICE NOTES (CONT.)

17. An automatic sprinkler system, Ordinary Hazard Group 1, will be provided in accordance with FSC rules for automatic sprinkler installation 2004 edition, to protect the entire building except guest rooms, toilets, showers and mechanical/electrical rooms such as pump rooms, A/C plant room, A/C chiller room, switch room and electric water heater room.
18. One no. sprinkler inlet and one no. sprinkler annunciator panel will be provided at the position indicated.
19. A 55 m³ sprinkler tank to be provided to supply the sprinkler system installation.
20. Water supply for the 27 m³ FH tank and the 55 m³ sprinkler tank shall be fed from a single and feed down main at Shan Kwong Road via a pump and pump system.
21. No automatic fire detection system will be provided.
22. Emergency lighting shall be provided throughout the entire building and all exit routes leading to ground level on level 1 and level 2.



SITE PLAN (SCALE: 1:1000)

B.D.D. REF. NO. 2/86

F.S.D. REF. NO.

AUTHORISED PERSON

Graham J. Lee

Fig. Arch. ASLA, I.C.S. Authorised Person for Robert Matthews, Architect (Hong Kong)

FOR B.O. SUBMISSION ONLY

Date	Revised	Drawn	Scale
The Royal Hong Kong Jockey Club TENNIS COURTS COMPLEX SHAN KWONG ROAD I.L.3054			
Robert Matthew, Johnson-Marshall(HK) Architects & Planners 251 Gloucester Road, Causeway Bay, Hong Kong Tel: 5 900018 Fax: 5 742071			
Maunsell Consultants Asia Ltd. Consulting Civil & Structural Engineers 143 - 145 Hing Fong Street, Causeway Bay, Hong Kong Tel: 5 742071 Fax: 5 742072			
J Roger Preston Partners Consulting Mechanical & Electrical Engineers 1801 Queen's Road, Causeway Bay, Hong Kong Tel: 5 742071 Fax: 5 742072			
Langdon Every Seah Quantity Surveyors & Cost Consultants 214 Leighton Road, Causeway Bay, Hong Kong Tel: 5 742071 Fax: 5 742072			
Drawing Title			
SITE PLAN & NOTES			
Scale	1:1000	Date	01/09/87
PROJECT	240	Drawn by	D.C.
		Checked by	HK 533B/B/01

HSC-110

CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

GENERAL NOTES

1. Dimensions not to be scaled.
2. Dimensions given on drawings are to structure, unless otherwise stated.
3. All foundations to be rest on solid ground.
4. All R.C.C. works to be in 1:2:4 mix unless otherwise stated.
5. For levels of all foundations refer to structural drawings.
6. For superstructure see structural details and calculations submitted.
7. For all drainage works refer to drainage plans and details.
8. Water Authority requirements to be complied with for all plumbing works.
9. All bath & shower room to have ceramic tiles wall and flooring.
10. Treads of staircases to be not less than 225 mm and risers to be not more than 175 mm.
11. Every staircases to have a clear headroom of not less than 2000 mm.
12. Staircases more than 1050 mm wide to be provided with handrails on both sides.
13. All beams to be at not less than 2300 mm measured from the floor to underside of beam and minimum clear height from finished floor to ceiling to be 2500 mm.
14. Requirement of disable lavatory to be complied with Building Regulations.
15. Artificial lighting and mechanical ventilation to be provided as indicated on plan.
16. Hot water supply to bath room and shower room is from central hot water system.

FIRE SERVICE NOTES

1. Fire Services HR / FH system in accordance with HKFSD Code of Practice, consisting of:
- 6 nos. of Hose Reel
- 2 nos. of Fire Hydrant
- at positions as indicated on plans.
2. Portable equipment provided at locations on plan:
- 3 nos. 9 litre water CO₂ F.S.
- 2 nos. 3 kg BCF F.S.
- 2 nos. bucket of sand
3. Hose reel length to be 30 m, and 1 no. of F.S. Inlet to be provided at the position indicated. A water tank of capacity not less than 27000 litres to be provided to supply the FH/HR installation.
4. Standard requirements for switch rooms to be complied with.
5. No dangerous goods to be stored without the Authority of the Director of Fire Services.
6. All electrical circuits to be protected by Miniature Circuit Breakers in lieu of conventional re-wireable fuses.
7. All fire doors to be solid hardwood core of the thickness and FRP shown on the drawings. Fire doors to be held closed by self-closers (which do not have a check action that allows the door to be held open at 90°). All smoke lobby doors to have appropriate "Keep Closed" notices on both sides.
8. A manual fire alarm system to be provided throughout the building and to be incorporated in the FH/HR installation.
9. Parity valves shall be provided for the hydrants to maintain a pressure not exceeding 700kPa max to 400kPa min. at any one hydrant point.
10. (i) Services ducts to be of substantial fire and mechanical resistant construction (i.e. brick or concrete).
- (ii) Services ducts to be sealed up at point which they pass through floor and compartment walls. All inspection doors to be 50 mm hardwood selfclosing or equivalent.
11. The internal diameter of each rising main of the fire services installation shall be not less than 80 mm each rising main shall supply one outlets at each hydrant point.
12. All internal linings for acoustic, thermal insulation or decorative purposes shall be of Class 1 or 2 rate of surface flame spread as laid down by BS 476 of 1971 (Part 7).
13. All exits as shown on the plans to be clearly indicated by illuminated "EXIT" signs in both English and Chinese characters in 125 mm height.
14. A secondary electricity supply to be provided to maintain all essential services in the event of a main power failure or a fire incident.
15. All elements of construction shall have an FRP not less than 1 hour.
16. Building (Ventilation System) Regulations to be complied with when applicable.

INDICATION

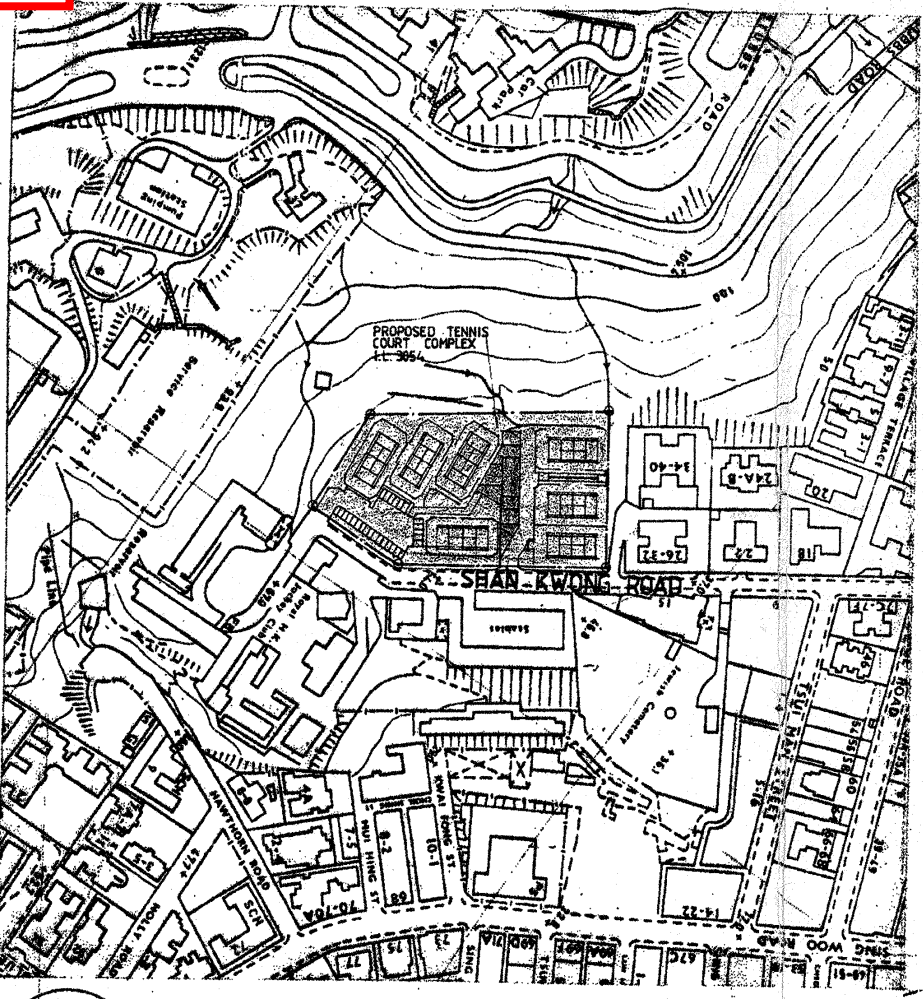
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SITE PLAN (SCALE: 1:1000)

B.D.D. REF. NO. 2/86

F.S.D. REF. NO.

AUTHORISED PERSON

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FOR B.O. SUBMISSION ONLY

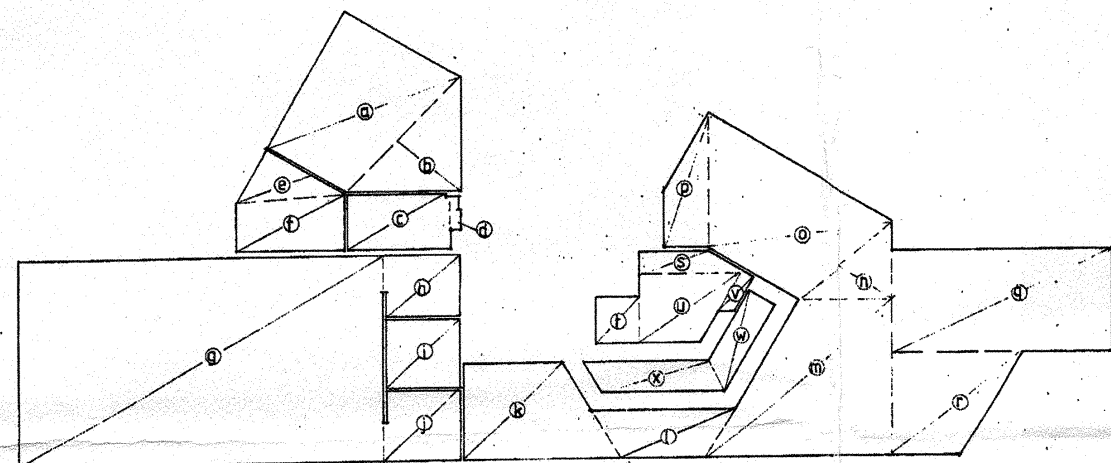
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Scale	1:1000	Date	01/09/87
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HSC-110

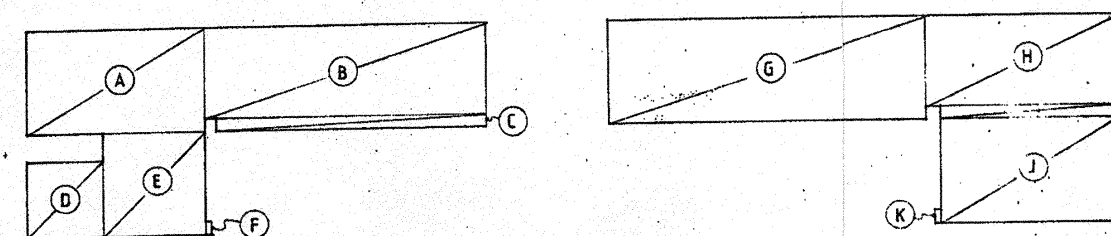
FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

SITE AREA	9 030 m ²
CLASS OF SITE	A
PERMISSIBLE PLOT RATIO	N/A
PERMISSIBLE SITE COVERAGE	N/A
BUILDING HEIGHT	6550 m - 54m = 115m (under 13m)
OPEN SPACE	N/A
STREET SHADOW AREA	N/A

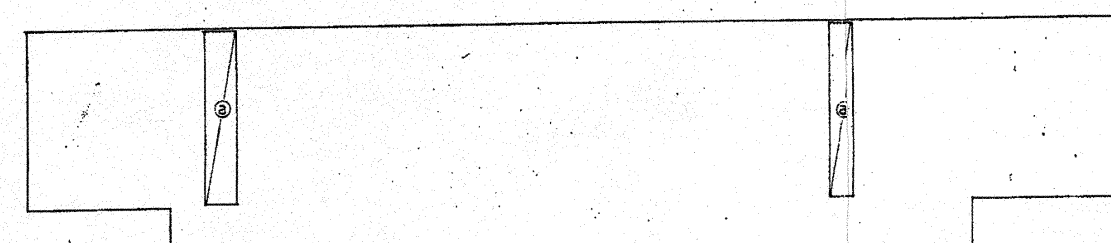
U. F. A. DIAGRAM



LEVEL 4



LEVEL 3



LEVEL 2

U.F.A. CALCULATION

LEVEL 4	
SPORTS EGYPT KIOSK	25,500
a) 15 x 3.5 x 6 x 3	9,360
b) 4.2 x 4.45 x 3	8,278
c) 3.85 x 2.15	8,278
d) 0.5 x 1.3	0,650
TOTAL	43,773 m ²
OFFICE	4,200
e) 2.4 x 3.5 x 3	8,056
f) (1.9 x 2.15) x 4.25 x 3	12,866
TOTAL	12,866 m ²
AEROBIC STUDIO	115,720
g) 14.2 x 8.15	6,860
h) (2.8 x 2.4) + (1.4 x 0.1)	7,420
i) 2.8 x 2.65	8,310
j) (2.8 x 2.9) + (1.9 x 0.1)	8,310
TOTAL	138,320 m ²
SNACK BAR	19,890
k) (4 x 6.2) x 3.9 x 3	8,700
l) (3.2 x 5.5) x 2.0 x 3	35,753
m) (3.85 x 7.5) x 6.3 x 3	5,775
n) (4.1 x 8.4) x 4.5 x 3	28,125
o) (2.15 x 5.1) x 1.65 x 3	5,981
p) 8.4 x 4.0	33,600
q) (5 x 2.6) x 4.1 x 3	15,580
TOTAL	153,406 m ²
BAR	3,440
r) (2.55 x 4.33) x 3	2,890
s) 1.7 x 1.7	7,438
t) (2.2 x 3.75) x 2.5 x 3	0,825
u) (1.5 x 1.8) x 0.5 x 3	4,160
v) (3.1 x 3.8) x 1.2 x 3	5,660
w) 4.7 x 1.2	26,373 m ²
TOTAL	372,676 m ²

LEVEL 3	
A 6,900 x 3,950	27,255 sqm
B 10,950 x 3,450	37,778 sqm
C 10,550 x 5,500	5,275 sqm
D 3,000 x 3,800	9,300 sqm
E 4,300 x 3,900	15,990 sqm
F 5,500 x 0,150	0,075 sqm
G 12,050 x 3,900	49,988 sqm
H 7,450 x 3,450	25,703 sqm
I 6,900 x 0,500	3,450 sqm
J 6,900 x 4,100	28,290 sqm
K 0,500 x 0,150	0,075 sqm
TOTAL U.F.A. OF LEVEL 3	203,159 sqm

LEVEL 2	
a) 2 x 6.5 x 1.2	15,600 m ²

SANITARY FITMENTS

FLOOR	USE	U.F.A. (m ²)	DENSITY	CAPACITY	RATIO	TOTAL	MALE FEMALE	REQUIRED	PROVIDED
LEVEL 1	SQUASH COURT	3 COURTS	2NDOS / COURT	6					
LEVEL 2	VIEWING GALLERY	15,600	1 m ² / PERSON	16					
LEVEL 3	CHANGING ROOMS	203,159	1.8 m ² / PERSON	113					
LEVEL 4	SNACK BAR	153,404	1 m ² / PERSON	154	1:1	344	172	2 3 3	3 6 4 7
	AEROBIC STUDIO	138,320	3 m ² / PERSON	47			172	5 3	7 8
	SPORTS EGYPT KIOSK	43,773	15 m ² / PERSON	3					
	OFFICE	12,806	9 m ² / PERSON	2					
	BAR	26,373	9 m ² / PERSON	3					

NOTE: IN ADDITION TO THE ABOVE
1ND WC+WHB IS PROVIDED FOR
THE HANDICAPPED ON LEVEL 4.

MEANS OF ESCAPE

FLOOR	CAPACITY	NO. OF EXIT	EXIT DOOR	EXIT ROUTE	TOTAL EXIT DOORS	TOTAL EXIT ROUTES
LEVEL 1	6	1	REQ'D PRO'D	REQ'D PRO'D	REQ'D PRO'D	REQ'D PRO'D
LEVEL 2	16	1	750 900	900 1500	750 1500	900 1500
LEVEL 3	113	2	1 050 1 800	1 050 1 500	3 000 3 600	3 000 3 000
LEVEL 4	109	2	1 050 1 800	1 050 1 500	3 000 3 600	3 000 3 000

DISCHARGE VALUE

FLOOR	USABLE FL. AREA	NO. OF PERSON	NO. OF STOREY ABOVE G/F	TOTAL CAPACITY	NO. OF STAIRCASE	DISCHARGE VALUE
LEVEL 1	6	6	3	344	1 NO. 1500mm WIDE	525
LEVEL 2	16,600 m ²	16				
LEVEL 3	103,599 m ²	113				
LEVEL 4	172,676 m ²	209				

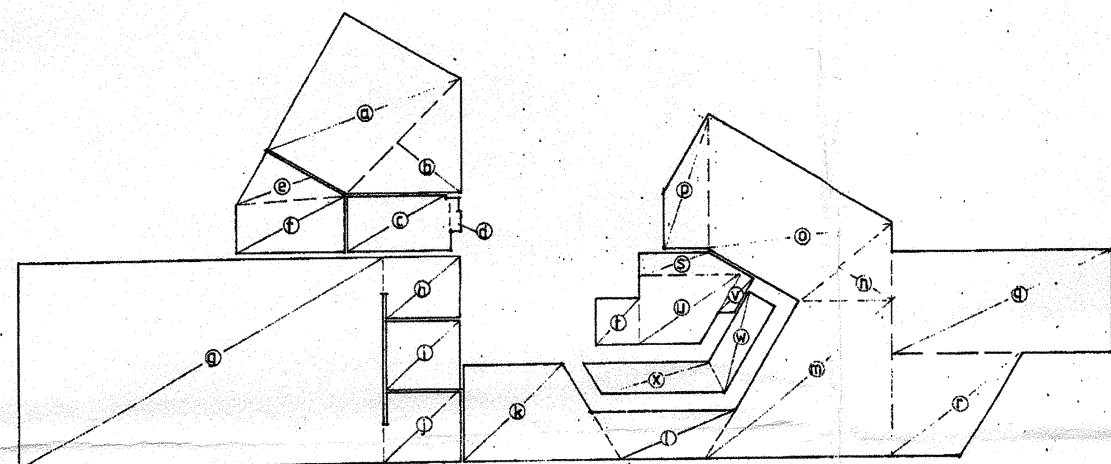
FIRE RESISTING PERIOD

FLOOR	USE	CLASS	COMPARTMENT OF BLDG.	FR.P.	MINIMUM DIMENSION OF ELEMENTS OF CONSTRUCTION
LEVEL 1, 2, 3	SWITCH WATER HEATER ROOM, F.S. PUMP, A/C PLANT ROOM	6	—	2 HRS	R.C.C. SLAB THICKNESS TO STEEL COVER THICKNESS TO STEEL R.C.C. BEAM THICKNESS TO STEEL COVER THICKNESS TO STEEL R.C.C. COL. THICKNESS TO STEEL COVER THICKNESS TO STEEL R.C.C. WALL THICKNESS TO STEEL COVER THICKNESS TO STEEL
LEVEL 1	SQUASH COURT	4	192.075	70% 074	1 HR. 90 15 50 300 50 100 25
LEVEL 2	VIEWING GALLERY	4	15,600	55.380	1 HR. 90 15 50 50 75 25
LEVEL 3	CHANGING ROOM	4	203,159	751.688	1 HR. 90 15 50 50 75 25
LEVEL 4	SNACK AEROBIC OFFICE STORE, BAR	4	328,903	1,348.502	1 HR. 100 15 50 225 50 75 25

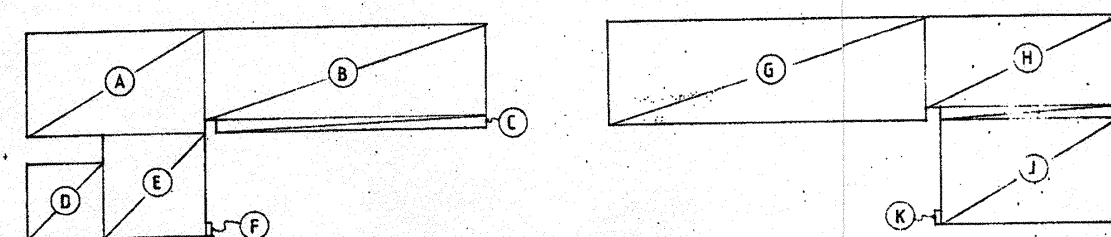
CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

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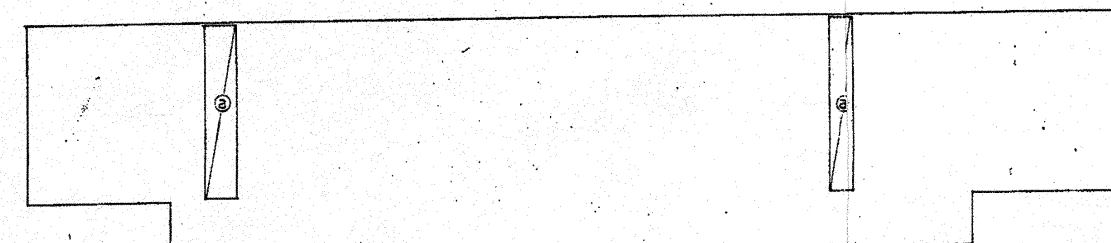
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B.D.D. REF. NO.

86

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AUTHORISED PERSON
Graham J. Jee
Dip. Arch. (H.K.)
Robert Matthews, J.C.
2 FEB 2021
Authorised Person
Small (Hong Kong)

FOR BO SUBMISSION ONLY

The Royal Hong Kong Jockey Club
TENNIS CLUB
SHAN KWONG ROAD I.L.3054

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Seah Construction Cost Consultants
21/F, Langdon Centre
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Scale: 1:200

PROJECT 240

333 B/B/02

Scale: 1:200

PROJECT 240

333 B/B/02

Scale: 1:200

PROJECT 240

333 B/B/02

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PROJECT 240

333 B/B/02

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PROJECT 240

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PROJECT 240

333 B/B/02

Scale: 1:200

PROJECT 240

333 B/B/02

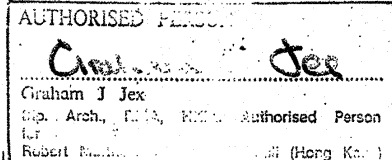
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FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

B.D.D. REF.NO. : 2 / 3092 / 86

F.S.D. REF.NO. :

FOR B.O.O. SUBMISSION ONLY



Sub	Date	Revision	Drawn	Checked
1	1.9.87	D.C.	JAS	

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TENNIS COURTS COMPLEX
SHAN KWONG ROAD I.L.3054

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207-2082 Windsor House
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Tel: 5-860018, Fax: 5-762030

Maunsell Consultants Asia Ltd.
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14/F, 1 Kowloon Park Drive
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Tel: 5-747521, Fax: 5-481851

J Roger Preston & Partners
Consulting Mechanical & Electrical Engineers
1801, Garden House, 33 Kowloon Road
Causeway Bay, Hong Kong
Tel: 5-747521, Fax: 5-481851

Langdon Every and Seah
Quantity Surveyors, Construction Cost Consultants
21/F, Langdon Centre
77 Langdon Road, Hong Kong
Tel: 5-762221, Fax: 5-762415

Drawing Title
FLOOR PLAN LEVEL 3

Scale	1:100	Date	1.9.87	Drawn	D.C.	Checked	JAS
PROJECT	240	Dep No	HK 333B/B/07	Revision			C

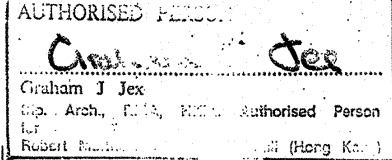
HSC-106

CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

B.D.D. REF.NO. : 2 / 3092 / 86

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SHAN KWONG ROAD I.L.3054

Robert Matthew, Johnson-Marshall(HK)
Architects & Planners
207-2082 Windsor House
211 Gloucester Road, Causeway Bay, Hong Kong
Tel: 5-860018, Fax: 5-762030

Maunsell Consultants Asia Ltd.
Consulting Civil & Structural Engineers
14/F, 1 Kowloon Park Drive
Causeway Bay, Hong Kong
Tel: 5-747521, Fax: 5-481851

J Roger Preston & Partners
Consulting Mechanical & Electrical Engineers
1801, Garden House, 33 Kowloon Road
Causeway Bay, Hong Kong
Tel: 5-747521, Fax: 5-481851

Langdon Every and Seah
Quantity Surveyors, Construction Cost Consultants
21/F, Langdon Centre
77 Langdon Road, Hong Kong
Tel: 5-762221, Fax: 5-762415

Drawing Title
FLOOR PLAN LEVEL 3

Scale	1:100	Date	1.9.87	Drawn	D.C.	Checked	JAS
PROJECT	240	Dep No	HK 333B/B/07	Revision			C

HSC-106

FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

B.D.D. REF.NO. : 2 / 3092 / 86

F.S.D. REF.NO. :

NOTE:
ROOF FALLS 1:80

FOR B.O.O. SUBMISSION ONLY

- 2 FEB 1988

FOR PERSON

Graham J. Jex

Arch. RIBA, HKIA, Authorised Person

Robert Matthew, Johnson-Marshall (Hong Kong)

31 TPE INTERNAL SUBMISSION TO B.O.O.

B.L.

Scale

Date

Revision

Drawn

Checked

The Royal Hong Kong Jockey Club

TENNIS COURTS COMPLEX

SHAN KWONG ROAD I.L.3054

Robert Matthew, Johnson-Marshall(HK)

Architects & Planners

260-2602 Windsor House

211 Gloucester Road, Causeway Bay, Hong Kong

Tel: 5480078 Fax: 5760688

Maunsell Consultants Asia Ltd.

Consulting Civil & Structural Engineers

14/F, 1 Robinson Road

Terrace House, Hong Kong

Tel: 5752070 Fax: 5752070

J Roger Preston & Partners

Consulting Mechanical & Electrical Engineers

1801, Canton House, 21 Kowloon Road

Causeway Bay, Hong Kong

Tel: 5747247 Fax: 5748181

Langdon Every and Seah

Quantity Surveyors/Construction Cost Consultants

21/F, Langdon Centre

77 Langdon Road, Hong Kong

Tel: 5716207 Fax: 5716216

Drawing Title

FLOOR PLAN LEVEL 5 & ROOF

Scale

1:100

Date

1.9.87

Drawn

D.C.

Checked

PROJECT

240

Dep No

HK 333B/B/09

Revision

A

HSC-118

CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

B.D.D. REF.NO. : 2 / 3092 / 86

F.S.D. REF.NO. :

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Scale

1:100

Date

1.9.87

Drawn

D.C.

Checked

PROJECT

240

Dep No

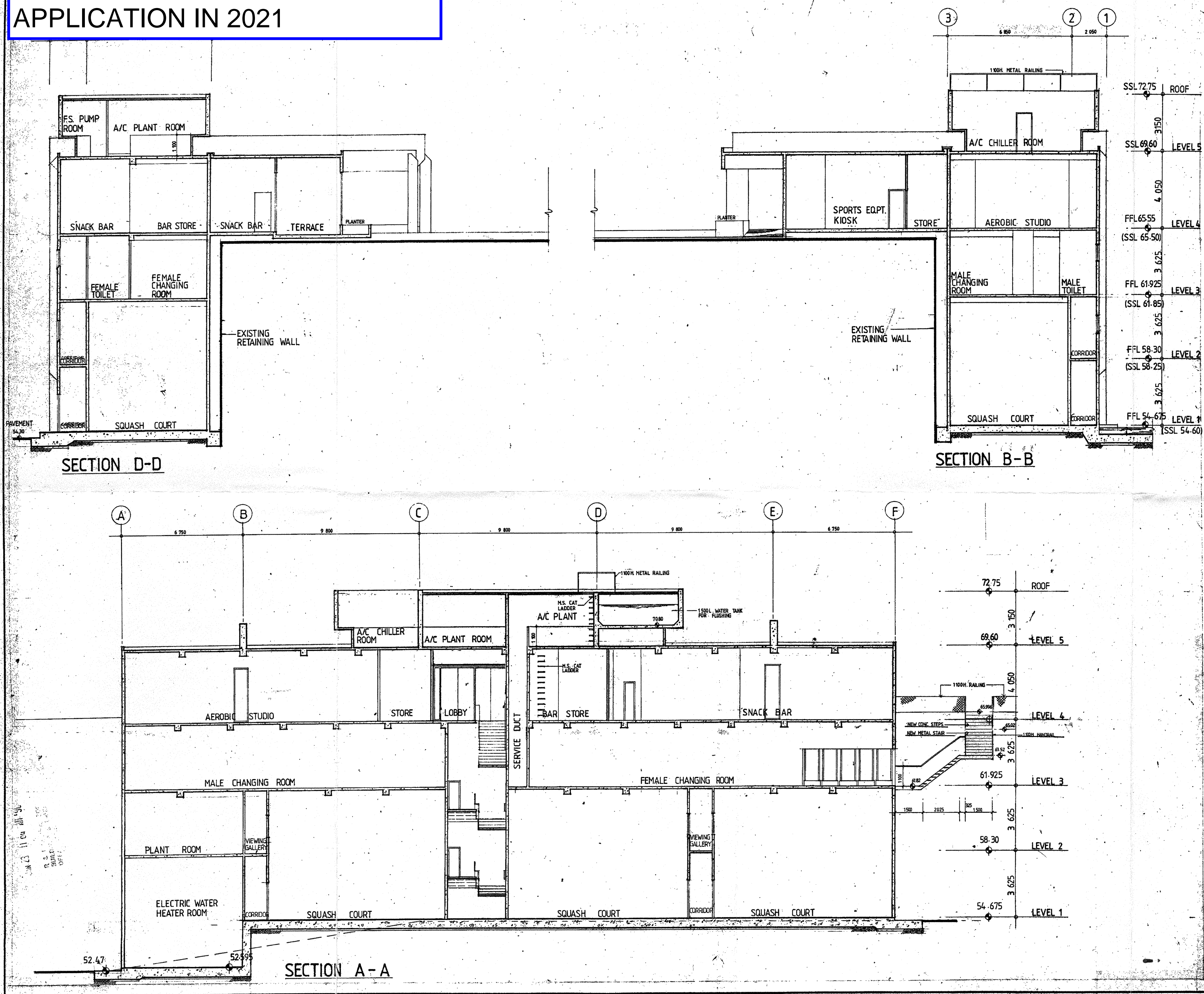
HK 333B/B/09

Revision

A

HSC-118

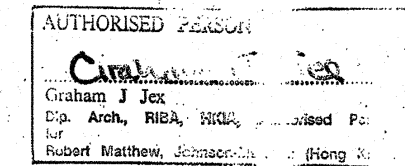
FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021



B.D.D. REF. NO. : 2 / 3092 / 86

F.S.D. REF. NO. :

FOR B.O.D. SUBMISSION ONLY



Rev.	Date	Reason	Drawn	Checked
1	11/11/20	Submission of final design for TRU renewal application to the B.O.D.		
2	11/11/20	Submission of final design to the B.O.D.		

**The Royal Hong Kong Jockey Club
TENNIS COURTS COMPLEX
SHAN KWONG ROAD L.L.3054**

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180 Queen's Road, Causeway Bay, Hong Kong
Tel: 28600001 Fax: 28600002

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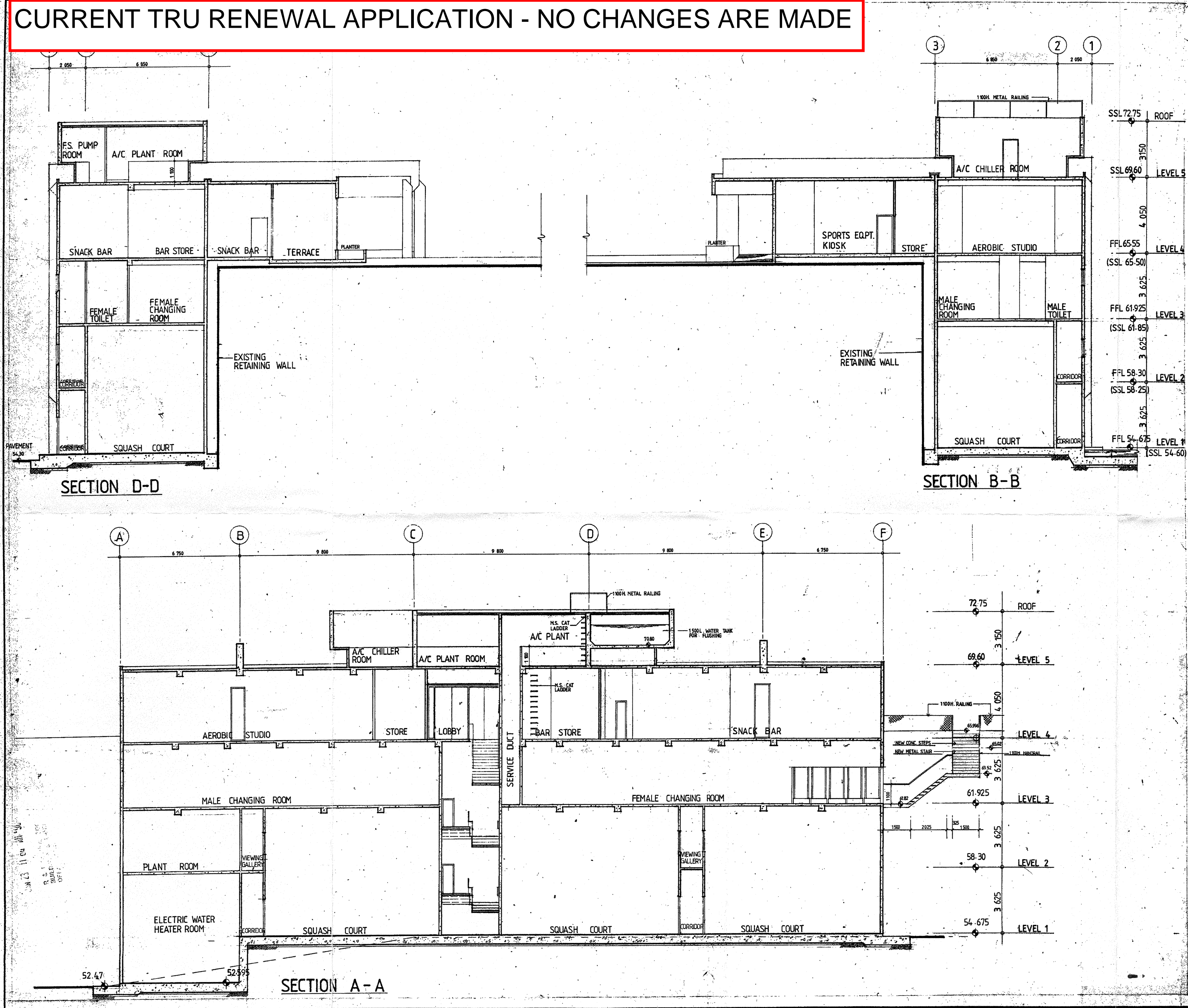
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BUILDING SECTIONS				
Scale	1:100	Use	1.9.87	D.C.
PROJECT	240	Dwg No.	HK3338/B/10	Revision
				B

HKC-107

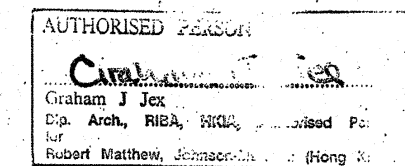
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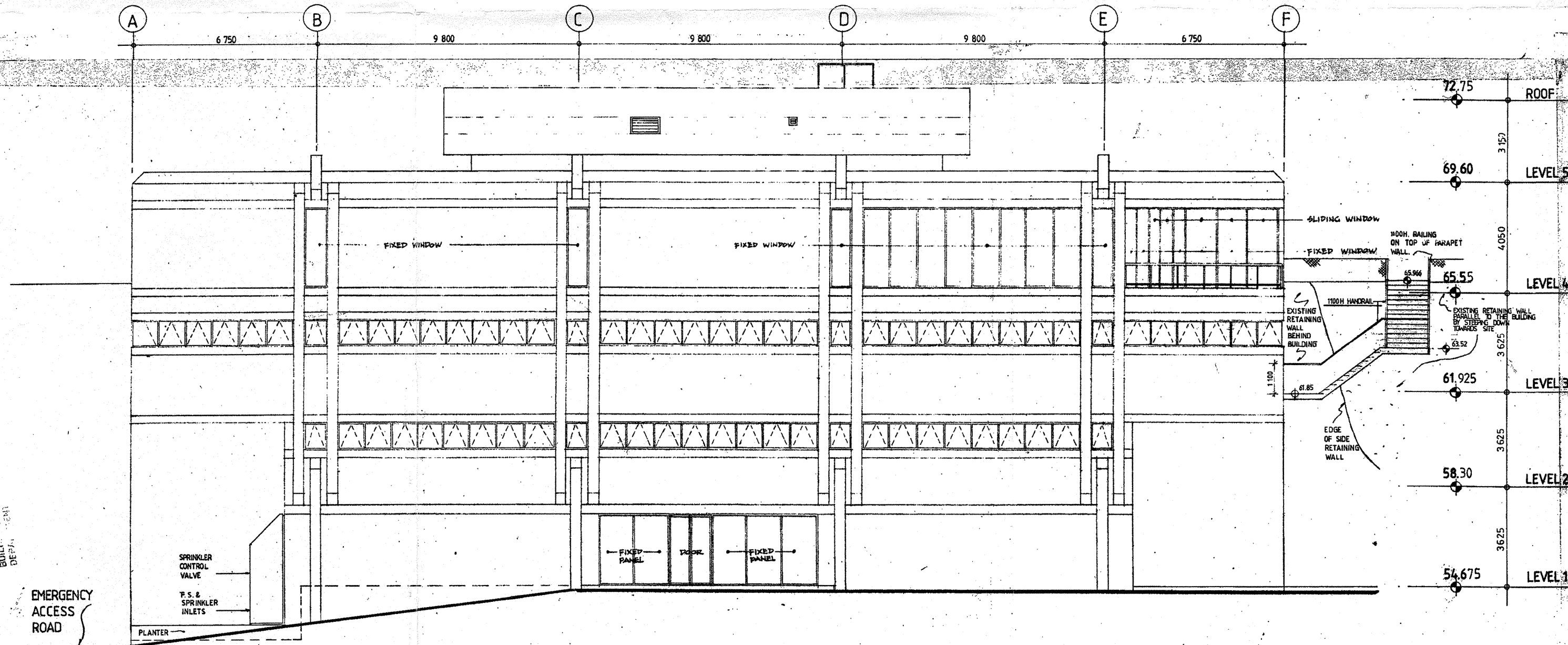
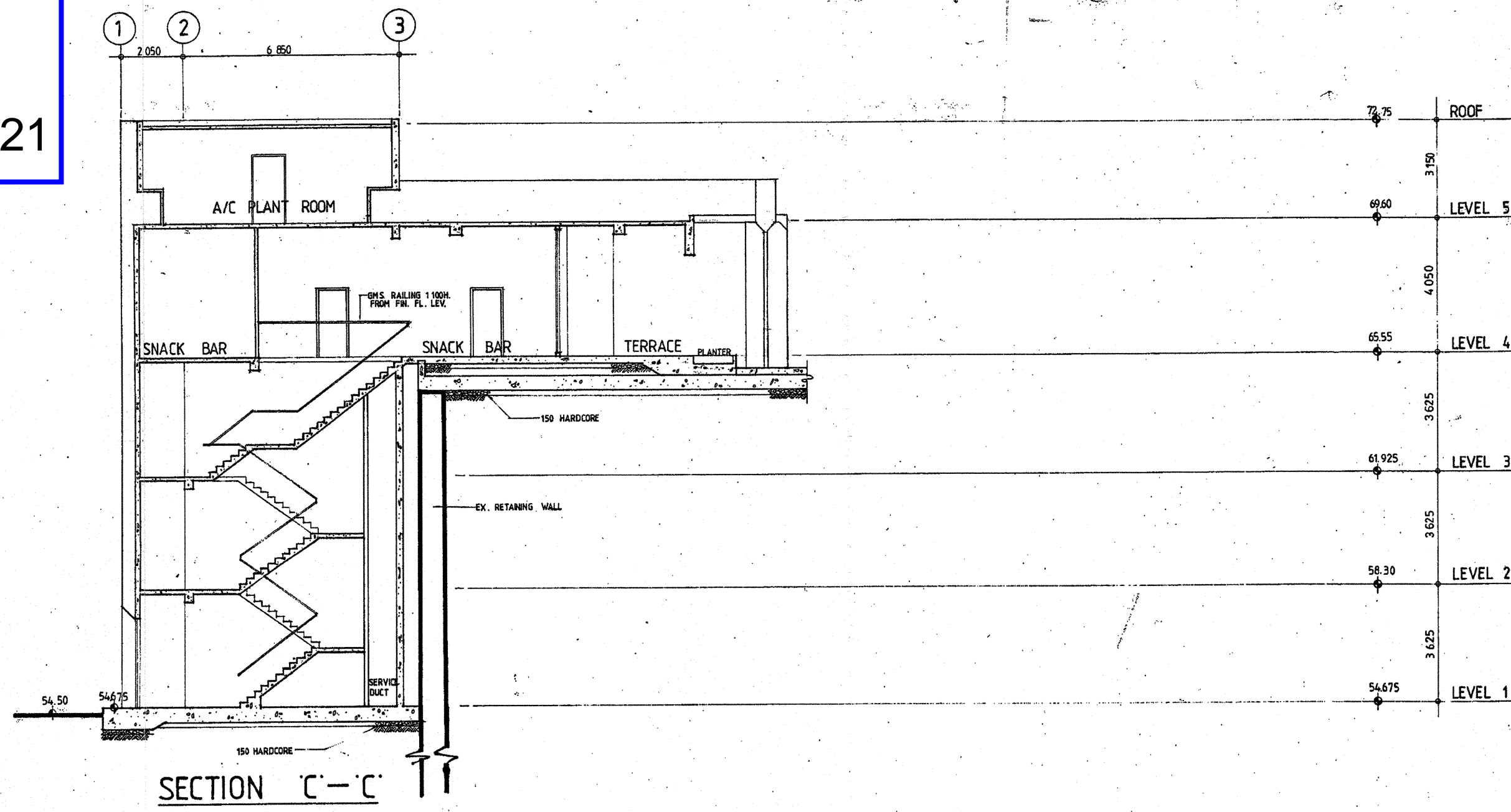
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PROJECT	240	Dwg No.	HK3338/B/10	Revision
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HKC-107

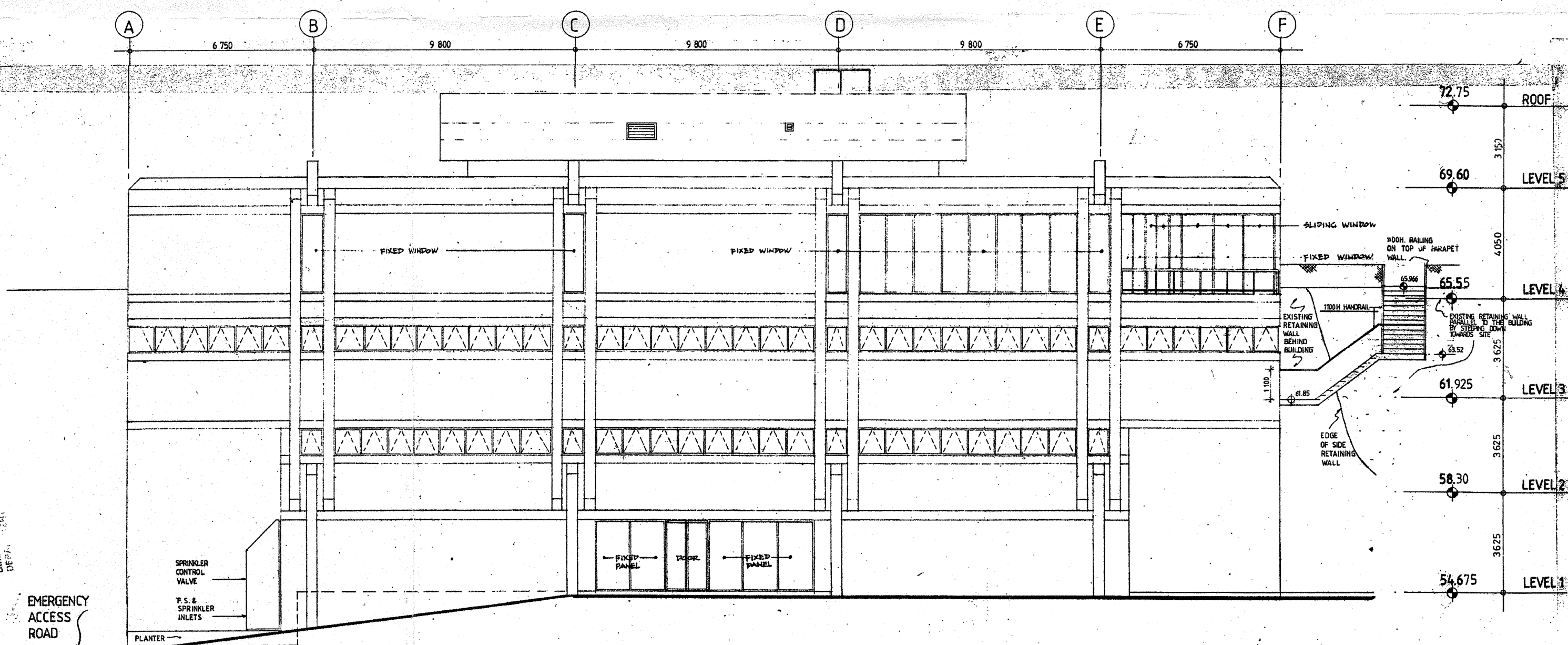
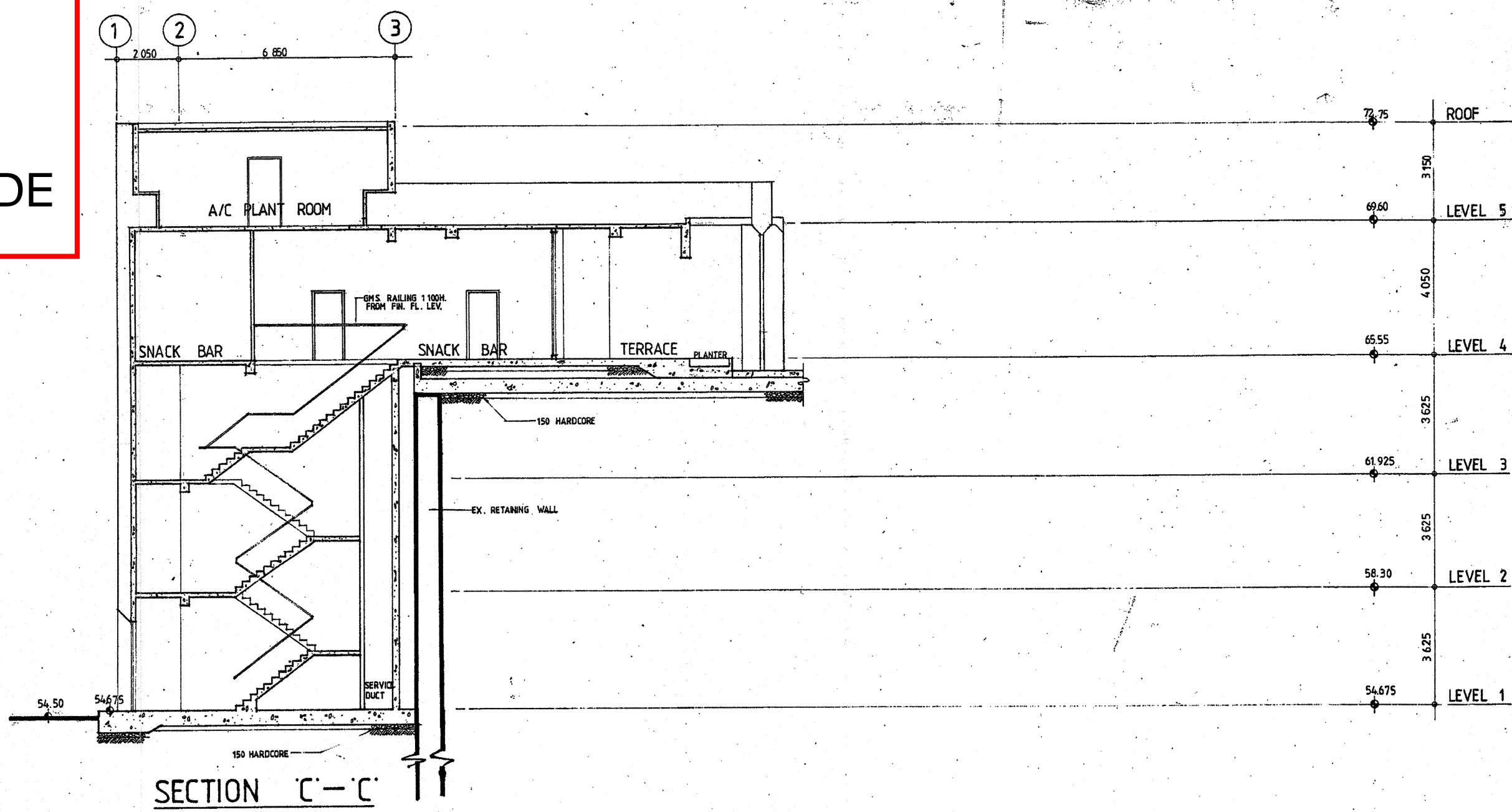
FROM PREVIOUS
TRU RENEWAL
APPLICATION IN 2021



FOR B.O.C. SUBMISSION ONLY

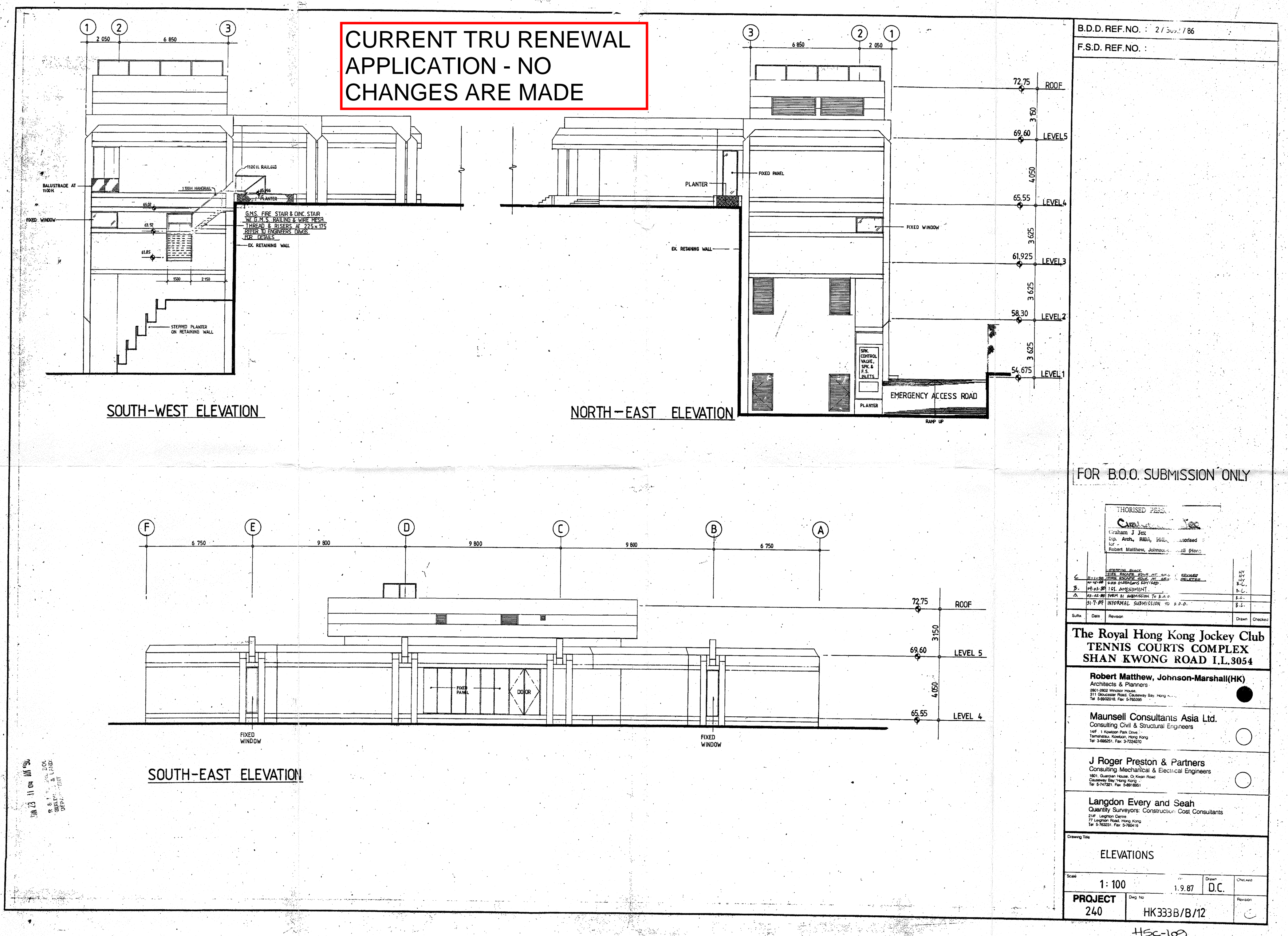
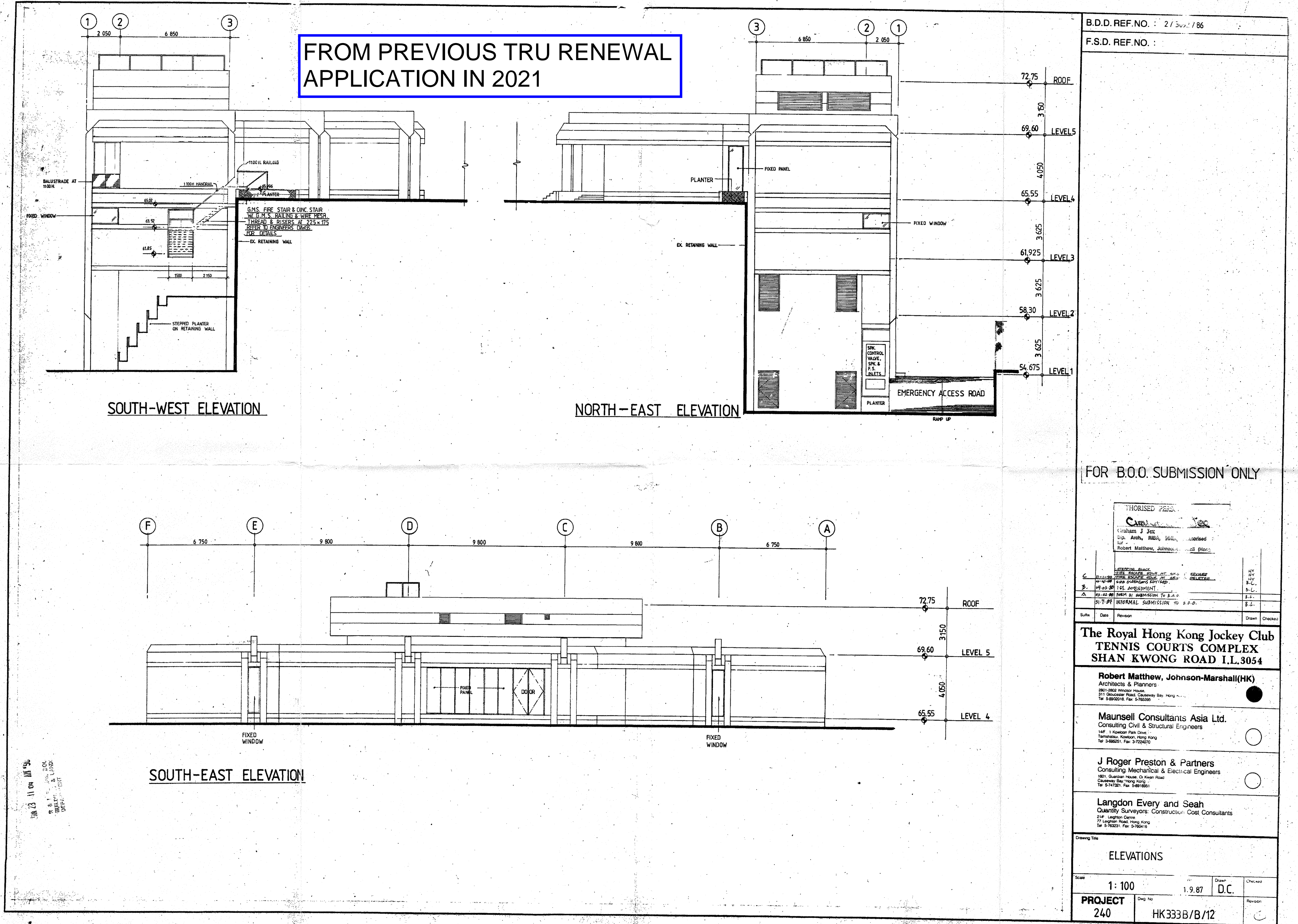
B.O.D. REF. NO. : 2 / 3092 / 86	
F.S.D. REF. NO. :	
THE ROYAL HONG KONG JOCKEY CLUB TENNIS COURTS COMPLEX SHAN KWONG ROAD L.L.3054	
Robert Matthew, Johnson-Marshall(HK) Architects & Planners 2801-2802 Windsor House 221 Gloucester Road, Colony Bay, Hong Kong Tel: 5460208 Fax: 5460365	
Maunsell Consultants Asia Ltd. Consulting Civil & Structural Engineers 14/F, 1 Robinson Road, Colony Bay, Hong Kong Tel: 5460208 Fax: 5460365	
J Roger Preston & Partners Consulting Mechanical & Electrical Engineers 1401, Queen's House, 2100, Queen's Road, Colony Bay, Hong Kong Tel: 5460208 Fax: 5460365	
Langdon Every and Seah Quantity Surveyors, Construction Cost Consultants 21/F, Langdon Centre, 2100, Queen's Road, Colony Bay, Hong Kong Tel: 5460208 Fax: 5460365	
ELEVATION & SECTION 'C-C'	
1:100	
PROJECT 240	HK333B/B/11
HSC-108	

CURRENT TRU
RENEWAL
APPLICATION - NO
CHANGES ARE MADE



FOR B.O.C. SUBMISSION ONLY

B.O.D. REF. NO. : 2 / 3092 / 86	
F.S.D. REF. NO. :	
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ELEVATION & SECTION 'C-C'	
1:100	
PROJECT 240	HK333B/B/11
HSC-108	



GENERAL NOTES :-

1. ALL BRICK WORKS TO BE BUILT IN CEMENT MORTAR.
2. ALL 100 mm Y-TONG BLOCK TO BE BUILT IN CEMENT MORTAR.
3. CEMENT MORTAR TO BE COMPOSED OF 1 PART CEMENT 3 PARTS SAND.
4. FIRE SERVICES REQUIREMENT TO BE COMPLIED WITH.
5. THIS SUBMISSION COVERS THE COLOURED PORTION ONLY.
6. TREADS OF STAIRCASE TO BE NOT LESS THAN 225mm AND RISER TO BE NOT MORE THAN 175mm.
7. NO CHANGE IN PLOT RATIO AND SITE COVERAGE IS INVOLVED.

FIRE SERVICES NOTES :

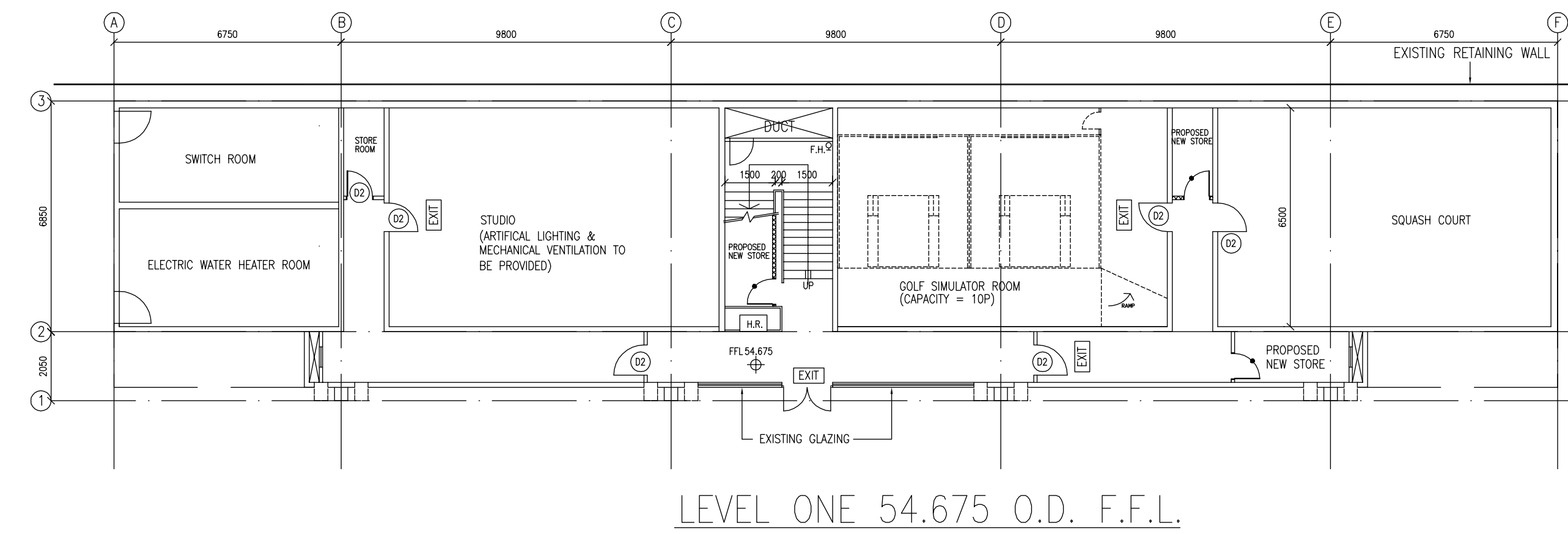
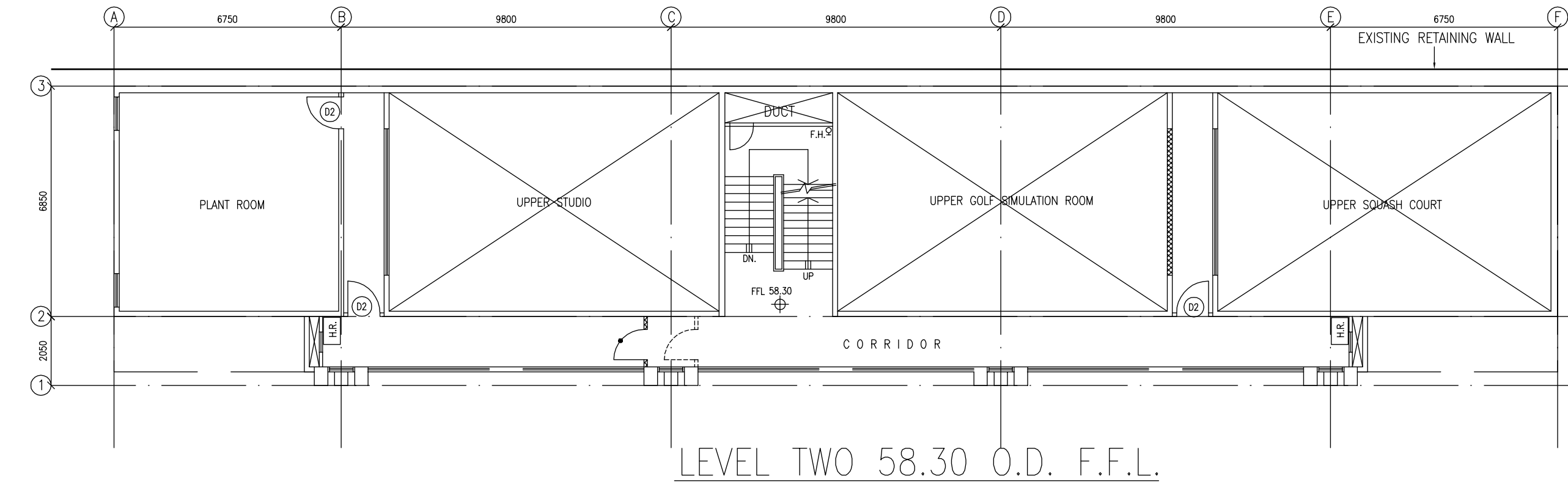
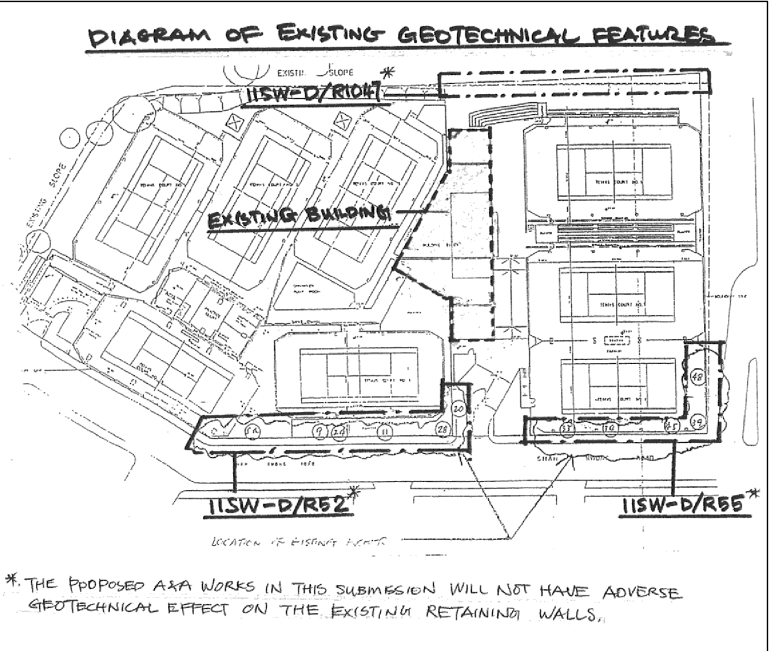
1. EXISTING AUTOMATIC SPRINKLER SYSTEM IS PROVIDED IN ACCORDANCE WITH FOC RULES FOR AUTOMATIC SPRINKLER INSTALLATION 29TH EDITION, ORDINARY HAZARD GROUP I.
2. EXISTING SPRINKLER INSTALLATION SHALL BE ALTERED AT AREAS 'EXTENT OF SUBMISSION' AS MARKED ON PLANS TO SUIT NEW LAYOUT IN ACCORDANCE WITH FOC RULES 29TH EDITION, OH I.
3. EXISTING FIRE HYDRANT AT STAIRCASE TO BE REMAINED UNCHANGED AS SHOWN ON PLANS.
4. FIRE HOSEREEL TO BE RELOCATED AS SHOWN ON PLANS AND CONNECTED TO EXISTING FIU/HIS SYSTEM. HOSEREEL HOSE SHALL REACH EVERY PART OF THE PREMISES WITHIN 30 METER HOSE LENGTH.
5. MANUAL FIRE ALARM SYSTEM INCORPORATED IN THE HOSEREEL SYSTEM TO BE RELOCATED ACCORDING TO HOSEREEL LOCATION AS SHOWN ON PLANS AND CONNECTED TO EXISTING FIRE ALARM SYSTEM.
6. SUFFICIENT DIRECTIONAL AND EXIT SIGNS TO ENSURE ALL EXIT ROUTES CLEARLY INDICATED.
7. EMERGENCY LIGHTING TO BE INSTALLED THROUGHOUT THE AREAS AS MARKED 'EXTENT OF SUBMISSION' IN ACCORDANCE WITH REQUIREMENT OF BS5266 PART 1.
8. EXISTING FS PANEL TO BE REMAIN UNCHANGED.
9. EXISTING PORTABLE FIRE EXTINGUISHER AT SNACK BAR TO BE RETAINED.
10. ALL LININGS FOR ACOUSTIC AND THERMAL INSULATION PURPOSES IN DUCTINGS AND CONCEALED LOCATIONS SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BS476: PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
11. ANY INTENDED STORAGE OR USE OF DANGEROUS GOODS AS DEFINED IN CHAPTER 295 OF THE LAWS OF HONG KONG SHOULD BE NOTIFIED TO THE DIRECTOR OF FIRE SERVICES.

FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021

DEVELOPMENT SCHEDULE				
A. LOCATION & LOT NO.		HONG KONG JOCKEY CLUB SPORT COMPLEX, SHAN KWONG ROAD IL3054		
B. SITE AREA : NO CHANGE				
C. HEIGHT OF BUILDING : NO CHANGE				
Block	No. of Storeys	Proposed Height of Building	Height Restrictions (Storeys / Meters)	Special Condition Referred
--	--	NO CHANGE	--	REFERRED (SC 10)
D. SCHEDULE OF ACCOMMODATION :				
Accommodation	Proposed	Required/Permitted under the Lease		Special Condition Referred
1. User	N.A.	PERMITTED: N.A.		
2. Gross Floor Area	N.A.	PERMITTED: N.A.		
3. Site Coverage	N.A.	PERMITTED: N.A.		
4. Exterior Elevations	N.A.	REQUIRED: N.A.		
5. Carpark	N.A.	PERMITTED: N.A.		
6. Loading & Unloading Space	N.A.	REQUIRED: N.A.		
7. Vehicular Access Points	N.A.	PERMITTED: N.A.		
8. Caretaker's	N.A.	REQUIRED: N.A.		
9. Recreational Facilities	N.A.	PERMITTED: N.A.		
10. Non-building Area	N.A.	REQUIRED: N.A.		
11. Formation Areas	N.A.	REQUIRED: N.A.		
12. Tree Preservation	N.A.	REQUIRED: N.A.		
13. Landscaping	N.A.	REQUIRED: N.A.		
14. Other Special - Requirements under Lease (e.g. Design And Disposition)	N.A.	REQUIRED: N.A.		
E. IN COMPLIANCE WITH THE MASTER LAYOUT PLANS APPROVED ON _____ N.A. (if applicable).				
F. DATE OF LAST SUBMISSION ON 9 NOV 2007 (if applicable).				
G. PRESCRIBED WINDOW & FIRE ACCESS REQUIREMENTS - YES				

COLOUR INDICATION :-

- CONCRETE
- NEW 100mm THICK LIGHTWEIGHT Y-TONG BLOCK WALL WITH 4 HRS. F.R.P. (UNLESS OTHERWISE SPECIFIED)
- GLASS
- TIMBER WORK
- METAL WORK
- SANITARY FITTING
- EXISTING WORK
- DRY WALL PARTITION
- CONCRETE BLOCK



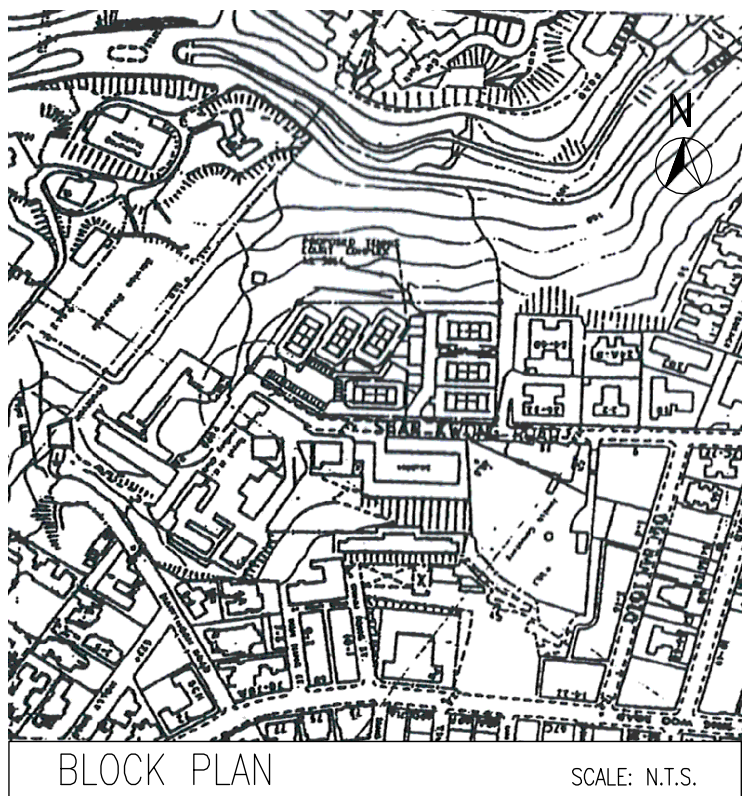
DOOR MARK :-

- EXISTING 50mm HARDWOOD SELF-CLOSING DOOR WITH WIRED GLASS PANEL
- EXISTING 50mm HARDWOOD SELF-CLOSING DOOR
- EXISTING 50mm HARDWOOD SELF CLOSING INSPECTION PANEL
- EXISTING METAL FRENCH DOOR
- NEW 1HR. F.R.P. SELF-CLOSING DOOR
- NEW NON-FIRE RATED DOOR

ALL NEW DOORS INCLUDING FRAMES SHOULD BE TESTED OR ASSESSED IN ACCORDANCE WITH BS 476: PART 22: 1987 AND CERTIFIED IN ACCORDANCE WITH PARAGRAPH 6.5 OF F.R.C. CODE 1996 AS BEING CAPABLE OF RESISTING THE ACTION OF FIRE, IN TERMS OF INTEGRITY AND INSULATION OR IN TERMS OF INTEGRITY ONLY, AS THE CASE MAY BE FOR THE SPECIFIED PERIOD.

LEGEND :-

- EX. FINISHED FLOOR LEVEL
- EX. STRUCTURAL LEVEL
- PROPOSED STRUCTURAL LEVEL
- PROPOSED FINISHED LEVEL
- EXIT SIGN
- HOSE REEL



- Notes :
1. MEASUREMENTS ARE BASED ON METRIC SYSTEM.
 2. ALL LEVELS ARE IN METERS TO PRINCIPLE DATUM UNLESS NOTED OTHERWISE.
 3. DO NOT SCALE DRAWING.
 4. FIGURE DIMENSIONS ARE TO BE FOLLOWED.
 5. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION EXPRESSLY INSTRUCTED BY THE ARCHITECT.
 6. ALL CONDITIONS ON THE SITE SHALL BE VERIFIED AND NOTIFIED TO ARCHITECT OF ANY VARIATION FROM DIMENSION BEFORE CONSTRUCTION.

B	NOV 12	GENERAL REVISIONS FOR TEMP. PERMIT
A	NOV 07	GENERAL REVISIONS
NO.	DATE	REVISIONS

CLIENT

香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BM&K RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG

PROJECT

HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

TITLE

BLOCK PLAN, GENERAL
NOTES, DEVELOPMENT
SCHEDULE, PROPOSED
LEV. 1 & LEV. 2
LAYOUT PLAN

DESIGNED : W.P.	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : D.F.	SCALE : 1:100	JOB NO. DT-2177(III)
DATE: AUG-2007	REVISION : B	DRAWING NO. A-01

DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
SUITE 902, 9th Floor, Honest Motors Building,
9-11 Leighton Road, Causeway Bay, Hong Kong.
Tel : 28151929 Fax : 28150570 E-mail : dtcc@dtvictor.com

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FIRE SERVICES NOTES :

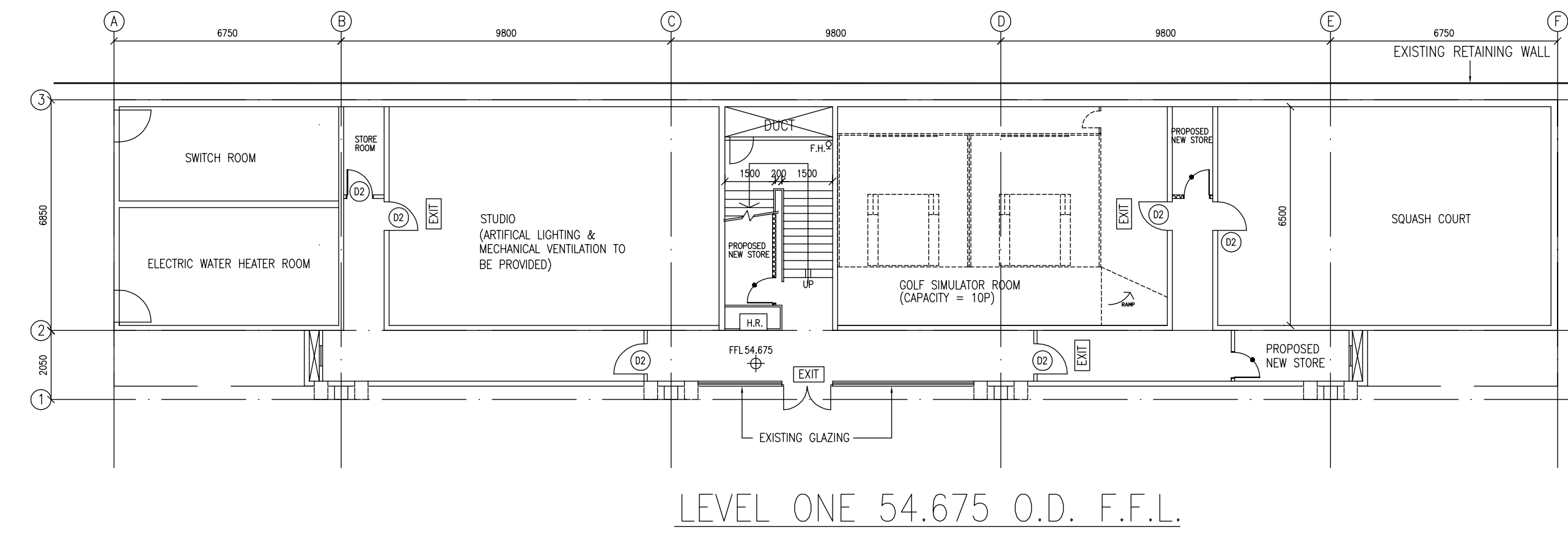
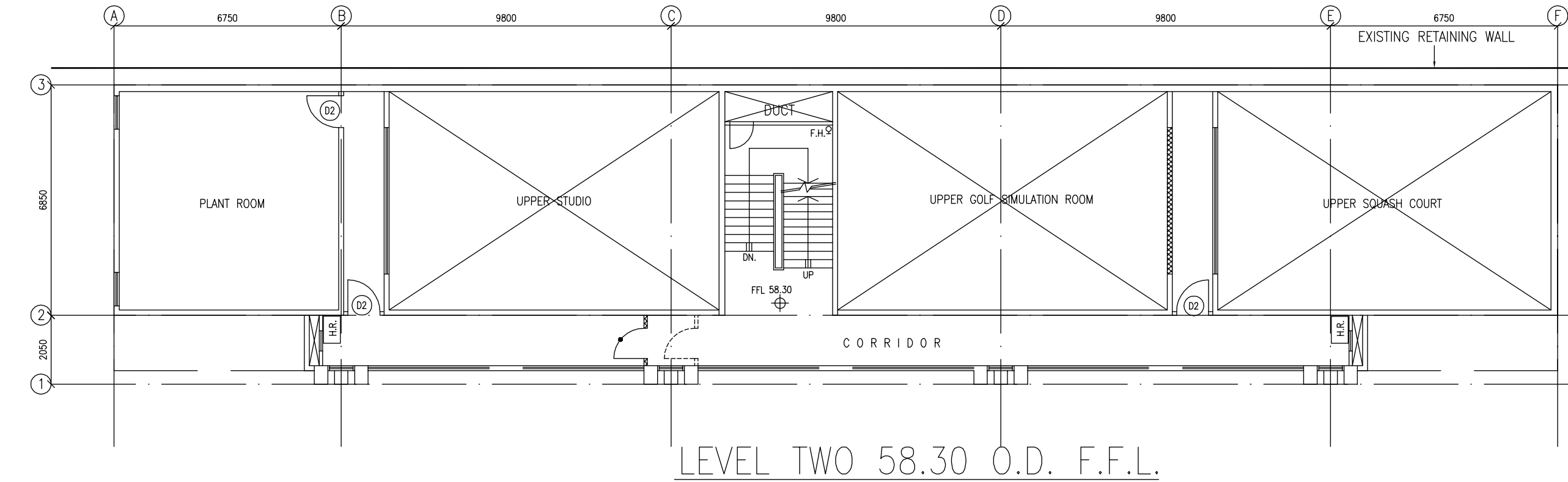
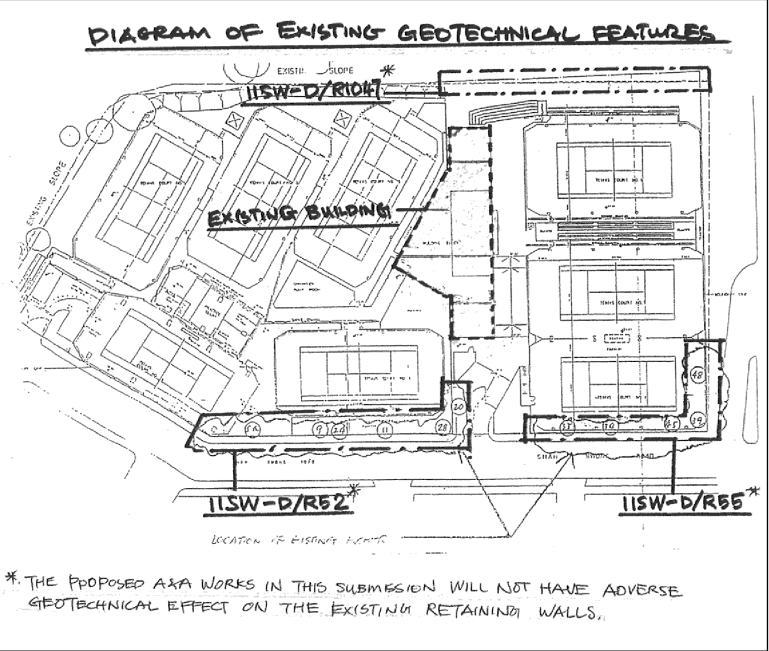
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CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE

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A. LOCATION & LOT NO.		HONG KONG JOCKEY CLUB SPORT COMPLEX, SHAN KWONG ROAD IL3054		
B. SITE AREA : NO CHANGE				
C. HEIGHT OF BUILDING : NO CHANGE				
Block	No. of Storeys	Proposed Height of Building	Height Restrictions (Storey Above)	Special Condition Referred
--	STOREYS	NO CHANGE	--	REFERRED SC (2)
D. SCHEDULE OF ACCOMMODATION :				
Accommodation	Proposed	Required/Permitted under the Lease	Special Condition Referred	
1. User	N.A.	PERMITTED: N.A.		
2. Gross Floor Area	N.A.	PERMITTED: N.A.		
3. Site Coverage	N.A.	PERMITTED: N.A.		
4. Exterior Elevations	N.A.	REQUIRED: N.A.		
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- TIMBER WORK
- METAL WORK
- SANITARY FITTING
- EXISTING WORK
- DRY WALL PARTITION
- CONCRETE BLOCK



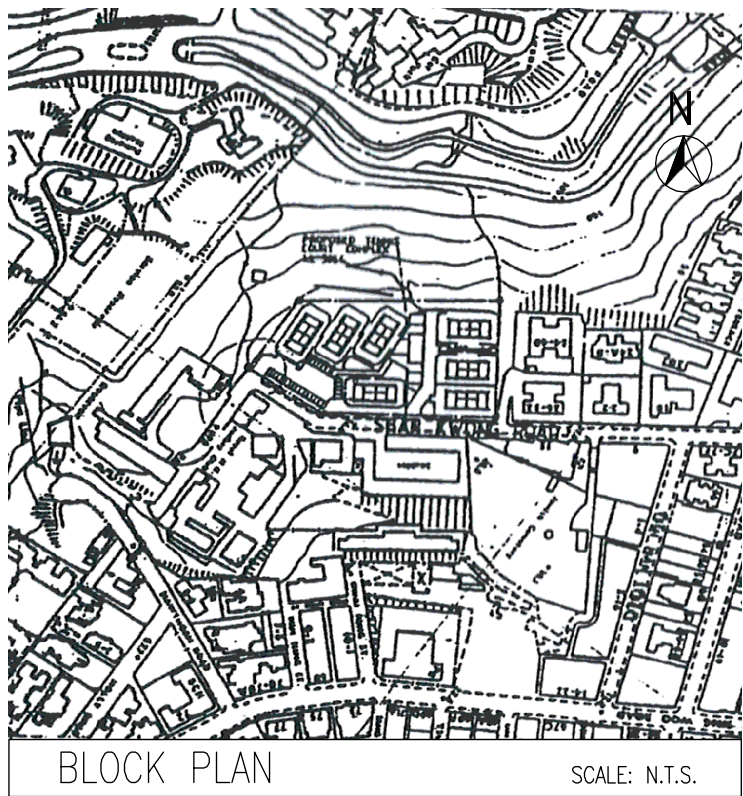
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- EX. STRUCTURAL LEVEL
- PROPOSED STRUCTURAL LEVEL
- PROPOSED FINISHED LEVEL
- EXIT SIGN
- HOSE REEL



- Notes :
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B	NOV 12	GENERAL REVISIONS FOR TEMP. PERMIT
A	NOV 07	GENERAL REVISIONS
NO.	DATE	REVISIONS

CLIENT

香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BM&K RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG

PROJECT

HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

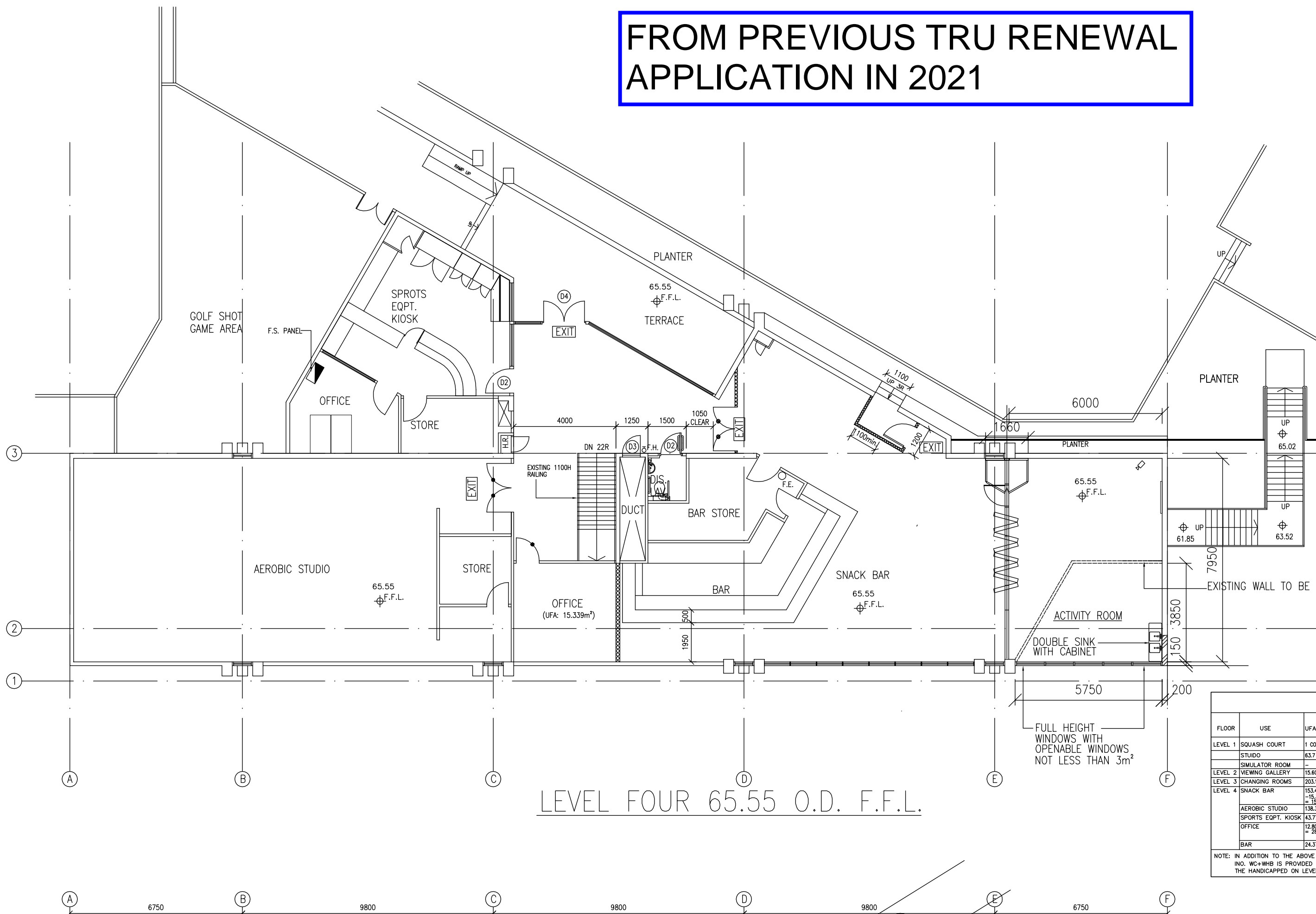
TITLE

BLOCK PLAN, GENERAL
NOTES, DEVELOPMENT
SCHEDULE, PROPOSED
LEV. 1 & LEV. 2
LAYOUT PLAN

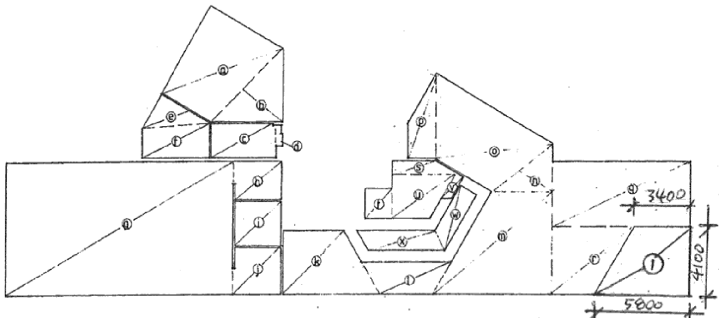
DESIGNED : W.P.	CHECKED BY : D.T.	CONFIRMED : D.T.
DRAWN : D.F.	SCALE : 1:100	JOB NO. DT-2177(III)
DATE: AUG-2007	REVISION : B	DRAWING NO. A-01

DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
SUITE 902, 9th Floor, Honest Motors Building,
9-11 Leighton Road, Causeway Bay, Hong Kong.
Tel : 28151929 Fax : 28150570 E-mail : dtcc@dtvictor.com

FROM PREVIOUS TRU RENEWAL APPLICATION IN 2021



UFA DIAGRAM FOR LEVEL 4

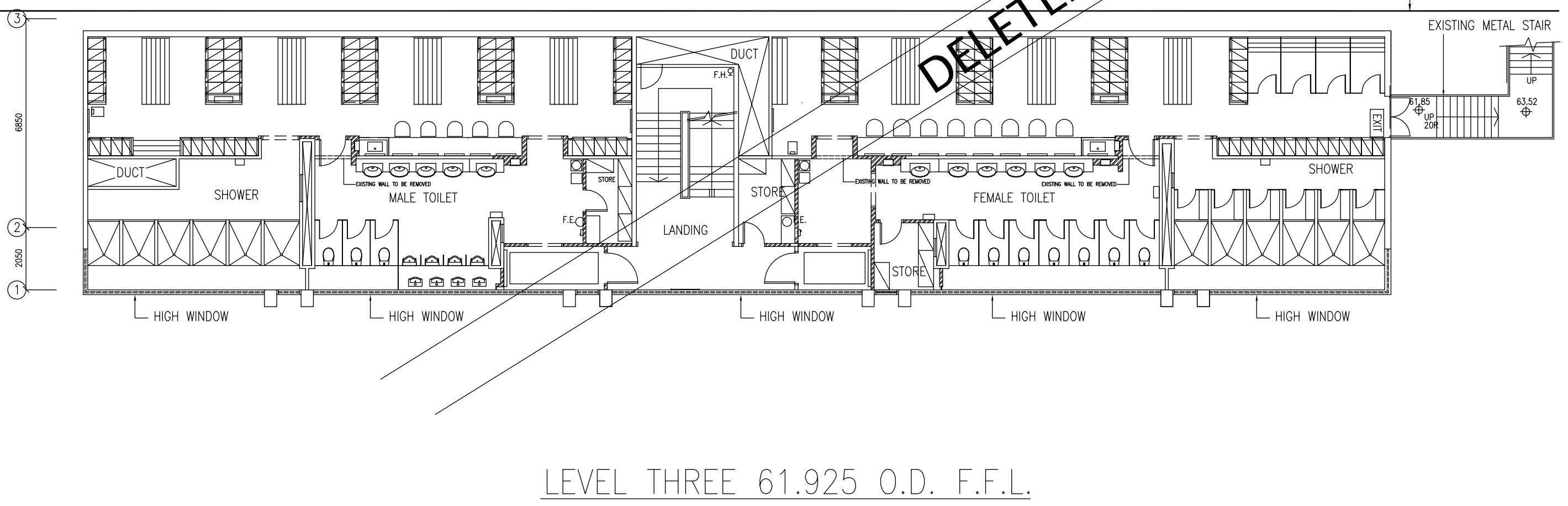


UFA CALCULATION
LEVEL 4:
TOTAL UFA OF LEVEL 4
= 372.676m² + (3.4 + 5.8) x 4.1 x 1/2 (1)
= 372.676m² + 18.86m²
= 391.536m²

ADDITIONAL G.M.S. & CONC.
FIRE STAIR FROM
LEVEL 3 THRU FEMALE
CHANGING ROOM

SCHEDULE OF SANITARY FITMENTS														
FLOOR	USE	UFA (m ²)	DENSITY	CAPACITY	RATIO	TOTAL	REQUIRED				REQUIRED			
							WC	UB	UN	SH	WC	UB	UN	SH
LEVEL 1	SQUASH COURT	1 COURT	2NO./COURT	2										
LEVEL 1	STUDIO	837	8M ² /PERSON	8										
LEVEL 2	REAR COURT	10	8M ² /PERSON	10										
LEVEL 2	VIEWING GALLERY	15.600	1M ² /PERSON	16										
LEVEL 3	CHANGING ROOMS	20.119	1M ² /PERSON	113										
LEVEL 4	SNACK BAR	153.824	1M ² /PERSON	157	1:1	362	181	2	3	3	-	3	6	4
LEVEL 4	AEROBIC STUDIO	118.320	3M ² /PERSON	47			181	4	3	-	-	7	6	7
LEVEL 4	SPORTS EQUIP. KIOSK	15.373	1M ² /PERSON	3										
LEVEL 4	OFFICE	12.908	1M ² /PERSON	3										
LEVEL 4	BAR	24.333	1M ² /PERSON	3										
NOTE: IN ADDITION TO THE ABOVE INC. MCHS IS PROVIDED FOR THE HANDICAPPED ON LEVEL 4														

NOTE: IN ADDITION TO THE ABOVE
NO. WC=WHB IS PROVIDED FOR
THE HANDICAPPED ON LEVEL 4



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NO.	DATE	GENERAL REVISIONS
B	NOV 12	GENERAL REVISIONS FOR TEMP PERMIT
A	NOV 07	GENERAL REVISIONS

CLIENT



香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BM&K RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG

PROJECT
HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

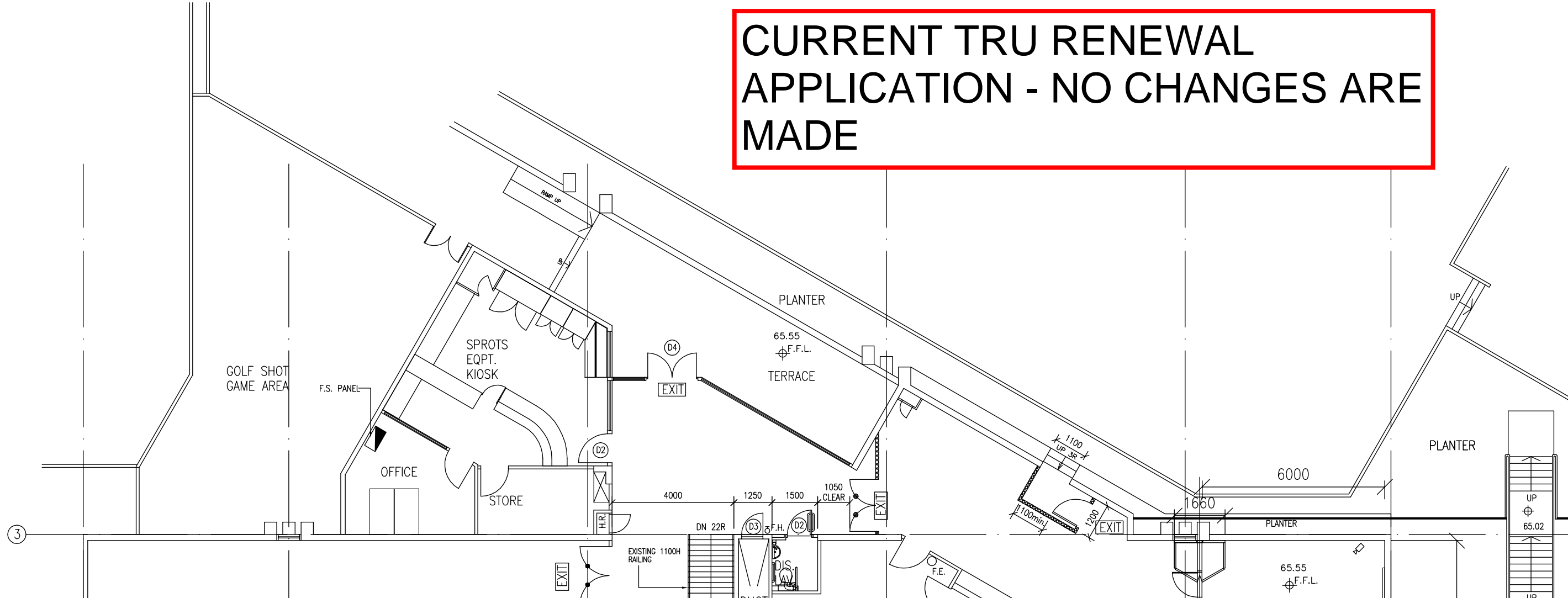
TITLE

PROPOSED
LEV. 4
LAYOUT PLAN

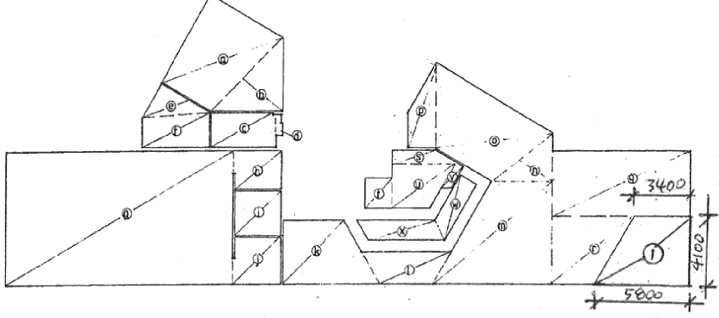
DESIGNED :	CHECKED BY :	CONFIRMED :
W.P.	D.T.	D.T.
DRAWN :	SCALE :	JOB NO.
D.P.	1:100	DT-2177(III)
DATE:	REVISION :	DRAWING NO.
AUG-2007	B	A-02

DANIEL TONG CHARTERED ARCHITECT & ASSOCIATES LIMITED
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9-11 Leighton Road, Causeway Bay, Hong Kong.
Tel : 28151929 Fax : 28150570 E-mail : dtaco@netvigator.com

CURRENT TRU RENEWAL APPLICATION - NO CHANGES ARE MADE



UFA DIAGRAM FOR LEVEL 4

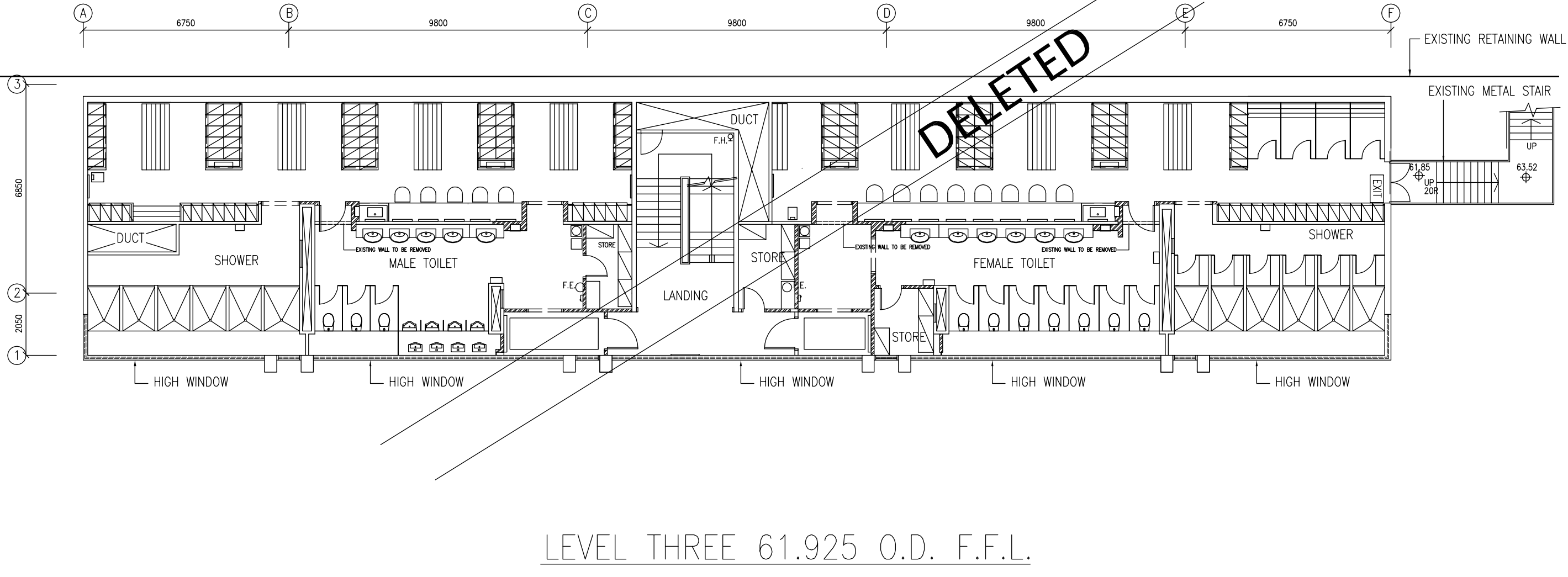


UFA CALCULATION
LEVEL 4:
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= 391.536m²

ADDITIONAL G.M.S. & CONC.
FIRE STAIR FROM
LEVEL 3 THRU FEMALE
CHANGING ROOM

SCHEDULE OF SANITARY FITMENTS														
FLOOR	USE	UFA (m ²)	DENSITY	CAPACITY	RATIO	TOTAL	REQUIRED				REQUIRED			
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NOTE: IN ADDITION TO THE ABOVE INFO, WC-MEMO IS PROVIDED FOR THE HANDICAPPED ON LEVEL 4														

NOTE: IN ADDITION TO THE ABOVE
NO. WC=WHB IS PROVIDED FOR
THE HANDICAPPED ON LEVEL 4



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CLIENT



香港賽馬會
The Hong Kong Jockey Club

STRUCTURAL CONSULTANT

BM&K RATCLIFFE HOARE & CO LTD
CONSULTING ENGINEERS HONG KONG

PROJECT
HONG KONG JOCKEY CLUB
SPORTS COMPLEX
SHAN KWONG ROAD
I.L.3054

TITLE

PROPOSED
LEV. 4
LAYOUT PLAN

DESIGNED :	CHECKED BY :	CONFIRMED :
W.P.	D.T.	D.T.
DRAWN :	SCALE :	JOB NO.
D.P.	1:100	DT-2177(III)
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Tel : 28151929 Fax : 28150570 E-mail : dtaco@netvigator.com

By Email & By Hand

February 28, 2024
Job No. N1541A-H
Our Ref. A-PlanD-006

Secretary
Town Planning Board
15/F North Point Government Offices
333 Java Road
North Point
Hong Kong

Dear Sirs

Application No: A/H7/184
Response to Public Comments
Application of Extension of Temporary Use of Private Club (Recreation Facilities)
Sports Complex at 48 Shan Kwong Road, Happy Valley, Hong Kong, I.L. 3054

Refer to our application (ref.: A/H7/184) dated January 23, 2024 under Section 16 of the Town Planning Ordinance to extend the Temporary Use of Private Club (Recreation Facilities) for 3 years until 30th April, 2027.

We noted three written comments were received regarding the subject application (Application No. A/H7/184). Given the comments from the two respondents from Ms Liu Yee Ling and Dr Patricia Shuen are seen to be supportive of our Temporary use of Private Club (Recreation Use) renewal at the subject site, we would like to clarify a few points raised by the respondent (Mary Mulvihill) on her e-mail dated February 18, 2024 as follows:

- a) The New Clubhouse on the old Stable Site (IL 8204) is a private owned property of the Hong Kong Jockey Club ("HKJC"). Amongst a range of dining options therein, the Clubhouse provides a 50-meter swimming pool, a state-of-art gym and also four roof-top tennis courts to cater for members' needs. By design and disposition, it is not meant to be a replacement of the Sports Complex as the writer or the public purported.
- b) The Olympic Stables Land ("OSL") was designed, financed and operated by HKJC to accommodate the 2008 Olympic Games held in Hong Kong. For the benefit of racing operations, the Club later retained the OSL not only to preserve the Olympic legacy but also to relieve the acute stables shortage due to horse population increase by a double as compared with the onset of the Sha Tin Racecourse in 1978. The OSL simply relates to and principally facilitates racing operations other than horse welfare promotion.

..../2

46-47 Floor, Tower One, Times Square
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t +852 2895 6888 f +852 2576 4074
email general@dlm.com.hk www.dln.com.hk

February 28, 2024
Job No. N1541A-H
Our Ref. A-PlanD-004
Application No. A/H7/184

Secretary
Town Planning Board

- c) Together with the New Clubhouse project, HKJC had also renovated the nearby Shan Kwong Road Park for enjoyment by the local community in 2019. The Site (IL 3054) is a private land lot purchased and solely owned by HKJC, but not under a "private recreational lease". It is not intended for public recreation purposes under the planning perspective.

Should you have any queries, please feel free to contact the undersigned (direct line [REDACTED]) or our Mr Brandon Chan at [REDACTED] or Mr Ryan Leong of Hong Kong Jockey Club at [REDACTED].

Yours faithfully

for and on behalf of
DLN ARCHITECTS LIMITED


Wong Ming-yin
Authorized Person

c.c HKJC - Ms Nicole Tang/ Ms Shirely Lam /) by email
Mr Alex Chan/Mr Ryan Leong)

By Email & By Hand



March 05, 2024
Job No. N1541A-H
Our Ref. A-PlanD-007

46-47 Floor, Tower One, Times Square
Matheson Street, Causeway Bay, Hong Kong
香港銅鑼灣勿地臣街時代廣場一座46至47樓

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Secretary
Town Planning Board
15/F North Point Government Offices
333 Java Road
North Point
Hong Kong

Dear Sirs

Your Ref: TPB/A/H7/184
Clarification of Private Club (Recreation Facilities) Opening Hours
Application of Extension of Temporary Use of Private Club (Recreation Facilities)
Sports Complex at 48 Shan Kwong Road, Happy Valley, Hong Kong, I.L. 3054

Refer to our application (ref.: A/H7/184) dated January 23, 2024 under Section 16 of the Town Planning Ordinance to extend the Temporary Use of Private Club (Recreation Facilities) for 3 years until 30th April, 2027.

The Hong Kong Jockey Club has informed us about your inquiry about the site's operation hours. We would like to confirm that the site's operation hours are 7:00 a.m. to 11:30 p.m. daily, which remains unchanged from the previous application for the extension of Temporary Use of Private Club (Recreation Facilities) in 2021.

Should you have any queries, please feel free to contact the undersigned (direct line [REDACTED]) or our Mr Brandon Chan at [REDACTED] or Mr Ryan Leong of Hong Kong Jockey Club at [REDACTED].

Yours faithfully
for and on behalf of
DLN ARCHITECTS LIMITED


Wong Ming-yim
Authorized Person



c.c. HKJC - Ms Nicole Tang/ Ms Shirely Lam /) by email
Mr Alex Chan/Mr Ryan Leong)

Previous Applications covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (MPC)</u>	<u>Approval Condition(s)</u>
1.	A/H7/56	Temporary Recreational Facilities for 10 Years	13.5.1988	N/A
2.	A/H7/75	Temporary Recreation Facilities (till 30.4.1998) involved modifications to the approved scheme	6.9.1991	N/A
3.	A/H7/101	Private Club (Temporary Recreation Facilities) cum Utility Installation for Private Project (Electric Sub-station) for a Period of 5 Years	20.9.1996	N/A
4.	A/H7/139	Temporary Private Club (Recreation Facilities) for a Period of 5 Years	27.9.2002	N/A
5.	A/H7/147	Renewal of Planning Approval for Temporary Private Club (Recreation Facilities) for a Period of 5 Years	1.2.2008	(1)
6.	A/H7/163	Renewal of Planning Approval for Temporary 'Private Club (Recreational Facilities)' for a Period of 5 Years	1.3.2013	N/A
7.	A/H7/176	Renewal of Planning Approval for Temporary 'Private Club (Recreation Facilities)' for a Period of 5 Years	20.4.2018 <i>[Approved with Conditions for a period of 3 Years]</i>	(1), (2)
8.	A/H7/178	Renewal of Planning Approval for Temporary 'Private Club (Recreation Facilities)' for a Period of 3 Years	16.4.2021	(1), (2)

Approval Conditions

- (1) The provision of water supply for firefighting and fire service installations to the satisfaction of the Director of Fire Services or of the Town Planning Board.
- (2) Revocation of planning approval if condition not complied with by the specified date.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Hong Kong East, Lands Department (DLO/HKE, LandsD):

- (a) no comment on the application;
- (b) the application site (the Site) falls on Inland Lot No. 3054 (the Lot), which is held under Government Lease dated 29.9.1933 (the Lease). The Lease does not have any specific user restriction other than a standard offensive trade restriction. The Lease also contains a design and disposition clause. An offensive trade licence was issued on 20.6.2018;
- (c) the proposal submitted by the applicant does not conflict with the lease conditions governing the Site and so if the proposal is approved by the Town Planning Board, the applicant is not required to seek a lease modification from LandsD to implement it. Therefore, any planning conditions, if imposed by the Town Planning Board, cannot be written into the lease through lease modification; and
- (d) no complaint of the Lot has been received by her office in the past three years.

2. Building Matters

Comments of the Chief Building Surveyor/Hong Kong East & Heritage Section, Buildings Department (CBS/HKE&H, BD):

- (a) no objection to the application under the Buildings Ordinance; and
- (b) Temporary Building Permit No. 5/88 for the building on the Site will expire on 1.5.2024 and its renewal will be considered upon re-application.

3. Traffic Aspect

Comments of the Commissioner for Transport (C for T):

- (a) no comment on the application; and
- (b) all of the traffic improvement works as mentioned in the previous application No. A/H7/178, including traffic improvement works at the junction of Shan Kwong Road/Village Road (South), junction of Sing Woo Road/ Blue Pool Road/Holly Road, junction of Shan Kwong Road/Yuk Sau Street and roadway of Shan Kwong Road at the HKJC Clubhouse portion, have been completed by the applicant.

4. Environmental Aspect

Comments of the Director of Environmental Protection (DEP):

- (a) no objection to the application from environmental planning perspective; and
- (b) according to the record for the past three years, there was no environmental complaint or prosecution records against the Site.

5. Water Supply

Comments of the Chief Engineer/Construction, Water Supplies Department (CE/Construction, WSD):

- (a) no objection to the application;
- (b) there are some existing fresh water mains within the Site and are affected by the applied use. Free access should be allowed for WSD at any time to carry out operation and maintenance of these water mains. In case the applicant considers that diversion of these water mains is required, they should study the feasibility of diverting these water mains. If diversion is considered feasible, the applicant should submit their proposal for WSD's consideration and approval. The water mains diversion work shall be carried out by the applicant at their own cost to the satisfaction of WSD. WSD will only carry out the connection works to the existing network and the associated connection cost should be borne by the applicant; and
- (c) the exact lines and levels of WSD's water mains should be established by hand dug trial pits on site if they are of significance to the applicant's works, if any. Some changes might have been made to the information shown on the drawings in the course of time and that digging of trial holes to ascertain the exact alignment and depth of water mains would still be necessary before any road excavation.

6. Licensing Aspect

Comments of Chief Officer (Licensing Authority), Office of the Licensing Authority, Home Affairs Department (HAD):

- (a) no objection to the application from licensing point of view; and
- (b) the sports complex at the Site is covered by a Certificate of Compliance (CoC) No. C/1841 under the Clubs (Safety of Premises) Ordinance (Cap. 376) which is valid until 30.4.2024 and subject to annual renewal. The maximum number of premises at any one time (including staff) shall be 344. An application for CoC renewal was submitted by the applicant on 11.12.2023 which is being processed by his office for the time being.

7. Other Departments

The following government departments have no objection to/no comment on the application:

- (a) Chief Architect/Advisory & Statutory Compliance Division, Architectural Services Department (CA/ASC, ArchSD);
- (b) Chief Engineer/Hong Kong & Islands, Drainage Services Department (CE/HKI, DSD);
- (c) Chief Highway Engineer/Hong Kong, Highways Department (CHE/HK, HyD);
- (d) Director of Fire Services (D of FS);
- (e) Commissioner of Police (C of P); and
- (f) District Officer (Wan Chai), Home Affairs Department (DO(WC), HAD).

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



Planning Application Proposal

20/02/2024 16:07

From:

To:

Sent by:

File Ref:

[REDACTED]
tpbpd@pland.gov.hk
tpbpd@pland.gov.hk

Dear Sir,

I and my family are residents living along the upper portion of Shan Kwong Road (i.e. above Village Road).

The concerned site, being utilised as Private Club (Recreation Facilities) under HKJC, has been our neighbours for tens of years. HKJC has been a responsible, responsive, and considerate neighbour throughout the years and the facility, its greenery, its open air environment, forms an integral part of the community.

We fully support the current planning application to maintain the existing premise (Application No. A/H7/184. We would however want to take this opportunity to voice that under the existing scenario, the traffic at Shan Kwong Road is already stretching its limit. Frequently, Shan Kwong Road road users need to queue for multiple traffic signal cycles before being able to cross the junction. Owing to this queuing blocking the way, there are also many instances where cars are not able to leave or enter their residential premises. This situation is attributed to many factors but most notably the addition of traffic lights at the junction of Shan Kwong Road / Village Road, and the opening of a new wing of HKJC Clubhouse. The instalment of traffic lights there greatly improved traffic safety and the opening of a new wing of HKJC Clubhouse has also been agreed upon for many years. The crux is therefore to avoid worsening the current traffic condition which is scrapping an acceptable standard. Meriting the above, We again give our support to the current planning application. It is, however, our main concern that future planning applications for other development which would draw extra traffic, such as residential development, will be strongly objected to.

Thank you very much for your attention.

Regards,

[REDACTED]

Liu Yee Ling (Ms)

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A/H7/184 -Happy Valley Shan Kwong Road extension
20/02/2024 15:59

From:

To:

Sent by:

File Ref:

[REDACTED]
tpbpd@pland.gov.hk
tpbpd@pland.gov.hk

To whom it may concern,

I am writing to support the renewal of planning approval for temporary / private club(recreation facilities)' for a period of 3 years

The Jockey Club has been great guardians of this land and the peace and tranquility of this area has enhanced all residents of upper Happy Valley

Shan Kwong Road is a narrow steep road that cannot handle more residential buildings and traffic to this area

Many thanks

Regards

Dr Patricia Shuen., BVetMed, MACVSc, Cert IVAS, MRCVS

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/H7/184 HKJC Clubhouse
18/02/2024 03:09

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent by: tpbpd@pland.gov.hk
File Ref:

Dear TPB Members,

Strong Objections. HKJC was permitted to build a new club house on the old stable site. The community was led to believe that when completed facilities would be moved there and this site returned to the government.

HKJC at the same time benefitted from the rezoning of the Olympic Stables Land (OSL) that extended its kingdom at Fotan.

The community has not benefitted from these sweetheart deals.

The site should be resumed and opened up to the general community to address some of the many shortfalls in HKPSG. The courts at Victoria Park have effectively been commercialized as most of the year they are occupied by trade fairs or promotional events.

The community has a right to access to sports facilities that are open to the public 365 days a year. Moreover there is now the 2030+ target of increasing the provision of OS per capita that remains unmet.

The application should be rejected.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 16 March 2021 3:55 AM HKT
Subject: A/H7/178 HKJC Clubhouse

Dear TPB Members,

A number of members in April 2018 were dissatisfied with the slow progress in relocation to the New Club House and gave approval for 3 year extension not five.

According to the website this is now up and running, so what is the justification for extending the current arrangement?

<https://member.hkjc.com/member/english/the-hilltop-in-the-valley/floor-plan.aspx>

In view of the current restrictions on dining, bars, etc, the club has had ample

opportunity to refurbish the premises.

These old facilities should be opened to the general public as there is strong demand for outdoor and active recreational options as people cannot travel.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Saturday, March 31, 2018 2:54:40 AM
Subject: A/H7/176 HKJC Clubhouse
A/H7/176
48 Shan Kwong Road, Happy Valley
Site area : 9,030m²
Zoning : "Res (Group C) 1"
Applied Use : HKJC Club House 5 Years

Dear TPB Members,

HKJC is building a new clubhouse that is scheduled to open in 2019. This is confirmed on its website.

There is therefore no legitimate reason why it should not hand back this site once its new premises are fitted out. Two years would therefore be the maximum acceptable extension of tenure.

The current zoning of this site is also problematic. It has long been used for recreational purposes and has well maintained facilities. If not all, at least part of the site should be retained to address some of the many deficiencies in public recreational facilities in the Wanchai district.

Attached is a list of amenities suitable to the site that are under provided for in this district of 180,000 residents.

The interests of the community should come before the development of luxury residential units that are often left empty and used for investment or money laundering activities.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 28 January 2013 10:41 PM HKT
Subject: Application A/H7/163 HK Jockey Club

Dear TPB Members,

The questions TPB should raise is whether the original lease should have been terminated once the stables were moved to Sha Tin in the early 1990's. HKJC was

no doubt granted or allowed to acquire additional land there for the new stables. When the Happy Valley site was not longer required for stables then it should have reverted to the public landbank.

The zoning is very specific:

Residential (Group C) 1

This zone is intended primarily for low-rise, low-density residential developments where commercial uses serving the residential neighbourhood may be permitted on application.

The current use is dependent upon approval under Column 2. Uses that may be permitted with or without conditions on application to the Town Planning Board. After more than 20 years it is about time that a decision be made on the future of the site. For cases like this the lease conditions should be attached to the application so that the terms can be easily accessed. Without this information making accurate comment is difficult.

In view of the fact that the administration is planning to convert a large number of GIC sites to residential use in the near future is it appropriate that a site that is already zoned Residential continue to be used for private recreational purposes when sites currently devoted to public services and facilities and open space are in danger of being requisitioned for residential use?

TPB should ask LCSD to provide a list of the public recreation facilities available in the district and if there is shortfall in certain areas that could be fulfilled via this facility then the services should be thrown open to the general public. Wanchai is short on services for the elderly and open space, for example.

If TPB does approve a further extension of the current private club use then it must be with conditions that ensure that a certain element of public usage is provided.

Yours faithfully
Mary Mulvihill

Advisory Clauses

- (a) to note the comments of the Chief Building Surveyor/Hong Kong East & Heritage Section, Buildings Department that the Temporary Building Permit No. 5/88 for the building on the application site (the Site) will expire on 1.5.2024 and its renewal will be considered upon re-application;
- (b) to note the comments of the Chief Engineer/Construction, Water Supplies Department (WSD) that there are some existing fresh water mains within the Site and are affected by the applied use. Free access should be allowed for WSD at any time to carry out operation and maintenance of these water mains. In case diversion of these water mains is required, feasibility of diverting these water mains should be studied. If diversion is considered feasible, proposal should be submitted for WSD's consideration and approval. The water mains diversion work should be carried out by you at your own cost to the satisfaction of WSD. WSD will only carry out the connection works to the existing network and the associated connection cost should be borne by you. Also, the exact lines and levels of WSD's water mains should be established by hand dug trial pits on site if they are of significance to your works. Digging of trial holes to ascertain the exact alignment and depth of water mains would still be necessary before any road excavation; and
- (c) to note the comments of the Chief Officer (Licensing Authority), Office of the Licensing Authority, Home Affairs Department that the sports complex at the Site is covered by a Certificate of Compliance (CoC) No. C/1841 under the Clubs (Safety of Premises) Ordinance (Cap. 376) which is valid until 30.4.2024 and subject to annual renewal. The maximum number of premises at any one time (including staff) shall be 344. An application for CoC renewal was submitted by you on 11.12.2023 which is being processed by his office for the time being.