

This document is received on 19 JUL 2022
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of
Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal
of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的
臨時用途/發展或該等臨時用途/發展的許可續期的建議***

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.
*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A1HSK1393
	Date Received 收到日期	19 JUL 2022

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Gainman Development Limited 盈民發展有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1080 (Part), 1083 (Part), 1084 (Part), 1085 (Part), 1087 (Part), 1088 (Part), 1089 (Part), 1090 (Part), 1091 RP (Part), 1104 (Part) and 1109 (Part) in D.D. 124, Hung Shui Kiu, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 8,610 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 638 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan : S/HSK/2
(e) Land use zone(s) involved 涉及的土地用途地帶	"Government, Institution or Community" and "Open Space" Zone and area shown as 'Road'
(f) Current use(s) 現時用途	Open Storage (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

☐ is the sole "current land owner"[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。

☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]遞送要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on
11/7/2022 (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 14/7/2022 (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas

位於鄉郊地區土地及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))

(如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Parking of Special Purpose Vehicle and Office for a Period of 3 Years

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 3☐ month(s) 個月

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積 7,972sq.m ☒ About 約

Proposed covered land area 擬議有上蓋土地面積 638sq.m ☒ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 3

Proposed domestic floor area 擬議住用樓面面積 /sq.m ☐ About 約

Proposed non-domestic floor area 擬議非住用樓面面積 638sq.m ☒ About 約

Proposed gross floor area 擬議總樓面面積 638sq.m ☒ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT	
B1	OFFICE, STORAGE OF CONSTRUCTION MATERIAL	210 m ² (ABOUT)	210 m ² (ABOUT)	4.5 m (ABOUT) (1-STOREY)
B2	OFFICE, STORAGE OF DOCUMENT	218 m ² (ABOUT)	218 m ² (ABOUT)	4.5 m (ABOUT) (1-STOREY)
B3	OFFICE, STORAGE OF DOCUMENT	210 m ² (ABOUT)	210 m ² (ABOUT)	4.5 m (ABOUT) (1-STOREY)
TOTAL		638 m ² (ABOUT)	638 m ² (ABOUT)	

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 6

Motorcycle Parking Spaces 電單車車位

Light Goods Vehicle Parking Spaces 輕型貨車泊車位

Medium Goods Vehicle Parking Spaces 中型貨車泊車位

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位

Others (Please Specify) 其他 (請列明) 4 (Special Purpose Vehicle)

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位

Coach Spaces 旅遊巴車位

Light Goods Vehicle Spaces 輕型貨車車位

Medium Goods Vehicle Spaces 中型貨車車位

Heavy Goods Vehicle Spaces 重型貨車車位

Others (Please Specify) 其他 (請列明) 1 (Container Vehicle)

Proposed operating hours 擬議營運時間

Monday to Saturday from 09:00 - 18:00, no operation on Sunday and public holiday

<p>(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible from Hung Chi Road via a local access</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																														
<p>(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)</p>																																
<p>(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																														
<p>(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/></p>																														
<p>(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>		On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas
 位於鄉郊地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Background

The applicant seeks to use various lots in D.D. 124, Hung Shui Kiu, Yuen Long, New Territories (the Site) for 'Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Parking of Special Purpose Vehicle and Office for a Period of 3 Years' (proposed development) (Plan P01).

The Site is operated by a construction company and they would like to store construction machinery (tower cranes, crawler cranes, telehandlers etc.) and material (cement, steel beams, columns etc.) at the Site. The ancillary parking of special purpose vehicle (truck crane) and office are to support the daily operation of the Site.

Planning Context

The Site falls within an area zoned as "Government, Institution or Community", "Open Space" and area shown as 'Road' on the Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2 (Plan P02). According to the Notes of the OZP, 'open storage' is not a column 1 nor column 2 use within these zones, which requires permission from the Board. Since the application is only on a temporary basis, it will not jeopardize the long term planning intention of these zones.

Development Proposal

The Site occupied an area of 8,610 sq.m (about)(Plan P03). A total of 3 structures are proposed at the Site for offices, storage of construction material and document with total GFA of 638 sq.m (about) and building height of 4.5m (about)(Plan P04). The ancillary office is to provide indoor space for administrative staff to support the daily operation of the Site. The operation hours of the proposed development are Monday to Saturday 09:00 to 18:00. No operation on Sunday and public holiday. The estimated number of staff working at the Site are 20. No visitor is anticipated at the Site.

The Site is accessible from Hung Chi Road via a local access (Plan P01). 6 private car and 4 special purpose vehicle parking spaces are provided at the Site. 1 loading / unloading (L/UL) space for container vehicle are provided at the Site for transportation of construction material and machinery (Plan P04). Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure no queuing, turning back outside the Site during the planning approval period (Plan P05). As traffic generated by the applied development is minimal, adverse traffic impact should not be anticipated (Appendix I).

The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by Environmental Protection Department to minimize adverse environmental impacts and nuisance to the surrounding area. No workshop activity will be carried out at the Site at any time during the planning approval period.

Conclusion

The proposed development will not create significant adverse traffic, environmental, landscape and drainage impacts to the surrounding areas. Adequate mitigation measures will be provided, i.e. submission of drainage and fire service installations proposals to minimise adverse impact to the surrounding area after planning approval has been obtained from the Board.

In view of the above, the Board is hereby respectfully requested to approve the subject application for 'Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Parking of Special Purpose Vehicle and Office for a Period of 3 Years'.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-Riches Property Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）



Date 日期

29/06/2022

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1080 (Part), 1083 (Part), 1084 (Part), 1085 (Part), 1087 (Part), 1088 (Part), 1089 (Part), 1090 (Part), 1091 RP (Part), 1104 (Part) and 1109 (Part) in D.D. 124, Hung Shui Kiu, Yuen Long, New Territories
Site area 地盤面積	8,610 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 / sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No.: S/HSK/2
Zoning 地帶	"Government , Institution or Community", "Open Space" Zones and area shown as 'Road'
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Open Storage of Construction Material and Machinery with Ancillary Parking of Special Purpose Vehicle and Office for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	638 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.07 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	/	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	/	m 米 <input type="checkbox"/> (Not more than 不多於)
		/	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	4.5 (about)	m 米 <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積	7 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		10
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) Special purpose vehicle		6 (PC) 4 (SPV)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container vehicle		1 (CV)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plan showing the zoning of the site, Plan showing the land status of the site		
Location Plan, Swept path analysis		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trip generation and attraction		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Appendix I - Estimated Trip Generation and Attraction of the Proposed Development

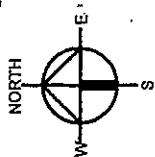
- (i) The application site (the Site) is accessible from Hung Chi Road via a local access. A total of 11 spaces are provided at the Site, details are as follows:

Type of Space	No. of Space
Private Car Parking Space for Staff - 2.5 m (W) x 5 m (L)	6
Special Purpose Vehicle Parking Space - 3.5 m (W) x 16 m (L)	4
L/UL Space for Container Vehicle - 3.5 m (W) x 16 m (L)	1

- (ii) The operation hours of the proposed development are Monday to Saturday from 09:00 to 18:00. No operation on Sunday and public holiday. Please see below the trip generation and attraction of the proposed development:

Time Period	Trip Generation and Attraction						
	Private Car		Special Purpose Vehicle		Container Vehicle		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM</u> peak per hour (9:00 – 10:00)	6	0	0	2	1	0	9
Trips at <u>PM</u> peak per hour (17:00 – 18:00)	0	6	2	0	0	1	9
Traffic trip per hour (average)	0.5	0.5	1	1	1	1	5

- (iii) In view of the above, the parking and L/UL provisions are adequate for the site operation and adverse traffic impact to the surrounding road network should not be anticipated.

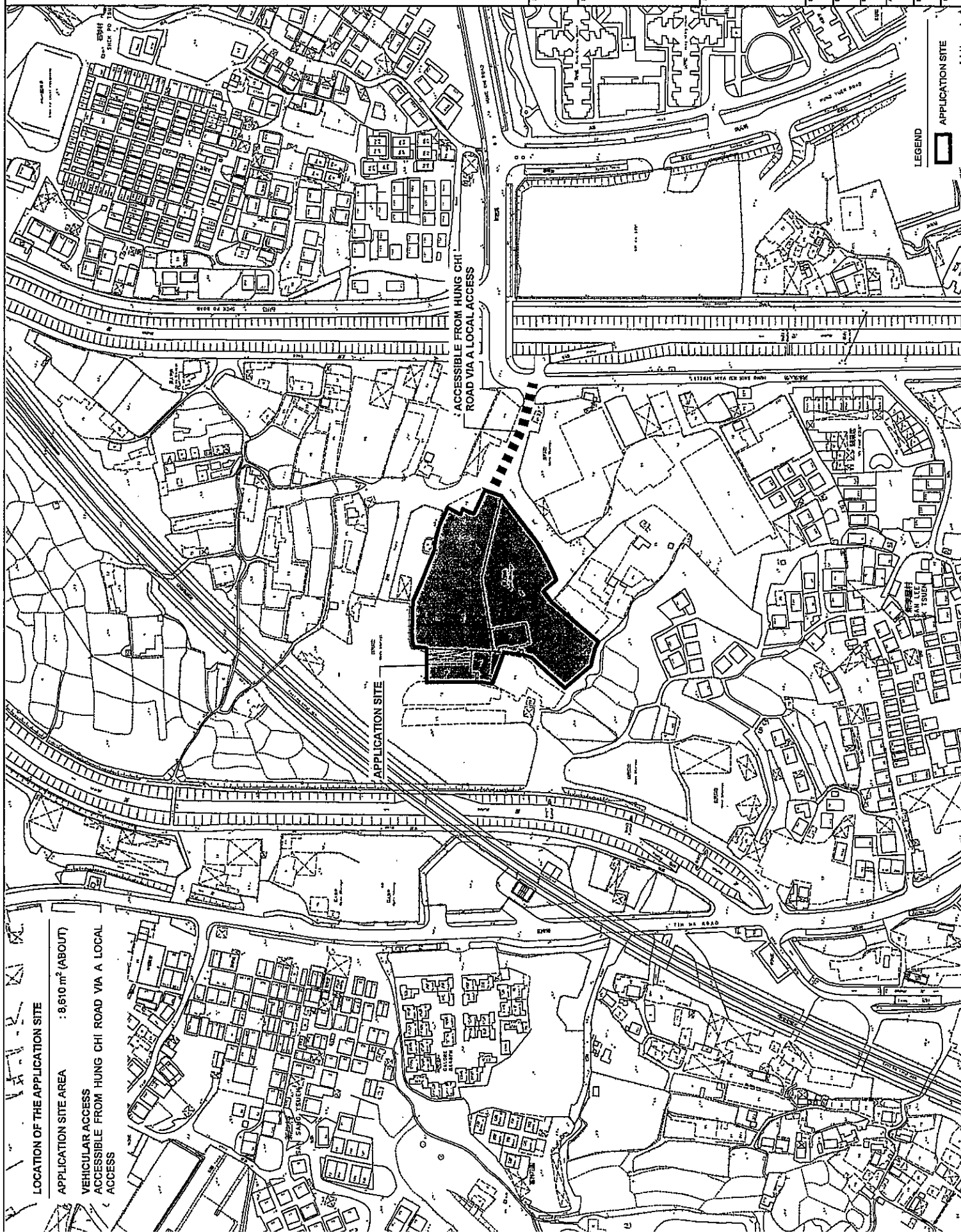


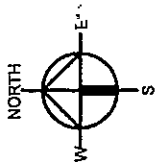
PLANNING CONSULTANT
R-RICHES PROPERTY
CONSULTANTS LIMITED

PROJECT
PROPOSED TEMPORARY OPEN
STORAGE OF CONSTRUCTION
MATERIAL AND MACHINERY
WITH ANCILLARY PARKING OF
SPECIAL PURPOSE VEHICLE
AND OFFICE FOR A PERIOD OF
3 YEARS

SITE LOCATION
VARIOUS LOTS IN D.D. 124,
HUNG SHUI KIU, YUEN LONG,
NEW TERRITORIES

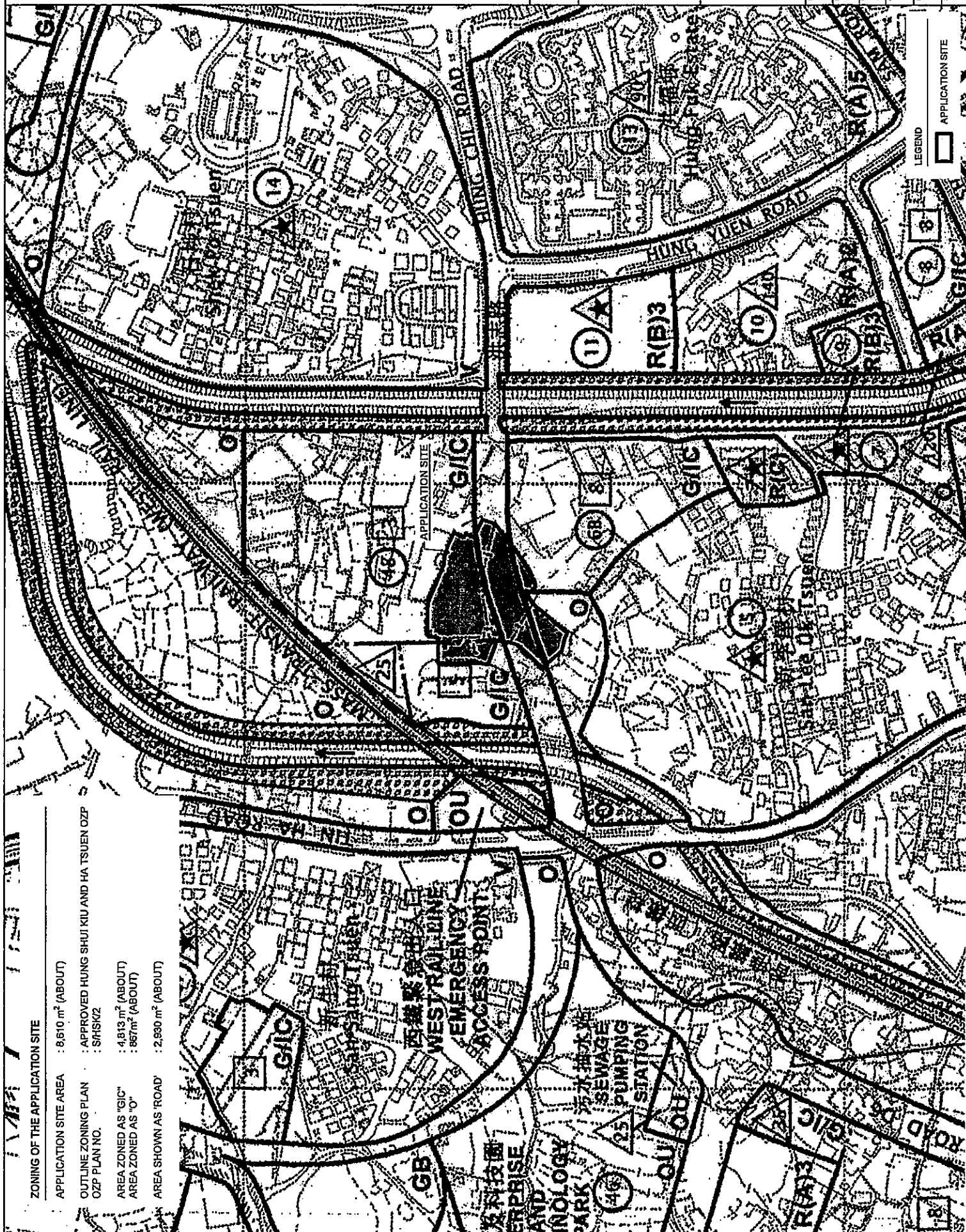
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DATE	23.6.2022
CHECKED BY	
DATE	
APPROVED BY	
DATE	
DWG. TITLE	LOCATION PLAN
DWG. NO.	P01
VER.	001





ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA	: 8,610 m ² (ABOUT)
OUTLINE ZONING PLAN OZP PLAN NO.	: APPROVED HUNG SHUI KIU AND HA TSUEN OZP : SHSK2
AREA ZONED AS "GIC"	: 4,813 m ² (ABOUT)
AREA ZONED AS "O"	: 867 m ² (ABOUT)
AREA SHOWN AS 'ROAD'	: 2,930 m ² (ABOUT)



PLANNING CONSULTANT
RICHES PROPERTY
CONSULTANTS LIMITED

PROJECT
PROPOSED TEMPORARY OPEN
STORAGE OF CONSTRUCTION
MATERIAL AND MACHINERY
WITH ANCILLARY PARKING OF
SPECIAL PURPOSE VEHICLE
AND OFFICE FOR A PERIOD OF
3 YEARS

SITE LOCATION
VARIOUS LOTS IN D.D. 124,
HUNG SHUI KIU, YUEN LONG,
NEW TERRITORIES

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LEGEND
APPLICATION SITE

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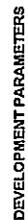
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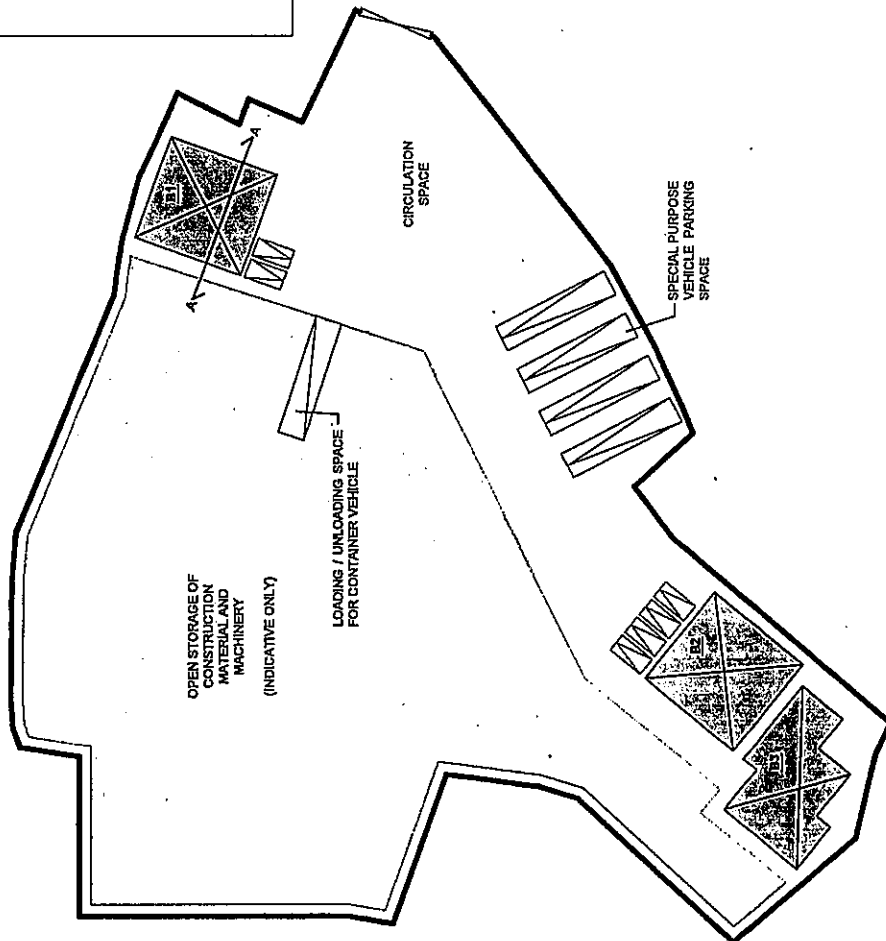
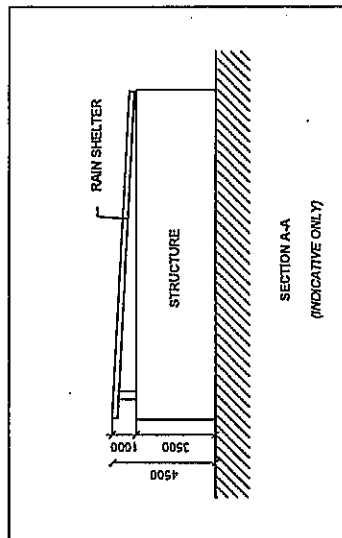
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APPLICATION SITE AREA	: 8,610 m ²	(ABOUT)
COVERED AREA	: 638 m ²	(ABOUT)
UNCOVERED AREA	: 7,972 m ²	(ABOUT)
PLOT RATIO	: 0.07	(ABOUT)
SITE COVERAGE	: 7%	(ABOUT)
NO. OF STRUCTURE	: 3	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 638 m ²	(ABOUT)
TOTAL GFA	: 638 m ²	(ABOUT)
BUILDING HEIGHT	: 4.5 m	(ABOUT)
NO. OF STOREY	: 1	

BUILDING HEIGHT








PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 6
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)
NO. OF SPV PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 16m (L) X 3.5m (W)
NO. OF LOADING/UNLOADING SPACE FOR CV	: 1
DIMENSION OF JUL SPACE	: 16m (L) X 3.5m (W)

SPV - SPECIAL PURPOSE VEHICLE
CV - CONTAINER VEHICLE

LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	LUL SPACE
	INGRESS / EGRESS

**R-RICHES P
CONSULTANT**

PROTECT

PROPOSED TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY PARKING OF SPECIAL PURPOSE VEHICLE AND OFFICE FOR A PERIOD OF 3 YEARS

DATE RECEIVED

VARIOUS LOTS IN D.D. 124,
HUNG SHUI KIU, YUEN LONG,
NEW TERRITORIES

SCALE
1:1000 @ A4

STANDARD & POVE

DATE _____
IS MINE _____

2/14

19. 2007-08

APPROVED BY

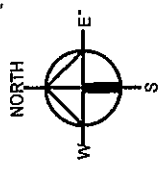
BOOK REVIEW

Full Year

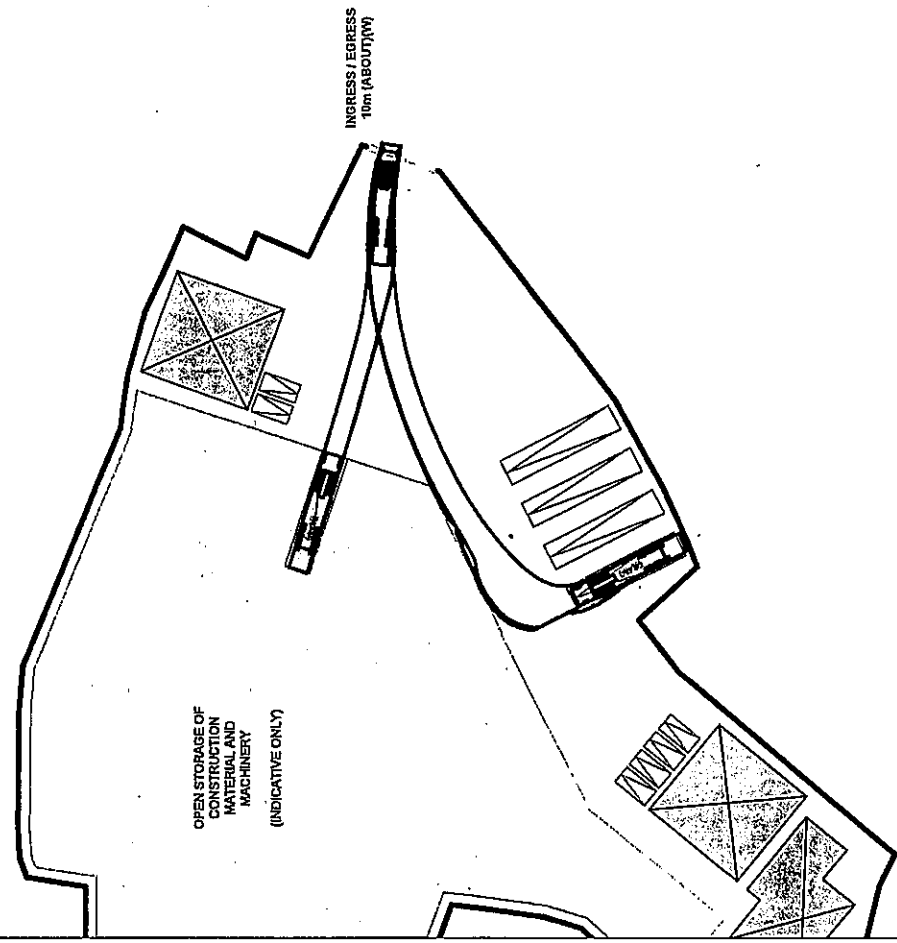
LAYOUT PL

COMP NO.

2007



PLANNING CONSULTANT	R-RICHES PROPERTY CONSULTANTS LIMITED		
PROJECT	PROPOSED TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY PARKING OF SPECIAL PURPOSE VEHICLE AND OFFICE FOR A PERIOD OF 3 YEARS		
SITE LOCATION	VARIOUS LOTS IN D.D. 124, HUNG SHUI KIU, YUEN LONG, NEW TERRITORIES		
SCALE	1:1000 @ A4		
DRAWN BY	MM	DATE	23.6.2022
CHECKED BY		DATE	
APPROVED BY		DATE	
DWG. TITLE	SWEPT PATH ANALYSIS		
DWG. NO.	P05	VER.	001



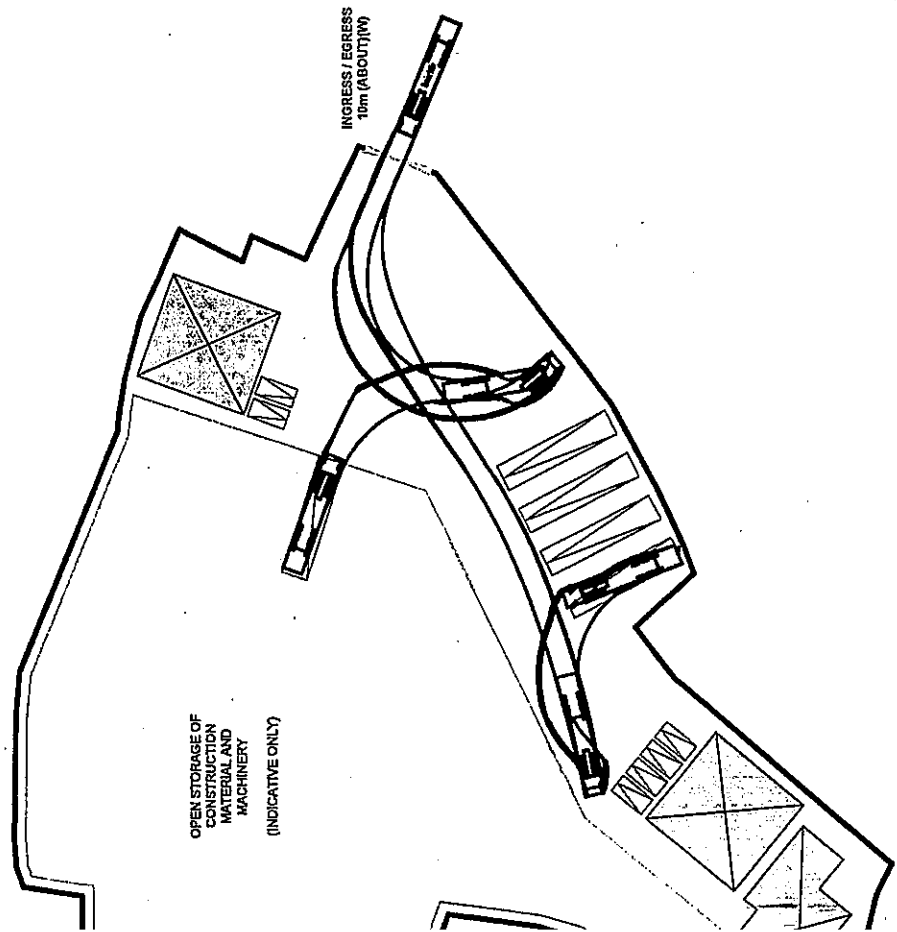
FROM THE APPLICATION SITE TO
THE LOCAL ACCESS

LEGEND
APPLICATION SITE
PARKING SPACE
LOADING / UNLOADING SPACE
CONTAINER / SPECIAL PURPOSE VEHICLE
SWEPT PATH OF VEHICLE

SWEPT PATH ANALYSIS

TYPE OF VEHICLE : CONTAINER VEHICLE / SPECIAL PURPOSE VEHICLE
DIMENSION OF VEHICLE : 2.5 m (W) X 16 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2019



FROM THE LOCAL ACCESS TO
THE APPLICATION SITE

Our Ref.: DD124 Lot 1080 & VL
Your Ref.: TPB/A/HSK/393

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

3 November 2022

Dear Sir,

1st Further Information

**Proposed Temporary Open Storage of Construction Material and Machinery with
Ancillary Parking of Special Purpose Vehicle and Office for a Period of 3 Years in
"Government, Institution or Community", "Open Space" Zones and Area Shown as 'Road',
Various Lots in D.D. 124, Hung Shui Kiu, Yuen Long, New Territories**

(S.16 Planning Application No. A/HSK/393)

We are writing to submit further information to provide clarifications for the subject application (**Appendix I**). Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at (852) 2339 0884 or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Matthew NG
Planning and Development Manager

cc DPO/TMYLW, Pland

(Attn.: Ms. Natalie CHAN
(Attn.: Mr. Danny NG

email: nlychan@pland.gov.hk)
email: dhhng@pland.gov.hk)

Appendix I – Clarifications for the Proposed Development

Intend to Support the Implementation of New Development Areas

- (i) The application site (the Site) will be operated by a construction company, mainly to supply construction material (i.e. cement, steel beams, columns etc.) and machinery (i.e. tower cranes, crawler cranes, telehandlers etc.) to local developers and builders. With land resumption being carried out by the Government to facilitate the implementation of Hung Shui Kiu and Ha Tsuen (HSK/HT), Kwu Tung North (KTN) and Fanling North (FLN) New Development Areas (NDAs) in recent years, large amount of construction of material and machinery is required for site preparation and construction works.
- (ii) In view of the that, the applicant would like to use the Site for the applied use to the meet the pressing demand for construction machinery and material. With its strategic location within the boundary of the HSK/HT NDA and only 1.3 km (about) northwest of the New Territories Circular Road, this could reduce time and cost in transportation, as well as to reduce burden to the local road networks.

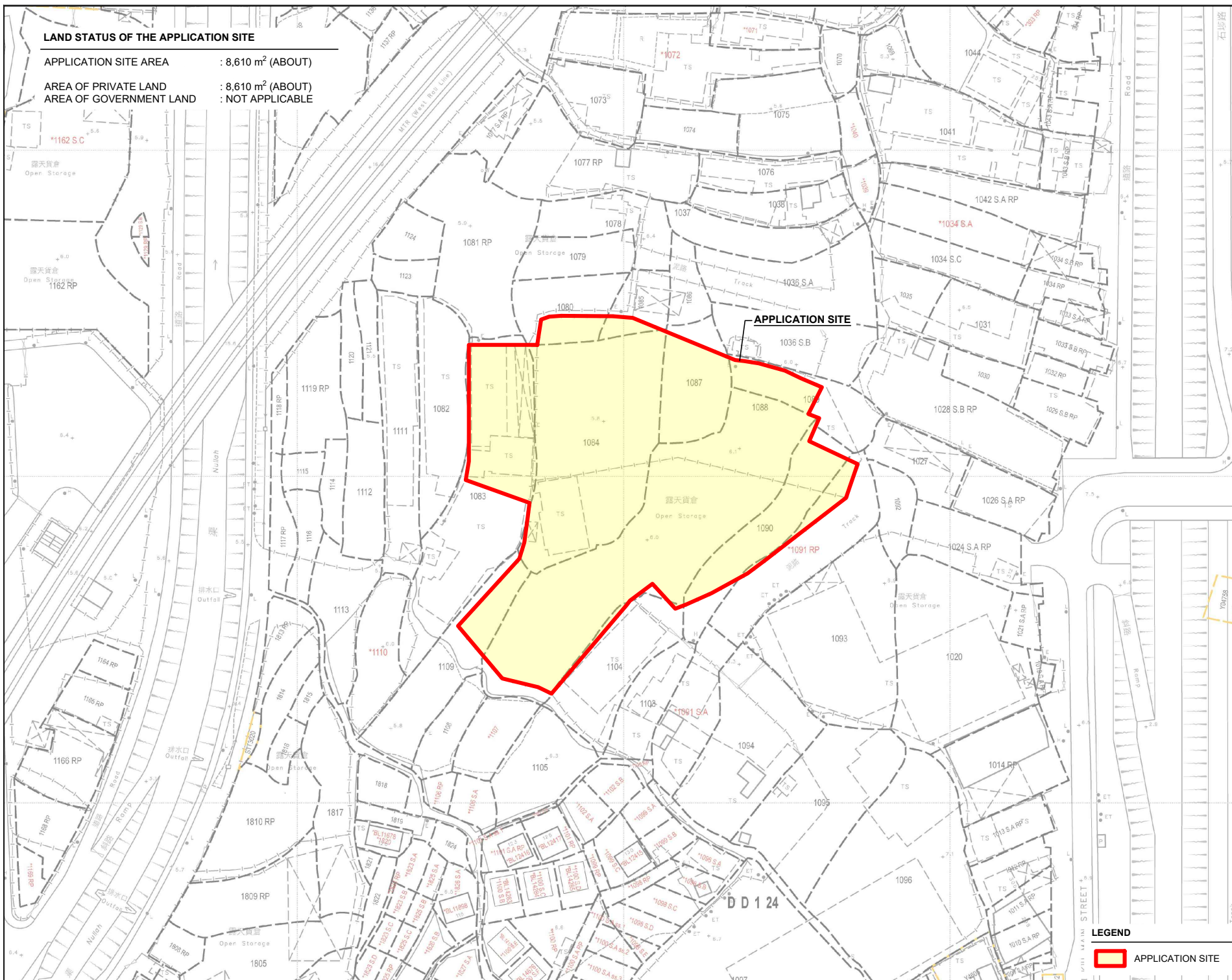
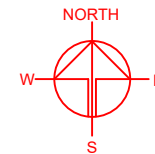
The Development Schedule of Hung Shiu Kiu and Ha Tsuen New Development Area

- (i) The Site currently falls within area zoned as “Government, Institution or Community”, “Open Space” and area shown as ‘Road’ on the Approved HSK/HT Outline Zoning Plan No. S/HSK/2. According to the development schedule of HSK/HT NDA, the Site falls within sites under Remaining Phase development. Although the development’s exact implementation programme is still being formulated, it is expected that site formation and engineering infrastructure construction for the Remaining Phase development will commence in 2030.
- (ii) As the planning intentions of the subject zones have not yet been implemented, approval of the application on a temporary basis would better utilize precious land resources; and more importantly would not jeopardize the long-term development of the area and affect the implementation of HSK/HT NDA.

Minimal Impact to the Surrounding Environment

- (i) The applied use involves of open storage of construction machinery and material with ancillary parking of special purpose vehicle and office to support the daily operation of the Site. No adverse impact to the surrounding area is anticipated from the proposed development. The applicant will strictly follow the ‘Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites’ issued by Environmental Protection Department to minimize all possible environmental impacts to the nearby sensitive receivers.
- (ii) Boundary fencing will be erected along the Site boundary to minimize nuisance to the surrounding area. Other mitigation measures are provided by the applicant, i.e. submission of drainage and fire service installations proposals to mitigate possible impacts arising from the proposed development (**Annexes I and II**).

APPLICATION SITE AREA	: 8,610 m ² (ABOUT)
AREA OF PRIVATE LAND	: 8,610 m ² (ABOUT)
AREA OF GOVERNMENT LAND	: NOT APPLICABLE



PLANNING CONSULTANT

**R-RICHES PROPERTY
CONSULTANTS LIMITED**

PROJECT

PROPOSED TEMPORARY OPEN
STORAGE OF CONSTRUCTION
MATERIAL AND MACHINERY
WITH ANCILLARY PARKING OF
SPECIAL PURPOSE VEHICLE
AND OFFICE FOR A PERIOD OF
3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 124,
HUNG SHUI KIU, YUEN LONG,
NEW TERRITORIES

SCALE
1 : 1500 @ A4

DRAWN BY	DATE
OL	15.9.2022

CHECKED BY	DATE
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APPROVED BY	DATE
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DWG. TITLE
DRAINAGE PROPOSAL

DWG NO.
ANNEX I

VER.	001
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LEGEND

 APPLICATION SITE

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 8,610 m ²	(ABOUT)
COVERED AREA	: 638 m ²	(ABOUT)
UNCOVERED AREA	: 7,972 m ²	(ABOUT)

PLOT RATIO	: 0.07	(ABOUT)
SITE COVERAGE	: 7%	(ABOUT)

NO. OF STRUCTURE	: 3
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 638 m ² (ABOUT)
TOTAL GFA	: 638 m ² (ABOUT)

BUILDING HEIGHT	: 4.5 m	(ABOUT)
NO. OF STOREY	: 1	

PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR	: 6
PARKING SPACE	: 6
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)

NO. OF SPV	: 4
PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 16m (L) X 3.5m (W)

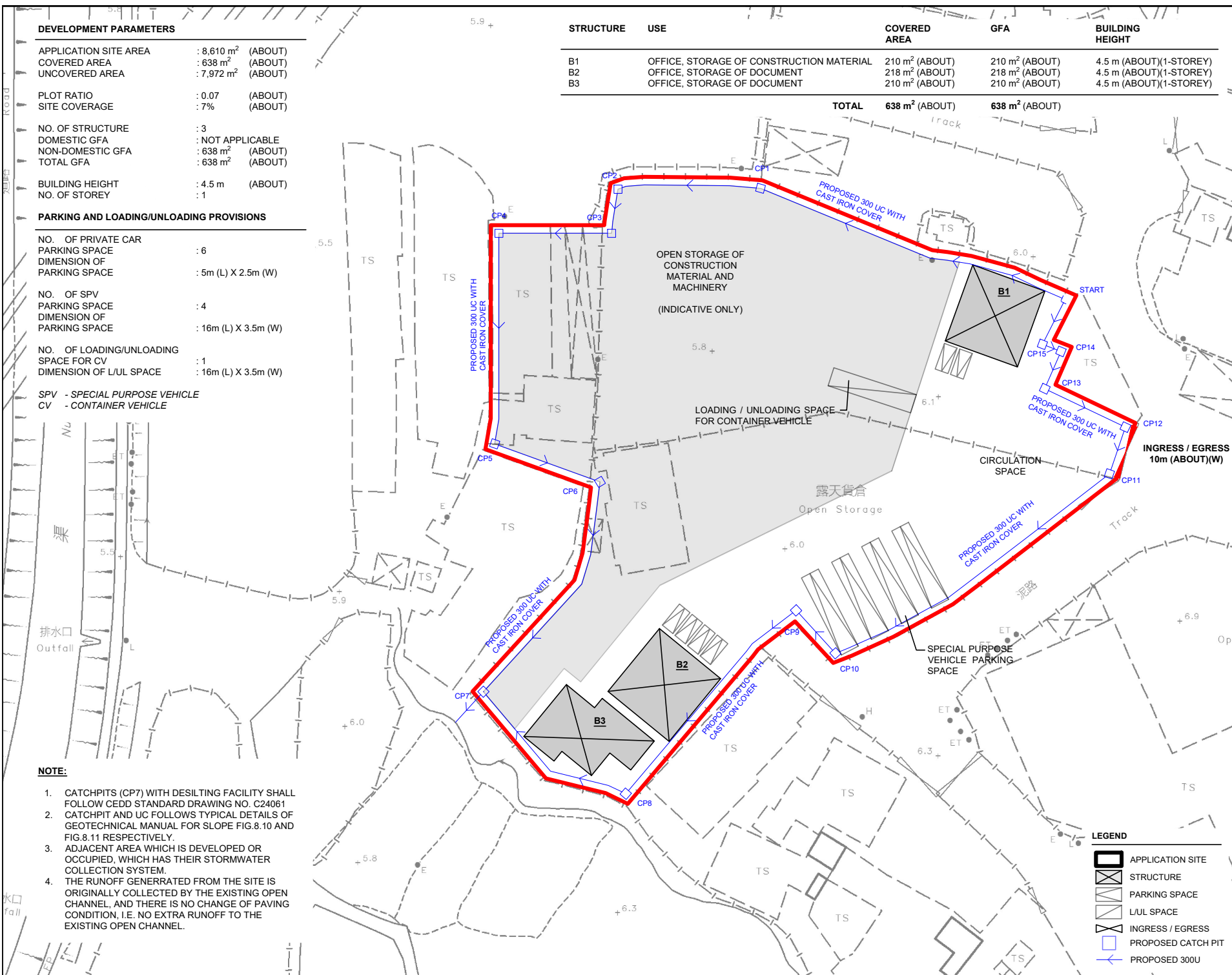
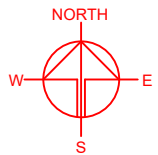
NO. OF LOADING/UNLOADING SPACE FOR CV	: 1
DIMENSION OF L/UL SPACE	: 16m (L) X 3.5m (W)

SPV - SPECIAL PURPOSE VEHICLE
CV - CONTAINER VEHICLE

NOTE:

- CATCHPITS (CP7) WITH DESILTING FACILITY SHALL FOLLOW CEDD STANDARD DRAWING NO. C24061
- CATCHPIT AND UC FOLLOWS TYPICAL DETAILS OF GEOTECHNICAL MANUAL FOR SLOPE FIG.8.10 AND FIG.8.11 RESPECTIVELY.
- ADJACENT AREA WHICH IS DEVELOPED OR OCCUPIED, WHICH HAS THEIR STORMWATER COLLECTION SYSTEM.
- THE RUNOFF GENERATED FROM THE SITE IS ORIGINALLY COLLECTED BY THE EXISTING OPEN CHANNEL, AND THERE IS NO CHANGE OF PAVING CONDITION, I.E. NO EXTRA RUNOFF TO THE EXISTING OPEN CHANNEL.

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	OFFICE, STORAGE OF CONSTRUCTION MATERIAL	210 m ² (ABOUT)	210 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)
B2	OFFICE, STORAGE OF DOCUMENT	218 m ² (ABOUT)	218 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)
B3	OFFICE, STORAGE OF DOCUMENT	210 m ² (ABOUT)	210 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)
TOTAL		638 m ² (ABOUT)	638 m ² (ABOUT)	



LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	L/UL SPACE
	INGRESS / EGRESS
	PROPOSED CATCH PIT
	PROPOSED 300 UC

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PROJECT

PROPOSED TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY PARKING OF SPECIAL PURPOSE VEHICLE AND OFFICE FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 124, HUNG SHUI KIU, YUEN LONG, NEW TERRITORIES

SCALE

1:1000 @ A4

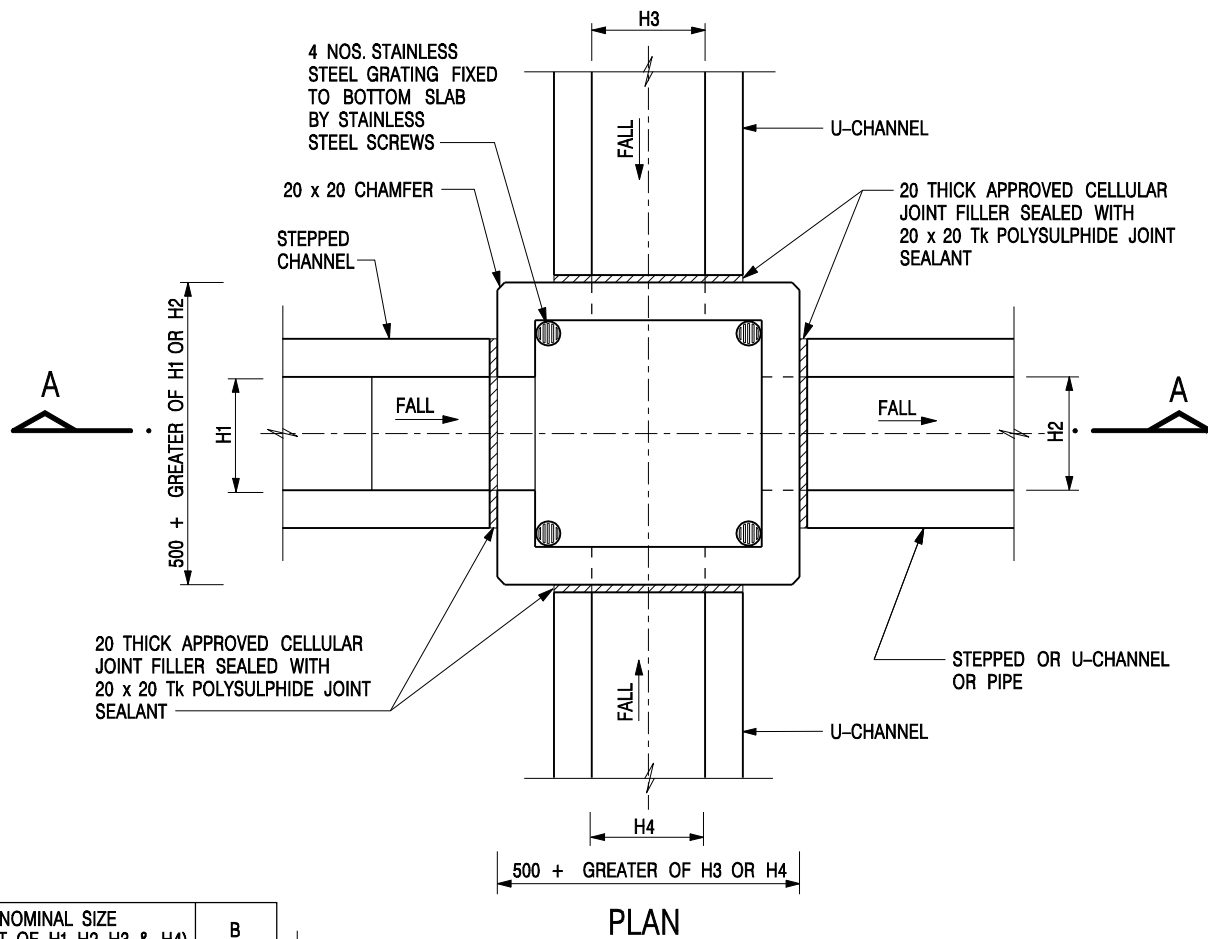
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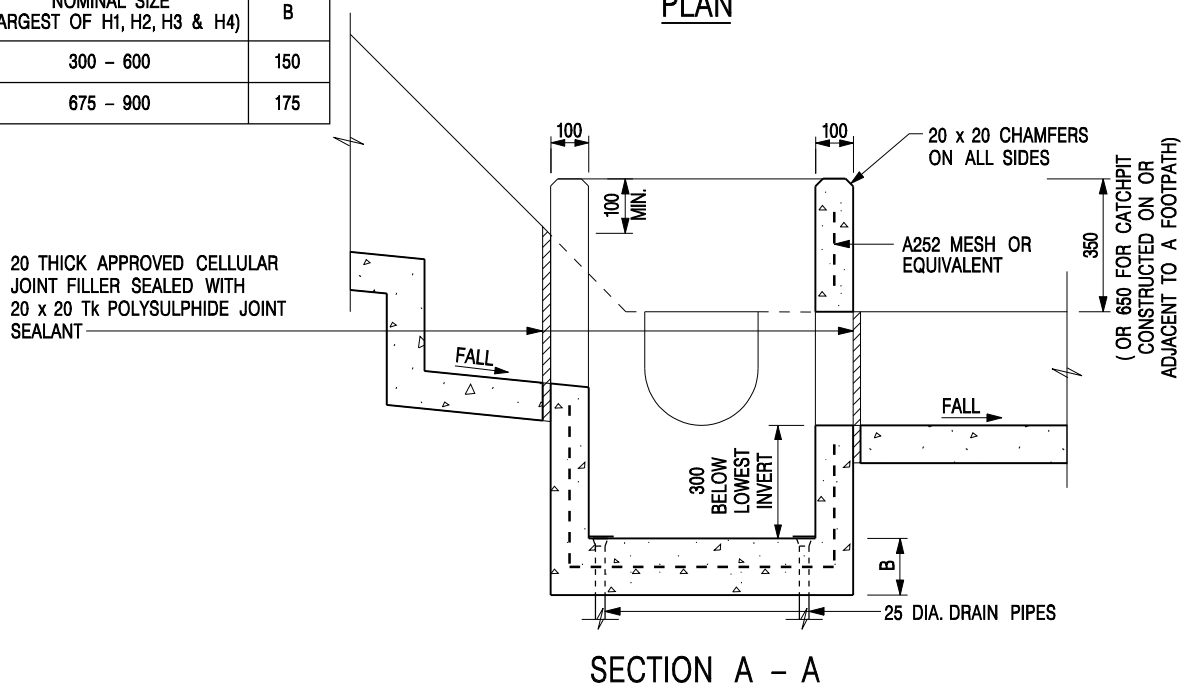
APPROVED BY DATE

DWG. TITLE DRAINAGE PROPOSAL

DWG. NO. ANNEX I VER. 001




NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

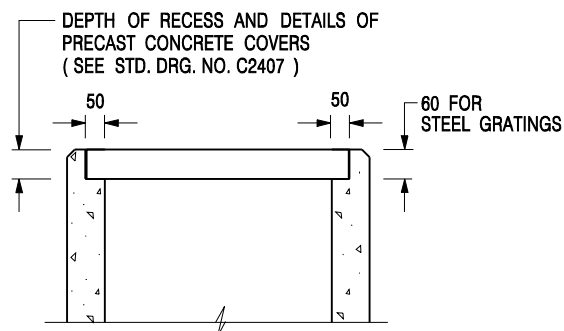


NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20	
		DATE JAN 1991	
		DRAWING NO. C2406 /1	



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

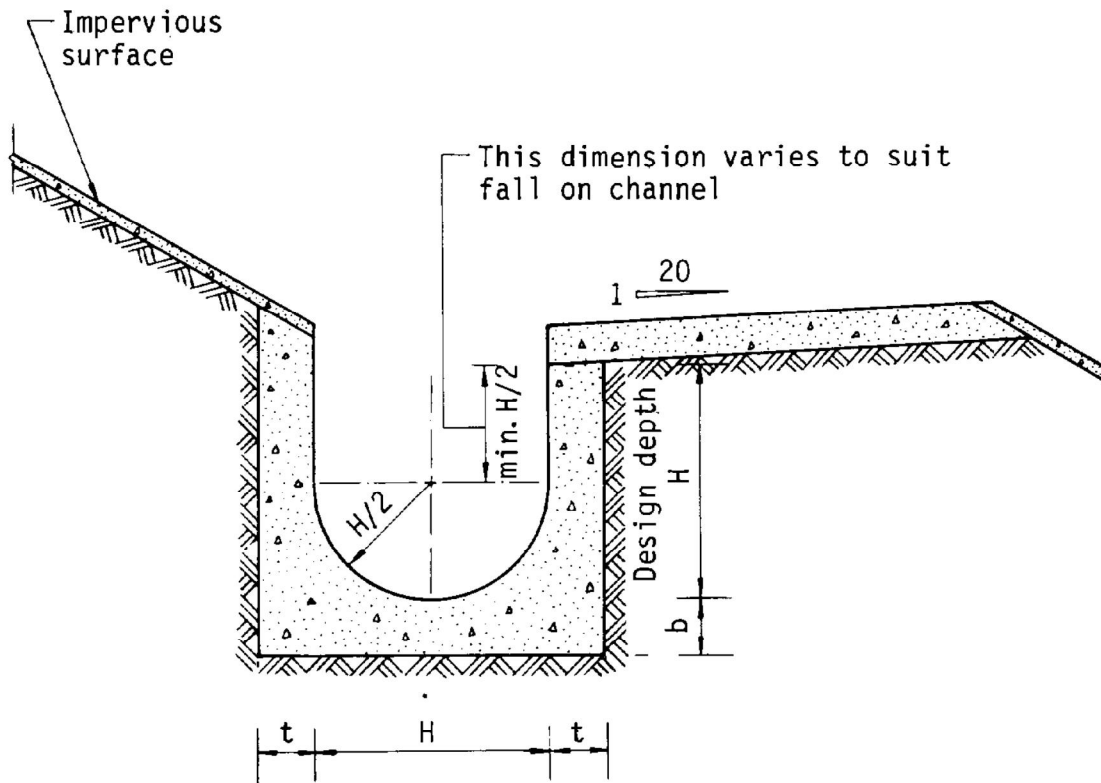
DATE JAN 1991

DRAWING NO.

C2406 /2



Figure 8.10 - Typical Details of Catchpits



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 8,610 m ²	(ABOUT)
COVERED AREA	: 638 m ²	(ABOUT)
UNCOVERED AREA	: 7,972 m ²	(ABOUT)
PLOT RATIO	: 0.07	(ABOUT)
SITE COVERAGE	: 7%	(ABOUT)

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TOTAL GFA	: 638 m ²	(ABOUT)

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NO. OF STOREY	: 1	

PARKING AND LOADING/UNLOADING PROVISIONS



NO. OF PRIVATE CAR	
PARKING SPACE	: 6
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)

NO. OF SPV	
PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 16m (L) X 3.5m (W)

NO. OF LOADING/UNLOADING SPACE FOR CV	: 1
DIMENSION OF L/U/L SPACE	: 16m (L) X 3.5m (W)

SPV - SPECIAL PURPOSE VEHICLE
CV - CONTAINER VEHICLE

FIRE SERVICE INSTALLATIONS

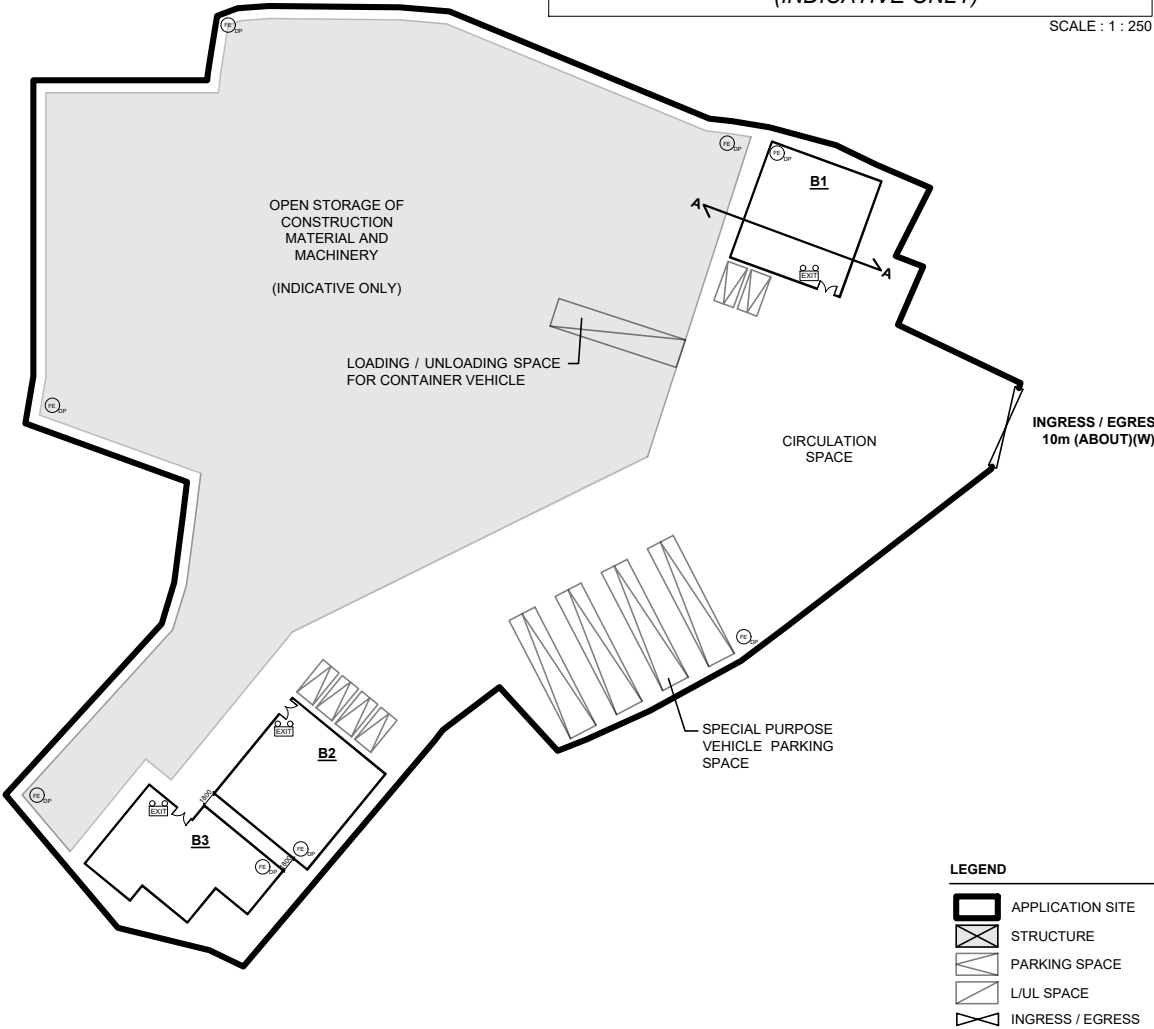
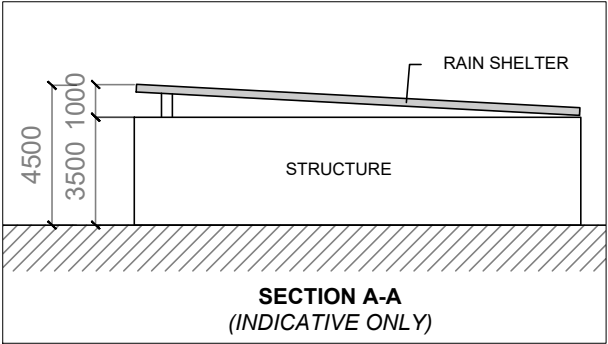
-  3 x EXIT SIGN AND EMERGENCY LIGHT
-  8 x 4 KG DRY POWER TYPE FIRE EXTINGUISHER






FS NOTES:

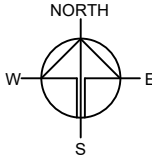
- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266: PART1 AND BS EN1838
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

FIRE COMPARTMENT CALCULATION

STRUCTURE	USE	SQ.M	BUILDING HEIGHT	CU.M
B1	OFFICE, STORAGE OF CONSTRUCTION MATERIAL	210 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)	945 m ³ (ABOUT)
B2	OFFICE, STORAGE OF DOCUMENT	218 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)	981 m ³ (ABOUT)
B3	OFFICE, STORAGE OF DOCUMENT	210 m ² (ABOUT)	4.5 m (ABOUT)(1-STOREY)	945 m ³ (ABOUT)



LEGEND	
	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	L/U/L SPACE
	INGRESS / EGRESS



PLANNING CONSULTANT
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PROJECT
PROPOSED TEMPORARY OPEN STORAGE OF CONSTRUCTION MATERIAL AND MACHINERY WITH ANCILLARY PARKING OF SPECIAL PURPOSE VEHICLE AND OFFICE FOR A PERIOD OF 3 YEARS

SITE LOCATION
VARIOUS LOTS IN D.D. 124, HUNG SHUI KIU, YUEN LONG, NEW TERRITORIES

SCALE 1 : 950 @ A4	
DRAWN BY OL	DATE 05.09.2022
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE FSIs PROPOSAL	
DWG NO. ANNEX II	VER. 001

**Town Planning Board Guidelines for
Application for Open Storage and Port Back-up Uses
(TPB PG-No.13F)**

1. On 27.3.2020, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13F) were promulgated, which set out the following criteria for New Development Areas:
 - (a) The planning for various NDAs (including potential development areas) in the New Territories has been in progress and the land use proposals for some of these areas have been incorporated as appropriate into relevant statutory town plans. The NDAs will be implemented by phases. While it is envisaged that the existing open storage and port back-up uses in these areas will be gradually phased out, sympathetic consideration may be given to applications for continued operation of these uses during the interim period before the sites are required for NDA development.
 - (b) For existing open storage and port back-up uses with previous planning approval(s) and/or permitted under the previous OZPs, sympathetic consideration may be given to the application (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant) until the concerned site is required for implementation of NDA development, provided that the relevant approval conditions, if any, have been complied with. Technical assessments, where appropriate, should be submitted to demonstrate that the continued operation of the current uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas and the concerns of the departments and local residents, if any, can be addressed through the implementation of the approval conditions.
 - (c) In view of the impending implementation of NDAs, new open storage and port back-up uses are generally not encouraged to infiltrate into the NDAs. There is a general presumption against such uses at greenfield areas and/or at sites with land use compatibility issue, e.g. in close proximity to existing residential dwellings which may be subject to environmental nuisances caused by the open storage and port back-up uses. Applications will normally be rejected unless under exceptional circumstances.
 - (d) Any approved temporary use and development should not jeopardize the long-term planned development on the respective site/the surrounding area under the NDA and the applicant should be advised that the site would be required by the government at any time during the planning approval period for implementation of government projects.

Previous S.16 Application covering the Application Site

Rejected Application

Application No.	Uses/Development	Date of Consideration	Rejection Reason
A/YL-HT/732	Temporary Public Vehicle Park (excluding container vehicle) with Ancillary Warehouse (excluding dangerous goods) for a Period of 3 Years	19.8.2011	(1) – (3)

Rejection Reasons

- (1) Not in line with the planning intention of the then "Residential (Group D)" ("R(D)") and "Residential (Group C)" ("R(C)") zones covering the Site at the time of consideration of the application.
- (2) Failed to demonstrate that the adverse environmental impacts of the development on the surrounding residential uses could be addressed.
- (3) Setting of undesirable precedent.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

No adverse comment on the application.

2. Traffic

(a) Comments of the Commissioner for Transport:

No adverse comment on the application from traffic engineering point of view.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department:

No adverse comment on the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from drainage point of view; and
- a condition should be stipulated requiring the applicant to submit a drainage proposal, to implement and maintain the proposed drainage facilities to his satisfaction.

4. Fire Safety

Comments of the Director of Fire Services:

- no in-principle objection to the proposal subject to fire service installations (FSIs) being provided to the satisfaction of his department; and
- in consideration of the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval.

5. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application under the Buildings Ordinance; and
- no building plan submission in relation to the development at the application site (the Site) was approved or under processing.

6. **Long-term Development**

(a) Comments of the Project Manager (West), Civil Engineering and Development Department:

No objection to the application.

(b) Comments of the Director of Leisure and Cultural Services:

- no in-principle objection to the application;
- the Site is not on the priority list for development agreed by the Yuen Long District Council; and
- he has no plan to develop the Site into public open space at present.

7. **Water Supplies**

Comments of the Chief Engineer/Construction, Water Supplies Department:

- no objection to the application; and
- the proposed water mains shown on the **Plan A-2** will intersect the application area. The proposed water mains will be designed and implemented under consultancies and contracts of CEDD's project – Hung Shui Kiu/Ha Tsuen New Development Area.

8. **District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment from departmental point of view; and
- her office has not received any comment from the locals on the application.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) to note that the Site might be resumed at any time during the planning approval period for implementation of government projects;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
- the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - the modification of Tenancy (MOT) with Letter of Approval are listed below:

<u>Lot(s) No(s).</u> <u>(in D.D. 124)</u>	<u>MOT No.</u>	<u>Purposes</u>
1088	M2341, M2342 & M6333	Agricultural & Accommodation
1088	M20069	Agricultural & watchman shed
1089	M10416	Agricultural & Accommodation
1091 RP	M10087	
1104	M7435 & M21204	

- the Modification of Tenancy (MT/LM) with Letter of Approval is listed below:

<u>Lot(s) No(s).</u> <u>(in D.D. 124)</u>	<u>MT/LM No.</u>	<u>Purposes</u>
1085	12669	Agricultural

- the Modification of Tenancy (MOT) is listed below:

<u>Lot(s) No(s).</u> <u>(in D.D. 124)</u>	<u>MT/LM No.</u>	<u>Purposes</u>
1088	M6013	Porch, Joss-stick Factory & Store

- the lot owner(s) should apply to his office for permitting the structures to be erected or to regularize any irregularities on site, if any. Besides, given the proposed use is temporary in nature, only application for regularisation or erection of temporary structure(s) will be considered. Application(s) for any of the above will be considered by LandsD acting in the capacity of the landlord or lessor at its sole discretion and there is no guarantee that such application(s) will be approved. If such application(s) is approved, it will be subject to such terms and conditions, including among others the payment of premium or fee, as may be imposed by LandsD;
- (d) to note the comments of the Commissioner for Transport that:
- sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads;

- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department that:
- adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - the access road connecting the Site with Hung Chi Road / Hung Shui Kiu Main Street is not be maintained by his office. His office should not be responsible for maintaining and any access connecting the Site with Hung Chi Road / Hung Shui Kiu Main Street;
- (f) to note the comments of the Director of Fire Services that:
- good practice guidelines (**Appendix VI** of this RNTPC Paper) for open storage should be adhered to;
 - in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Relevant layout plans incorporated with the proposed FSIs should be submitted to his department for approval;
 - the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy, the location of where the proposed FSIs to be installed should also be clearly marked on the layout plans;
 - if the proposed structure(s) is required to comply with the Buildings Ordinance (Cap. 123 (BO)), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
 - to address the condition on the provision of fire extinguisher(s), the applicant should submit a valid fire certificate (FS 251) to his department for approval;
- (g) to note the comments of the Director of Environmental Protection that the applicant is advised to follow the latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' in order to minimize the possible environmental impacts on the surrounding area; and
- (h) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively. If the Site does not abut on a specified street of not less than 4.5 m wide, its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
 - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under the BO and should not be designated for any proposed use under the captioned application;
 - for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;

- before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBW. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO; and
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R. Detailed checking under the BO will be carried out at building plan submission stage;
- (i) to note the comments of the Project Manager(West), Civil Engineering and Development Department that the Site falls within the boundary of Hung Shui Kiu/Ha Tsuen New Development Area (HSK/HT NDA). To ensure timely and orderly implementation, the development of HSK/HT NDA and relevant site formation and infrastructure works would be implemented in three phases, viz. First Phase development, Second Phase development and Remaining Phase development. The lots concerned fall within the sites under Remaining Phase development of HSK/HT NDA. While the detailed implementation programme for the project is still being formulated, it is envisaged that the site formation and engineering infrastructure works for the Remaining Phase development will commence in 2030. The applicant is required to pay attention to the development programme and liaise with his office if any structures would be erected to ensure that his proposed development would not affect the proposed works under HSK/HT NDA; and
- (j) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD) that:
- existing water mains will be affected. The cost of any necessary diversion shall be borne by the proposed development;
 - in case it is not feasible to divert the affected water mains, a waterworks reserve within 1.5 metres from the center line of the water mains shall be provided to WSD. No structure shall be built or materials stored within this waterworks reserve. Free access shall be made available at all times for staff of the Director of Water Supplies and their contractor to carry out construction, inspection, operation, maintenance and repair works;
 - no trees or shrubs with penetrating roots may be planted within the waterworks reserve or in the vicinity of the water main; and
 - the Government shall not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site.

消防處發出之露天貯存用地良好作業指引
Good Practice Guidelines for Open Storage issued by the Director of Fire Services

		消防車輛 內部通道 Internal Access for Fire Appliances	地段界線 (淨闊度) Lot Boundaries (Clear Width)	貯存物品 地點與 臨時構築物 之間的距離 Distance between Storage Cluster and Temporary Structure	貯存物品 地點的大小 Cluster Size	貯存高度 Storage Height
1.	露天貯存貨櫃 Open Storage of Containers		2 米 2m	4.5 米 4.5m		
2.	露天貯存非易燃物品 或有限數量的易燃物品 Open Storage of Non- Combustibles or Limited Combustibles	4.5 米 4.5m	2 米 2m	4.5 米 4.5m		
3.	露天貯存易燃物品 Open Storage of Combustibles	4.5 米 4.5m	2 米 2m	4.5 米 4.5m	40 米乘 40 米 40m x 40m	3 米 3m

備註：露天貯存用地／回收場內不得吸煙或使用明火。

Remarks: Smoking and naked flame activities shall not be allowed within the open storage/recycling site.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

220805-151131-90673

提交限期

Deadline for submission:

16/08/2022

提交日期及時間

Date and time of submission:

05/08/2022 15:11:31

有關的規劃申請編號

The application no. to which the comment relates:

A/HSK/393

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Lam Ka Hing

意見詳情

Details of the Comment :

反對，郊區設倉庫及工場必會增加附近車輛出入流量，引至附近交通阻塞、環境污染，增加引發火警危機，影響村民安全及生活質數。

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/HSK/393 DD 124 Hung Shiu Kiu GIC / OS

16/08/2022 02:04

From:

To: tpbpd <tpbpd@pland.gov.hk>

File Ref:

A/HSK/393

Lots 1080 (Part), 1083 (Part), 1084 (Part), 1085 (Part), 1087 (Part), 1088 (Part), 1089 (Part), 1090 (Part), 1091 RP (Part), 1104 (Part) and 1109 (Part) in D.D.124, Hung Shui Kiu

Site area: About 8,610sq.m

Zoning : "GIC", "Open Space" and area shown as 'Road'

Applied use: Open Storage of Construction Materials / 11 Vehicle Parking

Dear TPB Members,

The Lots have been included in a number of applications going back more than a decade that have been rejected or withdrawn but the operations have not been terminated.

However is therefore no history of approval for brownfield use so members should reject application in line with current policy to phase out such operations.

Mary Mulvihill