

This document is received on 29 APR 2024
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

STP/HSK
TP/YLW3
TPG/2
SSO/YLL1
STO/YLL2
ADG
30/4

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of
Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated
Areas, or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第S16-I號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件（倘有），送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會（下稱「委員會」）秘書收。
- Please read the “Guidance Notes” carefully before you fill in this form. The document can be downloaded from the Board’s website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張，然後填寫此表格。該份文件可從委員會的網頁下載（網址：<http://www.tpb.gov.hk/>），亦可向委員會秘書處（香港北角渣華道 333 號北角政府合署 15 樓 – 電話：2231 4810 或 2231 4835）及規劃署的規劃資料查詢處（熱線：2231 5000）（香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓）索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載，亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全，委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱	
海願規劃發展公司	(Company 公司)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱（如適用）

3. Application Site 申請地點	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址／地點／丈量約份及地段號碼（如適用）	新界元朗廈村丈量約份第 125 約地段第 1111 號（部份）、第 1112 號餘段（部份）、第 1113 號餘段（部份）、第 1116 號餘段（部份）及第 1117 號 A 分段
(b) Site area and/or gross floor area involved 涉及的地盤面積及／或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1356 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積（倘有） sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	洪水橋及厦村分區計劃大綱核准圖 S/HSK/2
(e) Land use zone(s) involved 涉及的土地用途地帶	「鄉村式發展」
(f) Current use(s) 現時用途	<p>空置</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>
(g) Additional Information (if applicable) 附加資料（如適用）	

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification**就土地擁有人的同意/通知土地擁有人的陳述**

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].

根據土地註冊處截至 (日/月/年) 的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

- (b) The applicant 申請人 –

- ☐ has obtained consent(s) of “current land owner(s)”[#].

已取得 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]

已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)”[&] on _____ (DD/MM/YYYY)
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers[&] on _____ (DD/MM/YYYY)
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises[&] on
10/04/2024 (DD/MM/YYYY)
於 10/04/2024 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee[&] on 24/04/2024 (DD/MM/YYYY)
於 24/04/2024 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	臨時公眾停車場（私家車）及填土工程 (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月

(c) <u>Development Schedule</u> 發展細節表		
Proposed uncovered land area 擬議露天土地面積	1356	sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積		sq.m <input type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目		
Proposed domestic floor area 擬議住用樓面面積		sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積		sq.m <input type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積		sq.m <input type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)		
Proposed number of car parking spaces by types 不同種類停車位的擬議數目		
Private Car Parking Spaces 私家車車位	30	
Motorcycle Parking Spaces 電單車車位		
Light Goods Vehicle Parking Spaces 輕型貨車泊車位		
Medium Goods Vehicle Parking Spaces 中型貨車泊車位		
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		
Others (Please Specify) 其他 (請列明)		
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目		
Taxi Spaces 的士車位		
Coach Spaces 旅遊巴車位		
Light Goods Vehicle Spaces 輕型貨車車位		
Medium Goods Vehicle Spaces 中型貨車車位		
Heavy Goods Vehicle Spaces 重型貨車車位		
Others (Please Specify) 其他 (請列明)		
Proposed operating hours 擬議營運時間 星期一至日及公眾假期，24 小時開放。		
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <u>可經由新錫路到達申請地點</u> <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>

(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)					
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?		Yes 是 <input type="checkbox"/> Please provide details 請提供詳情 No 否 <input checked="" type="checkbox"/>			
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?		<div style="display: flex; justify-content: space-between;"> <div style="width: 10%;">Yes 是</div> <div style="width: 80%; border-left: 1px solid black; padding-left: 10px;"> <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 </div> <input checked="" type="checkbox"/> Filling of land 填土 <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Area of filling 填土面積 545..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Depth of filling 填土厚度 1..... m 米 <input checked="" type="checkbox"/> About 約 </div> <input type="checkbox"/> Excavation of land 挖土 <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 </div> </div> <div style="width: 10%;">No 否</div> </div> <input type="checkbox"/>			
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？		<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明) _____ </div> <div style="width: 20%;"> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> </div> <div style="width: 20%;"> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input checked="" type="checkbox"/> No 不會 <input type="checkbox"/> </div> </div>			

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ /
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	

<p>(e) Approval conditions 附帶條件</p>	<div> <input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 </div> <div> <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 </div> <div> <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ </div> <div> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>_____</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p> </div>
<p>(f) Renewal period sought 要求的續期期間</p>	<div> <input type="checkbox"/> year(s) 年 </div> <div> <input type="checkbox"/> month(s) 個月 </div>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

可參閱附頁申請理由

8. Declaration 聲明 (Applicant 申請人 #1)

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

Signed with recognised
e-signature
Signer: HUI HANG YU

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

文員

Name
姓名

Position (if applicable)
職位 (如適用)

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員
專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會 /

☐ RPP 註冊專業規劃師

Others 其他

On behalf of 代表

海願規劃發展公司

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：
 - the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
 - facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。
- The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。
- An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese <u>as far as possible</u> . This part will also be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	新界元朗廈村丈量約份第 125 約地段第 1111 號（部份）、第 1112 號餘段（部份）、第 1113 號餘段（部份）、第 1116 號餘段（部份）及第 1117 號 A 分段		
Site area 地盤面積	1356 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)		
Plan 圖則	洪水橋及廈村分區計劃大綱核准圖 S/HSK/2		
Zoning 地帶	「鄉村式發展」		
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途／發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途／發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 <input type="checkbox"/> Month(s) 月		
Applied use/ development 申請用途／發展	臨時公眾停車場（私家車）及填土工程		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不 多於

(ii) No. of blocks 幢數	Domestic 住用	
	Non-domestic 非住用	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
	Non-domestic 非住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)
(iv) Site coverage 上蓋面積		% <input type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 <u>30</u> Private Car Parking Spaces 私家車車位 <u>30</u> Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 _____ Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____	

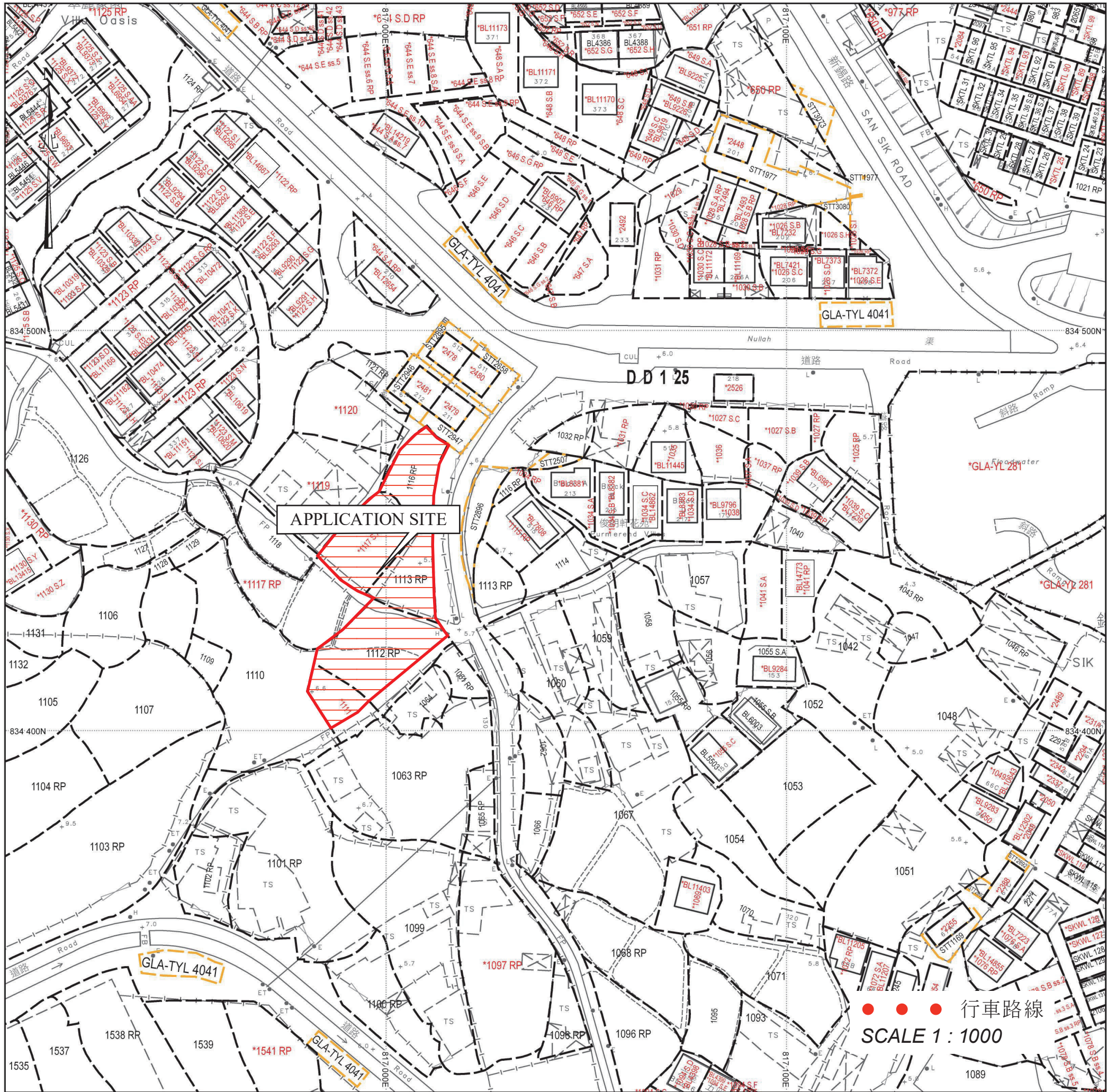
Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
場地大綱圖、場地位置圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Air Ventilation Assessment 空氣流通評估	<input type="checkbox"/>	<input type="checkbox"/>
Management Plan 管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Social Impact Assessment 社會影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Heritage Impact Assessment	<input type="checkbox"/>	<input type="checkbox"/>
Ecological Impact Assessment 生態影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Conservation Management Plan 保育管理計劃	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）		
	<input type="checkbox"/>	<input type="checkbox"/>

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

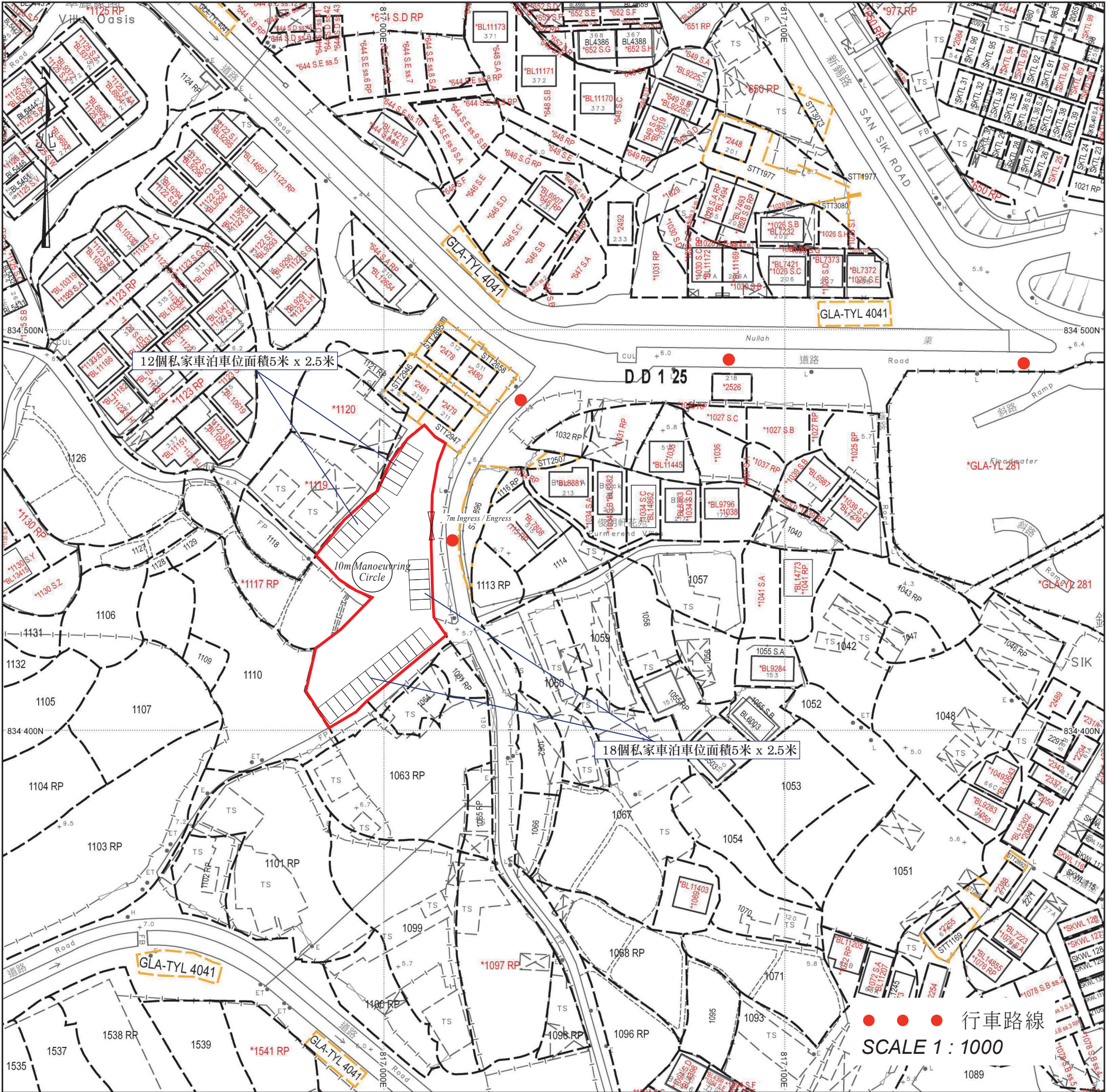
場地大綱圖

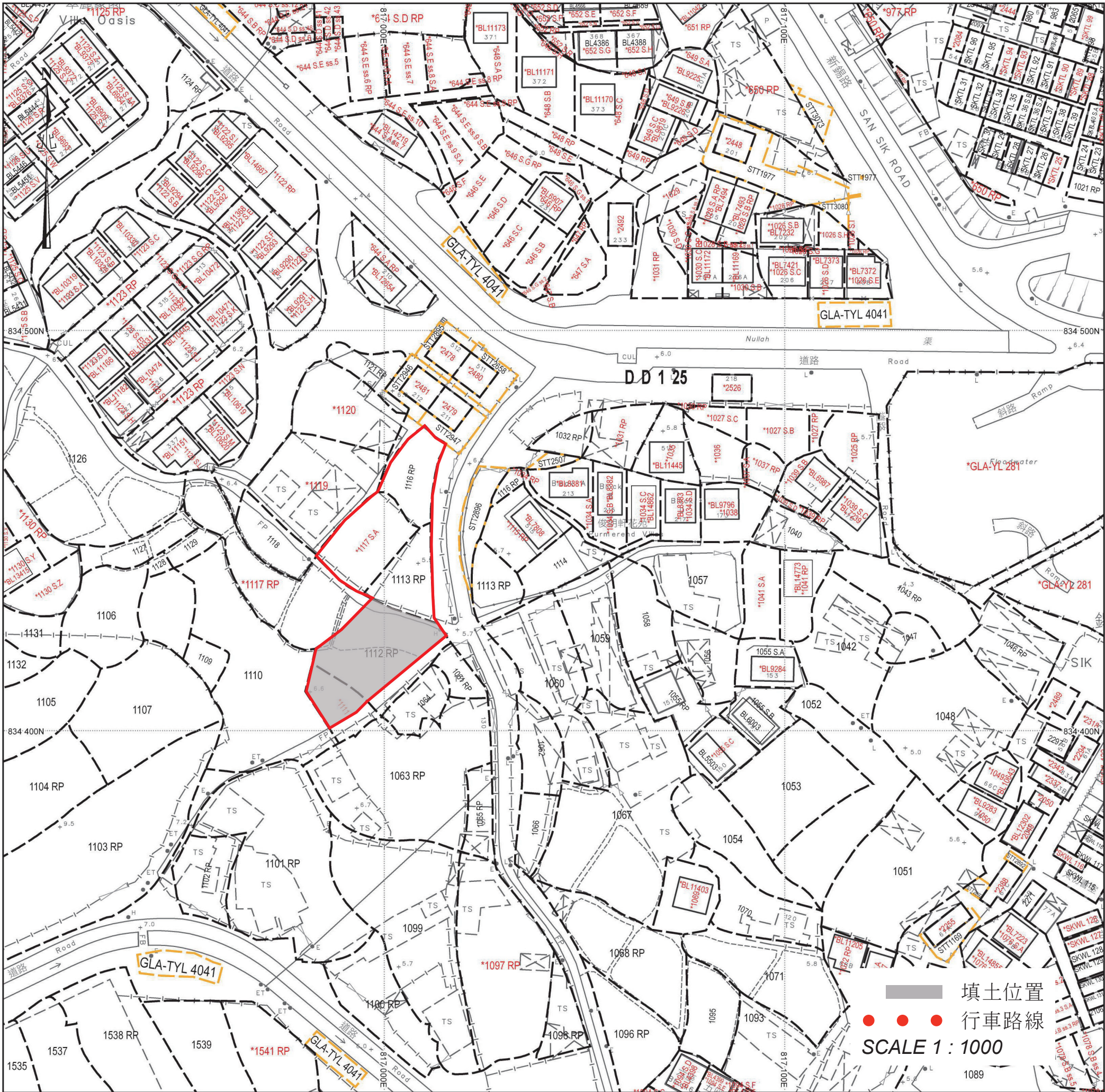




場地位置圖

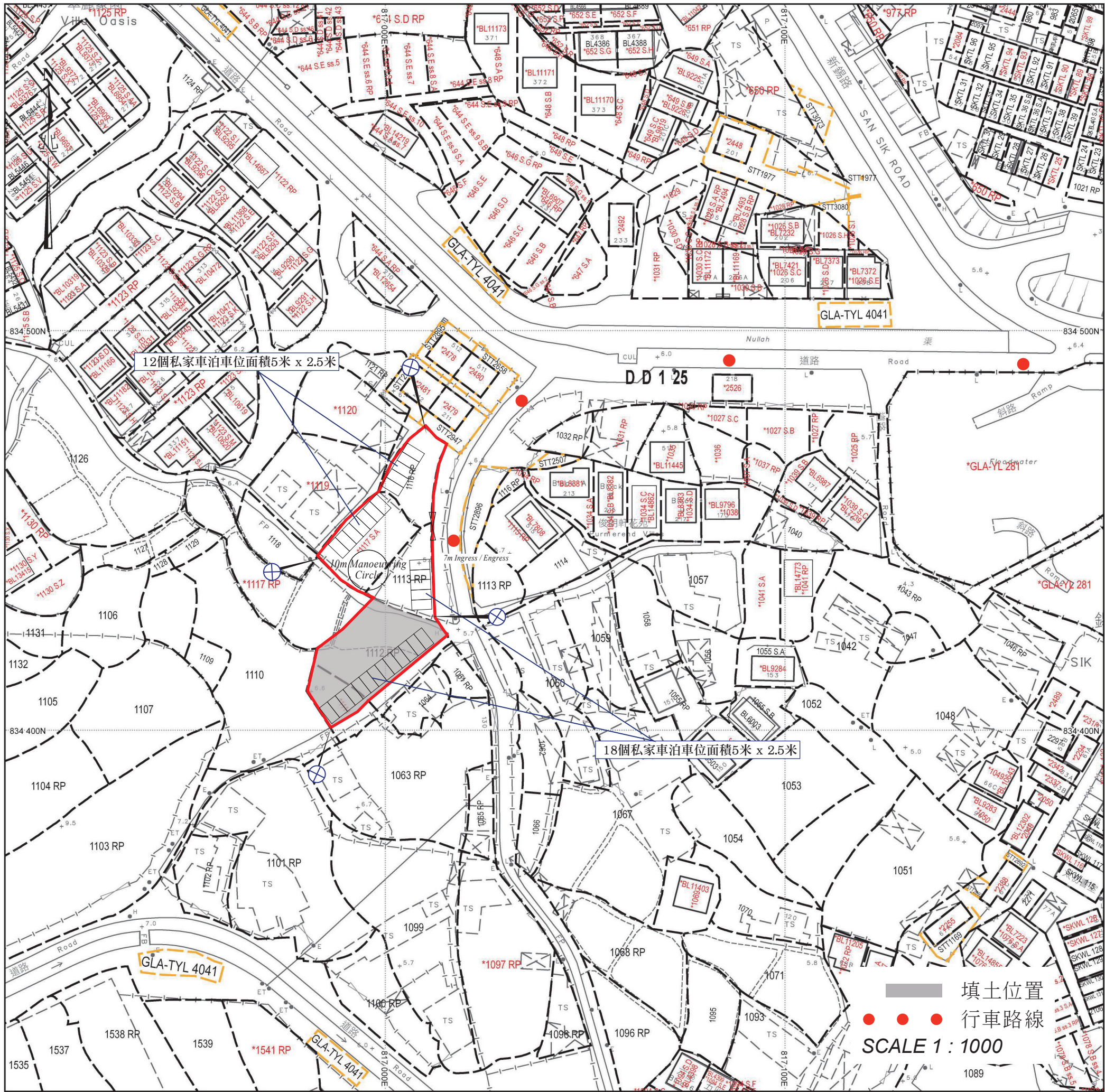
場地設計圖





填土位置圖

填土面積：約545平方米
厚度：約1米



消防裝置建議計劃圖

⊗ 四公斤乾粉滅火筒

共安裝四支四公斤乾粉滅火筒，位置分別於場地四周及構築物附近，每隔約40米安裝一支四公斤乾粉滅火筒。場地共有一個構築物，純粹作更享用途，高約3米，樓高一層，佔面積約8平方米，樓面面積約8平方米。申請場地面積約1356平方米，只作臨時公眾停車場（貨櫃車除外）用途。基於以上條件，申請人建議在申請範圍內安裝四支四公斤乾粉滅火筒。

Left hand drop kerb
Type K5
(Right Hand - K9)

Left hand drop kerb
Type K6
(Right Hand - K8)

Centre drop kerb
Type K7

K1 K5 K6 K7 K7 K8 K9 K1

Centre drop kerb
Type K7

Former Drg. No. H1015/2 with general revision		June 9
REF.	REVISION	SIGNATURE DATE

HIGHWAYS DEPARTMENT

REFERENCE	DRAWING No.	CAD
SCALE 1" = 10'	H 1119	

[illegible]

申請理由

申請地點位於新界元朗廈村丈量約份第 125 約地段第1111號（部份）、第1112號餘段（部份）、第1113號餘段（部份）、第1116號餘段（部份）及第1117號A分段，面積約 1356 平方米，由海願規劃發展公司提出申請作為期三年的擬議臨時公眾停車場（私家車）及填土用途。申請地點位於洪水橋及廈村分區計劃大綱圖（S/HSK/2）的「鄉村式發展」地帶內，共涉及五幅私人土地，不涉及政府土地。申請地點地型不規則，地勢平坦，總面積約 1356 平方米。

申請人希望為廈村住戶如祥降圍及錫降圍等居民提供合法停車位，以方便出入。申請地點全年二十四小時開放，其屬必須的生活配套設施，提供泊車位以利村民，選址方面亦不可能太遠離民居，提供了快捷、安全及方便的好處。居民只需步行約 5 分鐘路程便可到達，是理想而難得的合適地點。另外，申請地點位處鄉郊，外人不容易知道，亦不可能吸引區外的車輛使用，也不會增加現有道路的既有車輛流量。臨時公眾停車場的出現，能有秩序及集中地安置居民車輛，改善胡亂泊車情況，加強道路安全保障。

按規劃署記錄，在申請地點的同一「鄉村式發展」地帶內，申請地點四周有類似申請獲通過。以下為獲通過之案件：

- 檔案編號：A/HSK/359，臨時公眾停車場（貨櫃車除外）（為期 3 年）及填土工程，於01/06/2022在有條件下批給臨時性質的許可。
- 檔案編號：A/HSK/449，臨時公眾停車場（私家車），於09/06/2023在有條件下批給臨時性質的許可。
- 檔案編號：A/HSK/408，臨時公眾停車場(只限私家車)(為期3年)，於28/10/2022在有條件下批給臨時性質的許可。
- 檔案編號：A/HSK/324，臨時公眾停車場(私家車)(為期 3 年)，於27/08/2021在有條件下批給臨時性質的許可。

臨時公眾停車場除了可改善交通問題，由於有專人管理，亦可加強汽車安全保障，相對地降低車輛被偷竊的機會。新界區偷竊車輛的情況一向嚴重，倘申請獲接納，由於有專人管理，可增強汽車保安條件，對廈村居民的財產會有更大的保障。居民亦樂意見到一個管理完善且安全的停車場出現。

此申請作臨時公眾停車場（私家車）及填土用途，服務的對象主要是申請地點上毗連的祥降圍、錫降圍及錫降村的住戶。場地的私家車泊車位共 30 個，每個面積 5 米 x 2.5 米，供私家車停泊。

申請地點開放時間為：星期一至日，每天 24 小時，公眾假期照常開放。申請地點若取得許可，在規劃許可有效期內的任何時間，只有《道路交通條例》所界定的車輛，才可在申請地點停泊或進出申請地點。申請人會以月租形式出租車位予申請地點附近居民，所有使用臨時公眾停車場的車輛駕次都在預期之內。

按日常汽車使用情況，臨時公眾停車場的繁忙時間，會在早晚的上下班時間，其他時間只會有極少量的汽車使用。總括而言，車輛流量極為穩定。除標題發展所涉及的交通活動外，不會有其他運輸工作。以下是申請地點的交通流量預算，詳細如下：

申請地點的車輛流量預算			
	星期一至日		
	私家車		
	入	出	每小時車輛出入次數
00:00 - 01:00	0	0	0
01:00 - 02:00	0	0	0
02:00 - 03:00	0	0	0
03:00 - 04:00	0	0	0
04:00 - 05:00	0	0	0
05:00 - 06:00	0	2	2
06:00 - 07:00	0	6	6
07:00 - 08:00	0	8	8
08:00 - 09:00	0	8	8
09:00 - 10:00	0	6	6
10:00 - 11:00	0	0	0
11:00 - 12:00	3	0	3
12:00 - 13:00	4	0	4
13:00 - 14:00	0	2	2
14:00 - 15:00	0	2	2
15:00 - 16:00	0	0	0
16:00 - 17:00	0	0	0

17:00 - 18:00	2	0	2
18:00 - 19:00	8	0	8
19:00 - 20:00	8	0	8
20:00 - 21:00	6	0	6
21:00 - 22:00	2	0	2
22:00 - 23:00	1	0	1
23:00 - 24:00	0	0	0
申請地點尚未發展，以上數字為預算車輛進出場地記錄， 假設當天附近地區沒有交通事故，進出場地車輛數量正常。			

申請地點出入口設於申請地點東北邊，位置寬敞明確，闊度約 7 米，可供如消防車之類的緊急車輛進入。申請地點會透過行車通道連接新錫路，經由新錫路接通新界道路網。新錫路為一條雙程路，路面闊約 6 米。行車通道為一條現有村路，闊度不少於 6 米，行車通道即由出入口連接新錫路的距離。行車通道大部份路面已平整為混凝土地面，當中有一個明顯彎位，可供駕駛者安全使用。行車通道屬公眾通道，已使用多年。

申請地點內有直徑 10 米的車輛迴旋圈，有足夠空間供車輛轉動，在良好的管理下，任何時間均不會有車輛在公共道路排隊等候，或以倒車方式進出公共道路，不會對週邊地區的交通構成不良影響。為了加強此申請的安全性，申請人會在進入申請地點的路口豎立限制車速路牌，以提高道路使用者的警覺。

行車通道實況照片



新錫路實況照片



申請地點中有部分位置需要進行填土即設計圖中灰色陰影地帶，由於其地段每逢下大雨便會出現水浸情況，水浸的嚴重程度高至膝蓋，對村民而言影響十分大，申請人望藉此機會進行填土以改善村民的生活質素。填土位置面積約545平方米，填土厚度約1米。（可參閱：場地設計圖）

申請地點會委託專業管理公司負責管理，按時派員工收集和清理垃圾，噴灑防蚊藥水，確保環境衛生及美觀。相信申請地點發展後，亦能繼續與社區保持和諧。在完善管理下，亦可避免土地荒廢或被人胡亂傾倒泥頭或廢物，減少細菌及蚊蟲滋生的可能。對規劃及地方環境均帶有好處及產生正面作用。

申請地點發展性質，形式及佈局與週邊環境協調，不會影響附近環境風貌。申請地點內不會存放易燃物品、不存在任何永久建築、不許標題以外的車輛使用、不會設立工場，不會進行傾銷、維修、噴油、清洗、拆卸及汽車清潔等可能造成污染的工作。發展項目不含有害廢料或污染物，不會發出氣味，對生態及環境不會帶來任何負面影響。

此申請能有意義及靈活地善用地點資源，善用鄉郊土地。申請人無意永遠作標題的發展，假使政府就現實需要，在申請地點或附近設立大型停車場，擬議發展便會自然地消失。甚或申請地點有其他更有利於鄉事的發展，此申請亦不會存在。

申請人承諾會以友善的態度，積極與各政府部門溝通，遵從各方面守則並努力進行多樣紓緩環境影響工程，務求令場地獲得發展後仍不會對周圍環境帶來顯著影響。此申請只屬過渡性質，發展項目簡單，容易還原，與未來規劃方向沒有抵觸。城規會可在規劃許可加入適當的附帶條件和指引性質條款，盡量減少擬議發展對環境可能造成的影響。敬希城規會能接受這份合乎情理的申請，並予以批准。

Moon Leong KOK/PLAND

寄件者: [REDACTED]
寄件日期: 2024年05月02日星期四 17:40
收件者: tpbpd/PLAND
副本: Moon Leong KOK/PLAND
主旨: A/HSK/519補充資料
附件: DRD Report.pdf
類別: Internet Email

敬啟者

此電郵取代 16:46、16:49 發出的電郵。

就上述檔案，現提交補充資料。

有關道路方面，DD125 LOT1113RP 與 1112RP 之間的道路是一條行人路，申請人及有關用戶從未圍封道路，亦沒有車輛停泊及通過此行人路，是絕對可供行人自由出入。申請人承諾現在及將來亦不會建設圍欄，亦不會有車輛停泊及通過有關通道，以阻礙居民出入。

填土方面，填土面積約 545 平方米，厚度約 1 米，填土物料為混凝土。

有關附件為渠務建議計劃。

**Proposed Temporary Public Vehicle Park
(Excluding Container Vehicle)
For a Period of 3 Years at Part of
Lot Nos. 1111, 1112 RP, 1113 RP, 1116 RP and 1117S.A.
In D.D.125, Yuen Long**

**Drainage Impact Assessment on
Proposed Surface Drainage Outflow
(Rev. A)**

TABLE OF CONTENTS

	<u>Pages</u>
1. INTRODUCTION	3
2. REVIEW OF THE CATMENT AREA AND RUNOFF	4
3. ASSESSMENT OF DRAINAGE CAPACITY	8

LIST OF APPENDICES

- A Proposed Drainage Details for the Application Site
- B Checking of Existing U-channel Capacity with Enlarged Runoff

1. INTRODUCTION

Application for the proposed temporary public vehicle park (excluding container vehicle) has been submitted to DLO, for a period of 3 years at part of Lots 1111, 1112 RP, 1113 RP, 1116RP and 1117 S.A. in DD125. The extent for the application is given in Figure 1 in **Appendix A**.

In response to DSD's comment, this report is prepared to

- (a) Identify the existing channel/gully and provide site record photos.
- (b) Demonstrate with hydraulic calculation that the proposed and existing drainage facilities are adequate to collect, convey and discharge the surface runoff.

2. REVIEW OF THE CATCHMENT AREA AND EXISTING RUNOFF

2.1 Existing Surface Drainage

According to the latest proposal, the surface runoff of the proposed site will be intercepted and discharge to the nearby DSD 600UC to the southeast of the area, and the 600UC discharge to a nullah via a 600 mm diameter concrete pipe. Based on the field survey, the 600UC has a gradient greater than **1 in 150**.

The existing record plates are given as the following plates, and the location of photo taken is presented in Figure A.

Figure A – Location of Photos

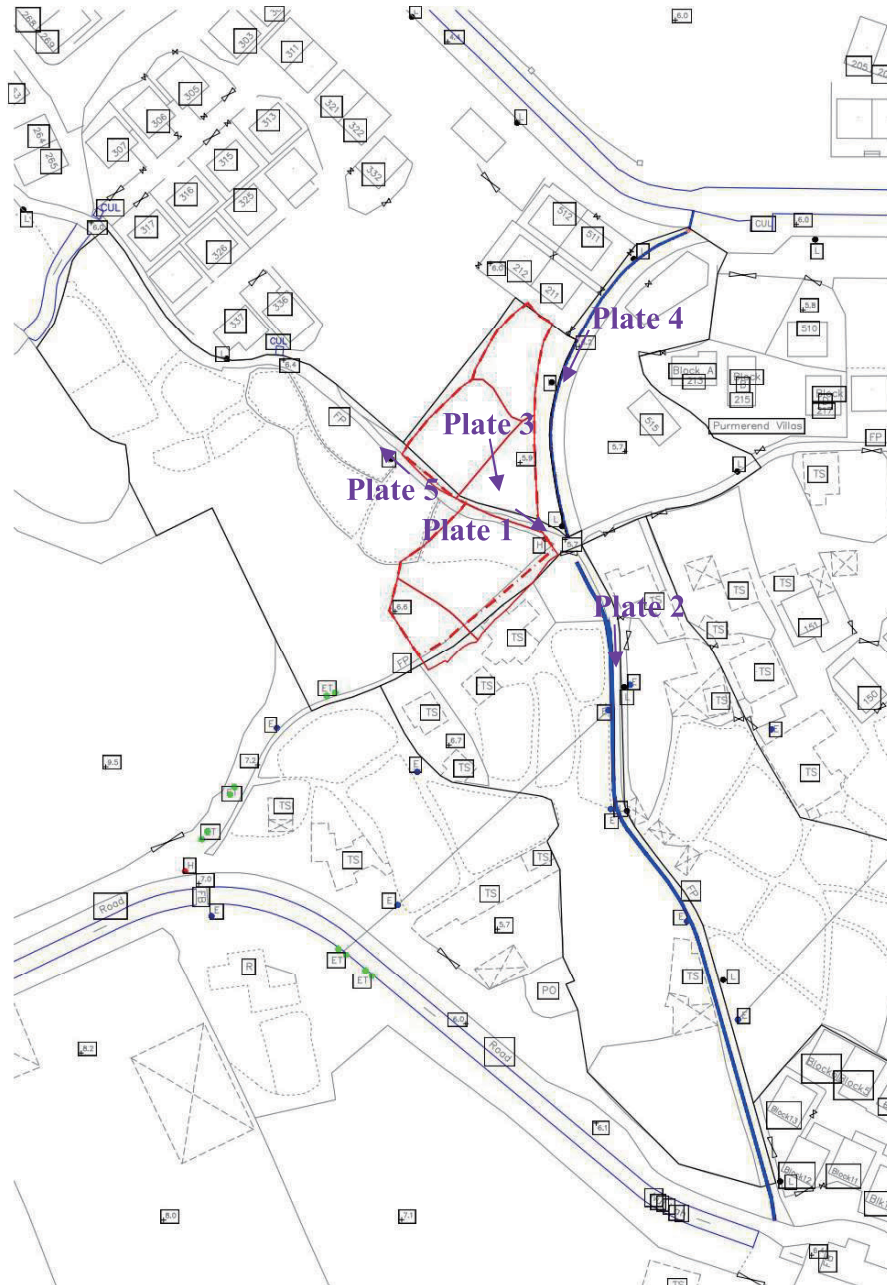


Plate 1 – The inlets of the existing 600UC



Plate 2 – General view of the 600UC



Plate 3 – General view of the catchment to the west of application site



Plate 4 – General view of the catchment to the east of application site



Plate 5 – Irregular channel across the site and catchment looking north



2.2 Existing Catchment Collected by the Drainage Provision

The catchment collected by the terminal 600 UC maintained by DSD is as shown in the plan (scale 1 in 1000) in **Appendix B**.

According to the proposal, the existing 600 UC will collect more runoff from the northern side of the application site and increased runoff from paved surface for the whole application site.

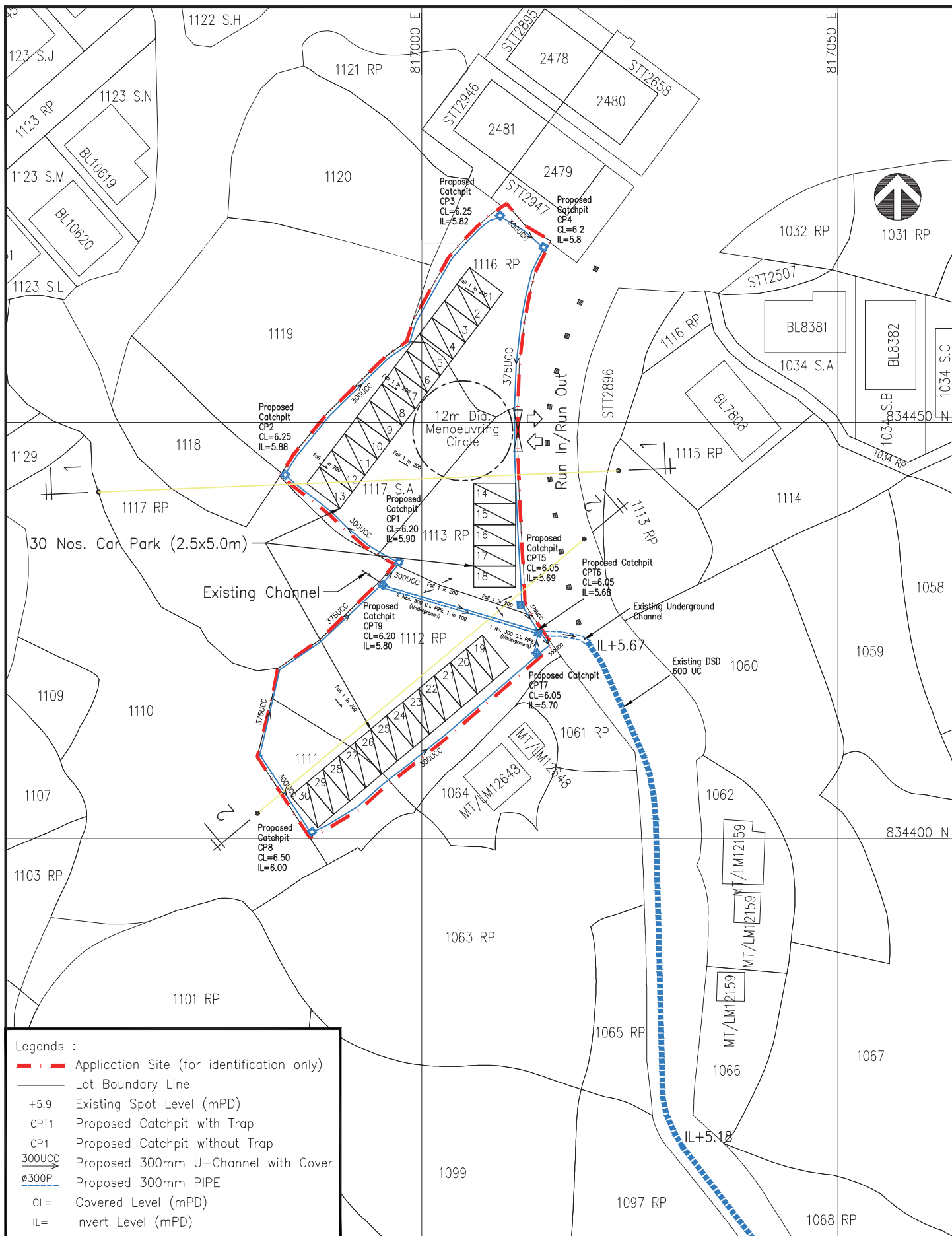
3. ASSESSMENT OF DRAINAGE CAPACITY

The runoff of 1 in 200 year return period rainstorm is calculated using rational method according to the TGN30 and latest Stormwater Drainage Manual, 2018

The design checking of the open-channel flow capacity of the existing 600UC, and the proposed drainage works are checked against the design runoff in **Appendix B**.

In summary, the flow collected by the 600UC and the pipe is less than the design capacity. The capacity of the new constructed 375 UC and 300UC within the application is adequate.

Appendix A -



Project :
 Temporary Public Vehicle Park (excluding Container Vehicle) for a Period of 3 Years will Filling of Land IN "Village Type Development" Zone, Lot Nos. 1111 (Part), 1112 (Part), 1113 RP (Part), 1116 RP (Part) and 1117 S.A in D.D.125, Ha Tseun, Yuen Long.

Consultant :

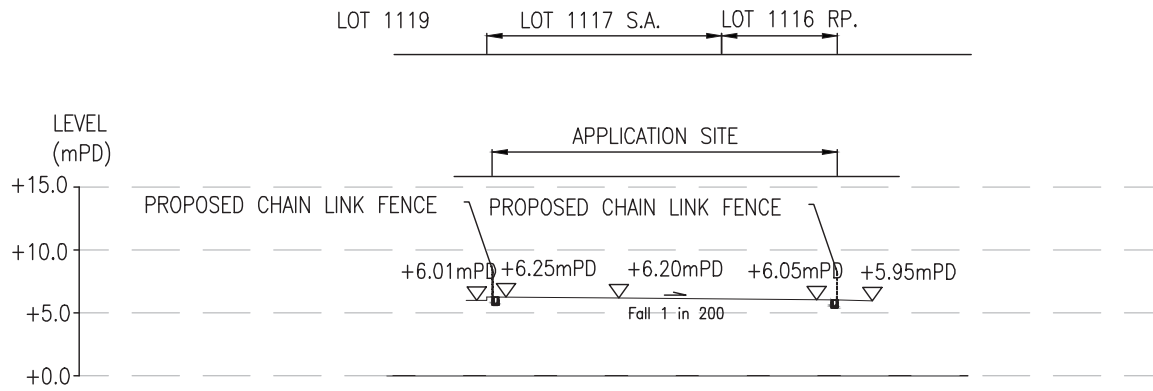
MC
 Consultants And Construction Limited

Drawing Title : Drainage Layout Plan

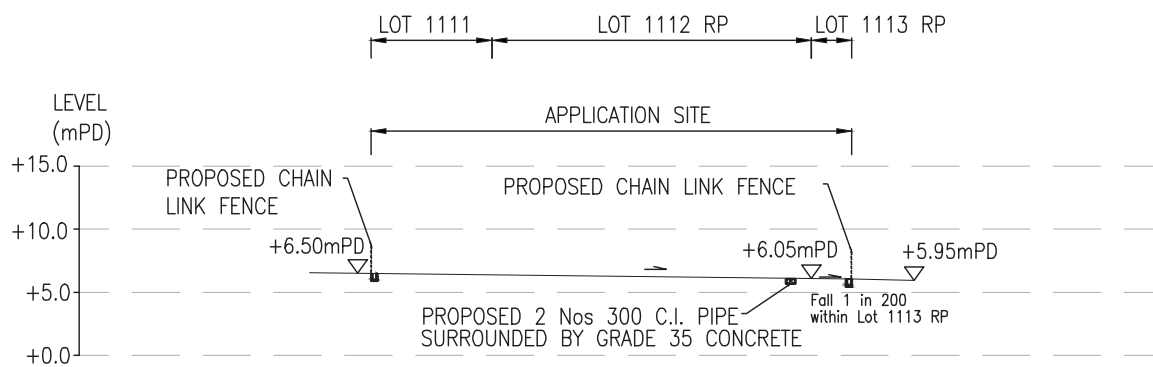
Drawing No. Figure 1

Date : Nov. 2023

Scale : 1:600



SECTION 1-1



SECTION 2-2

Project :
Proposed Temporary Hardware Processing Workshop with Ancillary Office for a Period of 3 Years in "Other Specified Uses" annotated "Enterprise and Technology Park" Zone and area shown as 'Road', Lot Nos. 1373 (Part), 1375 (Part), 1376 (Part), 1377 (Part) and 1378 (Part) in D.D.124, Ha Tseun, Yuen Long.

Consultant :

MC • • • • •
Consultants And Construction Limited

Drawing Title : Sections

Drawing No. Figure 2

Date : NOV. 2023

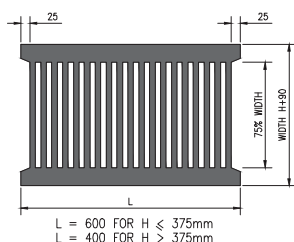
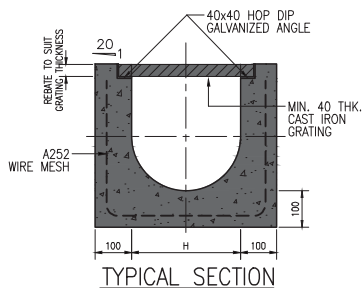
Scale : 1:600

NOTES FOR CATCHPIT

1. ALL CONCRETE SHALL BE GRADE C35 AND COMPLY WITH CS1:2010.
2. MINIMUM CONCRETE COVER SHALL BE 40mm.
3. ALL REINFORCEMENT (GRADE 500B) TO BE HIGH TENSILE DEFORMED BAR.
ALL REINFORCEMENT SHALL COMPLY WITH CS2:2012.
ALL WIRE MESH SHALL BE GRADE 500B STEEL COMPLY WITH CS2:2012.
4. RUN OFF FROM THIS SITE SHALL BE PROPERLY TREATED AND CONVEYED TO THE PUBLIC DRAIN VIA CATCHPIT DURING THE SITE FORMATION WORKS.

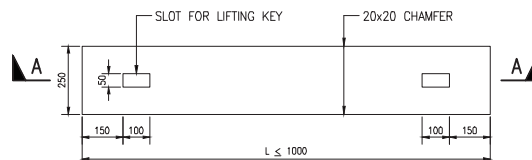
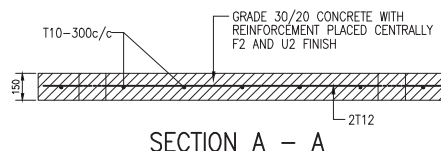
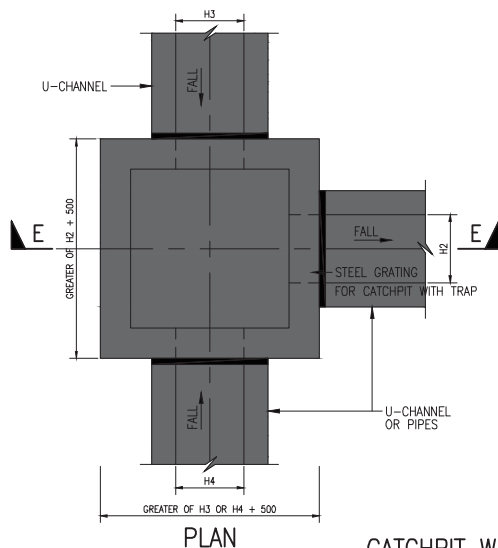
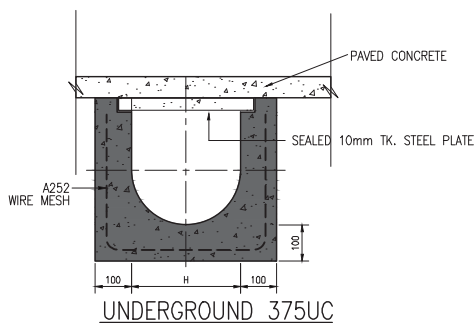
NOTES FOR U-CHANNEL

1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. FOR DIMENSIONS OF CHANNEL SEE TABLE.
- | NOMINAL SIZE H | T | B | REINFORCEMENT |
|----------------|----|-----|----------------------------|
| 225-375 | 80 | 100 | A252 MESH PLACED CENTRALLY |
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
 4. EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 10 METRES.
 5. X=20 UNLESS OTHERWISE SPECIFIED.
 6. ALL CONCRETE SHALL BE GRADE C35.
 7. ALL 300UC SHALL BE AT LEAST 1 IN 200
ALL 375UC SHALL BE AT LEAST 1 IN 100



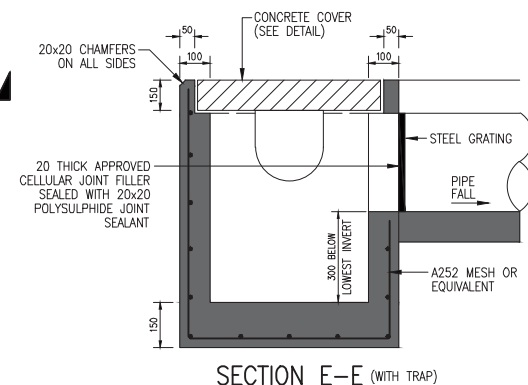
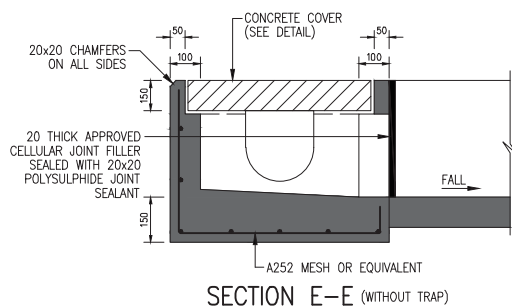
CAST IRON GRATING U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)
(DIMENSIONS ARE FOR GUIDANCE ONLY,
CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)



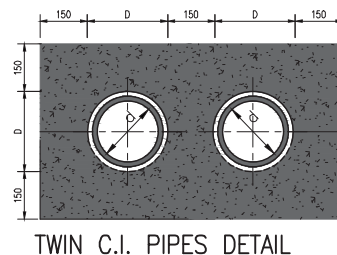
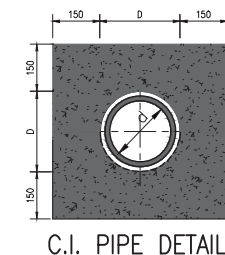
PLAN OF PRECAST CONCRETE COVER FOR CATCHPIT/SAND TRAP TYPE 1 - FOR SPAN UP TO 1.0m

N.T.S.



NOTES FOR UNDERGROUND C.I. PIPE

1. CONCRETE SURROUND OF GRADE 35 CONCRETE SHALL BE PROVIDED FOR UNDERGROUND C.I. PIPE.
2. C.I. PIPE SHOULD FOLLOW BS 437:2008



Project :
Temporary Public Vehicle Park (excluding Container Vehicle) for a Period of 3 Years will Filling of Land IN "Village Type Development" Zone, Lot Nos. 1111 (Part), 1112 (Part), 1113 RP (Part), 1116 RP (Part) and 1117 S.A in D.D.125, Ha Tseun, Yuen Long.

Consultant :

MC
Consultants And Construction Limited

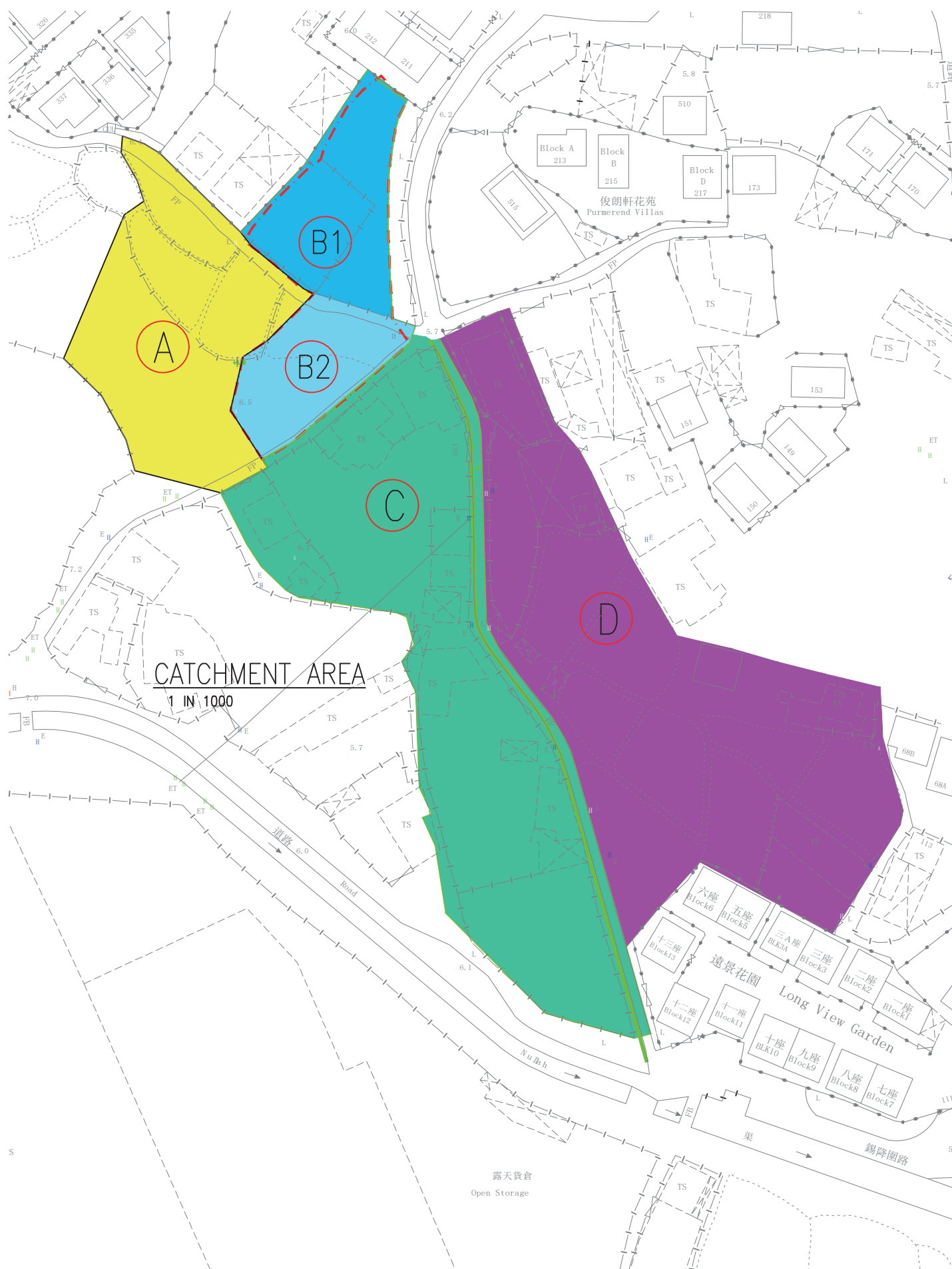
Drawing Title : Typical Details

Drawing No. Figure 3

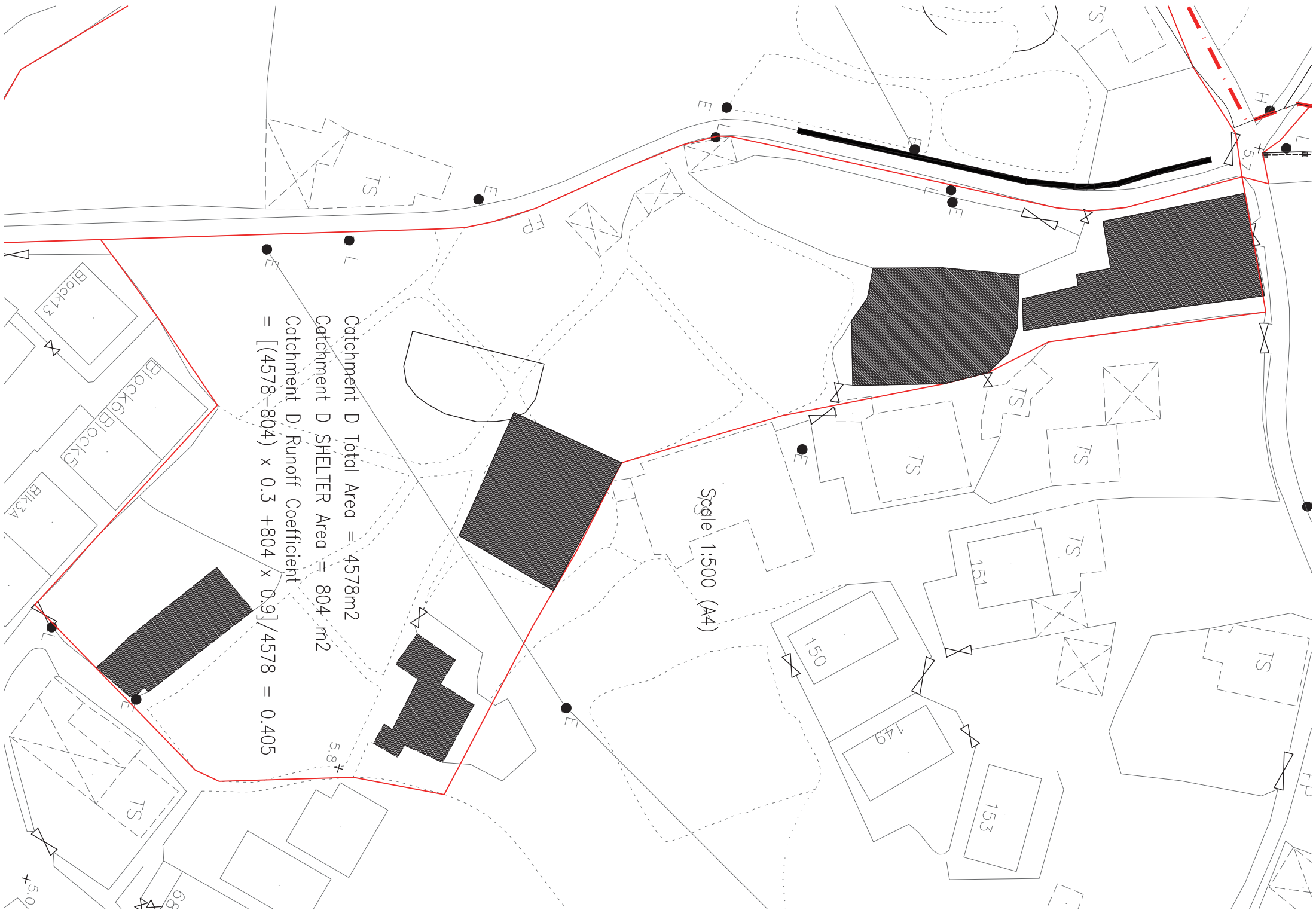
Date : Nov. 2023

Scale : N.T.S.

Appendix B







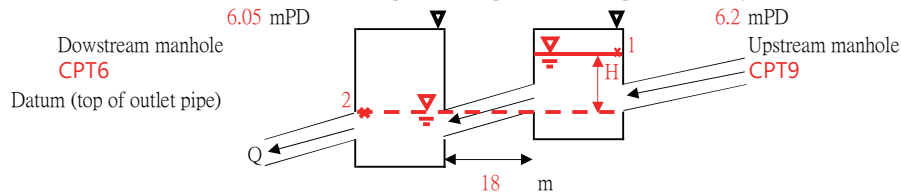
Calculation of U-channel capacity with Catchment Area

Catchment ID	Area (m2)	Run-off Coefficient	Longest Flow Path L (m)	Highest Catchment Level (mPD)	Outlet Level (mPD)	δh (m)	Drop in 100m H m per 100m	Time of Entry t_e (min)	U-channel Length w (m)	Assumed Velocity v (m/sec)	Time of Flow t_f (min)	Time of Concentration T_c (min)	x113.8%		Peak Runoff Q (litre/min)	Highest U-channel End (mPD)	Gradient (1 in)
													Rainfall Intensity (TGN 30) (mm/hr)				
A	1817	0.3	48	9.7	5.7	4	8.33	2.145	30	2	0.250	2.395	457		4152	-	-
B (B1+B2)	1475	0.9	49	6.5	6.1	0.4	0.82	3.558	50	2	0.417	3.975	433		9580	-	-
C	4195	0.6	51	6.7	6	0.7	1.37	3.007	151	2	1.258	4.265	427		17913	-	-
D	4578	0.405	76	6.1	6	0.1	0.13	7.099	151	2	1.258	8.358	362		11186	-	-

Collect Area	Total Peak Run-off (litre/min)	Provided Channel/pipe	Channel Capacity in Chart (litre/min)	Velocity		Remarks
Catchment 1 A+B+C+D	42831	600UC (1 in 150)	46000	2.35m/sec	OK	
Catchment 2 A+B	13732	300 Dia. Pipe (1 in 100)	N/a	1.613	OK	Separated calculating pipe capacity refers.
Catchment 3 0.5xB	4790	300UC (1 in 200)	4900	1.3m/sec	OK	
Catchment 4 B(=B1+B2)	9580	375UC (1 in 200)	10000	1.3m/sec	OK	

Checking 300 mm Pipe Capacity

Assume the water level of downstream manhole is equal to the top of the sewer upstream. The system is illustrated as below:-



Ground level (upstream):	6.2 mPD	Downstream invert lev:	5.7 mPD	
Pipe Dia.:	300 mm	Datum lev.:	6 mPD	
Cross-section area:	0.0706858 m ²	Design flow rate:	0.114 m ³ /s	= (13732 litres/min)/60/1000/2
Length of pipe:	18 m	FOS against overflow:	1	
		Factored flow rate:	0.114 m ³ /s	
		Mean velocity of flow:	1.613 m/s	

Water Level in Downstream Manhole = 5.70 mPD

Head loss Calculation

Hydraulic dia of pipe (Dh):	0.3 m	Reynold's Number, Re: VD/v:	483900
Kinematic viscosity of sewage(v):	1.00E-06 m ² /s	Roughness (ε):	0.00015 m
Mean velocity of flow(V):	1.613 m/s		

By Colebrook White Equation

$$\frac{1}{\sqrt{f}} = -2 \log \left(\frac{\epsilon}{3.7 D_h} + \frac{2.51}{Re \sqrt{f}} \right)$$

by try and error method:

Let

$$\frac{1}{\sqrt{f}} = 7.518241$$

$$-2 \log \left(\frac{\epsilon}{3.7 D_h} + \frac{2.51}{Re \sqrt{f}} \right) = 7.518241$$

Therefore:

$$\frac{1}{\sqrt{f}} = 7.518241$$

and Darcy friction coefficient, f= 0.017692

Assume entrance loss coefficient

Entrance loss (kent): 0.02652 m

Exist Loss (kexit): 0.05304 m

By Darcy-werebach equation, total head loss (hfo)=

$$(fL/Dh) * v^2 / 2g + kent + kexit = 0.22$$

Total head at each point:

Pressure head at point 1 (P1): 0 m Pressure head at point 1 (P2): 0 m

Velocity head at point 1 (V1): 0 m Velocity head at point 1 (V2): 0 m

Elevation head at point 1 (Z1): H m Elevation head at point 1 (Z2): -0.30 m

By Bernoulli equation includes head loss:

$$(P_1/\rho g + V_1/2g + Z_1) - (P_2/\rho g + V_2/2g + Z_2) = h_{fo}$$

$$(0+0+H)-(0+0+0.3) = 0.22 \text{ m}$$

$$H = -0.08 \text{ m} \quad (5.92 \text{ mPD})$$

Water Top Level at Upstream Manhole = 5.92 mPD

Freeboard = 0.28 m

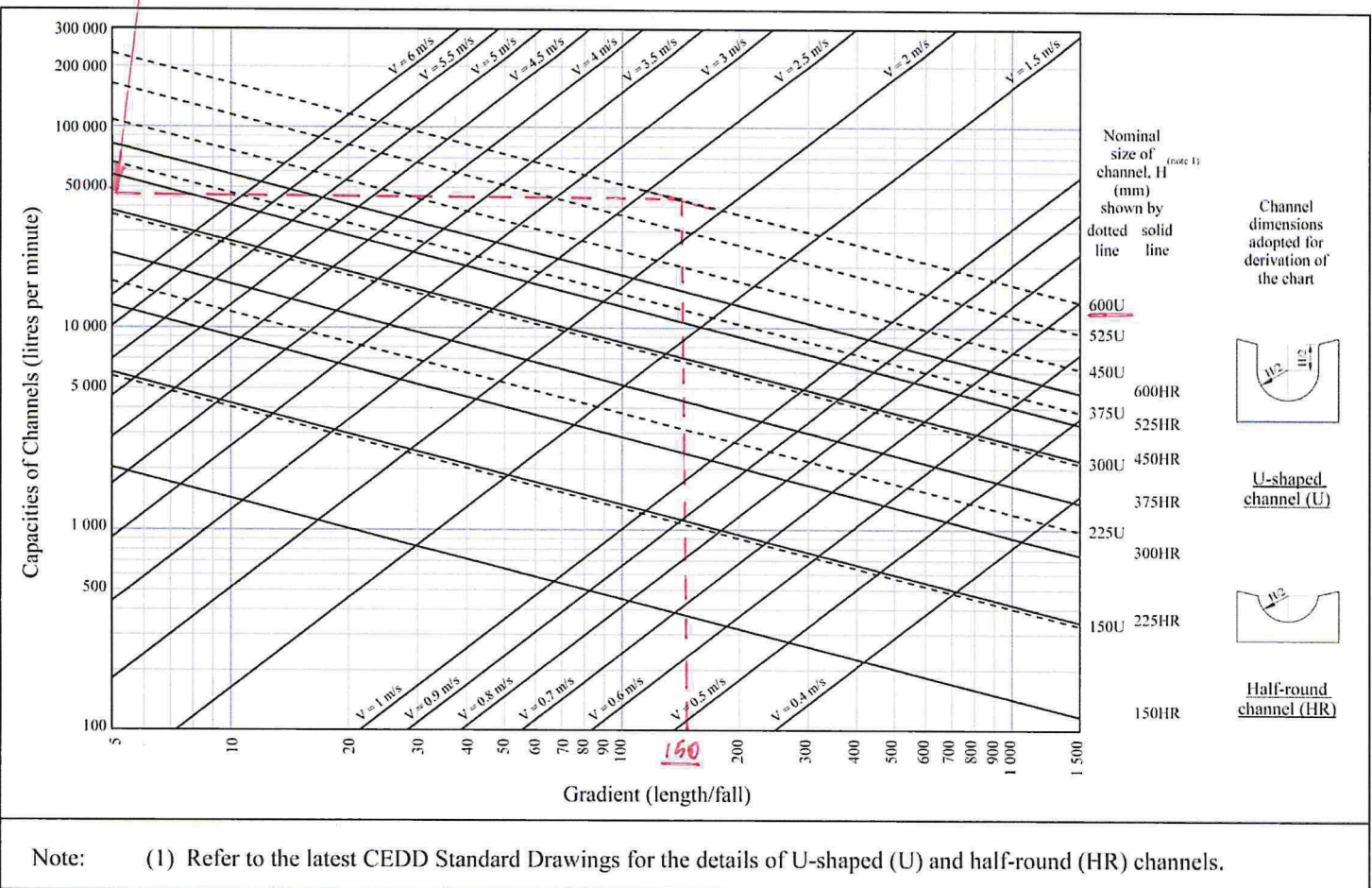
Pipe Capacity > 0.114m³/sec

GEO Technical Guidance Note No. 43 (TGN 43)
Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes

Issue No.: 1 | Revision: - | Date: 05.06.2014 | Page: 3 of 3

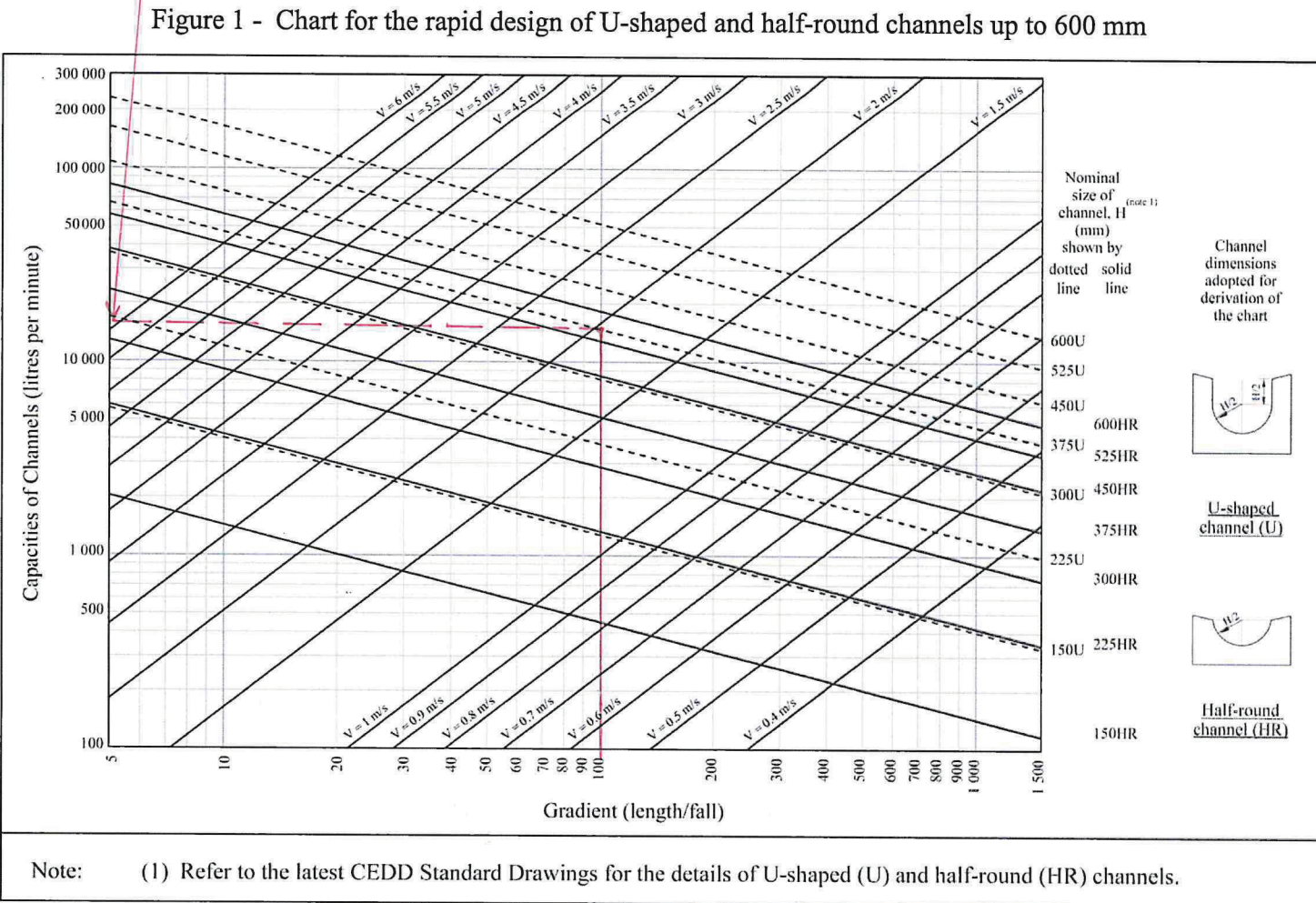
CAPACITY OF EXISTING 600 UC = 46,000 litres/min.

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



GEO Technical Guidance Note No. 43 (TGN 43)
Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes

Issue No.: 1 | Revision: - | Date: 05.06.2014 | Page: 3 of 3

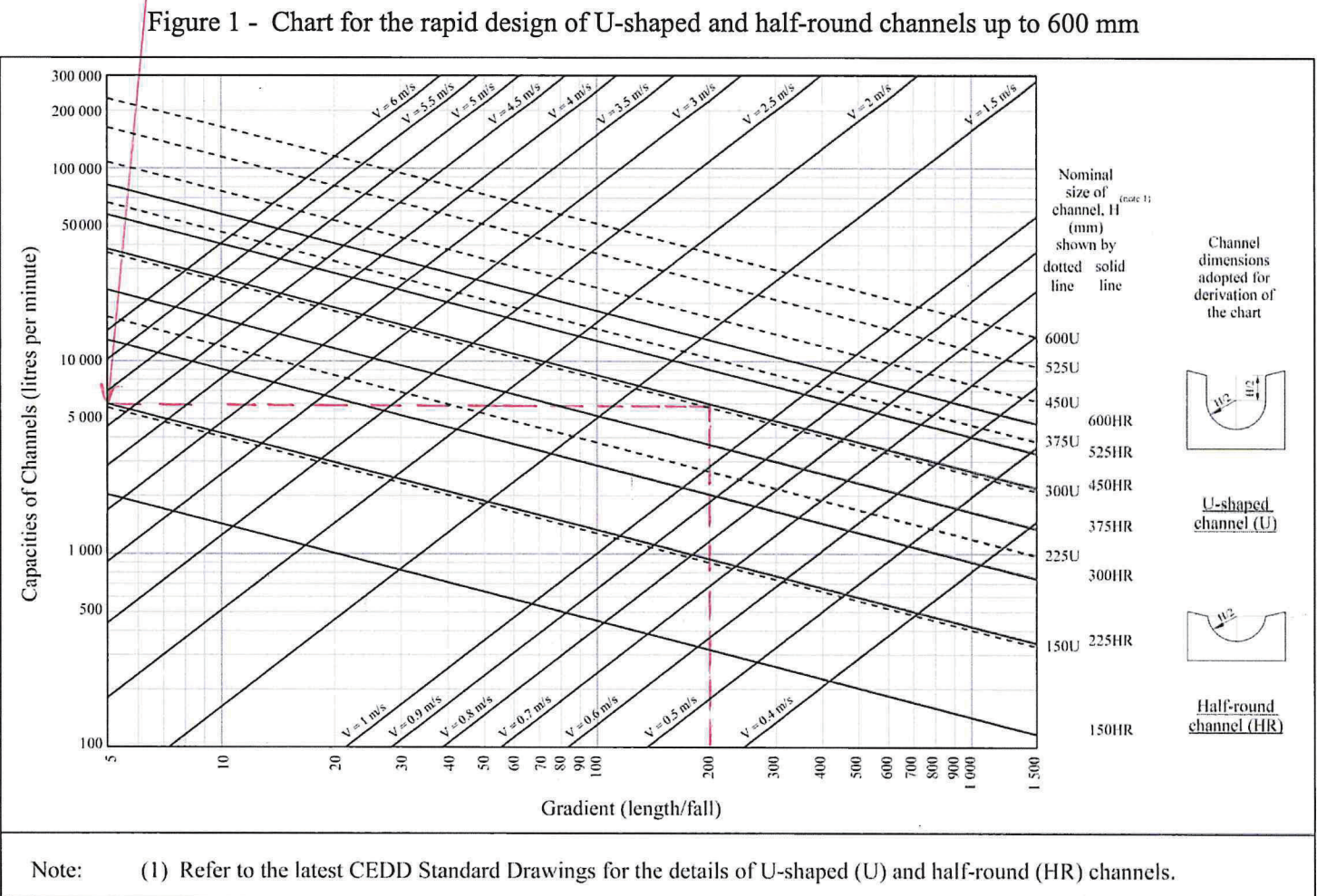


3750C (i.m. 100)

Capacity = 15000 litres/min.

GEO Technical Guidance Note No. 43 (TGN 43)
Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes

Issue No.: 1 Revision: - Date: 05.06.2014 Page: 3 of 3



Moon Leong KOK/PLAND

寄件者: 陳灝然 [REDACTED]
寄件日期: 2024年06月07日星期五 16:21
收件者: tpbpd/PLAND
副本: Moon Leong KOK/PLAND
主旨: A/HSK/519補充資料

類別: Internet Email

敬啟者

此電郵取代 15:43 發出的電郵。有關上述檔案，申請場地已進行填土工程，是次申請是希望有關用途繼續納入規範。

Previous S.16 Application Covering the Application Site

Approved Application

Application No.	Uses/Development	Date of Consideration
A/HSK/359	Temporary Public Vehicle Park (excluding Container Vehicle) for a Period of 3 Years with filling of Land	1.6.2022 (revoked on 1.12.2023)

**Similar S.16 Applications Within/Straddling the Subject “Village Type Development” Zone
on the Hung Shui Kiu & Ha Tsuen Outline Zoning Plan in the Past Five Years**

Approved Applications

Application No.	Uses/Development	Date of Consideration
A/HSK/169	Proposed Temporary Public Vehicle Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	2.8.2019
A/HSK/191	Temporary Public Vehicle Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	15.11.2019 (revoked on 15.10.2021)
A/HSK/226	Temporary Public Vehicle Park (Private Car) for a Period of 3 Years	26.6.2020
A/HSK/324	Temporary Public Vehicle Park (Private Car) for a Period of 3 Years	27.8.2021
A/HSK/383	Temporary Public Vehicle Park (excluding Container Vehicle) for a Period of 3 Years	12.8.2022 (revoked on 12.5.2024)
A/HSK/386	Temporary Public Vehicle Park (Private Car and Light Goods Vehicle) for a Period of 3 Years	12.8.2022
A/HSK/408	Proposed Temporary Public Vehicle Park (Private Car only) for a Period of 3 Years	28.10.2022 (revoked on 28.1.2024)
A/HSK/449	Renewal of Planning Approval for Temporary Public Vehicle Park (Private Car) for a Period of 3 Years	9.6.2023

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

- no adverse comment on the application; and
- according to his record, there is a Small House application under processing on Lot 1111 in D.D. 125 and there is no lease modification/land exchange application or building plan submission in relation to development at the application site (the Site) approved/under processing.

2. Traffic

Comments of the Chief Highway Engineer/New Territories West, Highways Department:

No adverse comment on the application from highway maintenance point of view.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from drainage point of view; and
- should the application be approved, a condition should be stipulated requiring the applicant to submit a revised drainage proposal, to implement and maintain the proposed drainage facilities to his satisfaction.

4. Environment

Comments of the Director of Environmental Protection:

- no adverse comment on the application; and
- there was no environmental complaint pertaining to the Site received in the past three years.

5. Fire Safety

Comments of the Director of Fire Services:

- no in-principle objection to the proposal subject to fire service installations (FSIs) being provided to the satisfaction of his department; and
- the submitted FSIs proposal is considered acceptable to his department.

6. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application under the Buildings Ordinance; and
- no building plan submission in relation to the development at the Site was approved or under processing.

7. Water Supplies

Comments of the Chief Engineer/Construction, Water Supplies Department:

No objection to the application.

8. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment from departmental point of view; and
- his office has not received any comment from the locals on the application.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that the Site comprises Old Schedule Agricultural Lots (OSALs). The OSALs are held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
- (d) to note the comments of the Commissioner for Transport that:
 - sufficient manoeuvring space shall be provided within the Site or its adjacent area. No vehicles are allowed to queue back to public roads or reverse onto/from public roads; and
 - the local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department that:
 - adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - the strip of land between the Site and San Sik Road is not and will not be maintained by his office. His office should not be responsible for maintaining any run-in/out from San Sik Road to the Site;
- (f) to note the comments of the Chief Engineer/Construction, Water Supplies Department that:
 - existing water mains will be affected as shown on **Plan A-2**. The cost of any necessary diversion shall be borne by the proposed development;
 - in case it is not feasible to divert the affected water mains, a waterworks reserve within 1.5 metres from the center line of the water main shall be provided to his department. No structure shall be built or materials stored within this waterworks reserve. Free access shall be made available at all times for staff of the Director of Water Supplies or their contractor to carry out construction, inspection, operation, maintenance and repair works;
 - no trees or shrubs with penetrating roots may be planted within the Waterworks Reserve or in the vicinity of the water main as shown on the plan; and
 - the Government shall not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site;
- (g) to note the comments of the Director of Environmental Protection that the applicant is advised to follow the latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' in order to minimise the possible environmental nuisance on the

surrounding areas;

(h) to note the comments of the Director of Fire Services that:

- the installation /maintenance/ modification/ repair work of FSIs shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to him; and

(i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively. The Site does not abut on a specified street of not less than 4.5 m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works (UBW) under the Building Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
- for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO; and
- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R. Detailed checking under the BO will be carried out at building plan submission stage.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]
Sent: 2024-05-28 星期二 03:17:45
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/HSK/519 DD 125 Sik Kong Wai, Ha Tsuen

Dear TPB Members,

359 was revoked for failure to fulfill run in/run out and drainage conditions.

Solution, file a fresh application. However in view of media reports of parking lots that looked like swimming pools, obviously because of issues with drainage, there is no justification to granting further approval to this operation.

It is high time that all this law abiding society propaganda we are subject to on a daily basis translate into a zero tolerance position on the part of both govt depts and TPB members when it comes to the fulfillment of conditions that have an impact on local communities.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 21 February 2022 2:40 AM HKT
Subject: A/HSK/359 DD 125 Sik Kong Wai, Ha Tsuen

A/HSK/359

Lots 1111 (Part), 1112 (Part), 1113 RP (Part), 1116 RP (Part) and 1117 S.A in D.D.125, Sik Kong Wai, Ha Tsuen

Site area : About 1,356sq.m

Zoning : "VTD"

Applied use : 30 Vehicle Park / Filling of Land

Dear TPB Members,

Object, site has already been concreted over and is just one of the many parking lots in this district.

A significant amount of the V zone has been used for villa development, all of which should have a car port on the ground floor of their spacious 2,100sq.ft. At the same time the 'village' appears to be devoid of any type of open space or recreational facility.

The ease with which V zone lots can be used for parking has stifled any incentive to make more efficient and good use of scarce land resources.

Mary Mulvihill