

16 MAY 2024

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/zh/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

* Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

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24/4

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A / Hsk / 522
	Date Received 收到日期	16 MAY 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

Wong Kwok Wing (黃國榮)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Metro Planning & Development Company Limited (都市規劃及發展顧問有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 4,800 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Not more than <input checked="" type="checkbox"/> Gross floor area 總樓面面積 5,860 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) 26 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2
(e) Land use zone(s) involved 涉及的土地用途地帶	'Open space' ('O') & 'Government, Institution or Community' ('G/IC') 'Residential (Group B)2' ('R(B)2')
(f) Current use(s) 現時用途	Logistics centre (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on
9/4/2024 (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 10/5/2024 (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號。

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas
 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展
 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))
 (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Temporary Logistics Centre for a Period of 3 Years	
(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)		
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年	3
	<input type="checkbox"/> month(s) 個月	
(c) Development Schedule 發展細節表		
Proposed uncovered land area 擬議露天土地面積	1,690	sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	3,110	sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	6	
Proposed domestic floor area 擬議住用樓面面積	NA	sq.m <input checked="" type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	Not more than 5,860	sq.m <input type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	Not more than 5,860	sq.m <input type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)		
Structure 1: Site office (Not exceeding 3.5m, 1 storey), Structure 2: Electricity meter room (Not exceeding 3.5m, 1 storey), Structure 3: Site office (Not exceeding 7m, 2 storey), Structure 4: Logistics centre (Not exceeding 13m, 2 storey), Structure 5: Site office (Not exceeding 7m, 2 storey), Structure 6: F.S. pump room (Not exceeding 3m, 1 storey)		
Proposed number of car parking spaces by types 不同種類停車位的擬議數目		
Private Car Parking Spaces 私家車車位	Nil	
Motorcycle Parking Spaces 電單車車位	Nil	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	Nil	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	Nil	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	Nil	
Others (Please Specify) 其他 (請列明)	NA	
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目		
Taxi Spaces 的士車位	Nil	
Coach Spaces 旅遊巴車位	Nil	
Light Goods Vehicle Spaces 輕型貨車車位	Nil	
Medium Goods Vehicle Spaces 中型貨車車位	3 spaces of 11m x 3.5m (MGV & HGV)	
Heavy Goods Vehicle Spaces 重型貨車車位	Nil	
Others (Please Specify) 其他 (請列明)	NA	

Proposed operating hours 擬議營運時間 7:00a.m. to 9:00p.m. from Mondays to Saturdays. No operation on Sundays and public holidays.			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Vehicular access leading from Lau Fau Shan Road	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁表示可盡量減少可能出現不良影響的措施, 否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	On traffic 對交通		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	On water supply 對供水		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	On drainage 對排水		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	On slopes 對斜坡		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	Affected by slopes 受斜坡影響		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	Landscape Impact 構成景觀影響		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	Tree Felling 砍伐樹木		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	Visual Impact 構成視覺影響		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>
	Others (Please Specify) 其他 (請列明)		Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/>

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
.....	
.....	
.....	
.....	
.....	

(B) Renewal of Permission for Temporary Use or Development in Rural Areas

位於鄉郊地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 <input type="checkbox"/> month(s) 個月

Part 6 (Cont'd) 第 6 部分(續)

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

1. The application site is subject to two previous planning permissions and they are A/HSK/283 & 450. The applicant cannot complete the implementation of FSI proposal within the given time frame because he needs additional time to obtain the water supply from Water Services Department (WSD).
2. The current application is a fresh planning application because the site boundary is slightly changed to include all the temporary structures at the site in order to apply for short term waiver from DLO/YL.
3. The proposed development conforms to the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses (TPB PG-NO. 13G) because it is subject to previous planning permissions.
4. The proposed development is a temporary use for a period of 3 years which would not jeopardize the long term planning intention of the current zoning.
5. The proposed development is not incompatible with the surrounding environment including open storage use and port back-up activities.
6. Open storage & port back-up uses adjoining the application site were granted with planning permission. Similar preferential treatment should be granted to the current application.
7. The applicant applied for the application site only instead of the whole site of A/HSK/59 because the occupant of the area outside the current planning application is incapable to implement the planning conditions imposed to the planning permission. Trees and surface U-channel are found within the application site for the compliance with planning permission.
8. The planning circumstance pertaining to the application site is similar to the recent approval of adjacent open storage yards and port back-up uses.
9. Minimal traffic impact.
10. Insignificant environmental and noise impacts because the applied use is housed within an enclosed structure.
11. Insignificant drainage impact because surface U-channel has been provided at the application site.
12. Neither recycling, cleaning, repairing, dismantling work nor workshop activity would be allowed on the application site.
13. Shortage of land for port back-up purpose in Ha Tsuen.
14. The proposed development is situated within the Hung Shui Kiu and Ha Tsuen New Development Area (NDA) so that existing port back-up uses may be given sympathetic consideration until the site is required for the implementation of the NDA development according to the Town Planning Board Guidelines for application for open storage and port back-up uses under section 16 of Town Planning Ordinance (TPB PG-No.13G).

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

Patrick Tsui

Name in Block Letters
姓名（請以正楷填寫）



☒ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Consultant

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of Metro Planning & Development Company Limited (都市規劃及發展顧問有限公司)
代表

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

23/4/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and deposited at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及存放於規劃署規劃資料查詢處以供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.
Site area 地盤面積	4,800 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 26 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2
Zoning 地帶	'Open space' ("O") & 'Government, Institution or Community' ("G/IC") 'Residential (Group B)2' ("R(B)2")
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Logistics Centre for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率	Domestic 住用	sq.m 平方米 NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	Plot Ratio 地積比率 NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	5,860 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	1.22 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	NA	
	Non-domestic 非住用	6	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA m 米 <input type="checkbox"/> (Not more than 不多於)	
		NA Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	13 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		2 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	64.79 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) NA		0 0 0 0 0 0
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) NA		3 (MGV & HGV) 0 0 0 3 (MGV & HGV) 0

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
As-built drainage plan, site plan and location plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Estimated traffic generation		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

**Proposed Temporary Logistics Centre for a Period of 3 Years
at
Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B
(Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining
Government Land, Lau Fau Shan, Yuen Long, N.T.**

Annex 1 Estimated Traffic Generation

- 1.1 The application site is serviced by an existing vehicular access leading from Lau Fau Shan Road. The proposed development has been approved twice by Town Planning Board since 2018 for exactly the same use, i.e., logistics centre. The current application is submitted because there is change in site boundary for the facilitation of the application of short term waiver to cover all the temporary structures found on the application site.
- 1.2 The estimated average traffic generation and traffic generation rate at peak hours are as follow:

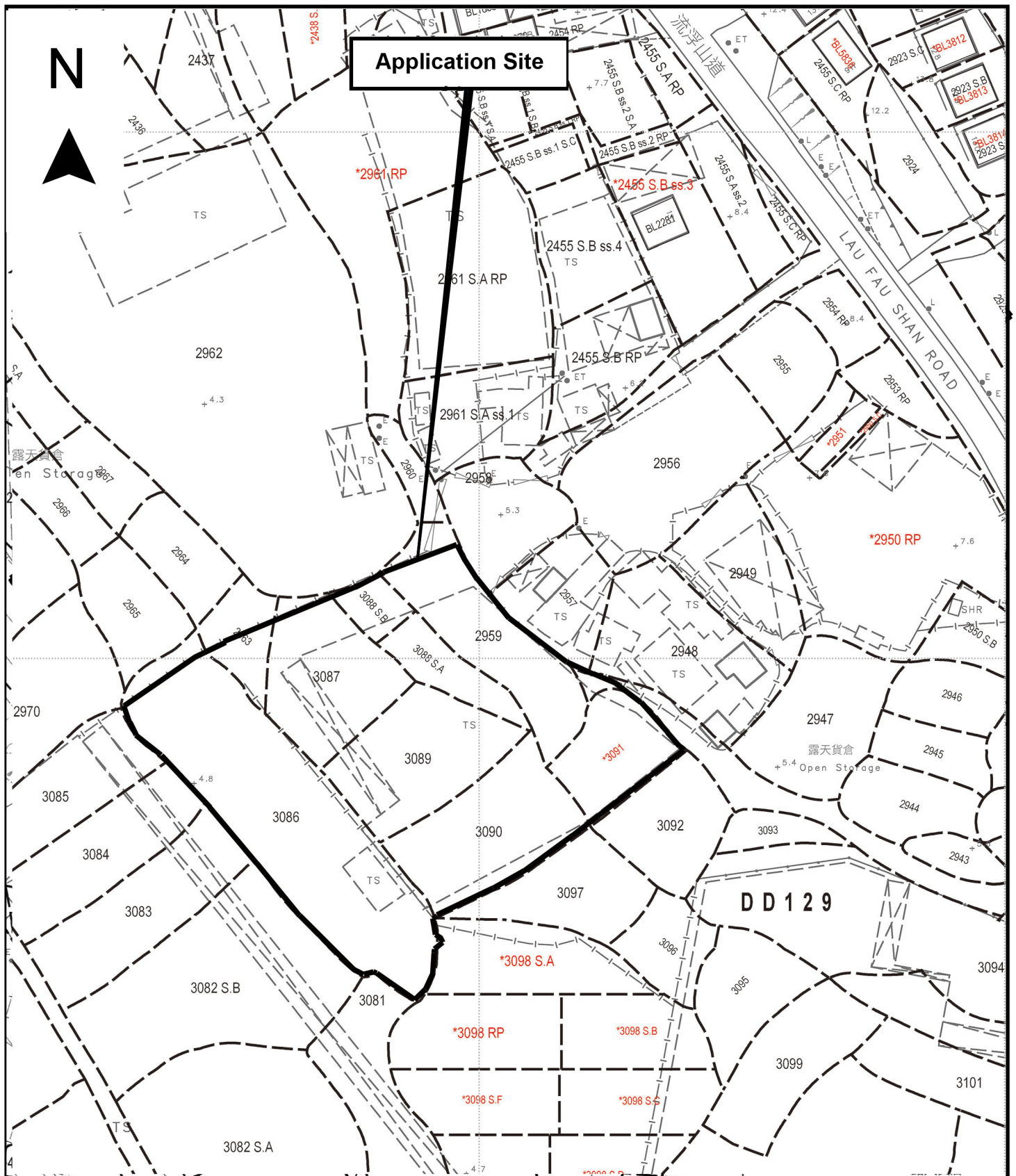
Type of Vehicle	<u>Average Traffic Generation Rate</u> (pcu/hr)	<u>Average Traffic Attraction Rate</u> (pcu/hr)	<u>Traffic Generation Rate at Peak Hours</u> (pcu/hr)	<u>Traffic Attraction Rate at Peak Hours</u> (pcu/hr)
Medium/ heavy goods vehicle	0.71	0.71	2	2

Note 1: The opening hour of the proposed development is restricted to 7:00 a.m. to 9:00 p.m. from Mondays to Saturdays. No operation will be held on Sundays and public holidays.

Note 2: The pcu of medium/heavy goods vehicle is taken as 2.

Note 3: Morning peak is defined as 7:00a.m. to 9:00a.m. whereas afternoon peak is defined as 5:00p.m. to 7:00p.m.

- 1.3 As shown in the above estimation, traffic generation and attraction in both peak hours and in average are not significant.
- 1.4 In association with the intended purpose, adequate space for manoeuvring would be provided within the application site. Adequate vehicle parking spaces are also provided within the application site as shown in **Figure 3** so that no queueing up of vehicle would be occurred outside the application site.



Project 項目名稱:

Proposed Temporary Logistics Centre
for a Period of 3 Years at Lots 2959
(Part), 2963 (Part), 3086 (Part), 3087
(Part), 3088 S.A, 3088 S.B (Part),
3089, 3090, 3091, 3098 S.A (Part) in
D.D.129 and Adjoining Government
Land, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Site Plan

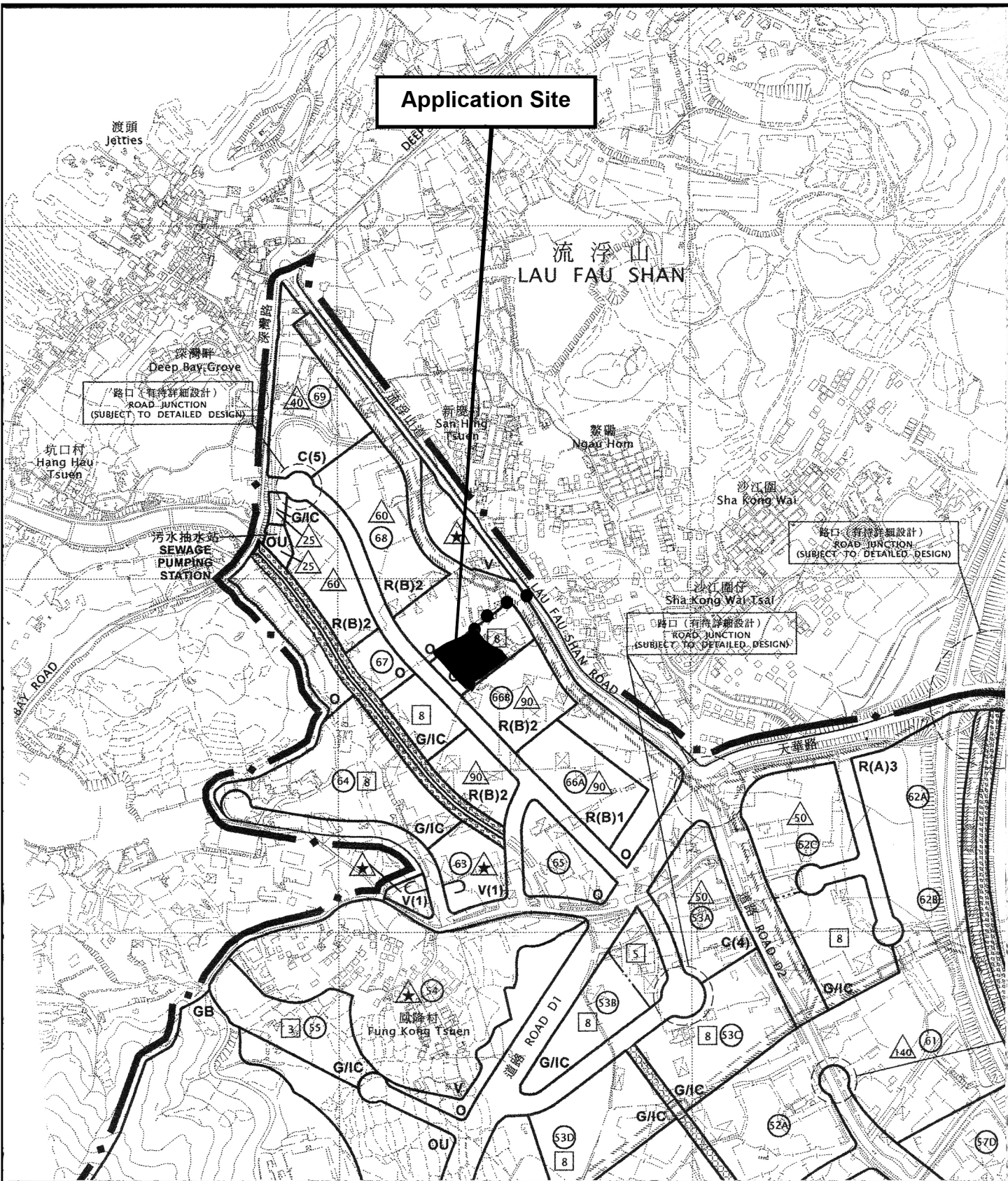
Drawing No. 圖號:

Figure 1

Remarks 備註:

Scale 比例:

1:1000



Project 項目名稱:

Proposed Temporary Logistics Centre for a Period of 3 Years at Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Location Plan

Drawing No. 圖號:

Figure 2

Remarks 備註:

●●● Vehicular access leading from Lau Fau Shan Road

Scale 比例:

1:7500

N



Structure 6
F.S. pump room
GFA: Not exceeding 40m²
Height: Not exceeding 3m
No. of storey: 1

8m wide
Ingress/Egress

Structure 4
Logistics centre
GFA: Not exceeding 5,350m²
Covered land area: Not exceeding 2,750m²
Height: Not exceeding 13m
No. of storey: 2

3 loading/unloading bays
of 11m x 3.5m for
medium goods vehicle/
heavy goods vehicle
site office
western canopy
eastern canopy

Structure 5
Site office
GFA: Not exceeding 170m²
Covered land area: Not
exceeding 110m²
Height: Not exceeding 7m
No. of storey: 2 (site office)
2 (western canopy)
1 (eastern canopy)

Structure 3
Site office
GFA: Not exceeding 100m²
Height: Not exceeding 7m
No. of storey: 2

Structure 2
Electricity meter room
GFA: Not exceeding 100m²
Height: Not exceeding 3.5m
No. of storey: 1

Structure 1
Site office
GFA: Not exceeding 100m²
Height: Not exceeding 3.5m
No. of storey: 1

Project 項目名稱:

Proposed Temporary Logistics Centre
for a Period of 3 Years at Lots 2959
(Part), 2963 (Part), 3086 (Part), 3087
(Part), 3088 S.A, 3088 S.B (Part),
3089, 3090, 3091, 3098 S.A (Part) in
D.D.129 and Adjoining Government
Land, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Proposed Layout Plan

Drawing No. 圖號:

Figure 3

Remarks 備註:

Scale 比例:

1:1000

N



Structure 6
F.S. pump room
GFA: Not exceeding 40m²
Height: Not exceeding 3m
No. of storey: 1

8m wide
Ingress/Egress

Structure 4
Logistics centre
GFA: Not exceeding 5,350m²
Covered land area: Not exceeding 2,750m²
Height: Not exceeding 13m
No. of storey: 2

3 loading/unloading bays
of 11m x 3.5m for
medium goods vehicle/
heavy goods vehicle
site office
western canopy
eastern canopy

Structure 5
Site office
GFA: Not exceeding 170m²
Covered land area: Not
exceeding 110m²
Height: Not exceeding 7m
No. of storey: 2 (site office)
2 (western canopy)
1 (eastern canopy)

Structure 3
Site office
GFA: Not exceeding 100m²
Height: Not exceeding 7m
No. of storey: 2

Structure 2
Electricity meter room
GFA: Not exceeding 100m²
Height: Not exceeding 3.5m
No. of storey: 1

Structure 1
Site office
GFA: Not exceeding 100m²
Height: Not exceeding 3.5m
No. of storey: 1

Tree	Approximate Height	Spacing
⊙ Existing trees to be preserved	2.75m	4m

Project 項目名稱:

Proposed Temporary Logistics Centre for a Period of 3 Years at Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

Proposed Landscape & Tree Preservation Plan

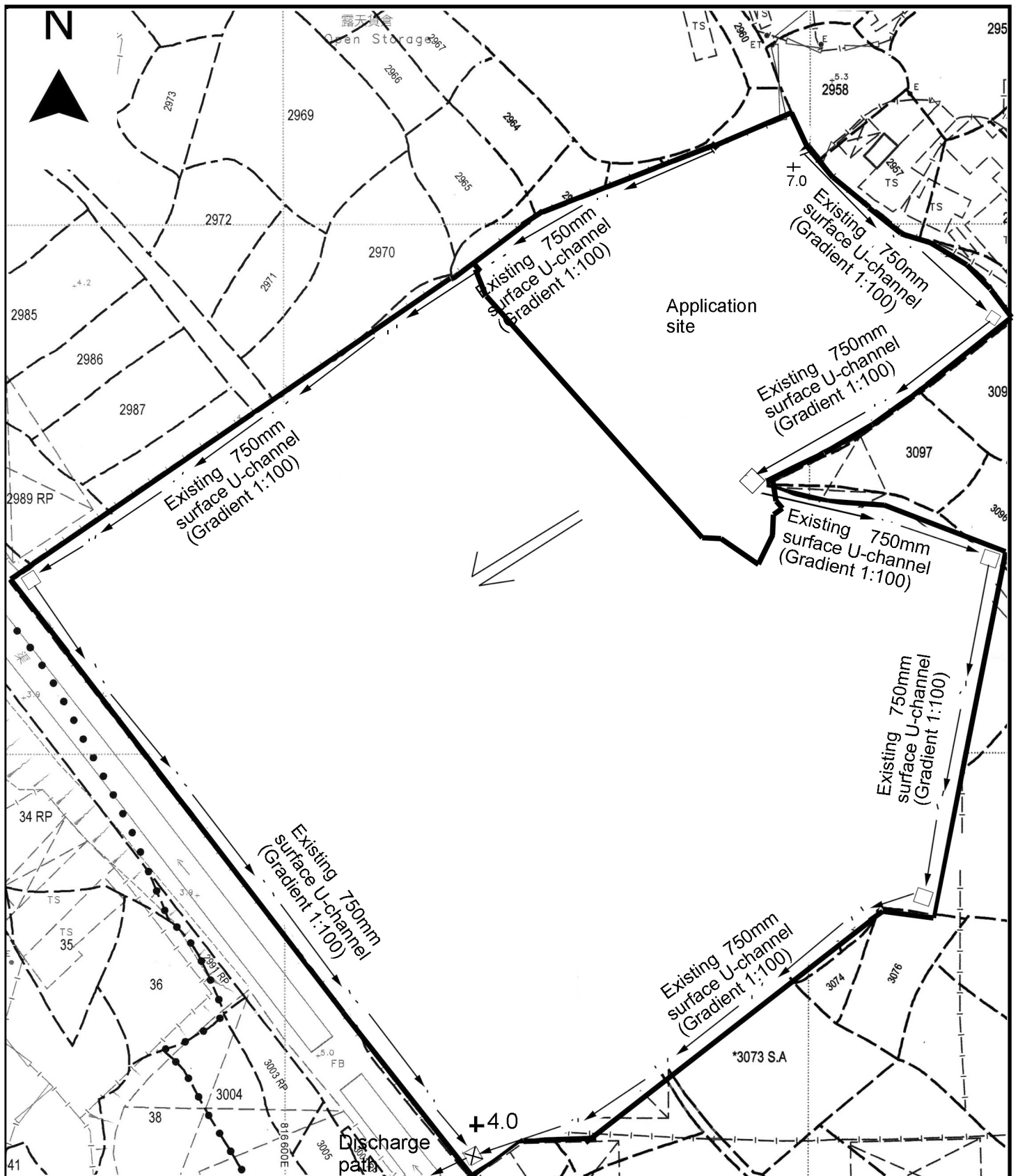
Drawing No. 圖號:

Figure 4

Remarks 備註:

Scale 比例:

1:1000



Project 項目名稱:

Proposed Temporary Logistics Centre for a Period of 3 Years at Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.

Drawing Title 圖目:

As-built Drainage Plan

Drawing No. 圖號:

Figure 5

Remarks 備註:

⇐ Flow of surface runoff

□ Existing catchpit

⊗ Existing catchpit with sand trap

+4.0 Level (in mPD)

Scale 比例:

1:1000

Date: 20 May 2024

TPB Ref.: A/HSK/522

By Email

Town Planning Board
15/F, North Point Government Offices
333, Java Road
North Point
Hong Kong
(Attn: The Secretary)

Dear Sir,

**Proposed Temporary Logistics Centre for a Period of 3 Years at
Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A,
3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and
Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.**

This letter intends to supersede our letter dated 20.5.2024. We are glad to submit the updated justifications in the S.16-III form and Annex 1 for your further processing of the captioned planning application.

Should you have any enquiries, please feel free to contact our Mr. Patrick Tsui at [REDACTED]
[REDACTED] at your convenience.

Yours faithfully,

The block contains a handwritten signature in black ink, which appears to be 'Patrick Tsui'. To the right of the signature is a purple circular stamp. The stamp contains the text 'URBAN PLANNING & DEVELOPMENT COMPANY LIMITED' around the perimeter and '都市規劃及發展顧問有限公司' in the center.

Patrick Tsui

c.c. Tuen Mun and Yuen Long West District Planning Office (Attn: Ms. Moon KOK) – By Email

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

1. The application site is subject to twelve previous planning permissions but only two are directly related to the application site and the rest are related to a bigger site. The applicant cannot complete the implementation of FSI proposal within the given time frame because he needs additional time to obtain the water supply from Water Services Department (WSD).
2. The current application is a fresh planning application because the site boundary is slightly changed to include all the temporary structures at the site in order to apply for short term waiver from DLO/YL.
3. The proposed development conforms to the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses (TPB PG-NO. 13G) because it is subject to previous planning permissions.
4. The proposed development is a temporary use for a period of 3 years which would not jeopardize the long term planning intention of the current zoning.
5. The proposed development is not incompatible with the surrounding environment including open storage use and port back-up activities.
6. Open storage & port back-up uses adjoining the application site were granted with planning permission. Similar preferential treatment should be granted to the current application.
7. The applicant applied for the application site only instead of the whole site of A/HSK/59 because the occupant of the area outside the current planning application is incapable to implement the planning conditions imposed to the planning permission. Trees and surface U-channel are found within the application site for the compliance with planning permission.
8. The planning circumstance pertaining to the application site is similar to the recent approval of adjacent open storage yards and port back-up uses.
9. Minimal traffic impact.
10. Insignificant environmental and noise impacts because the applied use is housed within an enclosed structure.
11. Insignificant drainage impact because surface U-channel has been provided at the application site.
12. Neither recycling, cleaning, repairing, dismantling work nor workshop activity would be allowed on the application site.
13. Shortage of land for port back-up purpose in Ha Tsuen.
14. The proposed development is situated within the Hung Shui Kiu and Ha Tsuen New Development Area (NDA) so that existing port back-up uses may be given sympathetic consideration until the site is required for the implementation of the NDA development according to the Town Planning Board Guidelines for application for open storage and port back-up uses under section 16 of Town Planning Ordinance (TPB PG-No.13G).

**Proposed Temporary Logistics Centre for a Period of 3 Years
at
Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B
(Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining
Government Land, Lau Fau Shan, Yuen Long, N.T.**

Annex 1 Estimated Traffic Generation

- 1.1 The application site is serviced by an existing vehicular access leading from Lau Fau Shan Road. The proposed development has been approved by Town Planning Board for exactly the same use, i.e., logistics centre. The current application is submitted because there is change in site boundary for the facilitation of the application of short term waiver to cover all the temporary structures found on the application site.
- 1.2 The estimated average traffic generation and traffic generation rate at peak hours are as follow:

Type of Vehicle	<u>Average Traffic Generation Rate</u> (pcu/hr)	<u>Average Traffic Attraction Rate</u> (pcu/hr)	<u>Traffic Generation Rate at Peak Hours</u> (pcu/hr)	<u>Traffic Attraction Rate at Peak Hours</u> (pcu/hr)
Medium/ heavy goods vehicle	0.71	0.71	2	2

Note 1: The opening hour of the proposed development is restricted to 7:00 a.m. to 9:00 p.m. from Mondays to Saturdays. No operation will be held on Sundays and public holidays.

Note 2: The pcu of medium/heavy goods vehicle is taken as 2.

Note 3: Morning peak is defined as 7:00a.m. to 9:00a.m. whereas afternoon peak is defined as 5:00p.m. to 7:00p.m.

- 1.3 As shown in the above estimation, traffic generation and attraction in both peak hours and in average are not significant.
- 1.4 In association with the intended purpose, adequate space for manoeuvring would be provided within the application site. Adequate vehicle parking spaces are also provided within the application site as shown in **Figure 3** so that no queueing up of vehicle would be occurred outside the application site.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Appendix Ib of RNTPC
Paper No. A/HSK/522A

Moon Leong KOK/PLAND

寄件者: king king [REDACTED]
寄件日期: 2024年06月03日星期一 10:47
收件者: Moon Leong KOK/PLAND
副本: tpbpd/PLAND
主旨: A/HSK/522
附件: Scan2024-06-03_092822.pdf

類別: Internet Email

Dear Moon,

Please see attached FSI plan for your follow up action.

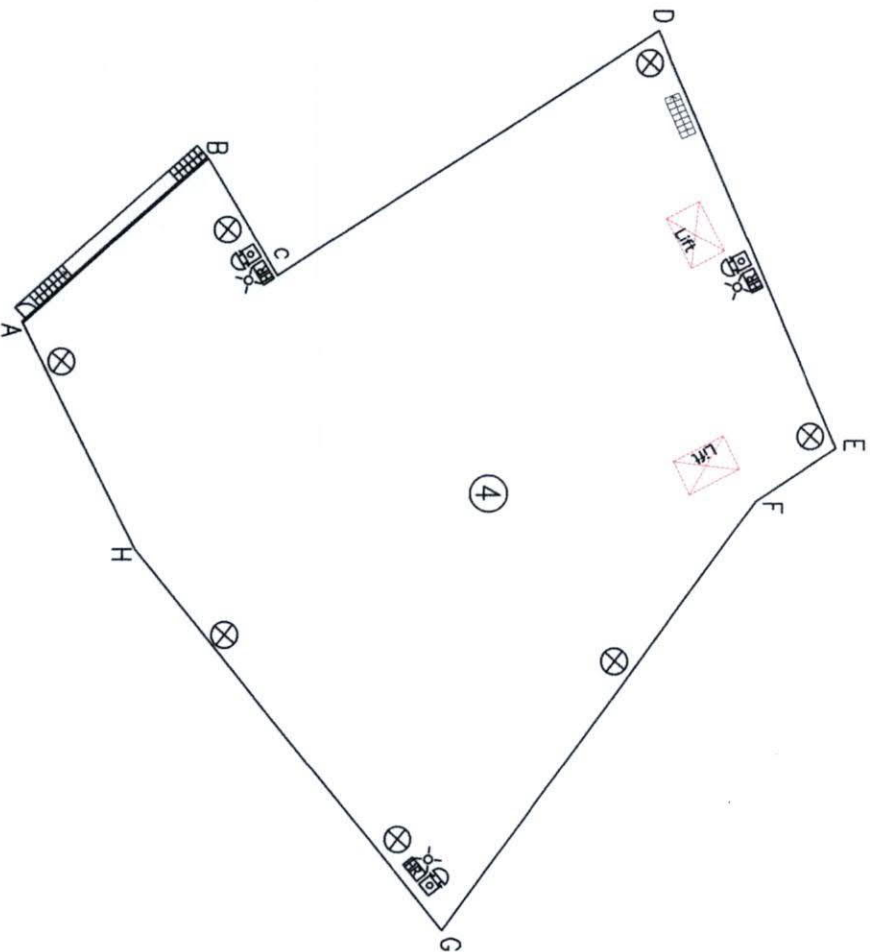
Best regards,

Patrick Tsui

Fire Notes:

- 1.Sufficient emergency lighting shall be provided throughout the entire building in accordance with BS 5266:Part 1: 2016 and BS EN 1838:2013 and FSD Circular Letter 4/2021.
- 2.Sufficient directional and exit sign shall be provided in accordance with BS 5266: Part 1 and FSD Circular letter 5/2008.
- 3.Sufficient portable hand-operated approved appliance shall be provided as required by occupancy and as marked on plans.
- 4.An Automatic Sprinkler System Supplied by 135 m3 Sprinkler Water Tank and Hazard Class OH 3 shall be provided to the building/structure④ & Canopy. in accordance with BS EN 12845:2015 and FSD Circular Letter No.5/2020. The Sprinkler Water Tank,Sprinkler Pump Room,Sprinkler Inlet and Sprinkler Control Valve Group shall be clearly marked on plans.
- 5.The storage configuration is ST1:free standing or block stacking with reference to the section 6.3.2 of B.S 12845,and storage pattern is the maximum storage heights shall not exceed 4 m & the maximum storage areas shall be 50m2 for any single block,with no less than 2.4m clearance around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845.(Storage Category : Category 1)
- 6.A hose reel system should be supplied by a 2.0m3 F.S Water tank. There shall be sufficient hose reel to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing.The F.S water tank, F.S pump room and hose reel shall be clearly marked on plans.
- 7.Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 PART 1: 2017and the FSD Circular Letter 6/2021.One actuation point and one audio warning device to be located at each hose reel point.The actuation point should include facilities for fire pump start and audio/visual warning device initiation.
- 8.One no.5.0 kg CO2 F.E. shall be provided at sprinkler pump room & F.S pump room.
- 9.Sprinkler Tank water supply pipe should be connected to Town Main.
- 10.Source of Secondary power supply for FSI shall be provided.
- 11.Static or dynamic smoke extraction system is not provided.The operable windows of structure③ with aggregate area exceeding 6.25% of the floor area as marked on plans.(Detail see operable window layout plan)
- 12.Ventilation/air conditioning control system shall not be provided as there no mechanical ventilating system.
- 13.Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong should be notified to the Director of Fire Services.

1/F OF STRUCTURE 4 F.S & SPRINKLER SYSTEM LAYOUT PLAN



LEGEND

- X

FLASHING LIGHT
- 🔔

FIRE ALARM BELL
- ◻

MFA CALL POINT
- ▭

HOSE REEL SET (30M LENGTH)
- ◻

SPRINKLER INLET
- ◻

SPRINKLER CONTROL VALVE GROUP
- ⊗

4KG DRY POWDER TYPE FIRE EXTINGUISHER
- ⊗

5KG CO2 GAS TYPE FIRE EXTINGUISHER
- ▭

SPRINKLER PUMP & H.R. PUMP SET

—

NEW INSTALLATIONS

—

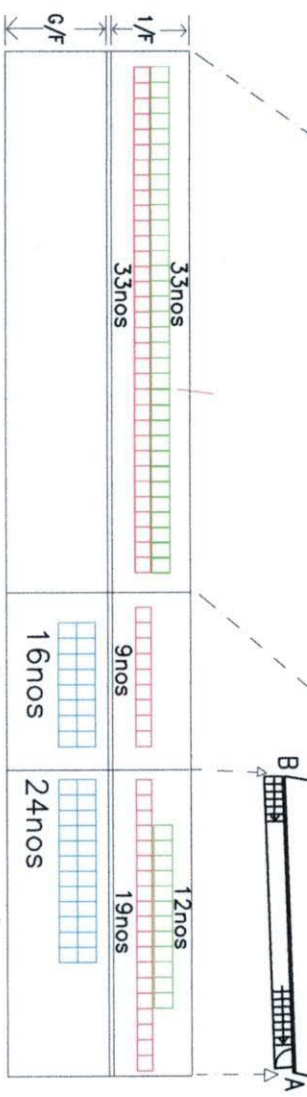
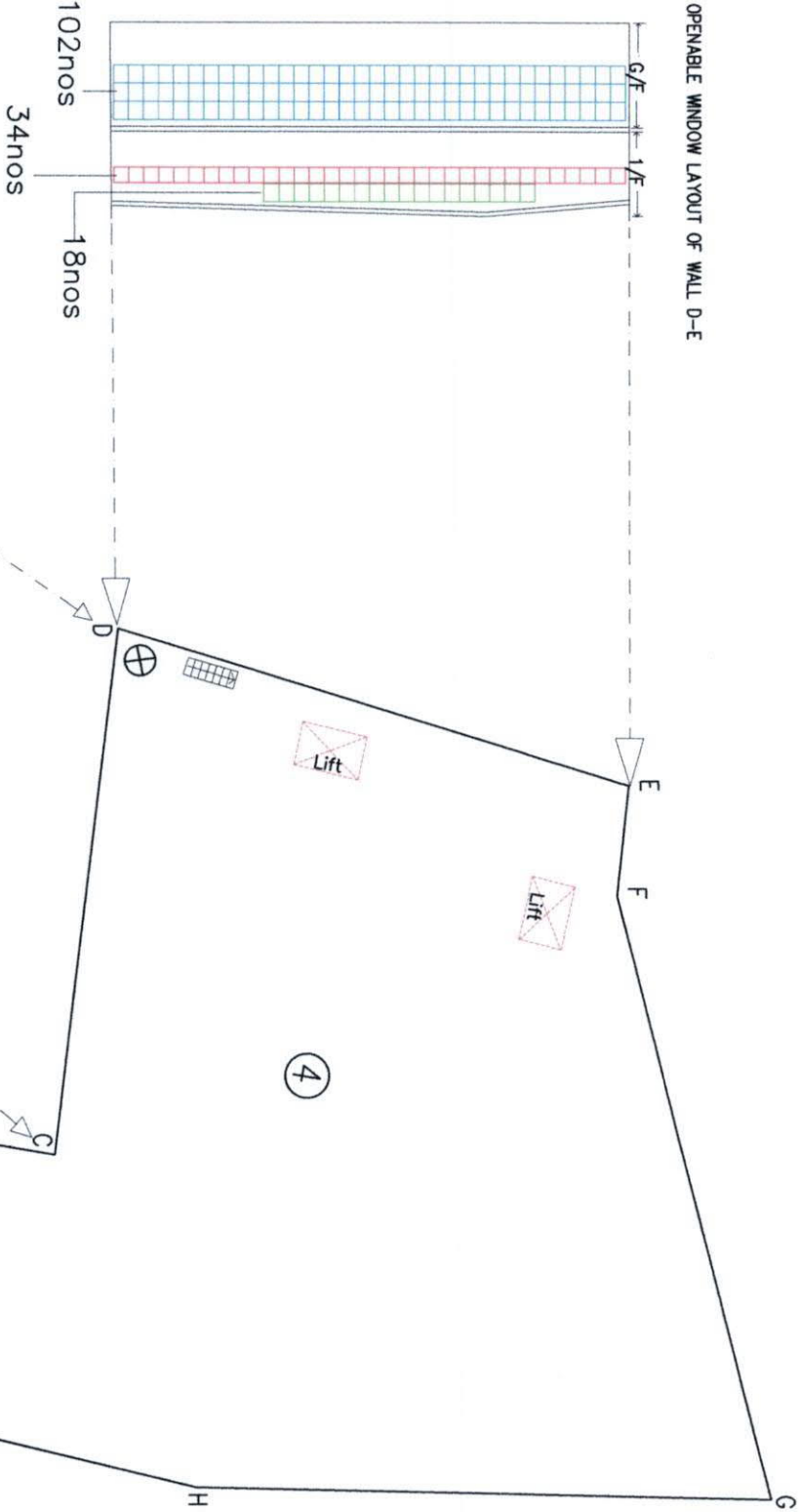
BOUNDARY LINE

NATURE OCCUPANCY:

- ①Single storey structure for Site Office.
(GFA ABOUT: 100sq.m,Height:Not exceeding 3.5m)
- ②Single storey structure for Electricity Meter Room .
(GFA ABOUT: 100sq.m,Height:Not exceeding 3.5m)
- ③2 storey structure for Site Office.
(GFA ABOUT: 100sq.m,Height:Not exceeding 7.0m)
- ④2-storey structure for Logistics centre
(GFA ABOUT: 2675sq,m x 2 = 5350sq,m,Height:Not exceeding 13m)
- ⑤2-storey structure for Site Office & western canopy and 1-storey eastern canopy.
(GFA ABOUT:170sq,m,Height:Not exceeding 7m)

G/F OFF.S & SPRINKLER SYSTEM LAYOUT PLAN

INTERCEPT FIRE & SECURITY TECHNICIANS LIMITED	
Project : PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AT LOTS 2959(PART), 2963(PART),3086(PART),3087(PART),3088 S.A, 3088 S.B(PART),3089,3090,3091,3098 S.A(PART) IN D.D129 AND ADJOINING GOVERNMENT LAND,LAU FAU SHAN,YUEN LONG.	
TITLE : PROPOSED FIRE SERVICE INSTALLATION LAYOUT PLAN.	
Drawn By:	W.C WONG
Date:	26-05-2024
Scale:	1:600 @A3
Ref No:	TPB/A/HSK/450
Drawing No:	2024-FS-01(1/2P)



LEGEND

- Openable window(Area: 1m X 1.2m=1.2sq.m)
- Openable window(Area: 1m X 1.2m=1.2sq.m)
- Openable window(Area: 1m X 1m=1sq.m)

OPENABLE WINDOWS LAYOUT OF STRUCTURE 4

G/F : (GFA:2,675sq.m,Height:7.0m,Vol:18,725m3)

Calculate:

The aggregated area of openable window is:
1.2sq.m x (102+16 +24) nos =170.4sq.m
6.25% of the floor area is:2,675 sq.m x 6.25%=167.2sq.m
170.4sq.m >167.2sq.m

1/F : (GFA:2,675sq.m,Height:6.0m,Vol:16,050m3)

Calculate:

The aggregated area of openable window is:
1.2sq.m x (18+33+12)nos +1sq.m x
(34+33+9+19)nos=170.6sq.m
6.25% of the floor area is:2,675 sq.m x 6.25%=167.2sq.m
170.6sq.m >167.2sq.m

INTERCEPT FIRE & SECURITY
TECHNICIANS LIMITED

Project : PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AT LOTS 2959(PART),2963(PART),3086(PART),3087(PART),3088 S.A,3088 S.B(PART),3089,3090,3091,3098 S.A(PART) IN D.D129 AND ADJOINING GOVERNMENT LAND,LAU FAU SHAN,YUEN LONG.

TITLE : PROPOSED OPENABLE WINDOWS LAYOUT PLAN OF STRUCTURE 3.

Drawn By:	W.C. WONG
Date:	26-05-2024
Scale:	1:500 @A3
Ref No:	TPB/A/HSK/450
Drawing No:	2024-FS-02(2/2P)

Date: 29 July 2024

TPB Ref.: A/HSK/522

By Email

Town Planning Board
15/F, North Point Government Offices
333, Java Road
North Point
Hong Kong
(Attn: The Secretary)

Dear Sir,

Proposed Temporary Logistics Centre for a Period of 3 Years at Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long, N.T.

We are glad to submit the updated FSI proposal herewith.

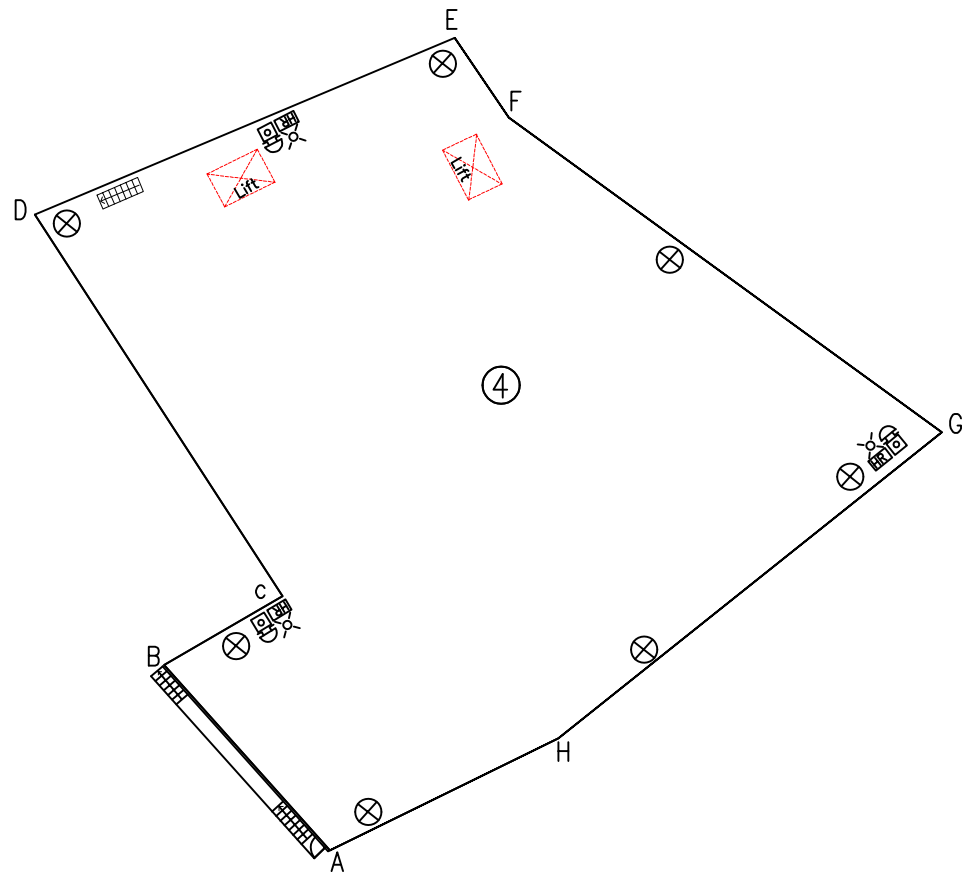
Should you have any enquiries, please feel free to contact our Mr. Patrick Tsui at [REDACTED] at your convenience.

Yours faithfully,

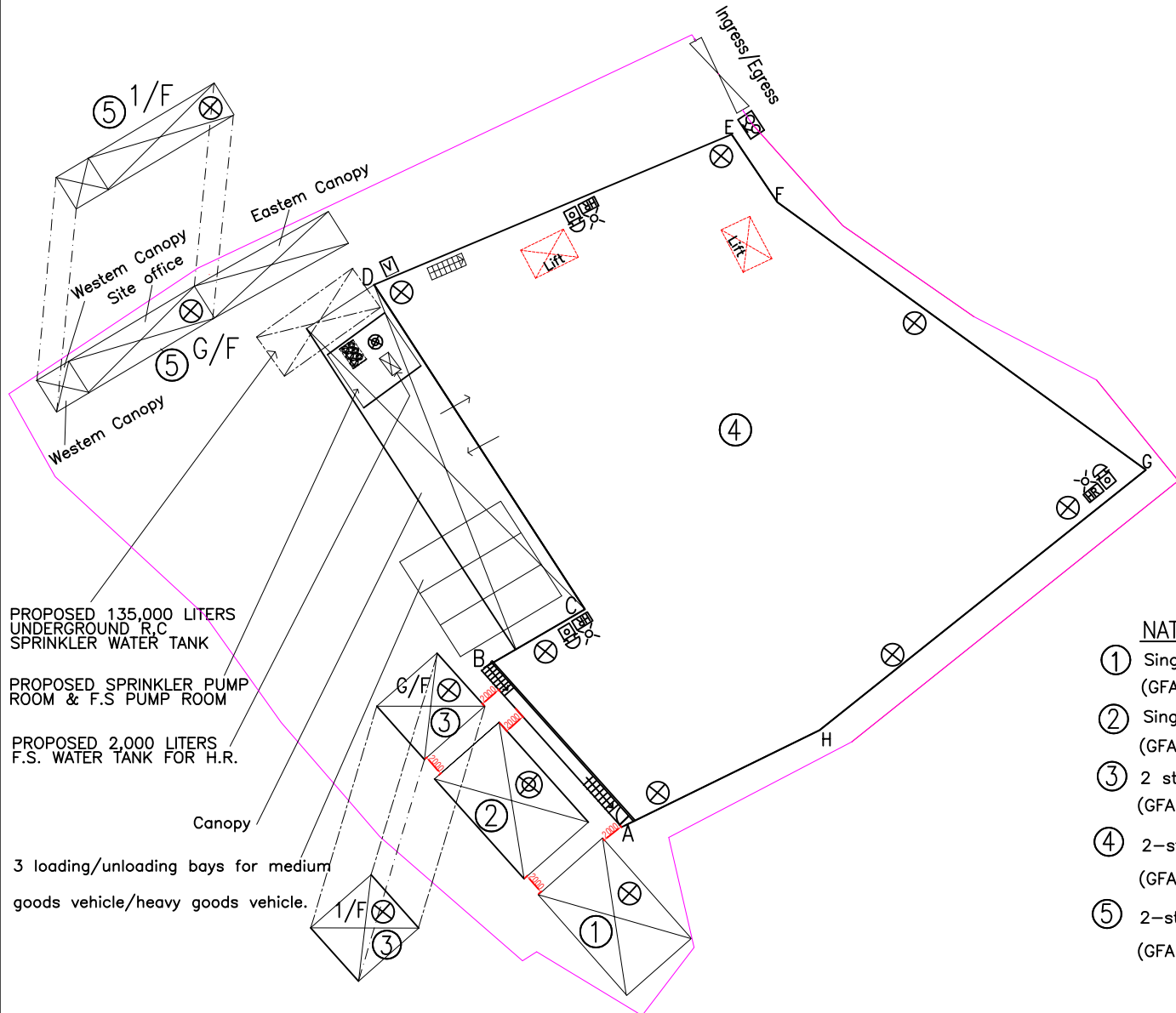


Patrick Tsui

c.c. Tuen Mun and Yuen Long West District Planning Office (Attn: Ms. Moon KOK) – By Email



1/F OF STRUCTURE 4 F.S & SPRINKLER SYSTEM LAYOUT PLAN



G/F OF F.S & SPRINKLER SYSTEM LAYOUT PLAN

LEGEND

- FLASHING LIGHT
- FIRE ALARM BELL
- MFA CALL POINT
- HOSE REEL SET (30M LENGTH)
- SPRINKLER INLET
- SPRINKLER CONTROL VALVE GROUP
- 4KG DRY POWDER TYPE FIRE EXTINGUISHER
- 5KG CO2 GAS TYPE FIRE EXTINGUISHER
- SPRINKLER PUMP &H.R PUMP SET
- NEW INSTALLATIONS
- BOUNDARY LINE

NATURE OCCUPANCY:

- ① Single storey structure for Site Office. (GFA ABOUT: 100sq.m,Height:Not exceeding 3.5m)
- ② Single storey structure for Electricity Meter Room . (GFA ABOUT: 100sq.m,Height:Not exceeding 3.5m)
- ③ 2 storey structure for Site Office. (GFA ABOUT: 100sq.m,Height:Not exceeding 7.0m)
- ④ 2–storey structure for Logistics centre (GFA ABOUT: 2675sq,m x 2 = 5350sq.m,Height:Not exceeding 13m)
- ⑤ 2–storey structure for Site Office & western canopy and 1–storey eastern conopy. (GFA ABOUT:170sq.m,Height:Not exceeding 7m)

Fire Notes:

- 1.Sufficient emergency lighting shall be provided throughout the entire building in accordance with BS 5266:Part 1: 2016 and BS EN 1838:2013 and FSD Circular Letter 4/2021.
- 2.Sufficient directional and exit sign shall be provided in accordance with BS 5266: Part 1 and FSD Circulars letter 5/2008.
- 3.Sufficient portable hand–operated approved appliance shall be provided as required by occupancy and as marked on plans.
- 4.An Automatic Sprinkler System Supplied by 135 m3 Sprinkler Water Tank and Hazard Class OH 3 shall be provided to the building/structure④ & Canopy. in accordance with BS EN 12845:2015 and FSD Circular Letter No.5/2020. The Sprinkler Water Tank, Sprinkler Pump Room, Sprinkler Inlet and Sprinkler Control Valve Group shall be clearly marked on plans.
- 5.The storage configuration is ST1:free standing or block stacking with reference to the section 6.3.2 of B.S 12845.and storage pattern is the maximum storage heights shall not exceed 4 m & the maximum storage areas shall be 50m2 for any single block.with no less than 2.4m clearance around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845.(Storage Category : Category I)
- 6.A hose reel system should be supplied by a 2.0m3 F.S Water tank. There shall be sufficient hose reel to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing.The F.S water tank, F.S pump room and hose reel shall be clearly marked on plans.
- 7.Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 PART 1: 2017and the FSD Circular Letter 6/2021.One actuation point and one audio warning device to be located at each hose reel point.The actuation point should include facilities for fire pump start and audio/visual warning device initiation.
- 8.One no.5.0 kg CO2 F.E. shall be provided at spinkler pump room & F.S pump room.
- 9.Sprinkler Tank water supply pipe should be connected to Town Main.
- 10.Source of Secondary power supply for FSI shall be provided.
- 11.Static or dynamic smoke extraction system is not provided.The openable windows of structure④ with aggregate area exceeding 6.25% of the floor area as marked on plans.(Detail see openable window layout plan)
- 12.Ventilation/air conditioning control system shall not be provided as there no machanical ventilating system.
- 13.Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong should be notified to the Director of Fire Services.

INTERCEPT FIRE & SECURITY
TECHNICIANS LIMITED

Project :

PROPOSED TEMPORARY LOGISTICS CENTRE FOR A PERIOD OF 3 YEARS AT LOTS 2959(PART), 2963(PART),3086(PART),3087(PART),3088 S.A, 3088 S.B(PART),3089,3090,3091,3098 S.A(PART) IN D.D129 AND ADJOINING GOVERNMENT LAND, LAU FAU SHAN, YUEN LONG.

TITLE :

PROPOSED FIRE SERVICE
INSTALLATION LAYOUT PLAN.

Drawn By:

W.C WONG

Date:

19–06–2024

Scale:

1:600 @A3

Ref No:

TPB/A/HSK/522

Drawing No:

2024–FS–01(1/2P)

**Town Planning Board Guidelines for
Application for Open Storage and Port Back-up Uses
(TPB PG-No.13G)**

1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for New Development Areas:
 - (a) The planning for various New Development Areas (NDAs) (including potential development areas) in the New Territories has been in progress and the land use proposals for some of these areas have been incorporated as appropriate into relevant statutory town plans. The NDAs will be implemented by phases. While it is envisaged that the existing open storage and port back-up uses in these areas will be gradually phased out, sympathetic consideration may be given to applications for continued operation of these uses during the interim period before the sites are required for NDA development.
 - (b) For existing open storage and port back-up sites with previous planning approval(s) and/or permitted under the previous OZPs, sympathetic consideration may be given to the application (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant) until the concerned site is required for implementation of NDA development, provided that the relevant approval conditions, if any, have been complied with. Technical assessments, where appropriate, may also need to be submitted to demonstrate that the continued operation of the current uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas and the concerns of the departments and local residents, if any, can be addressed through the implementation of the approval conditions.
 - (c) In view of the impending implementation of NDAs, new open storage and port back-up uses are generally not encouraged to infiltrate into the NDAs. However, sympathetic consideration may be given to applications for relocation of the uses/operations affected by government projects to sites designated for development purpose in NDAs (including those planned for GIC and open space developments) as temporary use/ development before these sites are required for NDA development, subject to policy support given by the relevant policy bureau(x) to the application and no adverse departmental comments and local objections, or the concerns could be addressed by approval conditions. There is a general presumption against such uses at sites with land use compatibility issue, e.g. in close proximity to existing residential dwellings which may be subject to environmental nuisances caused by the open storage and port back-up uses. Applications will normally be rejected unless under exceptional circumstances.
 - (d) Any approved temporary use and development should not jeopardize the long-term planned development on the respective site/the surrounding area under the NDA and the applicant should be advised that the site would be required by the government at any time during the planning approval period for implementation of government projects.

Previous S.16 Applications covering the Application Site

Approved Applications

Application No.	Uses/Development	Date of Consideration
A/YL-HT/99	Temporary Open Storage of Containers for 12 Months	10.9.1999
A/YL-HT/166	Temporary Open Storage of Containers for a Period of 3 Years	22.9.2000 (revoked on 22.3.2002)
A/YL-HT/268	Temporary Open Storage of Containers for a Period of 3 Years	13.9.2002
A/YL-HT/308	Temporary Open Storage of Container Trailers/Tractors with Repair Workshop for a Period of 3 Years	31.10.2003 (on review)
A/YL-HT/500	Temporary Open Storage of Container Trailers and Tractors with Ancillary Repair Workshop for a Period of 3 Years	10.8.2007
A/YL-HT/690	Proposed Temporary Open Storage of Containers, Plastic, Construction Materials, Scrap Metal, Scrap Plastic, Used Paper Products with Ancillary Logistics Yard and Container Repair Workshop for a Period of 3 Years	14.1.2011 (revoked on 14.2.2013)
A/YL-HT/934	Proposed Temporary Logistics Centre with Ancillary Office and Parking of Vehicle for a Period of 3 Years	6.2.2015 (revoked on 6.5.2016)
A/HSK/7	Temporary Logistics Centre for a Period of 3 Years	25.8.2017 (revoked on 25.5.2018)
A/HSK/59	Temporary Logistics Centre for a Period of 3 Years	20.4.2018 (revoked on 20.7.2020)
A/HSK/283	Temporary Logistics Centre for a Period of 3 Years	28.5.2021 (revoked on 28.8.2023)
A/HSK/450	Temporary Logistics Centre for a Period of 3 Years	9.6.2023 (revoked on 9.3.2024)

Rejected Application

Application No.	Uses/Development	Date of Consideration	Rejection Reason
A/HSK/249	Temporary Logistics Centre for a Period of 3 Years	9.10.2020	(1)

Rejection Reason:

- (1) three previous planning permissions granted for the site were revoked due to non-compliance with approval conditions.

**Similar S.16 Applications Straddling the Subject “Government, Institution or Community”
and/or “Open Space” Zones
on the Hung Shui Kiu & Ha Tsuen Outline Zoning Plan in the Past Five Years**

Approved Applications

Application No.	Uses/Development	Date of Consideration
A/HSK/216	Temporary Logistics Centre for a Period of 3 Years	29.5.2020 (revoked on 28.8.2022)
A/HSK/305	Temporary Logistics Centre for a Period of 3 Years	24.9.2021 (revoked on 24.6.2023)
A/HSK/321	Temporary Logistics Centre with Ancillary Site Office for a Period of 3 Years	27.8.2021 (revoked on 27.5.2023)
A/HSK/338	Temporary Logistics Centre for a Period of 3 Years	22.4.2022 (revoked on 22.1.2024)
A/HSK/391	Temporary Logistics Centre for a Period of 3 Years	26.8.2022 (revoked on 26.5.2024)
A/HSK/456	Temporary Logistics Centre with Ancillary Office for a Period of 3 Years	12.1.2024
A/HSK/501	Temporary Logistics Centre for a Period of 3 Years	24.5.2024
A/HSK/510	Temporary Logistics Centre with Ancillary Office and Canteen for a Period of 3 Years	21.6.2024

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

- no adverse comment on the application; and
- according to his record, there is no lease modification/land exchange application or building plan submission in relation to development at the application site (the Site) approved/under processing.

2. Traffic

(a) Comments of the Commissioner for Transport:

No adverse comment on the application from traffic engineering point of view.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department:

No objection to the application from the highways maintenance point of view.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from drainage point of view; and
- a condition should be stipulated requiring the applicant to maintain the existing drainage facilities and submit condition record of the existing drainage facilities to his satisfaction.

4. Fire Safety

Comments of the Director of Fire Services:

- no in-principle objection to the proposal subject to fire service installations (FSIs) being provided to his satisfaction; and
- the submitted FSIs proposal is considered acceptable to his department.

5. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application under the Buildings Ordinance; and
- no building plan submission in relation to the development at the Site was approved or

under processing.

6. Long-term Development

- (a) Comments of the Project Manager (West), Civil Engineering and Development Department:

No objection to the application.

- (b) Comments of the Director of Leisure and Cultural Services:

- no in-principle objection to the application; and
- his office has no plan to develop the Site into public open space in the upcoming three years.

7. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment from departmental point of view; and
- his office has not received any comment from the locals on the application.

8. Other Departments' Comments

The following government departments have no objection to/no adverse comment on the application:

- Chief Engineer/Construction, Water Supplies Department; and
- Chief Town Planner/Urban Design and Landscape, Planning Department.

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (c) to note that the Site may be resumed at any time during the planning approval period for implementation of Government projects;
- (d) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (e) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - the Site comprises Old Schedule Agricultural Lots (OSALs) and Government Land (GL). The OSALs are held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No permission is given for occupation of GL (about 26m² subject to verification) included in the Site. The act of occupation of GL without Government's prior approval is not allowed;
 - Lot 3086 in D.D. 129 is covered by a Short Term Waiver (STW) No. 4843 for the purposes of "Temporary Logistics Centre with Ancillary Office and Parking of Vehicle"; and
 - the lot owner(s) should apply to his office for STW(s) and/or STT(s) to permit the structure(s) erected or to be erected within the subject lots, if any and the occupation of the GL and apply for modification of STW(s)/STT(s) conditions where appropriate. The application(s) for STW and/or STT will be considered by the Government in its capacity as a landlord and there is no guarantee that such application(s) will be approved. If such application(s) is approved, it will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (f) to note the comments of the Commissioner for Transport that:
 - sufficient manoeuvring space shall be provided within the Site or its adjacent area. No vehicles are allowed to queue back to public roads or reverse onto/from public roads; and
 - the local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (g) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department that:
 - adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - any access road leading from Lau Fau Shan Road to the Site is outside Highways

Department's maintenance jurisdiction;

- (h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that the required condition record should include coloured photos showing the current condition of the drainage facilities and a layout plan indicating the locations of the photos taken. The submitted photos should cover all internal surface channels, catch pits, sand traps, manholes, terminal catch pits/manholes and the downstream discharge path as indicated on the submitted drainage proposal;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
 - the installation/maintenance/modification/repair work of fire service installations shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to him; and
 - if the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans. Licensing requirement would be formulated upon received of formal application via the licensing authority;
- (j) to note the comments of the Director of Environmental Protection that the applicant is advised to follow the latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' in order to minimise the possible environmental nuisance on the surrounding areas;
- (k) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively. The Site does not abut on a specified street of not less than 4.5 m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
 - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under the BO and should not be designated for any proposed use under the application;
 - for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBW under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO; and
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R.

Detailed checking under the BO will be carried out at building plan submission stage; and

- (1) to note the comment of the Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD) that the Site falls within the boundary of Hung Shui Kiu/Ha Tsuen New Development Area (HSK/HT NDA). To ensure timely and orderly implementation, the development of HSK/HT NDA and relevant site formation and infrastructure works would be implemented in three phases, viz. First Phase development, Second Phase development and Remaining Phase Development. The lots concerned fall within the site under Remaining Phase Development of HSK/HT NDA. While the site formation and engineering infrastructure works for the Remaining Phase development is envisaged to commence in 2030, the above implementation programme is subject to review. The applicant is required to pay attention to the development programme and ensure his proposed development would not affect or impose constraints to the proposed works under HSK/HT NDA.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]
Sent: 2024-06-13 星期四 02:28:09
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/HSK/522 DD 129 Lau Fau Shan GIC - OS

A/HSK/522

Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part),
3089, 3090, 3091 and 3098 S.A (Part) in D.D.129 and Adjoining Government Land, Lau Fau
Shan

Site area: About 4,800m² Includes Government Land of about 26m²

Zoning: "GIC", "Open Space" and "Res (Group B)"

Applied Use: Logistics Centre / 3 Vehicle Parking

Dear TPB Members,

Conditions for 450 not fulfilled but applicant knows that govt depts and TPB members have
no interest in addressing failure to do so despite possible impact on the safety and good
health of the local community and workers on site.

So, file another application for an even larger site and good to go for another 3
years. Meanwhile law abiding residents in urban areas are have to endure the daily mantra
of law and order that we know is just a lot of bull shit when operations like this can exist for
years despite flaunting the regulations.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 19 May 2023 2:16 AM HKT
Subject: A/HSK/450 DD 129 Lau Fau Shan GIC - OS

Dear TPB Members,

283 approved 28 May 2021, two year on conditions still not fulfilled but hey, operator
knows how the system works, lodge another application. PlanD supports and members
rubber stamp.

The issue appears to be fire service conditions. That the board continues to condone
failure to fulfill this condition despite frequent reports of deadly fires at operations like this
that often result in serious injuries and even death. They also subject the local community
to days of smoke and air pollution, with an inevitable impact on those with weak immune
system. As a considerable number of Hong Kong people are dealing with the after effects

of Covid infection, it is unconscionable that members roll over applications like this without looking into the particulars and impacts.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 5 January 2021 3:43 AM CST
Subject: A/HSK/283 DD 129 Lau Fau Shan GIC - OS

A/HSK/283

Lots 2959 (Part), 2963 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090 and 3091 in D.D.129 and Adjoining Government Land, Lau Fau Shan

Site area : About 4,220m² Includes Government Land of about 26m²

Zoning "GIC", "Open Space"

Applied Use : Logistics Centre / 3 Vehicle Parking

Dear TPB Members,

Having failed to get approval for the full operation, as one member astutely noted : "A Member further expressed that an approval of the application might encourage the party concerned to keep on submitting applications by different applicants whilst continuing the operation without complying with the approval conditions." the applicant has now resorted to dividing it into smaller sites.

115. "After deliberation, the Committee decided to reject the application. The reason was: " three previous planning permissions granted for the site by the Town Planning Board were revoked due to non-compliance of the approval conditions. Approval of the application with repeated non-compliance with approval conditions would set an undesirable precedent for other similar applications, thus nullifying the statutory planning control mechanism."

If only these operators put as much ingenuity into running bona fide businesses that adopt the latest technology and respect the environment as they do in scamming the system, NT would country side would be as picturesque as that in other jurisdictions.

Members must again question the credibility of the applicant. These lots are ultimately destined to provide community services for planned housing developments.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Monday, September 14, 2020 3:22:34 AM
Subject: A/HSK/249 DD 129 Lau Fau Shan GIC - OS

A/HSK/249

Lots 2959 (Part), 2963 (Part), 2970 (Part), 2988 (Part), 2989 RP (Part), 2991 RP (Part), 2992 RP, 2993, 2994, 2995, 2 996, 2997, 2998, 2999 (Part), 3000 RP (Part), 3073 S.A

(Part), 3073 RP, 3076 (Part), 3077 (Part), 3078 (Part), 3079, 3080, 3081, 3082 S.A, 3082 S.B, 3083, 3084, 3085 (Part), 3086 (Part), 3087 (Part), 3088 S.A, 3088 S.B (Part), 3089, 3090, 3091, 3096 (Part), 3098 S.A (Part), 3098 S.B (Part), 3098 S.C (Part), 3098 S.D (Part), 3098 S.E, 3098 S.F and 3098 RP in D.D.129 and Adjoining Government Land, Lau Fau Shan

Site area : About 22,550m² Includes Government Land of about 600m²

Zoning : "Res (Group B) 2", "GIC", "Open Space" and "Road"

Applied Use : Logistics Centre / 10 Vehicle Parking

Dear TPB Members,

A/HSK/7 was approved on 26 Aug 2017, no questions from members. Revoked on 15 Aug 2018 but decision details not provided on OZP website.

A/HSK/59 for a larger site approved on 20 April 2018, no mention of revocation and no questions asked. Revoked on 20 July this year but again no details provided?

Whilst the applied use was not in line with the planning intention of the subject zones, the implementation for the part of the New Development Area was still being formulated. Approval of the application on a temporary basis of three years would not jeopardise the long-term development of the site.

But in line with recent JR, members are now obliged to make decisions based on their own evaluation not that of PlanD.

Do why the revocations and what is the PLAN for the district re implementation of zoning intentions and what is the time line.

Mary Mulvihill

From: [REDACTED]

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent: Thursday, July 27, 2017 1:55:43 AM

Subject: A/HSK/7 DD 129 Lau Fau Shan

A/HSK/7

Lots in D.D.129 and Adjoining Government Land, Lau Fau Shan, Yuen Long

Site area : About 19,714m² Includes Government Land of about 535 m²

Zoning : "Res (Group B) 2", "GIC", "Open Space" and "Road"

Applied Use : Logistics Centre

Dear TPB Members,

This site has been brownfield for over two decades but recently approvals have been revoked.

Regrettably the reason why has not shared with the general public.

Hopefully you will follow up on this.

Mary Mulvihill