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此文件名的25年 02月 25晚到。城市規劃委員會

由請的日期。

2.5 FEB 2025

This document is received on 25 FEB 2025
The Town Planning Board will formally acknowledge the date of receipt of the application only upon receipt

Form No. S16-III 表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章) 第 16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行 為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展)及有關該等臨時用途/發 展的許可續期,應使用表格第S16-I號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers: https://www.tpb.gov.hk/en/plan application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行 土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知: https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form 填寫表格的一般指引及註解

- "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
 - 「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的 十地的擁有人的人
- & Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✔」at the appropriate box 請在適當的方格內上加上「✔」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	esa es A/Hsk/tor
	Date Received 收到日期	2 5 FEB 2C25

- 1. The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong. 申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- 2. Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at http://www.tpb.gov.hk/. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories). 請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址: http://www.tpb.gov.hk/),亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓-電話:2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輋路 1 號沙田政府合署 14 樓)索取。
- 3. This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete. 此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

	1.	Name	of Applicant	申請人姓名/	名稱
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(□Mr. 先生 /□Mrs. 夫人 /□Miss 小姐 /□Ms. 女士 / MCompany 公司 /□Organisation 機構)

Sunny Ease Investment Limited 朗宜投資有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱(如適用)

(□Mr. 先生 /□Mrs. 夫人 /□Miss 小姐 /□Ms. 女士 / ☑ Company 公司 /□ Organisation 機構)

PlanPlus Consultancy Limited 思雋顧問有限公司

3.	Application Site 申請地點	
(a)	Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories
(b)	Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面 積	☑Site area 地盤面積 26,983.8 sq.m 平方米☑About 約 ☑Gross floor area 總樓面面積 19,318 sq.m 平方米☑About 約
(c)	Area of Government land included (if any) 所包括的政府土地面積(倘有)	sq.m 平方米 ☑About 約

(d)	Name and number of the restatutory plan(s) 有關法定圖則的名稱及編號	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2			
(e)	Land use zone(s) involved 涉及的土地用途地帶	"Government, Institution or Community", "Open Space", 'Road'			
(f)	Current use(s) 現時用途	Logistics Centres with Anciliary Office and Parking of Vehicles (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施,請在圖則上顯示,並註明用途及總樓面面積)			
4.	"Current Land Owner"	of Application Site 申請地點的「現行土地擁有人」			
The	applicant 申請人 —				
	is the sole "current land owner	#& (please proceed to Part 6 and attach documentary proof of ownership). #& (請繼續填寫第 6 部分,並夾附業權證明文件)。			
	is one of the "current land owners" ^{# &} (please attach documentary proof of ownership). 是其中一名「現行土地擁有人」 ^{# &} (請夾附業權證明文件)。				
\triangleleft	is not a "current land owner" [#] . 並不是「現行土地擁有人」 [#] 。				
	The application site is entirely on Government land (please proceed to Part 6). 申請地點完全位於政府土地上(請繼續填寫第 6 部分)。				
_	C4-44	4/NT 4°C° - 4°			
5.	Statement on Owner's 就土地擁有人的同意	/通知土地擁有人的陳述			
(a)	involves a total of 根據土地註冊處截至	ne Land Registry as at			
(b)	The applicant 申請人 -				
		"current land owner(s)".			
		名「現行土地擁有人」#的同意。			
	Details of consent of "c	rrent land owner(s)" # obtained 取得「現行土地擁有人」 #同意的詳情			
	Land Owner(s) Reg	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)			
	(Please use senarate sheets	the space of any box above is insufficient. 如上列任何方格的空間不足,請另頁說明)			
	(1 12000 doe deparate directs				

	Details of the "current land owner(s)" notified 已獲通知「現行土地擁有人」"的詳細資料 No. of 'Current Land owner(s)" Date of notification							
	Lan	d Owner(s)' 現行土地擁 人」數目	Land Regist	r/address of p try where not 注冊處記錄已	cification(s)	nas/have bee		given (DD/MM/YYYY) 通知日期(日/月/年)
	(Pleas	e use separate sl	heets if the spa	ice of any box	above is insu	ficient. 如上	列任何方格的	空間不足,請另頁說明)
\checkmark	已採	aken reasonable 取合理步驟以	以取得土地擁	有人的同意。	或向該人發	給通知。詳	情如下:	
		onable Steps to						
		sent request fo 於						(DD/MM/YYYY) [#] 同意書 ^{&}
	Reaso	onable Steps to	Give Notific	cation to Own	ner(s) 恒士	地擁有人勢	後出通知所採	取的合理步驟
		published notio 於15/1/2		ewspapers on /月/年)在指別				YYY) ^{&}
		posted notice i	in a prominen (DI		1.1	ication site/	premises on	
		於	(日	/月/年)在申詢	請地點/申	請處所或附	近的顯明位置	置貼出關於該申請的通
		office(s) or rur	ral committee 2025 (日	on	5/1/2025	(DD/MN	I/YYYY)&	d committee(s)/manage 委員會/互助委員會或
	Other	·s 其他						
		others (please : 其他(請指明	,					
		/ (IO (E/1/H /						

6. Type(s) of Application	n 申請類別		
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期,請填寫(B)部分)			
		1 MACAN MA SAMA (—) HESA)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Logistics C of Vehicles for a Perio	Centre with Anciliary Office and Parking d of 3 Years	
	(Please illustrate the details of the pr	oposal on a layout plan) (請用平面圖說明擬議詳情)	
(b) Effective period of permission applied for 申請的許可有效期	☑ year(s) 年 □ month(s) 個月	3	
(c) Development Schedule 發展網	田節表		
Proposed uncovered land area	ı 擬議露天土地面積	8,608.4 sq.m ☑About 約	
Proposed covered land area 接			
Proposed number of buildings	s/structures 擬議建築物/構築物	數目10	
Proposed domestic floor area	擬議住用樓面面積	sq.m □About 約	
Proposed non-domestic floor	area 擬議非住用樓面面積	19,318sq.m ☑About 約	
Proposed gross floor area 擬議總樓面面積 19,318 sq.m ☑About 約			
	e separate sheets if the space below	s (if applicable) 建築物/構築物的擬議高度及不同樓層 v is insufficient) (如以下空間不足,請另頁說明)	
Proposed number of car parking	spaces by types 不同種類停車位	的擬議數目	
Private Car Parking Spaces 私家		4	
Motorcycle Parking Spaces 電單			
Light Goods Vehicle Parking Spa Medium Goods Vehicle Parking			
Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位			
Others (Please Specify) 其他 (請列明) 8 (Container Trailer)			
Proposed number of loading/unlo	pading spaces 上落客貨車位的擬語	義數目	
Taxi Spaces 的士車位			
Coach Spaces 旅遊巴車位			
Light Goods Vehicle Spaces 輕型			
Medium Goods Vehicle Spaces Heavy Goods Vehicle Spaces 重		4 (for both MGV & HGV)	
Others (Please Specify) 其他 (請列明)			

Gist of Application 申	請摘要
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(Please provide details in both English and Chinese <u>as far as possible</u>. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

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(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

取火水水町有水	副具件互的処保 放多肉。)
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories
Site area 地盤面積	26,983.8 sq. m 平方米 ☑ About 約
	(includes Government land of 包括政府土地 170 sq. m 平方米 ☑ About 約)
Plan 圖則	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2
Zoning 地帶	"Government, Institution or Community", "Open Space", 'Road'
Type of Application 申請類別	☑ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期
十 词 积 刀	☑ Year(s) 年 3 □ Month(s) 月
	□ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 □ Year(s) 年 □ Month(s) 月 □ Month(s)
Applied use/ development 申請用途/發展	Temporary Logistics Centre with Anciliary Office and Parking of Vehicles for a Period of 3 Years

(B) Renewal of Permis	diameter at b 請註明盡量 幹直徑及品	measure(s) to minimise the impact(s). For tree felling, please state the number, preast height and species of the affected trees (if possible) 減少影響的措施。如涉及砍伐樹木,請說明受影響樹木的數目、及胸高度的樹種(倘可)
(a) Application number to the permission relates 與許可有關的申請編號	o which	A//
(b) Date of approval 獲批給許可的日期		(DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期		(DD 日/MM 月/YYYY 年)
(d) Approved use/developm 已批給許可的用途/彰		
(e) Approval conditions 附帶條件		The permission does not have any approval condition 許可並沒有任何附帶條件 Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件: Reason(s) for non-compliance: 仍未履行的原因: (Please use separate sheets if the space above is insufficient) (如以上空間不足,請另頁說明)
(f) Renewal period sought 要求的續期期間		□ year(s) 年 □ month(s) 個月

7. Justifications 理由
The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary. 現請申請人提供申請理由及支持其申請的資料。如有需要,請另頁說明)。
Please refer to the Planning Statement.

And the same of th
8. Declaration 聲明
I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief. 本人謹此聲明,本人就這宗申請提交的資料,據本人所知及所信,均屬真實無誤。
I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站,供公眾免費瀏覽或下載。
Signature
Kennith Chan Pak Kan Managing Director
Name in Block LettersPosition (if applicable)姓名(請以正楷填寫)職位 (如適用)
Professional Qualification(s) Member 會員 / □ Fellow of 資深會員 專業資格 □ HKIP 香港規劃師學會 / □ HKIA 香港建築師學會 / □ HKIE 香港工程師學會 / □ HKILA 香港園境師學會 / □ HKIUD 香港城市設計學會 □ RPP 註冊專業規劃師 Others 其他 on behalf of 代表 PlanPlus Consultancy Limited
代表 PlanPlus Consultancy Limited ☑ Company 公司 / □ Organisation Name and Chop (if applicable) 機構名稱及蓋章(如適用)

Remark 備註

.....(DD/MM/YYYY 日/月/年)

15/1/2025

Date 日期

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下,有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance. 任何人在明知或故意的情況下,就這宗申請提出在任何要項上是虛假的陳述或資料,即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

- 1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:
 - 委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門,以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途:
 - (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and 處理這宗申請,包括公布這宗申請供公眾查閱,同時公布申請人的姓名供公眾查閱;以及
 - (b) facilitating communication between the applicant and the Secretary of the Board/Government departments. 方便申請人與委員會秘書及政府部門之間進行聯絡。
- 2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above. 申請人就這宗申請提供的個人資料,或亦會向其他人士披露,以作上述第 1 段提及的用途。
- 3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong. 根據《個人資料(私隱)條例》(第 486 章)的規定,申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料,應向委員會秘書提出有關要求,其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese <u>as far as possible</u>. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請<u>盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)</u>

1 中()人()()()()()()()()()()()()()()()()()()	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories
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Plan 圖則	Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2
Zoning 地帶	"Government, Institution or Community", "Open Space", 'Road'
Type of Application 申請類別	☑ Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期
甲胡類別	☑ Year(s) 年
	□ Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 □ Year(s) 年 □ Month(s) 月 □ Month(s)
Applied use/ development 申請用途/發展	Proposed Temporary Logistics Centre with Anciliary Office and Parking of Vehicles for a Period of 3 Years
, A	

(i)	Gross floor area		sq.	m 平方米	Plot I	Ratio 地積比率	
	and/or plot ratio 總樓面面積及/或 地積比率	Domestic 住用	□ About 約 □ Not more than 不多於			□About 約 □Not more than 不多於	
		Non-domestic 非住用	19,318	□ About 約 ☑ Not more than 不多於	0.72	☑About 約 □Not more than 不多於	
(ii)	No. of blocks 幢數						
		Non-domestic 非住用	10				
(iii)	Building height/No. of storeys 建築物高度/層數	Domestic 住用	m 米□ (Not more than 不多於			m 米 t more than 不多於)	
					□ (No	Storeys(s) 層 □ (Not more than 不多於)	
		Non-domestic 非住用		11	☑ (No	m 米 more than 不多於)	
			2 ☑(Not 1				
(iv)	Site coverage 上蓋面積			68.1	%	☑ About 約	
(v)	No. of parking spaces and loading /	Total no. of vehical	le parking spac	ces 停車位總數		12	
	private Car Parking Symptoms Motorcycle Parking Symptoms Motorcycle Parking Symptoms Motorcycle Parking Symptoms Medium Goods Vehicle Medium Goods Vehicle Others (Please Specify Container Traile		ng Spaces 電icle Parking S /ehicle Parkin hicle Parking pecify) 其他	單車車位 paces 輕型貨車泊車 g Spaces 中型貨車》 Spaces 重型貨車泊車	白車位	8	
			le loading/unlo	pading bays/lay-bys		4	
		Taxi Spaces 的出Coach Spaces 旅 Light Goods Veh Medium Goods V Heavy Goods Ve Others (Please Sp	遊巴車位 icle Spaces 軭 /ehicle Spaces hicle Spaces 重	。中型貨車位 重型貨車車位		4 (for both MGV & HGV)	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖		
Block plan(s) 樓宇位置圖		
Floor plan(s) 樓宇平面圖		
Sectional plan(s) 截視圖		<u></u>
Elevation(s) 立視圖		
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片		
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖		
Others (please specify) 其他(請註明) As-built drainage plan, fire service installation proposal		M
As-built dramage plan, life service installation proposal		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據		
Environmental assessment (noise, air and/or water pollutions)		
環境評估(噪音、空氣及/或水的污染)		_
Traffic impact assessment (on vehicles) 就車輛的交通影響評估		
Traffic impact assessment (on pedestrians) 就行人的交通影響評估		
Visual impact assessment 視覺影響評估		
Landscape impact assessment 景觀影響評估		
Tree Survey 樹木調査		
Geotechnical impact assessment 土力影響評估		
Drainage impact assessment 排水影響評估		
Sewerage impact assessment 排污影響評估 Risk Assessment 風險評估		
Others (please specify) 其他(請註明)		
Outers (pieuse speeny) 大地(明正为/		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant. 註: 上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異,城市規劃委員會概不負責。若有任何疑問,應查閱申請人提交的文件。



Date

13 January 2025

Our Ref. : PPC/PLG/10170/L001

Town Planning Board Secretariat, Town Planning Board, 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

Attention: The Secretary of the Town Planning Board

By Email & By Hand

Dear Sir/Madam,

Section 16 Planning Application for Proposed Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a period of 3 years at various lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

Pursuant to Section 16 of the Town Planning Ordinance (Cap. 131), we act on behalf of the Applicant and hereby submit a planning application to the Town Planning Board for proposed Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a period of 3 years at various lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories.

Enclosed herewith, please find the following documents for your review and further processing:

- i. A signed original copy of the completed Application Form (No. S16-III) together with Particulars of Applicant and Authorised Agent;
- ii. A copy of the notification given to the "current landowner(s)";
- iii. A Signed original copy of Authorisation Letter from the Applicant; and
- iv. 4 hard copies of the Planning Statement and Supplementary Information.

Should you have any queries, please do not hesitate to contact our Mr Wilson Law or the undersigned at

Yours faithfully,

For and on behalf of

PlanPlus Consultancy Limited

Kennith Chan

Managing Director

Encl

-As ahove

-The applicant



: 12 February 2025

Our Ref. : PPC/PLG/10170/L002

Town Planning Board Secretariat, Town Planning Board, 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

Attention: The Secretary of the Town Planning Board

By Email & By Hand

Dear Sir/Madam,

Section 16 Planning Application for Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories (Planning Application No. A/HSK/552)

As requested by the Secretary of the Town Planning Board, we are writing to submit FOUR (4) copies of the updated Planning Statement for your processing.

The soft copy of the updated Planning Statement shall be uploaded to the Town Planning Board's Electronic Planning Application Submission System.

Should you have any queries, please do not hesitate to contact Ms. Natalie Wong (Tel: undersigned (Tel:

Yours faithfully, For and on behalf of

PlanPlus Consultancy Limited

Kennith Chan

Managing Director

Encl

-As above -The applicant



Planning Statement

Prepared by

Planning Consultant : PlanPlus Consultancy Limited

January 2025

Reference : PPC-PLG-10170 Report : Version 1.1 New Territories
Planning Statement

EXECUTIVE SUMMARY

Ref.: PPC-PLG-10170

Report: Version 1.1

(In case of discrepancy between English and Chinese versions, English shall prevail)

This Planning Statement is submitted to the Town Planning Board ("the Board") in support of a Section 16 planning application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years ("the Development") at Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and adjoining Government Land, Ha Tsuen, Yuen Long, New Territories ("the Application Site").

The Application Site straddles over the "Government, Institution or Community" ("G/IC") and "Open Space" ("O") zones and an area shown as 'Road' on the Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2 ("the OZP"). According to the covering Notes of the OZP, temporary use or development of any land or buildings not exceeding a period of three years within the zones requires planning permission from the Board notwithstanding that the use or development is not provided for under the Notes of the OZP. In any area shown as 'Road' on the OZP, all uses or developments require planning permission from the Board. As such, this planning application is submitted for the Development on a temporary basis of maximum 3 years.

The Application Site has a total site area of about 26,983.8m², including approximately 170m² of Government Land (about 0.63% of the Application Site). The Application Site can be accessed via Ping Ha Road through a local track. The Development has a maximum building height of not more than 11m, a total Gross Floor Area ("**GFA**") of not more than 19,318 m², plot ratio about 0.72 and a total of 10 structures, including 2 logistics centres with ancillary offices and facilities that do not exceed 11m in height. A total of 16 vehicle parking and loading/unloading spaces are provided.

The previous application for the Site (No. A/HSK/319) was revoked due to issues with the implementation of the Fire Services Installations Proposal, specifically related to water connection problems. The non-compliance issue has been fully resolved in the current application, with all necessary measures implemented.

The Development is fully supported by the planning justifications below:

- The Development will not jeopardise the long-term development and planning of Hung Shui Kiu New Development Area;
- The Development is not incompatible with the surrounding uses;
- There is genuine need for logistics centre in the area;
- Approval of the Development will not set an undesiable precedent;
- The Development is generally aligend with the previous approved application; and
- The current application resolves the non-compliance issues identified in the revoked application.

Based on the above justifications, we sincerely hope that the Board can give sympathetic consideration to this Application.

Planning Statement

內容摘要(如內文與其英文版本有差異,則以英文版本為準)

本規劃申請謹代表申請人‧根據《城市規劃條例》第 16 條‧懇請城市規劃委員會(下稱「城規會」) 批准位於新界元朗廈村丈量約份第 125 約地段第 51 號餘段(部分)、第 57 號(部分)、第 58 號(部分)、第 60 號、第 61 號、第 62 號、第 63 號(部分)、第 64 號、第 65 號(部分)、第 66 號(部分)、第 67 號(部分)、第 69 號(部分)、第 70 號(部分)、第 71 號(部分)、第 144 號(部分)、第 145 號(部分)、第 146 號(部分)、第 147 號餘段(部分)及第 148 號餘段(部分)和丈量約份第 129 約地段第 3212 號餘段(部分)、第 3220 號(部分)、第 3221 號 A 分段(部分)、第 3221 號 A 分段(部分)、第 3221 號 A 分段(部分)、第 3225 號 A 分段(部分)、第 3225 號 B 分段(部分)、第 3226 號、第 3227 號、第 3228 號、第 3229 號、第 3230 號、第 3231 號、第 3232 號、第 3234 號(部分)及第 3235 號(部分)及毗鄰的政府土地作臨時物流中心連附屬辦公室及停泊車輛用途(為期三年)(下稱「此發展」)。

申請地點位於《洪水橋及厦村分區計劃大綱核准圖編號 S/HSK/2》(下稱「核准圖」)的「政府、機構或社區」、「休憩用地」以及在核准圖上顯示為「道路」的地帶之內。根據核准圖的注釋,任何土地或建築物的臨時用途或發展,即使在核准圖的註釋中沒有提供,如為期不超過三年,可向城市規劃委員會申請規劃許可。註釋亦列明在核准圖上顯示為「道路」的地方,所有其他用途或發展必須向城市規劃委員會申請許可。申請人遂向城規會遞交是次規劃申請。

申請地點地盤面積約 26,983.8 平方米·包括約 170 平方米(佔總地盤面積約 0.63%)的政府土地·可經一條區內通道通往屏廈路。此發展將設置十個(高度不超過十一米)構築物·包括 2 個物流中心及附屬設施·總樓面面積不多於 19,318 平方米·其地積比率約為 0.72。此發展將提供十六個停車位及上落客貨車車位。

申請地點的前次申請(A/HSK/319)因消防供水問題‧導致規劃附帶條件中的消防裝置建議未能落實‧而被撤銷。然而‧前次申請中的不合規問題已在本次申請中完全解決‧並已採取所有必要的補救措施。

此發展有充分的理據支持,包括以下規劃考量因素:

- 此發展項目不會妨礙洪水橋新發展區的長遠發展和規劃;
- 此發展的用途與附近發展相容;
- 該區有設立物流中心的需要;
- 先前已批准的同類型申請不會造成不良的先例;
- 此發展基本與之前已批准的申請一致;以及
- 本次申請已解決前次申請中的不合規的問題。

鑑於此發展符合上述的規劃考量因素,申請人懇請城規會委員給予考慮並批准是次規劃申請。

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No. A/HSK/511

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Planning Statement

1. INTRODUCTION

1.1 **Background & Purpose**

1.1.1 We have been commissioned by the Applicant to prepare and submit, on their behalf, this planning application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years ("the Development") at Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and adjoining Government Land, Ha Tsuen, Yuen Long, New Territories ("the Application Site") under Section 16 of the Town Planning Ordinance ("the Ordinance").

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- 1.1.2 The Application Site falls within an area zoned as "Government, Institution or Community" ("G/IC"), "Open Space" ("O") and an area shown as 'Road' under the Approved Hung Shui Kiu and Ha Tsuen Outline Zoning Plan No. S/HSK/2 ("the OZP"). According to the covering Notes of the OZP, temporary use or development of any land or buildings not exceeding a period of three years within the zones requires planning permission from the Board notwithstanding that the use or development is not provided for under the Notes of the OZP. In any area shown as 'Road' on the OZP, all uses or developments require planning permission from the Board. As such, this planning application is submitted for the Development on a temporary basis of maximum 3 years.
- 1.1.3 The purpose of this planning application is to seek approval from the Town Planning Board ("the Board") on behalf of the Applicant for the establishment of the Development for a Period of 3 Years at the Application Site.

1.2 **Structure of the Planning Statement**

- 1.2.1 In support of this planning application, this Planning Statement is divided into six chapters for the consideration of the Board members.
- 1.2.2 Chapter 1 is the above introduction outlining the purpose of the current application. Chapter 2 gives the background details of the Application Site in terms of the current land-use characteristics and the surrounding developments. Chapter 3 provides an overview of the planning context of the Application Site. **Chapter 4** explains the development proposal. Justifications for approval of the application are provided in Chapter 5, and the planning submission is summarised in Chapter 6.

2. THE APPLICATION SITE AND ITS SURROUNDINGS

2.1 Current Condition of the Application Site

Planning Statement

2.1.1 The Application Site comprises 37 private lots including Lot Nos. 51 RP (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65 (Part), 66 (Part), 67 (Part), 69 (Part), 70 (Part), 71 (Part), 144 (Part), 145 (Part), 146 (Part), 147 RP (Part) and 148 RP (Part) in D.D.125; Lot Nos. 3212 RP (Part), 3220 (Part), 3221 S.A (Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D.129, and adjoining Government Land in Ha Tsuen, Yuen Long, New Territories. The Location of the Application Site is illustrated in Figure 1 below. The Application Site on Lot Index Plan is also provided in Annex 1.



Figure 1 Location Plan (for indicative purposes only)

2.1.2 The Application Site covers a total land area of about 26,983.8m². It is accessible from Ping Ha Road via a local track and the adjoining site. The Application Site is currently mostly paved and fenced off. It is being used as a logistics centre with ancillary office and parking of vehicles.

2.2 Surrounding Context

2.2.1 To the immediate north of the Application Site is a piece of land used for parking of heavy vehicles and further north is Fung Kong Tsuen Road. To its immediate west are some parking of vehicles and an open storage yard of containers and trailers. To the southwest is a temporary logistics centre, and further west is Fung Kong Tsuen Village. To its immediate east is another temporary logistics centre and an open storage yard for containers, while to the northeast are open storage yard of construction materials, workshop, warehouse, and storage facilities. To the south and southwest are temporary warehouse, open storage for containers, and a logistics centre.

3. PLANNING CONTEXT

Planning Statement

3.1 Statutory Planning Context

3.1.1 The Application Site straddles over the "G/IC" and "O" zones as well as an area shown as 'Road' (Planned Road D1) under the OZP (**Figure 2** refers). The current 'logistics centre' does not fall under either Column 1 or Column 2 use within the "G/IC" and "O" zones. However, according to the covering Notes of the OZP, temporary use or development of any land or buildings not exceeding a period of three years within the zones requires planning permission from the Board notwithstanding that the use or development is not provided for under the Notes of the OZP. Additionally, in any area shown as 'Road' on the OZP, all uses or developments require planning permission from the Board. Therefore, this application is submitted.



Figure 2 Extract of the OZP (Source: Statutory Planning Portal)

3.2 Long-Term Planning Considerations

3.2.1 The Application Site falls entirely within the boundary of the Hung Shui Kiu New Development Area ("HSK NDA") which will be implemented in phrases. Detailed design has commenced in 2017, with construction works starting in 2020, and is scheduled to be completed in phrases. The first population intake is expected in 2024, and the entire NDA is projected to be completed by 2038¹. According to the development schedule of HSK NDA, the development of the Application Site is planned to take place under the Remaining Phase,

¹ Planning Department (2016). Hung Shui Kiu New Development Area Planning and Engineering Study: Information Digest

which is the final stage of the HSK NDA development project and is subjected to detailed design and implementation programme². Therefore, the temporary nature of the Development will not jeopardise the long-term planning and implementation of HSK NDA.

3.3 Previously Approved Applications in the Application Site

Planning Statement

3.3.1 There are 5 previously approved planning applications for similar temporary logistics or warehouse uses covered entire/part of the Application Site and under the current and previous OZPs. The details are shown below in **Table 1**.

Table 1: Previous Planning Applications within the Application Site

No.	Application No.	Proposed Uses	Decision by the Board
1	A/HSK/319	Temporary Logistics Centre with Ancillary Office and	Approved with condition(s)
		Parking of Vehicle for a Period of 3 Years	on a temporary basis on
			26.11.2021
2	A/HSK/43	Temporary Logistics Centre with Ancillary Office and	Approved with condition(s)
		Parking of Vehicle for a Period of 3 Years	on a temporary basis on
			9.2.2018
3	A/YL-HT/971	Temporary warehouse for Storage of Machinery, Spare	Approved with condition(s)
		Parts and Construction Material with Ancillary Office	on a temporary basis on
		and Parking of Vehicle for a Period of 3 Years	4.9.2015
4	A/YL-HT/916	Temporary warehouse for Storage of Machinery, Spare	Approved with condition(s)
		Parts and Construction Material with Ancillary Office	on a temporary basis on
		and Parking of Vehicle for a Period of 3 Years	26.9.2014
5	A/YL-HT/881	Temporary warehouse for Storage of Machinery, Spare	Approved with condition(s)
		Parts and Construction Material with Ancillary Office	on a temporary basis on
		and Parking of Vehicle for a Period of 3 Years	21.2.2014

3.3.2 The last approved application on the Application Site (No. A/HSK/319) was approved mainly due to its temporary nature not jeopardising the long-term development of the Application Site and the proposed use (same as the current application) is not incompatible with the surrounding land use. Apart from the slight increase in Gross Floor Area, Site Coverage and Number of Structures, the development parameters and layouts generally align with the previously approved planning application No. A/HSK/319 (Table 3 and Annex 5 refer). However, the planning permission (No. A/HSK/319) was later revoked on 29.12.2023 solely due the non-compliance with the implementation of the acceptable fire service installations proposal.

3.4 Similar Approved Applications on the Previous and Current OZP

3.4.1 There are over 31 planning applications (Nos. A/HSK/5, 7, 9, 50, 59, 63, 94, 105, 110, 160, 163, 216, 254, 283, 289, 305, 312, 321, 338, 356, 389, 391, 413, 439, 450, 454, 481, 501, 510, 520, 522 etc.) for similar temporary logistics uses within the same "G/IC" and/or "O" zones and/or areas shown as 'Road' in the same OZP approved by the Board in the past 5 years. The main justifications include the temporary nature of the proposed use would not frustrate the planning intention of the land use zonings and their proposed development are considered not incompatible with their surroundings. The planning circumstance of the current Application is similar to those approved applications. Approval of the Application would be in line with the Committee's previous decisions, hence favourable consideration is sought.

² Development Bureau (2017). Hung Shui Kiu New Development Area Development Schedule

4. THE DEVELOPMENT PROPOSAL

4.1 Development Scheme

4.1.1 The Development, as shown in the Layout Plan in **Annex 2**, comprises a total of 10 structures for logistics centres and other ancillary uses (i.e. offices, temperature-controlled rooms, toilets, pump room, guard room, transformer room and water tanks etc.). The structures will have a maximum building height of not more than 11m. The Development will provide a total of 16 vehicle parking and loading/unloading spaces, including 4 parking spaces for private cars, 8 parking spaces for container trailer, and 4 loading/unloading spaces for heavy good vehicle ("HGV") or medium good vehicle ("MGV"). The development parameters of the Development are summarised in **Table 2** below.

Table 2: Major Development Parameters

lable 2: Iviajor Bovolopinont i arameters	
Site Area	About 26,983.8 m ²
	(including about 170 m ² of Government Land)
No. of Structures	10
Total Gross Floor Area ("GFA")	Not more than 19,318 m ²
Site Coverage ("SC")	About 68.1%
Maximum Building Height	Not more than 11m
No. of Parking Spaces	12
Private Car (2.5 m x 5.0 m)	4
Container Trailer (3.5 m x 16.0 m)	8
No. of Loading/Unloading Bay for HGVs & MGVs	4
(3.5 m x 11.0 m)	4

- 4.1.2 The Application Site is currently fenced off with metal panels, which will be kept in place and maintained upon approval of the Development.
- 4.1.3 The Development is considered to be the same as the previously approved planning application (No. A/HSK/319), with a slight increase in the number of structures, GFA and SC. **Table 3** below summarised the comparison between the previously approved application No. A/HSK/319 and the current application.

Table 3: Comparison Table of Parameters with the Last Approved Application No. A/HSK/319

Major Development Parameters	Last Approved Application	Current Application (b)	Differences
	(No. A/HSK/319) (a)	.,	(b) – (a)
Applied Use	Temporary logistics Centr	re with ancillary office and	Same
	parking of vehicles for a period of 3 years		
Site Area	About 26	,983.8 m ²	Same
	(including about 170 m	n ² of Government Land)	
No. of Structures	8	10	+ 2
		(New structures:	
		Dynamotor and car-park	
		cover)	
Total Gross Floor Area ("GFA")	Not more than 18,460 m ²	Not more than 19,318 m ²	+858 m ²
Site Coverage ("SC")	Not more than 68%	About 68.1%	+0.1%
Height of Structures	1 to 2 storeys (2.2 m – 11 m high)		Same
No. of Parking Spaces	12		Same
Private Car (2.5 m x 5.0 m)	4		
Container Trailer (3.5 m x 16.0 m)	8		
No. of Loading/Unloading Bay for	4		Same
MGVs / HGVs			
Operation Hours	Mondays to Saturdays: 7:00am to 9:00pm. No operation		Same
	on Sundays and public holidays.		

4.2 Operation Arrangement

Planning Statement

4.2.1 The operation hours for the Development will be from 7:00 am to 9:00 pm, Mondays to Saturdays. No operation will take place on Sundays and on public holidays. The Development is exclusively for logistics and vehicle parking purposes. No activities such as dismantling, maintenance, repair, cleaning, painting-spraying or workshop-related works will be conducted within the Application Site. Noise impact is not anticipated as the current use is within enclosed structures. The latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' will be followed to ensure the best practices are adhered to.

4.3 Landscape Arrangement

4.3.1 There are existing trees along the periphery of the Application Site boundary, which will be retained and maintained properly to create a green buffer in the surrounding area. Wheel stop for tree protection has been proposed along the planted trees to the eastern boundary and will be implemented upon approval of this application (Annex 3 refers). It is unlikely that additional tree planting will be proposed, as the Application Site is intended for future implementation of the HSK NDA. Any new planted trees would likely to be removed. The proposed Landscape Plan remains very much the same as the last approved application No. A/HSK/319 (Annex 5 refers). Therefore, the Development is unlikely to result in any changes in the landscape.

4.4 Traffic Arrangements

4.4.1 The Development includes 4 covered private car parking spaces. The ingress/egress with a width of 10m will be located at the southeast of the Application Site, adjacent to the local track leading from Ping Ha Road. Vehicles will access the Application Site via the local track and adjacent approved temporary uses. The estimated traffic generation is shown in **Table 4** below, which is the same as the latest approved planning application No. A/HSK/319.

Table 4: Estimated Traffic Generation and Attraction

Type of Vehicles	Avg. Traffic Generation Trate (pcu/hr)	Avg. Traffic Attraction Rate (pcu/hr)	Traffic Generation Rate at Peak Hour (pcu/hr)	Traffic Attraction Rate at Peak Hours (pcu/hr)
Private Car	0.29	0.29	2	1
Goods Vehicle including Heavy Goods Vehicle	0.57	0.57	6	4
Container Trailer/Tractor	1.71	1.71	9	9
Total	2.57	2.57	17	14

Note: Morning peak is from 7am to 9am; and afternoon peak is from 5pm to 7pm. The number of traffic attraction and generation of the Development are 7am to 9pm from Mondays to Saturdays (excluding Sundays and public holidays).

4.4.2 Sufficient manoeuvring space (a 33m-diameter manoeuvring circle) and vehicle parking spaces, as specified in **Table 2**, will be provided within the Application Site to prevent vehicle queues outside of the Application Site (**Annex 2** refers). Since the internal road and parking layout, number of parking spaces, and the estimated traffic generation and attraction remain the same as the previously approved application No. A/HSK/319 (**Annex 5** and **Table 4** refer), there will be no adverse traffic impact resulting from the Development.

Planning Statement

4.5 Drainage Arrangement

4.5.1 The as-built drainage facilities within the Application Site are shown in **Annex 4**. Since the as-built drainage plan and its existing conditions remain unchanged in comparison with the previously approved application No. A/HSK/319 (**Annex 5** refers), and with the acceptance of the condition record of the existing drainage facilities by Drainage Services Department ("DSD") for the application No. A/HSK/319 on 21.4.2022 (**Annex 6** refers), there would be no drainage impact resulting from the Development. Upon approval of this application, photo records of the as-built drainage facilities will be submitted again to the DSD if a relevant approval condition is imposed.

Ref.: PPC-PLG-10170

Report: Version 1.1

4.6 Fire Safety Arrangement

- 4.6.1 Fire services facilities including hose reels, automatic sprinkler systems, fire alarm systems, fire extinguishers and emergency lighting, have been proposed. For detailed information regarding the fire services installation proposal ("FSI Proposal"), please refer to Annex 7.
- 4.6.2 It is worth noting that the currently submitted FSI Proposal was previously approved by the Fire Services Department ("FSD") under Planning Application No. A/HSK/511 (Annex 8). Although Application No. A/HSK/511 was withdrawn due to issues related to water supply for firefighting, the approval of the FSI Proposal itself shall still be considered valid, as the proposed schemes for the current submission and the withdrawn application are identical.
- 4.6.3 To ensure the full functionality and implementation of the FSI proposal, secondary water supplies must be connected to town mains. Relevant applications have been submitted to the Water Supplies Department ("WSD") and approved (Annex 9). A permanent freshwater connection for fire service purposes has already been made to the Site, as confirmed by the WSD (Annex 10).

Planning Statement

5. PLANNING JUSTIFICATIONS

5.1 The Development Will Not Jeopardising the Long-Term Development and Planning of Hung Shui Kiu New Development Area

Ref.: PPC-PLG-10170

Report: Version 1.1

5.1.1 According to the *Hung Shui Kiu New Development Area Planning and Engineering Study*, the Application Site is part of the Remaining Phase Development, which represents the final stage of the HSK NDA Development Project Programme. Land resumption for the Second Phase Development of the HSK NDA has just recently commenced, with the first batch of resumption notices issued at the end of May 2024. Therefore, the planning intention of the "G/IC" and "O" zones, as well as the Planned Road D1, is not anticipated to be realised in the next three years. Considering the temporary nature of the Development, the approval of this planning application will not pre-empt or jeopardise the long-term development of the HSK NDA.

5.2 The Development is Not incompatible with the Surrounding Land Uses

- 5.2.1 The surroundings areas are predominately temporary structures that are used for open storage, logistics yard, container depots and parking of container vehicles to the north, east and south of the Application Site. These temporary uses extend beyond Fung Kong Tsuen Road and Ping Ha Road to the further north and east of the Application Site. The Development is deemed compatible with the existing land uses in the vicinity.
- 5.2.2 Since none of the structures in the Development will exceed a building height of 11m, the scale of the development is considered not incompatible with the surroundings.

5.3 There is Genuine Need for Logistics Centre in the Area

5.3.1 The Application Site is located adjacent to Shenzhen Bay Bridge and is surrounded by open storages and logistics facilities. As per the OZP, the western part of the HSK NDA is designated as a key economic growth area for Hong Kong, known as the "Logistic, Enterprise and Technology Quarter" ("the Quarter"). The Quarter is strategically positioned and connected to the airport, different parts of Hong Kong and mainland China through planned and existing highways. The Application is in close proximity to the planned area for the 'Logistics Facility' within the Quarter. The Application Site can be temporarily utilitised to accommodate logistics activities prior to the completion of the Quarter. The Development allows for the provision of logistics facilities without compromising the long-term planning intention of the Application Site.

5.4 Approval of the Development will not set an Undesirable Precedent

5.4.1 There have been five previous applications for similar temporary logistics uses covering the Application Site, and over 25 similar planning applications for similar temporary uses within the same "G/IC", "O" zones and areas shown as 'Road' in the past 5 years, on the previous and current OZP, all of which were approved by the Board. These approved applications demonstrate that the current Application is consistent with the Board's previous decisions and will not set an undesirable precedent.

5.5 The Development is generally Aligned with the Previously Approved Application

5.5.1 The Development will not generate significant traffic, as indicated in the estimated traffic generation in **para**.

4.5. Internal transport provisions, including 12 vehicle parking spaces (8 for container trailer and 4 for

New Territories Planning Statement

> private cars), 4 loading/unloading spaces for both MGV and HGV, and a 33m manoeuvring circle, are deemed sufficient and will prevent any vehicle queues of vehicles outside of the Application Site, which is consistent with the previously approved application No. A/HSK/319.

Ref.: PPC-PLG-10170

Report: Version 1.1

5.5.2 The existing conditions of the Application Site will be preserved as much as possible to minimise any adverse impacts. Existing trees will be retained and maintained properly to create a green buffer along the site boundary and provide screening for the Development. Proposed wheel stops will be installed to protect the trees alongside the internal access. The enclosed structure and non-polluting mode of operation will help minimise environmental and noise impact. The latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' will be followed to ensure adherence to best practices.

5.6 The Current Application Resolves the Non-Compliance Issues Identified in the Revoked Application

- 5.6.1 The previous application for the Site (No. A/HSK/319) was revoked due to non-compliance with approval condition (g), which concerns with the implementation of FSI Proposal caused by issues with connecting water. Under the current application, this issue has been fully resolved with all necessary measures implemented. As noted in para. 3.3.2, there are no significant differences between the current application and the previous application (No. A/HSK/319), nor are there any anticipated changes that would result in adverse impacts (para. 5.5 refers).
- 5.6.2 The current application, however, addresses the shortcomings of the previous approved application and demonstrates the Applicant's genuine effort to comply with all relevant approval conditions (i.e., the implementation of the FSI proposal). Sympathetic consideration is therefore invited from the Board for the current application.

6. CONCLUSION

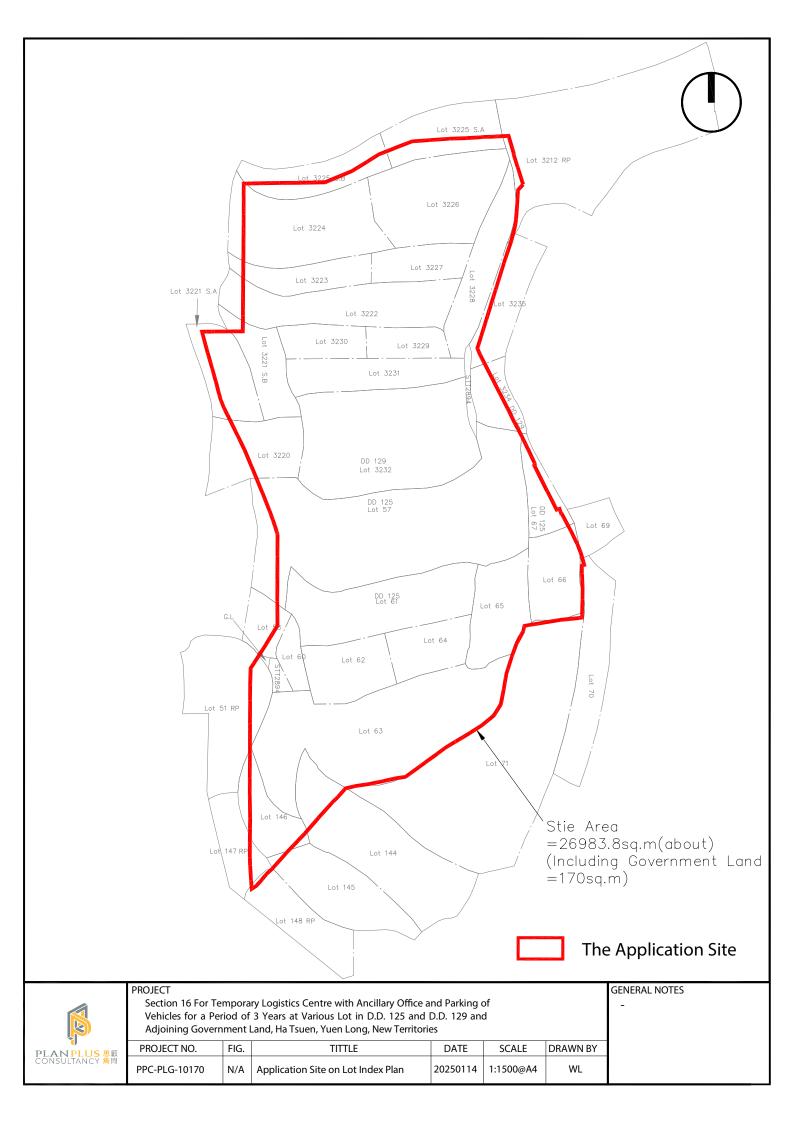
- 6.1.1 This Planning Statement serves to provide information and planning justifications in support of the Development. As detailed in the previous chapters, the Development is well justified on the grounds that:
 - The Development will not jeopardising the long-term development and planning of Hung Shui Kiu New Development Area;
 - The Development is not incompatible with the surrounding land uses;
 - There is genuine need for logistics centre in the area;
 - Approval of the Development will not set an undesirable precedent;
 - The Development is generally aligend with the previous approved application; and
 - The current application resolves the non-compliance issues identified in the revoked application.
- 6.1.2 To conclude, we sincerely wish that the Board can give sympathetic consideration to this Application.

January 2025 PlanPlus Consultancy Limited

Ref.: PPC-PLG-10170

Annex 1

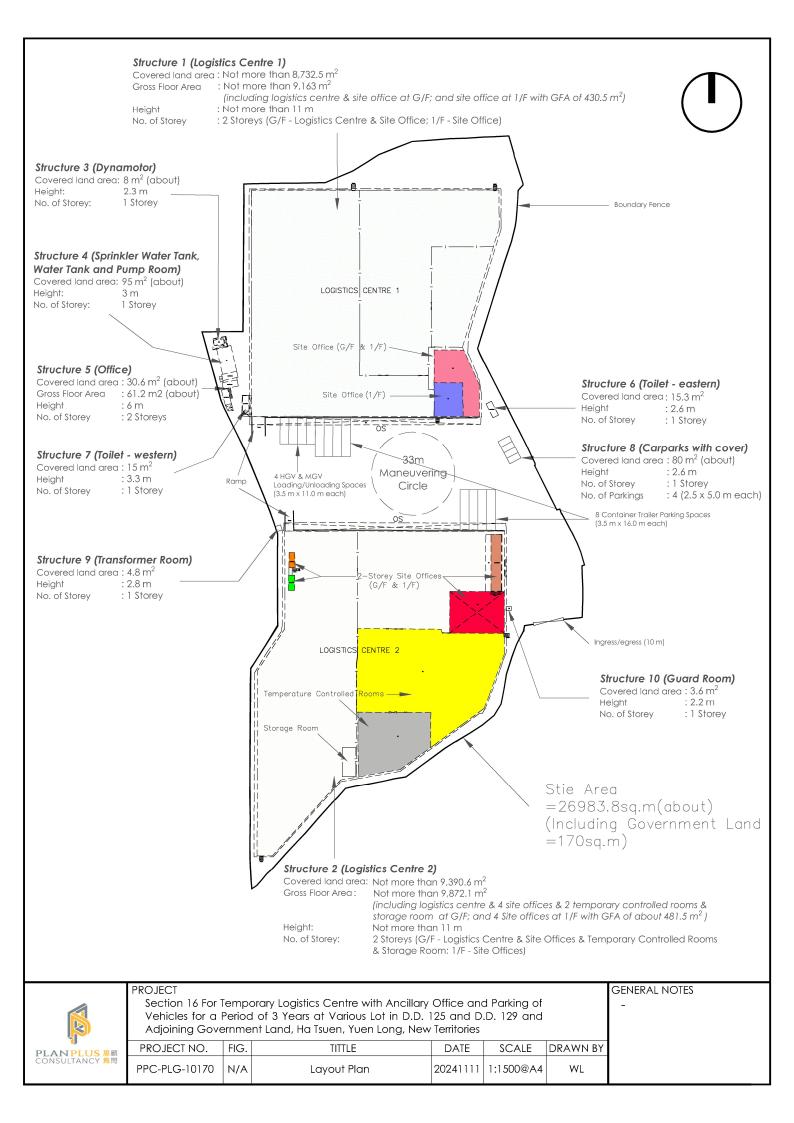
Application Site on Lot Index Plan



Ref.: PPC-PLG-10170

Annex 2

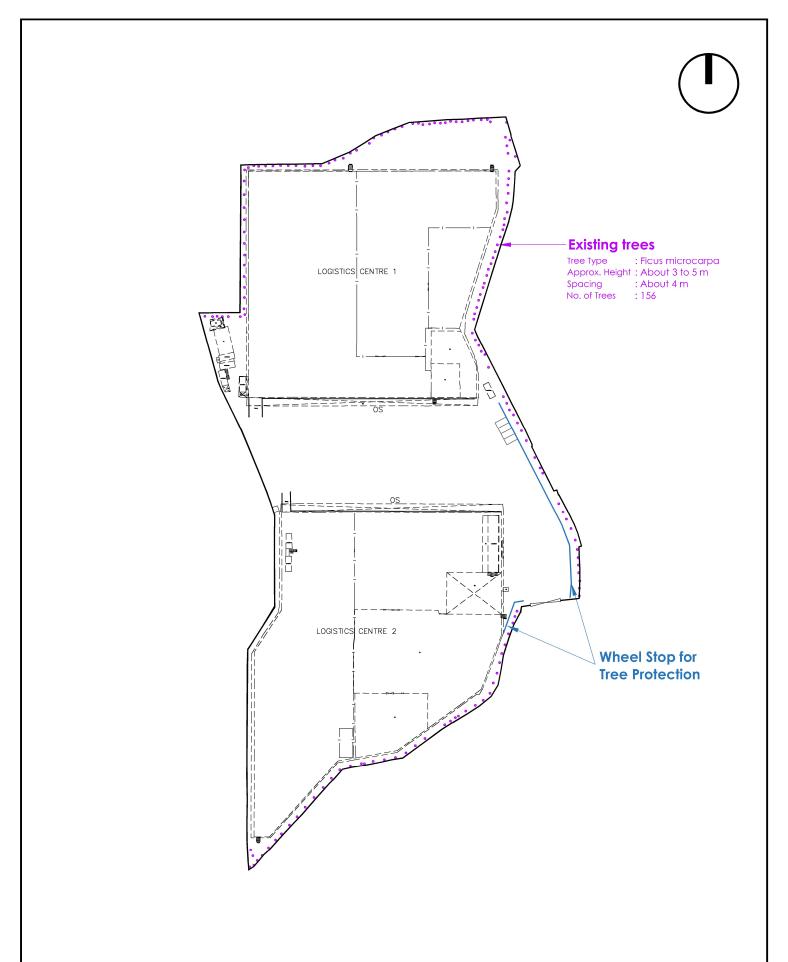
Layout Plan



Ref.: PPC-PLG-10170

Annex 3

Landscape Plan





PROJECT

Section 16 For Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lot in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

PROJECT NO.	FIG.	TITTLE	DATE	SCALE	DRAWN BY
PPC-PLG-10170	N/A	Landscape Plan	20241111	1:1500@A4	WL

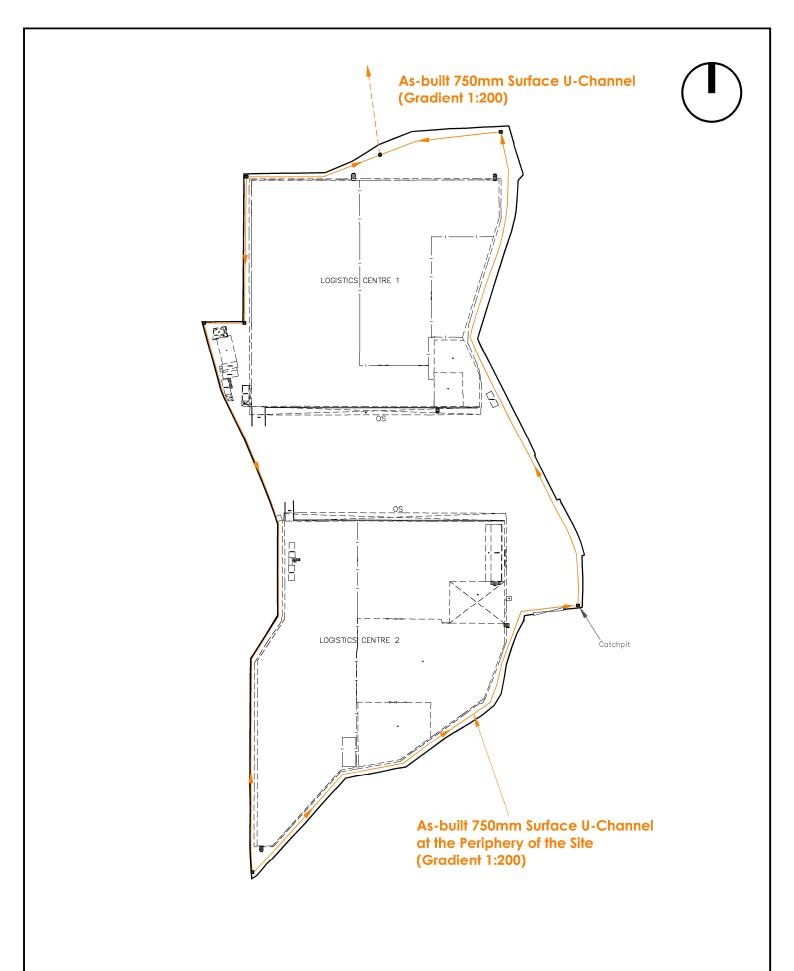
GENERAL NOTES

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Ref.: PPC-PLG-10170

Annex 4

As-built Drainage Plan



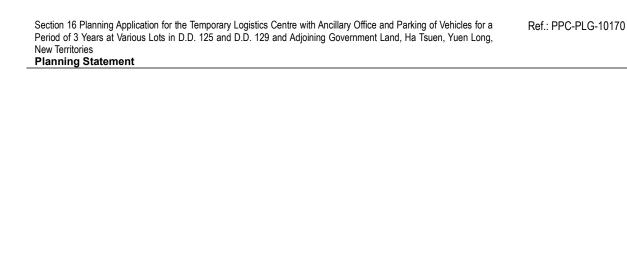


PROJECT

Section 16 For Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lot in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

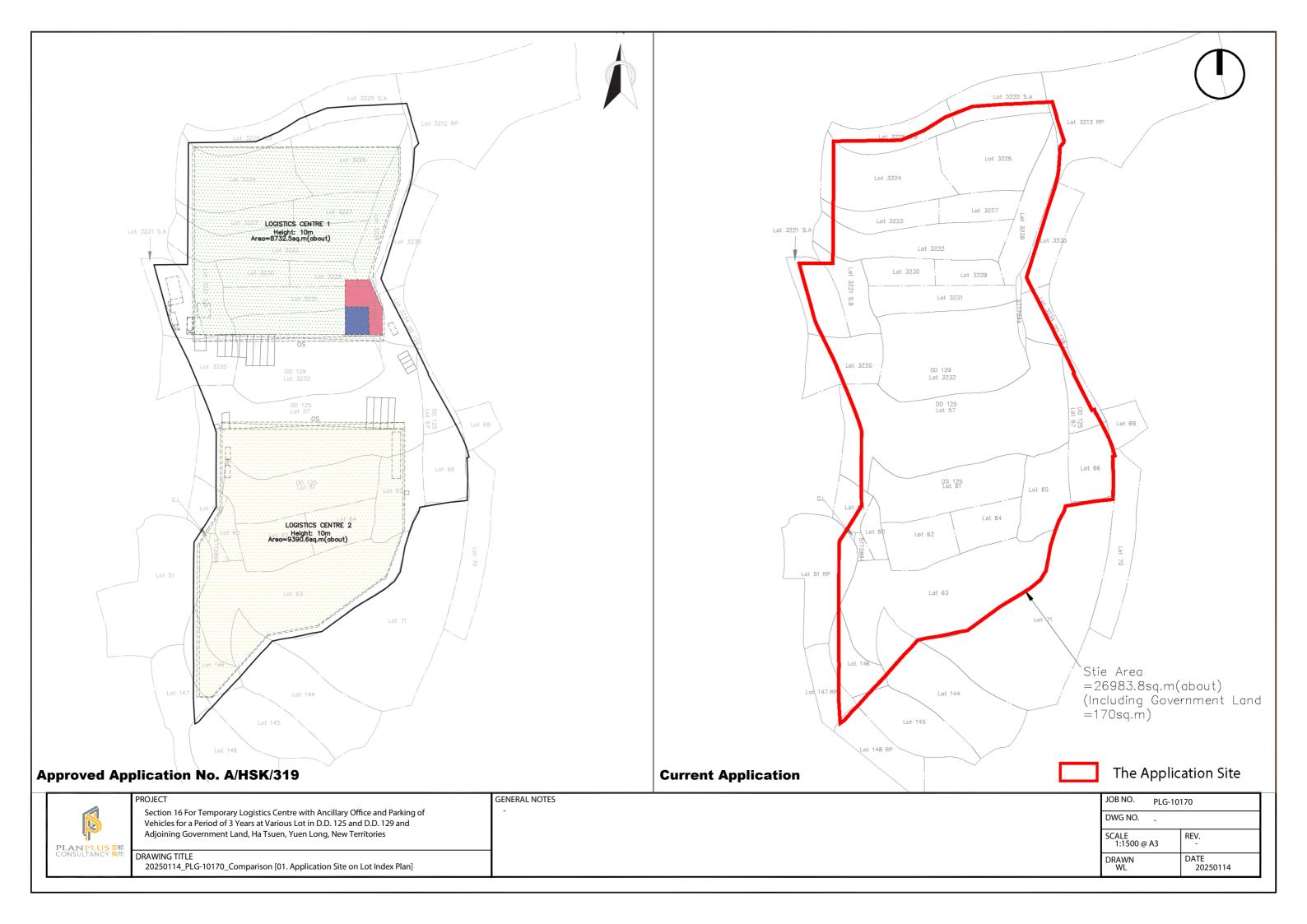
PROJECT NO.	FIG.	TITTLE	DATE	SCALE	DRAWN BY
PPC-PLG-10170	N/A	As-built Drainage Plan	20241111	1:1500@A4	WL

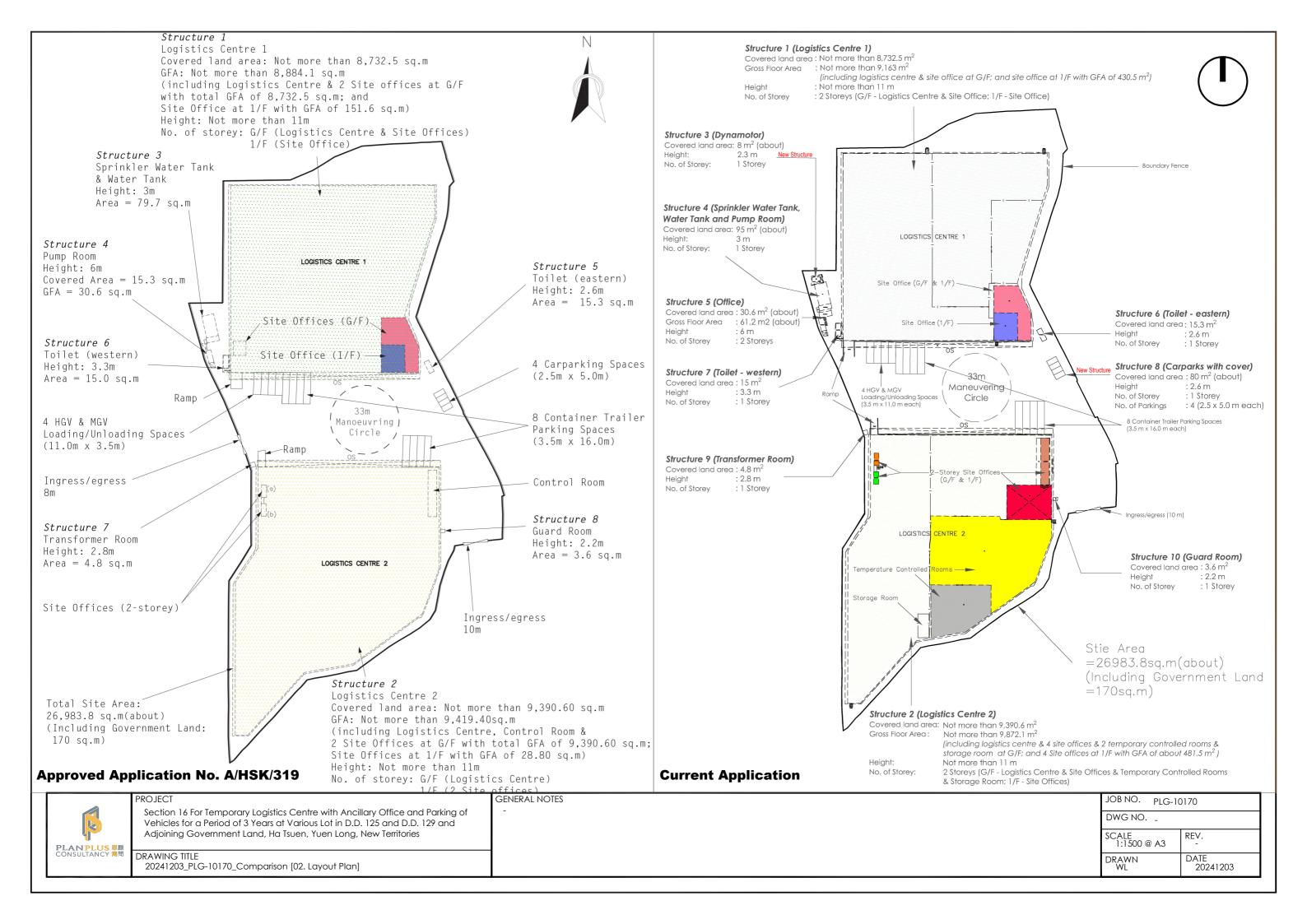
GENERAL NOTES

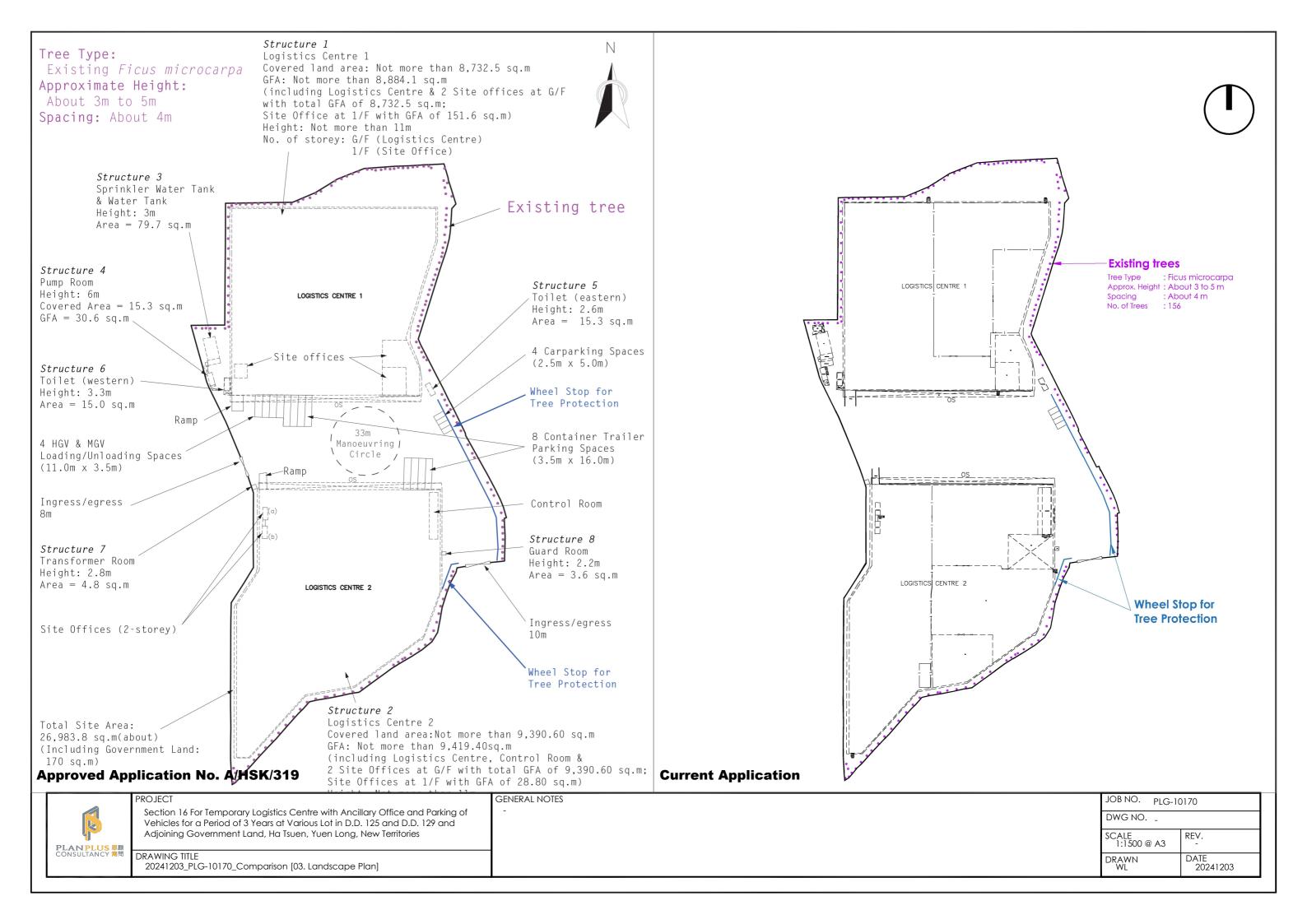


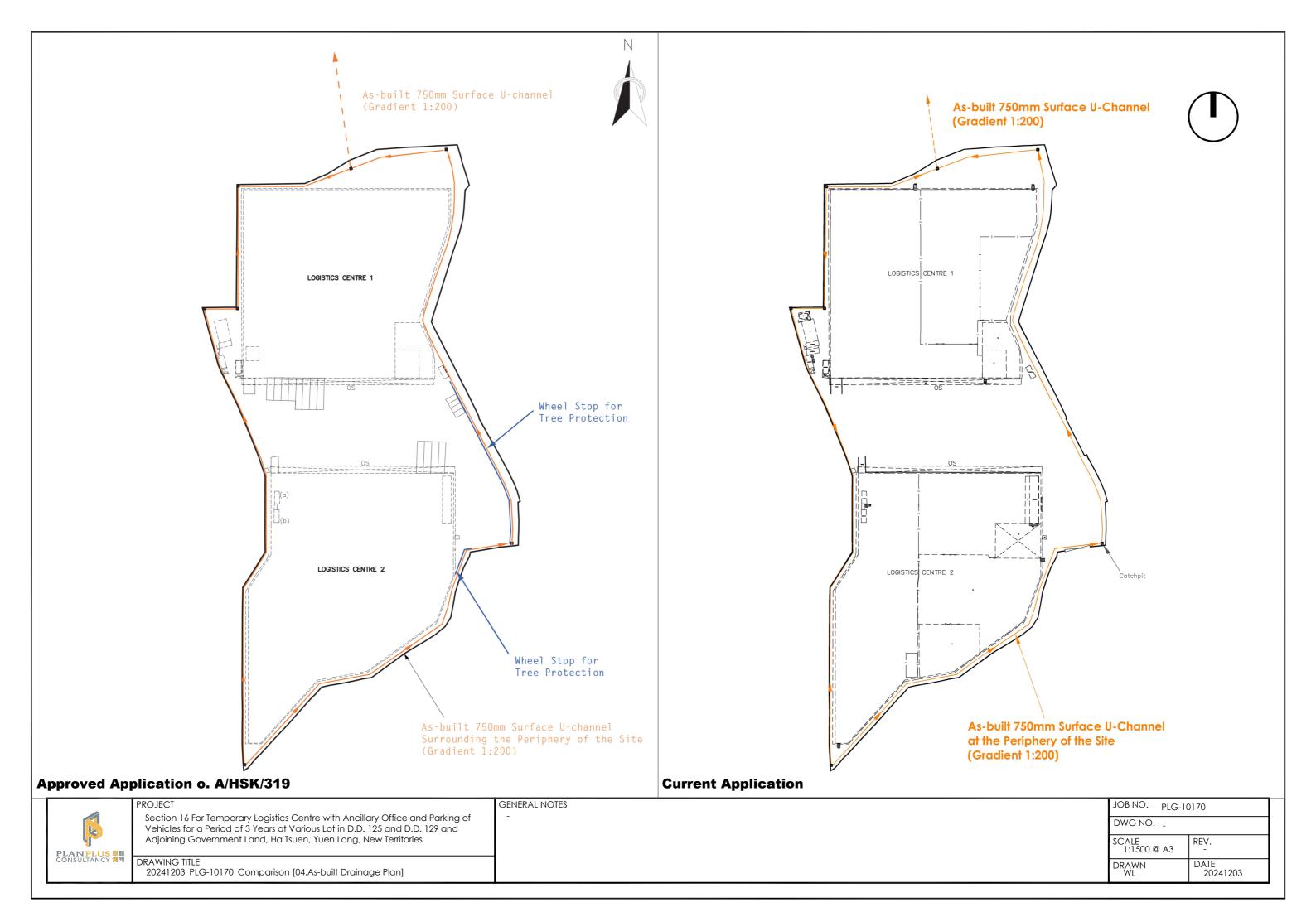
Annex 5

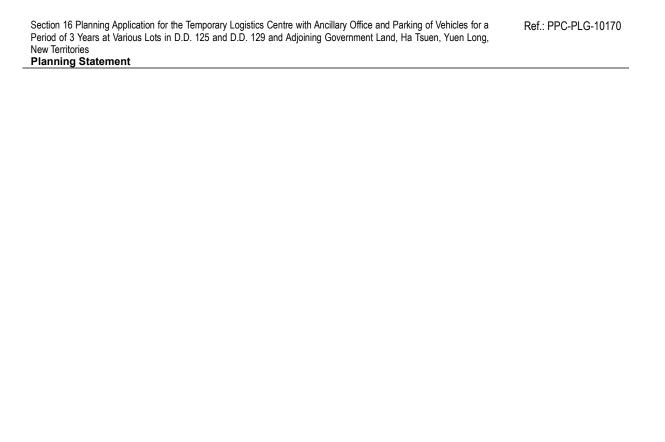
Comparison Drawings with the Previously Approved Application No. A/HSK/319











Annex 6

Compliance with Approval Condition (f) for the Previously Approved Application No. A/HSK/319

城市規劃委員會

香港北角渣華道三百三十三號 北角政府合署十五樓 **TOWN PLANNING BOARD**

15/F., North Point Government Offices 333 Java Road, North Point, Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

By Post & Fax (2329 8422)

電 話 Tel: 2231 4810

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/HSK/319

10 December 2021

PlanPlus Consultancy Ltd.

(Attn.: Kennith Chan)

Dear Sir/Madam,

Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years in "Government, Institution or Community", "Open Space" Zones and area shown as 'Road', Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long

I refer to my letter to you dated 30.9.2021.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid on a temporary basis for a period of 3 years until 26.11.2024 and is subject to the following conditions:

- (a) no operation from 9:00 p.m. to 7:00 a.m., as proposed by you, is allowed on the site during the planning approval period;
- (b) no operation on Sundays and public holidays, as proposed by you, is allowed on the site during the planning approval period;
- (c) no dismantling, maintenance, repairing, cleaning, paint-spraying or workshop-related activity, as proposed by you, is allowed on the site at any time during the planning approval period;
- (d) the existing drainage facilities on the site shall be maintained at all times during the planning approval period;
- (e) the existing trees on the site shall be retained and maintained at all times during the planning approval period;
- (f) the submission of a condition record of the existing drainage facilities on the site within 3 months from the date of the planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 26.2.2022;

屯門及元朗西規劃處 香港新界沙田上禾鲞路1號 沙田政府合署 14 樓



By Fax (2329 8422) & Post

Planning Department

Tuen Mun and Yuen Long West District Planning Office 14/F., Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, N.T. Hong Kong

21 April 2022

來函檔號

Your Reference

本署檔號

Our Reference

() in TPB/A/HSK/319

電話號碼

Tel. No.:

2158 6295

傳真機號碼

Fax No.:

2489 9711

PlanPlus Consultancy Ltd.



(Attn: Mr. Kennith CHAN)

Dear Sir/Madam,

Compliance with Approval Condition (f) Planning Application No. A/HSK/319

I refer to your submission dated 25.1.2022 regarding the submission of a condition record of the existing drainage facilities on the site for compliance with captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- Acceptable. The captioned condition has been complied with.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has not been complied with. Detailed departmental comments are at Appendix I.

Should you have any queries on the departmental comments, please contact Ms. Vicky SY at 2300 1347 of the Drainage Services Department direct.

Yours faithfully,

(Ernest C.K. WONG)

for District Planning Officer/ Tuen Mun and Yuen Long West

Planning Department



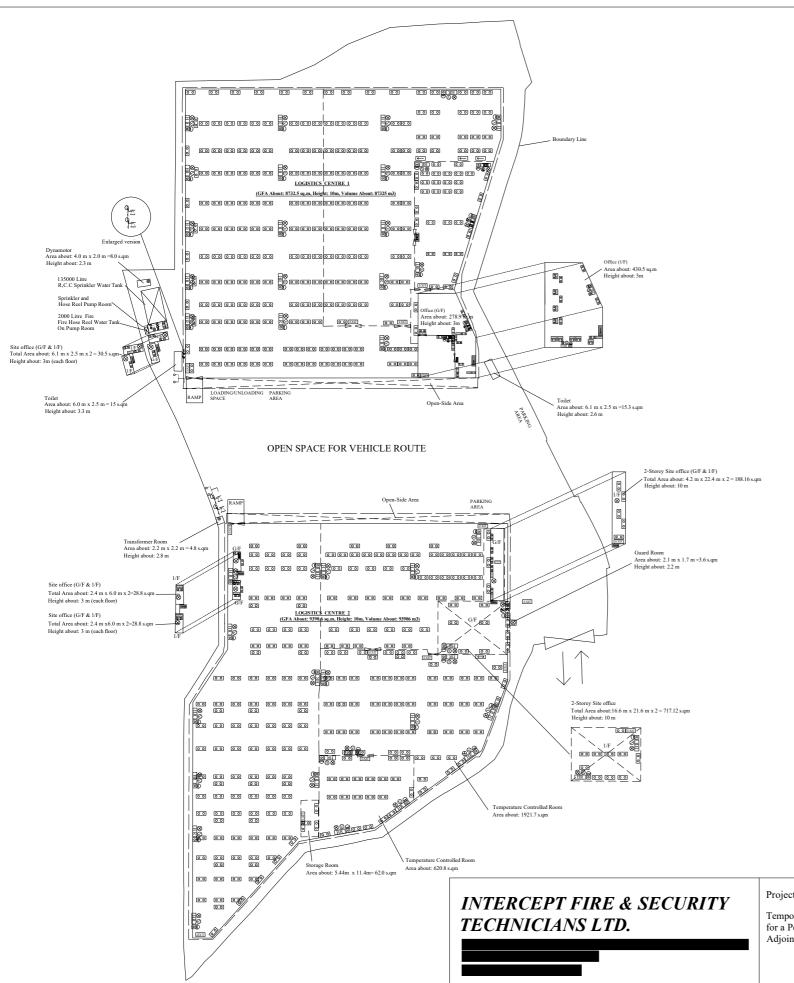
Section 16 Planning Application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

Planning Statement

Ref.: PPC-PLG-10170

Annex 7

Fire Service Installations Proposal



F.S.Notes:

- 1. Sufficient emergency lighting shall be provided througout the entire buildings/structures in accordance with B.S.5266-1:2016 and EN 1838:2013 and FSD Circular Letter No.4/2021
- 2. Sufficient directional and exit sign shall be provided
- in accordance with B.S.5266:Part 1 and FSD circular letter 5/2008.
- 3. Sufficient Portable hand-operated Approved appliances shall be provided as required by occupancy and as marked on plans.
- 4. An Automatic sprinkler system supplied by 135,000L sprinkler water tank and hazard class; OH III should be provided to the entire building / structure in accordance with BS EN 12845; 2015 and FSD circular 5/2020. The sprinkler water tank, sprinkler pump room, sprinkler inlet, sprinkler control valve group shall be clearly marked on plans.
- 5. The storage configuration is ST1 & ST2.
- ST1:free standing or block stacking with reference to the section 6.3.2
- of B.S 12845.and storage pattern is the maximum storage height shall not exceed 4 m & the maximum storage areas shall be 50m2 for any single block.with no less than 2.4m clearance around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category I)
- ST2:Post pallets in single rows, with aisles not less than 2.4m wide with reference to be section 6.3.2 of
- B.S 12845. Maximum storage heights shall not exceed 3.5m & Aisles between rows shall be not less than 2.4m wide as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category:Category I)
- 6. A modified hose reel system supplied by a 2000 litre FS water tank shall be provided There shall be sufficient hose reels to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The FS water tank, FS pump room and hose reel shall be clearly marked on plans.
- 7. Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 -1 : 2017 and FSD Circular Letter no 6/2021. One actuation point and audio warning devices to be located at each hose reel point. This actuation point should include facilities for fire pump start and audio/visual warning device initiation
- 8. The Sprinkler water Tank & F.S water Tank water supply pipe should be connected to Town Main.
- 9. Source of secondary power supply shall be provided.

LEGEND

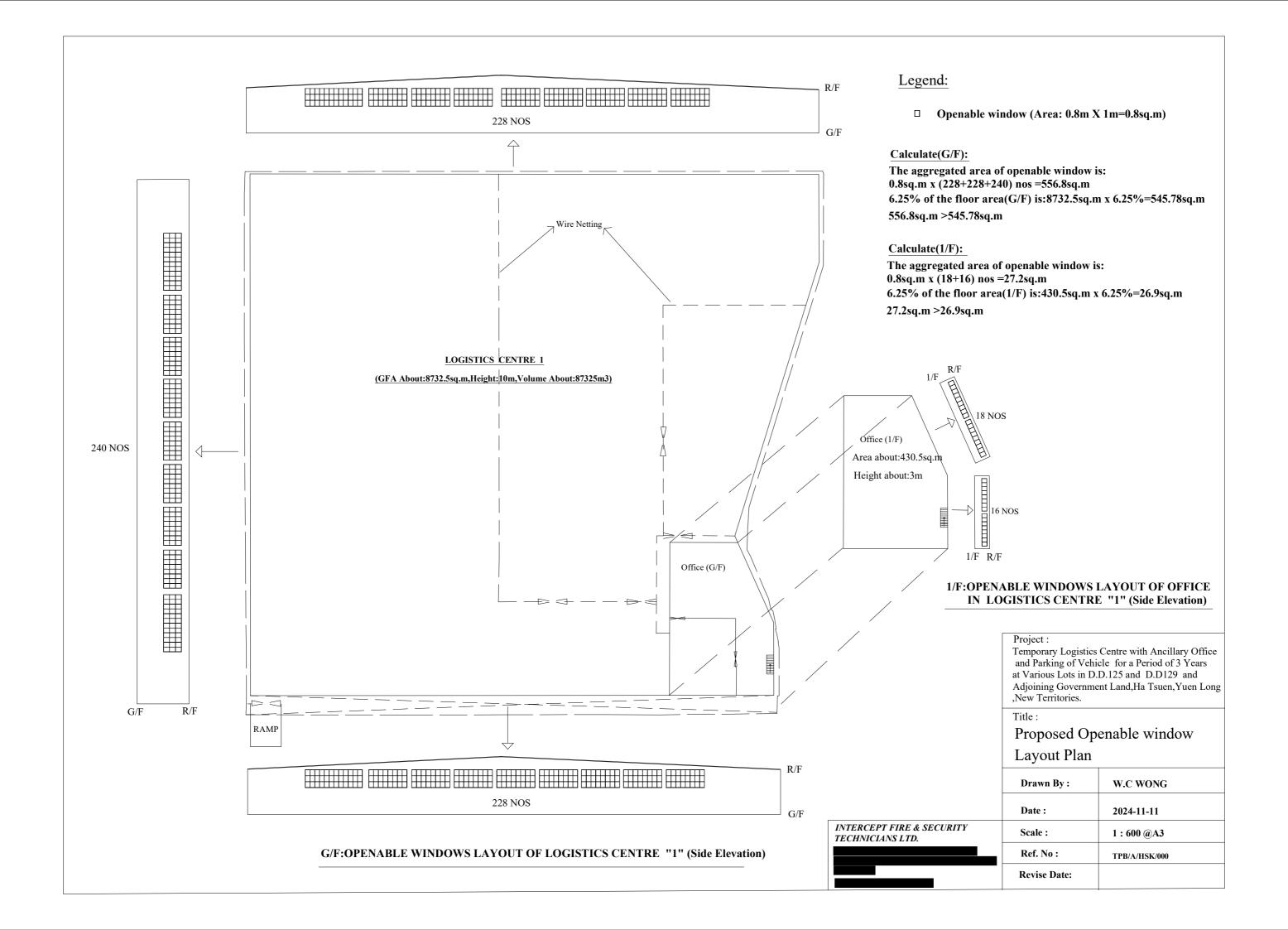
- 10. Static or dynamic smoke extraction system is not provided. The openable windows of Logistics Centre "1" & "2" with aggregate area exceeding 6.25% of the floor area as marked on plans (detail see openable window layout plan).
- 11. When A Ventilation/air conditioning control system is provided ,It shall stop mechanically induced air movement within a designated compartment.
- 12. Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong

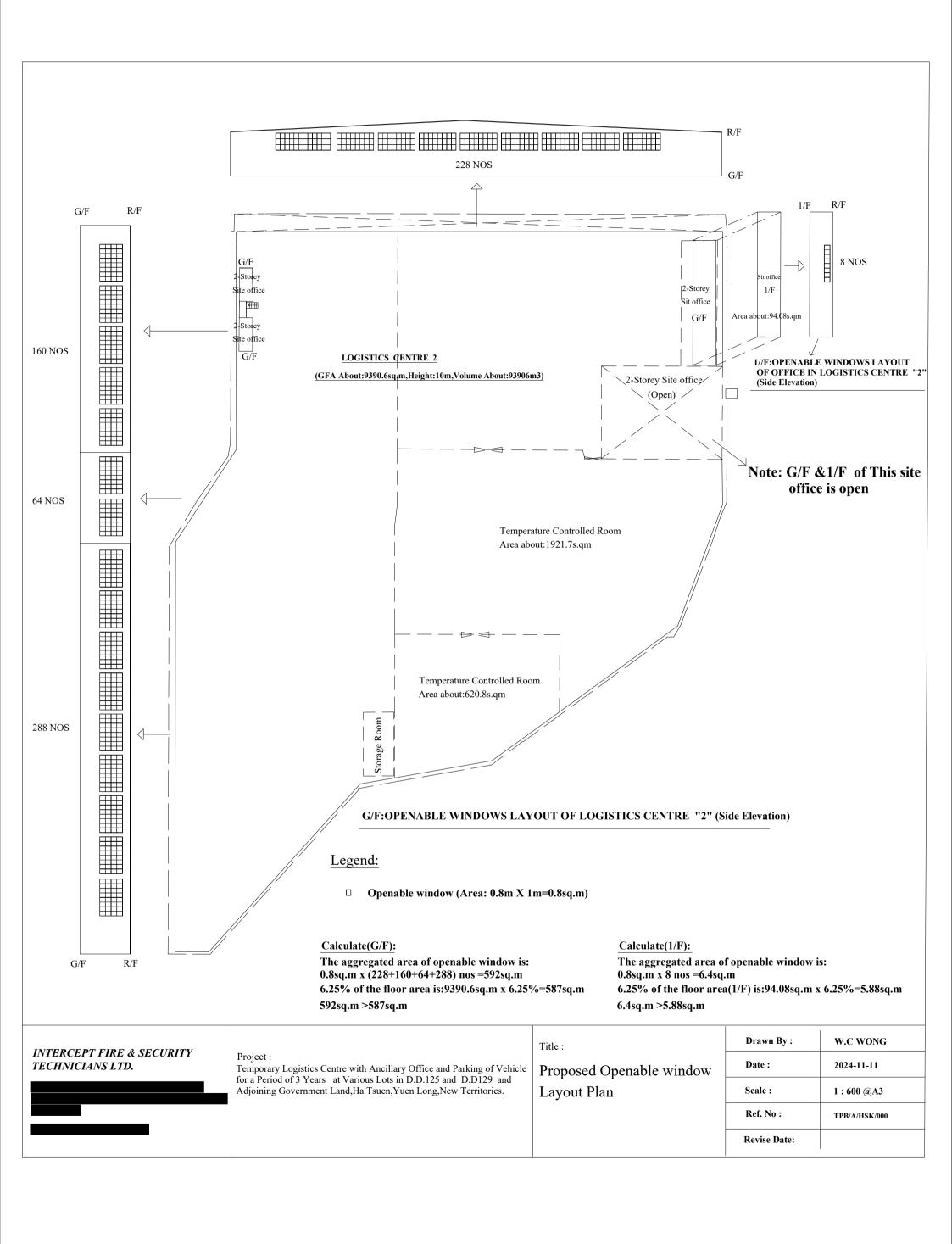
LEGEND			
\bowtie	Gate Valve	0 0	EXISTING EMERGENCY LIGHTING
$\stackrel{\textstyle \nwarrow}{\textstyle \sim}$	Non Return Valve		
	Pump Set c/w Motor	EXIT	EXISTING EXIT SIGN BOX
9-	Sprinkler Control Valve	$\boxed{\longrightarrow}$	EXISTING DIRECTION SIGN BOX
; — : —	Sprinkler Inlet	\longleftrightarrow	EXISTING DIRECTION SIGN BOX
	Existing Fire Hose Reel Set c/w Break Glass and Alarm Bell &Visual Alarm Device & 4 kg dry powder type fire extinguisher	0 0	NEWLY INSTALL EMERGENCY LIGHTING
	Newly Install Fire Hose Reel Set c/w Break Glass and Alarm Bell &Visual Alarm Device & 4 kg dry powder type fire extinguisher	EXIT	NEWLY INSTALL EXIT SIGN BOX
		\longrightarrow	NEWLY INSTALL DIRECTION SIGN BOX
JP	Sprinkler Jockey Pump		
SP-1,SP-2	Sprinkler Duty and Standby Pump	\longleftrightarrow	NEWLY INSTALL DIRECTION SIGN BOX
HR-P1,HR-P2	Hose Reel Duty and Standby Pump		
8	Newly Install 4.0 kg Dry Powder type fire extinguisher		
•	Newly Install 5.0 kg CO2 type fire extinguisher		

Temporary Logistics Centre with Ancillary Office and Parking of Vehicle for a Period of 3 Years at Various Lots in D.D.125 and D.D129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories.

Proposed Automatic Sprinkler and Modified Hose Reel System

Drawn By:	W.C WONG	
Date :	2024-11-11	
Scale:	1:600 @A1	
Ref. No:	TPB/A/HSK/000	
Revise Date:		





Section 16 Planning Application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

Ref.: PPC-PLG-10170

Planning Statement

Annex 8

Approval Notice for the FSI Proposal by Fire Services Department under Withdrawn Application No. A/HSK/511

Wilson LAW

From: Moon Leong KOK/PLAND <mlkok@pland.gov.hk>

Sent: Friday, 31 May 2024 11:58 am

To: Wilson LAW

Cc: Sherry Man Wa KONG/PLAND **Subject:** Planning Application No. A/HSK/511

Dear Wilson,

I refer to the subject Planning Application No. A/HSK/511 and the further information submitted on 16.5.2024. Please find the appended comments from Fire Services Department (contact person: Mr. Fung Tsz-fung; tel: 2733 7781) with regard to the submitted FSI proposal for your information and necessary action:

Please be informed that the FSI proposal attached in your preceding email is considered acceptable to this Department.

You are advised that the installation/maintenance/modification/repair work of FSIs shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to the Director of Fire Services.

Should you wish to submit further information in response to the above, please submit in writing to Secretary of the Town Planning Board (email: tpbpd@pland.gov.hk; Address: 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong; Fax: 2877 0245) with copy to us. In submitting the further information, reference should be made to the TPB Guidelines No. 32B on the Submission of Further Information in Relation to Applications for Amendment of Plan, Planning Permission and Review.

Regards and Thanks, Moon KOK for DPO/TMYLW Planning Department

Tel.: 2158 6318

Section 16 Planning Application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

Ref.: PPC-PLG-10170

Planning Statement

Annex 9

Part V of WWO46 issued by the Water Supplies Department



The Water Authority

43/F Immigration Tower, 7 Gloucester Road, Hong Kong.

Tel: 2824 5000 Fa

Fax: 2802 7333

email: wsdinfo@wsd.gov.hk

Part V(a) (To be completed by the Water Authority)



Premises: LOTS 51(PART), 57(PART), 58(PART), 60, 61,62, 63(PART),64 65, 66(PART), 67(PART), 144(PART), 146(PART) IN DD125 AND LOTS 3220(PART), 3221SA(PART), 3221SB(PART), 3222(PART) 3223(PART), 3224(PART), 3225SA(PART), 3225SB(PART), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234(PART) AND 3235(PART) IN DD129 AND ADJOINING GOVERNMENT

LAND, HA TSUEN, YUEN LONG, NEW TERRITORIES

(FIRE SERVICES INSTALLATION)

Inspection, including but not limited to carrying out spot-check of the pipes and fittings at the premises, was carried out on _____05/11/2024_____ on the *whole/part of the works under the Approved Plumbing Proposals covered by this Form. There is no irregularity apparent to us during the above mentioned inspection.

Subject to the completion of random sampling of the water supply to be carried out at inside service *and connection point with satisfactory water test results as required by the Water Authority, *and on payment of the charge prescribed in Part 1 of Schedule 1 of the Waterworks Regulations, the WWO 46 Part V(b) will be issued. *The connection to the main will then be made *and the part of the fire service or inside service on land held by the Government will be installed afterwards.

a

(Signed for the Water Authority)

Name: LEE Ka Man

Post:

I/NTW(CS)A3

Tel No:

3701 5222

Date:

22 November 2024

Fax No:

To:

SUNG MAN HO

CC:

LI CHIN HO



The Water Authority

43/F Immigration Tower, 7 Gloucester Road, Hong Kong.

Tel: 2824 5000

Fax: 2802 7333

email: wsdinfo@wsd.gov.hk

Part V(b) (To be completed by the Water Authority)



Premises: LOTS 51(PART), 57(PART), 58(PART), 60, 61,62, 63(PART),64 65, 66(PART) PART), 67(PART), 144(PART), 146(PART) IN DD125 AND LOTS 3220(PART), 3221SA(PART) PART), 3221SB(PART), 3222(PART) 3223(PART), 3224(PART), 3225SA(PART) PART), 3225SB(PART), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234(PART) AND 3235(PART) IN DD129 AND ADJOINING GOVERNMENT LAND, HA TSUEN, YUEN LONG, NEW TERRITORIES (FIRE SERVICES INSTALLATION)

Random sampling of the water supply has been carried out at inside service *and at connection point, and satisfactory water test results were received on _______05/12/2024 ______ as required by the Water Authority. There is no irregularity apparent to us. *Subject to payment of the charge prescribed in Part 1 of Schedule 1 of the Waterworks Regulations, *the connection to the main will then be made *and the part of the fire service or inside service on land held by the Government will be installed.

Attention of the Licensed Plumber is drawn to the Licensed Plumber's duty to construct, install, alter or remove the works covered by this Form in compliance with the Approved Plumbing Proposals, the Waterworks Ordinance and the Waterworks Regulations. Neither the issuance of this Form nor approval of the plumbing proposals nor the granting of the connection to the main *and the installation of the part of the fire service or inside service on land held by the Government shall be construed as a ratification of any contravention of any of the provisions of the Waterworks Ordinance or the Waterworks Regulations.



(Signed for the Water Authority)

Name: LEE Ka Man

Post:

I/NTW(CS)A3

Tel No:

3701 5222

Date:

9 December 2024

Fax No:

To:

SUNG MAN HO

CC:

LI CHIN HO

^{*} Delete whichever is not applicable.

Section 16 Planning Application for the Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories

Ref.: PPC-PLG-10170

Planning Statement

Annex 10

Fire Service Completion Advice issued by the Water Supplies Department



水務署

Water Supplies Department

總部 Headquarters

香港灣仔告士打道七號入境事務大樓 43 樓

43/F, Immigration Tower, 7 Gloucester Road, Wan Chai, Hong Kong

本署檔號 Our ref.

來函檔號

1629188159 of 3923716724

電話 Tel.

: 2824 5000

傳真

: 2802 7333

Fax.

11 December 2024



FIRE SERVICE COMPLETION ADVICE

Lots 51(Part), 57(Part), 58(Part), 60, 61, 62, 63(Part), 64, 65, Lot.

> 66(Part), 67(Part), 144(Part), 146(Part) In DD125 and Lots 3220(Part), 3221SA(Part), 3221SB(Part), 3222(Part), 3223(Part), 3224(Part), 3225SA(Part), 3225SB(Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234(Part) and 3235(Part) In DD129 and

Adjoining Government Land

Address:

Ha Tsuen, Yuen Long, New Territories

FIRE SERVICE SUPPLY

I hereby advise that one number permanent connection of a supply of fresh water from the Waterworks for the purpose of fire service has been made to the above premises.

Yours faithfully,

(AU Kwok Kit) for Water Authority

To:

Buildings Department

CC:

Fire Services Department

Licensed Plumber - Sung Man Ho (Fax no.: 2478 9449)



Date : 28 March 2025

Our Ref. : PPC/PLG/10170/L003

Town Planning Board Secretariat, Town Planning Board, 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

Attention: The Secretary of the Town Planning Board

By Email & By Hand

Dear Sir/Madam,

Section 16 Planning Application for Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 years at Various Lots in D.D. 125 and D.D. 129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories (Planning Application No. A/HSK/552)

Submission of Further Information 1

We refer to comments from the Director of Fire Services regarding the captioned planning application, received via email on March 19, 2025.

In response to the comments received, we are writing to submit, on behalf of the Applicant, FOUR (4) copies of the revised Fire Service Installation Proposal for your processing.

Please note that this submission does not result in a material change to the nature of the captioned planning application.

Should you have any queries, please do not hesitate to contact the undersigned at

Yours faithfully, For and on behalf of

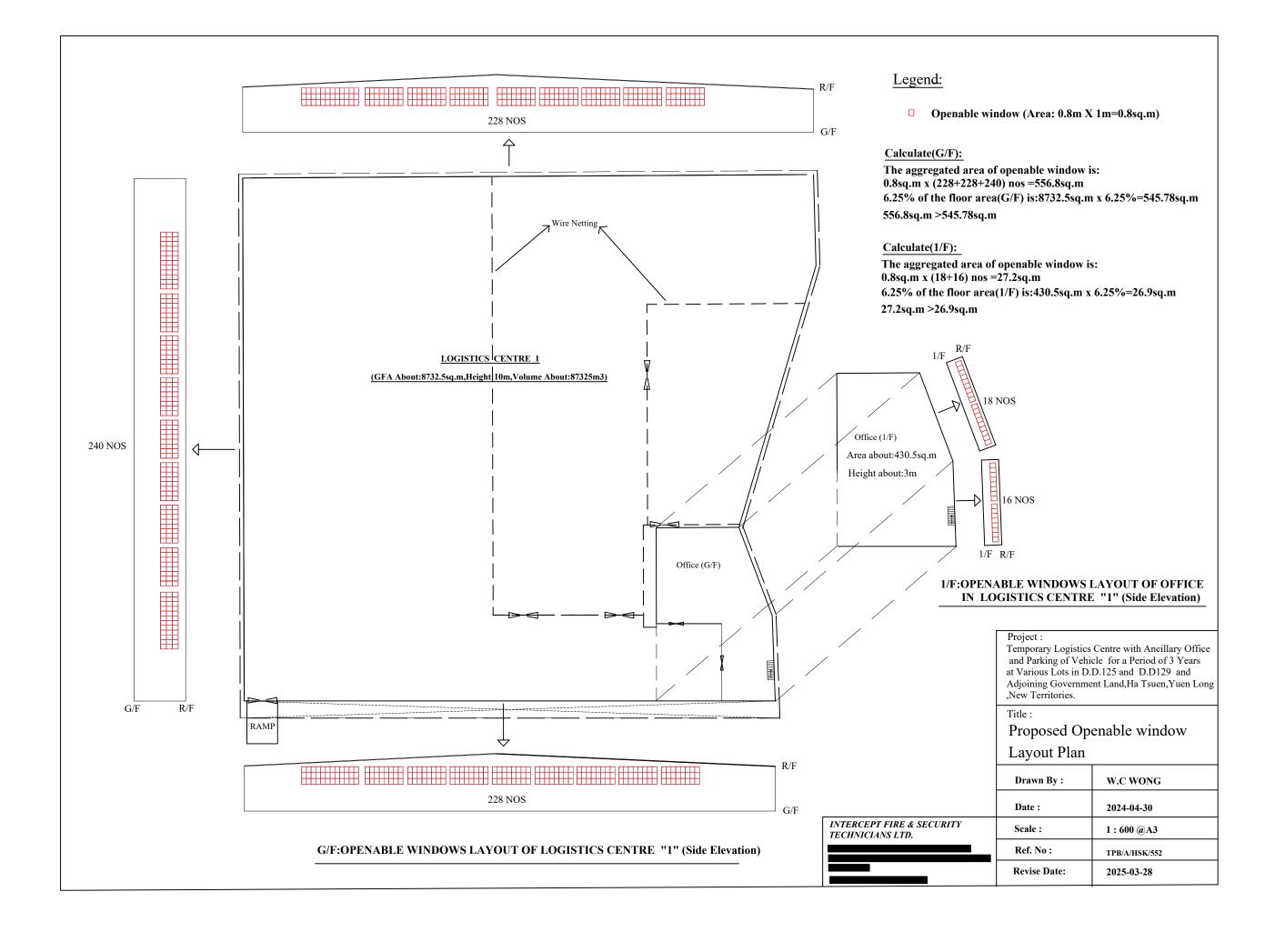
PlanPlus Consultancy Limited

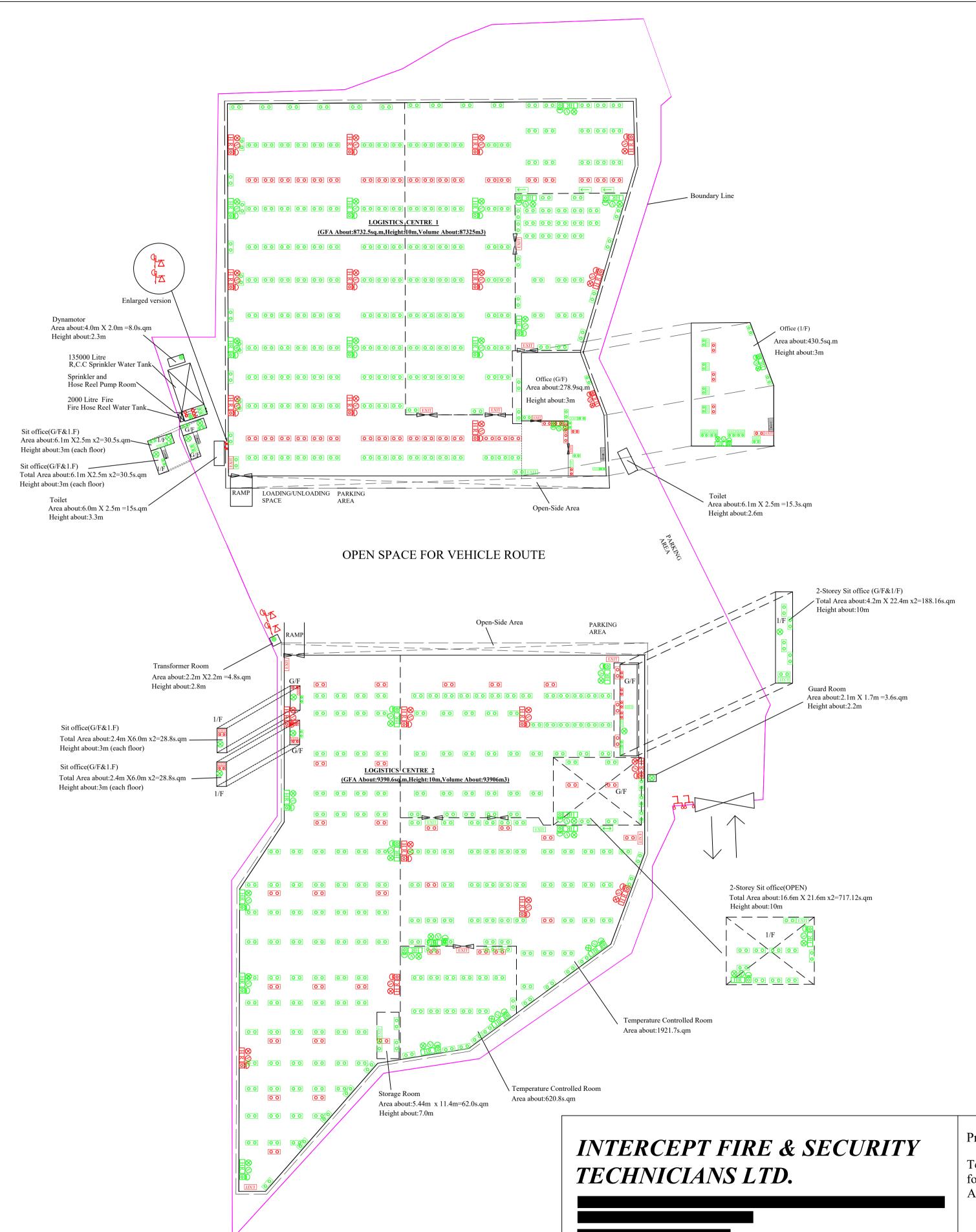
Kennith Chan Managing Director

Encl - As above

c.c. - Mr. Tony Lam (DPO/TMYLW) - By Email Only

- The Applicant (Sunny Ease Investment Limited) - By Email Only





F.S.Notes:

- 1. Sufficient emergency lighting shall be provided througout the entire buildings/structures in accordance with B.S.5266-1:2016 and EN 1838:2013 and FSD Circular Letter No.4/2021
- 2. Sufficient directional and exit sign shall be provided in accordance with B.S.5266:Part 1 and FSD circular letter 5/2008.
- 3. Sufficient Portable hand-operated Approved appliances shall be provided as required by occupancy and as marked on plans.
- 4. An Automatic sprinkler system supplied by 135,000L sprinkler water tank and Hazard class: OH III should be provided to the entire building / structure in accordance with BS EN 12845: 2015 and FSD circular 5/2020. The sprinkler water tank, sprinkler pump room, sprinkler inlet, sprinkler control valve group shall be clearly marked on plans.
- 5. The storage configuration is ST1 & ST2.
- ST1: free standing or block stacking with reference to the section 6.3.2
- of B.S 12845.and storage pattern is the maximum storage height shall not exceed 4 m & the maximum storage areas shall be 50m2 for any single block.with no less than 2.4m clearance
- around the block as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category I)
- ST2:Post pallets in single rows, with aisles not less than 2.4m wide with reference to be section 6.3.2 of
- B.S 12845. Maximum storage heights shall not exceed 3.5m & Aisles between rows shall be not less than 2.4m wide as Ordinary Hazard Group 3 in accordance with LPC BS EN 12845(Storage Category:Category I)
- 6. A modified hose reel system supplied by a 2000 litre FS water tank shall be provided There shall be sufficient hose reels to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The FS water tank, FS pump room and hose reel shall be clearly marked on plans.
- 7. Fire alarm system shall be provided throughout the entire building in accordance with BS 5839 -1: 2017 and FSD Circular Letter no 6/2021. One actuation point and audio warning devices to be located at each hose reel point. This actuation point should include facilities for fire pump start and audio/visual warning device initiation.
- 8. The Sprinkler water Tank & F.S water Tank water supply pipe should be connected to Town Main.
- 9. Source of secondary power supply shall be provided.
- 10. Static or dynamic smoke extraction system is not provided. The openable windows of Logistics Centre "1"&"2" with aggregate area exceeding 6.25% of the floor area as marked on plans. (Detail see openable window layout plan)
- 11. When A Ventilation/air conditioning control system is provided, It shall stop mechanically induced air movement within a designated compartment.
- 12. Any intended storage or use of dangerous goods as defined in Chapter 295 of the Laws of Hong Kong should be notified to the Director of Fire Services.



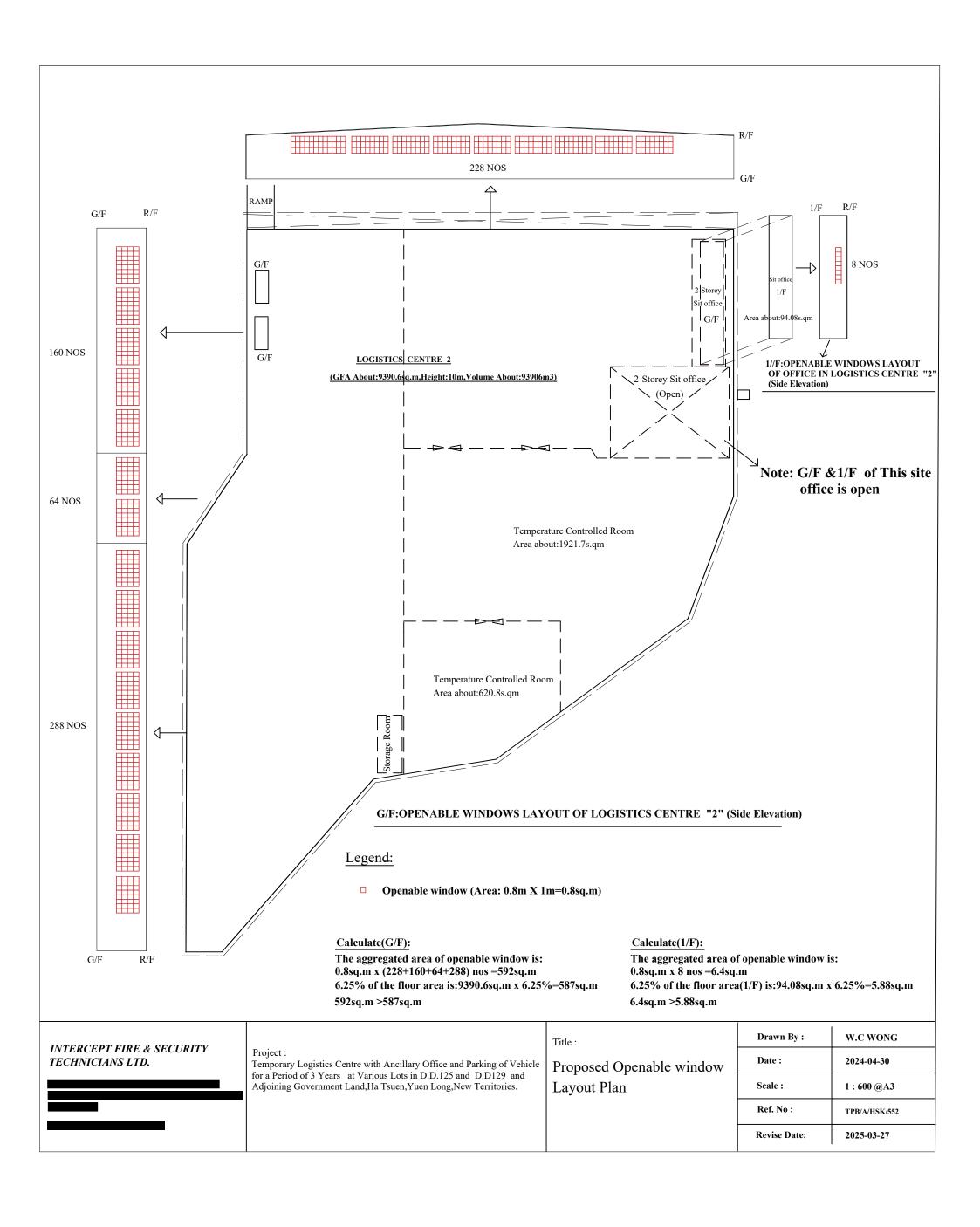
Title:

Project:

Temporary Logistics Centre with Ancillary Office and Parking of Vehicle for a Period of 3 Years at Various Lots in D.D.125 and D.D129 and Adjoining Government Land, Ha Tsuen, Yuen Long, New Territories.

Proposed Automatic Sprinkler and Modified Hose Reel System

Drawn By :	W.C WONG
Date :	2024-4-30
Scale:	1:600 @A1
Ref. No:	TPB/A/HSK/552
Revise Date:	2025-03-27



Town Planning Board Guidelines for <u>Application for Open Storage and Port Back-up Uses</u> (TPB PG-No.13G)

- 1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for New Development Areas:
 - (a) The planning for various New Development Areas (NDAs) (including potential development areas) in the New Territories has been in progress and the land use proposals for some of these areas have been incorporated as appropriate into relevant statutory town plans. The NDAs will be implemented by phases. While it is envisaged that the existing open storage and port back-up uses in these areas will be gradually phased out, sympathetic consideration may be given to applications for continued operation of these uses during the interim period before the sites are required for NDA development.
 - (b) For existing open storage and port back-up sites with previous planning approval(s) and/or permitted under the previous OZPs, sympathetic consideration may be given to the application (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant) until the concerned site is required for implementation of NDA development, provided that the relevant approval conditions, if any, have been complied with. Technical assessments, where appropriate, may also need to be submitted to demonstrate that the continued operation of the current uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas and the concerns of the departments and local residents, if any, can be addressed through the implementation of the approval conditions.
 - (c) In view of the impending implementation of NDAs, new open storage and port back-up uses are generally not encouraged to infiltrate into the NDAs. However, sympathetic consideration may be given to applications for relocation of the uses/operations affected by government projects to sites designated for development purpose in NDAs (including those planned for GIC and open space developments) as temporary use/ development before these sites are required for NDA development, subject to policy support given by the relevant policy bureau(x) to the application and no adverse departmental comments and local objections, or the concerns could be addressed by approval conditions. There is a general presumption against such uses at sites with land use compatibility issue, e.g. in close proximity to existing residential dwellings which may be subject to environmental nuisances caused by the open storage and port back-up uses. Applications will normally be rejected unless under exceptional circumstances.
 - (d) Any approved temporary use and development should not jeopardize the long-term planned development on the respective site/the surrounding area under the NDA and the applicant should be advised that the site would be required by the government at any time during the planning approval period for implementation of government projects.

Previous S.16 Applications covering the Application Site

Approved Applications

Application No.	Uses/Development	Date of Consideration
A/YL-HT/881	Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle for a Period of 3 Years	21.2.2014 (revoked on 21.11.2014)
A/YL-HT/916	Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle for a Period of 3 Years	26.9.2014 (revoked on 26.3.2016)
A/YL-HT/971	Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle for a Period of 3 Years	4.9.2015 (revoked on 4.12.2017)
A/HSK/43	Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years	9.2.2018 (revoked on 9.7.2020)
A/HSK/319	Temporary Logistics Centre with Ancillary Office and Parking of Vehicles for a Period of 3 Years	26.11.2021 (revoked on 26.8.2023)

Rejected Applications

Application No.	Uses/Development	Date of Consideration	Rejection Reason
A/YL-HT/183	Proposed temporary open storage of containers, ancillary maintenance workshop, open parking of container vehicles and trailers and office for a period of 3 years	12.1.2001	(1), (3) & (4)
A/YL-HT/201	Proposed pond filling for temporary tree plantation, plant nursery, ancillary office, storage shed, parking and open storage of equipment for a period of 3 years	15.6.2001	(1) & (2)
A/YL-HT/299	Temporary Open Storage of Construction Materials for a Period of 3 Years	5.9.2003 (on review)	(1), (2) & (3)
A/YL-HT/410	Temporary Logistic Transport Transit Centre with Ancillary Vehicle Parking Facilities for a Period of 3 Years	9.3.2007	(1) & (5)

Rejection Reasons:

- (1) Insufficient information to demonstrate that the development would not have adverse environmental and/or traffic impact(s) on the surrounding area.
- (2) Insufficient information to demonstrate that the proposed development which involves filling of ponds would not have adverse drainage impacts on the surrounding area.
- (3) Not compatible with the village settlements in the adjacent area.
- (4) The filling of existing active ponds would destroy the integrity of the fish ponds.
- (5) Not in line with the Town Planning Board Guidelines TPB-PG No. 13D.

Similar S.16 Applications within/straddling the same "Government, Institution or Community" and "Open Space" Zones and area shown as 'Road'

on the Hung Shui Kiu & Ha Tsuen Outline Zoning Plan in the Past Five Years

Approved Applications

Application No.	Uses/Development	Date of Consideration
A/HSK/254	Proposed Temporary Logistics Centre, Warehouse and Anti- epidemic Equipment Production Workshop for a Period of 3 Years	6.11.2020 (revoked on 4.4.2023)
A/HSK/289	Temporary Warehouse, Open Storage of Construction Materials, Containers with Container Vehicles Park, Container Tractors Park and Logistics Yard with Ancillary Workshop (Including Compacting and Unpacking Workshop) for a Period of 3 Years	12.3.2021 (revoked on 12.8.2023)
A/HSK/312	Temporary Logistics Centre, Warehouse, Cold Storage, Open Storage of Containers and Container Vehicle Park with Ancillary Workshop (including Compacting, Unpacking and Tyre Repairing) and Canteen for a Period of 3 Years	9.7.2021 (revoked on 9.12.2023)
A/HSK/454	Temporary Warehouse, Open Storage of Construction Materials and Containers with Container Vehicles Park, Container Tractors Park and Logistics Yard with Ancillary Workshop (Including Compacting and Unpacking Workshop) for a Period of 3 Years	23.6.2023 (revoked on 23.3.2025)
A/HSK/481	Temporary Logistics Centre and Warehouse for a Period of 3 Years	24.11.2023
A/HSK/540	Proposed Temporary Logistic Centre, Warehouse, Vehicle Repair Workshop, Open Storage of Construction Materials and Containers, Container Vehicle Park with Ancillary Workshop (Including Compacting and Unpacking) for a Period of 3 Years	10.1.2025

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department:

No adverse comment on the application.

2. Traffic

(a) Comments of the Commissioner for Transport:

No adverse comment on the application from traffic engineering point of view.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department:

No objection to the application from highway maintenance point of view.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in principle to the application from drainage point of view; and
- a condition should be stipulated requiring the applicant to maintain the proposed drainage facilities and submit condition record of the existing drainage facilities to his satisfaction.

4. Fire Safety

Comments of the Director of Fire Services:

- no in-principle objection to the application subject to the fire service installations (FSIs) being provided on the Site; and
- the submitted FSIs proposal is considered acceptable by his department.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application under the Buildings Ordinance; and
- no record of approval granted by the Building Authority for the existing structures.

6. Long-term Development

- (a) Comments of the Project Manager (West), Civil Engineering and Development Department (CEDD):
 - the Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) "Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai areas Investigation", which is the Investigation Study and jointly commissioned by Planning Department and CEDD. The implementation programme and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change; and
 - if the planning application is granted, notwithstanding the validity period, the applicant should note his advisory comments at **Appendix V**.
- (b) Comments of the Director of Leisure and Cultural Services:
 - no in-principle objection to the application; and
 - he has no plan to develop the Site into public open space in the upcoming three years.

7. Water Supplies

Comments of the Chief Engineer/Construction, Water Supplies Department:

No objection to the application.

8. <u>District Officer's Comments</u>

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment from departmental point of view; and
- his office has not received any comment from the locals on the application.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - the Site comprises Government land (GL) and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - the lots within the Site are covered by Short Term Waivers (STWs) are listed as below:

STW No.	Lot(s)	<u>Purposes</u>
4017	69, 73 and 80	Lots 69 and 80: Temporary Logistics Centre,
	in D.D. 125	Warehouse, Cold Storage, Open Storage of
		Containers and Ancillary Workshop (including
		Compacting, Unpacking and Tyre Repairing)
		Lot 73: Temporary Logistics Centre and Logistics
		Yard, Warehouse, Cold Storage, Open Storage of
		Construction Materials, Open Storage of
		Containers and Ancillary Workshop (including
		Compacting, Unpacking and Tyre Repairing)
4018	70	Temporary Logistics Centre and Logistics Yard,
	in D.D. 125	Warehouse, Cold Storage, Open Storage of
		Construction Materials, Open Storage of
		Containers and Ancillary Workshop (including
		Compacting, Unpacking and Tyre Repairing)
4025	3212 RP	Temporary Logistics Yard, Open Storage of
	in D.D. 129	Containers, Container Vehicle Park with Ancillary
		Workshop (for Works including Compacting,
		Dismantling and Repairing of Tyre) and Canteen
4277	71	Temporary Open Storage of Containers and
	in D.D.125	Container Tractors
4325	57, 62 and 66	
105	in D.D. 125	
4326	61	
	in D.D. 125	
4327	63 and 65	Temporary Warehouse for Storage of Machinery,
1000	in D.D. 125	Spare Parts and Construction Material with
4328	64	Ancillary Office and Parking of Vehicle
10.5	in D.D. 125	
4329	144	
	in D.D. 125	
4330	3221 S.B	
	in D.D. 129	

4331	3223 in D.D. 129	
4332	3224 and 3226 in D.D. 129	Temporary Warehouse for Storage of Machinery,
4333	3229 and 3230 in D.D. 129	Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle
4334	3231 in D.D. 129	
4335	3232 and 3234 in D.D. 129	Temporary Logistics Centre, Warehouse, Cold Storage, Open Storage of Containers and Ancillary Workshop (including Compacting, Unpacking and Tyre Repairing)
4336	60 in D.D. 125 and 3220, 3221 S.A, 3222, 3227 and 3228 in D.D. 129	Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle
5350	3235 In D.D. 129	Temporary Logistics Centre, Warehouse, Cold Storage, Open Storage of Containers and Ancillary Workshop (including Compacting, Unpacking and Tyre Repairing)

- the GL within the Site is covered by Short Term Tenancy (STT) No. 2894 for purposes of "Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material with Ancillary Office and Parking of Vehicle"; and
- the STW/STT holder(s) will need to apply to his office for modification of the STW/STT conditions where appropriate. The lot owner(s) should apply to his office for STW(s) to permit the structure(s) erected within the said private lot(s). The application(s) for STW/STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The application(s) will be subject to such terms and conditions including the payment of waiver fee, rent and administrative fee as considered appropriate by LandsD. Besides, given the applied uses are temporary in nature, only erection of temporary structure(s) will be considered;
- (d) to note the comments of the Commissioner for Transport that:
 - sufficient manoeuvring spaces shall be provided within the Site or its adjacent area. No vehicles are allowed to queue back to public roads or reverse onto/from public roads; and
 - the local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department that:
 - adequate drainage measures should be provided at the site access to prevent surface water flowing from the Site to nearby public roads and drains; and
 - his office shall not be responsible for the maintenance of any access connecting the Site and Ping Ha Road;

- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that the required condition record should include coloured photos showing the current condition of the drainage facilities and a layout plan indicating the locations of the photos taken. The submitted photos should cover all internal surface channels, catch pits, sand traps, manholes, terminal catch pits/manholes and the downstream discharge path as indicated on the submitted drainage proposal;
- (g) to note the comments of the Chief Town Planner/Urban Design & Landscape, Planning Department that the approval of the planning application does not imply approval of the tree works such as pruning, transplant and/or felling under lease. The applicant is reminded to approach relevant authority/Government department(s) direct to obtain the necessary approval for any tree works, where appropriate;
- (h) to note the comments of the Director of Environmental Protection (DEP) that the applicant is advised that:
 - to follow the relevant mitigation measures and requirements in the latest "Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites" in order to minimise the potential environmental nuisance on the surrounding area;
 - to provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the applied use. If septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of Environmental Protection Department's Practice Note for Professional Person (ProPECC) PN 1/23 "Drainage Plans subject to Comment by the Environmental Protection Department" including completion of percolation test and certification by Authorized Person; and
 - to meet the statutory requirements under relevant pollution control ordinances;
- (i) to note the comments of the Director of Fire Services that:
 - the installation/maintenance/modification/repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC); and
 - the RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to the Director of Fire Services;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively. The Site does not abut on a specified street of not less than 4.5 m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
 - if the existing structures are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under the Buildings Ordinance (BO) and should not be designated for any proposed use under the application;
 - for UBW erected on leased land, enforcement action may be taken by the BD to effect their

- removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBW under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO; and
- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R. Detailed checking under the BO will be carried out at building plan submission stage; and
- (k) to note the comments of the Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD) that the Site falls within the study area of Lau Fau Shan Development under the consultancy Agreement No. CE 5/2024 (CE) "Developments at Lau Fau Shan, Tsim Bei Tsui and Pak Nai areas Investigation", which is the Investigation Study and jointly commissioned by Planning Department and CEDD. The implementation and land resumption/clearance programme of the Lau Fau Shan Development is currently being reviewed under the Investigation Study and subject to change. The applicant should be reminded that the Site may be resumed at any time during the planning approval period for potential development project and advised not to carry out any substantial works therein.

□orgent □Return receipt	Expand Group Exestricted Effevent Copy
From:	
Sent:	2025-03-25 星期二 02:27:56
To:	tpbpd/PLAND <tpbpd@pland.gov.hk></tpbpd@pland.gov.hk>
Subject:	A/HSK/552 DD 125 and 129. Ha Tsuen GIC and OS

Dear TPB Members.

511 withdrawn. Previous objections upheld.

That the applicant is only now applying for water supply re fire services for an a long running operation is nothing short of scandalous.

When are government depts and TPB going to prioritise the interests of the community by rejecting repeat applications like this and send out a strong message that feet draggig her fulfillment of conditions will no longer be tolerated.

Mary Mulvihill

From: I

To: tpbpd <tpbpd@pland.gov.hk>

Date: Sunday, 31 March 2024 4:53 AM HKT

Subject: A/HSK/511 DD 125 and 129, Ha Tsuen GIC and OS

Dear TPB Members,

319 revoked because ONCE AGAIN conditions not fulfilled. The very important FIRE conditions.

HOW MANY MORE REPORTS ON FIRES ON BROWFIELD OPERATIONS TO WE HAVE TO WITNESS ON OUR SCREENS?

All this hoo haw about NS while at the same time the autorities permit operations that fail to fulfill conditions put in place to protect the lives of members of the community are violated.

How can government depts and TPB members justify rolling over approval for years??? And why are operations that fail to fulfill conditions not closed down????

Clearly the rule of law in HK is applicable only to specific sectors of the community.

Mary Mulvihill

· From:

To: tpbpd <tpbpd@pland.gov.hk>

Date: Tuesday, 20 July 2021 3:22 AM HKT

Subject: A/HSK/319 DD 125 and 129, Ha Tsuen GIC and OS

A/HSK/319

Lots 51 (Part), 57 (Part), 58 (Part), 60, 61, 62, 63 (Part), 64, 65, 66 (Part), 67 (Part), 144 (Part), 145 (Part), 146 (Part) and 147 (Part) in D.D. 125, Lots 3220 (Part), 3221 S.A

(Part), 3221 S.B (Part), 3222 (Part), 3223 (Part), 3224 (Part), 3225 S.A (Part), 3225 S.B (Part), 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3234 (Part) and 3235 (Part) in D.D. 129 a, and Adjoining Government Land, Ha Tsuen

Site area; About 26,983.8sq.m Includes Government Land of about 170sq.m

Zoning: "GIC", "Open Space" and area shown as 'Road'

Applied use: Logistics Centre / 16 Vehicle Parking

Dear TPB Members,

Applicant has a history of failure to comply with conditions. Most recently Application 971 **EIGHT** extensions of time and Fire conditions not fulfilled. Most recent approval revoked for failure to comply with fire conditions. Application 43 **TEN** extensions of time and Fire and Landscape conditions not fulfilled.

PlanD can no longer trot out 'the implementation programme for this part of the Hung Shui Kiu New Development Area (HSK NDA) was still being formulated"

26/06/2020

Finance Committee of Legislative Council approved the funding application of the following items:

787CL – Hung Shui Kiu/Ha Tsuen New Development Area advance works – site formation and engineering infrastructure

796CL – Hung Shui Kiu/Ha Tsuen New Development Area stage 1 works – site formation and engineering infrastructure

829CL – Hung Shui Kiu/Ha Tsuen New Development Area stage 2 works – site formation and engineering infrastructure

38CA – Special Ex-gratia Cash Allowance for the First Phase development for the Hung Shui Kiu/Ha Tsuen New Development Area

TPB can play its part in expediting the redevelopment by declining to approve brownfield operations that refuse to comply with regulations and stand in the way of the NDA. GIC and Open Space are community facilities that must be developed in tandem with housing.

Fire hazards on lots designated for community facilities for a growing community should not be tolerated.

Mary Mulvihill