

2022年 4月 2 日

Appendix I of RNTPC  
Paper A/KTN/86

此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 20 APR 2022  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP.131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of  
Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal  
of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年  
的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.info.gov.hk/tpb/en/plan\\_application/apply.html](https://www.info.gov.hk/tpb/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.info.gov.hk/tpb/tc/plan\\_application/apply.html](https://www.info.gov.hk/tpb/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

|                                 |                         |             |
|---------------------------------|-------------------------|-------------|
| For Official Use Only<br>請勿填寫此欄 | Application No.<br>申請編號 | A/KT-M/86   |
|                                 | Date Received<br>收到日期   | 20 APR 2022 |

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

## 1. Name of Applicant 申請人姓名/名稱

(□ Mr. 先生 / □ Mrs. 夫人 / □ Miss 小姐 / □ Ms. 女士 / ☒ Company 公司 / □ Organisation 機構)

Best Creation Development Limited 百匯創建發展有限公司

## 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(□ Mr. 先生 / □ Mrs. 夫人 / □ Miss 小姐 / □ Ms. 女士 / ☒ Company 公司 / □ Organisation 機構)

Chw Lik Engineering (HK) Limited 進力工程(香港)有限公司

## 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable)  
詳細地址/地點/丈量約份及地段號碼(如適用)

古洞北第95約地段第736號餘段, 第738號餘段(部份), 第739號餘段及毗連政府土地

(b) Site area and/or gross floor area involved  
涉及的地盤面積及/或總樓面面積☒ Site area 地盤面積 2,239 sq.m 平方米 ☒ About 約  
☒ Gross floor area 總樓面面積 1,550 sq.m 平方米 ☒ About 約(c) Area of Government land included (if any)  
所包括的政府土地面積(倘有)797.9 sq.m 平方米 ☒ About 約

|  |  |
|--|--|
| (d) Name and number of the related statutory plan(s)<br>有關法定圖則的名稱及編號 | 古洞北分區計劃大綱圖 S/KTN/2   |
| (e) Land use zone(s) involved<br>涉及的土地用途地帶                           | 休憩用地、其他指定用途(商貿及科技園)及道路   |
| (f) Current use(s)<br>現時用途   | 倉庫、汽車維修工場<br>附屬寫字樓及員工休息室<br><br>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area)<br>(如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積) |

## 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

☒ is the sole "current land owner"<sup>#</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"<sup>#</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#</sup> (請夾附業權證明文件)。

☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

## 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 -

☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

| Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情 |  |  |
|--|--|--|
| No. of 'Current Land Owner(s)'<br>「現行土地擁有人」數目  | Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained<br>根據土地註冊處記錄已獲得同意的地段號碼/處所地址 | Date of consent obtained (DD/MM/YYYY)<br>取得同意的日期 (日/月/年) |
|  |  |  |
|  |  |  |
|  |  |  |

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

| Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料 |  |   |
|---|--|---|
| No. of 'Current Land Owner(s)'<br>「現行土地擁有人」數目   | Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given<br>根據土地註冊處記錄已發出通知的地段號碼／處所地址 | Date of notification given<br>(DD/MM/YYYY)<br>通知日期(日/月/年) |
|   |  |   |
|   |  |   |
|   |  |   |

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>\*</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>\*</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>\*</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>\*</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>\*</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>\*</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>\*</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號  
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

|  |  |
|--|--|
| <b>6. Type(s) of Application 申請類別</b>  |  |
| <b>(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas</b><br>位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展<br>(For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))<br>(如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分) |  |
| (a) Proposed use(s)/development<br>擬議用途/發展   | 倉庫 - 汽車維修工場<br>附屬寫字樓及員工休息室<br><br>(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情) |
| (b) Effective period of permission applied for<br>申請的許可有效期   | <input checked="" type="checkbox"/> year(s) 年 ..... 3 .....<br><input type="checkbox"/> month(s) 個月 .....        |
| <b>(c) Development Schedule 發展細節表</b>  |  |
| Proposed uncovered land area 擬議露天土地面積  | ..... 990.5 .....sq.m <input checked="" type="checkbox"/> About 約  |
| Proposed covered land area 擬議有上蓋土地面積   | ..... 1247.5 .....sq.m <input checked="" type="checkbox"/> About 約   |
| Proposed number of buildings/structures 擬議建築物/構築物數目  | ..... 4 .....  |
| Proposed domestic floor area 擬議住用樓面面積  | ..... / .....sq.m <input type="checkbox"/> About 約   |
| Proposed non-domestic floor area 擬議非住用樓面面積   | ..... 1550 .....sq.m <input checked="" type="checkbox"/> About 約   |
| Proposed gross floor area 擬議總樓面面積  | ..... 1550 .....sq.m <input checked="" type="checkbox"/> About 約   |
| Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)<br>可能附頁擬議用途<br>.....<br>.....<br>.....   |  |
| <b>Proposed number of car parking spaces by types 不同種類停車位的擬議數目</b>   |  |
| Private Car Parking Spaces 私家車車位   | ..... / .....  |
| Motorcycle Parking Spaces 電單車車位  | ..... / .....  |
| Light Goods Vehicle Parking Spaces 輕型貨車泊車位   | ..... / .....  |
| Medium Goods Vehicle Parking Spaces 中型貨車泊車位  | ..... / .....  |
| Heavy Goods Vehicle Parking Spaces 重型貨車泊車位   | ..... / .....  |
| Others (Please Specify) 其他 (請列明)   | ..... / .....  |
| <b>Proposed number of loading/unloading spaces 上落客貨車位的擬議數目</b>   |  |
| Taxi Spaces 的士車位   | ..... / .....  |
| Coach Spaces 旅遊巴車位   | ..... / .....  |
| Light Goods Vehicle Spaces 輕型貨車車位  | ..... 2 .....  |
| Medium Goods Vehicle Spaces 中型貨車車位   | ..... / .....  |
| Heavy Goods Vehicle Spaces 重型貨車車位  | ..... / .....  |
| Others (Please Specify) 其他 (請列明)   | ..... / .....  |

|  |   |   |  |
|--|---|---|--|
| Proposed operating hours 擬議營運時間<br>星期一至五 早上9時至下午6時；星期六 早上9時至下午1時；<br>星期日及公眾假期 休息   |   |   |  |
| (d) Any vehicular access to the site/subject building?<br>是否有車路通往地盤／有關建築物？   | Yes 是   | <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate)<br>有一條現有車路。(請註明車路名稱(如適用))<br>青山公路 (古洞段) 到達申請地點  |  |
|  | No 否  | <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width)<br>有一條擬議車路。(請在圖則顯示，並註明車路的闊度)   |  |
| (e) Impacts of Development Proposal 擬議發展計劃的影響<br>(If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁表示可盡量減少可能出現不良影響的措施，否則請提供理據/理由。) |   |   |  |
| (i) Does the development proposal involve alteration of existing building?<br>擬議發展計劃是否包括現有建築物的改動？  | Yes 是   | <input type="checkbox"/> Please provide details 請提供詳情<br>.....<br>.....<br>.....  |  |
|  | No 否  | <input checked="" type="checkbox"/>   |  |
| (ii) Does the development proposal involve the operation on the right?<br>擬議發展是否涉及右列的工程？   | Yes 是   | <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)<br>(請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)<br><input type="checkbox"/> Diversion of stream 河道改道<br><input type="checkbox"/> Filling of pond 填塘<br>Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約<br><input type="checkbox"/> Filling of land 填土<br>Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約<br><input type="checkbox"/> Excavation of land 挖土<br>Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約 |  |
|  | No 否  | <input checked="" type="checkbox"/>   |  |
| (iii) Would the development proposal cause any adverse impacts?<br>擬議發展計劃會否造成不良影響？   | On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>.....<br>..... |   |  |

|  |  |
|--|--|
|  | <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> |
|--|--|

**(B) Renewal of Permission for Temporary Use or Development in Rural Areas**  
 位於鄉郊地區臨時用途/發展的許可續期

|  |   |
|--|---|
| (a) Application number to which the permission relates<br>與許可有關的申請編號 | A/ _____ / _____  |
| (b) Date of approval<br>獲批給許可的日期                                     | ..... (DD 日/MM 月/YYYY 年)  |
| (c) Date of expiry<br>許可屆滿日期   | ..... (DD 日/MM 月/YYYY 年)  |
| (d) Approved use/development<br>已批給許可的用途/發展                          |   |
| (e) Approval conditions<br>附帶條件                                      | <p><input type="checkbox"/> The permission does not have any approval condition<br/>許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions<br/>申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s):<br/>申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance:<br/>仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient)<br/>(如以上空間不足，請另頁說明)</p> |
| (f) Renewal period sought<br>要求的續期期間                                 | <p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>   |

**7. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

可參考附件申請理由



**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in an application to the Board and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☐ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

.....  
.....  
.....

Name in Block Letters  
姓名 (請以正楷填寫)

Position (if applicable)  
職位 (如適用)

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

.....  
.....

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

31 DEC 2021

..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in an application to the Board and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.  
任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.  
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and deposited at the Planning Enquiry Counters of the Planning Department for general information.)  
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及存放於規劃署規劃資料查詢處以供一般參閱。)

|  |  |
|--|--|
| Application No.<br>申請編號                | (For Official Use Only) (請勿填寫此欄)   |
| Location/address<br>位置/地址              | 古洞北第95約地段第736號餘段, 第738號餘段(部份)<br>第739號餘段及毗連政府地<br>Lots 736RP, 738RP (Part), 739RP and adjoining Government Land, Kwu Tung, New Territories.  |
| Site area<br>地盤面積                      | 2,238 sq. m 平方米 □ About 約<br>(includes Government land of 包括政府土地 797.9 sq. m 平方米 □ About 約)  |
| Plan<br>圖則                             | 古洞北分區大綱圖 S/KTN/2<br>Kwu Tung North. OZP  |
| Zoning<br>地帶                           | 休憩用地, 其他指定用途(商貿及科技園)及道路<br>Open Space, other specified uses (Business and Technology Park and Road)  |
| Type of Application<br>申請類別            | <input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of<br>位於鄉郊地區的臨時用途/發展為期<br><input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____<br><br><input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of<br>位於鄉郊地區臨時用途/發展的規劃許可續期為期<br><input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ |
| Applied use/<br>development<br>申請用途/發展 | 臨時倉庫及汽車維修工場連附屬寫字樓及員工<br>休息室 (為期三年)<br>Temporary Warehouse and Vehicle Repair Workshop with<br>Ancillary Office and Staff Rest Room for a period<br>of 3 years  |

|  |   |  |   |
|--|---|--|---|
| (i) Gross floor area and/or plot ratio<br>總樓面面積及／或地積比率                   | Domestic<br>住用  | sq.m 平方米<br>/ <input type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於   | Plot Ratio 地積比率<br>/ <input type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於 |
|  | Non-domestic<br>非住用   | 1550 <input checked="" type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於 | / <input type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於                    |
| (ii) No. of block<br>幢數  | Domestic<br>住用  | /  |   |
|  | Non-domestic<br>非住用   | 4  |   |
| (iii) Building height/No. of storeys<br>建築物高度／層數                         | Domestic<br>住用  | / m 米<br><input type="checkbox"/> (Not more than 不多於)  |   |
|  |   | / Storeys(s) 層<br><input type="checkbox"/> (Not more than 不多於)                                 |   |
|  | Non-domestic<br>非住用   | 11.34 m 米<br><input checked="" type="checkbox"/> (Not more than 不多於)                           |   |
|  |   | 2 Storeys(s) 層<br><input checked="" type="checkbox"/> (Not more than 不多於)                      |   |
| (iv) Site coverage<br>上蓋面積   | / % <input type="checkbox"/> About 約  |  |   |
| (v) No. of parking spaces and loading / unloading spaces<br>停車位及上落客貨車位數目 | Total no. of vehicle parking spaces 停車位總數<br>Private Car Parking Spaces 私家車車位<br>Motorcycle Parking Spaces 電單車車位<br>Light Goods Vehicle Parking Spaces 輕型貨車泊車位<br>Medium Goods Vehicle Parking Spaces 中型貨車泊車位<br>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位<br>Others (Please Specify) 其他 (請列明)<br>_____<br>_____ |  | /   |
|  | Total no. of vehicle loading/unloading bays/lay-bys<br>上落客貨車位／停車處總數<br>Taxi Spaces 的士車位<br>Coach Spaces 旅遊巴車位<br>Light Goods Vehicle Spaces 輕型貨車車位<br>Medium Goods Vehicle Spaces 中型貨車車位<br>Heavy Goods Vehicle Spaces 重型貨車車位<br>Others (Please Specify) 其他 (請列明)<br>_____<br>_____                               |  | 21個   |

| Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件                                  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
|  | Chinese<br>中文                       | English<br>英文                       |
| <b>Plans and Drawings 圖則及繪圖</b>  |                                     |                                     |
| Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖                                    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| Block plan(s) 樓宇位置圖  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Floor plan(s) 樓宇平面圖  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Sectional plan(s) 截視圖  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Elevation(s) 立視圖   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Photomontage(s) showing the proposed development 顯示擬議發展的合成照片                         | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖                              | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Others (please specify) 其他 (請註明)   | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 場地圖、進出流量報告 (中文)  |                                     |                                     |
| FST Submission (英文)  |                                     |                                     |
| <b>Reports 報告書</b>   |                                     |                                     |
| Planning Statement/Justifications 規劃綱領/理據  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| Environmental assessment (noise, air and/or water pollutions)<br>環境評估 (噪音、空氣及／或水的污染) | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Traffic impact assessment (on vehicles) 就車輛的交通影響評估                                   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Traffic impact assessment (on pedestrians) 就行人的交通影響評估                                | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Visual impact assessment 視覺影響評估  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Landscape impact assessment 景觀影響評估   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Tree Survey 樹木調查   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Geotechnical impact assessment 土力影響評估  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Drainage impact assessment 排水影響評估  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| Sewerage impact assessment 排污影響評估  | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Risk Assessment 風險評估   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Others (please specify) 其他 (請註明)   | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號                                |                                     |                                     |

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

## 擬議用途

### 構築物 1:

用途：倉庫及附屬寫字樓

二層，上蓋面積不多於 1024.5 平方米，其中 97.5 平方米為雨蓬，所以地面（倉庫）實用面積約 927 平方米，二樓（附屬寫字樓）325 平方米；高度不多於 11.34 米

### 構築物 2:

用途：汽車維修工場及員工休息室

二層，上蓋面積不多於 195 平方米，地面（汽車維修工場）195 平方米，二樓（員工休息室）75 平方米；高度不多於 6.9 米

### 構築物 3:

用途：廁所

一層，上蓋面積不多於 12 平方米，高度不多於 3 米

### 構築物 4:

用途：消防泵房及電掣房

一層，上蓋面積不多於 16 平方米，高度不多於 3.2 米

## 申請理由

- (1) 此申請由代理人進力工程（香港）有限公司〔Chun Lik Engineering (HK) Limited〕提出申報，作為三年的臨時倉庫、汽車修理工場連附屬寫字樓及員工休息室用途。此申請地點位於古洞北分區計劃大綱圖（S/KTN/2）的『休憩用地』（Open Space）及『其他指定用途（商貿及科技園）』（OU(Business and Technology Park)）及道路（Road）地帶內。
- (2) 申請地點涉及三幅相連土地及毗連政府地。申請地點總面積約 2238 平方米，位於新界古洞北丈量約第 95 約地段第 736 號餘段、第 738 號餘段(部份)、第 739 號餘段及毗連政府土地。涉及政府土地面積約 797.9 平方米。如申請獲城規會批准，申請人將會向地政處申請短期豁免書。
- (3) 申請地點設有四個構築物，總樓面面積不多於 1550 平方米，用途如下：  
構築物 1：倉庫及附屬寫字樓（二層）、構築物 2：汽車維修工場及員工休息室（二層）、構築物 3：廁所（單層）、構築物 4：消防泵房及電掣房（單層）
- (4) 構築物 1 以金屬及混凝土搭建的密封式倉庫，配套簡單，樓高二層，主要為倉庫、內有一個平台為辦公室，高度不多約 11.34 米，貯物倉庫面積約 927 平方米、辦公室面積約 325 平方米。構築物 2 以金屬搭建的升高鐵架，樓高二層，下層為修理汽車、二層為員工休息室，最高位約 6.9 米，修理汽車佔面積約 195 平方米、員工休息室面積約 75 平方米。經營者及有關工作人員不會在申請地點及構築物內留宿。構築物 3 為廁所，一層，為員工提供廁所用途，附設有化糞池，一切污水並不會外泄，定期用吸糞車處理排污物。構築物 4 為消防泵房及電掣房，一層，內有消防系統裝置及泵房。
- (5) 申請地點設有 2 個上落輕型貨車車位，每個車位呎吋為 3.5 米闊 x 6 米長，不設中至重型車輛或拖頭車位。每輛汽車每週出入次數為少，而運輸車隊由申請人擁有，每次出入貨都會事先由寫字樓安排，能有效控制車的出入流量，並不會造成因輪候而需要在外地方等候，減少對交通的負荷。（可參考流量報告）
- (6) 申請地點於大路（青山公路古洞段）旁邊，申請地點更包括租用前面約 256 平方米之政府用地作為汽車迴旋，擁有足夠空間出入倉庫，並不會使用主要幹道造成阻礙；於倉庫旁有一條支路，長度數十米，少有行人，車道平坦並良好狀態。申請人明白上述旁邊行車道並非由運輸署管理，申請人會負責維修及補養。

- (7) 申請地點辦工時間為星期一至五每日早上九時至下午六時，星期六早上九時至下午一時，星期日及公眾假期休息。一切的運輸工作均由寫字樓平均分配，司機需根據時間表進出倉庫；晚上不會進行任何運輸工作，不會為附近居民帶來不便及噪音。
- (8) 場地設有3個門口，一個南面為主要出入口，有12米闊、一個西面為後備門，有10米闊，只用作維修消防泵房及電櫃用途，平時不作出入門、一個東面為汽車維修工場出入口用，有8米闊。
- (9) 雖然是作臨時發展用途，但申請人將按照消防處的指引及要求，聘用專業及認可的消防承辦商做好消防設備系統，每年定期檢查，以達到安全標準。
- (10) 申請地點是第二次提交申請，之前已批出的申請編號為 A/KTN/51，獲批給許可的日期為2019年3月8日；已批給許可用途為臨時倉庫、汽車修理工場連附屬寫字樓及員工休息室用途，跟本次申請大致相同。此批給許可附有三項附帶條件：消防、排水及美化環境，其中美化環境於2020年7月2日已完成附帶條件之(j)及(k)項；另外排水於2020年11月27日已完成附帶條件之(h)項。
- (11) 由於政府有意發展古洞北，未來古洞河上鄉一帶必然有極大轉變；申請人知道，是次申請用途，只是在轉變前的空檔時間作短暫發展。申請人明白申請範圍所在土地，最終須配合古洞北新發展區藍圖的意願發展。申請人願意配合，只希望作短暫發展，並將此納入規管。申請人在此承諾；倘若政府工程展開，此申請會告一段落。
- (12) 擬議申請發展屬於臨時性質，從事的工作簡單，設施簡單容易還原。除申請之發展以外，不會涉及其他用途。不會進行工場發展，包括不會在申請地點從事噴油及清理油污等工作。不會有任何損害環境的發展、更不會在申請地點內存放易燃物品，發展項目不會含有有害廢料及污染物、並對生態及環境不會帶來任何影響。
- (13) 申請地點已跟據附帶條件(h)項進行，鋪設U型明渠，容量為闊度300mm x 300mm至600mm深，申請人已聘用具經驗的公司協助，以專業知識計算排水的方向，並於2020年11月27日批出許可。渠身以混凝土鞏固，確保堅固耐用。接近渠道的地表，已鋪成暗斜，加強去水之用；加上兩個上蓋物都設有上蓋排水管，並配有下水管直到右方的政府渠道，減少地表上去水的壓力，不會導致地面積水。申請人一直致力滿足城規會要求，盡力於限期內落實計劃（可參考最後附圖）。

(14) 申請人會對場內所有排水設施的興建及維修保養責任，會定期清理渠道內雜物及定期檢驗排水設施，確保有關設施運作良好，不會對鄰近地方出現水浸問題。

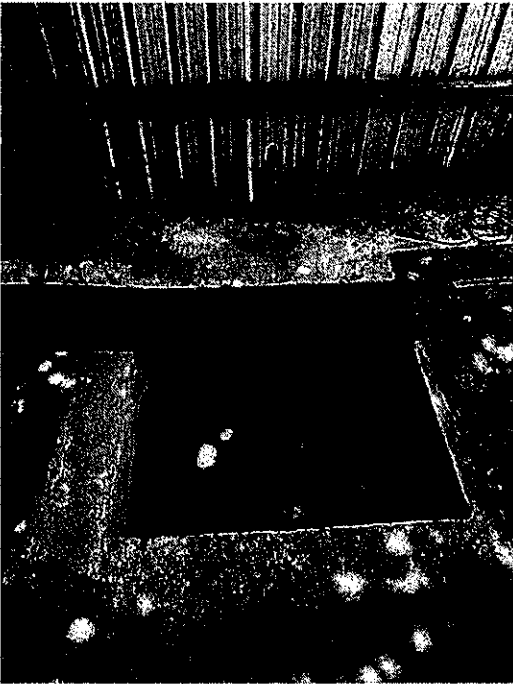
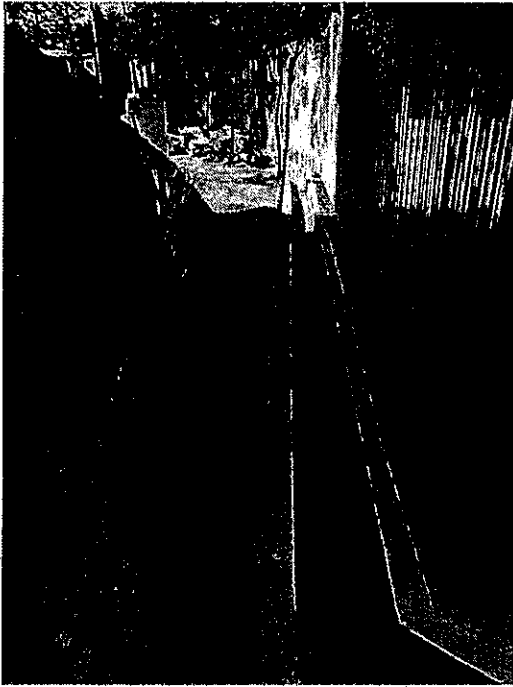
(15) 申請人於2019年3月8日曾得到申請規劃許可，由於申請人為第一次進行規劃申請，對申請知識有限，但一直極力滿足附帶條件，於期間不斷尋找專業人士應對消防及排水等計劃書；但期間出現社會運動及後期出現疫情，難以要求承建商到申請人倉庫進行視察及報價，造成時間不足，申請人對此感到抱歉，並承諾將來再次批出申請後，定會用最快的時間完成餘下之附帶條件，以滿足城規會的規管。

申請人承諾如獲城規會批准擬議用途，將會盡力配合及滿足城規會的要求，減少對周邊環境影響，並承諾在許可期限後，還原申請地點，懇請城規會寬大批准新界古洞北丈量約第95約地段第736號餘段(部份)、第738號餘段(部份)、第739號餘段及毗連政府土地作為不超過三年的臨時倉庫、汽車修理工場連附屬寫字樓及員工休息室用途。



參考附圖：





## 進出流量報告

擬議申請用途：倉庫、汽車維修工場, 附屬寫字樓及員工休息室

地點：古洞北第 95 約地段第 736 號餘段(部份)、第 738 號餘段(部份)、第 739 號餘段和毗連政府地

### 一星期輕型貨車(5.5 噸)進出流量

日期：13/12/2021 (星期一)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 1     | 0     |
| 10:00 - 11:00 | 1     | 1     |
| 11:00 - 12:00 | 1     | 1     |
| 12:00 - 13:00 | 0     | 1     |
| 13:00 - 14:00 | 0     | 0     |
| 14:00 - 15:00 | 1     | 0     |
| 15:00 - 16:00 | 0     | 0     |
| 16:00 - 17:00 | 0     | 1     |
| 17:00 - 18:00 | 0     | 0     |

車輛數量：4 輛

日期：14/12/2021 (星期二)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 1     | 0     |
| 10:00 - 11:00 | 0     | 1     |
| 11:00 - 12:00 | 1     | 1     |
| 12:00 - 13:00 | 0     | 0     |
| 13:00 - 14:00 | 0     | 0     |
| 14:00 - 15:00 | 0     | 0     |
| 15:00 - 16:00 | 1     | 0     |
| 16:00 - 17:00 | 1     | 1     |
| 17:00 - 18:00 | 0     | 1     |

車輛數量：4 輛

日期：15/12/2021 (星期三)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 1     | 1     |
| 10:00 - 11:00 | 2     | 0     |
| 11:00 - 12:00 | 0     | 1     |
| 12:00 - 13:00 | 1     | 2     |
| 13:00 - 14:00 | 1     | 0     |
| 14:00 - 15:00 | 0     | 1     |
| 15:00 - 16:00 | 0     | 0     |
| 16:00 - 17:00 | 0     | 0     |
| 17:00 - 18:00 | 0     | 0     |

車輛數量：3 輛

日期：16/12/2021 (星期四)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 0     | 0     |
| 10:00 - 11:00 | 1     | 0     |
| 11:00 - 12:00 | 0     | 1     |
| 12:00 - 13:00 | 2     | 0     |
| 13:00 - 14:00 | 0     | 2     |
| 14:00 - 15:00 | 1     | 0     |
| 15:00 - 16:00 | 0     | 0     |
| 16:00 - 17:00 | 0     | 1     |
| 17:00 - 18:00 | 0     | 0     |

車輛數量：4 輛

日期：17/12/2021 (星期五)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 1     | 0     |
| 10:00 - 11:00 | 1     | 0     |
| 11:00 - 12:00 | 0     | 2     |
| 12:00 - 13:00 | 2     | 2     |
| 13:00 - 14:00 | 0     | 0     |
| 14:00 - 15:00 | 1     | 0     |
| 15:00 - 16:00 | 0     | 1     |
| 16:00 - 17:00 | 1     | 1     |
| 17:00 - 18:00 | 1     | 1     |

車輛數量：7 輛

日期：18/12/2021 (星期六)

| 時間            | 進入(輛) | 離開(輛) |
|---------------|-------|-------|
| 09:00 - 10:00 | 1     | 1     |
| 10:00 - 11:00 | 2     | 0     |
| 11:00 - 12:00 | 0     | 1     |
| 12:00 - 13:00 | 1     | 2     |
| 13:00 - 14:00 | NA    | NA    |
| 14:00 - 15:00 | NA    | NA    |
| 15:00 - 16:00 | NA    | NA    |
| 16:00 - 17:00 | NA    | NA    |
| 17:00 - 18:00 | NA    | NA    |

車輛數量：4 輛

總結：

申請地點為臨時倉庫，只在星期一至五早上九時至下午六時及星期六早上九時至下午一時營業，星期日及公眾假期休業。營業時間只在一般的日常時間，除上述時間外倉庫均為休業，加上附近甚少居民，不會為居民帶來進出不便及噪音。

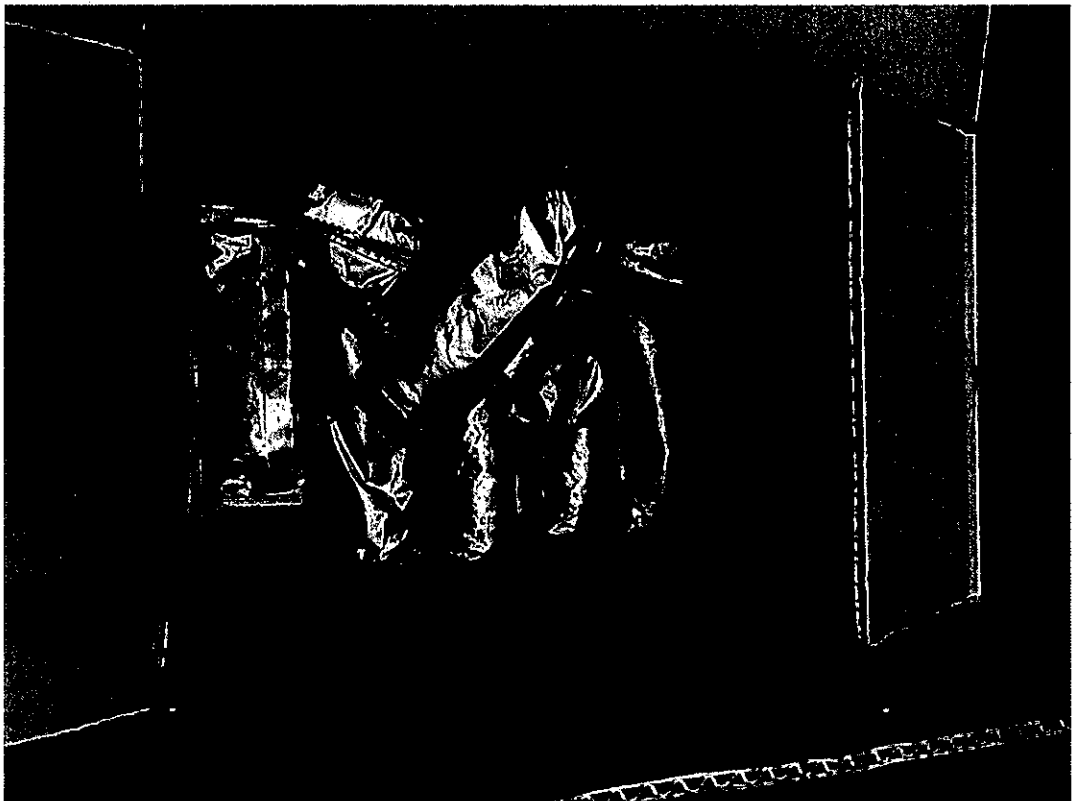
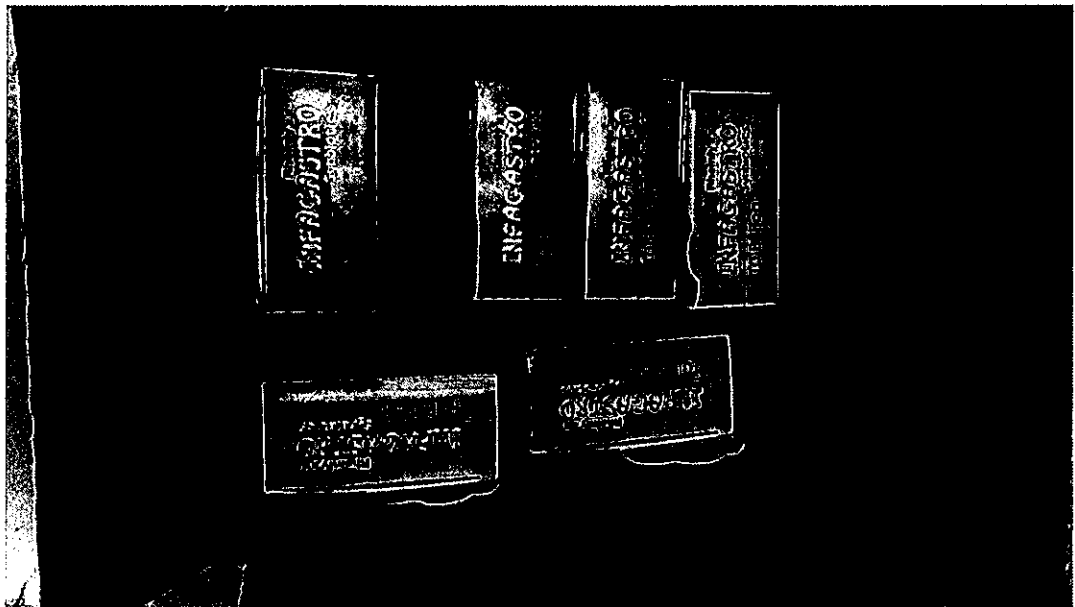
申請地點連接青山公路古洞段，為公路副路，是雙程路；青山公路古洞段與粉錦路相連，這是一條雙車道路：南行 2 車道、北行 2 車道。來自粉錦路的車輛可左轉至青山公路西行。

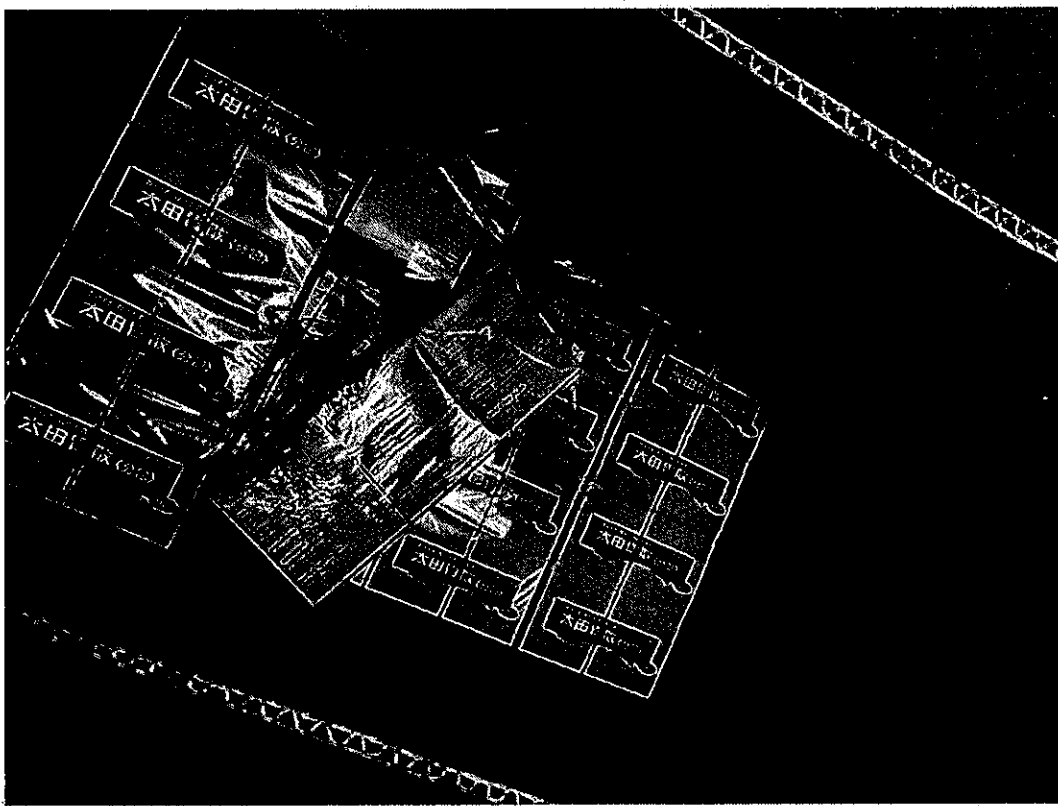
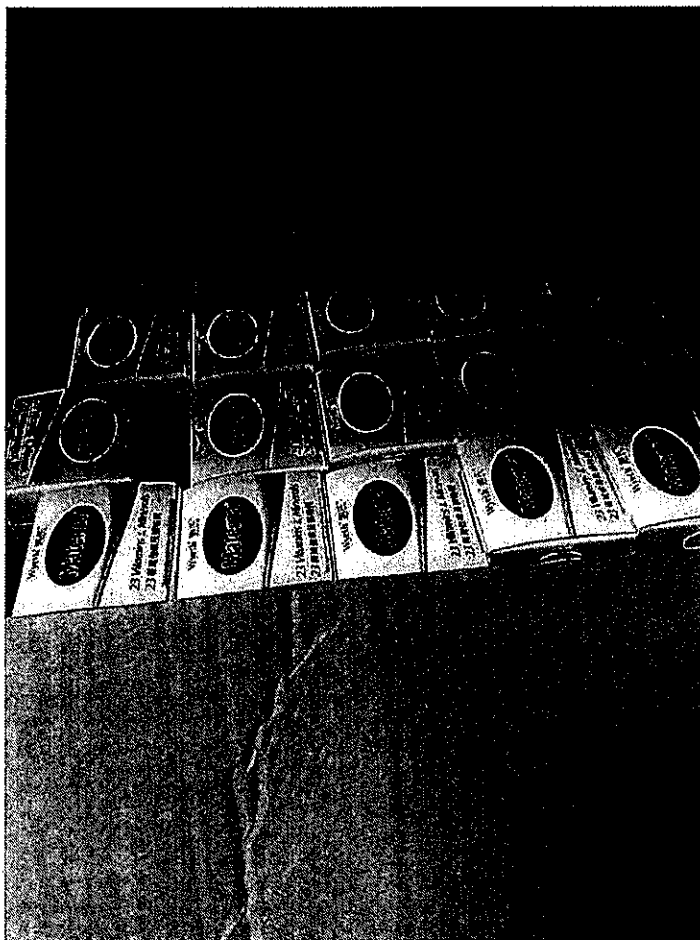
申請用途涉及 2 個輕型貨車車位，車重不多於 5.5 噸，不涉及其他中至重型車輛或拖頭；申請地點設有直徑 12 米的車輛迴旋空間供車輛掉頭，貨車不會以倒車方式進入倉庫；倉庫設有上落貨台 2 個，加上主要出入大門有 12 米闊，貨車有足夠空間迴旋後到貨台上落貨物，並不會出現需要在其他地方等候入倉庫的情況，擬議發展不會對附近交通造成不良影響、不會構成對道路的安全問題。

由於運輸車隊全由申請人所擁有，每部貨車出入時間均由寫字樓安排、每位司機均需依據寫字樓編排的時間表，以便倉庫員工安排貨物。

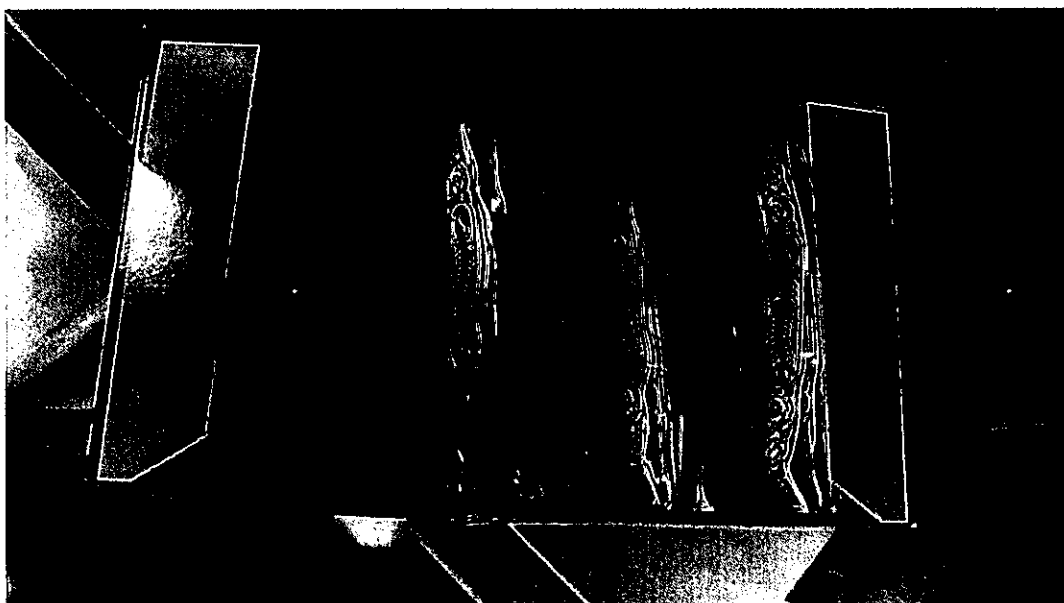
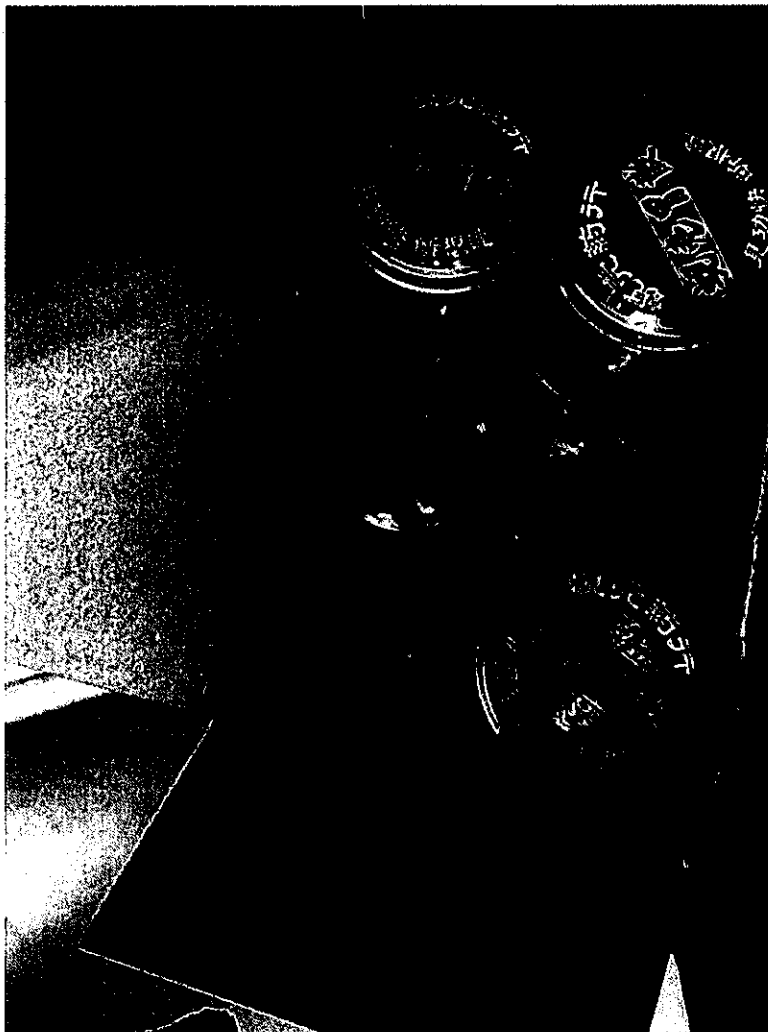
上述流量表中顯示每天出入總車輛數量由最少的 3 輛至最多的 7 輛；每個時段並不多於同時 2 輛車輛進出，並不會出現第 3 輛車輛等候入倉庫的情況，減少道路的負荷。另外，車輛進出的時間只限於早上九時至下午六時，並沒有提早或延遲的情況，以配合倉庫的營業時間，加上車輛的進出時間分佈平均，一般在 1 至 2 小時之間貨車已完成出入貨物並立即離開，並沒有逗留過長的時間。

申請人倉庫內的貨物一般為小型貨品，故此倉庫只需要用輕型貨車進出貨物，例如藥品、保健品及小型日常用品等（附圖）



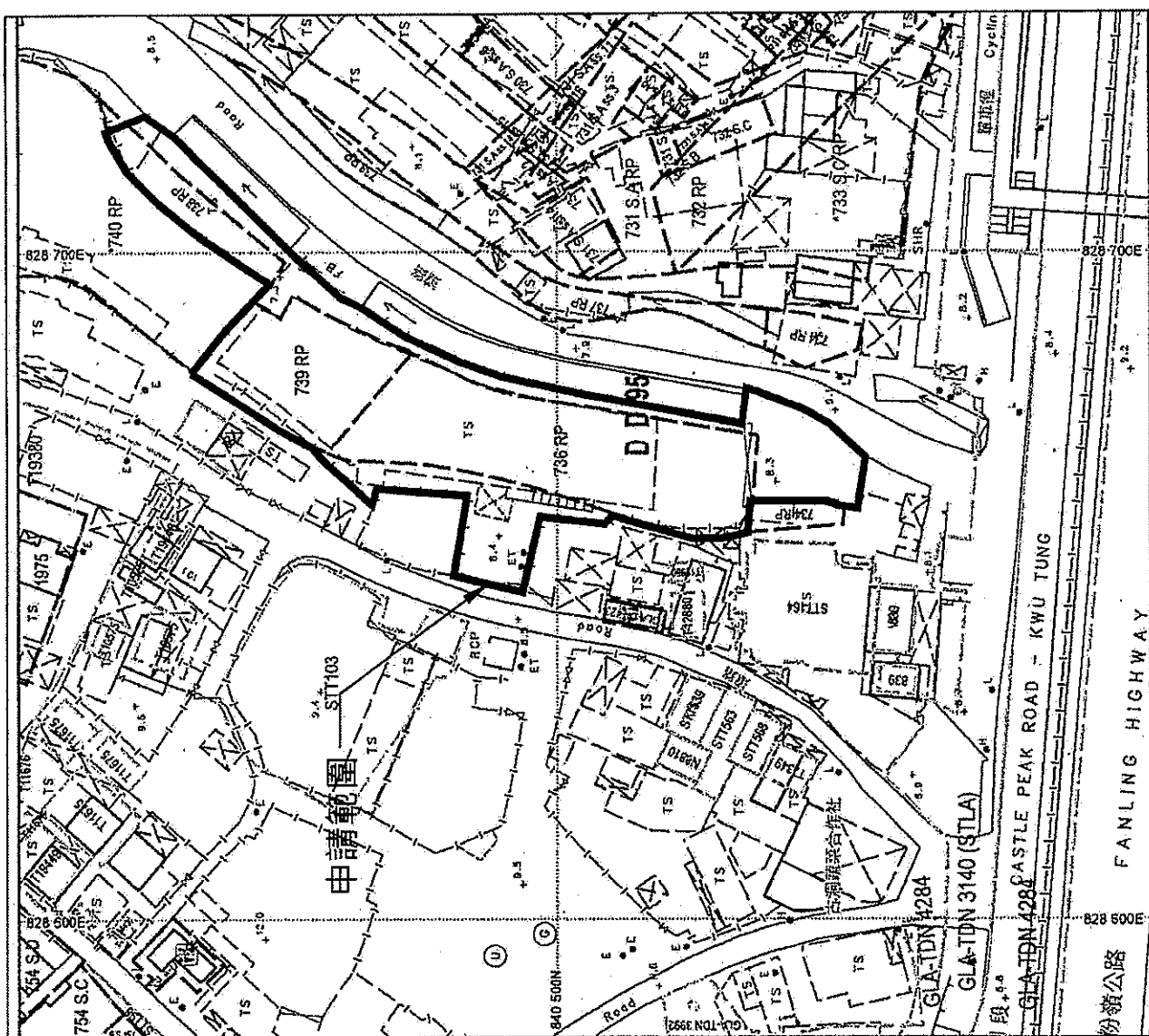
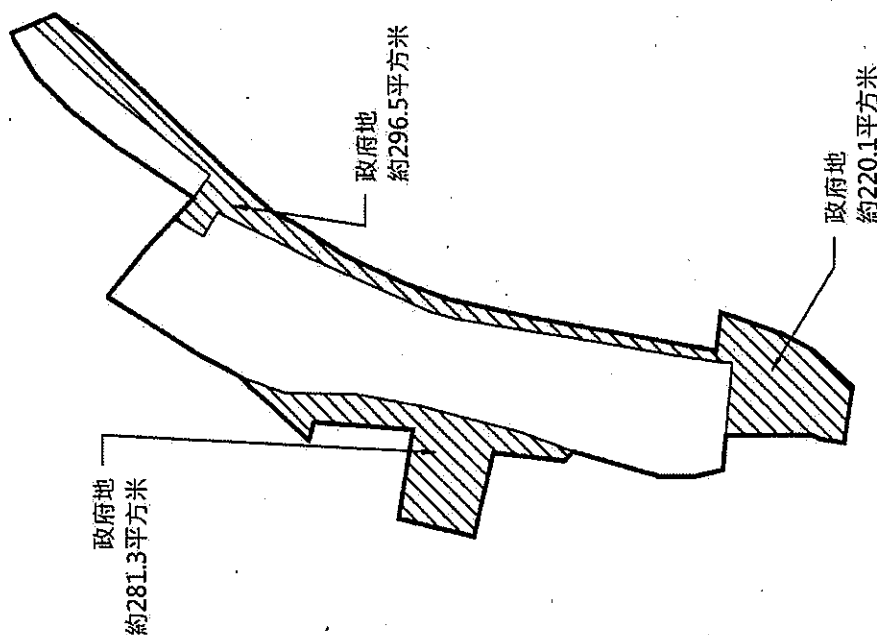






擬於古洞北丈量約份第95約地段  
第736號餘段、第738號餘段(部份)、  
第739號餘段及毗連政府土地申請為  
倉庫、汽車維修工場、附屬寫字樓及員工休息室

申請範圍：面積約2,238平方米  
其中包括租用政府地範圍：面積約797.9平方米  
(281.3+296.5+220.1)



地政總署測繪處

Survey and Mapping Office, Lands Department

比例尺 SCALE 1:1000  
米 10 0 10 20 30 40 50 metres



擬於古洞北丈量約份第95約地段  
第736號餘段,第738號餘段(部份),  
第739號餘段及毗連政府土地申請為  
倉庫、汽車維修工場、附屬寫字樓及員工休息室

申請範圍：面積約2,238平方米  
其中包括租用政府地範圍：面積約797.9平方米  
擬議露天土地面積：約990.5平方米  
擬議有上蓋土地面積：約1,247.5平方米(1024.5+195+12+16)  
構築物數目：4  
擬議非住用樓面面積：約1,550平方米(927+325+195+75+12+16)  
擬議總樓面面積：約1,550平方米(927+325+195+75+12+16)

輕型貨車車位：2個

構築物1

倉庫及附屬寫字樓  
上蓋面積：約1,024.5平方米  
(其中97.5平方米為雨蓬)  
高度：11.34米  
共二層：地面(倉庫)樓面面積約927平方米  
二樓(附屬寫字樓)樓面面積約325平方米

構築物2

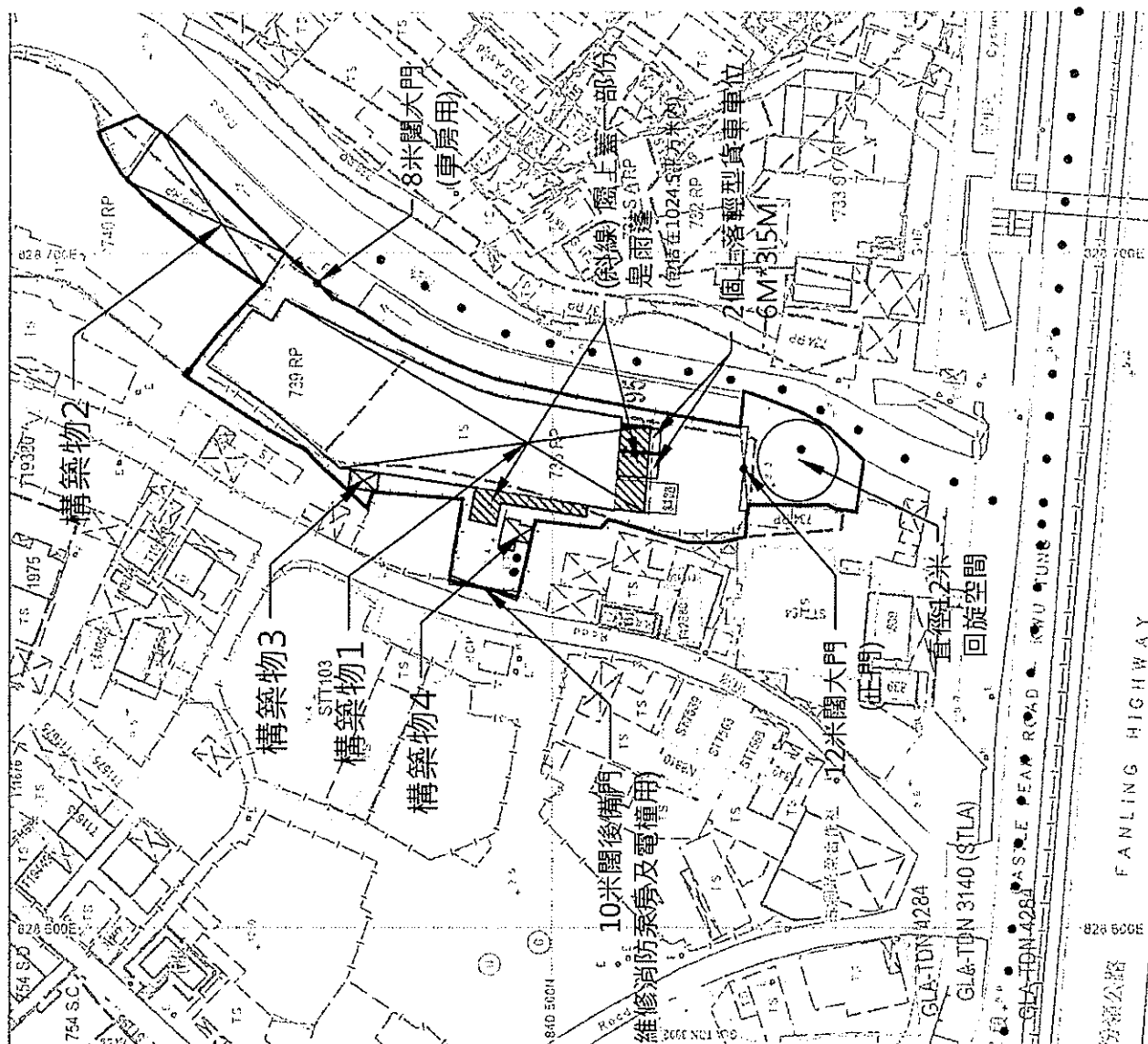
汽車維修工場及員工休息室  
上蓋面積：約195平方米  
高度：6.9米  
共二層：地面(汽車維修工場)樓面面積約195平方米  
二樓(員工休息室)樓面面積約75平方米

構築物3

廁所  
上蓋面積：約12平方米  
高度：3米

構築物4

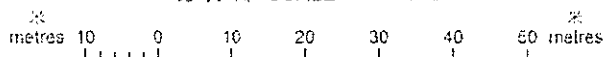
消防泵房及電掣房  
上蓋面積：約16平方米  
高度：3.2米



地政總局測量處

Survey and Mapping Office, Lands Department

比例尺 SCALE 1:1000



## 規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中染大廈 22 樓 2202 室



## Planning Department

Yanling, Sheung Shui & Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building,  
188 Castle Peak Road, Tsuen Wan, N.T.

來函編號 Your Reference :  
本署編號 Our Reference : TPB/A/KTN/51  
電話號碼 Tel. No. : 3168 4072  
傳真機號碼 Fax No. : 3168 4074

By Post and Fax (3487 1173)

2 July 2020

Dear Sir/Madam,

### Planning Application No. A/KTN/51

Temporary Warehouse and Vehicle Repair Workshop with Ancillary Office and Staff Rest Room for a Period of 3 Years in "Open Space" and "Other Specified Uses" annotated "Business and Technology Park" Zones and an area shown as 'Road', Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D.95 and Adjoining Government Land, Kwu Tung North  
(Compliance with Approval Condition (k) – implementation of landscape proposal)

I refer to your submissions which were received by our office on 1.6.2020 and 23.6.2020 for compliance with the captioned approval condition in relation to the implementation of landscape proposal.

2. The Chief Town Planner/Urban Design & Landscape, Planning Department (CTP/UD&L, PlanD) has advised that the captioned condition has been complied with.

3. You are reminded of the following:

- (a) Routine horticultural maintenance, such as watering and weed removing etc. shall be carried out to ensure healthy plant growth.
- (b) To observe and follow the guidelines promulgated by Greening, Landscape & Tree Management Section of Development Bureau for good horticultural maintenance:

● 護養樹木的簡易圖解

[https://www.greening.gov.hk/filemanager/content/pdf/tree\\_care/Pictorial\\_Guide\\_for\\_Tree\\_Maintenance.pdf](https://www.greening.gov.hk/filemanager/content/pdf/tree_care/Pictorial_Guide_for_Tree_Maintenance.pdf)

我們的理想 - 「透過規劃工作,使香港成為世界知名的國際都市。」  
Our Vision - "We plan to make Hong Kong an international city of world prominence."



規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中環大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference  
本署檔號 Our Reference ( ) in TPB/A/KTN/51  
電話號碼 Tel. No.: 3168 4039  
傳真機號碼 Fax No.: 3168 4074

By Post

27 November 2020

Dear Mr. KWOK

s.16 Planning Application No. A/KTN/51  
Temporary Warehouse and Vehicle Repair Workshop with Ancillary Office  
and Staff Rest Room for a Period of 3 Years in "Open Space"  
and "Other Specified Uses" annotated "Business and Technology Park" Zones  
and an area shown as 'Road', Lots 736 RP(Part), 738 RP(Part) and 739 RP  
in D.D.95 and Adjoining Government Land, Kwu Tung North  
(Compliance with Approval Condition (h) – submission of drainage proposal)

I refer to your submission dated 18.11.2020 for compliance with the captioned condition  
in relation to the submission of drainage proposal.

2. Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) has  
been consulted on your submission, and advised that approval condition (h) has been complied  
with. Please find the detailed departmental comments at Appendix.

3. Should you have any query, please contact Mr. Henry YU (Tel.: ) of DSD direct.

Yours faithfully,

(Ms. Winnie Lau)  
District Planning Officer/  
Fanling, Sheung Shui & Yuen Long East  
Planning Department

# **DRAINAGE IMPACT ASSESSMENT AND PROPOSAL**

**Planning Application Ref: A/KTN/51**

**Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D. 95  
and Adjoining Government Land  
Kwu Tung North, New Territories**

**APT Architects Limited**

**November 2020**

## **CONTENTS**

### **DRAINAGE IMPACT ASSESSMENT**

- 1.0 Introduction
- 2.0 The Drainage Proposal
- 3.0 Maintenance of the Proposed Stormwater Drainage Systems
- 4.0 Conclusion

### **APPENDIX**

- Drawing No. D-01      Drainage Plan
- Drawing No. DS 1025B      Sandtrap A Detail
- Drawing No. C2405i      Typical Catchpit Detail

**Planning Application Ref: A/KTN/51**  
**Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D. 95 and Adjoining**  
**Government Land, Kwu Tung North, New Territories**  
**DRAINAGE IMPACT ASSESSMENT AND PROPOSAL**

**1.0 INTRODUCTION**

- 1.1** This site is located at Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D. 95 and Adjoining Government Land, Kwu Tung North, New Territories.

The Application Site is proposed for Temporary Warehouse and Vehicle Repair Workshop with Ancillary Office and Staff Rest Room for a Period of 3 Years.

The Town Planning Board has approved the use and this Drainage Proposal is to fulfill the approval condition of the Town Planning Board.

- 1.2** The site is accessed from Castle Peak Road - Kwu Tung. The total area of the site is about 2,283m<sup>2</sup>.

**2.0 THE DRAINAGE PROPOSAL**

- 2.1** The site is near to a main road (Castle Peak Road - Kwu Tung) of irregular shape and is currently paved with concrete with fall from west to east. There is an existing nullah in concrete of about 3.5mWidth x 3.5mDepth (photo) adjacent to the site.
- 2.2** There are 2 temporary shed A, and B occupying about 65% of the site area.
- 2.3** The drainage of the site is designed and provided with multiple connection to this nullah.
- 2.4** The existing drainage channel / discharge is summarized as follows:
- 2.4.1** Site with Temporary Shed B (Lot 738RP, DD95) - Catchment Area 1
- a.** All drainage is collected to D7 (300mmW x 300mmD) along eastern boundary of site, and is discharged to Nullah via 2 nos. catchpits CP1 and CP2, with 450mm diameter discharge point.
  - b.** The western boundary of site is fully enclosed by fence wall with solid curb to contain water within site.



## **2.0 THE DRAINAGE PROPOSAL (cont'd)**

### **2.4.2 Site with Temporary Shed A (Lots 739RP, 736RP of DD95) - Catchment Area 2 & 3**

- a. The Shed A, whole Catchment Area2, has its own gutter to collect rainwater and runoff is charged directly to Nullah N1 via 3 nos. 300mm diameter PVC pipes P1, P2 and P3 (photo) .
- b. Runoff of Ground Level of the Shed A (Catchment Area 3) is mainly collected by:
  - D2A, D2, of 300mmW x 300mmD, fall towards north, and eastward, and discharge via CP2 to the Nullah N1;
  - D6, 300mmW x 300mmD, along the eastern boundary, and discharge via CP2, CP3 and CP4 to the Nullah N1;
- c. Runoff of Ground Level at the carpark area (south of Shed A) - Catchment Area 4 and 5 is mainly collected by:
  - D3, D4 and D5, all of 300mmW x 300mmD collected through CP5 and south portion of D6, and discharge via CP4 to the Nullah N1

### **2.4.3 When needed, 300mmx300mm channels will be covered with metal grating.**

Surface channels S1, S2 will contain rain water within site where 300x300mm channels are not provided.

Drainage of the whole site is in general provided to surround most portion of the site to contain rain water within site, and not to affect adjacent private lots.

Catchpit provided on site at major turns for condition checking and desilting.

## **2.5 Summary**

- a. The runoff of the large temporary shed A is directly discharged to Nullah N1.
- b. Runoff of shed B, and other ground areas will be collected by channels as shown, and are discharged to Nullah N1 via catchpit with disilting trap.
- c. Typical construction details attached will be followed for catchpit / sandtrap where appropriate.

Planning Application Ref: A/KTN/51  
Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D. 95 and Adjoining  
Government Land, Kwu Tung North, New Territories  
**DRAINAGE IMPACT ASSESSMENT AND PROPOSAL**

### **3.0 MAINTENANCE OF THE PROPOSED STORMWATER DRAINAGE SYSTEMS**

The applicant of the site will undertake the following construction / maintenance works for the proposed drainage system at his own costs.

Inspection, cleansing and desilting will be carried out at sandtrap A regularly and before / after the rainy season each year to ensure the drainage facilities function efficiently.

Since the system is designed to operate under gravity, the maintenance will be straightforward.

The applicant will be responsible to obtain permission from relevant site owners / government departments for any drainage works outside boundary.

### **4.0 CONCLUSION**

- 4.1 This drainage impact assessment is mainly based on existing drainage system provided by the Applicant of the Site. And there was no report of serious flooding of the site and its close neighbours since the operation of the Site activities.
- 4.2 With the relatively small size of site, the proposed drainage discharge points P1, P2, P3, and CP1, CP2, CP3 and CP4 are considered adequate to handle the runoff from the application site.
- 4.3 We noted that the neighboring sites all have levels almost equal to the application site and are having independent drainage.
- 4.4 Flooding susceptibility will not be increased to the surrounding areas of the site due to the development.


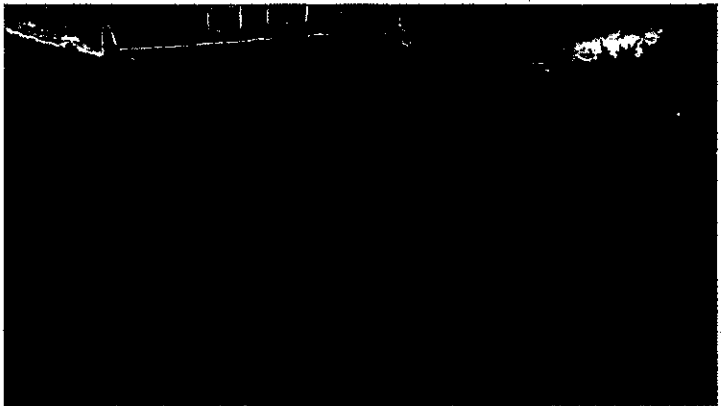

|  |  |
|--|--|
| <p>Photo 1:<br/>Shed A, discharge<br/>points P2, P3, and CP3</p> |    |
| <p>Photo: Carpark Area,<br/>Shed A, CP4, and<br/>Nullah N1</p>   |   |
| <p>Photo 3: Carpark Area,<br/>D5</p>                             |  |

Photo 4: Catchment  
Area 3, D2A

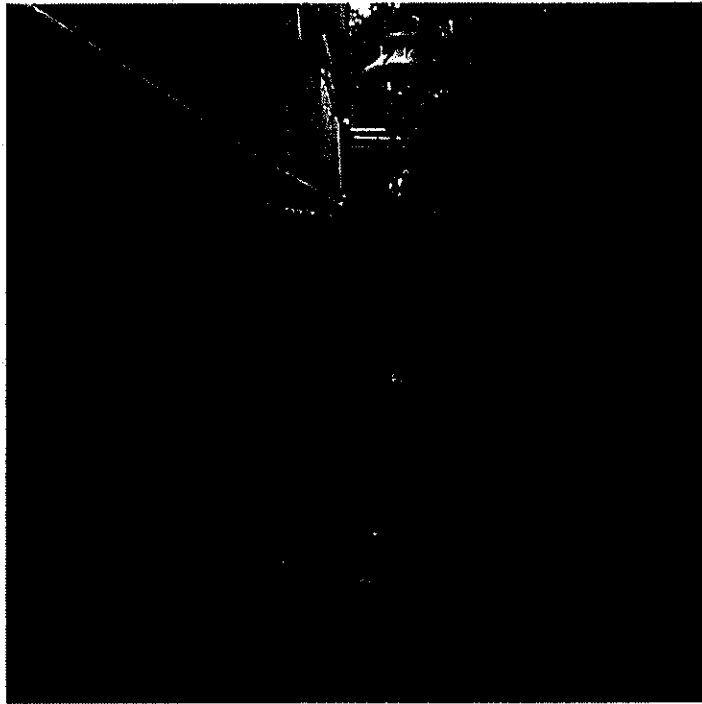
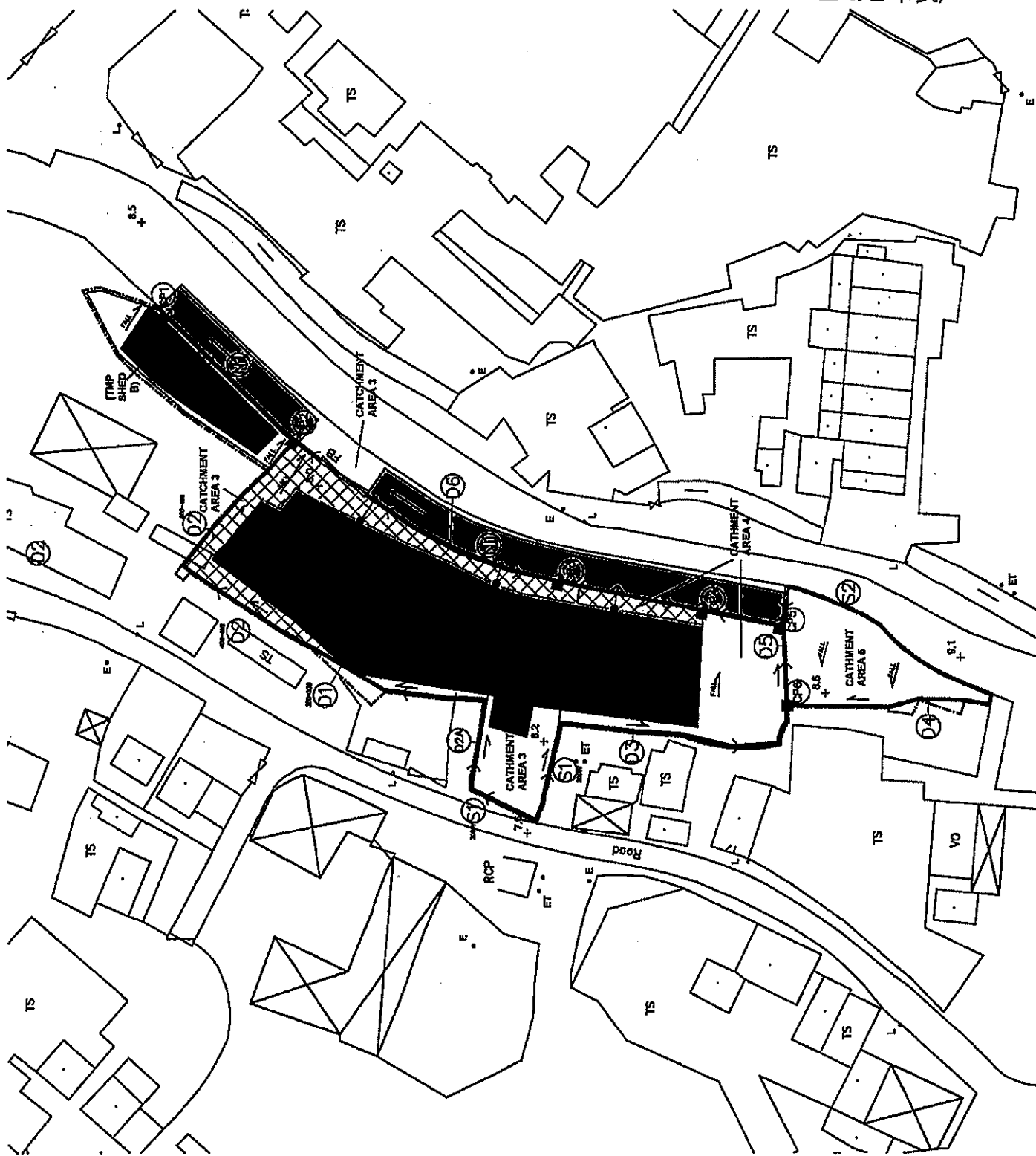


Photo 5,  
Shed B, CP1





LEGEND

- APPLICATION SITE
- CATCH PIT
- U-CHANNEL
- COVERED CHANNEL
- FLOW DIRECTION
- FENCE WALL WITH MIN 100H CURB
- SITE BOUNDARY
- LEVEL
- INVERT LEVEL

DRAWING NO. D-01

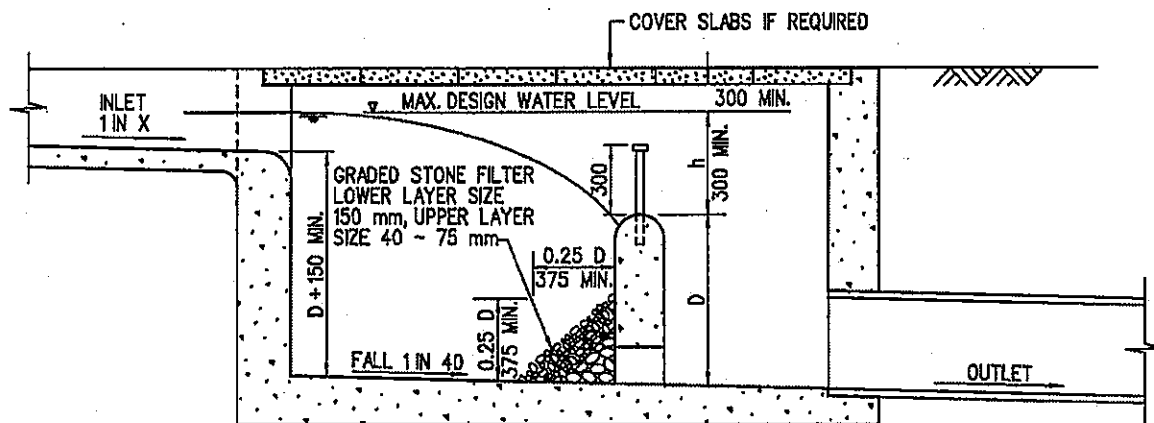
SCALE 1:600

DATE: 28/10/2020

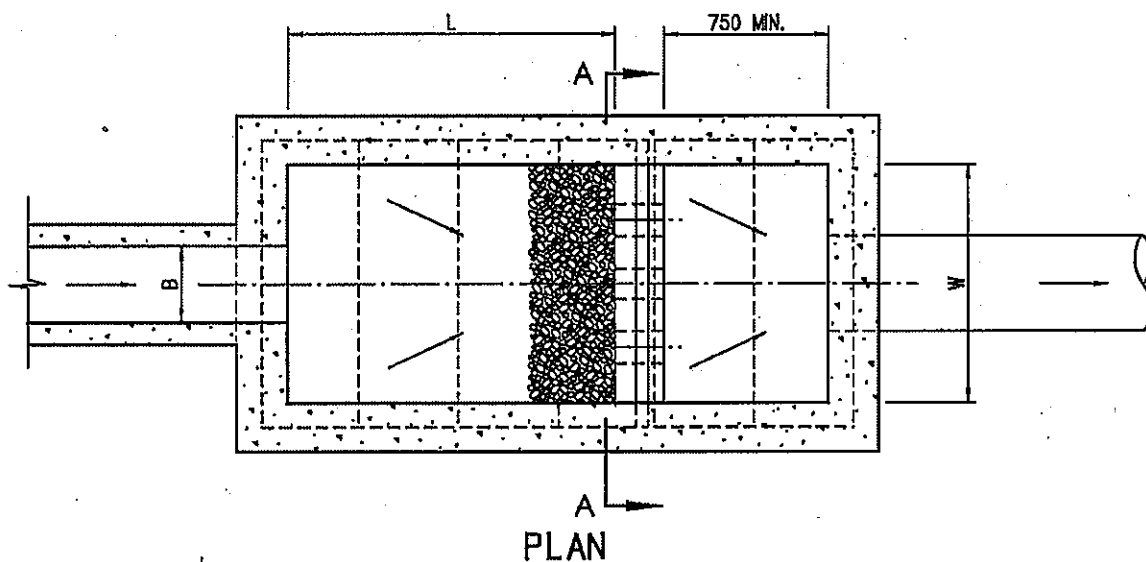
TEMPORARY WAREHOUSE AND VEHICLE WORKSHOP WITH ANCILLARY OFFICE AND STAFF REST ROOM FOR A PERIOD OF 3 Y



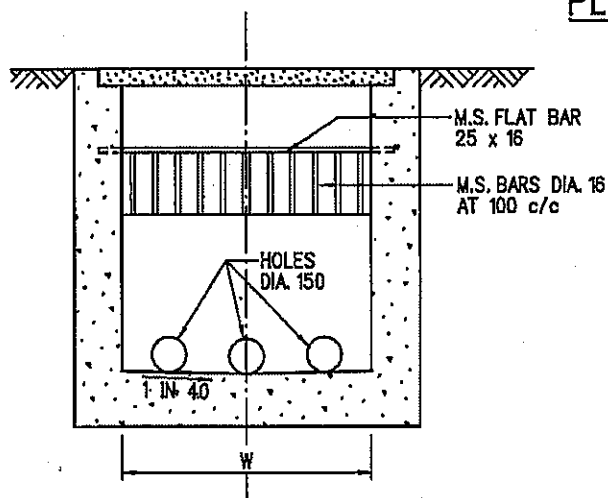
REF:160X1



**LONGITUDINAL SECTION**



**PLAN**



**SECTION A-A**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. NORMALLY FOR DRAINS OF 900 mm DIA. AND BELOW. FOR BIGGER DRAINS AND STEEP TERRAIN, SAND TRAP SHOULD BE SPECIALLY DESIGNED.
3. SIZE  
DEPTH :  $D \leq 750$   
WIDTH :  $W \geq 3B$   
LENGTH :  $4.8D^{0.45} \text{ or } h^{0.45} \times 4B$
4. GRADED STONE FILTER SHALL BE CRUSHER RUN GRANITE AGGREGATE.
5. CAPACITY D W L TO BE ACCORDING TO SIZE AND NATURE OF CATCHMENT, PROVIDING DETENTION TIME NOT LESS THAN 5 MINUTES FOR MAX. DESIGN FLOW OF INLET.

| B    | REDRAWN BY CAD | ORIGINAL SIGNED | 8.8.2001 |
|------|----------------|-----------------|----------|
| A    | GENERAL REVIEW | ORIGINAL SIGNED | 2.2.2001 |
| REV. | DESCRIPTION    | SIGNATURE       | DATE     |

**DRAINAGE SERVICES DEPARTMENT**

**SAND TRAP**

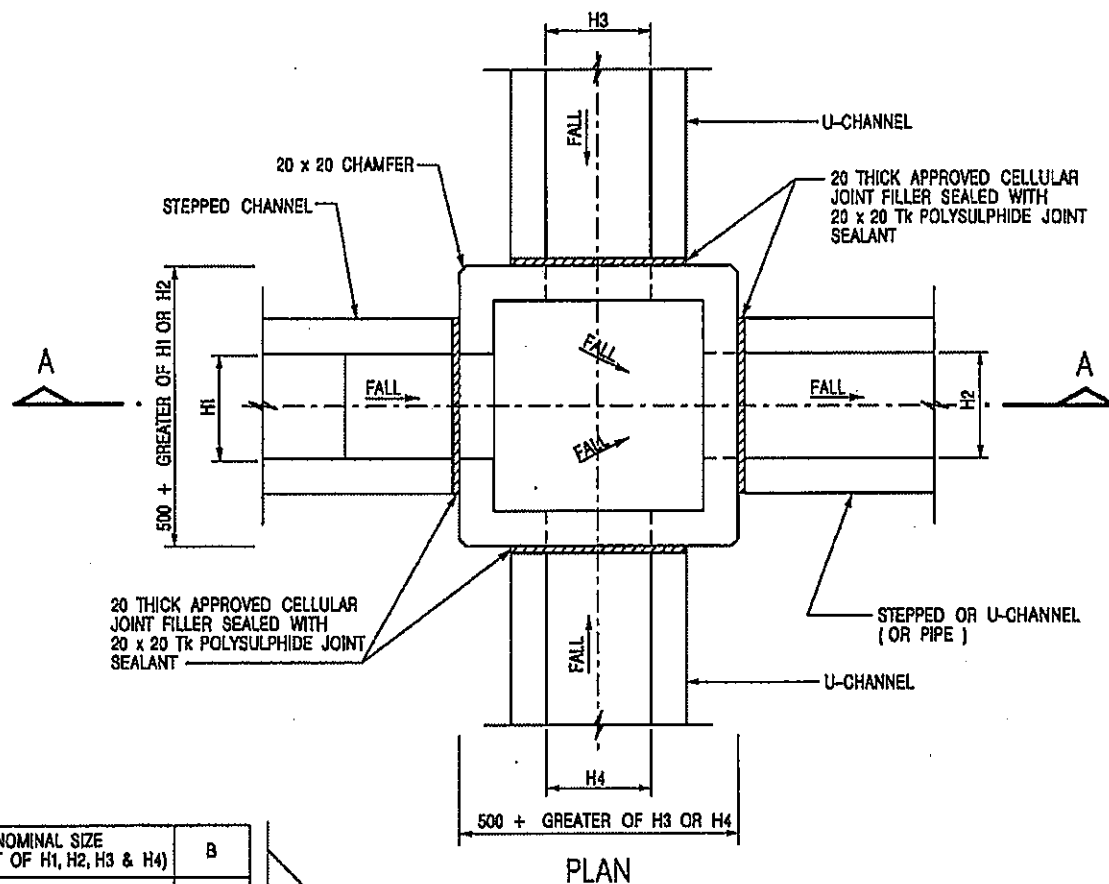
REFERENCE

DRAWING No.

SCALE

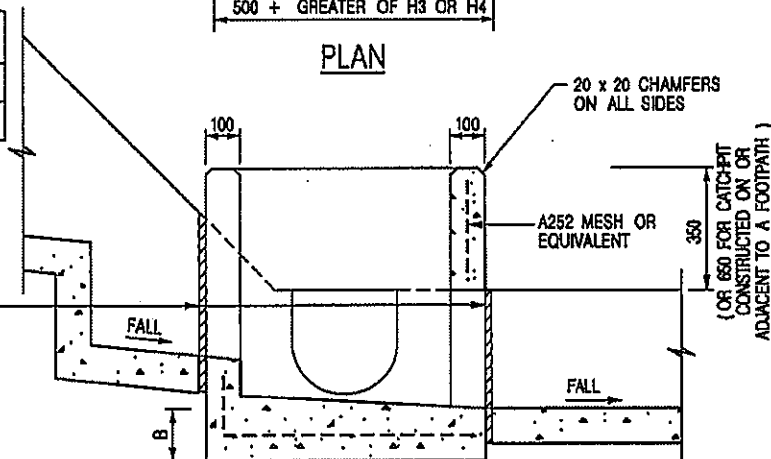
DIAGRAMMATIC

**DS 1025B**

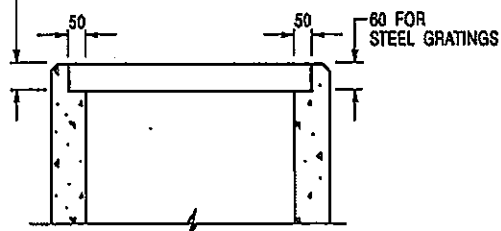


| NOMINAL SIZE<br>(LARGEST OF H1, H2, H3 & H4) | B   |
|--|-----|
| 300 - 600                                    | 150 |
| 675 - 900                                    | 175 |

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 TK POLYSULPHIDE JOINT SEALANT



DEPTH OF RECESS AND DETAILS OF PRECAST CONCRETE COVERS (SEE STD. DRG. NO. C2407)



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

| I    | DETAILS OF STEEL GRATINGS AMENDED. SHEET 5 ADDED.                 | Original Signed | 03.2009 |
|------|---|-----------------|---------|
| H    | DIMENSIONS OF CATCHPIT AMENDED. NOTES ADDED. SHEETS 2 TO 4 ADDED. | Original Signed | 10.2008 |
| G    | "FALL" ON BOTTOM OF CATCHPIT ADDED.                               | Original Signed | 05.2008 |
| F    | DIMENSION B ADDED.  | Original Signed | 08.2007 |
| E    | NAME OF DEPARTMENT AMENDED.                                       | Original Signed | 01.2005 |
| D    | GENERAL REVISION.   | Original Signed | 12.2002 |
| REF. | REVISION  | SIGNATURE       | DATE    |

STANDARD CATCHPIT DETAILS



CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1:20

DATE JAN 1991

DRAWING NO.

C24051

SHEET 1 OF 5

## FIRE SERVICES NOTES:

- SPRINKLER INLET TO BE PROVIDED AT GROUND FLOOR AND THE LOCATION SHOULD BE CLEARLY INDICATED ON PLAN
- FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS 5839-1 : 2002 + A2 : 2008 AND FSD CIRCULAR LETTER NO.1/2008 & 3/2010 & 2/2012. ONE ACTUATING POINT AND ONE AUDIO WARNING DEVICE SHOULD BE LOCATED AT EACH HOSE REEL POINT. THE ACTUATING POINT SHOULD INCLUDE FACILITIES FOR FIRE PUMP START AND AUDIO / VISUAL WARNING DEVICE INITIATION.
- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDINGS/STRUCTURES IN ACCORDANCE WITH BS 5266: PART 1 AND BS EN 1838
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS 5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- AUTOMATIC SPRINKLER SYSTEM SUPPLIED BY A 95000L SPRINKLER WATER TANK AND HAZARD CLASS OH3 SHALL BE PROVIDED TO THE ENTIRE BUILDING/STRUCTURE IN ACCORDANCE WITH LPC RULES INCORPORATING BS EN12845 : 2003 AND FSD CIRCULAR LETTER 3/2006 & 3/2012. THE SPRINKLER TANK, SPRINKLER PUMP ROOM, SPRINKLER INLET AND SPRINKLER CONTROL VALVE GROUP SHALL BE CLEARLY MARKED ON PLANS.
- THE MANUAL FIRE ALARM SYSTEM & SPRINKLER SYSTEM SHALL BE LINKED TO THE AUTOMATIC FIRE ALARM AND CONNECT TO FIRE SERVICES COMMUNICATION CENTRE BY DIRECT LINE
- 1 NO OF 5kg CO2 TYPE FIRE EXTINGUISHER SHALL BE PROVIDED FOR F.S. PUMP ROOM
- A MODIFIED HOSE REEL SYSTEM WITH 2000L F.S. TANK SHALL BE PROVIDED. THERE SHALL BE SUFFICIENT HOSE REELS TO ENSURE THAT EVERY PART OF EACH BUILDING/STRUCTURE CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30m OF HOSE REEL TUBING. THE FS WATER TANK, FS PUMP ROOM AND HOSE REEL SHALL BE CLEARLY MARKED ON PLANS.
- AN ADDRESSABLE TYPE FIRE ALARM PANEL TO BE PROVIDED AND LOCATED INSIDE G/F PUMP ROOM
- SUFFICIENT HAND-OPERATED APPROVED APPLIANCES SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY AND CLEARLY INDICATED ON PLANS.
- ALL SPRINKLER PIPE SIZE SHOULD BE 432mm UNLESS SPECIFY
- ALL INSTALLED SPRINKLER SHOULD BE PENDENT TYPE AND THE TEMPERATURE RATING OF SPRINKLER HEAD SHALL BE 68°C UNLESS OTHERWISE SPECIFIED.
- AN INSTRUCTION PLATE SHALL BE PROVIDED NEXT TO THE BREAK GLASS UNIT FOR OPERATION OF HOSE REEL
- THE HR SYSTEM INSTALLED SHOULD BE IN ACCORDANCE WITH PARA. 5.14 OF THE CODE OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATION AND EQUIPMENT 2012.
- ALL SHED STRUCTURE SHOULD BE 4 SIDES OPEN (NO SIDE-PENCING)
- THE HAZARD GROUP OF THE SPRINKLER SYSTEM IS OH3. CATEGORY 1 MATERIAL ARE STORED IN THE FREIGHT HANDLING FACILITY. THE MATERIAL ARE STORED IN FREE-STANDING STORAGE (ST1). THE MAXIMUM STORAGE HEIGHT IS 4m
- STORAGE BLOCKS SHOULD BE SEPARATED BY AISLES NO LESS THAN 2.4m WIDE.
- THE MAXIMUM STORAGE AREA FOR MATERIALS STORED IN OCCUPANCY CLASSIFIED AS OH3 SHOULD BE 50m<sup>2</sup> WITH NO LESS THAN 2.4m CLEARANCE AROUND THE BLOCK.
- STORAGE SHOULD BE CONFINED TO BLOCKS NOT EXCEEDING 150m IN PLAN AREA FOR CATEGORY 1.
- NO EMERGENCY GENERATOR TO BE PROVIDED FOR SERVING THE EMERGENCY POWER. DUPLICATED POWER SUPPLIES FOR ALL FIRE SERVICES INSTALLATIONS COMPRISING A CABLE CONNECTED FROM ELECTRICITY MAINS DIRECTLY BEFORE THE MAIN SWITCH
- 1.5kg CO2 TYPE FIRE EXTINGUISHER, EMERGENCY LIGHTING AND EXIT SIGN SHALL BE PROVIDED FOR ALL SITE OFFICE, GUARDHOUSE AND SITE CANTEN.

## ABBREVIATION

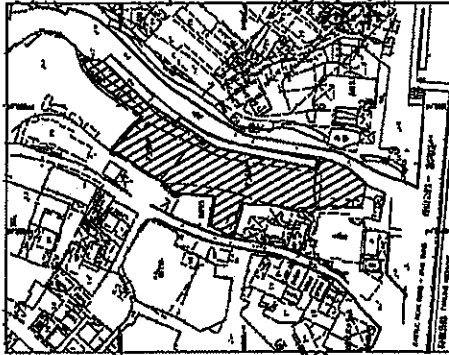
|        |                            |
|--------|----------------------------|
| SPE    | SPRINKLER                  |
| H/L    | HOSE REEL                  |
| FE     | FIRE EXTINGUISHER          |
| CO     | CARBON DIOXIDE             |
| L.P.C. | LOSS PREVENTION COUNCIL    |
| F.S.I. | FIRE SERVICES INSTALLATION |
| H/L    | HIGH LEVEL                 |
| M/L    | MID LEVEL                  |
| L/L    | LOW LEVEL                  |
| F/A    | FROM ABOVE                 |
| F/B    | FROM BELOW                 |
| T/A    | TO ABOVE                   |
| T/B    | TO BELOW                   |
| U/G    | UNDERGROUND                |
| F.S.   | FIRE SERVICES              |

## COLOR CODE

| PIPE SIZE | COLOR |
|-----------|-------|
| 150mm     | RED   |
| 100mm     | RED   |
| 75mm      | RED   |
| 50mm      | RED   |
| 25mm      | RED   |
| 15mm      | RED   |
| 10mm      | RED   |
| 5mm       | RED   |

## DRAWING LIST

| DRAWING NO    | DESCRIPTION   |
|---------------|---|
| EP-10187-F301 | FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST                  |
| EP-10187-F302 | PROPOSED SPRINKLER SYSTEM LAYOUT PLAN                             |
| EP-10187-F303 | PROPOSED HOSE REEL SYSTEM LAYOUT PLAN                             |
| EP-10187-F304 | DETAILS OF F.S. & S.P. PUMP ROOM                                  |
| EP-10187-F305 | SCHEMATIC DIAGRAM FOR SPRINKLER SYSTEM                            |
| EP-10187-F306 | SCHEMATIC DIAGRAM FOR HOSE REEL SYSTEM                            |
| EP-10187-F307 | POWER DISTRIBUTION DIAGRAM FOR SPRINKLER AND FIRE SERVICES PLUMBS |



SITE LOCATION PLAN (SCALE: 1:1)

## LEGEND (FOR LAYOUT PLAN)

|     |                                   |
|-----|-----------------------------------|
| 100 | HOSE REEL / SPRINKLER WATER TANK  |
| 101 | SPRINKLER WATER TANK              |
| 102 | SPRINKLER INLET                   |
| 103 | SPRINKLER CONTROL VALVE           |
| 104 | SPRINKLER PUMP ROOM               |
| 105 | SPRINKLER PUMP                    |
| 106 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 107 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 108 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 109 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 110 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 111 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 112 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 113 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 114 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 115 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 116 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 117 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 118 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 119 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 120 | SPRINKLER PUMP ELECTRICAL CONTROL |

## LEGEND (FOR SCHEMATIC DIAGRAM)

|     |                                   |
|-----|-----------------------------------|
| 100 | HOSE REEL / SPRINKLER WATER TANK  |
| 101 | SPRINKLER WATER TANK              |
| 102 | SPRINKLER INLET                   |
| 103 | SPRINKLER CONTROL VALVE           |
| 104 | SPRINKLER PUMP ROOM               |
| 105 | SPRINKLER PUMP                    |
| 106 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 107 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 108 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 109 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 110 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 111 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 112 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 113 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 114 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 115 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 116 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 117 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 118 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 119 | SPRINKLER PUMP ELECTRICAL CONTROL |
| 120 | SPRINKLER PUMP ELECTRICAL CONTROL |

## DRAWING TITLE

FS NOTES, LEGEND, ABBREVIATIONS AND DRAWING LIST

| REV | DESCRIPTION       | DATE      |
|-----|-------------------|-----------|
| 1   | ISSUED FOR TENDER | 12-9-2021 |
| 2   | ISSUED FOR TENDER | 12-9-2021 |
| 3   | ISSUED FOR TENDER | 12-9-2021 |
| 4   | ISSUED FOR TENDER | 12-9-2021 |
| 5   | ISSUED FOR TENDER | 12-9-2021 |
| 6   | ISSUED FOR TENDER | 12-9-2021 |
| 7   | ISSUED FOR TENDER | 12-9-2021 |
| 8   | ISSUED FOR TENDER | 12-9-2021 |
| 9   | ISSUED FOR TENDER | 12-9-2021 |
| 10  | ISSUED FOR TENDER | 12-9-2021 |
| 11  | ISSUED FOR TENDER | 12-9-2021 |
| 12  | ISSUED FOR TENDER | 12-9-2021 |
| 13  | ISSUED FOR TENDER | 12-9-2021 |
| 14  | ISSUED FOR TENDER | 12-9-2021 |
| 15  | ISSUED FOR TENDER | 12-9-2021 |
| 16  | ISSUED FOR TENDER | 12-9-2021 |
| 17  | ISSUED FOR TENDER | 12-9-2021 |
| 18  | ISSUED FOR TENDER | 12-9-2021 |
| 19  | ISSUED FOR TENDER | 12-9-2021 |
| 20  | ISSUED FOR TENDER | 12-9-2021 |

FS CONTINUED  
East Power Engineering Limited  
Plot A 7/A, May Seng Commercial Building  
41 Chong Chuan Street, Singapore, 410101  
Tel : 2344-3772 Fax : 2347-3238

PROPOSED TEMPORARY WAREHOUSE AND VEHICLE REPAIR WORKSHOP WITH ANGLIARY OFFICE AND STAFF REST ROOM FOR A PERIOD OF 3 YEARS IN "OPEN SPACE" AND "OTHER SPECIFIED USES" ANNOTATED BUSINESS AND TECHNOLOGY PARK ZONES AND AN INDUSTRIAL ZONE. THE PROPOSED DEVELOPMENT IS LOCATED ON A 1.5 HA LAND, 100M TUNG NORTH, N.E.

SCALE

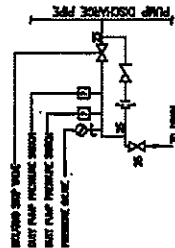
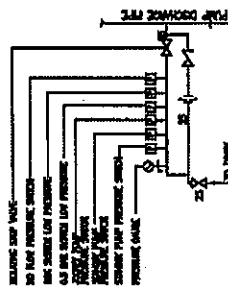
1:1





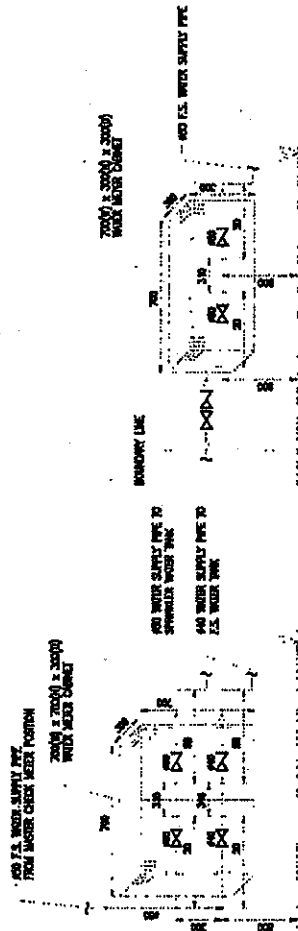
# PUMP SCHEDULE

| DESCRIPTION  | PRESSURE (PSI) | FLOW (GPM)         | PUMP SPEED (RPM) | PUMP RATING (HP) | PUMP SUPPLY (GPM/Pressure/ft) |
|--|----------------|--------------------|------------------|------------------|-------------------------------|
| SPRINKLER JOCKEY PUMP (SP-1)                       | 5              | 50                 | 2500<br>NORMAL   | 2.2 HP           | 300 GPM/50                    |
| TWO SPRINKLER PUMPS (SP-1 & SP-2 AS STAND-BY PUMP) | 14 / 21 / 32   | 2250 / 1350 / 1100 | 2500<br>NORMAL   | 18.5 HP          | 300 GPM/50                    |



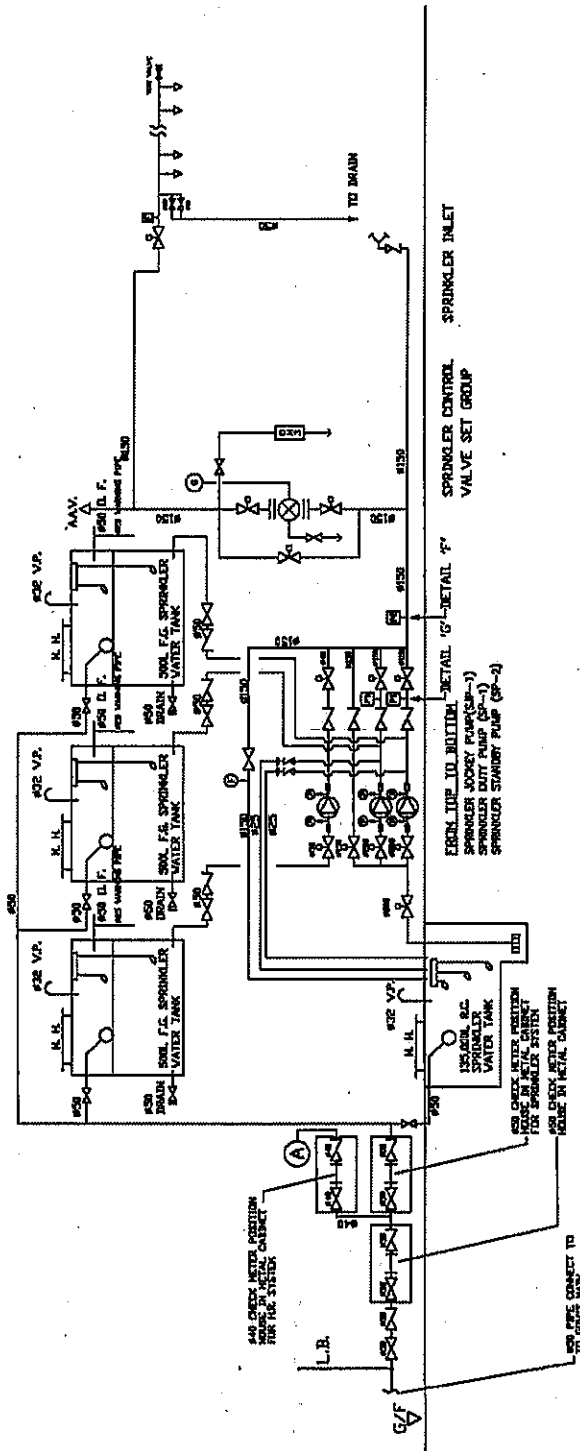
DETAIL V OF PUMP ASSEMBLY  
ARRANGEMENT FOR SPRINKLER JOCKEY PUMP

DETAIL V OF PUMP ASSEMBLY  
ARRANGEMENT FOR SPRINKLER JOCKEY PUMP



DETAIL V OF WATER METER ASSEMBLY  
ARRANGEMENT FOR SPRINKLER JOCKEY PUMP

DETAIL V OF WATER METER ASSEMBLY  
ARRANGEMENT FOR SPRINKLER JOCKEY PUMP



## SPRINKLER SYSTEM SCHEMATIC DIAGRAM

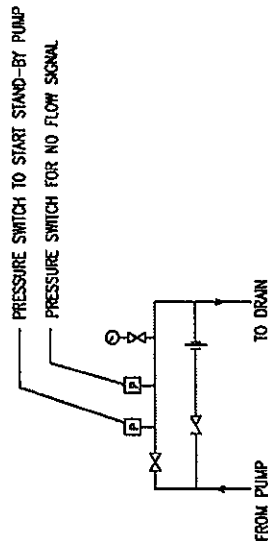
PROJECT  
EAST POWER ENGINEERING LIMITED  
Flat A/7F, Top Story Commercial Building  
41 Chin Kang Street, Telok Ayer St. Market, Singapore  
Tel : 2384-3772 Fax : 2387-3238

PROJECT TITLE  
SCHEMATIC DIAGRAM FOR SPRINKLER SYSTEM

| REV | DESCRIPTION      | DATE       | BY | CHECKED | DATE |
|-----|------------------|------------|----|---------|------|
| A   | 1ST SUBMISSION   | 01-11-2021 | MC |         |      |
| B   | 2ND SUBMISSION   | 01-11-2021 | MC |         |      |
| C   | 3RD SUBMISSION   | 01-11-2021 | MC |         |      |
| D   | 4TH SUBMISSION   | 01-11-2021 | MC |         |      |
| E   | 5TH SUBMISSION   | 01-11-2021 | MC |         |      |
| F   | 6TH SUBMISSION   | 01-11-2021 | MC |         |      |
| G   | 7TH SUBMISSION   | 01-11-2021 | MC |         |      |
| H   | 8TH SUBMISSION   | 01-11-2021 | MC |         |      |
| I   | 9TH SUBMISSION   | 01-11-2021 | MC |         |      |
| J   | 10TH SUBMISSION  | 01-11-2021 | MC |         |      |
| K   | 11TH SUBMISSION  | 01-11-2021 | MC |         |      |
| L   | 12TH SUBMISSION  | 01-11-2021 | MC |         |      |
| M   | 13TH SUBMISSION  | 01-11-2021 | MC |         |      |
| N   | 14TH SUBMISSION  | 01-11-2021 | MC |         |      |
| O   | 15TH SUBMISSION  | 01-11-2021 | MC |         |      |
| P   | 16TH SUBMISSION  | 01-11-2021 | MC |         |      |
| Q   | 17TH SUBMISSION  | 01-11-2021 | MC |         |      |
| R   | 18TH SUBMISSION  | 01-11-2021 | MC |         |      |
| S   | 19TH SUBMISSION  | 01-11-2021 | MC |         |      |
| T   | 20TH SUBMISSION  | 01-11-2021 | MC |         |      |
| U   | 21TH SUBMISSION  | 01-11-2021 | MC |         |      |
| V   | 22TH SUBMISSION  | 01-11-2021 | MC |         |      |
| W   | 23TH SUBMISSION  | 01-11-2021 | MC |         |      |
| X   | 24TH SUBMISSION  | 01-11-2021 | MC |         |      |
| Y   | 25TH SUBMISSION  | 01-11-2021 | MC |         |      |
| Z   | 26TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AA  | 27TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AB  | 28TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AC  | 29TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AD  | 30TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AE  | 31TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AF  | 32TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AG  | 33TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AH  | 34TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AI  | 35TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AJ  | 36TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AK  | 37TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AL  | 38TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AM  | 39TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AN  | 40TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AO  | 41TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AP  | 42TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AQ  | 43TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AR  | 44TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AS  | 45TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AT  | 46TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AU  | 47TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AV  | 48TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AW  | 49TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AX  | 50TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AY  | 51TH SUBMISSION  | 01-11-2021 | MC |         |      |
| AZ  | 52TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BA  | 53TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BB  | 54TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BC  | 55TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BD  | 56TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BE  | 57TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BF  | 58TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BG  | 59TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BH  | 60TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BI  | 61TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BJ  | 62TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BK  | 63TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BL  | 64TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BM  | 65TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BN  | 66TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BO  | 67TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BP  | 68TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BQ  | 69TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BR  | 70TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BS  | 71TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BT  | 72TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BU  | 73TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BV  | 74TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BW  | 75TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BX  | 76TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BY  | 77TH SUBMISSION  | 01-11-2021 | MC |         |      |
| BZ  | 78TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CA  | 79TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CB  | 80TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CC  | 81TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CD  | 82TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CE  | 83TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CF  | 84TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CG  | 85TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CH  | 86TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CI  | 87TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CJ  | 88TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CK  | 89TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CL  | 90TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CM  | 91TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CN  | 92TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CO  | 93TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CP  | 94TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CQ  | 95TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CR  | 96TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CS  | 97TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CT  | 98TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CU  | 99TH SUBMISSION  | 01-11-2021 | MC |         |      |
| CV  | 100TH SUBMISSION | 01-11-2021 | MC |         |      |

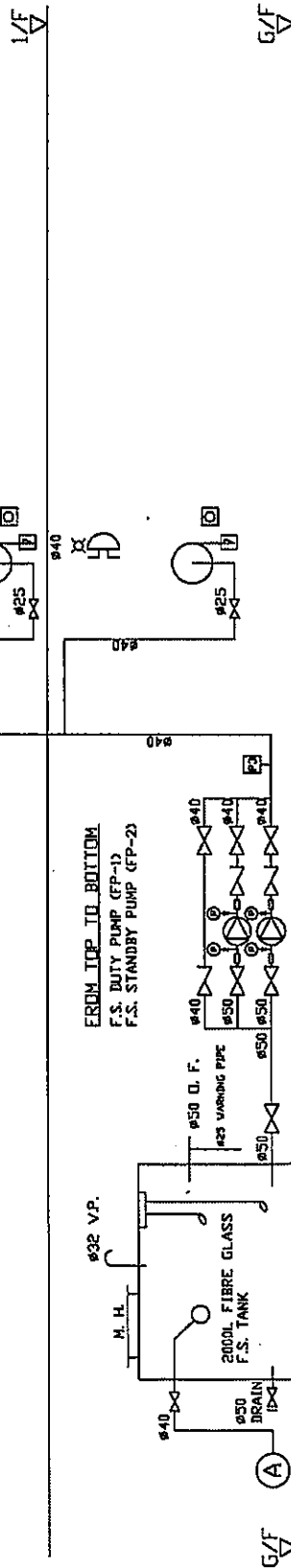
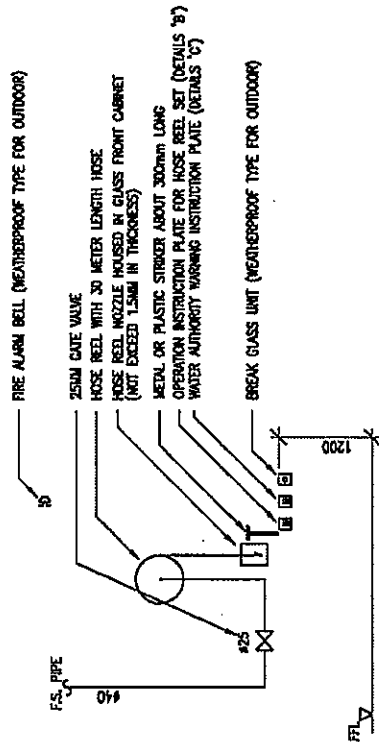
# PUMP SCHEDULE

| DESCRIPTION   | PRESSURE (BAR) | FLOW (L/MIN.) | PUMP SPEED (RPM) | PUMP RATING (KW) | POWER SUPPLY (volts/phases/Hz) |
|---|----------------|---------------|------------------|------------------|--------------------------------|
| TWO FIRE SERVICES PUMPS<br>(FP-1 AS DUTY &<br>FP-2 AS STANDBY PUMP) | 6              | 3.3           | 2300<br>MAXIMUM  | 2.2KW            | 380/3/50                       |



DETAIL ARRANGEMENT FOR 'P3'

TYPICAL ARRANGEMENT OF HOSE REEL



SCHEMATIC DIAGRAM FOR HOSE REEL SYSTEM

PROJECT  
PROPOSED TEMPORARY WAREHOUSE AND VEHICLE  
REPAIR WORKSHOP WITH ANNEXARY OFFICE AND STAFF  
REST ROOM FOR A PERIOD OF 3 YEARS IN 'OPEN  
SPACE' AND 'OTHER SPECIFIED USES' ANNOTATED  
"BUSINESS AND TECHNOLOGY PARK" ZONES AND AN  
AREA SHOWN AS "ROAD". LOTS 735 RP(PHAT),  
735B(PHAT) AND 735B-1 IN D.O. 85 AND ADJOINING  
GOVERNMENT LAND, KNU TUNG NORTH, N.T.



East Power Engineering Limited  
Flat A 7/F, The Shing Chai Building  
41 On King Street, Tsimshatsui, Kowloon  
Tel : 2384-3772 Fax : 2387-3238

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PROJECT NO.

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**Previous s.16 Applications covering the Application Site**

**Approved Application**

| <b>Application No.</b> | <b>Uses/Developments</b>  | <b>Date of Consideration</b>              |
|------------------------|---|---|
| A/KTN/51               | Temporary Warehouse and Vehicle Repair Workshop with Ancillary Office and Staff Rest Room for a Period of 3 Years | 8/3/2019 (RNTPC)<br>(Revoked on 8/6/2021) |

**Rejected Application**

| <b>Application No.</b> | <b>Uses/Developments</b>  | <b>Date of Consideration</b> | <b>Rejection Reasons</b> |
|------------------------|---|------------------------------|--------------------------|
| A/DPA/NE-KTN/37        | Low density residential development including club house and ancillary facilities | 15/07/1994                   | R1 – R7                  |

**Reject Reasons**

- R1 The proposed development is not in line with the planning intention for the area on the approved Kwu Tung North Development Permission Area Plan which is to encourage in-situ reconstruction of the structures with permanent materials with a view to improving the current situation and local environment;
- R2 The proposed development is incompatible with the industrial/storage uses in the vicinity and will result in industrial/residential interface problems particularly with respect to air and noise pollution;
- R3 The proposal will aggravate the traffic congestion of the strategic road network and will have undesirable effects on Castle Peak Road which is substandard;
- R4 The traffic impact assessment is not satisfactory in that it has not addressed the traffic impact on the strategic road network, the local roads and some critical junctions, and the traffic problems associated with the residential development in a predominantly industrial area;
- R5 The proposed car parking provision is inadequate;
- R6 The drainage impact assessment is not acceptable and a more detailed drainage impact assessment is required to demonstrate that there will be no adverse impact on the development and the adjacent areas; and
- R7 The master landscape plan is not acceptable as the provision of landscaping is inadequate with respect to the scale of the proposed development and the adjacent land uses.



**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- The application site comprises of Lots No. 736 RP, 738 RP (Part) and 739 RP all in D.D.95. The lots are Old Schedule lots held under the Block Government Lease (demised for agricultural use) without any guarantee of right of access.
- The applicant should make his own arrangement for acquiring access to the Site, and there is no guarantee that any adjoining Government Land (GL) will be allowed for vehicular access to the Site for the proposed use.
- There are unauthorized structures erected on the application lots and portions of adjoining GL are occupied without approval from his office. His office reserves the right to take necessary lease enforcement actions against the structures on private lots and land control action against the irregularities on GL as appropriate.
- According to the proposed development, toilet would be erected on the Site. The applicant should note that any proposed toilet facility should meet the current health requirements.
- His other advisory comments are in **Appendix IV**.

**2. Long Term Development**

Comment of the Project Manager/North, Civil Engineering and Development Department (PM/N, CEDD):

- The Site partially falls within the KTN New Development Area Remaining Phase. According to the latest implementation programme of the project, it is aimed to commence the construction works for the Remaining Phase in 2024. Therefore, the period of the application should be ended on or before end 2023.

**3. Traffic**

Comments of the Commissioner for Transport (C for T):

- No objection from traffic engineering point of view.

**4. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- No objection to the application from landscape planning perspective as no significant landscape impact arising from the temporary development is anticipated.

## 5. Drainage and Sewage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- No objection to the application.
- Should the application be approved, conditions should be included to request the applicant to implement the drainage proposal previously approved in November 2020 in the planning application no. A/KTN/51 for the site to ensure that it will not cause adverse drainage impact to the adjacent area
- The Site is in an area where no public sewerage connection is available.

## 6. Fire Safety

Comments of the Director of Fire Services (D of FS):

- No in-principle objection to the application to the proposal subject to fire service installations being provided to the satisfaction of the Director of Fire Services.
- His advisory comments are at **Appendix IV**.

## 7. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- There is no record of approval by the Building Authority for the buildings/ structures existing at the Site and BD is not in a position to offer comments on their suitability for the use related to the application.
- His advisory comments are at **Appendix IV**.

## 8. District Officer's Comments

Comments of the District Officer (North), Home Affairs Department (DO(N), HAD):

- He has consulted the locals. The Chairman of Sheung Shui District Rural Committee, the incumbent North District Councilor, the Resident Representative of Kwu Tung (South), the Chairman of Fung Shui Area Committee and the Chairman of 天巒業主委員會, had no comment.

## 9. Other Departments

- The Chief Estate Surveyor/ New Development Area, LandsD, Chief Highway Engineer/New Territories East, Highways Department, Head of Geotechnical Engineering



Office, CEDD, Chief Engineer/Construction, Water Supplies Department, Director of Electrical and Mechanical Services and the Commissioner of Police and have no objection to / no comment on the application.

- Their advisory comments, if any, are at **Appendix IV**



**Recommended Advisory Clauses**

- (a) Prior planning permission should have been obtained before commencing the applied use at the Site.
- (b) Should the applicant fail to comply with the approval conditions again resulting in the revocation of the planning permission, sympathetic consideration would not be given by the Committee to any further application.
- (c) The Site falls within the Remaining Phase of Kwu Tung North New Development Area (KTN NDA) project. The Site may be resumed by the Government at any time during the planning approval period for the implementation of Government projects.
- (d) To note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) as follows:
  - (i) The applicant should make his own arrangement for acquiring access to the Site, and there is NO guarantee that any adjoining Government Land (GL) will be allowed for vehicular access to the Site for the proposed use.
  - (ii) There are unauthorized structures erected on the lots and portions of adjoining Government Land in the Site without prior approval from his office. His office reserves the right to take necessary lease enforcement and land control actions against the aforesaid structures.
  - (iii) Any proposed toilet facility should meet the current health requirements.
  - (iv) The owners of the lots concerned shall apply to his office for a Short Term Waiver (STW) and Short Term Tenancy (STT) covering all the actual occupation area and to regularize the unauthorized structures on site. The application for STW and STT will be considered by the Government in its landlord's capacity and there is no guarantee that they will be approved. If the STW/STT are approved, their commencement date would be backdated to the first date of occupation and they will be subject to such terms and conditions to be imposed including payment of waiver fee/rent and administrative fees as considered appropriate by his office.
- (e) To note the comments of the Director of Environmental Protection (DEP) that the applicant should follow the latest 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' in order to minimize the potential environmental impacts on the adjacent area.
- (f) To note the comments of Chief Town Planner/Urban Design & Landscape, Planning Department as follows:

The approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works.

(g) To note the comments of the Director of Fire Services as follows:

- (i) Comments on the submitted FSI proposal:
  - a. Standardized sprinkler tank size in accordance with BS EN 12845 shall be provided and FS Note 5 shall be amended accordingly;
  - b. Sprinkler inlet and control valve shall be clearly indicated on plan;
  - c. Location and capacity of sprinkler tank and FS tank shall be clearly indicated on plan;
  - d. Location of sprinkler pump shall be clearly indicated on plan;
  - e. Schematic drawings would not be vetted at this stage and may be omitted from future submission;
  - f. FS Note 19 shall be deleted;
  - g. Location of canteen shall be clearly indicated on plan; and
  - h. Please avoid submitting FSI proposal via fax as the printing quality is barely legible.
- (ii) If the applied structures are required to comply with the Building Ordinance, detailed fire requirements will be formulated upon receipt of formal submission of general building plans.

(h) To note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) as follows:

- (i) If the existing structures are erected on leased land without approval of the BD (not being a New Territories Exempted House), they are unauthorized under the Building Ordinance (BO) and should not be designated for any approved use under the application.
- (ii) Before any new building works are to be carried out on the Site, prior approval and consent of the BA should be obtained unless they are exempted building works or commenced under the simplified requirement under the Minor Works Control System. Otherwise they are Unauthorized Building Works (UBW). An Authorized Person (AP) should be appointed as the coordinator for the proposed building works in accordance with the BO.
- (iii) For UBW erected on leased land, enforcement action may be taken by the BA to effect their removal in accordance with BD's enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO.
- (iv) If the applied use under application is subject to the issue of a licence, any existing structures on the Site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority.
- (v) Any temporary shelters or converted containers for storage or office, canteen or other uses are considered as temporary buildings are subject to the control of Part VII of the Building (Planning) Regulations.
- (vi) The Site shall be provided with means of obtaining access thereto from a street under

the Building (Planning) Regulation 5 and emergency vehicular access shall be provided under the Building (Planning) Regulation 41D.

- (vii) If the Site is not abutting on a specified street having a width not less than 4.5m, the development intensity shall be determined by the BA under Building (Planning) Regulation 19(3) at building plan submission stage.
- (viii) Formal submission under the BO is required for any proposed new works, including any temporary structures and site formation drainage works. Detailed comments under BO on individual sites for private developments such as permissible plot ratio, site coverage, emergency vehicular access, private streets and/or access roads, barrier free access and facilities, compliance with the sustainable building design guidelines (SBD), etc will be formulated at the formal building plan submission stage.
- (i) To note the comments of the Director of Electrical and Mechanical Services as follows:

In the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing, supervising and conducting any activity near the underground cable or overhead line under the Site should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the concerned site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines.



**就規劃申請/覆核提出意見 Making Comment on Planning Application / Review****參考編號****Reference Number:**

220510-144740-62060

**提交限期****Deadline for submission:**

20/05/2022

**提交日期及時間****Date and time of submission:**

10/05/2022 14:47:40

**有關的規劃申請編號****The application no. to which the comment relates:**

A/KTN/86

**「提意見人」姓名/名稱****Name of person making this comment:**

先生 Mr. Lam Ka Hing

**意見詳情****Details of the Comment :**

反對，鄉郊設倉庫及工場必會增加附近車輛出入流量，引至附近交通阻塞、環境污染，增加引發火警危機，影響村民安全及生活質數。

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



**A/KTN/86 DD 95 Kwu Tung North OS**  
18/05/2022 02:44

From: [REDACTED]  
To: tpbpd <tpbpd@pland.gov.hk>  
File Ref:

Dear TPB Members,

Application 81 withdrawn, back again with parking spaces reduced to 2.

Previous objections relevant..

Mary Mulvihill

**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Monday, 25 October 2021 4:01 AM CST  
**Subject:** A/KTN/81 DD 95 Kwu Tung North OS

A/KTN/81  
Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D.95 and Adjoining  
Government Land, Kwu Tung North  
Site area : About 2,283m<sup>2</sup> Includes Government Land of about 738m<sup>2</sup>  
Zoning : "Open Space" and "Other Specified Uses" annotated "Business and  
Technology Park"  
Applied Use : Warehouse / Vehicle Repair / 3 Vehicle Parking

Dear TPB Members,

Application 41 was withdrawn and replaced by 51 with revised site size. Approved  
but revoked in June this year for non-compliance with a number of fire and  
drainage conditions.

But mo man tai, just submit another application.

However now that the CE has pledged full steam ahead with the Northern  
Metropolis and related technology facilities, there has to be a review of the long  
manipulated formula. Brownfield operations will delay the implementation of the  
Big Vision.

Failure to comply with conditions on government land intended for a better quality  
community should not be encouraged.

Previous objections upheld.

Mary Mulvihill



**From:** [REDACTED]

**To:** "tpbpd" <tpbpd@pland.gov.hk>

**Sent:** Friday, December 15, 2017 1:59:59 AM

**Subject:** A/KTN/41 DD 95 Kwu Tung North

A/KTN/41

Lots 736 RP (Part), 738 RP (Part) and 739 RP in D.D.95 and Adjoining Government Land , Kwu Tung North

Site area : About 2,002m<sup>2</sup> Includes Government Land of about 580m<sup>2</sup>

Zoning : "Open Space" and "Other Specified Uses" annotated "Business and Technology Park"

Applied Use : Warehouse

Dear TPB Members,

This is obviously an application to legitimize unapproved land use for many years.

Storage is incompatible with both OS and Business Park Use.

TPB should reject this application as approval would encourage further brownfield use of the site.

Mary Mulvihill

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

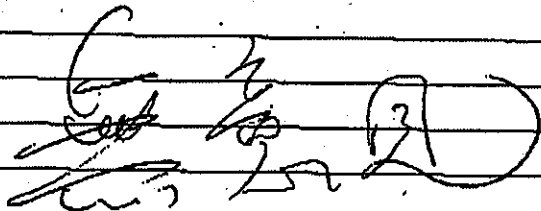
By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates  
A/KTN/86

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature  日期 Date 2022.5.7