

2024年12月2日

Appendix I of RNTPC
Paper No. A/NE-KLH/649A

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on -2 DEC 2024.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

Y402439

9/10

By Hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-KLH/649
	Date Received 收到日期	-2 DEC 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Global Mining Engineer Group Company Limited
環球礦業工程技術有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Midland Surveyors Limited
美聯測量師有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	The Remaining Portion of Lot No. 37 (Part) in D.D. 7, Tai Po, New Territories.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 992 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 195 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	Not Applicable sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Village Type Development"
(f) Current use(s) 現時用途	Vacant Site (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☒ is not a "current land owner".
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at07/10/2024..... (DD/MM/YYYY), this application involves a total of1..... "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☒ has obtained consent(s) of1..... "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	The Remaining Portion of Lot No. 37 in D.D. 7	28/06/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 □About 約
	Non-domestic part 非住用部分		sq.m 平方米 □About 約
	Total 總計		sq.m 平方米 □About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

(iii) For Type (iii) application 供第(iii)類申請

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input checked="" type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" data-bbox="502 1366 1452 1870"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td>Photovoltaic Panel Cover/ Shelter (PV Panels)</td> <td>1 (65)</td> <td>30 x 6 x 3 (2.278 x 1.134 x 0.035)</td> </tr> <tr> <td>Electrical Equipment Container with Photovoltaic Cover (PV Panels)</td> <td>1 (4)</td> <td>5 x 3 x 3 (2.278 x 1.134 x 0.035)</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)	Photovoltaic Panel Cover/ Shelter (PV Panels)	1 (65)	30 x 6 x 3 (2.278 x 1.134 x 0.035)	Electrical Equipment Container with Photovoltaic Cover (PV Panels)	1 (4)	5 x 3 x 3 (2.278 x 1.134 x 0.035)			
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											
Photovoltaic Panel Cover/ Shelter (PV Panels)	1 (65)	30 x 6 x 3 (2.278 x 1.134 x 0.035)											
Electrical Equipment Container with Photovoltaic Cover (PV Panels)	1 (4)	5 x 3 x 3 (2.278 x 1.134 x 0.035)											

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 to 至
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☐ Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Proposed temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) (for a period of 5 years)

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	195	sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	0.2		<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	20	%	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	2		
Proposed no. of storeys of each block 每座建築物的擬議層數	1	storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫		
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫		
Proposed building height of each block 每座建築物的擬議高度	3	mPD 米(主水平基準上)	<input type="checkbox"/> About 約
		m 米	<input checked="" type="checkbox"/> About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積 sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☒ Non-domestic part 非住用部分GFA 總樓面面積☐ eating place 食肆 sq. m 平方米 ☐ About 約☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約☐ Government, institution or community facilities
政府、機構或社區設施 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....

.....

.....

☒ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

Please refer to attached planning statement

.....

.....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	Please refer to attached planning statement
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Please refer to attached planning statement

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例：2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

February 2025 (about 3 months upon approval)

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.....

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Local access road branching from Tai Wo Service Road West</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 25</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明)</p> <p>19 seats electric bus 2</p> <p>_____ _____</p> <p>_____ _____</p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明)</p> <p>_____ _____</p> <p>_____ _____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																													
	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>Please refer to attached planning statement</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																														

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to attached planning statement

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署


☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

HUI Wai Chun

Associate Director

Name in Block Letters

Position (if applicable)

姓名 (請以正楷填寫)

職位 (如適用)

Professional Qualification(s)

專業資格

☒ Member 會員 / ☐ Fellow of 資深會員☐ HKIP 香港規劃師學會 /☐ HKIA 香港建築師學會 /☒ HKIS 香港測量師學會 /☐ HKIE 香港工程師學會 /☐ HKILA 香港園境師學會 /☐ HKIUD 香港城市設計學會☐ RPP 註冊專業規劃師

Others 其他

on behalf of

代表

Midland Surveyors Limited


☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

04/09/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	The Remaining Portion of Lot No. 37 (Part) in D.D. 7, Tai Po, New Territories. 大埔丈量約份第 7 約地段第 37 號餘段 (部份)		
Site area 地盤面積	992	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	sq. m 平方米	<input type="checkbox"/> About 約)
Plan 圖則	Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11 九龍坑分區計劃大綱核准圖編號S/NE-KLH/11		
Zoning 地帶	"Village Type Development" 鄉村式發展		
Applied use/ development 申請用途／發展	Proposed temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) (for a period of 5 years) 臨時公眾停車場(貨櫃車除外)連附屬電動車充電設施及私人發展計劃 的公用設施裝置(太陽能光伏系統) (為期 5 年)		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	195 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.2 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	2	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	3 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	20 % <input checked="" type="checkbox"/> About 約	
(v) No. of units 單位數目		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	27
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) 19 seats electric bus	25 2
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Proposed Layout Plan, Proposed Drainage Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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PLANNING STATEMENT

The Remaining Portion of Lot No. 37 (Part) in D.D. 7

Application for planning permission as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years



Ref. No.: DD7L 37RP

Date: 7 October 2024

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Appendices

Appendix I	Location Plan
Appendix II	Proposed Layout Plan
Appendix III	Dimension Plan
Appendix IV	Proposed Drainage Plan

1. BACKGROUND

1.1 The Instruction

Midland Surveyors Limited was appointed and instructed by Global Mining Engineer Group Company Limited (環球礦業工程技術有限公司) ("the Applicant") to seek planning permission to use the following lot in D.D. 7, Tai Po, New Territories (the application site, i.e. "the Site") as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years. The Site includes:

The Remaining Portion of Lot No. 37 (Part) in D.D. 7.

2. PARTICULARS OF THE SITE

2.1 Situation

The Site is located at the western side of Tai Wo Service Road West and Fanling Highway in Tai Po. Location Plan is shown in **Appendix I** for identification purpose.

2.2 Town Planning

The Site is zoned as "Village Type Development" under the Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11, with the use "public vehicle park (excluding container vehicle)" under column 2 of the said zoning.

2.3 Size and Shape

The total area of the Site is approximately 10,678 sq.ft. (992 sq.m.). The Site does not include any Government Land and is irregular in shape.

2.4 Ownership

In accordance to the Land Register as obtained from the Land Registry, the registered owner of the lot forming the Site is Man Ching (or Tsing) Lun Tong 文正倫堂, with the following managers:

1. Man Chi-Chung 文志中

2. Man Yan-Ping 文仁炳
3. Man Kwok-Kei Ricky 文國基
4. Man Hei-Yeung 文禧揚

The Applicant had obtained the consent of the above owner(s) in relation to this planning application, please refer to the statement of consent submitted as part of this planning application.

2.5 Accessibility

The Site comprises an ingress/ egress point of at least 6m wide on its eastern boundary. The Site is less than 200m away from Tai Wo Service Road West. The Site can be accessed via a local access road directly connected to Tai Wo Service Road West. The said local access road is currently hard-paved and in a reasonable condition. The portion of the local access road connecting Tai Wo Service Road and the Site mainly sits on Government Land.

2.6 Current Condition and Environment

The Site is currently vacant and is surrounded by abandoned agricultural lands, village houses and other temporary structures. A major portion of the Site is current hard paved with concrete, with existing metal mesh fencing and boundary walls of neighbouring village houses at the periphery of the paved area.

3. PROPOSED USE/ DEVELOPMENT

3.1 Use and Justification

The Site is proposed to be converted to and used as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) ("the Proposed Vehicle Park") for a period of 5 years. No vehicles without valid licenses issued under the Road Traffic Ordinance is allowed to be parked/stored on the Proposed Vehicle Park.

Currently, village houses in the locality often do not comprise of any car parking space, leading to prominent illegal parking on local village roads and Government land. The Proposed Vehicle Park intends to provide parking facilities and therefore, enhancing the local infrastructure serving the needs of villagers and other local residents, coinciding with the planning intentions of the Site and the surrounding land.

Furthermore, the provision of electric vehicle (“EV”) charging facilities coincide with the Government vision of ‘Zero Carbon Emissions • Clean Air • Smart City’ and contribute to meet the charging network roadmap as set out by the Environment Bureau.

An existing electrical transformer tower is erected by CLP inside the Site. The Applicant has also liaised with EV charging facility service provider for installation of charging facilities and the photovoltaic system. The Applicant has laid the infrastructural groundwork and is ready to commence the conversion and operation of the Proposed Vehicle Park immediately upon the planning approval. Moreover, the Applicant proposes employ renewable energy, i.e. a photovoltaic system, to further reduce the carbon footprint of the Proposed Vehicle Park. At the initial stage of operation of the Proposed Vehicle Park, 12 out of 27 proposed car parking spaces will be provided with EV charging facilities. More EV charging facilities can be provided or converted to quick chargers depending on the future demand and operation of the Proposed Car Park.

Overall, no permanent structure will be erected for the Proposed Vehicle Park, thus the Site can be easily reverted to the existing condition or converted for any future development upon the expiry of the planning permission.

3.2 Layout and Structure

In total, 27 parking spaces for private cars is proposed to be provided. In addition to the electrical transformer tower, two temporary structures are proposed to be erected throughout the planning approval period in support of the operation of the Proposed Vehicle Park, for the purpose of or known as the Electrical Equipment Container (“Container”) and the Photovoltaic Shelter (“Shelter”), with their details as follows:

Structure	Total GFA (m ²)	No. of Storey	No. of PV Panels	Building Height (m)
1 Container	About 15m ²	1	4	Not exceeding 3m
1 Shelter	About 180m ²	1	65	Not exceeding 3m

Photovoltaic panels (PV panels) are proposed to be laid on top of the Electrical Equipment Container and the Photovoltaic Shelter to maximize the generation of renewable energy at the Proposed Vehicle Park. The size of the PV panel is proposed to be 2.278m x 1.134m x 0.035m (Long x Width x Height). The applicant pledge to obtain any other necessary approval required by the relevant authorities upon the approval of the planning application to ensure the lawfulness of the erection of the aforementioned temporary structures throughout the planning application period.

Proposed Layout Plan is shown in **Appendix II** and Dimension Plan of the PV Panel and the PV Shelter is shown in **Appendix III** for identification purpose.

3.3 Operation

As the Proposed Vehicle Park intends to serve the daily needs of the local residents, the operation hours are from Monday to Sunday for 24 hours, including public holidays.

3.4 Traffic

As the Proposed Vehicle Park mainly serves the already existing local community of residents, only minimal additional traffic impact to the locality will be generated. Instead, existing illegal parking occupying the local village roads might be attracted to move into the Proposed Vehicle Park, reducing the obstruction and facilitating the traffic flow. Sufficient maneuvering space is reserved within the Site, no vehicle will be allowed to queue back to or reverse onto/from public roads at any time.

3.5 Drainage

Upon approval from the relevant authorities, the Applicant will, at his own expense, implement and maintain the proposed drainage facilities as shown in **Appendix IV** for identification purpose, to minimize the drainage impact generated by the Proposed Vehicle Park. The construction of the U-channels and catchpits shall follow the relevant standard drawings published by the Civil Engineering and Development Department and typical details in the Geotechnical Manual for Slopes published by the Geotechnical Engineering Office.

3.6 Landscape

No existing and valuable tree has been identified at the Site. Existing low-rise shrubs can be found along the periphery of the Site.

3.7 Fire Safety

A fire service installation proposal will be submitted by the Applicant after granting of the planning approval. Upon acceptance of the fire service installation proposal, the Applicant will implement and maintain the proposed fire service installations at his own expense.

4. CONCLUSION

The Proposed Vehicle Park falls within column 2 of the “Village Type Development” zoning, which the Site is designated as. Approval of the planning application can allow better utilization of otherwise deserted land in the rural area. The temporary nature (5 years) of the application will not disrupt any long-term planning and development intention of the Government regarding the Site.

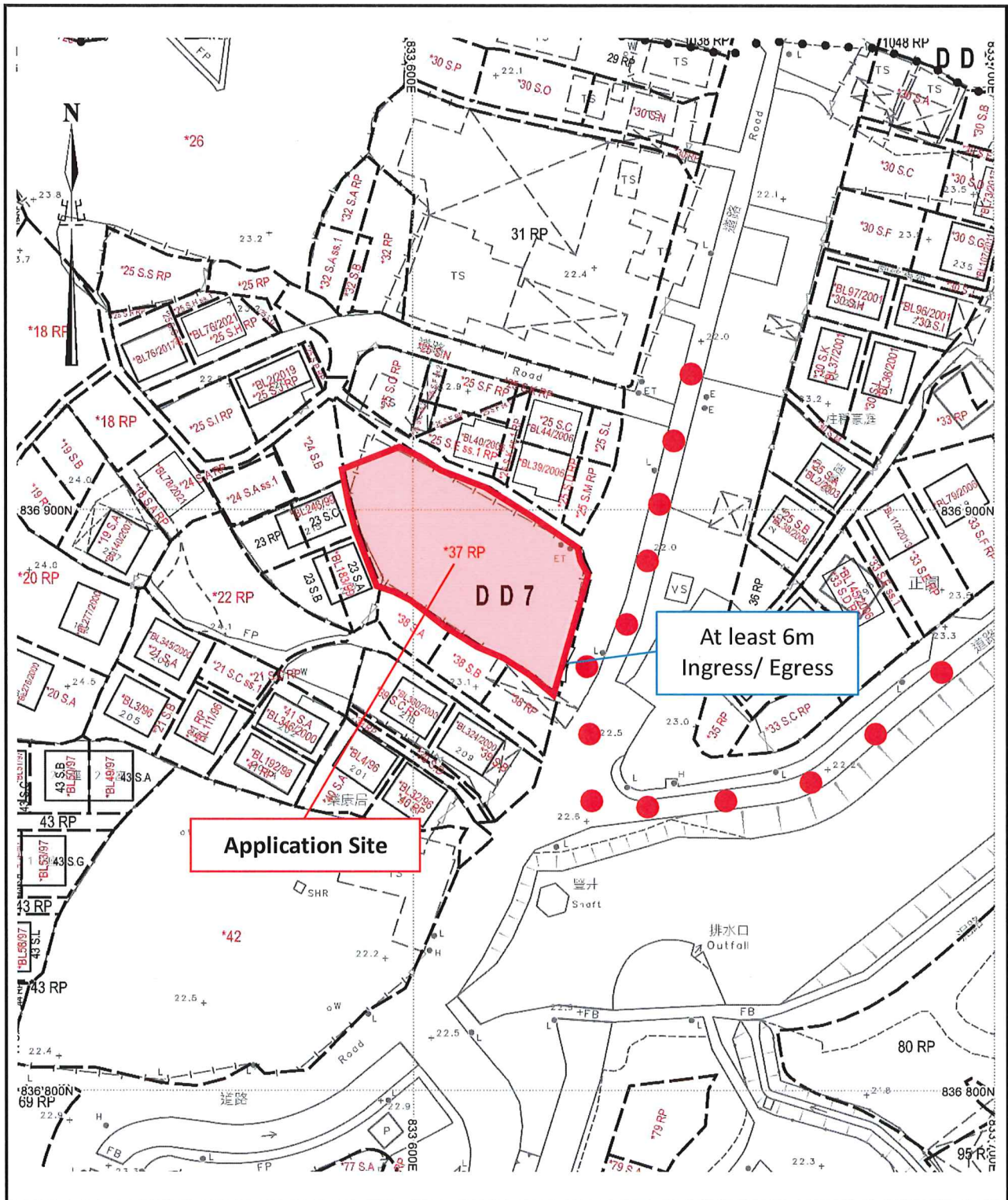
The provision of EV charging facilities at the Proposed Vehicle Park coincides with the Government vision on popularisation of electric vehicles. Setting up of the photovoltaic system would allow the application of renewable energy, resulting in the enhancement of the sustainability of the Proposed Vehicle Park from an environmental standpoint, further contributing to the cause of building a greener Hong Kong.

The Applicant is prepared to implement the proposed mitigation measures and also any additional condition(s) imposed by the Town Planning Board upon the approval of the planning permission. The Applicant will also ensure no storage, workshop activities or parking of other types of vehicles except those included in the planning application will be carried out. In view of the above, we hereby respectfully recommend the Town Planning Board to approve the planning permission to use the Site as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years.

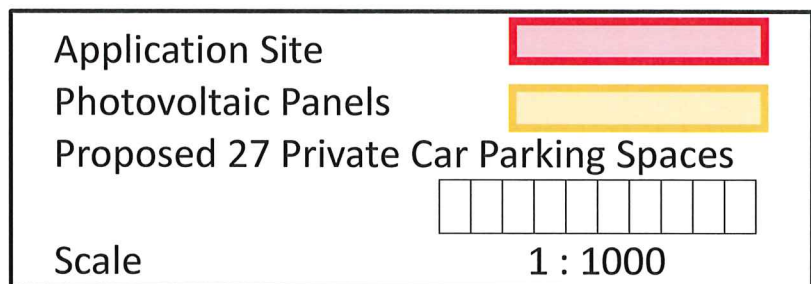
Yours faithfully,
For and on behalf of
Midland Surveyors Limited



Hui Wai Chun, Raymond
MHKIS, RPS(GP), MCIREA
Associate Director

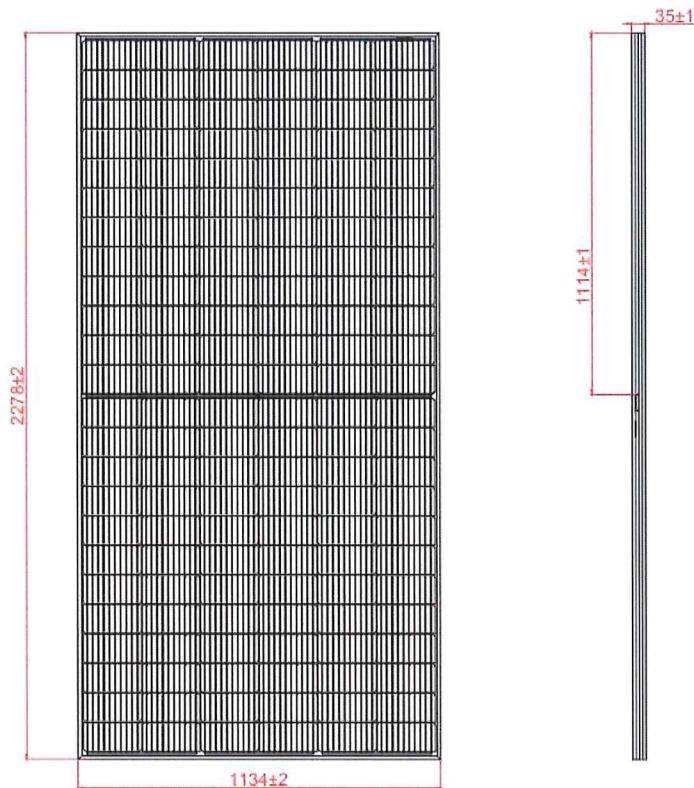


Appendix I - Location Plan

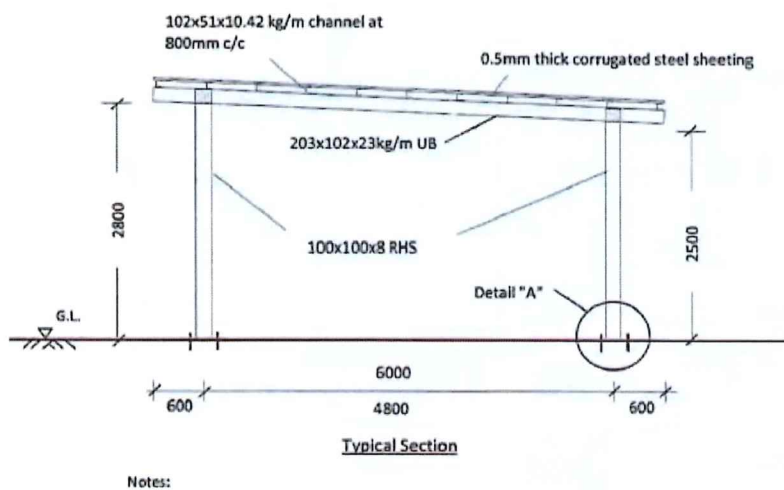


Appendix II - Proposed Layout Plan

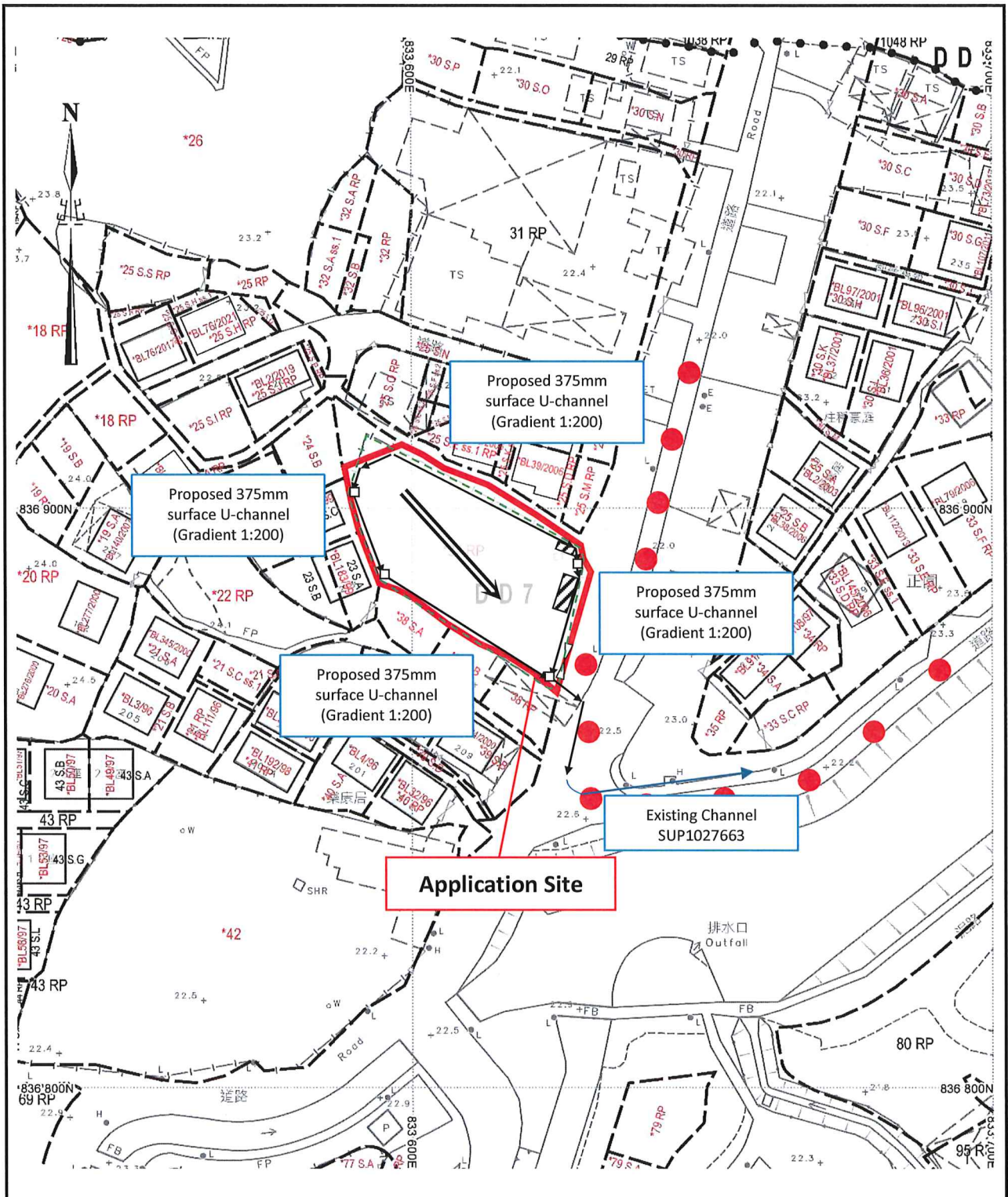
(1) A diagram/ drawing indicating the dimensions of each PV panel:



(2) A section/ elevation plan with dimensions indicating the height of the PV shelter:



Appendix III - Dimension Plan (PV Panel & PV Shelter)



Appendix IV - Proposed Drainage Plan

Our Ref.: C1011/L2
TPB Application No.: A/NE-KLH/649

Unit 305, 3rd Floor,
Building 19W,
Science Park West Avenue,
HKSTP,
Pak Shek Kok, N.T.

15th January 2025

The Secretary,
Town Planning Board,
15/F., North Point Government Offices,
333 Java Road,
North Point,
Hong Kong.

Dear Sirs,

Re: **Proposed Temporary Public Vehicle Park (excluding Container Vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for Private Project (Photovoltaic System) For a Period of 5 years in 'Village Type Development' Zone, Lot No. 37RP in D.D. 7, Kau Lung Hang, Tai Po, N. T. (Application No. A/NE-KLH/649)**

The undersigned is the applicant of the captioned application.

We would like to inform Town Planning Board (TPB) that we have appointed Dr. C S Lau Engineering Consultant Limited as the Authorized Agent to replace Midland Surveyors Limited to handle the captioned application with immediate effect. All documents submitted previously by Midland Surveyors Limited to TPB remain valid.

Thank you for your kind attention.

Yours faithfully,



Global Mining Engineer Group Company Limited

c.c. District Planning Office (Sha Tin, Tai Po & North) – Ms. Chan
Dr. C S Lau Engineering Consultant Limited
Midland Surveyors Limited

Temporary Public Vehicle Park (excluding Container
Vehicles) with Ancillary Electric Vehicle Charging
Facilities and Utility Installation for Private Project
(Solar Photovoltaic System)
in "Village Type Development" Zone
Lot 37 RP (Part), D.D. 7, Kau Lung Hang, Tai Po

Risk Assessment Report
On Contamination of Water Gathering Grounds

Report Number: C1011 Rev 0

Date: Jan 2025

CONTENTS

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1.1	Type of Temporary Carpark and Layout.....	1
1.2	Purpose of this Report.....	1
2	SITE CONDITIONS.....	2
2.1	Site Description	2
3	STORMWATER DRAINAGE FACILITIES.....	2
3.1	Existing Stormwater Drainage Facilities	2
4	REQUIREMENTS OF WATER SUPPLIES DEPARTMENT	3
4.1	Requirements Regarding WGG.....	3
5	PLANNING CONSIDERATIONS AND RISK ASSESSMENT	3
5.1	Planning Considerations and Actions to be Taken	3
5.2	Risk Assessment	5
6	CONCLUSION	6

Appendices

Appendix A

Drawing

Appendix B

Site Photos

Appendix C

Container Office / Guard House

(for reference only)

Appendix D

EPD Professional Persons Environmental Consultative Committee Practice Note

(ProPECC PN) 1/94

(for reference only)

Appendix E

Highways Department Standard Drawings

Of Petrol Interceptor

(H3134 – H3144)

(for reference only)

1 THE PROPOSAL

The applicant seeks planning permission for a temporary private car park (excluding container vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for private project (Solar Photovoltaic System) for a period of five years at the application site (the Site) (**Appendix A**).

1.1 Type of Temporary Carpark and Layout

According to the applicant, a total of number of 23 parking spaces for private cars (5m x 2.5m approximately each) and 2 parking spaces for electric buses (8m x 3m approximately) will be provided within the Site to serve local residents. The proposed temporary car park is for villagers' convenience only as there is insufficient parking spaces in the captioned areas. No structure (temporary nor permanent) will be proposed at the Site except a pre-fabricated container will be placed at the entrance for safe guard and control. In addition, solar panels support frames will also be provided for the solar photovoltaic system and ancillary electric vehicle charging facilities and utility installation. The Site is accessible from Tai Wo Services Road West via village service roads. An existing concrete lined stream course is running adjacent to the eastern end of the Site. A layout plan showing the layout and vehicular ingress/egress of the proposed car park is attached in **Appendix A**.

1.2 Purpose of this Report

This Risk Assessment Report on Contamination of Water Gathering Grounds (WGG) is submitted for Town Planning Board's approval. The following elements are covered in this submission:

- (a) Site Conditions,
- (b) Stormwater Drainage Facilities,
- (c) Requirements of Water Supplies Department,
- (d) Planning Considerations and Risk Assessments

This Risk Assessment Report is developed based on the layout plan submitted for approval and concluded that there will be no potential risk of contamination to the WGG under the Planning Considerations with control measures.

2 SITE CONDITIONS

2.1 Site Description

The Site is located within the village and is situated to the west of Tai Wo Services Road West and no heavy traffic is expected. The Site is located at a flat and concrete paved area. An existing concrete lined stream course is located in close proximity in the eastern end of the Site.

There is no existing tree within the Site nor close to the Site that need to be protected.

The Site is surrounded by existing kerbs and surface ditches. Site photos are attached in **Appendix B** for reference.

3 STORMWATER DRAINAGE FACILITIES

3.1 Existing Stormwater Drainage Facilities

The Site is located within an area where drainage connections to existing public stormwater drainage is available in the vicinity. Stormwater collection and discharge systems to cater for the runoff generated within the Site and overland flow from other areas surrounding the Site will be upgraded.

The Site is located on the concrete paved ground, and the proposal will not increase the impervious area resulting in any change of the flow pattern and no increase of the surface runoff. There will be no flooding risk in the area.

There are concealed / covered channels located around the Site. The surface stormwater will be collected to the concealed / covered channels and discharged to the adjacent existing stream course.

The stormwater drainage checking will be carried out and presented under separate report accordingly. The existing drainage facilities are found to be sufficient and no flooding record is reported regarding the Site areas.

The applicant will maintain such stormwater drainage systems properly and rectify the systems throughout the operation.

4 REQUIREMENTS OF WATER SUPPLIES DEPARTMENT

4.1 Requirements Regarding WGG

The applicant will refrain from contaminating the Water Gathering Grounds (WGG) by all means.

According to the Waterworks Ordinance Section 30(2)(a), any person who enters, or bathes or washes in, water forming part of the waterworks; Section 30(2)(b), any person who washes or causes or permits any animal to enter therein; and Section 30(2)(c), any person who throws or places any thing therein, shall be guilty of an offence and may be fined.

5 PLANNING CONSIDERATIONS AND RISK ASSESSMENT

5.1 Planning Considerations and Actions to be Taken

- I. The Site has been formed with concrete surface. A typical photo record of the container office / guard house is attached in **Appendix C** for reference.
- II. Supportive panels for the solar panels and ancillary electric vehicle charging facilities and utility installation for solar photovoltaic system will be required. Shallow pad footings of less than 1m depth for the support of the frames will be provided.

The earth or other construction materials which may cause contamination will not be stockpiled or stored on site. All excavation or filled surfaces will be protected from erosion and siltation to any water courses. All construction spoil will be contained and protected and effluent containing spoils will be disposed off site after desiltation;

- III. There will be no public toilet or similar facilities to be provided. No discharge of effluent or foul water into adjoining land, storm water drain, channel, stream or river course is allowed. The impact from domestic sewage effluent is not anticipated;
- IV. No earth soil, building materials, fuel, or toxic materials or any other materials which may cause contamination to the WGG are allowed to be stockpiled within the Site or WGG or areas close to watercourses;
- V. Any solid waste and sludge from the proposed development will be collected and disposed outside WGG or areas close to watercourses;
- VI. No storage and discharge of flammable or toxic solvents, petroleum oil or tar and other toxic substances will be allowed within the Site or WGG or areas close to watercourses;

- VII. Stormwater channels will be provided surrounding the site. Regular cleaning of the channels will be carried out to ensure that they function properly at all times;
- VIII. Any vehicle which causes pollution to catchwaters or catchment due to leakage of oil or fuel will be removed off site immediately;
- IX. There will be no application and/or storage of any chemicals including detergents and cleaning agents on site;
- X. The use and storage of pesticides, herbicides, toxicants, chemical solvents, larvicidal oil, rodenticide, tar and petroleum oil are strictly prohibited within the Site or WGG or areas close to watercourses;
- XI. Grease trap and/or petrol interceptor will be provided at the drainage outlets and will be under proper maintenance. The drainage traps shall have sufficient capacity to ensure the proper interception and collection of fuel and lubricants in surface run-off for off-site disposal. Proper maintenance and disposal records should be maintained. The recommendations given under EPD Professional Persons Environmental Consultative Committee Practice Note (ProPECC PN) 1/94 shall be followed and is attached in **Appendix D** for reference. Details of the oil interceptor will be provided according to Highways Department Standard Drawings and are attached in **Appendix E** for reference;
- XII. No vehicle dismantling, inspection, maintenance, repairing, cleansing, paint spraying or other workshop activities will be carried out at the Site at any time during and after the planning approval period. A signboard : “Private Cars and Electric Vehicles Only 祇准私家車及電動車使用” will be provided at the entrance to provide announcement and make sure that only private cars and light vehicles are allowed to use the carpark;
- XIII. Oil leakage and spillage are not allowed. Oil and grease decontamination kit such as absorbent pads ill be provided to decontaminate any oil/grease leakage.
- XIV. No oil tanker is allowed to park inside the site to avoid risk of any leakage;
- XV. Operation and maintenance of solar photovoltaic system will not cause any leaching of contamination to WGG or areas near watercourses. Materials related to the system will be waterproof and no toxic or harmful to environmental during prolonged exposure to weather and environmental conditions during the operation life;
- XVI. Should pollution be detected in future, the proposed temporary car park would immediately be closed. Environmental consultants would be appointed to carry out necessary remedial measures to WSD’s satisfaction;
- XVII. Regular site inspection would be conducted to ensure the implementation of necessary preventive measures;
- XVIII. A signboard : “No Littering 禁止扔垃圾” and a signboard of WSD Drg No. WSD7.66A will be erected at noticeable position for alerting public not to pollute WGG and the management team will provide cleaning to the site in a regular basis;
- XIX. Concrete paved surface is provided to avoid any contamination of oil / grease leakage to the ground;
- XX. Chain link fence will be erected on the side facing the nearest stream course to trap all wind-blown litters, if any, within the site.

5.2 Risk Assessment

Measures as mentioned in Item 5.1 in the previous section will be enforced. The risk of any contamination will be reduced and controlled to negligible. The followings are summarised and highlighted for considerations:

- I. Only shallow pad footing will be constructed for the support frames of solar photovoltaic system. No blasting, drilling or piling will be carried out. No well will be sunk on site. Construction proposal will be submitted to departments including WSD for acceptance / approval before any works to be commenced on site;
- II. The area is provided with concrete paving, concrete kerbs/bunds and interceptor drains along its perimeter to prevent the washing out or loss of materials such as soil, silt or debris to the surrounding area; The risk of pollution or causing contamination is negligible.
- III. The proposal is for a temporary car park for private car only and no other vehicles including oil tanker and light-goods vehicle are allowed to park at the Site. Besides, no other activities including vehicle inspection, maintenance, repairing and washing are permitted at the Site. A signboard : “Private Cars and Electric Vehicles Only 祇准私家車及電動車使用” will be provided at the entrance to provide announcement and make sure that only private cars and light vehicles are allowed to use the carpark. The risk of pollution or causing contamination by commercial vehicles is eliminated;
- IV. No use and storage of chemicals including pesticides and fertilizers as well as, toxicants, flammable solvents, tar and petroleum oil will be allowed at the Site. There is no risk of contamination by chemicals and oil;
- V. There will be no solid waste and sludge at the Site or WGG. A signboard : “No Littering 禁止扔垃圾” and a signboard of WSD Drg No. WSD7.66A will be erected at noticeable position for alerting public not to pollute WGG and the management team will provide cleaning to the site in a regular basis;
- VI. Car park users will be advised to drive away their cars if there is any oil leakage. Moreover, oil and grease decontamination kit such as absorbent pads would be provided at the Site to minimize potential pollution impact. Moreover, there is a grease trap and/or petrol interceptor will be provided at the drainage outlets and will be under proper maintenance. The risk of contamination of oil will be negligible;
- VII. No toilet facilities would be provided at the Site. No discharge of effluent or foul water into adjoining land, storm water drain, channel, stream or river course is allowed. Adverse sewerage impact is not anticipated. ;
- VIII. Should pollution be detected in future, the proposed temporary car park would immediately be closed. Environmental consultants would be appointed to carry out necessary remedial measures to WSD’s satisfaction. The risk of contamination will be well controlled; and

- IX. Regular site inspection would be conducted to ensure the implementation of necessary preventive measures. The risk of contamination will be well under control.
- X. As part of the site encroaches upon the 30m Waterworks Reserve for Tai Po Yau & Tau Pass, the following conditions will be imposed and followed:
 - a. No structure will be erected over this Waterwork Reserve areas, and such areas will not be used for storage purposes except with the prior written consent of the Waterworks Authority;
 - b. Tree planting will not be permitted within the Waterworks Reserve except with the prior written consent of the Waterworks Authority;
 - c. No blasting or pile driving will be carried out within the Waterworks Reserve except with the prior written consent of the Waterworks Authority;
 - d. The applicant / grantee will indemnify and keep indemnified the Government from and against all liability, damages, expenses, claims, costs, demands, charges, actions and proceedings of whatsoever nature the grantee / applicant, his servants, workmen and contractors in connection with any damage to the existing Government water mains;
 - e. The Water Authority and his officers and contractors, his or their workmen will have free access at all times to the Site with necessary plant and vehicles for the purpose of laying, repairing and maintenance of water mains. All other services across, through or under the waterworks reserve are required to seek authorization from the Water Authority;
 - f. Government will not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site.

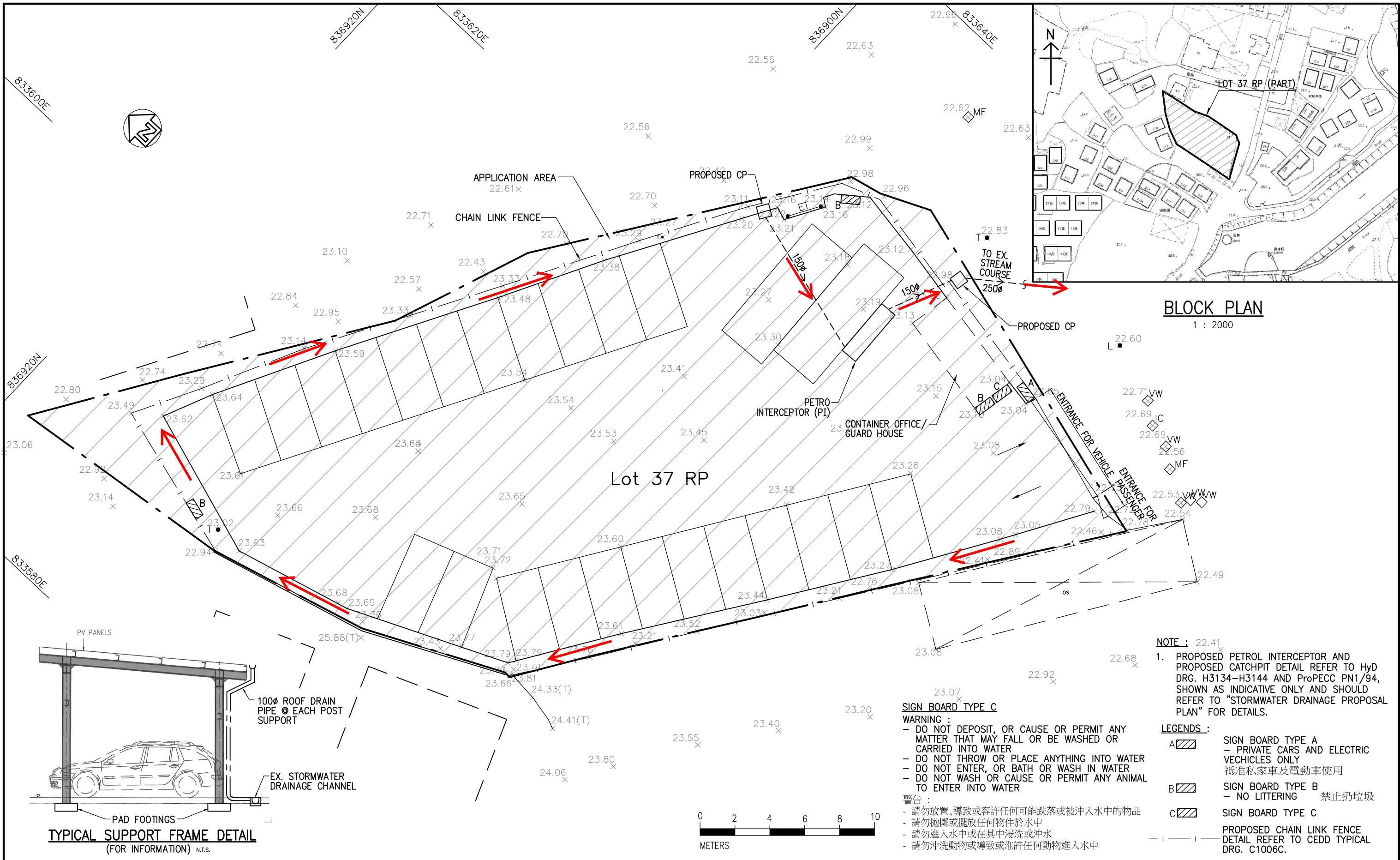
6 CONCLUSION

Under the application of the temporary private carpark (excluding Container Vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for Private Project (Solar Photovoltaic System) within the captioned site, the applicant will provide and take up all necessary actions and measures for controlling and reducing the risk of contamination on WGG to a negligible level.

The measures as listed in this report are considered effective and applicable to the captioned site conditions. The TPB is advised to grant permission to the application.

Appendix A

Drawing



PROJECT	TEMPORARY PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLES) LOT 37 RP (PART) IN DD7, KAU LUNG HANG, TAI PO, N.T.	DRAWING NO.	C1011SK01	DESIGNED	JAN 2025	SCALE	1 : 200
TITLE	GENERAL LAYOUT PLAN	DESIGN CHECKED	S.W.	DESIGNED	S.W.	DRAWN	A.T.

Appendix B

Site Photos

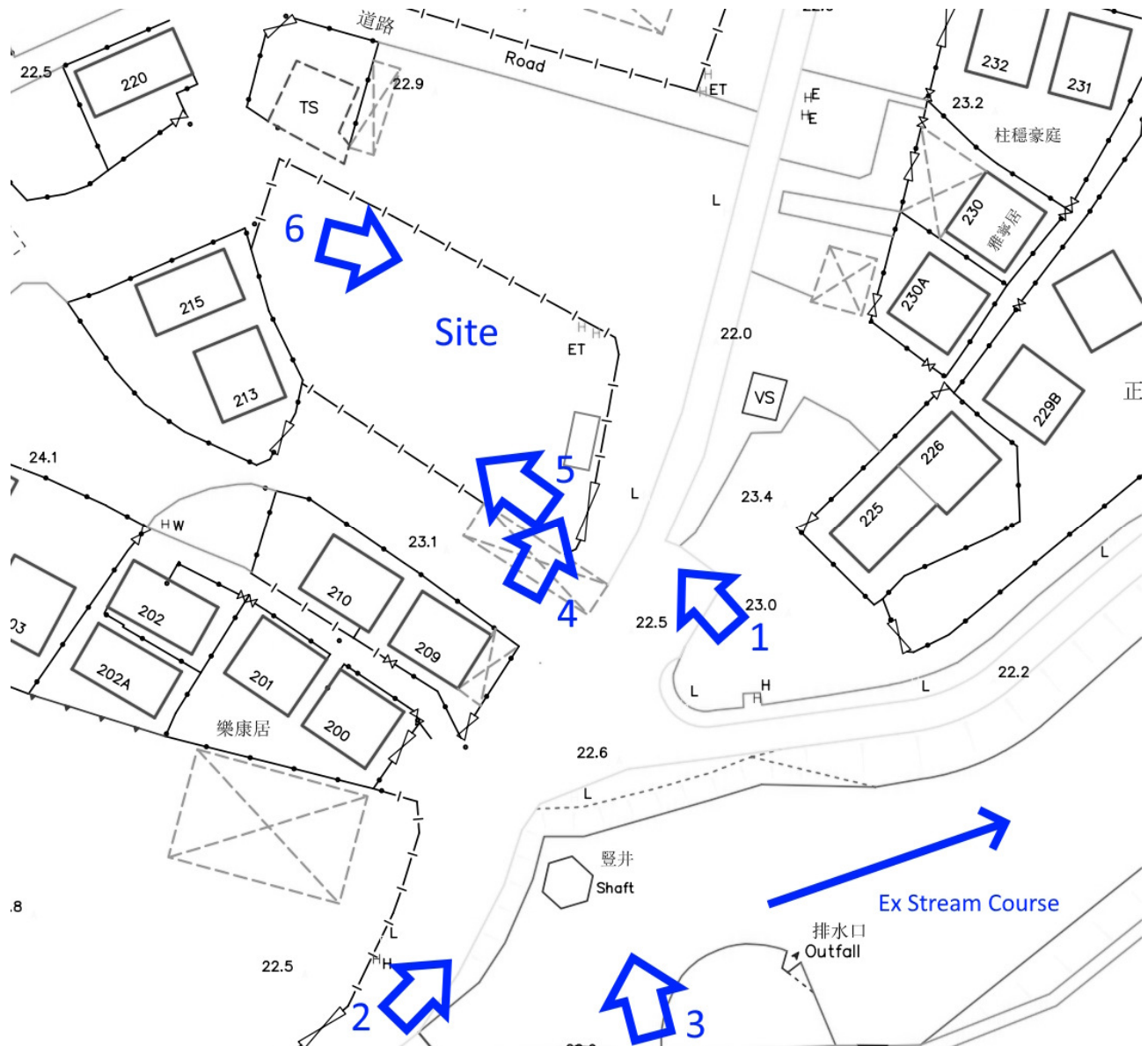


Photo Location Plan (22 Jan 2025)



Photo 1 – Site Condition



Photo 2 – Site Condition



Photo 3 – Site Condition



Photo 4 – Site Condition



Photo 5 – Site Condition



Photo 6 – Site Condition

Appendix C

Container Office / Guard House
(for reference only)



Figure C-1 Container Office / Guard House (for reference only)

Appendix D

EPD Professional Persons Environmental
Consultative Committee Practice Note
(ProPECC PN) 1/94
(for reference only)

**ENVIRONMENTAL PROTECTION DEPARTMENT
PRACTICE NOTE FOR PROFESSIONAL PERSONS**

Construction Site Drainage

Introduction

The purpose of this practice note is to provide some basic environmental guidelines for the handling and disposal of construction site discharges. It is hoped that through the issuance of this practice note, some of the pollution problems currently associated with construction activities can be prevented or minimized, for example :

- (i) siltation in storm drains caused by excessive sand and silt in the storm run-off;
- (ii) visual nuisance and hazard to aquatic life caused by discharge of muddy water into streams or the sea;
- (iii) pollution caused by improper handling and disposal of other types of construction site wastewater such as sewage from site toilets.

A total of ten types of discharges from construction sites have been identified. Good practice for dealing with these discharges is provided in the following sections.

Surface Run-off

2. Surface run-off from construction sites should be discharged into storm drains via adequately designed sand/silt removal facilities such as sand traps (see Appendix A1 for reference), silt traps and sediment basins. Channels or earth bunds or sand bag barriers should be provided on site to properly direct stormwater to such silt removal facilities. Perimeter channels at site boundaries should be provided where necessary to intercept storm run-off from outside the site so that it will not wash across the site. Catchpits and perimeter channels should be constructed in advance of site formation works and earthworks.

3. Silt removal facilities, channels and manholes should be maintained and the deposited silt and grit should be removed regularly, at the onset of and after each rainstorm

to ensure that these facilities are functioning properly at all times.

4. Construction works should be programmed to minimize soil excavation works in rainy seasons (April to September). If excavation in soil could not be avoided in these months or at any time of year when rainstorms are likely, for the purpose of preventing soil erosion, temporarily exposed slope surfaces should be covered e.g. by tarpaulin, and temporary access roads should be protected by crushed stone or gravel, as excavation proceeds. Intercepting channels should be provided (e.g. along the crest/edge of excavation) to prevent storm runoff from washing across exposed soil surfaces. Arrangements should always be in place to ensure that adequate surface protection measures can be safely carried out well before the arrival of a rainstorm.

5. Earthworks final surfaces should be well compacted and the subsequent permanent work or surface protection should be carried out immediately after the final surfaces are formed to prevent erosion caused by rainstorms. Appropriate drainage like intercepting channels should be provided where necessary.

6. Measures should be taken to minimize the ingress of rainwater into trenches. If excavation of trenches in wet seasons is necessary, they should be dug and backfilled in short sections. Rainwater pumped out from trenches or foundation excavations should be discharged into storm drains via silt removal facilities.

7. Open stockpiles of construction materials (e.g. aggregates, sand and fill material) on sites should be covered with tarpaulin or similar fabric during rainstorms. Measures should be taken to prevent the washing away of construction materials, soil, silt or debris into any drainage system.

8. Manholes (including newly constructed ones) should always be adequately covered and temporarily sealed so as to prevent silt, construction materials or debris from getting into the drainage system, and to prevent storm run-off from getting into foul sewers. Discharge of surface run-off into foul sewers must always be prevented in order not to unduly overload the foul sewerage system.

9. Precautions to be taken at any time of year when rainstorms are likely, actions to be taken when a rainstorm is imminent or forecast and actions to be taken during or after rainstorms are summarized in Appendix A2 for easy reference.

Groundwater

10. Groundwater pumped out of wells, etc. for the lowering of ground water level in basement or foundation construction, and groundwater seepage pumped out of tunnels or caverns under construction should be discharged into storm drains after the removal of silt in silt removal facilities.

Boring and Drilling Water

11. Water used in ground boring and drilling for site investigation or rock/soil anchoring should as far as practicable be recirculated after sedimentation. When there is a need for final disposal, the wastewater should be discharged into storm drains via silt removal facilities.

Wastewater from Concrete Batching Precast Concrete Casting

12. Wastewater generated from the washing down of mixer trucks and drum mixers and similar equipment should wherever practicable be recycled. The discharge of wastewater should be kept to a minimum.

13. To prevent pollution from wastewater overflow, the pump sump of any water recycling system should be provided with an on-line standby pump of adequate capacity and with automatic alternating devices.

14. Under normal circumstances, surplus wastewater may be discharged into foul sewers after treatment in silt removal and pH adjustment facilities (to within the pH range of 6 to 10). Disposal of wastewater into storm drains will require more elaborate treatment. Surface run-off should be segregated from the concrete batching plant and casting yard area as much as possible, and diverted to the stormwater drainage system. Surface run-off contaminated by materials in a concrete batching plant or casting yard should be adequately treated before disposal into stormwater drains.

Wheel Washing Water

15. All vehicles and plant should be cleaned before they leave a construction site to ensure no earth, mud, debris and the like is deposited by them on roads. A wheel washing bay should be provided at every site exit if practicable and wash-water should have sand and silt settled out or removed before discharging into storm drains. The section of construction road between the wheel washing bay and the public road should be paved with backfall to reduce vehicle tracking of soil and to prevent site run-off from entering public road drains.

Bentonite Slurries

16. Bentonite slurries used in diaphragm wall and bore-pile construction should be reconditioned and reused wherever practicable. If the disposal of a certain residual quantity cannot be avoided, the used slurry may be disposed of at the marine spoil grounds subject to obtaining a marine dumping licence from EPD on a case-by-case basis.

17. If the used bentonite slurry is intended to be disposed of through the public drainage system, it should be treated to the respective effluent standards applicable to foul sewers, storm drains or the receiving waters as set out in the WPCO Technical Memorandum on Effluent Standards.

Water for Testing Sterilization of Water Retaining Structures and Water Pipes

18. Water used in water testing to check leakage of structures and pipes should be reused for other purposes as far as practicable. Surplus unpolluted water could be discharged into storm drains.

19. Sterilization is commonly accomplished by chlorination. Specific advice from EPD should be sought during the design stage of the works with regard to the disposal of the sterilizing water. The sterilizing water should be reused wherever practicable.

Wastewater from Building Construction

20. Before commencing any demolition works, all sewer and drainage connexions should be sealed to prevent building debris, soil, sand etc. from entering public sewers/drains.

21. Wastewater generated from building construction activities including concreting, plastering, internal decoration, cleaning of works and similar activities should not be discharged into the stormwater drainage system. If the wastewater is to be discharged into foul sewers, it should undergo the removal of settleable solids in a silt removal facility, and pH adjustment as necessary.

Acid Cleaning, Etching and Pickling Wastewater

22. Acidic wastewater generated from acid cleaning, etching, pickling and similar activities should be neutralized to within the pH range of 6 to 10 before discharging into foul

sewers. If there is no public foul sewer in the vicinity, the neutralized wastewater should be tankered off site for disposal into foul sewers or treated to a standard acceptable to storm drains and the receiving waters.

Wastewater from Site Facilities

23. Sewage from toilets, kitchens and similar facilities should be discharged into a foul sewer. If there is no foul sewer in the vicinity, a septic tank and soakaway system (see Appendix B, these guidelines are for interim reference only as they are currently under review by Government) or for large flows, a sewage treatment plant will have to be provided. For sites where there are only toilet wastes arising, the use of chemical toilets may also be considered if a septic tank and soakaway system is found to be not feasible.

24. Wastewater collected from canteen kitchens, including that from basins, sinks and floor drains, should be discharged into foul sewers via grease traps capable of providing at least 20 minutes retention during peak flow. Details of a typical grease trap are given at Appendix C for reference.

25. Drainage serving an open oil filling point should be connected to storm drains via a petrol interceptor with peak storm bypass (see Appendix D for reference).

26. Vehicle and plant servicing areas, vehicle wash bays and lubrication bays should as far as possible be located within roofed areas. The drainage in these covered areas should be connected to foul sewers via a petrol interceptor (see Appendix E for reference). Oil leakage or spillage should be contained and cleaned up immediately. Waste oil should be collected and stored for recycling or disposal in accordance with the Waste Disposal Ordinance.

Licensing of Construction Site Discharges within Water Control Zones

27. All discharges into any drainage or sewerage systems, or inland or coastal waters, or into the ground (e.g. from septic tanks) within a Water Control Zone are controlled under the Water Pollution control Ordinance (WPCO), except the discharge of domestic sewage into foul sewers or the discharge of unpolluted water into storm drains or into the waters of Hong Kong. Construction site discharges are controlled under the WPCO. The geographical extents of the Water Control Zones are shown on the map at Appendix F.

28. Discharges controlled under the WPCO must comply with the terms and conditions of a valid WPCO licence. It should be noted that compliance with the recommendations in this practice note does not necessarily imply compliance with the terms and conditions of a licence issued under the WPCO. Depending on actual site conditions, facilities in addition to those recommended in this practice note might be necessary.

29. The WPCO licence application form (Form A) can be obtained from any EPD office or from District Offices. The applicant should include in the application, inter alia, information on the various points of discharge of storm run-off and wastewater, and the corresponding maximum (or range of) volume of discharge expected on a dry day. The application form, which can be filled in by the Owner, the Authorized Person, the Consulting Engineer or the Contractor, should be submitted to EPD as early as possible before the commencement of any discharge. In general, assuming adequate information has been provided together with the licence application, EPD would need at least 20 days for the processing of a licence for a discharge, and in the case of a discharge directly into any waters of Hong Kong, EPD would need at least 50 days to allow time for public notification as required by the WPCO. (EPD General Enquiry 835 1018)

(Stuart B. Reed)

Director of Environmental Protection

Environmental Protection Department
28/F Southorn Centre
130 Hennessy Road
Wan Chai

Issued August 1994

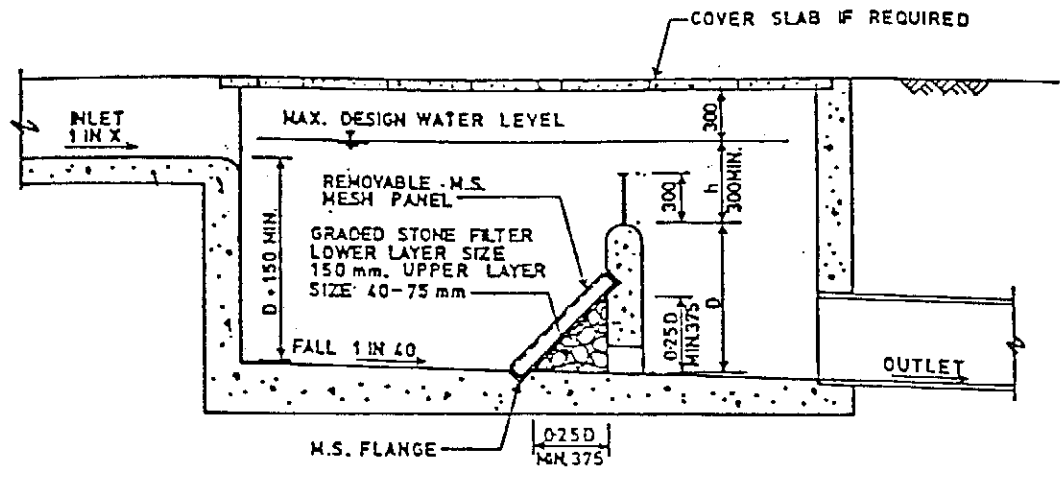
Ref. : EP 50/D1/4

LIST OF APP

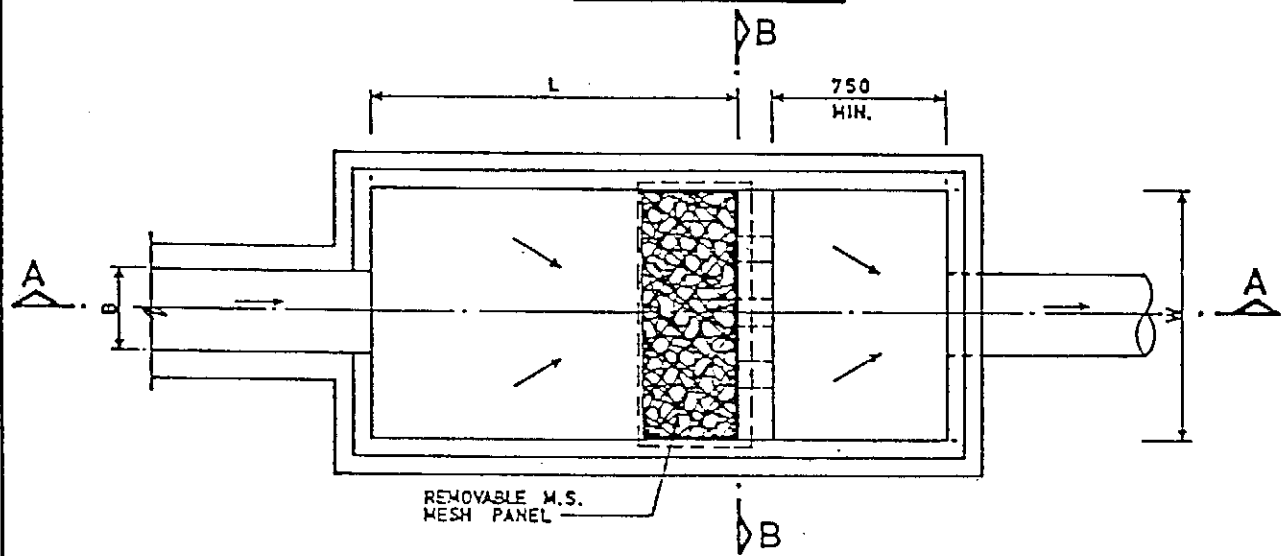
Appendix A1	Sand Trap (CED Standard Drawing No. GC 1034)
Appendix A2	Precautions/Actions relating to Rainstorms
Appendix B	Septic Tank and Soakaway
Appendix C	Grease Trap
Appendix D	Petrol Interceptor with Storm Bypass
Appendix E	Petrol Interceptor
Appendix F	Water Control Zones

Addendum to the ProPECC Practice Note PN 1/94

Original	Amendments
Para 29, last sentence “(EPD General Enquiry 835 1018)”	“(EPD General Enquiry 2835 1018)”

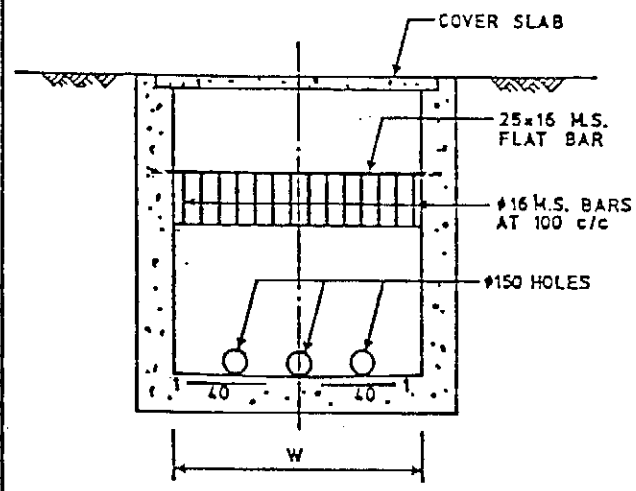


SECTION A-A



PLAN

(COVER SLAB NOT SHOWN)



SECTION B-B

NOTES:-

1. All dimensions are in millimetres.
2. Normally for drains of 900 mm dia. and below. For bigger drains and steep terrain, sand trap should be specially designed.
3. SIZE:-
Depth $D < 750$; Width $W \geq 3B$
Length $L = 4.8 D^{0.67} h^{0.5} X^{0.5} \geq 4B$
4. Graded stone filter shall be crusher run granite aggregate.
5. CAPACITY:- D.W.L. to be according to size and nature of catchment, providing detention time not less than 5 minutes for max. design flow of inlet.
6. All mild steel structures to be hot dip galvanized.
7. Reinforcement to be specified.
8. Wall and slab thicknesses to be specified.

SAND TRAP

RET.	REVISION	SIGNATURE	DATE
CIVIL ENGINEERING DEPARTMENT			
GEOTECHNICAL ENGINEERING OFFICE			
SCALE : DIAGRAMMATIC		DRAWING NO.	
DATE : MAY 1990		GC 1034	

Precautions/Actions relating to Rainstorms

The following are extracted from the main text to highlight the specific precautions or actions concerned with rainstorms. For general precautions to be taken at all times in relation to surface run-off, please refer to Section 2 of the main text.

(I) Precautions to be taken at any time of year when rainstorms are likely

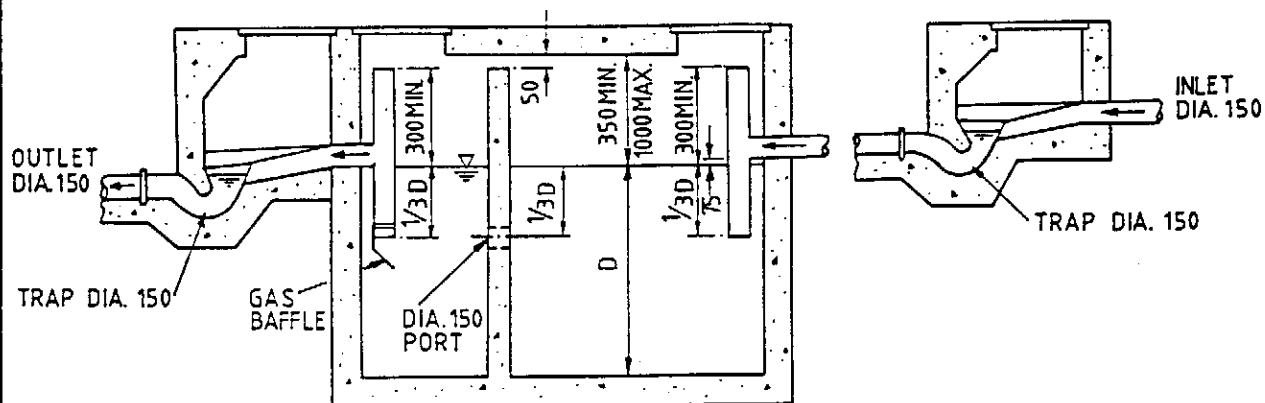
- (a) Silt removal facilities, channels and manholes should be maintained and the deposited silt and grit should be removed regularly.
- (b) Temporarily exposed slope surfaces should be covered e.g. by tarpaulin.
- (c) Temporary access roads should be protected by crushed stone or gravel.
- (d) Intercepting channels should be provided (e.g. along the crest/edge of excavation) to prevent storm runoff from washing across exposed soil surfaces.
- (e) Trenches should be dug and backfilled in short sections. Measures should be taken to minimize the ingress of rainwater into trenches.

(II) Actions to be taken when a rainstorm is imminent or forecast

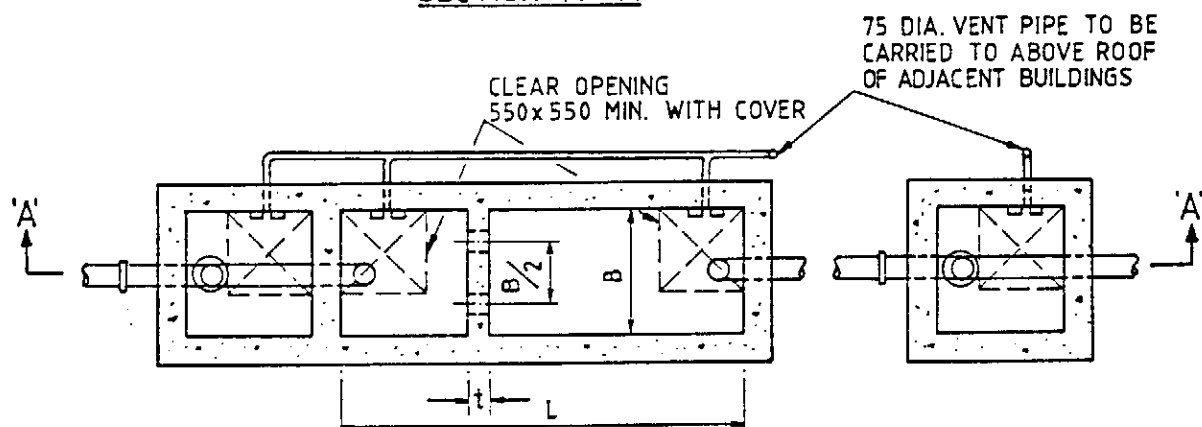
- (a) Silt removal facilities, channels and manholes should be checked to ensure that they can function properly.
- (b) Open stockpiles of construction materials (e.g. aggregates, sand and fill materials) on site should be covered with tarpaulin or similar fabric.
- (c) All temporary covers to slopes and stockpiles should be secured.

(III) Actions to be taken during or after rainstorms

- (a) Silt removal facilities, channels and manholes should be checked and maintained to ensure satisfactory working conditions. Attention should be given to safety when carrying out this work.



SECTION A-A



PLAN

NOTES:-

1. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE STATED.
2. SIZE
 - a. $4B \geq L > 3B$
 - b. $1800 \text{ mm} \geq D > 1200 \text{ mm}$
 - c. RATIO OF VOLUMES OF FIRST AND SECOND CHAMBERS = 2 : 1
3. CAPACITY (SUBJECT TO NOTE 2)
 - a. CAPACITY $C = (L - t) \times B \times D$
 - b. NOT LESS THAN 2.3 m^3 BUT NOT MORE THAN 41 m^3
 - c. NOT LESS THAN Q/N WHERE N IS THE NUMBER OF PERSONS SERVED AND Q IS THE ESTIMATED ULTIMATE PER CAPITA DAILY WATER CONSUMPTION
 - d. SURFACE WATER MUST NOT BE CONNECTED TO THE TANK
 - e. TANK TO BE DESLUDGED EVERY 6 MONTHS
4. NO OVERFLOW OR BYPASS PIPE IS ALLOWED.
5. PLEASE REFER TO THE BOOKLET "GUIDANCE NOTES ON DISCHARGES FROM VILLAGE HOUSES" PUBLISHED BY EPD FOR FURTHER GUIDELINES ON OPERATION AND MAINTENANCE OF SEPTIC TANK SYSTEM.

SEPTIC TANK

(FOR INTERIM REFERENCE ONLY)

drawing no.

EP 50/D1/5/01

group

Liquid Waste Projects

date

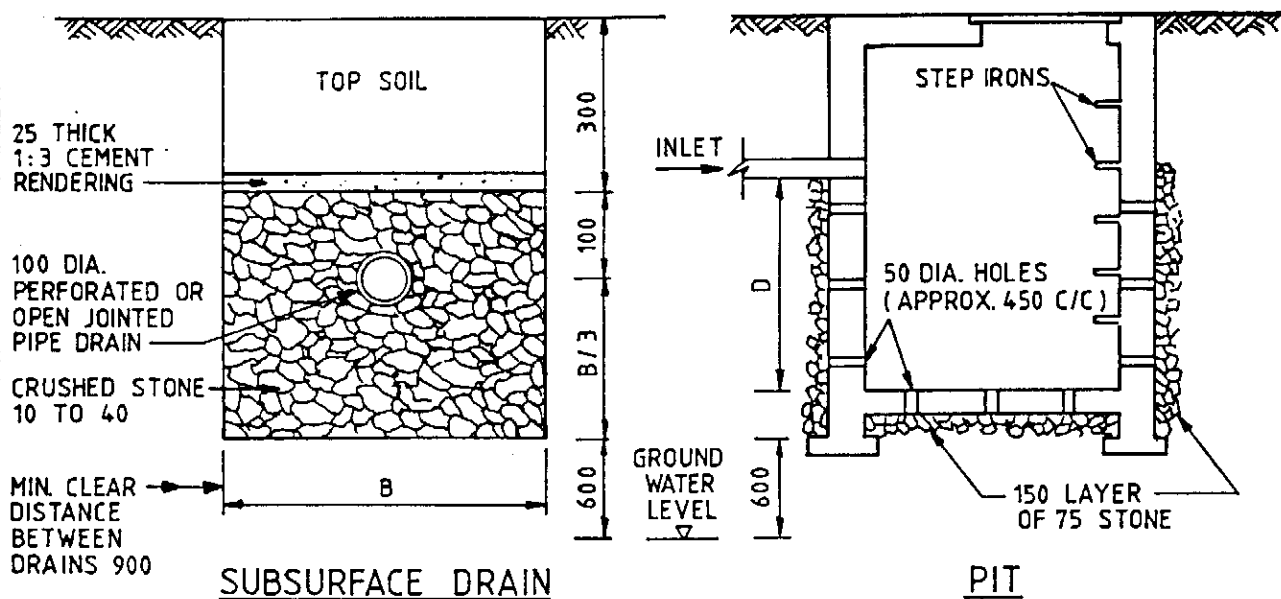
5/93

scale

NTS

ENVIRONMENTAL
PROTECTION
DEPARTMENT
HONG KONG



**NOTES:-**

1. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE STATED
2. PERCOLATION TEST FOR DETERMINING ABSORPTION CAPACITY OF SOIL
 - a. EXCAVATE A HOLE 300 mm SQUARE TO THE SAME DEPTH OF THE PIT OR TRENCH.
 - b. FILL THE HOLE WITH APPROXIMATELY 150 mm OF WATER AND ALLOW TO SEEP AWAY COMPLETELY.
 - c. REFILL THE HOLE WITH WATER TO A DEPTH OF 150 mm AND OBSERVE THE TIME, IN MINUTES, FOR WATER TO SEEP COMPLETELY AWAY.
 - d. DIVIDE THE TIME BY 6 TO GIVE TIME TAKEN TO FALL 25 mm FOR USE IN TABLE BELOW.
3. ALLOWABLE LOADING OF SOAKAWAY SYSTEMS

TIME IN MINUTES FOR WATER TO FALL 25 mm IN TEST PIT	ALLOWABLE LOADING IN LITRES PER m ² PER DAY	
	DRAIN TRENCH BOTTOM AREA	PIT PERCOLATION AREA
1 OR LESS	163	216
2	130	175
5	98	130
10	89	94
30	33	45

THE TOTAL ALLOWABLE LOADING PER DAY SHOULD EQUATE WITH THE DAILY INCOMING FLOW

4. MINIMUM CLEARANCE REQUIREMENTS FOR SOAKAWAY SYSTEMS

	DISTANCE FROM SOAKAWAY SYSTEMS (m)	
BUILDING	3	
RETAINING WALLS	6	
WELLS	50	
STREAM WHERE THE BED IS LOWER THAN INVERT OF SOAKAWAY SYSTEM	15 (30)*	* THESE DISTANCES SHOULD BE INCREASED TO DISTANCES SHOWN IN BRACKETS IF THE WATER FROM THE STREAM OR POOL IS USED OR LIKELY TO BE USED FOR DRINKING OR DOMESTIC PURPOSES.
POOLS	7.5 (30)*	
CUTS OR EMBANKMENTS	30	
PATHS	1.5	
BEACHES	100	(FROM BOUNDARIES OF GAZETTED BEACHES OR BATHING BEACH SUBZONES OF WATER CONTROL ZONES)
	30	(FROM H.W.M. AND FROM NEAREST WATERCOURSES FOR OTHER CASES)
GROUND WATER TABLE	0.6	(BELOW INVERT)

SOIL SOAKAWAY SYSTEM

(FOR INTERIM REFERENCE ONLY)

drawing no.
EP 50/D1/5/02

group
Liquid Waste Projects

date
5/93

scale
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HONG KONG



Grease Traps

(see Drawing no. EP 50/L1/1/01A for typical details of a grease trap)

<u>Kitchen Floor Area</u>	<u>Peaking Factor</u>	<u>Minimum Required Grease Trap Retention Volume</u>
(m ²)		(m ³)
12	5.5	0.7
24	4.3	1.1
50	3.0	1.6
100	2.4	2.5
150		3.3
200	1.85	4.0
250		4.7
300		5.4
350		6.1
400	1.62	6.7
450		7.3
500		7.8
550		8.3
600	1.38	8.7
650		9.1
700		9.4
750		9.7
800	1.15	10.0
850		10.2
900	1.03	10.3
1000	1.0	10.4

- Note
1. The minimum required grease trap retention volume tabulated above is based on an average water consumption of 0.5 m³ per day per m² of kitchen floor area, and an average working day of 16 working hours. A larger grease trap should be provided if a higher water discharge intensity is anticipated.
 2. For kitchen floor areas in between the listed values, the minimum required grease trap retention volume can be calculated pro-rata.
 3. For kitchen floor areas smaller than 12 m², a grease trap with retention volume 0.7 m³ should be provided unless the adequacy of a smaller grease trap can be demonstrated.
 4. Depending on the actual operation of the proposed food premises, additional installations might be required to meet the standards given in the Technical Memorandum issued under section 21 of the Water Pollution Control (Amendment) Ordinance 1990.

Notes

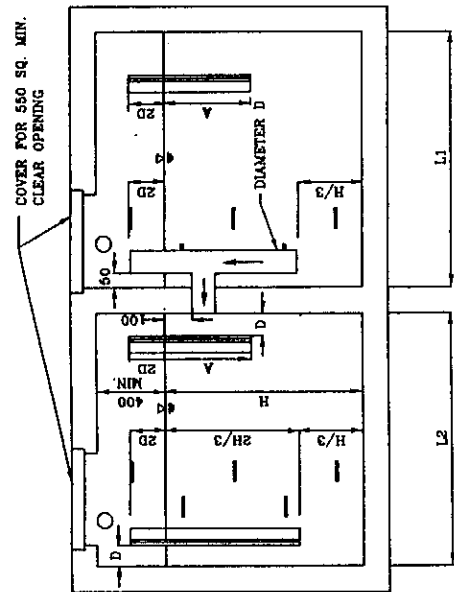
1. All dimensions are in millimetres unless otherwise stated
2. Volume = $B(L_1 + L_2)H$
3. $750 \leq B \leq L_1 \leq L_2 \leq 1800$
4. $600 \leq H \leq 1200$
For kitchen floor areas $\geq 50 \text{ m}^2$, H should be 900 minimum
5. $L_1 + L_2 = L_T$
 $2.0 \leq L_T/H \leq 3.0$
 $1500 \leq B \times L_T/H \leq 4000$
6. A = H/2 but not greater than 450
7. No. of pipes through the middle partition wall should be such that the velocity inside the pipes is not greater than 0.2 m/s
8. Gradient of inlet pipe > 1 in 10
9. Horizontal pipe between the last drainage funnel and the grease trap should not be longer than 10m. Where this cannot be achieved, the gradient of the pipe should be increased and rodding eyes should also be provided
10. Minimum diameter of inlet pipes 100mm
11. Minimum diameter of vent pipes 75mm
12. Reinforced concrete grease traps should be designed as liquid retaining structure with maximum surface crack widths 0.2mm
13. Grease traps should be easily accessible, allowing covers to be lifted and accumulated materials removed
14. A prominent sign should be erected adjacent to the grease trap to signify the location of the grease trap and should also contain the following information:
 - a) overall depth of the grease trap
 - b) liquid depth of the grease trap
 - c) the grease trap needs cleaning when the top 200mm of liquid depth is occupied by grease
 - d) warning signs and safety barriers should be erected around the manhole openings during cleaning and maintenance of the grease trap

Drawing No. EP50/L1/1/01A
Scale: NTS

Group LIQUID WASTE PROJECTS

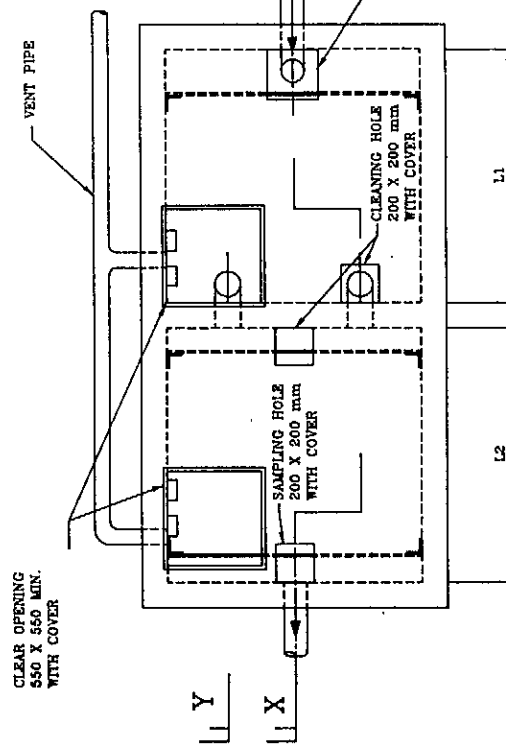
Environmental Protection Department
Hong Kong

COVER FOR 550 SQ. MIN.
CLEAR OPENING



SECTION X-X

CLEAR OPENING
550 X 550 MIN.
WITH COVER



SECTION Y-Y

PLAN

TYPICAL DETAILS OF A GREASE TRAP

SECTIONAL PLAN

GENERAL NOTES :

1. THE PETROL INTERCEPTOR IS DESIGNED TO PROVIDE AT LEAST 20 MINUTES RETENTION TO 5-10% OF THE MAXIMUM RUNOFF COLLECTED BY THE TRANSPORT INTERCHANGE IN A 1 IN 2 YEAR RAINSTORM.
2. DETAILS OF PETROL INTERCEPTOR SHOWN IN THESE DRAWING IS FOR OPEN SPACE PUBLIC TRANSPORT INTERCHANGE. FOR PETROL INTERCEPTOR AT COVERED PUBLIC TRANSPORT INTERCHANGE SEE CEO STANDARD DRAWING CE 1041.
3. ALL DIMENSIONS ARE IN MILLIMETRES.
4. CONCRETE TO BE GRADE 30/20.
5. REINFORCEMENT SHALL COMPLY TO BS 4449 AND SHALL BE BENT IN ACCORDANCE WITH BS 4466.
6. COVER TO REINFORCEMENT TO BE 50 mm UNLESS OTHERWISE SPECIFIED.
7. REINFORCEMENT NOTATION :

No. OF SETS		3 x 3 R12 - 5 - 200 B		SUFFIX
No. OFF				SPACING
BAR CLASS				BAR MARK
DIAMETER				

BAR CLASS - R= GRADE 250 PLAIN ROUND STEEL BAR

SUFFIX --- T= TOP

B= BOTTOM

NF= NEAR FACE

FF= FAR FACE

EF= EACH FACE
8. MINIMUM LAP LENGTH : 40 DIAMETER OF BAR FOR MILD STEEL PLAIN BAR.
9. STRUCTURAL STEELWORK SHALL BE GRADE 43C COMPLY WITH BS 4360 UNLESS OTHERWISE SPECIFIED.
10. ALL FILLET WELDS TO BE 6 mm UNLESS OTHERWISE SPECIFIED.
11. STAINLESS STEEL ACCESS LADDER TO BE OF MINIMUM GRADE 304 S12 TO BS 970:PT1:1983.
12. FOR RSJ CONNECTIONS, SEE CEO STANDARD DRAWING CE 1020.
13. FOR DETAILS OF TOP TREATMENT TO PETROL INTERCEPTOR, SEE CEO STANDARD DRAWING CE 1021 FOR FLEXIBLE ROAD SURFACE AND HIGHWAY STANDARD DRAWING H 1006 FOR CONCRETE ROAD SLAB.
14. FOR DETAILS OF COVER TO PETROL INTERCEPTOR, SEE CEO STANDARD DRAWING CE 1022.
15. FOR DETAILS OF DESILTING OPENING COVER, SEE CEO STANDARD DRAWING CE 1023.

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE

NEW ISSUE

NL

7/91

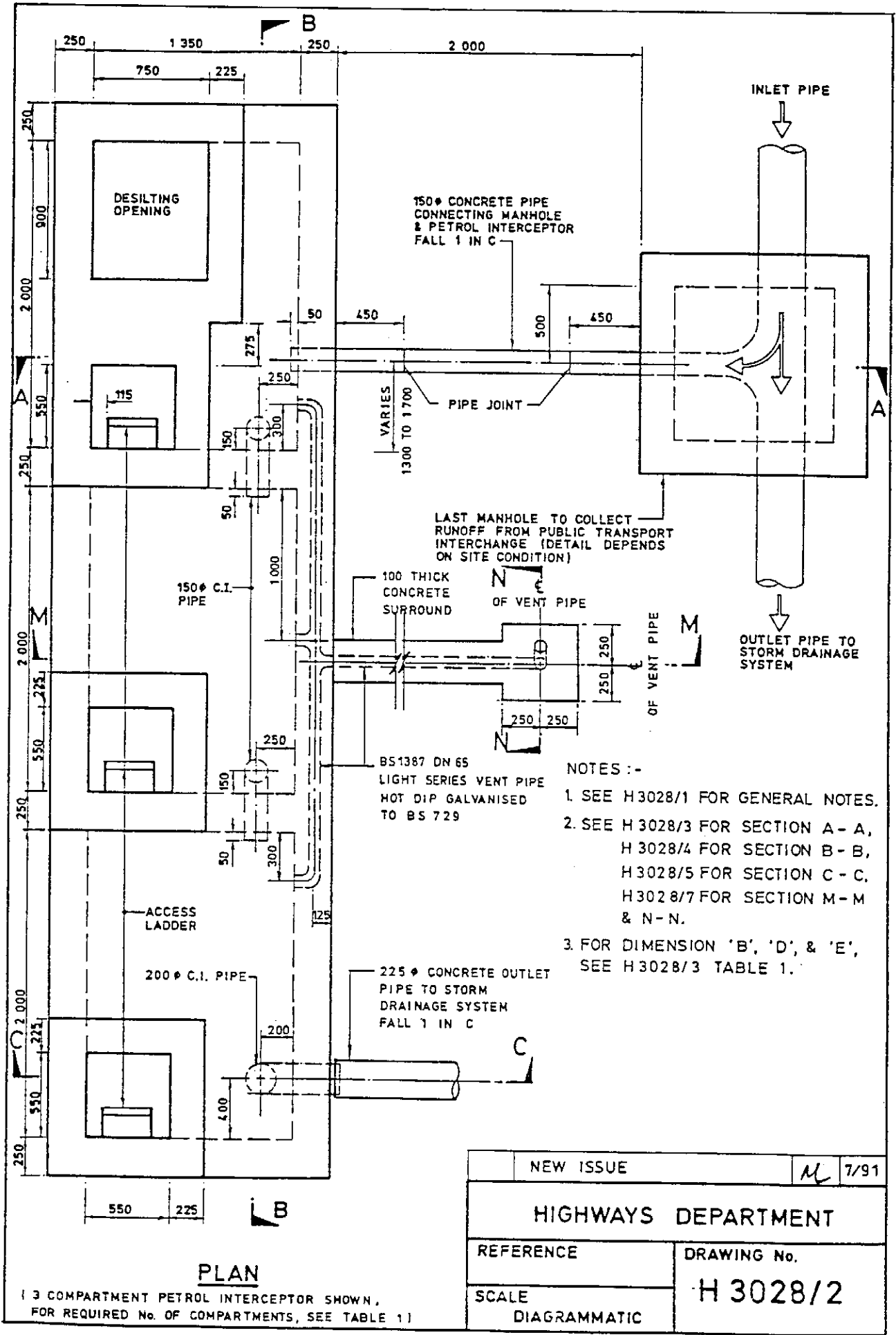
HIGHWAYS DEPARTMENT

REFERENCE

DRAWING No.

SCALE

H 3028/1



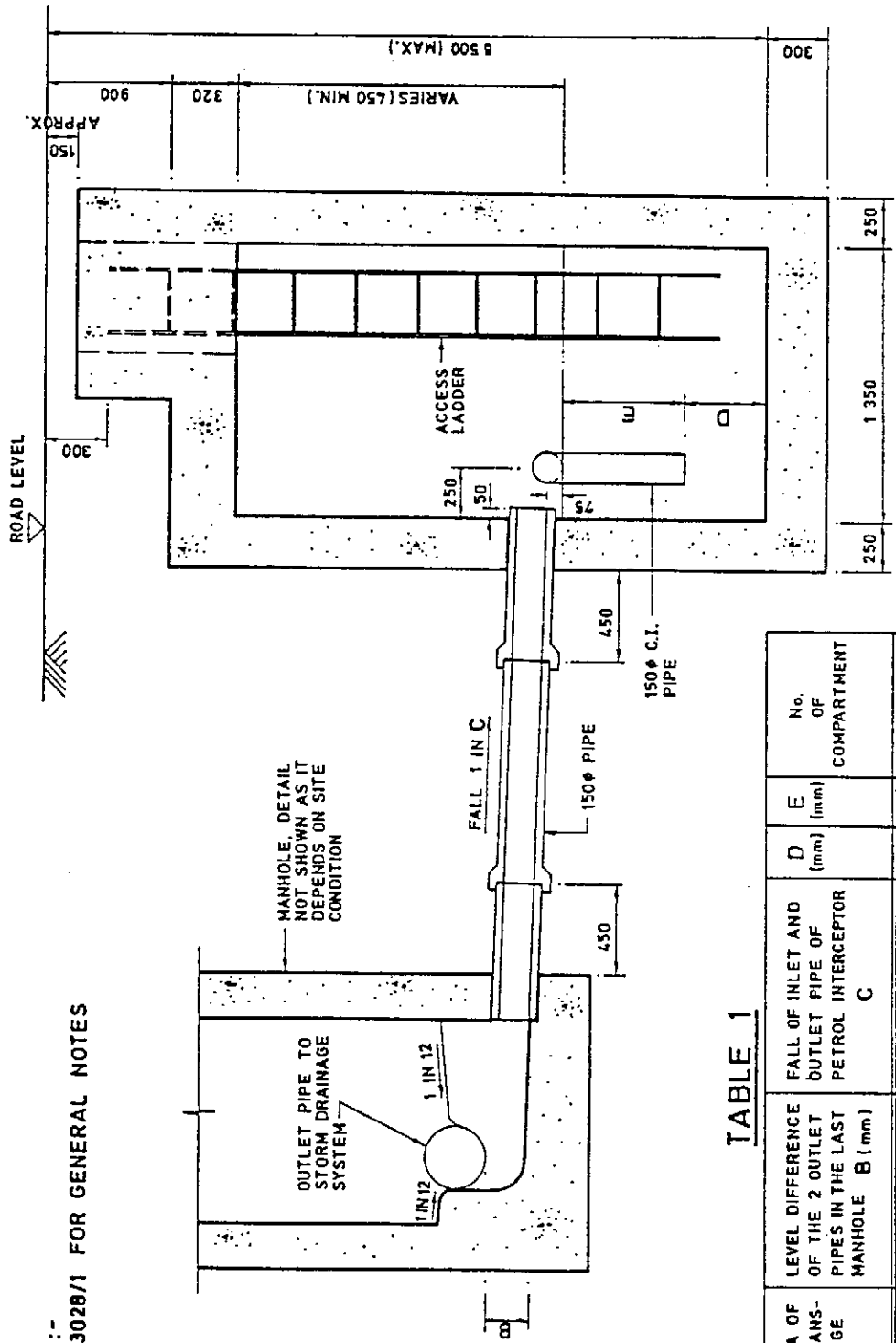


TABLE 1

CATCHMENT AREA OF THE PUBLIC TRANS-PORT INTERCHANGE A (m ²)	LEVEL DIFFERENCE OF THE 2 OUTLET PIPES IN THE LAST MANHOLE B (mm)	FALL OF INLET AND OUTLET PIPE OF PETROL INTERCEPTOR C	D (mm)	E (mm)	No. OF COMPARTMENT
A ≤ 1000	60	2 00	500	400	2
1000 < A ≤ 2000	90	2 00	600	400	3
2000 < A ≤ 3000	150	2 00	550	600	4
3000 < A ≤ 4000	150	1 00	725	600	4

SECTION A-A

NEW ISSUE

7/91

HIGHWAYS DEPARTMENT

REFERENCE

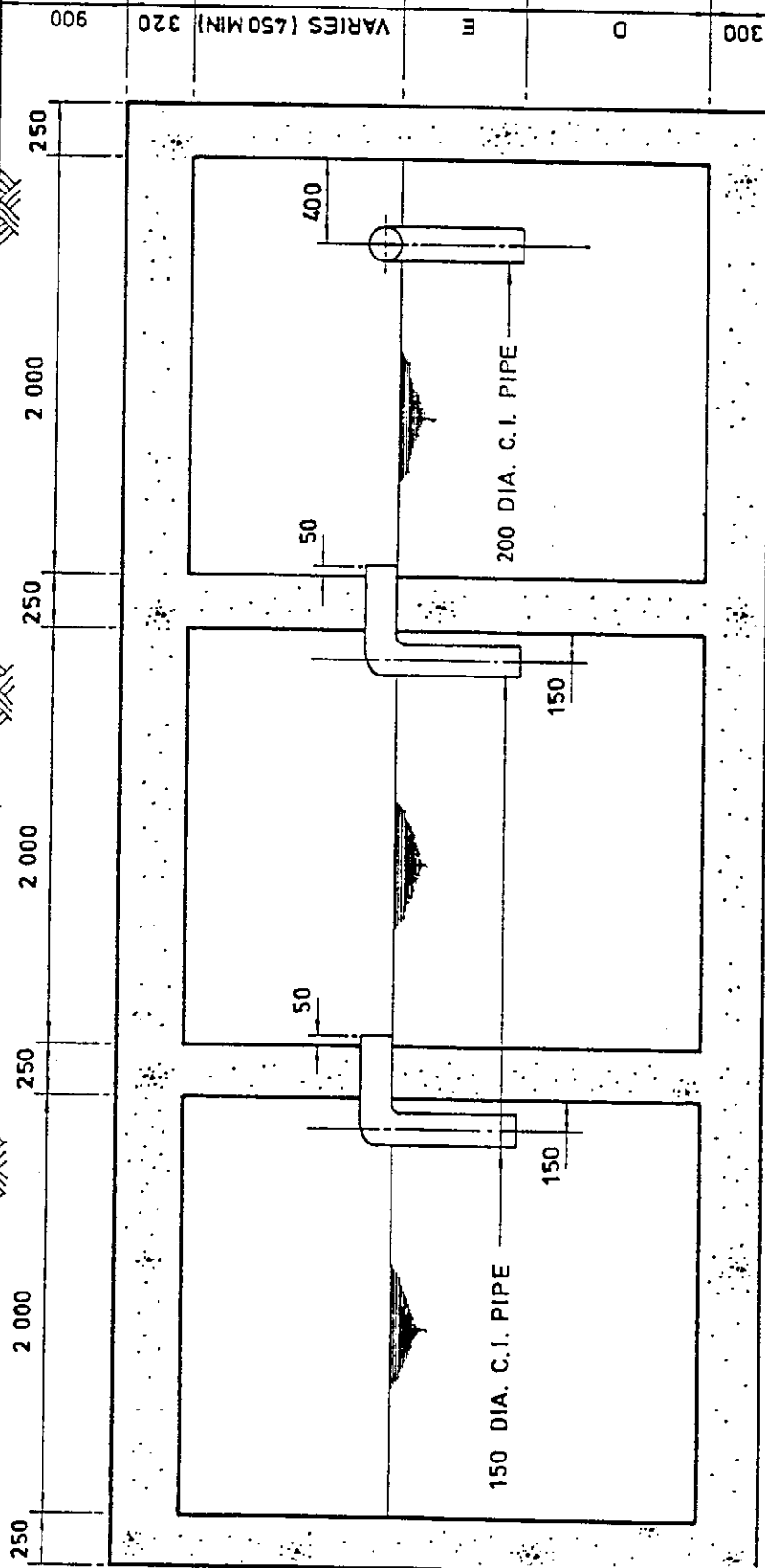
DRAWING No.

SCALE

DIAGRAMMATIC

H 3028/3

ROAD LEVEL

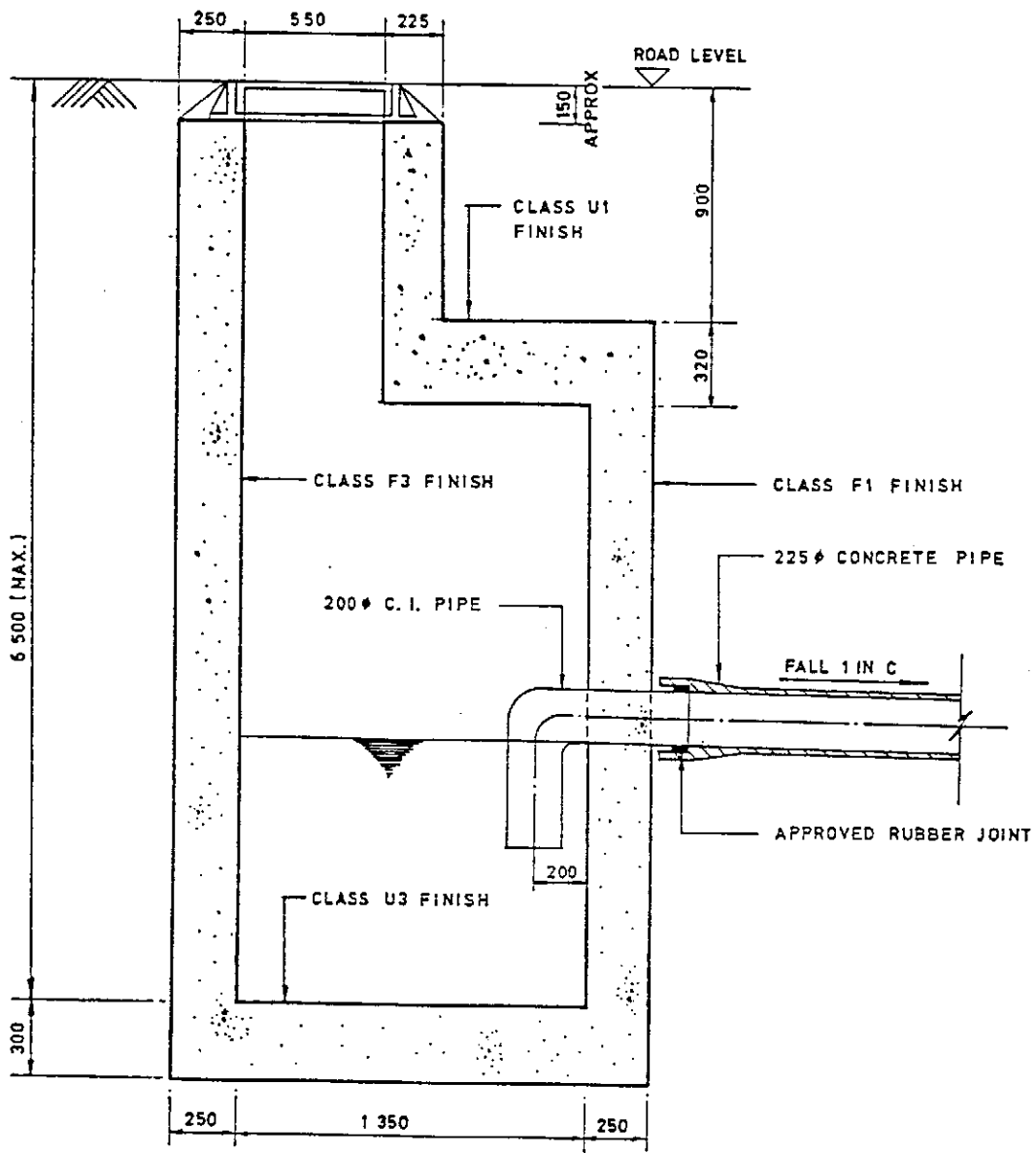


SECTION B-B
(3 COMPARTMENT PETROL
INTERCEPTOR SHOWN)

NOTES :-
SEE H3028/1 FOR GENERAL NOTES

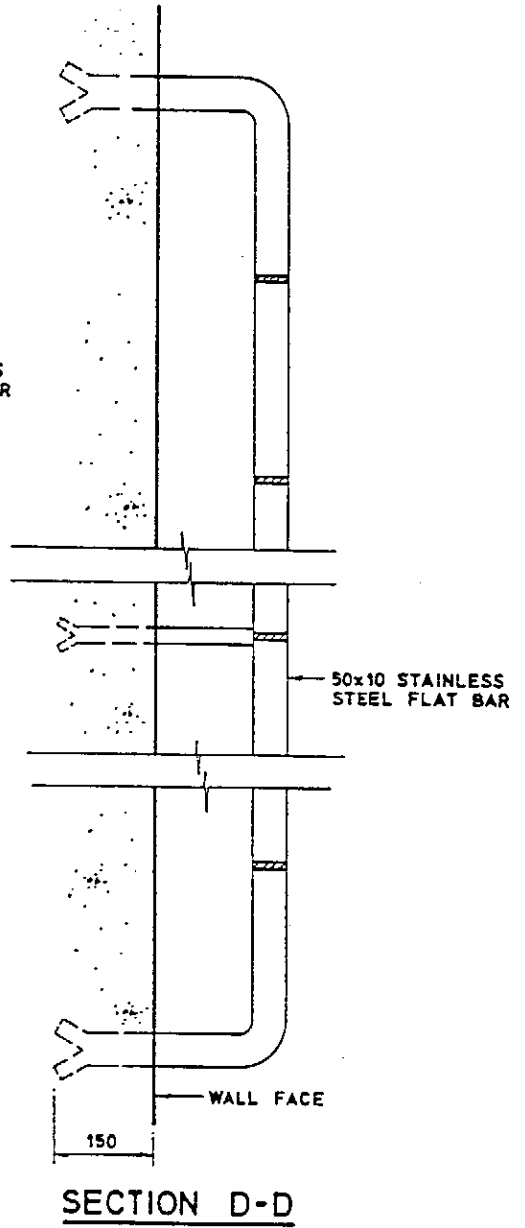
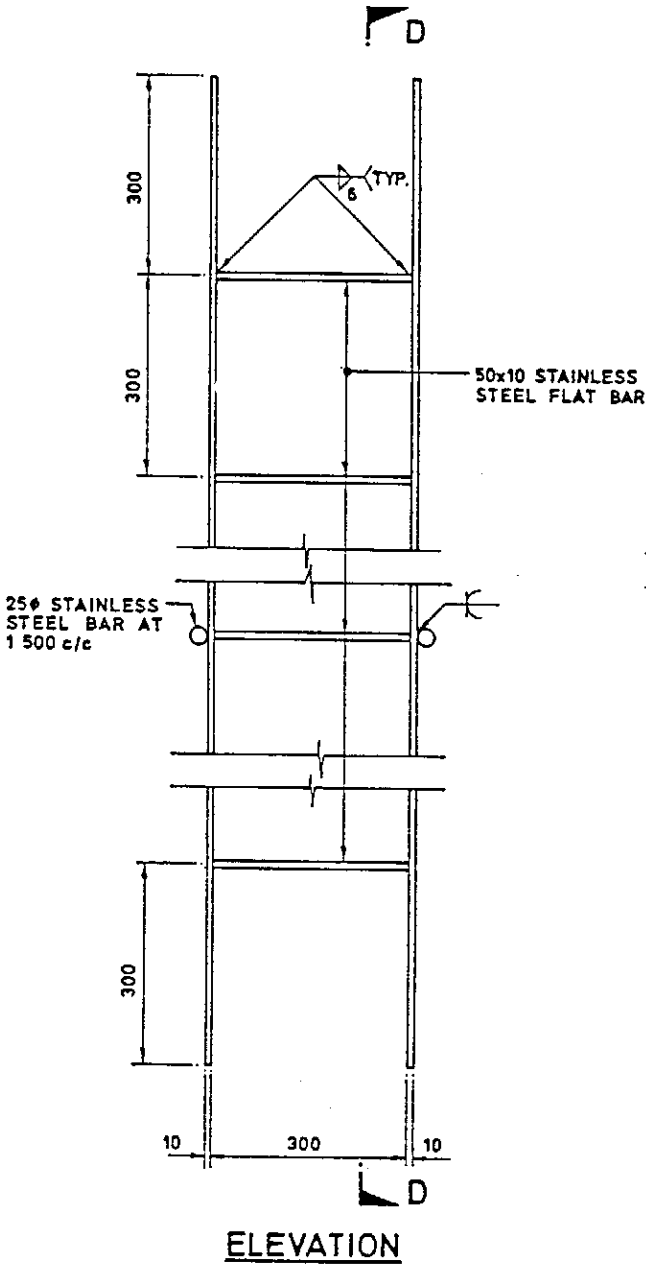
NEW ISSUE	N/L	7/91
HIGHWAYS DEPARTMENT		
REFERENCE	DRAWING No.	
SCALE	H 3028/4	
DIAGRAMMATIC		

NOTES :-
SEE H 3028/1 FOR GENERAL NOTES

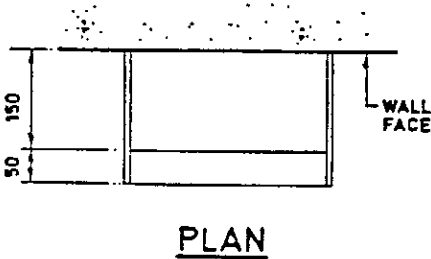


SECTION C-C

NEW ISSUE		NL	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		H 3028/5	
1 : 25			

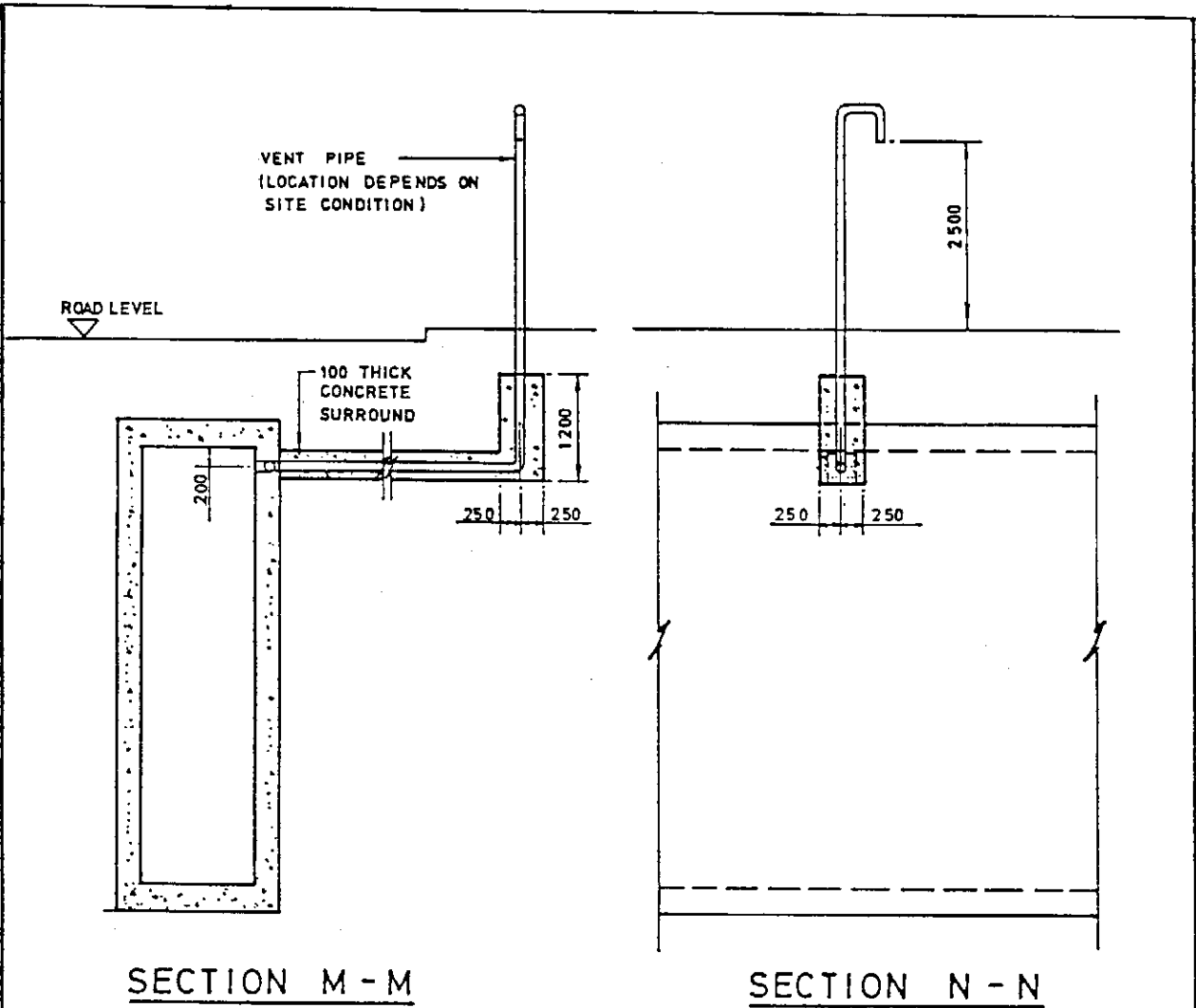


NOTES:-
SEE H 3028/1 FOR GENERAL NOTES



ACCESS LADDER

NEW ISSUE		NL	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		H 3028/6	
1 : 10			

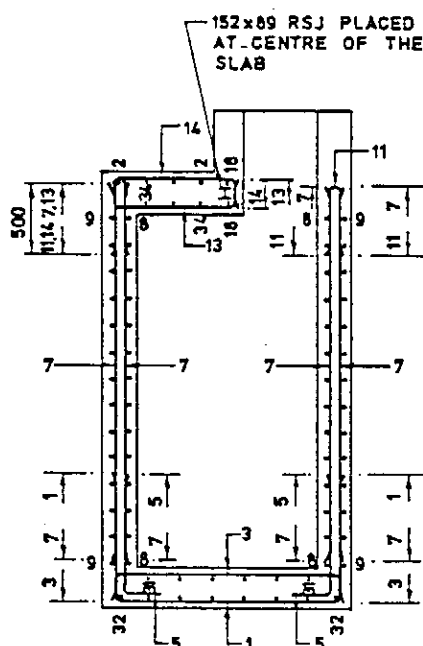


NOTES:-
SEE H3028/1 FOR GENERAL NOTES

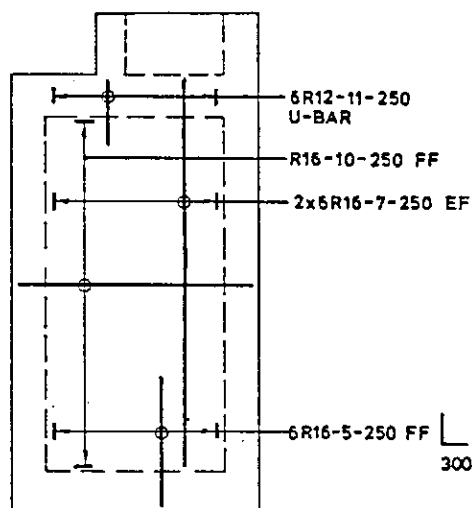
NEW ISSUE		NL	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		H 3028/7	
DIAGRAMMATIC			

NOTES :-

SEE H 3028/1 FOR GENERAL NOTES



SECTION E-E



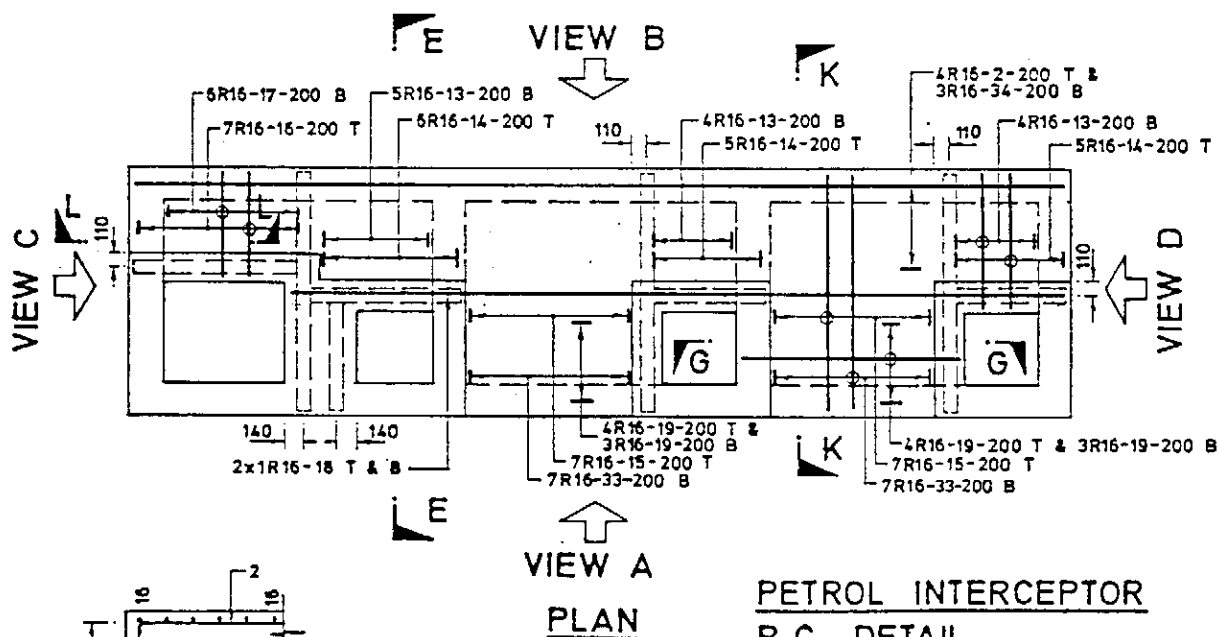
16-10-250 FF

2x5R16-7-250 EF

R16-5-250 FF

VIEW C

(VIEW D SIMILAR
BUT OPP. HANDED)



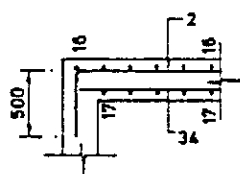
VIEW B

K

VIEW D

VIEW A
PLAN

PETROL INTERCEPTOR
R.C. DETAIL



(NOTE: WALL BARS NOT SHOWN FOR CLARITY)

NEW ISSUE		NL	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		H 3028/ 8	
1: 50			

N/L 7/91

HIGHWAYS DEPARTMENT

REFERENCE

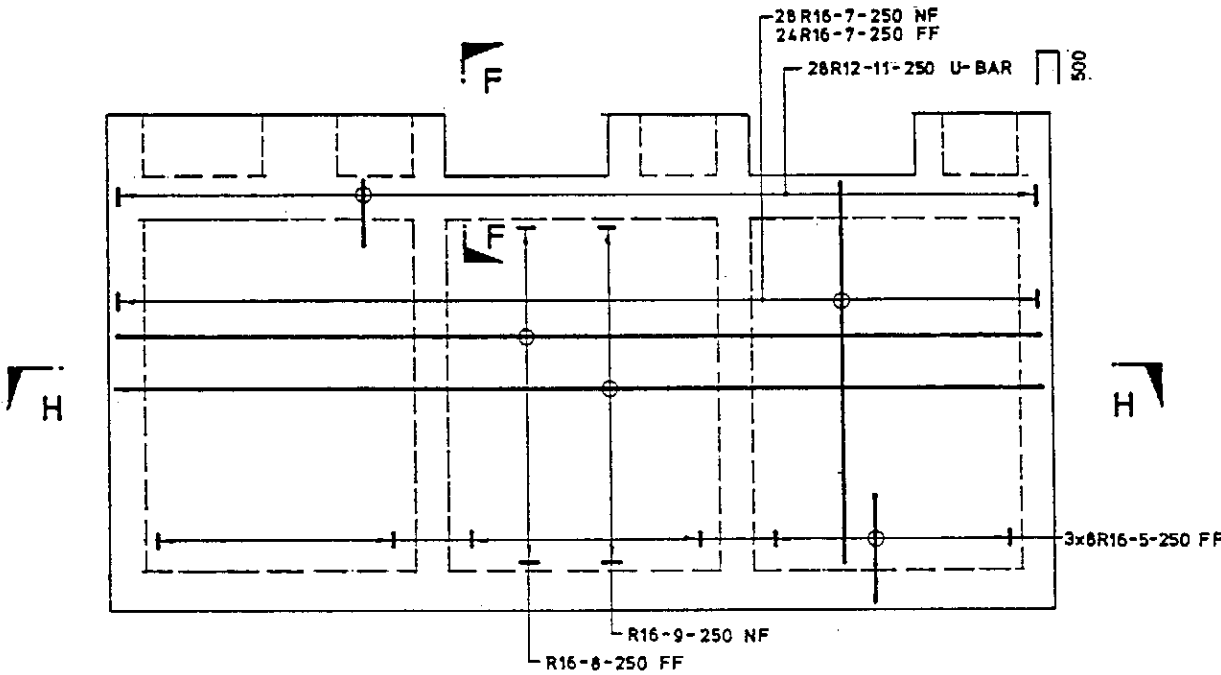
DRAWING No.

SCALE

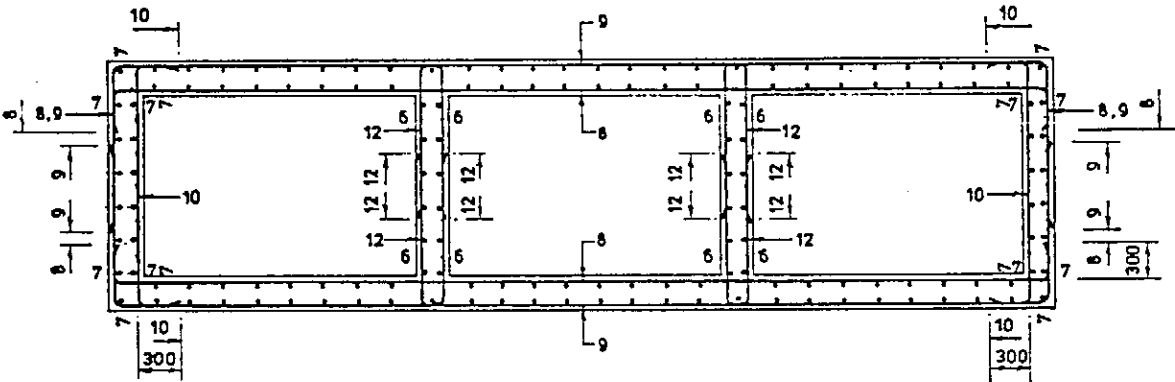
1:50

H 3028/ 8

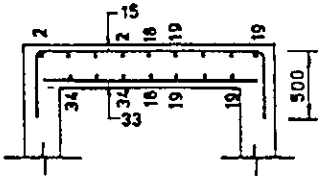
NOTES :-
SEE H 3028/1 FOR GENERAL NOTES



VIEW A
(VIEW B SIMILAR
BUT OPP. HANDED)



SECTION H-H

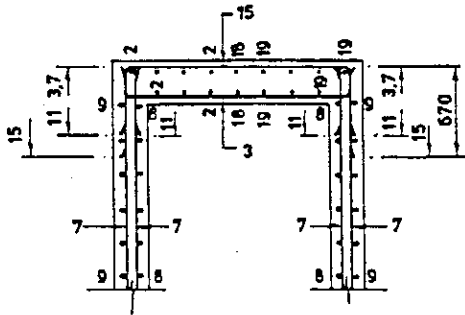


SECTION K-K
(NOTE : WALL BARS NOT
SHOWN FOR CLARITY)

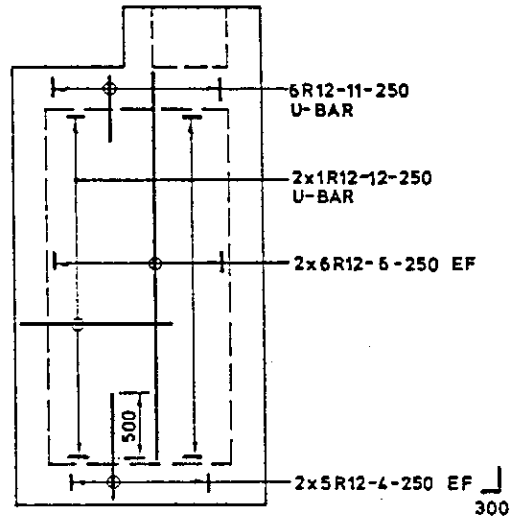
NEW ISSUE		NL	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		H 3028/ 9	
1 : 50			

NOTES :-

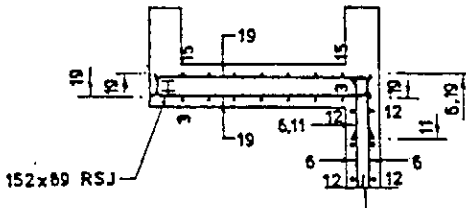
SEE H 3028 /1 FOR GENERAL NOTES



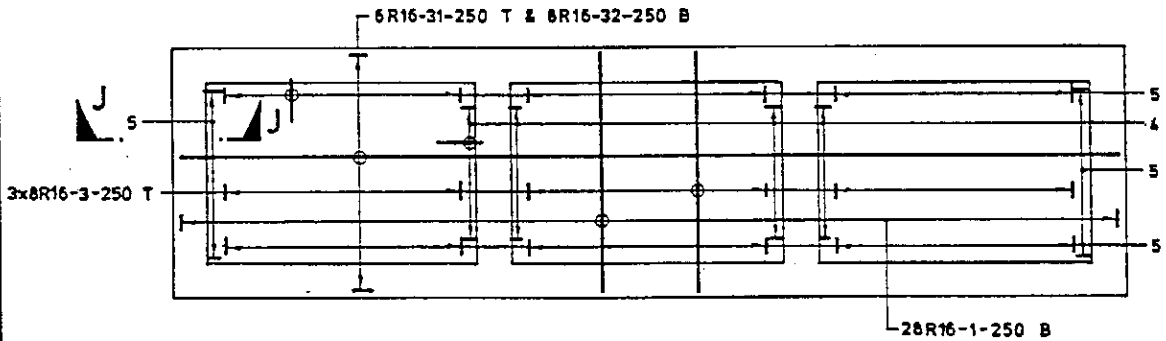
SECTION F-F



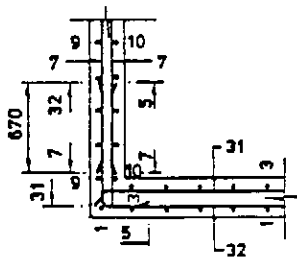
INTERNAL WALL



SECTION G - G

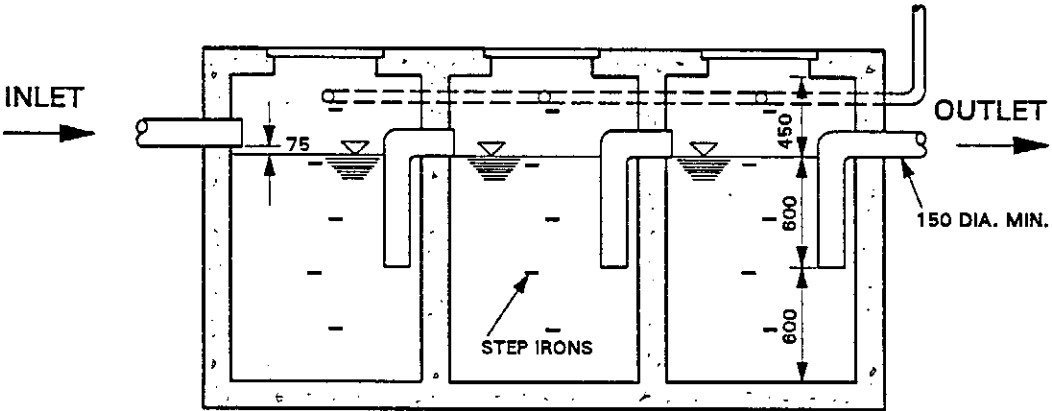


BASE SLAB

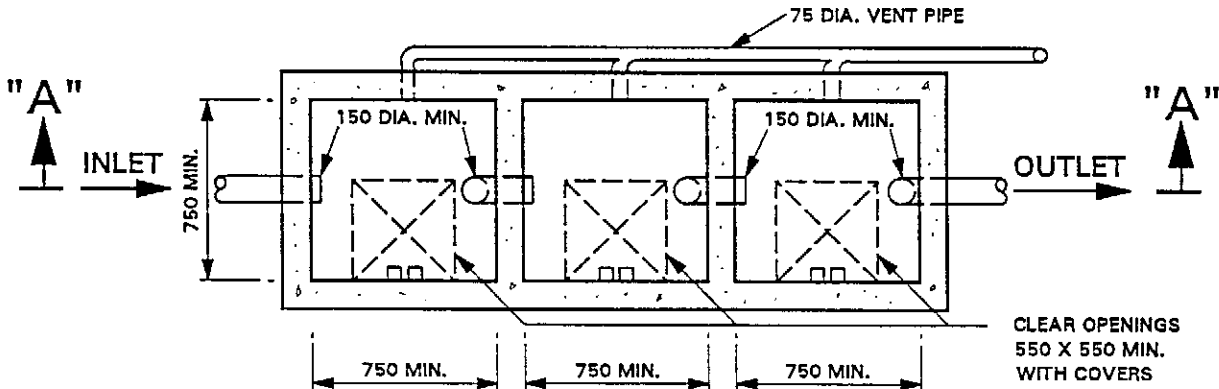


SECTION J-J

NEW ISSUE		N/L	7/91
HIGHWAYS DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE 1:50		H 3028/10	




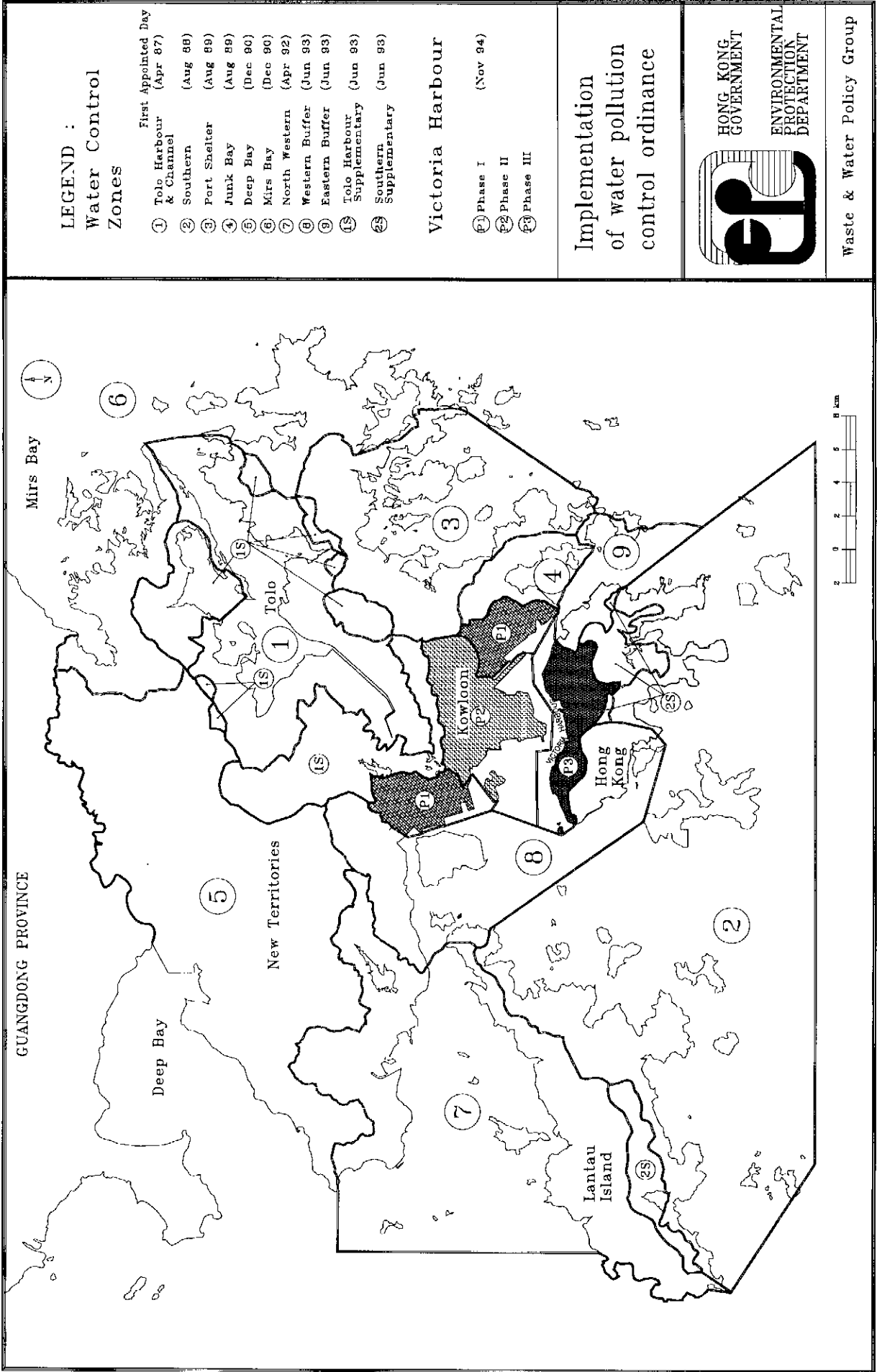
SECTION A - A



PLAN

- NOTES :
- 1. ALL DIMENSIONS ARE IN MILLIMETRES

TYPICAL DETAILS OF A PETROL INTERCEPTOR	drawing no. EP 50/D1/1/01		group Liquid Waste Projects	
	date 5/93	scale NTS	ENVIRONMENTAL PROTECTION DEPARTMENT HONG KONG	



Appendix E

Highways Department Standard Drawings
Of Petrol Interceptor
(H3134 – H3144)
(for reference only)

1. The petrol interceptor is designed to provide at least 20 minutes retention to 5-10% of the maximum runoff collected by the transport interchange in a 1 in 2 year rainstorm.
2. All dimensions are in millimetres.
3. Concrete to be grade 30/20.
4. Reinforcement shall comply to BS4449 and shall be bent in accordance with BS8666.
5. Cover to reinforcement to be 50mm unless otherwise specified.
6. Reinforcement notation :

```

bar class : R  = GRADE 250 PLAIN ROUND STEEL BAR
suffix :    T  = TOP
           B  = BOTTOM
           NF = NEAR FACE
           FF = FAR FACE
           EE = EACH FACE

```

7. Minimum lap length : 40 diameter of bar for mild steel plain bar.
8. Structural steelwork shall be grade S275 to BS EN 10025 unless otherwise specified.
9. All fillet welds to be 6mm unless otherwise specified.
10. Stainless steel access ladder to be of minimum grade 1.4401 to BS EN 10088.
11. For RSJ connections, see DSD Standard Drawing DS1031.
12. For details of treatment to the top of petrol interceptor, see DSD Standard Drawing DS1032 for flexible road surface and Highway Standard Drawing H1111 & H1112 for concrete road slab.
13. For details of cover to access opening and desilting opening, see DSD standard drawing DS1034.

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 1 OF 11)

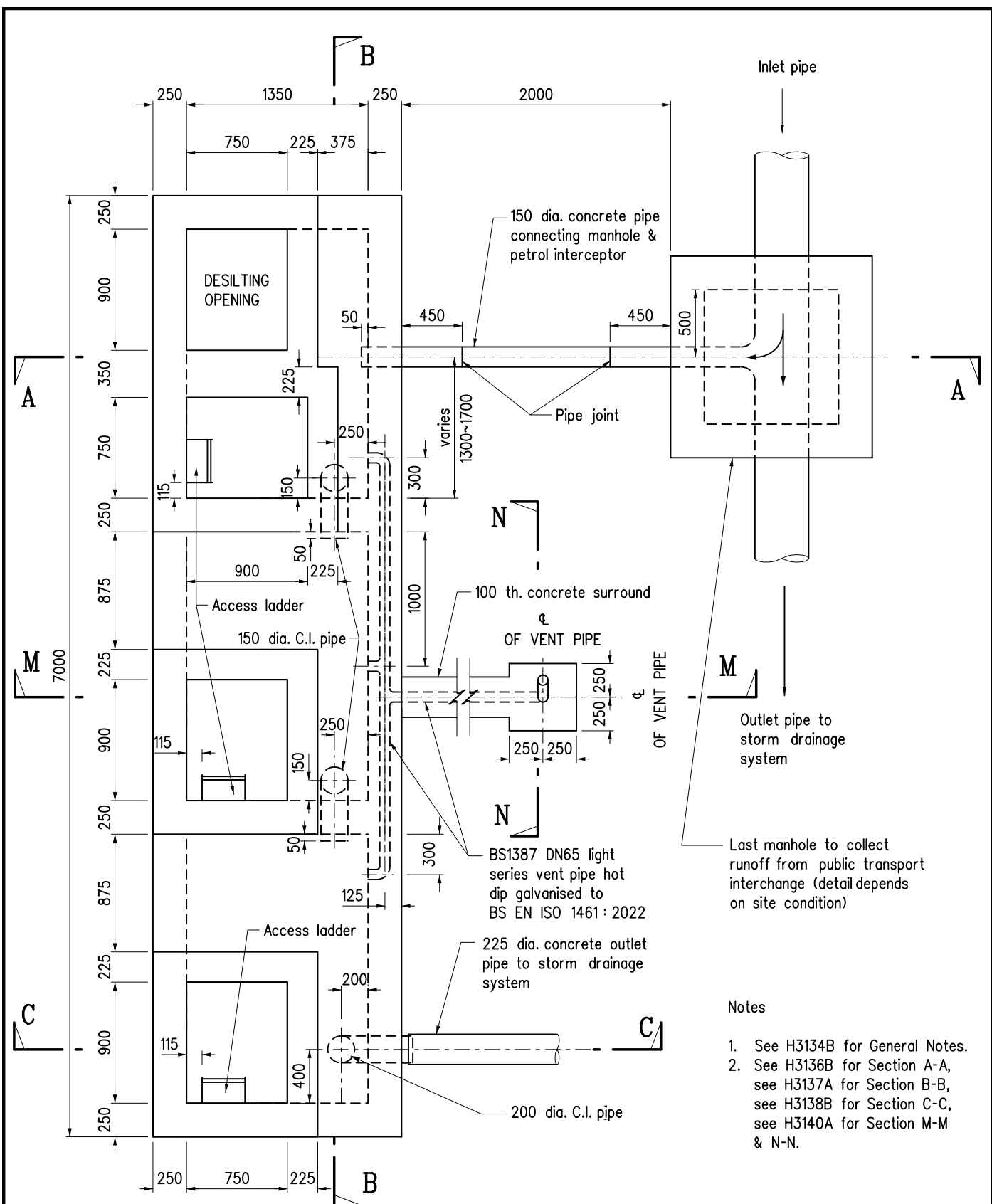
REFERENCE

SCALE

DRAWING No.

CAD

H 3134B



PLAN

3 compartment petrol interceptor shown, for required no. of compartments, see table 1 in drg. no. H3136B

C	General revision		Oct 22
B	Standard for hot dip galvanising updated		Sep 07
A	General revision		Nov 02
	Former drg. no. H3028/2A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

**PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 2 OF 11)**

HIGHWAYS DEPARTMENT

REFERENCE

DRAWING No.

CAD

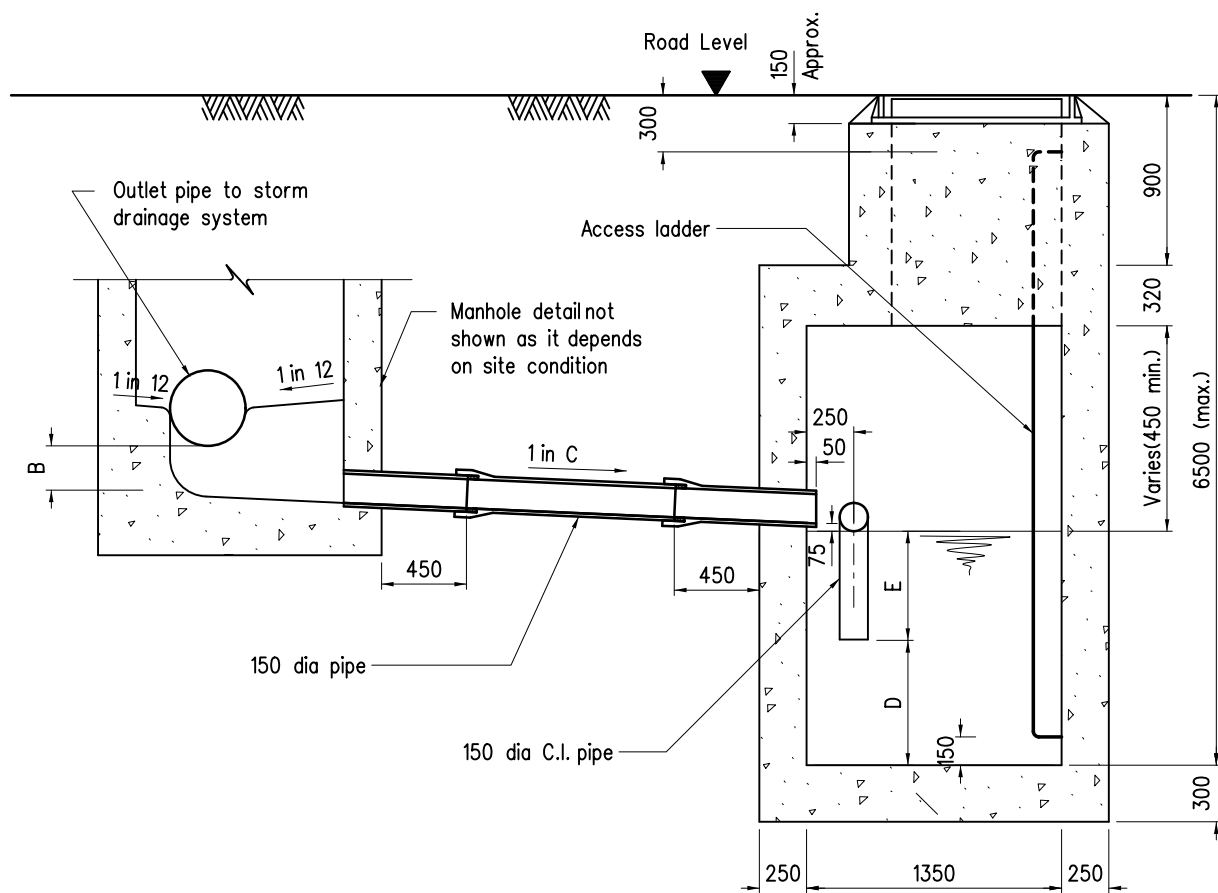
SCALE

Diagrammatic

H 3135C

CATCHMENT AREA OF THE PUBLIC TRANSPORT INTERCHANGE A (m ²)	LEVEL DIFFERENCE OF THE 2 OUTLET PIPES IN THE LAST MANHOLE B (mm)	FALL OF INLET AND OUTLET PIPE OF PETROL INTERCEPTOR C	D (mm)	E (mm)	NO. OF COMPARTMENT
A ≤ 1000	60	200	500	400	2
1000 < A ≤ 2000	90	200	600	400	3
2000 < A ≤ 3000	150	200	550	600	4
3000 < A ≤ 4000	150	100	725	600	4

TABLE 1



SECTION A - A

Note :

See H3134B for general notes.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/3A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 3 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

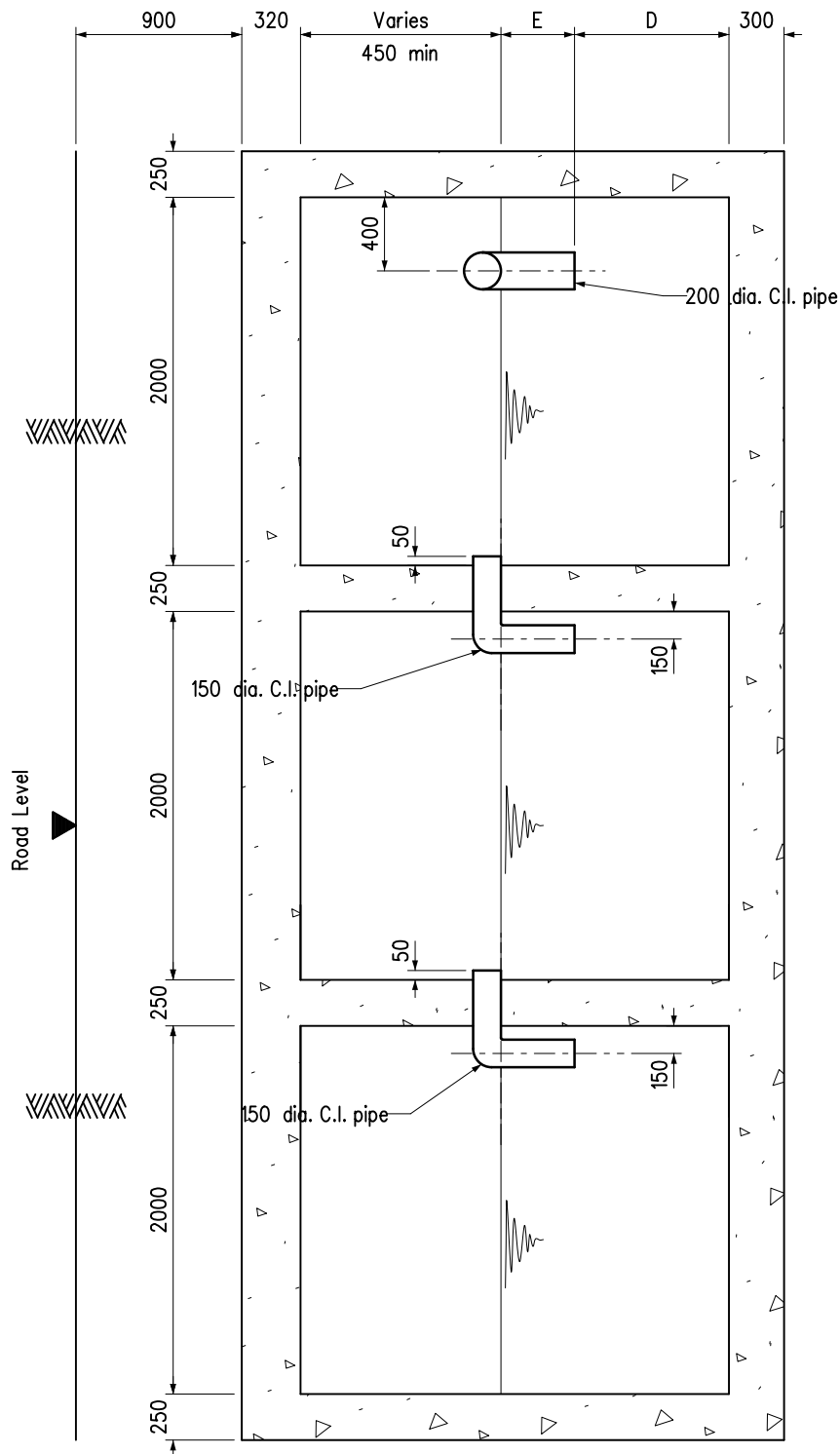
DRAWING No.

CAD

SCALE

Diagrammatic

H 3136B



Note :
See H3134B for general notes.

A	General revision		Oct 22
	Former drg. no. H3028/4A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 4 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

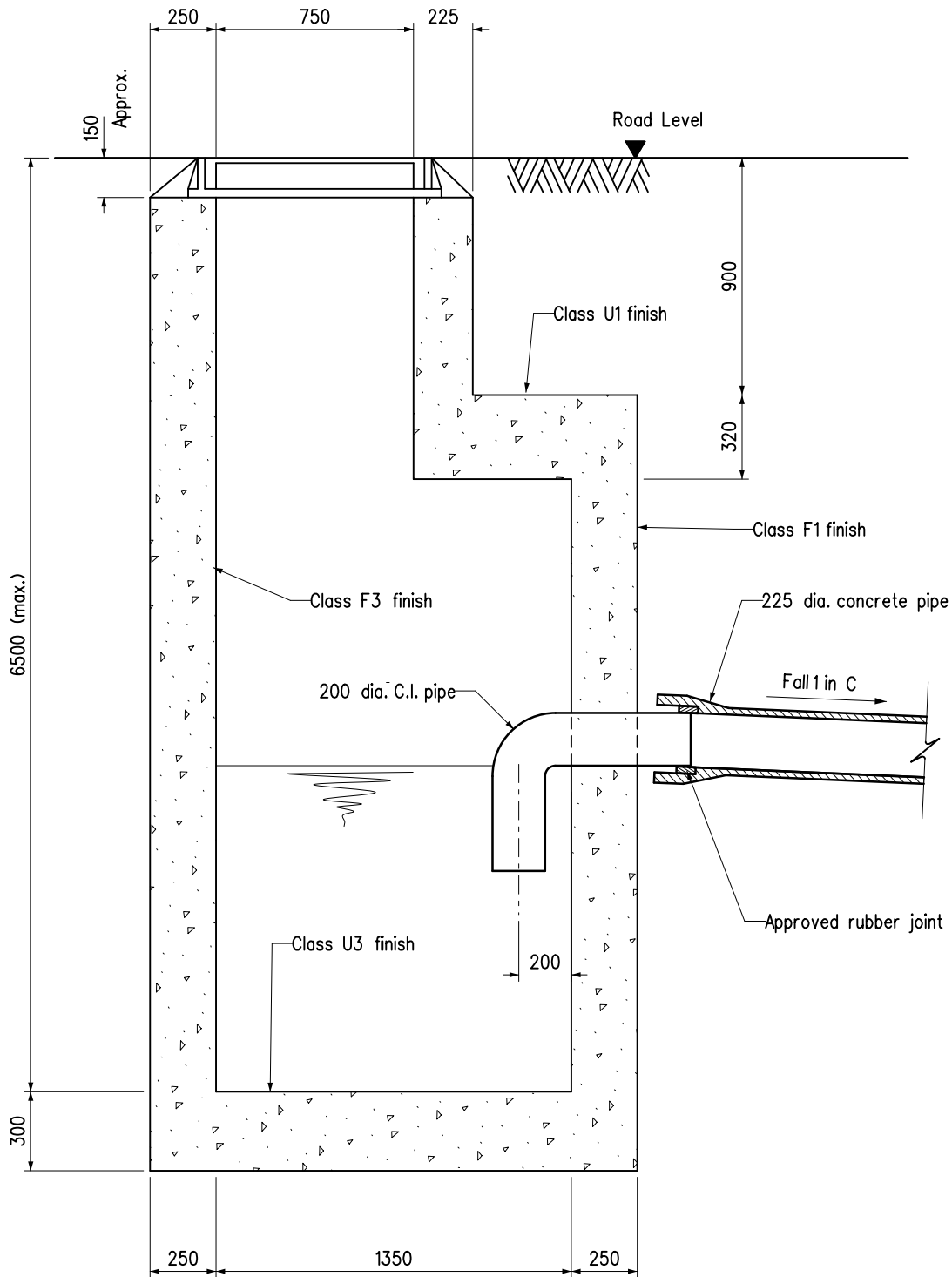
DRAWING No.

CAD

SCALE

Diagrammatic

H 3137A



SECTION C - C

Note :

See H3134B for general notes.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/5A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

**PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 5 OF 11)**

HIGHWAYS DEPARTMENT

REFERENCE

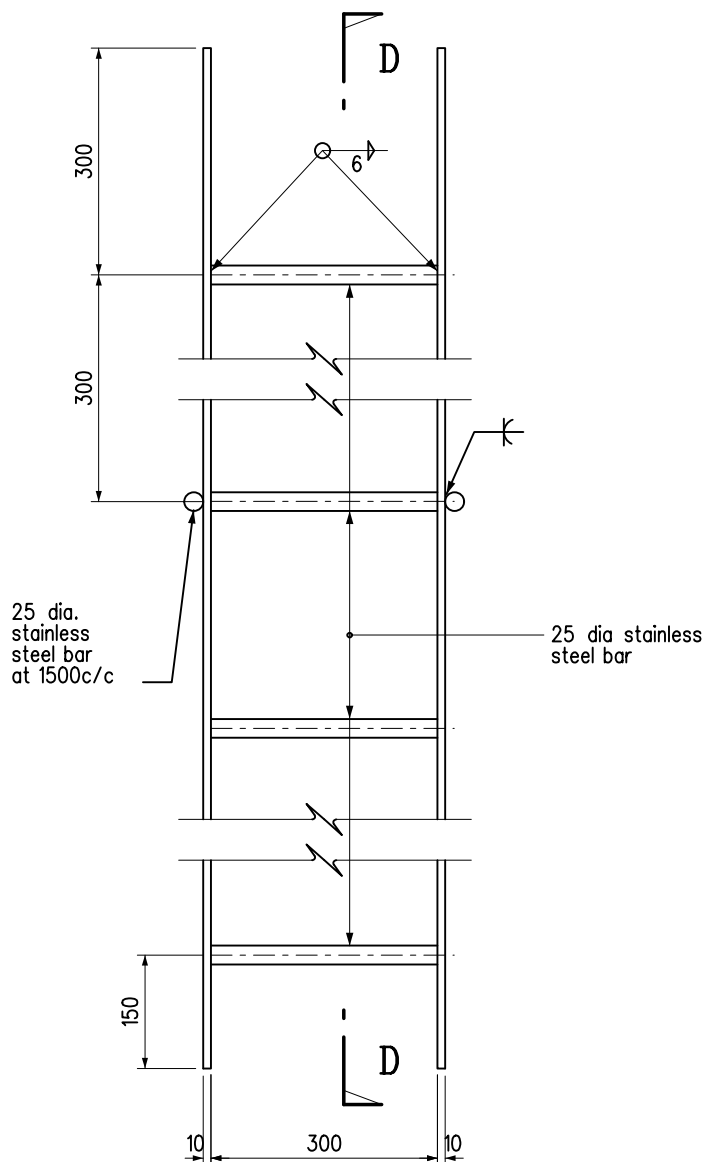
DRAWING No.

CAD

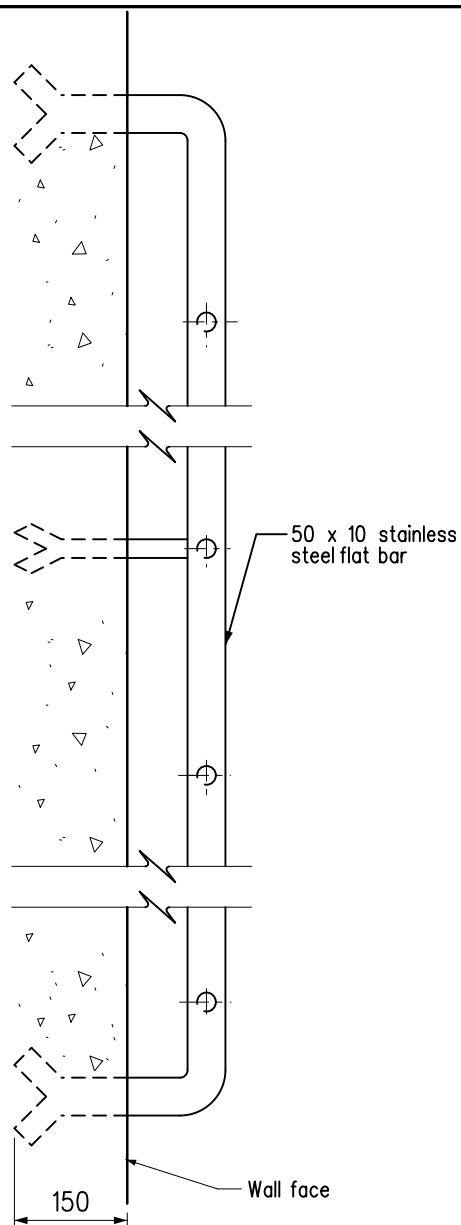
SCALE

1: 25

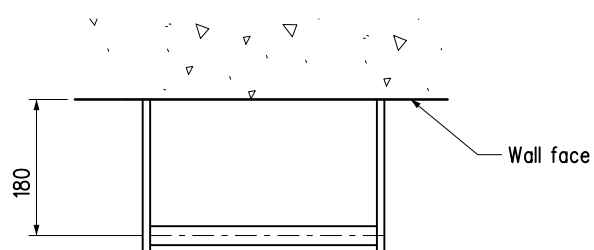
H 3138B



ELEVATION



SECTION D - D



PLAN

ACCESS LADDER

Note :

See H3134B for general notes

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/6A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 6 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

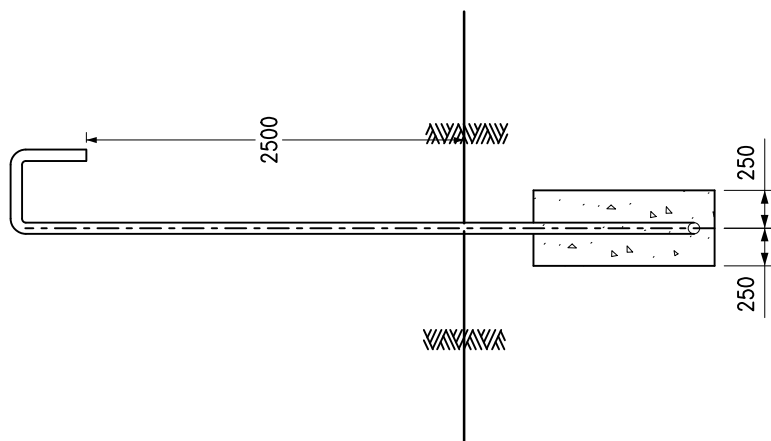
DRAWING No.

CAD

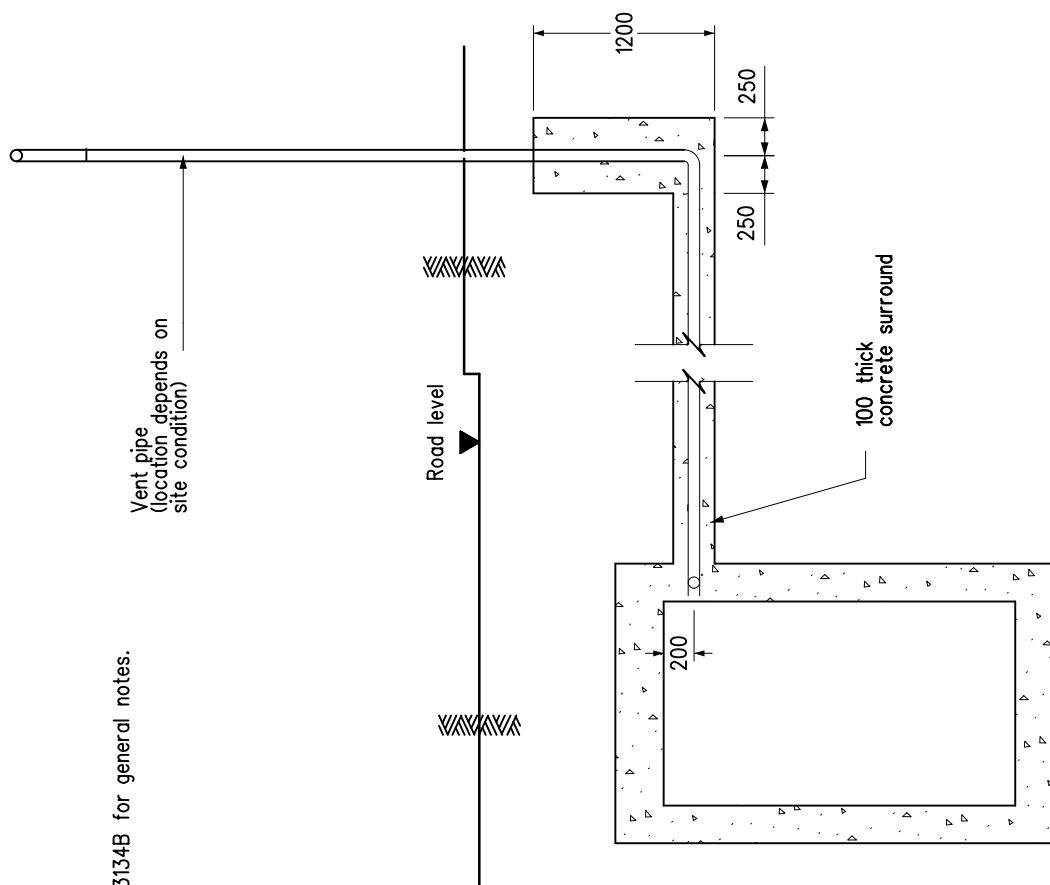
SCALE

1 : 10

H 3139B



SECTION N - N



SECTION M - M

Note :

See H3134B for general notes.

A	General revision		Oct 22
	Former drg. no. H3028/7A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 7 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

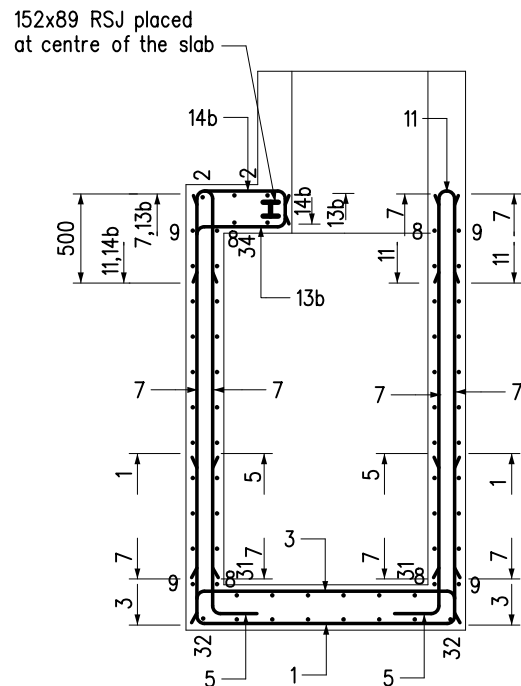
DRAWING No.

CAD

SCALE

Diagrammatic

H 3140A



view D similar but opp. handed

SECTION E - E



1. See H3134B for general notes.
2. See H3142B for Section K-K.
3. See H3143B for Section G-G.

wall bars not shown for clarity

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/8A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 8 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

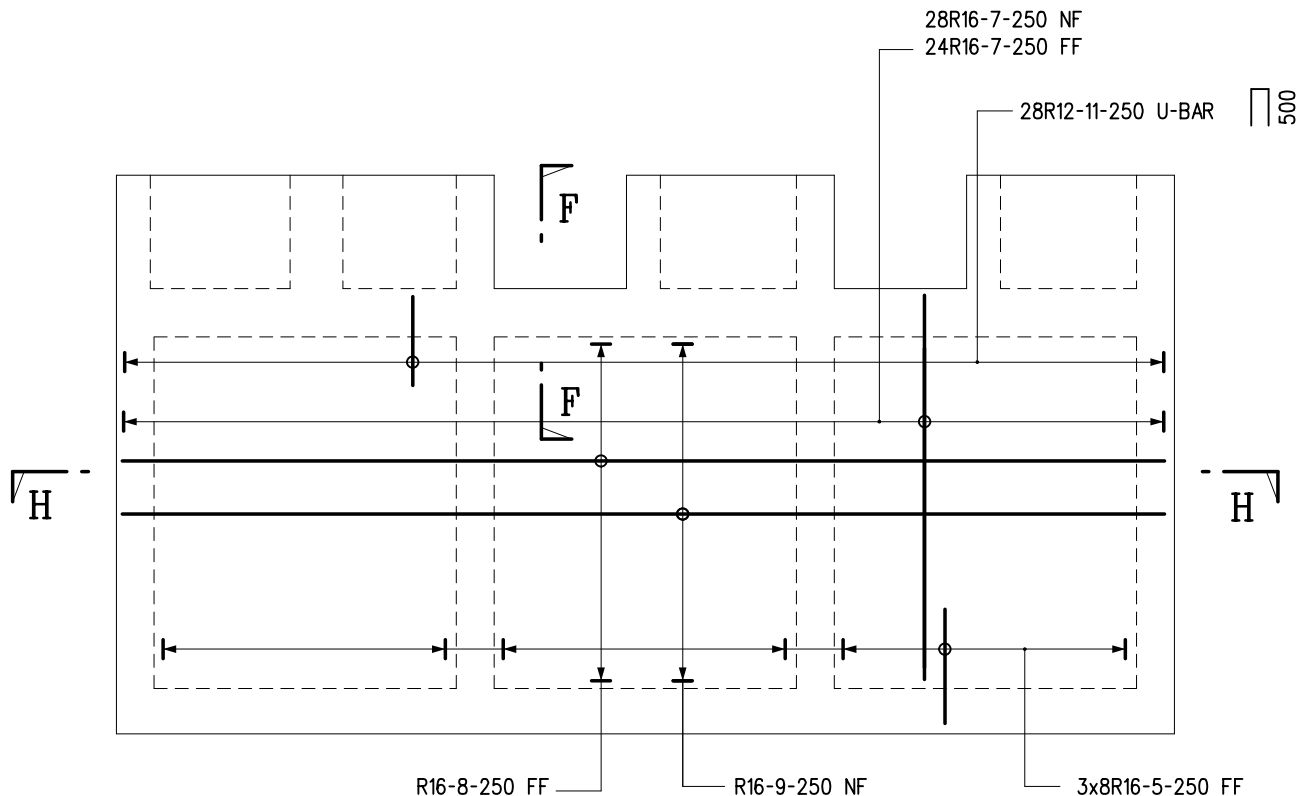
DRAWING No.

CAD

SCALE

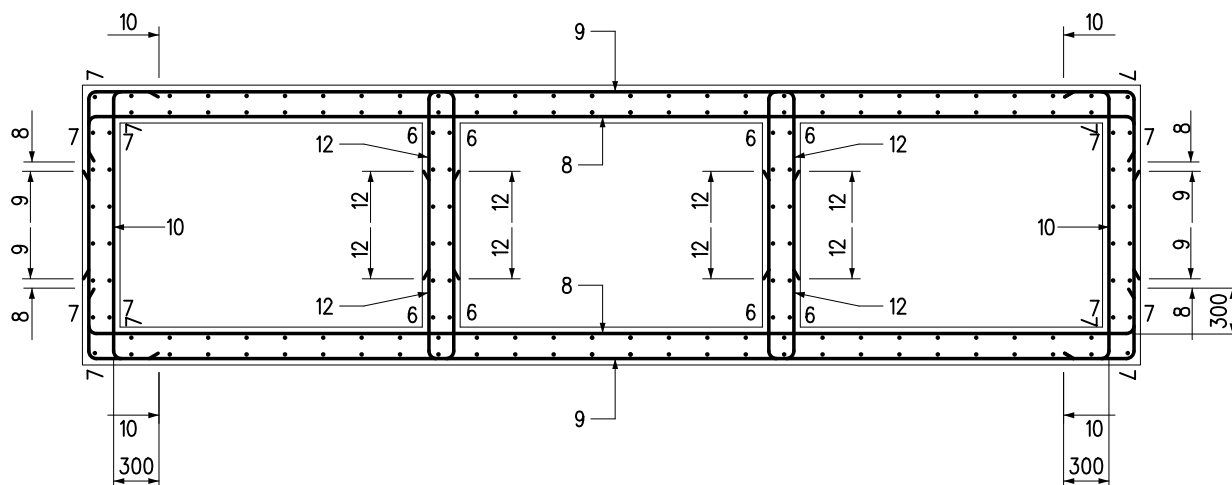
1 : 50

H 3141B

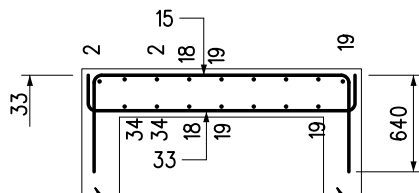


VIEW A

view B similar but opp. handed



SECTION H - H



SECTION K - K

wall bars not shown for clarity

Notes :

1. See H3134B for general notes.
2. See H3143B for Section F-F.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/9A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 9 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

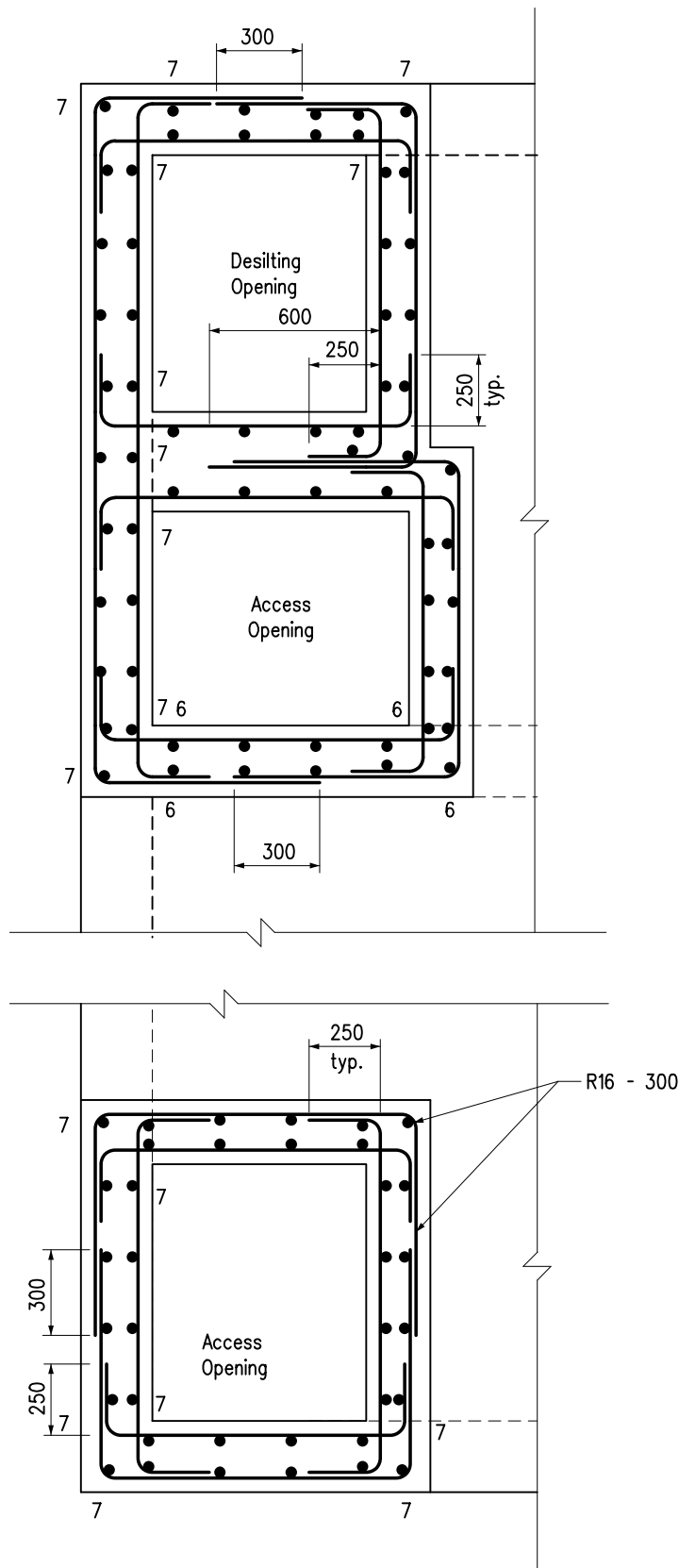
DRAWING No.

CAD

SCALE

1 : 50

H 3142B



Notes :

1. See H3134B for general notes.
2. All horizontal and vertical bars are R16 at 300 c/c except otherwise specified.
3. Bars with mark 6 and 7 are bars from walls in chambers below shafts (see Sect. H-H drg. no. H3142B)

SECTIONAL PLANS

reinforcement details for access shafts

B	General revision		Oct 22
A	General revision		Nov 02
	New issue		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 11 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

DRAWING No.

CAD

SCALE

1 : 25

H 3144B

2024年 12月 2日

Appendix Ic of RNTPC
Paper No. A/NE-KLH/649A

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

- 2 DEC 2024

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) **Construction of “New Territories Exempted House(s)”;
興建「新界豁免管制屋宇」;**
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in
rural areas or Regulated Areas; and
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時
用途/發展;及**
- (iii) **Renewal of permission for temporary use or development in rural areas or
Regulated Areas
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

**General Note and Annotation for the Form
填寫表格的一般指引及註解**

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

Y402439

9/10

By Hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-KLH/649
	Date Received 收到日期	-2 DEC 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Global Mining Engineer Group Company Limited
環球礦業工程技術有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Midland Surveyors Limited
美聯測量師有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	The Remaining Portion of Lot No. 37 (Part) in D.D. 7, Tai Po, New Territories.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 992 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 195 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	Not Applicable sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Village Type Development"
(f) Current use(s) 現時用途	Vacant Site (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☒ is not a "current land owner".
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at07/10/2024..... (DD/MM/YYYY), this application involves a total of1..... "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☒ has obtained consent(s) of1..... "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	The Remaining Portion of Lot No. 37 in D.D. 7	28/06/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 □About 約
	Non-domestic part 非住用部分		sq.m 平方米 □About 約
	Total 總計		sq.m 平方米 □About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

(iii) For Type (iii) application 供第(iii)類申請

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input checked="" type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p>				
	<p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p>				
	<p>Name/type of installation 裝置名稱/種類</p>	<p>Number of provision 數量</p>	<p>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</p>		
	<p>Photovoltaic Panel Cover/ Shelter (PV Panels)</p>	<p>1 (65)</p>	<p>30 x 6 x 3 (2.278 x 1.134 x 0.035)</p>		
	<p>Electrical Equipment Container with Photovoltaic Cover (PV Panels)</p>	<p>1 (4)</p>	<p>5 x 3 x 3 (2.278 x 1.134 x 0.035)</p>		
			<p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>		

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 to 至
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☐ Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Proposed temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) (for a period of 5 years)

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	195	sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	0.2		<input checked="" type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	20	%	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	2		
Proposed no. of storeys of each block 每座建築物的擬議層數	1	storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫		
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫		
Proposed building height of each block 每座建築物的擬議高度	3	mPD 米(主水平基準上)	<input type="checkbox"/> About 約
		m 米	<input checked="" type="checkbox"/> About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積 sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☒ Non-domestic part 非住用部分GFA 總樓面面積☐ eating place 食肆 sq. m 平方米 ☐ About 約☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約☐ Government, institution or community facilities
政府、機構或社區設施 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....

.....

.....

☒ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

Please refer to attached planning statement

.....

.....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	Please refer to attached planning statement
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Please refer to attached planning statement

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

February 2025 (about 3 months upon approval)

.....

.....

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.....

.....

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Local access road branching from Tai Wo Service Road West</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 25</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明)</p> <p>19 seats electric bus 2</p> <p>_____ _____</p> <p>_____ _____</p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明)</p> <p>_____ _____</p> <p>_____ _____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的话，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/></p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>Please refer to attached planning statement</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to attached planning statement

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署


☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

HUI Wai Chun

Associate Director

Name in Block Letters

Position (if applicable)

姓名 (請以正楷填寫)

職位 (如適用)

Professional Qualification(s)

專業資格

☒ Member 會員 / ☐ Fellow of 資深會員☐ HKIP 香港規劃師學會 /☐ HKIA 香港建築師學會 /☒ HKIS 香港測量師學會 /☐ HKIE 香港工程師學會 /☐ HKILA 香港園境師學會 /☐ HKIUD 香港城市設計學會☐ RPP 註冊專業規劃師

Others 其他

on behalf of

代表

Midland Surveyors Limited


☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

04/09/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	The Remaining Portion of Lot No. 37 (Part) in D.D. 7, Tai Po, New Territories. 大埔丈量約份第 7 約地段第 37 號餘段 (部份)		
Site area 地盤面積	992	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	sq. m 平方米	<input type="checkbox"/> About 約)
Plan 圖則	Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11 九龍坑分區計劃大綱核准圖編號S/NE-KLH/11		
Zoning 地帶	"Village Type Development" 鄉村式發展		
Applied use/ development 申請用途／發展	Proposed temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) (for a period of 5 years) 臨時公眾停車場(貨櫃車除外)連附屬電動車充電設施及私人發展計劃 的公用設施裝置(太陽能光伏系統) (為期 5 年)		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	195 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.2 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	2	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	3	m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積		20	% <input checked="" type="checkbox"/> About 約
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人		sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾		sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	27
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) 19 seats electric bus	25 2
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Proposed Layout Plan, Proposed Drainage Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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PLANNING STATEMENT

The Remaining Portion of Lot No. 37 (Part) in D.D. 7

Application for planning permission as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years



Ref. No.: DD7L 37RP

Date: 7 October 2024

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Appendices

Appendix I	Location Plan
Appendix II	Proposed Layout Plan
Appendix III	Dimension Plan
Appendix IV	Proposed Drainage Plan

1. BACKGROUND

1.1 The Instruction

Midland Surveyors Limited was appointed and instructed by Global Mining Engineer Group Company Limited (環球礦業工程技術有限公司) ("the Applicant") to seek planning permission to use the following lot in D.D. 7, Tai Po, New Territories (the application site, i.e. "the Site") as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years. The Site includes:

The Remaining Portion of Lot No. 37 (Part) in D.D. 7.

2. PARTICULARS OF THE SITE

2.1 Situation

The Site is located at the western side of Tai Wo Service Road West and Fanling Highway in Tai Po. Location Plan is shown in **Appendix I** for identification purpose.

2.2 Town Planning

The Site is zoned as "Village Type Development" under the Approved Kau Lung Hang Outline Zoning Plan No. S/NE-KLH/11, with the use "public vehicle park (excluding container vehicle)" under column 2 of the said zoning.

2.3 Size and Shape

The total area of the Site is approximately 10,678 sq.ft. (992 sq.m.). The Site does not include any Government Land and is irregular in shape.

2.4 Ownership

In accordance to the Land Register as obtained from the Land Registry, the registered owner of the lot forming the Site is Man Ching (or Tsing) Lun Tong 文正倫堂, with the following managers:

1. Man Chi-Chung 文志中

2. Man Yan-Ping 文仁炳
3. Man Kwok-Kei Ricky 文國基
4. Man Hei-Yeung 文禧揚

The Applicant had obtained the consent of the above owner(s) in relation to this planning application, please refer to the statement of consent submitted as part of this planning application.

2.5 Accessibility

The Site comprises an ingress/ egress point of at least 6m wide on its eastern boundary. The Site is less than 200m away from Tai Wo Service Road West. The Site can be accessed via a local access road directly connected to Tai Wo Service Road West. The said local access road is currently hard-paved and in a reasonable condition. The portion of the local access road connecting Tai Wo Service Road and the Site mainly sits on Government Land.

2.6 Current Condition and Environment

The Site is currently vacant and is surrounded by abandoned agricultural lands, village houses and other temporary structures. A major portion of the Site is current hard paved with concrete, with existing metal mesh fencing and boundary walls of neighbouring village houses at the periphery of the paved area.

3. PROPOSED USE/ DEVELOPMENT

3.1 Use and Justification

The Site is proposed to be converted to and used as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) ("the Proposed Vehicle Park") for a period of 5 years. No vehicles without valid licenses issued under the Road Traffic Ordinance is allowed to be parked/stored on the Proposed Vehicle Park.

Currently, village houses in the locality often do not comprise of any car parking space, leading to prominent illegal parking on local village roads and Government land. The Proposed Vehicle Park intends to provide parking facilities and therefore, enhancing the local infrastructure serving the needs of villagers and other local residents, coinciding with the planning intentions of the Site and the surrounding land.

Furthermore, the provision of electric vehicle (“EV”) charging facilities coincide with the Government vision of ‘Zero Carbon Emissions • Clean Air • Smart City’ and contribute to meet the charging network roadmap as set out by the Environment Bureau.

An existing electrical transformer tower is erected by CLP inside the Site. The Applicant has also liaised with EV charging facility service provider for installation of charging facilities and the photovoltaic system. The Applicant has laid the infrastructural groundwork and is ready to commence the conversion and operation of the Proposed Vehicle Park immediately upon the planning approval. Moreover, the Applicant proposes employ renewable energy, i.e. a photovoltaic system, to further reduce the carbon footprint of the Proposed Vehicle Park. At the initial stage of operation of the Proposed Vehicle Park, 11 out of 25 proposed private car and 2 electric bus parking spaces will be provided with EV charging facilities. More EV charging facilities can be provided or converted to quick chargers depending on the future demand and operation of the Proposed Car Park.

Overall, no permanent structure will be erected for the Proposed Vehicle Park, thus the Site can be easily reverted to the existing condition or converted for any future development upon the expiry of the planning permission.

3.2 Layout and Structure

27 parking spaces (25 private cars and 2 electric buses) are proposed. In addition to the electrical transformer tower, two temporary structures are proposed to be erected throughout the planning approval period in support of the operation of the Proposed Vehicle Park, for the purpose of or known as the Electrical Equipment Container (“Container”) and the Photovoltaic Shelter (“Shelter”), with their details as follows:

Structure	Total GFA (m ²)	No. of Storey	No. of PV Panels	Building Height (m)
1 Container	About 15m ²	1	4	Not exceeding 3m
1 Shelter	About 180m ²	1	65	Not exceeding 3m

Photovoltaic panels (PV panels) are proposed to be laid on top of the Electrical Equipment Container and the Photovoltaic Shelter to maximize the generation of renewable energy at the Proposed Vehicle Park. The size of the PV panel is proposed to be 2.278m x 1.134m x 0.035m (Long x Width x Height). The applicant pledge to obtain any other necessary approval required by the relevant authorities upon the approval of the planning application to ensure the lawfulness of the erection of the aforementioned temporary structures throughout the planning application period.

Proposed Layout Plan is shown in **Appendix II** and Dimension Plan of the PV Panel and the PV Shelter is shown in **Appendix III** for identification purpose.

3.3 Operation

As the Proposed Vehicle Park intends to serve the daily needs of the local residents, the operation hours are from Monday to Sunday for 24 hours, including public holidays.

3.4 Traffic

As the Proposed Vehicle Park mainly serves the already existing local community of residents, only minimal additional traffic impact to the locality will be generated. Instead, existing illegal parking occupying the local village roads might be attracted to move into the Proposed Vehicle Park, reducing the obstruction and facilitating the traffic flow. Sufficient maneuvering space is reserved within the Site, no vehicle will be allowed to queue back to or reverse onto/from public roads at any time.

3.5 Drainage

Upon approval from the relevant authorities, the Applicant will, at his own expense, implement and maintain the proposed drainage facilities as shown in **Appendix IV** for identification purpose, to minimize the drainage impact generated by the Proposed Vehicle Park. The construction of the U-channels and catchpits shall follow the relevant standard drawings published by the Civil Engineering and Development Department and typical details in the Geotechnical Manual for Slopes published by the Geotechnical Engineering Office.

3.6 Landscape

No existing and valuable tree has been identified at the Site. Existing low-rise shrubs can be found along the periphery of the Site.

3.7 Fire Safety

A fire service installation proposal will be submitted by the Applicant after granting of the planning approval. Upon acceptance of the fire service installation proposal, the Applicant will implement and maintain the proposed fire service installations at his own expense.

4. CONCLUSION

The Proposed Vehicle Park falls within column 2 of the “Village Type Development” zoning, which the Site is designated as. Approval of the planning application can allow better utilization of otherwise deserted land in the rural area. The temporary nature (5 years) of the application will not disrupt any long-term planning and development intention of the Government regarding the Site.

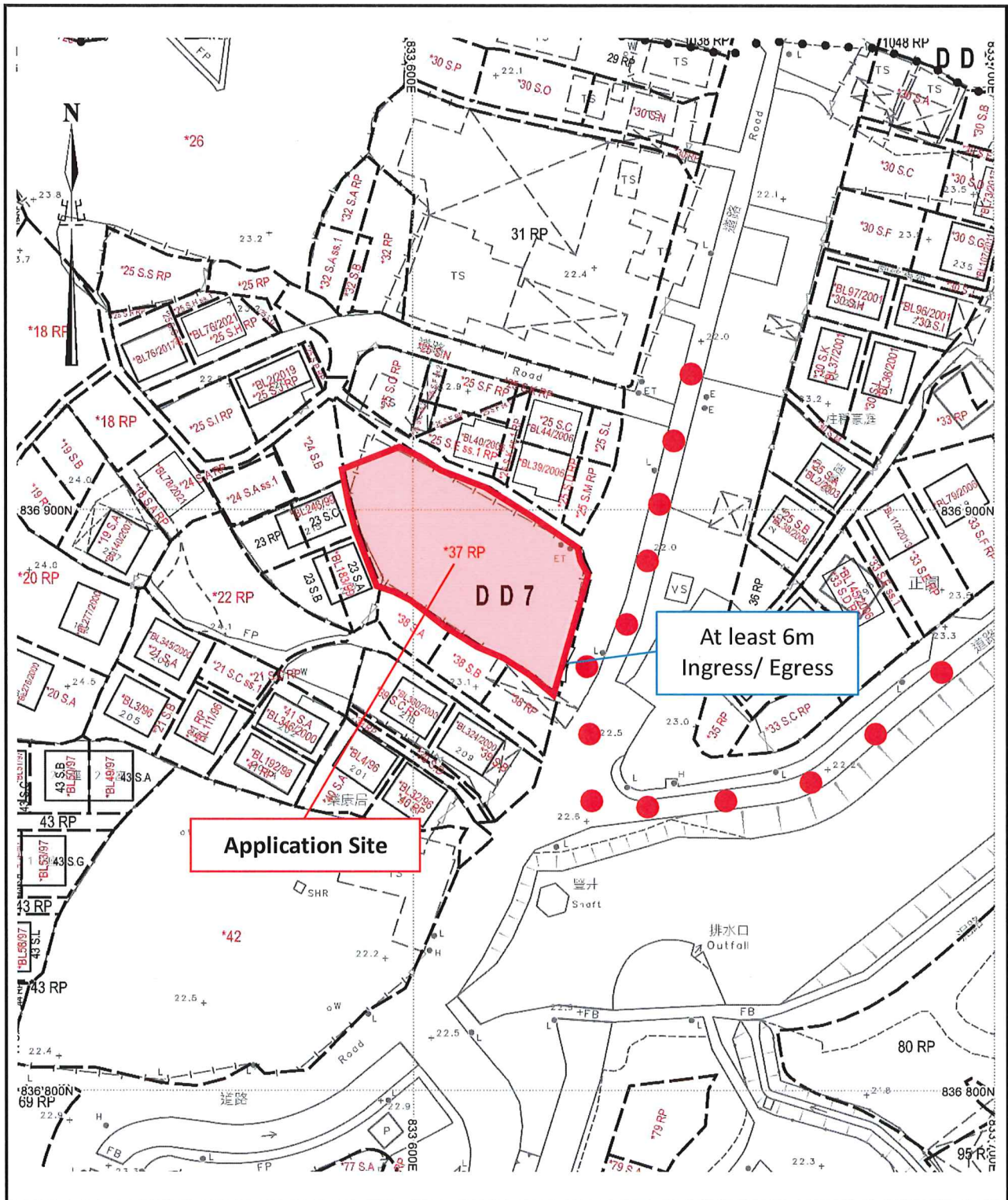
The provision of EV charging facilities at the Proposed Vehicle Park coincides with the Government vision on popularisation of electric vehicles. Setting up of the photovoltaic system would allow the application of renewable energy, resulting in the enhancement of the sustainability of the Proposed Vehicle Park from an environmental standpoint, further contributing to the cause of building a greener Hong Kong.

The Applicant is prepared to implement the proposed mitigation measures and also any additional condition(s) imposed by the Town Planning Board upon the approval of the planning permission. The Applicant will also ensure no storage, workshop activities or parking of other types of vehicles except those included in the planning application will be carried out. In view of the above, we hereby respectfully recommend the Town Planning Board to approve the planning permission to use the Site as a temporary public vehicle park (excluding container vehicles) with ancillary electric vehicle charging facilities and utility installation for private project (photovoltaic system) for a period of 5 years.

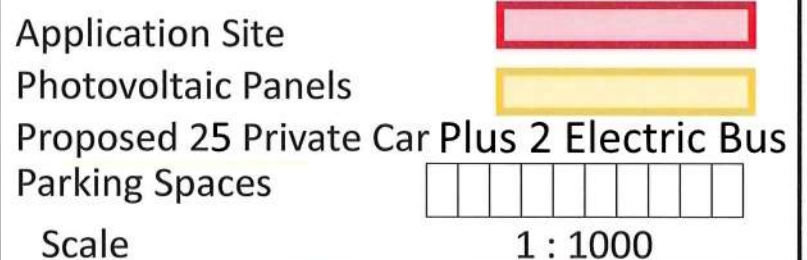
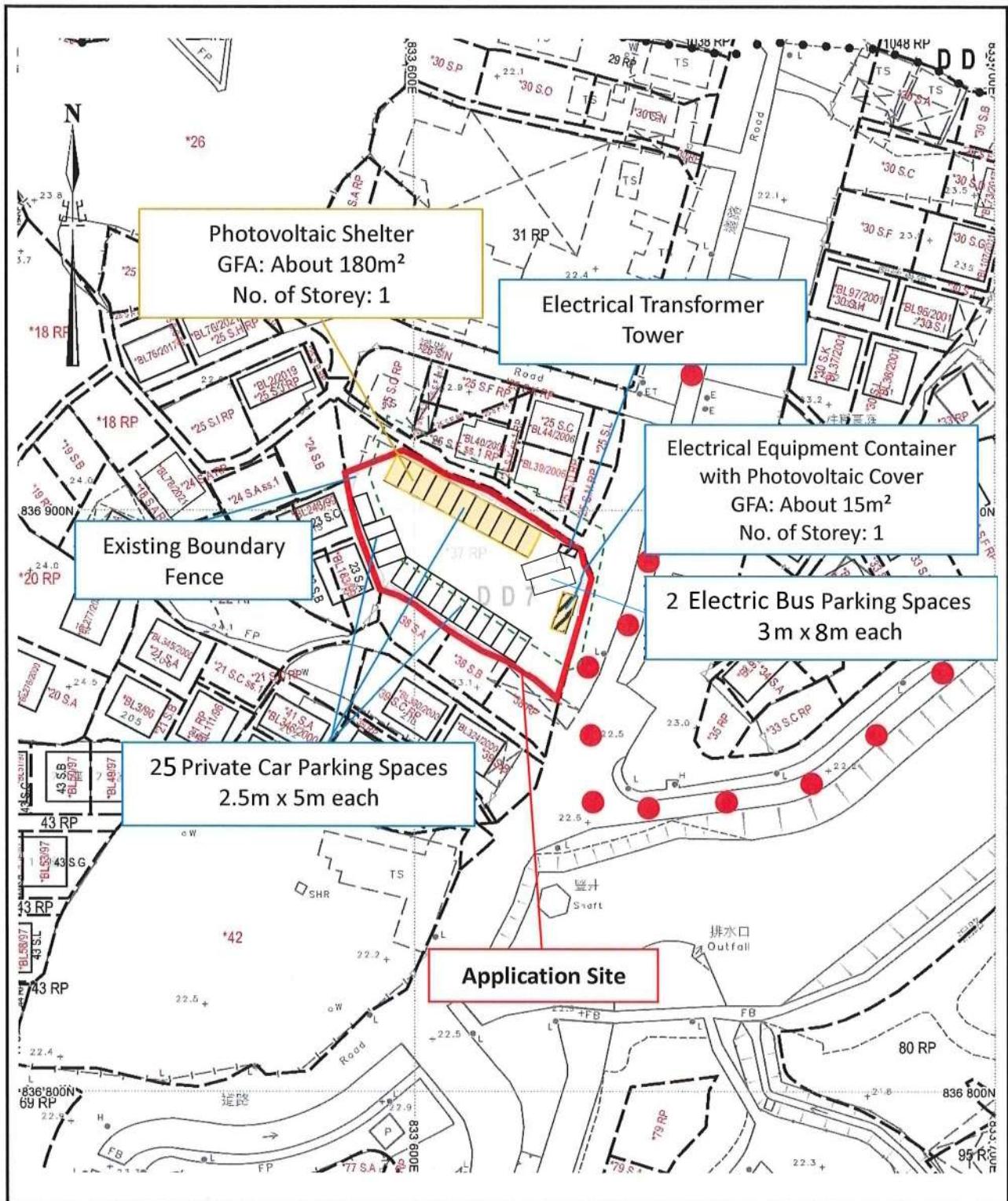
Yours faithfully,
For and on behalf of
Midland Surveyors Limited



Hui Wai Chun, Raymond
MHKIS, RPS(GP), MCIREA
Associate Director

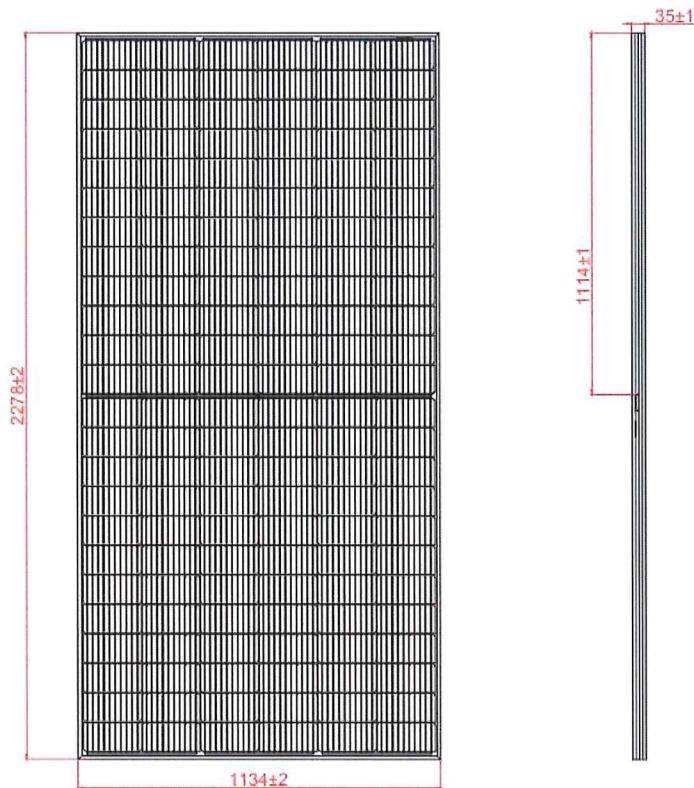


Appendix I - Location Plan

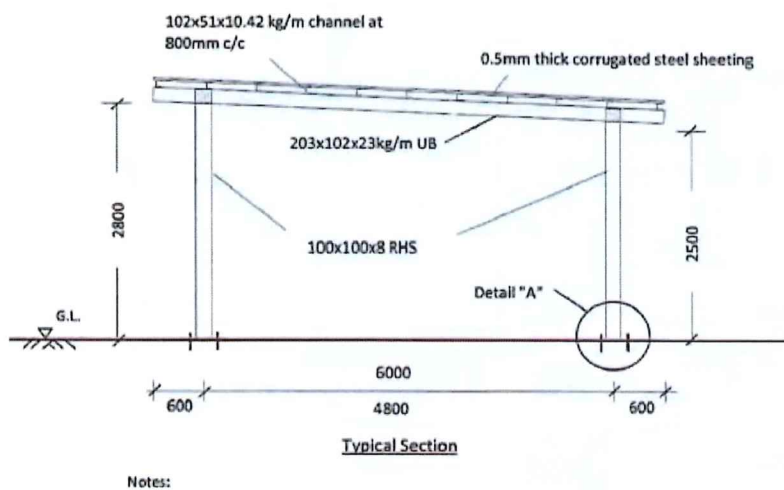


Appendix II - Proposed Layout Plan

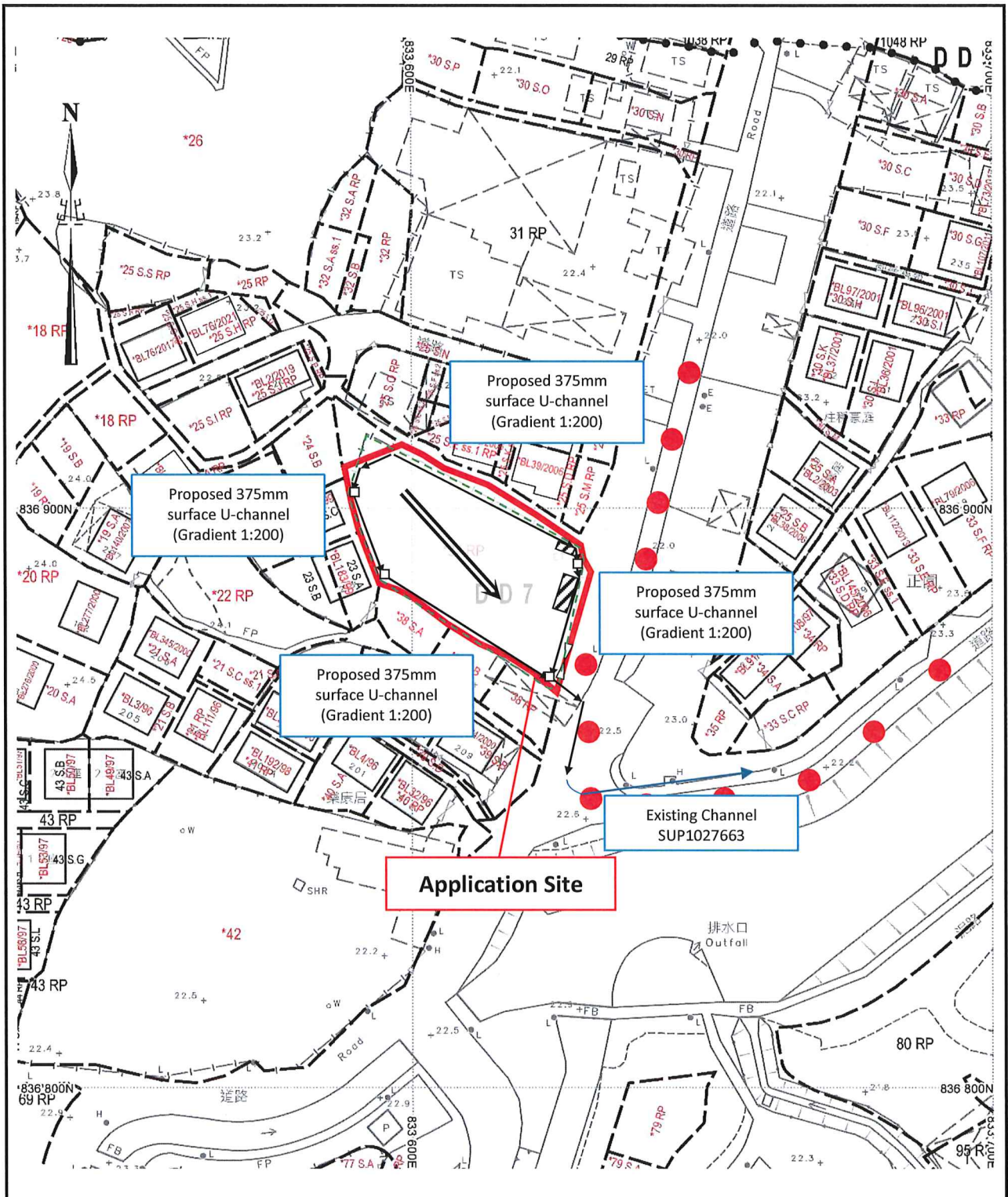
(1) A diagram/ drawing indicating the dimensions of each PV panel:



(2) A section/ elevation plan with dimensions indicating the height of the PV shelter:



Appendix III - Dimension Plan (PV Panel & PV Shelter)



Application Site

Vehicle Access

Flow of Surface Runoff

Proposed Catchpit

Scale



1 : 1000

Appendix IV - Proposed Drainage Plan

Temporary Public Vehicle Park (excluding Container Vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for Private Project (Solar Photovoltaic System)
in "Village Type Development" Zone
Lot 37 RP (Part), D.D. 7, Kau Lung Hang, Tai Po

Risk Assessment Report
On Contamination of Water Gathering Grounds

Report Number: C1011 Rev A

Date: Feb 2025

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5.1	Planning Considerations and Actions to be Taken	3
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6	CONCLUSION	6

Appendices

Appendix A

Drawing

Appendix B

Site Photos

Appendix C

Electric Equipment Container / Guard House

(for reference only)

Appendix D

EPD Professional Persons Environmental Consultative Committee Practice Note

(ProPECC PN) 1/94

(for reference only)

Appendix E

Highways Department Standard Drawings

Of Petrol Interceptor

(H3134 – H3144)

(for reference only)

Appendix F

Photovoltaic System

(for reference only)

1 THE PROPOSAL

The applicant seeks planning permission for a temporary private car park (excluding container vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for private project (Solar Photovoltaic System) for a period of five years at the application site (the Site) (**Appendix A**).

1.1 Type of Temporary Carpark and Layout

According to the applicant, a total of number of 25 parking spaces for private cars (5m x 2.5m approximately each) and 2 parking spaces for electric buses (8m x 3m approximately) will be provided within the Site to serve local residents. The proposed temporary car park is for villagers' convenience only as there is insufficient parking spaces in the captioned areas. No structure (temporary nor permanent) will be proposed at the Site except a pre-fabricated container will be placed at the entrance for safe guard and electric equipment control. In addition, solar panels support frames will also be provided for the solar photovoltaic system and ancillary electric vehicle charging facilities and utility installation (about 180m²). The Site is accessible from Tai Wo Services Road West via village service roads. An existing concrete lined stream course is running adjacent to the eastern end of the Site. A layout plan showing the layout and vehicular ingress/egress of the proposed car park is attached in **Appendix A**.

1.2 Purpose of this Report

This Risk Assessment Report on Contamination of Water Gathering Grounds (WGG) is submitted for Town Planning Board's approval. The following elements are covered in this submission:

- (a) Site Conditions,
- (b) Stormwater Drainage Facilities,
- (c) Requirements of Water Supplies Department,
- (d) Planning Considerations and Risk Assessments

This Risk Assessment Report is developed based on the layout plan submitted for approval and concluded that there will be no potential risk of contamination to the WGG under the Planning Considerations with control measures.

2 SITE CONDITIONS

2.1 Site Description

The Site is located within the village and is situated to the west of Tai Wo Services Road West and no heavy traffic is expected. The Site is located at a flat and concrete paved area. An existing concrete lined stream course is located in close proximity in the eastern end of the Site.

There is no existing tree within the Site nor close to the Site that need to be protected.

The Site is surrounded by existing kerbs and surface ditches. Site photos are attached in **Appendix B** for reference.

3 STORMWATER DRAINAGE FACILITIES

3.1 Existing Stormwater Drainage Facilities

The Site is located within an area where drainage connections to existing public stormwater drainage is available in the vicinity. Stormwater collection and discharge systems to cater for the runoff generated within the Site and overland flow from other areas surrounding the Site will be upgraded.

The Site is located on the concrete paved ground, and the proposal will not increase the impervious area resulting in any change of the flow pattern and no increase of the surface runoff. There will be no flooding risk in the area.

There are concealed / covered channels located around the Site. The surface stormwater will be collected to the concealed / covered channels and discharged to the adjacent existing stream course.

The stormwater drainage checking will be carried out and presented under separate report accordingly. The existing drainage facilities are found to be sufficient and no flooding record is reported regarding the Site areas.

The applicant will maintain such stormwater drainage systems properly and rectify the systems throughout the operation.

4 REQUIREMENTS OF WATER SUPPLIES DEPARTMENT

4.1 Requirements Regarding WGG

The applicant will refrain from contaminating the Water Gathering Grounds (WGG) by all means.

According to the Waterworks Ordinance Section 30(2)(a), any person who enters, or bathes or washes in, water forming part of the waterworks; Section 30(2)(b), any person who washes or causes or permits any animal to enter therein; and Section 30(2)(c), any person who throws or places any thing therein, shall be guilty of an offence and may be fined.

5 PLANNING CONSIDERATIONS AND RISK ASSESSMENT

5.1 Planning Considerations and Actions to be Taken

- I. The Site has been formed with concrete surface. A typical photo record of the container office / guard house is attached in **Appendix C** for reference.
- II. Supportive panels for the solar panels and ancillary electric vehicle charging facilities and utility installation for solar photovoltaic system will be required. Shallow pad footings of less than 1m depth for the support of the frames will be provided.

The earth or other construction materials which may cause contamination will not be stockpiled or stored on site. All excavation or filled surfaces will be protected from erosion and siltation to any water courses. All construction spoil will be contained and protected and effluent containing spoils will be disposed off site after desiltation;

- III. There will be no public toilet or similar facilities to be provided. No discharge of effluent or foul water into adjoining land, storm water drain, channel, stream or river course is allowed. The impact from domestic sewage effluent is not anticipated;
- IV. No earth soil, building materials, fuel, or toxic materials or any other materials which may cause contamination to the WGG are allowed to be stockpiled within the Site or WGG or areas close to watercourses;
- V. Any solid waste and sludge from the proposed development will be collected and disposed outside WGG or areas close to watercourses;
- VI. No storage and discharge of flammable or toxic solvents, petroleum oil or tar and other toxic substances will be allowed within the Site or WGG or areas close to watercourses;

- VII. Stormwater channels will be provided surrounding the site. Regular cleaning of the channels will be carried out to ensure that they function properly at all times;
- VIII. Any vehicle which causes pollution to catchwaters or catchment due to leakage of oil or fuel will be removed off site immediately;
- IX. There will be no application and/or storage of any chemicals including detergents and cleaning agents on site;
- X. The use and storage of pesticides, herbicides, toxicants, chemical solvents, larvicidal oil, rodenticide, tar and petroleum oil are strictly prohibited within the Site or WGG or areas close to watercourses;
- XI. Grease trap and/or petrol interceptor will be provided at the drainage outlets and will be under proper maintenance. The drainage traps shall have sufficient capacity to ensure the proper interception and collection of fuel and lubricants in surface run-off for off-site disposal. Proper maintenance and disposal records should be maintained. The recommendations given under EPD Professional Persons Environmental Consultative Committee Practice Note (ProPECC PN) 1/94 shall be followed and is attached in **Appendix D** for reference. Details of the oil interceptor will be provided according to Highways Department Standard Drawings and are attached in **Appendix E** for reference;
- XII. No vehicle dismantling, inspection, maintenance, repairing, cleansing, paint spraying or other workshop activities will be carried out at the Site at any time during and after the planning approval period. A signboard : “Private Cars and Electric Vehicles Only 祇准私家車及電動車使用” will be provided at the entrance to provide announcement and make sure that only private cars and light vehicles are allowed to use the carpark;
- XIII. Oil leakage and spillage are not allowed. Oil and grease decontamination kit such as absorbent pads ill be provided to decontaminate any oil/grease leakage.
- XIV. No oil tanker is allowed to park inside the site to avoid risk of any leakage;
- XV. The electrical equipment container is purely for electric equipment of the photovoltaic system and guard house purpose. The operation of the container / guard house will not cause contamination to the WGG;
- XVI. Operation and maintenance of solar photovoltaic system will not cause any leaching of contamination to WGG or areas near watercourses. Materials related to the system will be waterproof and no toxic or harmful to environmental during prolonged exposure to weather and environmental conditions during the operation life (catalogue is attached in **Appendix F** for reference). Any not functioning parts will be replaced by a new item and returned to the corresponding company. No repair works will be carried out on site. The operation of the solar photovoltaic shelter will not cause contamination to the WGG. The panels will only be cleaned by dry ragging and no water washing activities will be allowed within the site;
- XVII. The electric vehicles do not produce any contaminants and operation of the vehicle park will not cause contamination to the WGG. No washing activities will be allowed within the site;
- XVIII. Should pollution be detected in future, the proposed temporary car park would immediately be closed. Environmental consultants would be appointed to carry out necessary remedial measures to WSD’s satisfaction;

- XIX. Regular site inspection would be conducted to ensure the implementation of necessary preventive measures;
- XX. A signboard : “No Littering 禁止扔垃圾” and a signboard of WSD Drg No. WSD7.66A will be erected at noticeable position for alerting public not to pollute WGG and the management team will provide cleaning to the site in a regular basis;
- XXI. Concrete paved surface is provided to avoid any contamination of oil / grease leakage to the ground;
- XXII. Chain link fence will be erected on the side facing the nearest stream course to trap all wind-blown litters, if any, within the site.

5.2 Risk Assessment

Measures as mentioned in Item 5.1 in the previous section will be enforced. The risk of any contamination will be reduced and controlled to negligible. The followings are summarised and highlighted for considerations:

- I. Only shallow pad footing will be constructed for the support frames of solar photovoltaic system. No blasting, drilling or piling will be carried out. No well will be sunk on site. Construction proposal will be submitted to departments including WSD for acceptance / approval before any works to be commenced on site;
- II. The area is provided with concrete paving, concrete kerbs/bunds and interceptor drains along its perimeter to prevent the washing out or loss of materials such as soil, silt or debris to the surrounding area; The risk of pollution or causing contamination is negligible.
- III. The proposal is for a temporary car park for private car only and no other vehicles including oil tanker and light-goods vehicle are allowed to park at the Site. Besides, no other activities including vehicle inspection, maintenance, repairing and washing are permitted at the Site. A signboard : “Private Cars and Electric Vehicles Only 祇准私家車及電動車使用” will be provided at the entrance to provide announcement and make sure that only private cars and light vehicles are allowed to use the carpark. The risk of pollution or causing contamination by commercial vehicles is eliminated;
- IV. No use and storage of chemicals including pesticides and fertilizers as well as, toxicants, flammable solvents, tar and petroleum oil will be allowed at the Site. There is no risk of contamination by chemicals and oil;
- V. There will be no solid waste and sludge at the Site or WGG. A signboard : “No Littering 禁止扔垃圾” and a signboard of WSD Drg No. WSD7.66A will be erected at noticeable position for alerting public not to pollute WGG and the management team will provide cleaning to the site in a regular basis;
- VI. Car park users will be advised to drive away their cars if there is any oil leakage. Moreover, oil and grease decontamination kit such as absorbent pads would be provided at the Site to minimize potential pollution impact. Moreover, there is a grease trap and/or petrol interceptor will be provided at the drainage outlets and

will be under proper maintenance. The risk of contamination of oil will be negligible;

- VII. No toilet facilities would be provided at the Site. No discharge of effluent or foul water into adjoining land, storm water drain, channel, stream or river course is allowed. Adverse sewerage impact is not anticipated. ;
- VIII. Should pollution be detected in future, the proposed temporary car park would immediately be closed. Environmental consultants would be appointed to carry out necessary remedial measures to WSD's satisfaction. The risk of contamination will be well controlled; and
- IX. Regular site inspection would be conducted to ensure the implementation of necessary preventive measures. The risk of contamination will be well under control.
- X. As part of the site encroaches upon the 30m Waterworks Reserve for Tai Po Yau & Tau Pass, the following conditions will be imposed and followed:
 - a. No structure will be erected over this Waterwork Reserve areas, and such areas will not be used for storage purposes except with the prior written consent of the Waterworks Authority;
 - b. Tree planting will not be permitted within the Waterworks Reserve except with the prior written consent of the Waterworks Authority;
 - c. No blasting or pile driving will be carried out within the Waterworks Reserve except with the prior written consent of the Waterworks Authority;
 - d. The applicant / grantee will indemnify and keep indemnified the Government from and against all liability, damages, expenses, claims, costs, demands, charges, actions and proceedings of whatsoever nature the grantee / applicant, his servants, workmen and contractors in connection with any damage to the existing Government water mains;
 - e. The Water Authority and his officers and contractors, his or their workmen will have free access at all times to the Site with necessary plant and vehicles for the purpose of laying, repairing and maintenance of water mains. All other services across, through or under the waterworks reserve are required to seek authorization from the Water Authority;
 - f. Government will not be liable to any damage whatsoever and howsoever caused arising from burst or leakage of the public water mains within and in close vicinity of the Site.

6 CONCLUSION

Under the application of the temporary private carpark (excluding Container Vehicles) with Ancillary Electric Vehicle Charging Facilities and Utility Installation for Private Project (Solar Photovoltaic System) within the captioned site, the applicant will provide and take up all necessary actions and measures for controlling and reducing the risk of contamination on WGG to a negligible level.

The measures as listed in this report are considered effective and applicable to the captioned site conditions. The TPB is advised to grant permission to the application.

Appendix A

Drawing

Appendix B

Site Photos

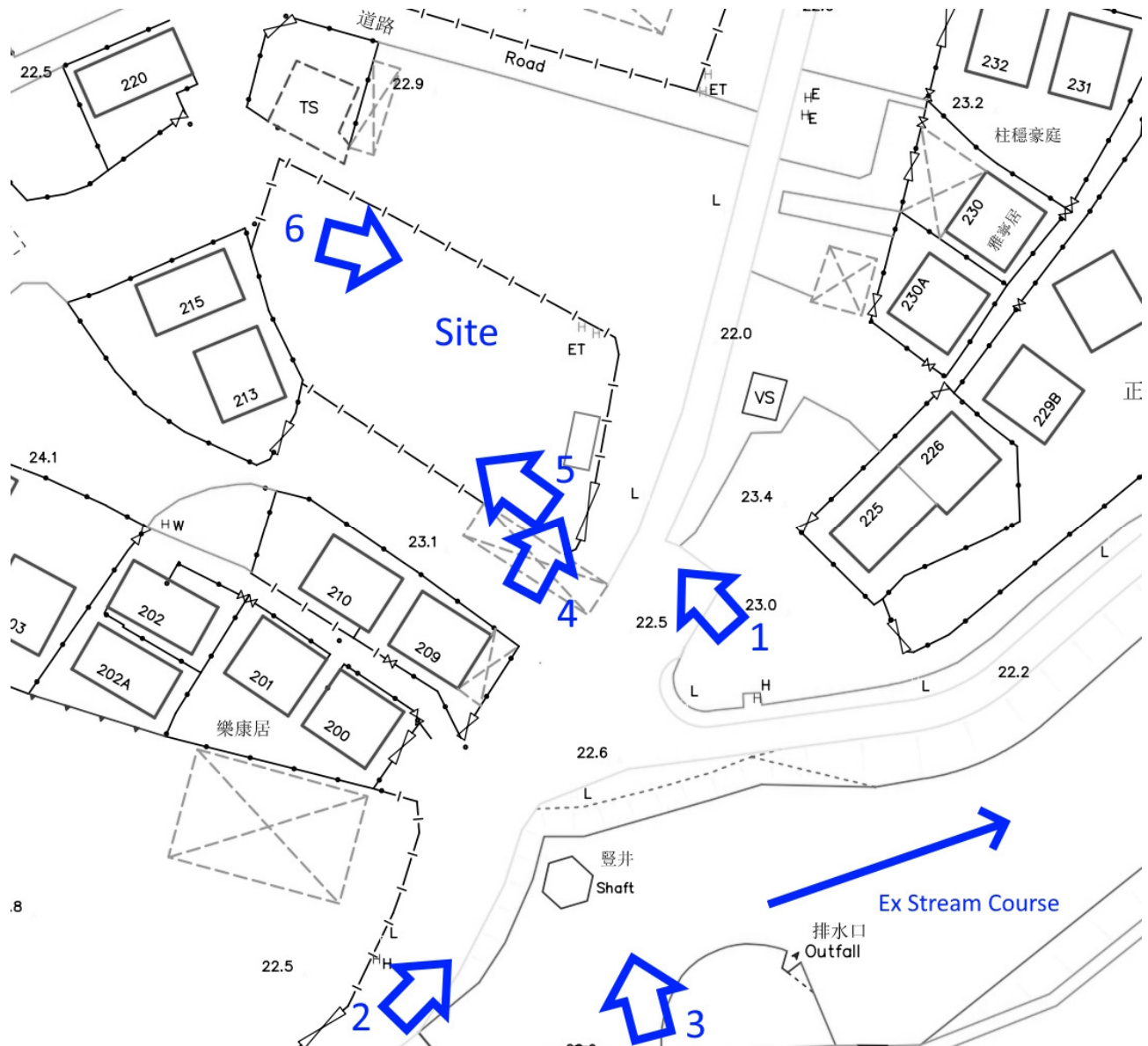


Photo Location Plan (22 Jan 2025)



Photo 1 – Site Condition



Photo 2 – Site Condition



Photo 3 – Site Condition



Photo 4 – Site Condition



Photo 5 – Site Condition



Photo 6 – Site Condition

Appendix C

Electric Equipment Container / Guard House
(for reference only)

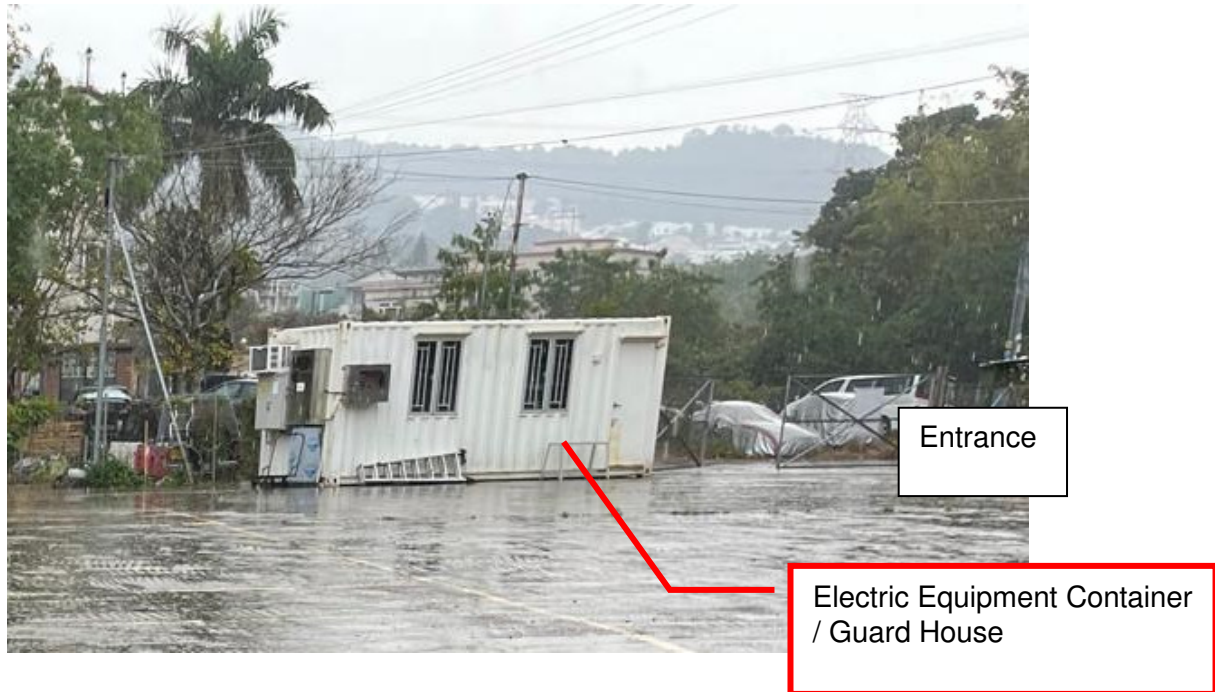


Figure C-1 Electric Equipment Container / Guard House (for reference only)

Appendix D

EPD Professional Persons Environmental
Consultative Committee Practice Note
(ProPECC PN) 1/94
(for reference only)

Appendix E

Highways Department Standard Drawings
Of Petrol Interceptor
(H3134 – H3144)
(for reference only)

1. The petrol interceptor is designed to provide at least 20 minutes retention to 5-10% of the maximum runoff collected by the transport interchange in a 1 in 2 year rainstorm.
2. All dimensions are in millimetres.
3. Concrete to be grade 30/20.
4. Reinforcement shall comply to BS4449 and shall be bent in accordance with BS8666.
5. Cover to reinforcement to be 50mm unless otherwise specified.
6. Reinforcement notation :

```

bar class : R  = GRADE 250 PLAIN ROUND STEEL BAR
suffix :    T  = TOP
           B  = BOTTOM
           NF = NEAR FACE
           FF = FAR FACE
           EE = EACH FACE

```

7. Minimum lap length : 40 diameter of bar for mild steel plain bar.
8. Structural steelwork shall be grade S275 to BS EN 10025 unless otherwise specified.
9. All fillet welds to be 6mm unless otherwise specified.
10. Stainless steel access ladder to be of minimum grade 1.4401 to BS EN 10088.
11. For RSJ connections, see DSD Standard Drawing DS1031.
12. For details of treatment to the top of petrol interceptor, see DSD Standard Drawing DS1032 for flexible road surface and Highway Standard Drawing H1111 & H1112 for concrete road slab.
13. For details of cover to access opening and desilting opening, see DSD standard drawing DS1034.

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 1 OF 11)

REFERENCE

SCALE

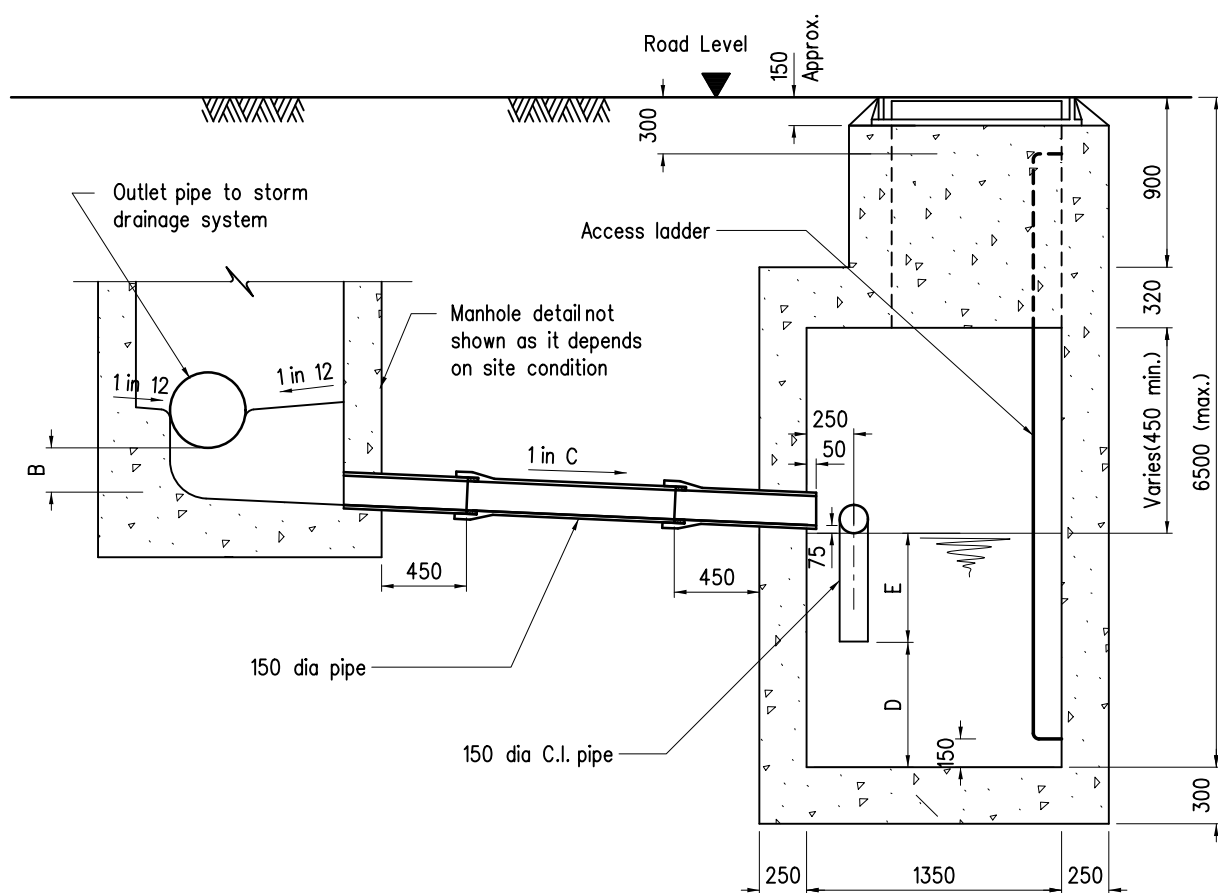
DRAWING No.

CAD

H 3134B

CATCHMENT AREA OF THE PUBLIC TRANSPORT INTERCHANGE A (m ²)	LEVEL DIFFERENCE OF THE 2 OUTLET PIPES IN THE LAST MANHOLE B (mm)	FALL OF INLET AND OUTLET PIPE OF PETROL INTERCEPTOR C	D (mm)	E (mm)	NO. OF COMPARTMENT
A ≤ 1000	60	200	500	400	2
1000 < A ≤ 2000	90	200	600	400	3
2000 < A ≤ 3000	150	200	550	600	4
3000 < A ≤ 4000	150	100	725	600	4

TABLE 1



SECTION A - A

Note :

See H3134B for general notes.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/3A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 3 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

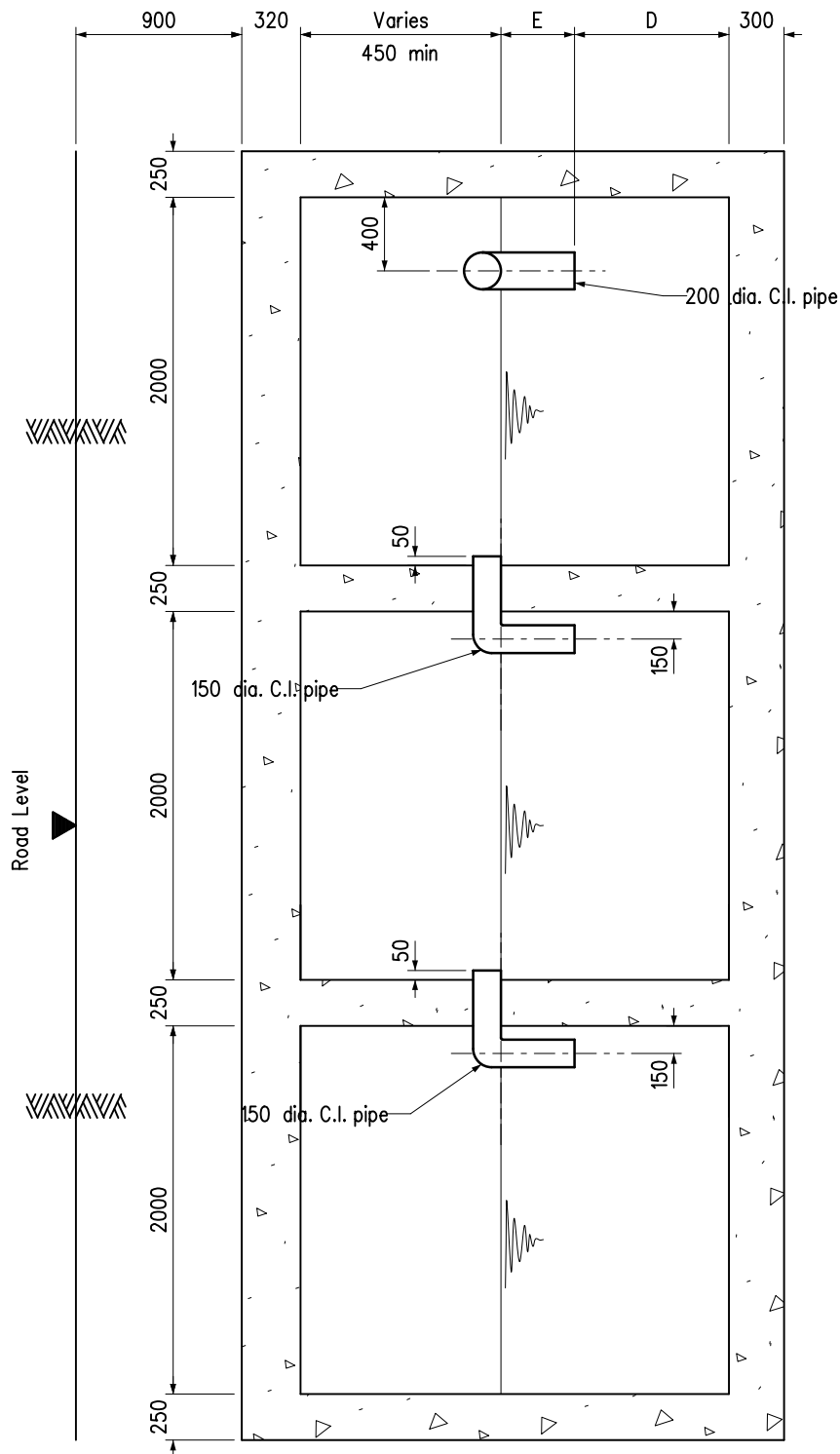
DRAWING No.

CAD

SCALE

Diagrammatic

H 3136B



Note :
See H3134B for general notes.

A	General revision		Oct 22
	Former drg. no. H3028/4A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 4 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

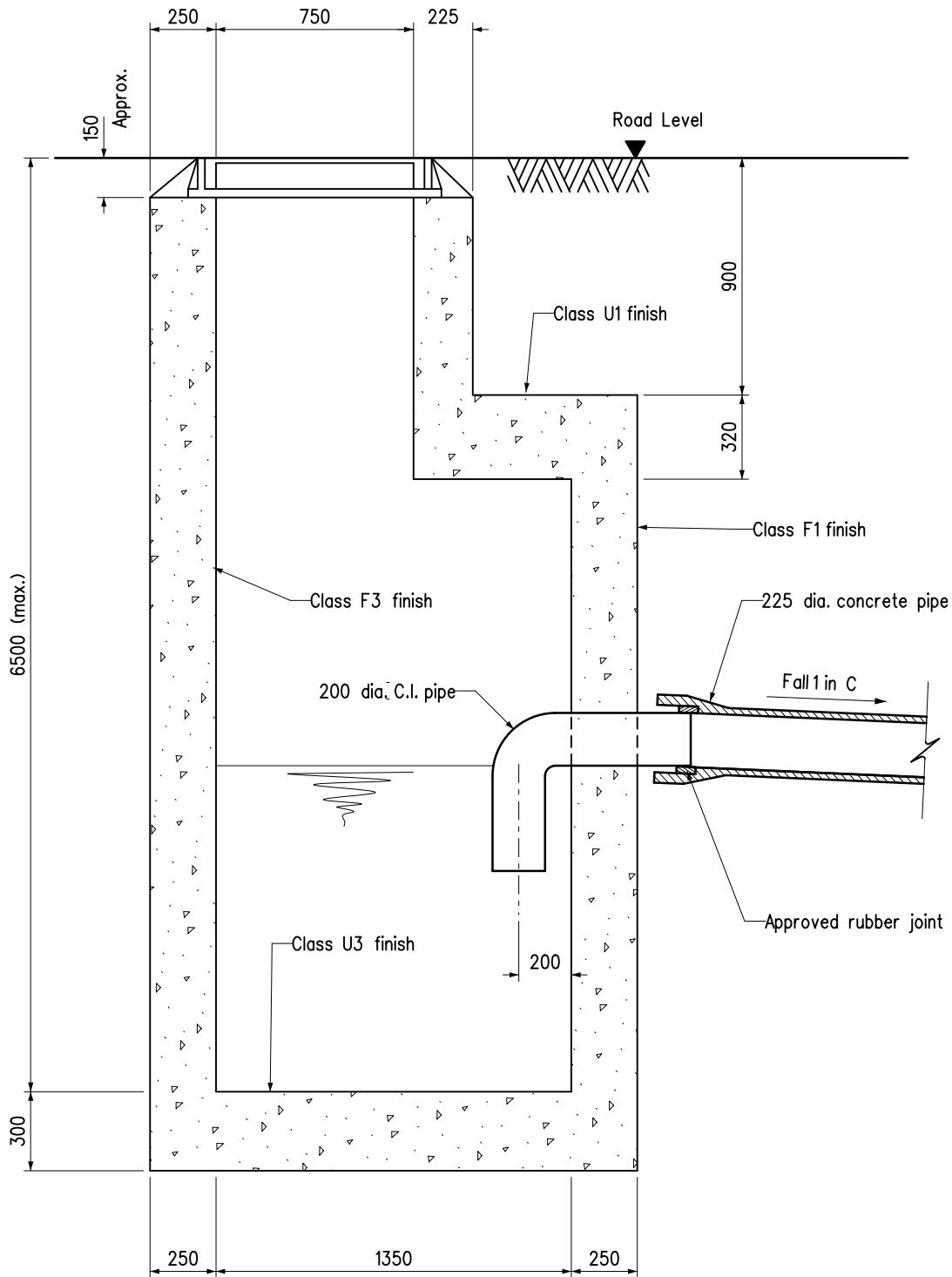
DRAWING No.

CAD

SCALE

Diagrammatic

H 3137A



SECTION C - C

Note :

See H3134B for general notes.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/5A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

**PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 5 OF 11)**

HIGHWAYS DEPARTMENT

REFERENCE

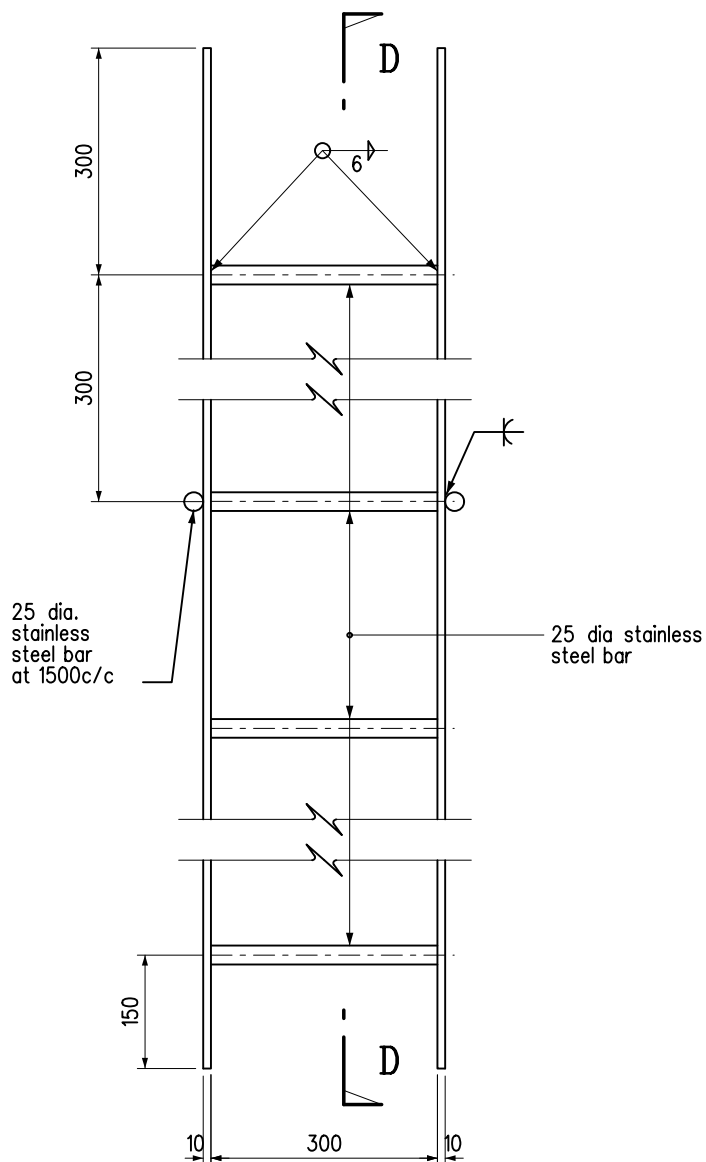
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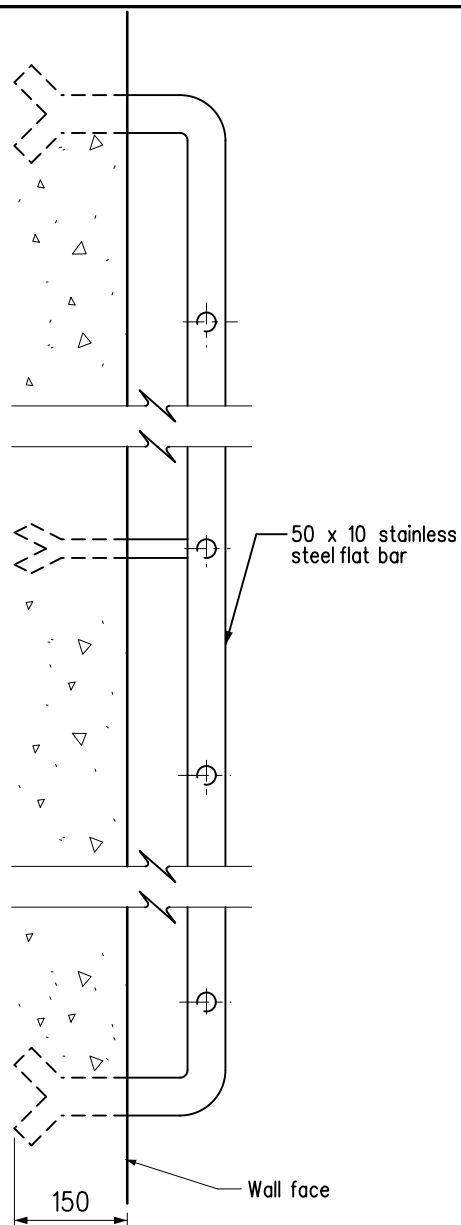
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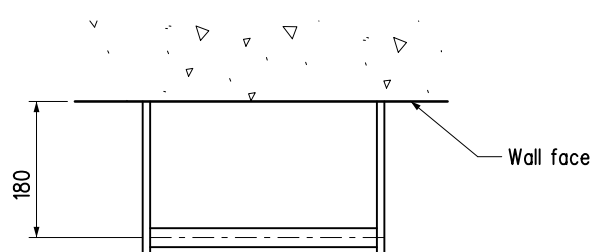
H 3138B



ELEVATION



SECTION D - D



PLAN

ACCESS LADDER

Note :

See H3134B for general notes

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/6A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 6 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

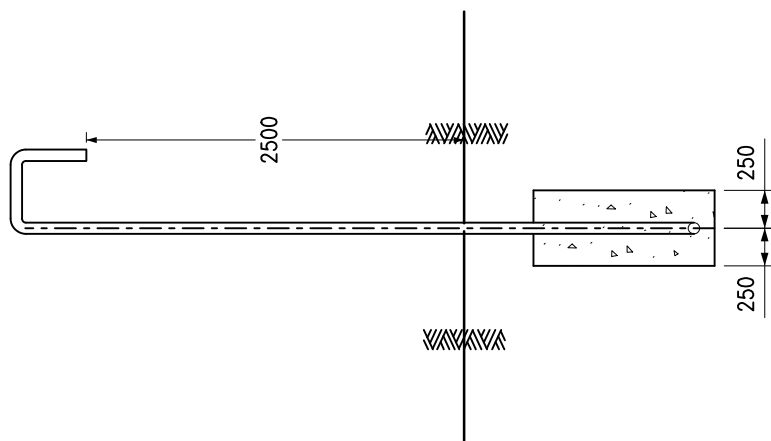
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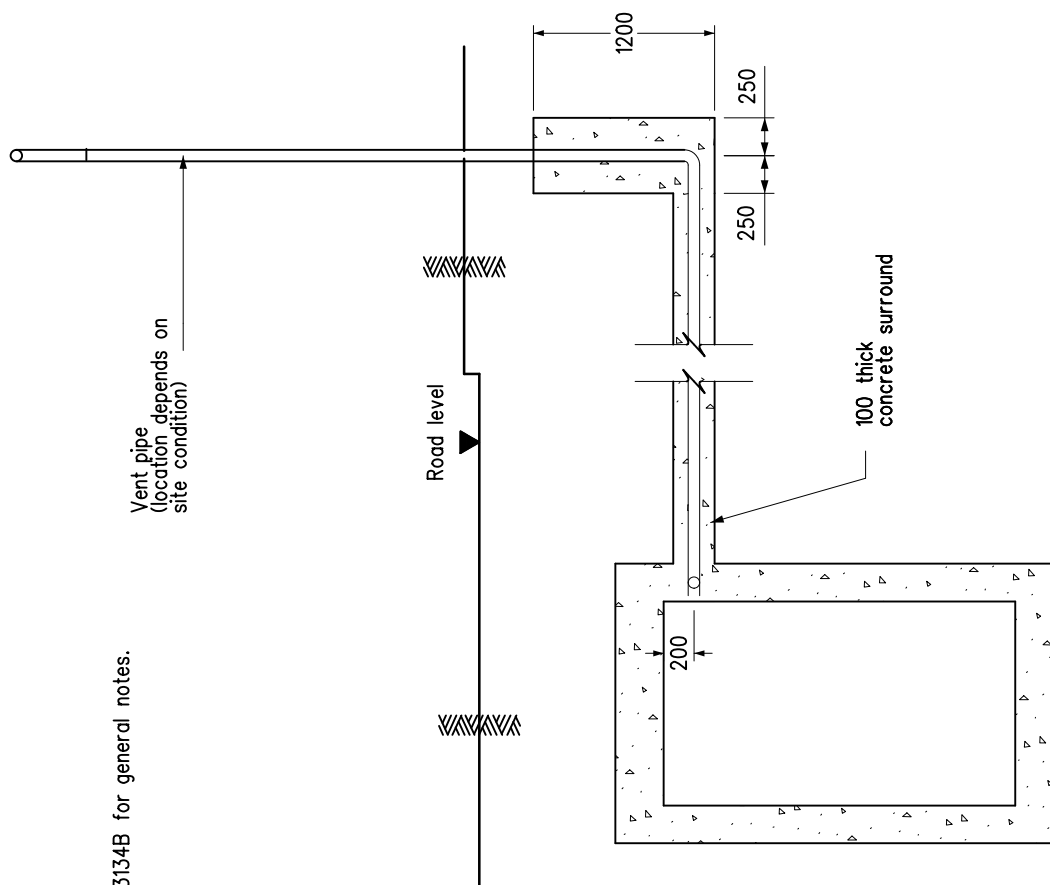
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H 3139B



SECTION N - N



SECTION M - M

Note :

See H3134B for general notes.

A	General revision		Oct 22
	Former drg. no. H3028/7A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 7 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

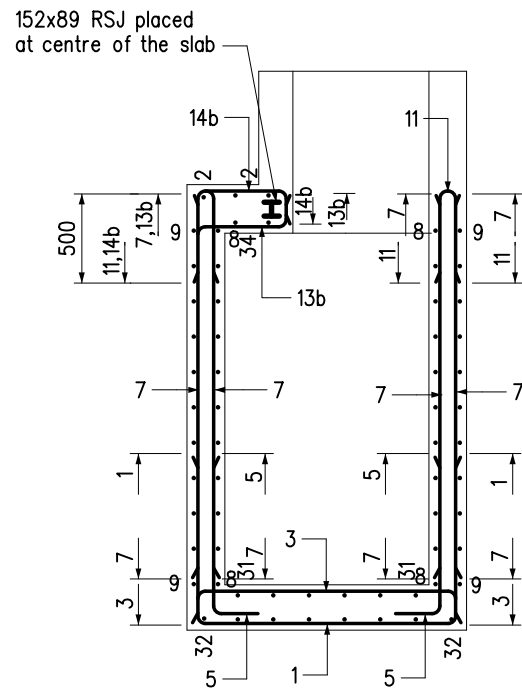
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CAD

SCALE

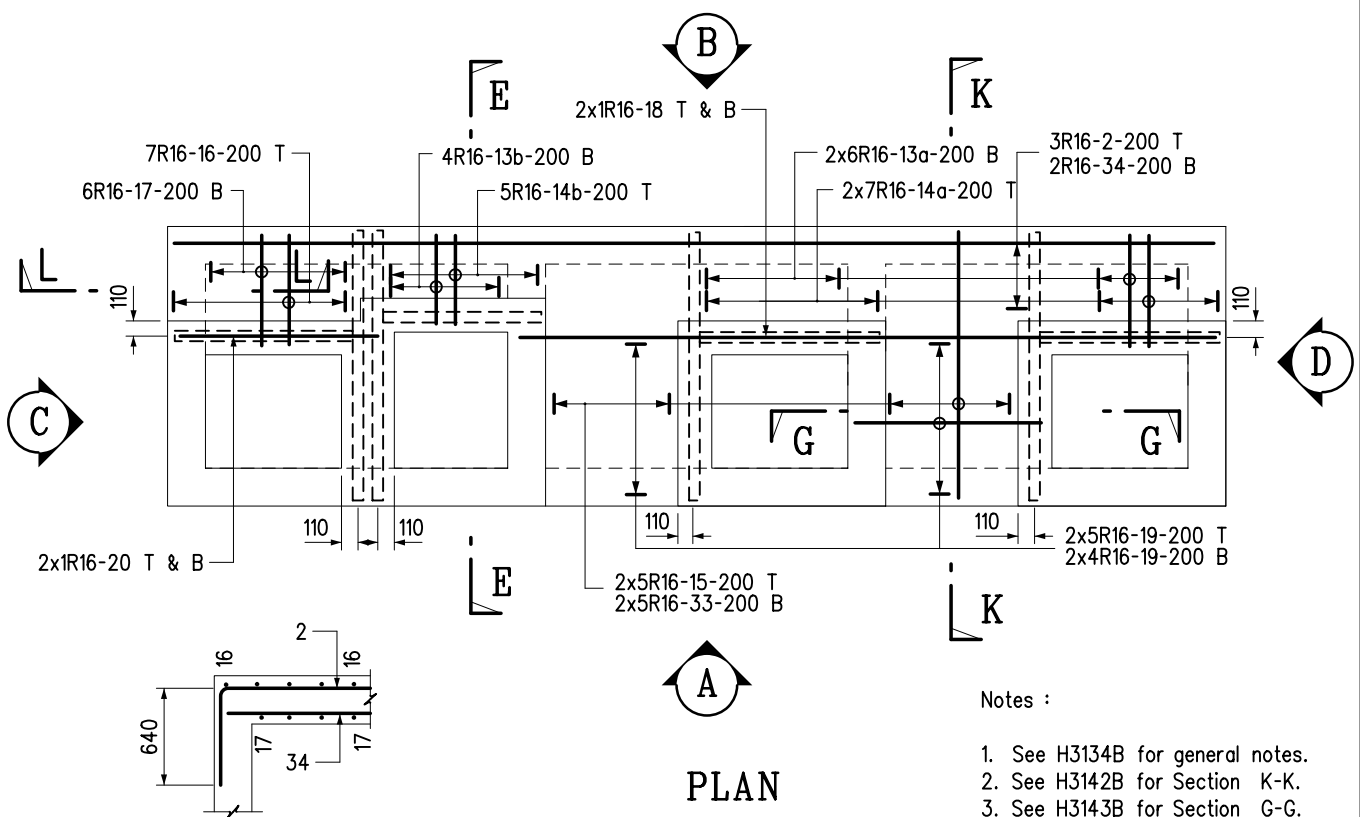
Diagrammatic

H 3140A



view D similar but opp. handed

SECTION E - E



wall bars not shown for clarity

Notes :

1. See H3134B for general notes.
2. See H3142B for Section K-K.
3. See H3143B for Section G-G.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/8A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 8 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

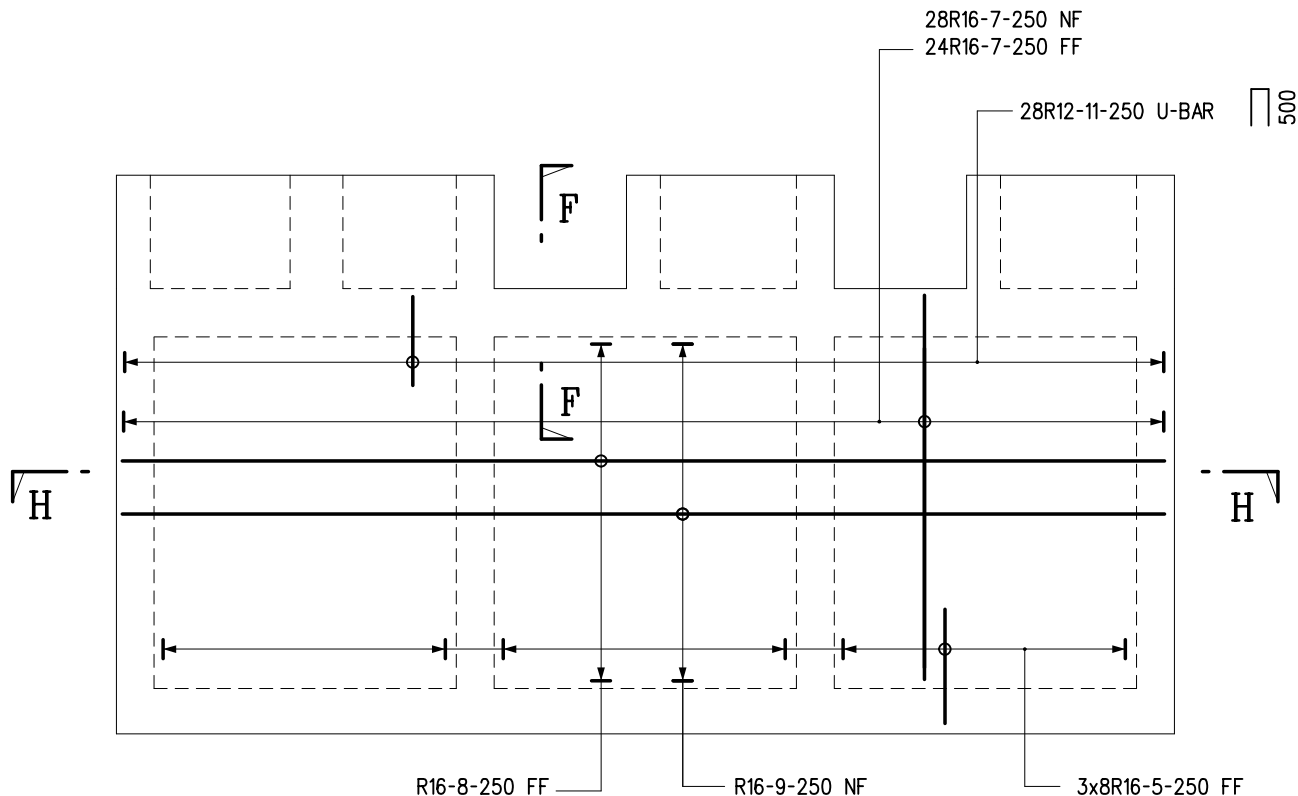
DRAWING No.

CAD

SCALE

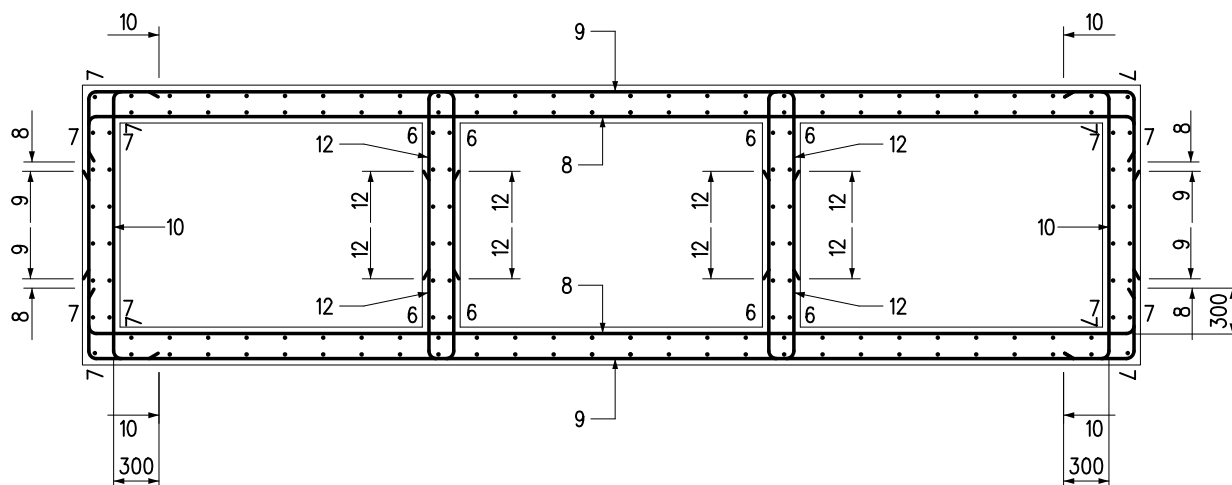
1 : 50

H 3141B

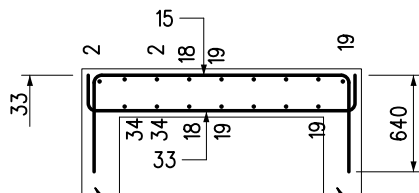


VIEW A

view B similar but opp. handed



SECTION H - H



SECTION K - K

wall bars not shown for clarity

Notes :

1. See H3134B for general notes.
2. See H3143B for Section F-F.

B	General revision		Oct 22
A	General revision		Nov 02
	Former drg. no. H3028/9A with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

**PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 9 OF 11)**

HIGHWAYS DEPARTMENT

REFERENCE

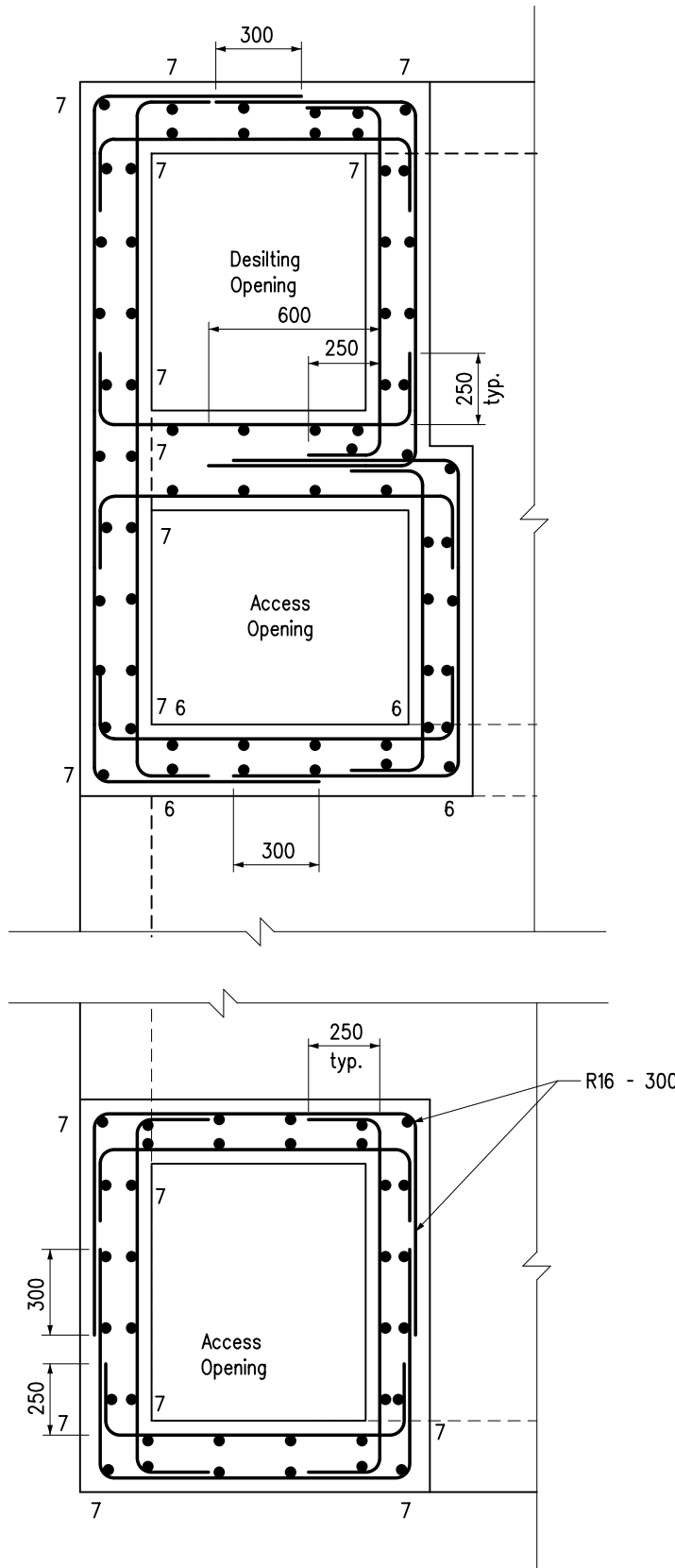
DRAWING No.

CAD

SCALE

1 : 50

H 3142B



Notes :

1. See H3134B for general notes.
2. All horizontal and vertical bars are R16 at 300 c/c except otherwise specified.
3. Bars with mark 6 and 7 are bars from walls in chambers below shafts (see Sect. H-H drg. no. H3142B)

SECTIONAL PLANS

reinforcement details for access shafts

B	General revision		Oct 22
A	General revision		Nov 02
	New issue		Jun 94
REF.	REVISION	SIGNATURE	DATE

PETROL INTERCEPTOR
FOR OPEN PUBLIC
TRANSPORT INTERCHANGE
(SHEET 11 OF 11)

HIGHWAYS DEPARTMENT

REFERENCE

DRAWING No.

CAD

SCALE

1 : 25

H 3144B

Appendix F

Photovoltaic System (for reference only)

SIV SERIES

Small Changes, Big Accomplishments







540-555W



● SIV SERIES

Seraphim redefined the high-efficiency module series by integrating 182mm silicon wafers with multi-busbar and half-cut cell technologies. Seraphim panel combined creative technology effectively and extremely improved the module efficiency and power output.

● KEY FEATURES

-  Less mismatch to get more power
-  Less power loss by minimizing the shading impact
-  Competitive low light performance
-  3 times EL test to ensure best quality
-  Ideal choice for utility and commercial scale projects by reduced BoS and improved ROI
-  Outstanding reliability proven by PVEL for stringent environment condition:
 - Sand, acid, salt and hail stones
 - 2400 Pa wind load and 5400 Pa snow load
 - Anti-PID

● QUALITY SYSTEM

ISO9001 / ISO14001 / ISO45001

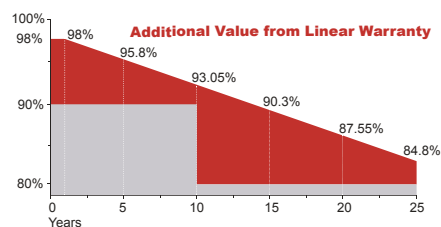
● PRODUCT CERTIFICATION



● INSURANCE

PICC

● WARRANTY



Guarantee on product material and workmanship



Linear power output warranty



JIANGSU SERAPHIM SOLAR SYSTEM CO., LTD

Add: No.10, TongshunRd, HenglinTown, Wujin District, 213000, Changzhou, China
 Tel: +86-519-68788166 Email: info@seraphim-energy.com

Electrical Characteristics

Module Type	SRP-540-BMA-HV		SRP-545-BMA-HV		SRP-550-BMA-HV		SRP-555-BMA-HV	
	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT
Maximum Power at STC (Pmp)	540	406	545	409	550	414	555	418
Open Circuit Voltage (Voc)	49.50	46.18	49.60	46.32	49.70	46.40	49.80	46.50
Short Circuit Current (Isc)	13.81	11.16	13.90	11.23	14.00	11.32	14.10	11.41
Maximum Power Voltage (Vmp)	41.55	38.39	41.80	38.41	42.05	38.58	42.31	38.68
Maximum Power Current (Imp)	13.00	10.59	13.04	10.65	13.08	10.73	13.12	10.81
Module Efficiency at STC(%)	20.90		21.10		21.29		21.48	
Power Tolerance	(0, +4.99W)							
Maximum System Voltage	1500V DC							
Maximum Series Fuse Rating	25 A							

STC: Irradiance 1000 W/m² module temperature 25°C AM=1.5
Power measurement tolerance: +/-3%

Temperature Characteristics

Pmax Temperature Coefficient	-0.34 %/°C
Voc Temperature Coefficient	-0.26 %/°C
Isc Temperature Coefficient	+0.05 %/°C
Operating Temperature	-40 ~ +85 °C
Nominal Operating Cell Temperature(NOCT)	45±2 °C

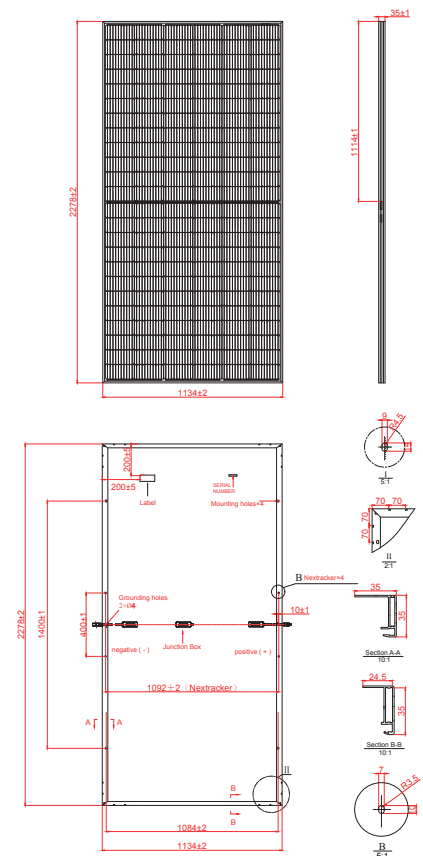
Mechanical Specifications

External Dimensions	2278x1134x35 mm
Weight	27.0 kg
Solar Cells	PERC Mono (144pcs)
Front Glass	3.2mm AR coating tempered glass, low iron
Frame	Anodized aluminium alloy
Junction Box	IP68, 3 diodes
Output Cables	4.0mm ² , 250mm(+)/350mm(-) or Customized Length
Mechanical Load	Front side 5400Pa/ Rear side 2400Pa

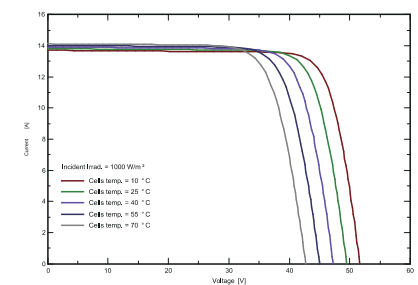
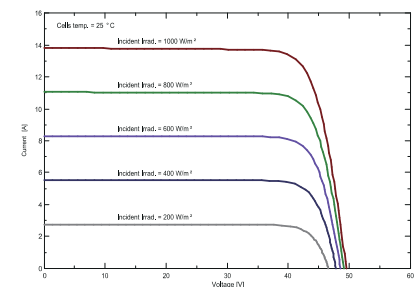
Packing Configuration

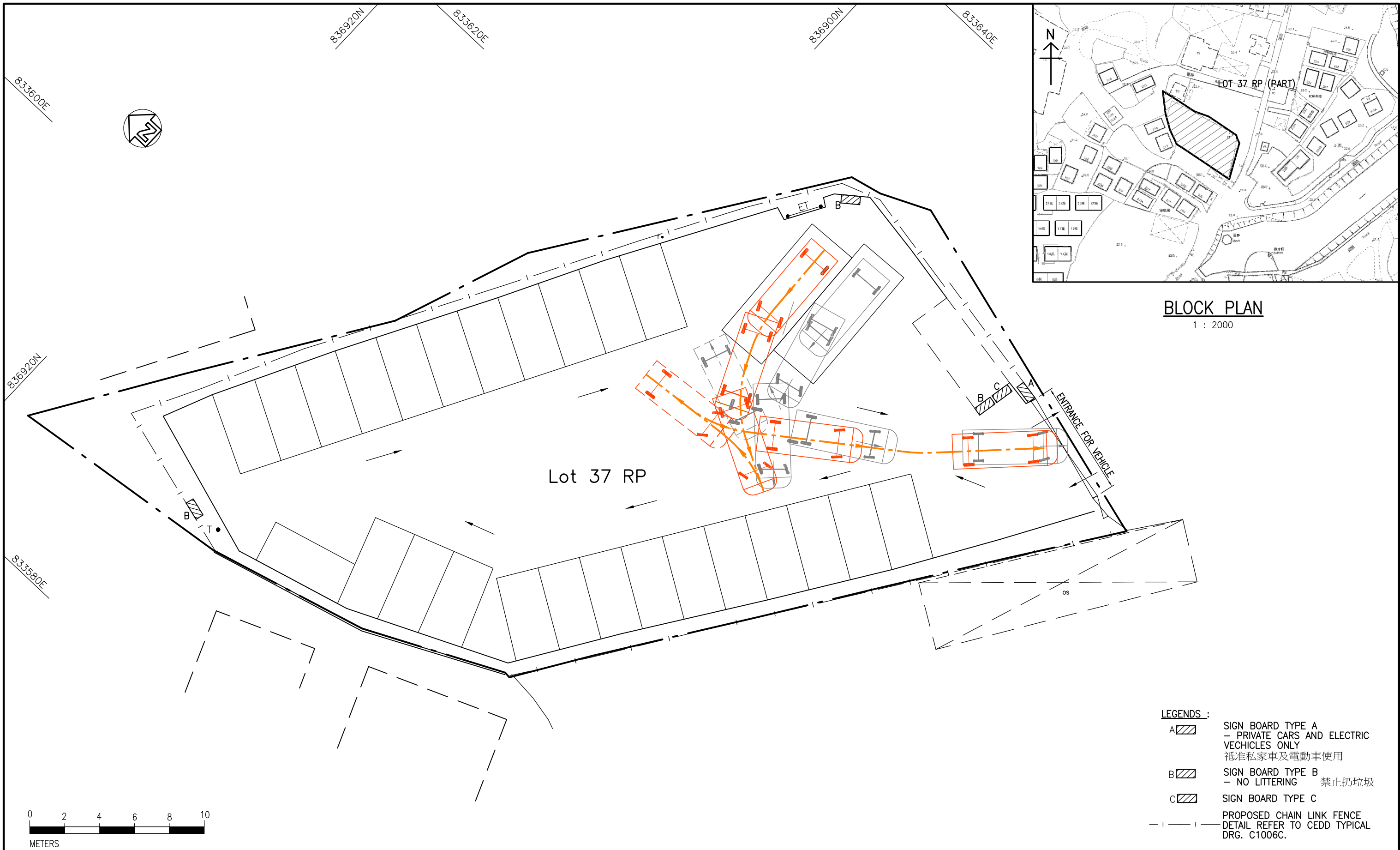
	2278x1134x35 mm	
Container	20'GP	40'HQ
Pieces per Pallet	31+4*	31
Pallets per Container	4	20
Pieces per Container	140	620

* 31+4 pieces per pallet is the special package which only suits for container transport.
For details, please consult SERAPHIM.



I-V Curve





PROJECT	TEMPORARY PUBLIC VEHICLE PARK (EXCLUDING CONTAINER VEHICLES) LOT 37 RP (PART) IN DD7, KAU LUNG HANG, TAI PO, N.T.		DRAWING NO.	C1011FIG01	DESIGNED	FEB. 2025	SCALE	1 : 200
TITLE	SWEEP PATH		DESIGN CHECKED	S.W.	DESIGNED	S.W.	DRAWN	A.T.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

寄件者: Steve Wong [REDACTED]
寄件日期: 2025年02月26日星期三 16:37
收件者: tpbpd/PLAND; [REDACTED]
[REDACTED]
主旨: Re: Application no. A/NE-KLH/649 FI-01 - WSD's respond to applicant's Further Information on 27.1.2025 (revised)
附件: C1011FIG01 (26-02-2025).pdf
類別: Internet Email

Dear Sir/Madam

Further to our email dated 25/02/2025, we would like to provide supplementary information on the swept path for your further information and consideration (Figure C1011FIG01 refers).

We also note that the photovoltaic system within the carpark will be solely for internal facility usage.

Please feel free to let me know if you need any further information.

Best Regards
Steve Wong
[REDACTED]

Steve Wong [REDACTED] 於 2025 年 2 月 25 日 週二 下午 4:07 寫道 :

Dear Sir/Madam

To whom it may concern

Please kindly ignore my email this morning on 11:07am 25/02/2025.

Further to the WSD's comment on our Further Information (FI) regarding the Risk Assessment Report on Contamination of Water Gathering Grounds and our email dated 24/2/2025, we would like to provide the following information for your further action and consideration:

1. Form S16-I updated to clarify the number of vehicles which is 25 numbers of private cars plus 2 numbers of 19 seats electric buses. The Planning statement is also updated for consideration.
2. Risk Assessment Report on Contamination of Water Gathering Grounds (C1011-01 Rev A) with updated highlighted in yellow for easy reference.

Please feel free to let us know if you need any further information.

Many thanks and Best Regards

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Steve Wong

Similar s.16 Applications

Approved Applications

Application No.	Proposed Development	Date of Consideration
A/NE-KLH/601 ¹	Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years	24.12.2021
A/NE-KLH/606	Temporary Private Vehicle Park (Private Cars Only) for a Period of 3 Years	10.6.2022
A/NE-KLH/607	Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years	10.6.2022 (Revoked on 10.12.2023)
A/NE-KLH/645	Proposed Temporary Public Vehicle Park (Private Cars Only) with Ancillary Facilities for a Period of 5 Years	14.2.2025
A/NE-KLH/647 ¹	Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years	20.12.2024

Remarks

¹: Application Nos. A/NE-KLH/601 and A/NE-KLH/647 are in the same site.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- no objection to the application;
- the Site comprises an Old Schedule Agricultural Lot in D.D. 7 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of Government;
- one container structure seemingly used as office use was found on the Site without LandsD's prior approval. The applicant is required to clear any existing structures on the Site immediately unless they are covered by a valid approval. Otherwise appropriate lease enforcement action will be taken according to LandsD's priority;
- there is no guarantee to the grant of a right of way to the Site or approval of the emergency vehicle access (EVA) thereto; and
- his advisory comments are at **Appendix IV**.

2. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application;
- there is no environmental complaint related to the Site in the past three years; and
- his advisory comments are at **Appendix IV**.

3. Drainage

Comment of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in principle to the application from drainage point of view;
- if the application is approved, an approval condition on the submission and implementation of a revised drainage proposal, and maintenance of the proposed drainage facilities of the Site to his satisfaction; and
- his advisory comments are at **Appendix IV**.

4. **Water Supply**

Comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD):

- no objection to the application, subject to the following:
 - the implementation of preventive, control and mitigation measure identified in the accepted risk assessment report on pollution or contamination to the Water Gathering Grounds (WGG) to the satisfaction of the Director of Water Supplies; and
 - the development should not cause any water pollution to the upper indirect WGG at any time during the planning approval period; and
- his advisory comments are at **Appendix IV**.

5. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations and water supplies for firefighting being provided to his satisfaction; and
- his advisory comments are at **Appendix IV**.

6. **Building Matters**

Comment of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- before any new building works are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO; and
- his advisory comments are at **Appendix IV**.

7. **Other Departments**

The following departments have no objection to / no adverse comment on the application:

- Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD);
- Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- Director of Agriculture, Fisheries and Conservation (DAFC);

- Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD);
- Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD) ; and
- District Officer (Tai Po), Home Affairs Department (DO(TP), HAD).

Recommended Advisory Clauses

- (a) to resolve any land issue relating to the development with concerned owner(s) of the application site (the Site);
- (b) to note the comments of the Secretary for Environment and Ecology (SEE) that:
- the applicant should observe relevant requirements as set forth in statutory provisions and various design and maintenance guidelines, and conduct regular inspections and check-ups in order to ensure the electrical and structural safety as well as resilience of solar panels amid the impact of extreme weather conditions (such as super typhoons) throughout their lifespan; and
 - the government has announced the green transportation roadmap for public buses and taxis in 2024 and will provide support to realise the target of introducing about 3,000 electric taxis by end-2027. A comprehensive fast charging network is needed to effectively support the operations of electric commercial vehicles and achieve the aforesaid target. In this connection, the applicant is recommended to consider installing some fast chargers with an output power of 100kW or higher at the Site and open up a certain number of charging spaces for electric commercial vehicles for use, e.g. electric taxis and electric light goods vehicles;
- (c) to note the comments of the District Lands Officer, Tai Po (DLO/TP, LandsD) that:
- one container structure seemingly used as office use was found on the Site without LandsD's prior approval. The applicant is required to clear any existing structures on the Site immediately unless they are covered by a valid approval. Otherwise appropriate lease enforcement action will be taken according to LandsD's priority;
 - there is no guarantee to the grant of a right of way to the Site or approval of the emergency vehicle access (EVA) thereto;
 - the lot owners shall apply to his office for a Short Term Waiver (STW) to permit the structure(s) erected or to be erected within the private lot. The application for STW will be considered by the government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structures will be considered; and
 - the applicant will likely make use of the adjoining unleased/unallocated government land as vehicles access to and from the Site. The maintenance and management responsibility of the said government land and any other government land leading to the Site should be sorted out with the relevant government departments, prior to the use of access purpose;
- (d) to note the comments of the Commissioner for Transport (C for T) that:
- No vehicles shall be allowed to queue back to public roads or reverse onto/from public roads; and

- the local track leading to the Site is not under her office's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (e) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (f) to note the comments of the Director of Environmental Protection (DEP) that the applicant should follow the relevant mitigation measures and requirements in the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" and to meet the statutory requirements under relevant pollution control ordinances;
- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - DSD's maintained public sewers exist in the vicinity but the feasibility of sewerage connection is subject to the invert level of discharge connection pipe leading from the Site. No stud pipe is reserved for sewage connection. The applicant shall choose to dispose of the sewage of the proposed development through septic tank or other means, views and comments from Environmental Protection Department should be sought;

Comments on the Submitted Drainage Proposal

- the applicant should note the following when submitting a revised drainage proposal:
 - the applicant shall indicate clearly the full alignment of the discharge path (i.e. proposed 375mm U-channel) from the Site all the way down to the ultimate discharge point;
 - the applicant shall consider to provide grating for the surface channels;
 - the applicant shall show the cover levels and invert levels of the proposed u-channels, catchpits/sand traps on the drainage plan;
 - the applicant shall provide cross sections showing the existing and proposed ground levels of the Site with respect to the adjacent areas;
 - the applicant shall provide sand trap or provision alike before the collected runoff is discharged to the public drainage facilities;
 - the applicant shall provide standard details to indicate the sectional details of the proposed u-channel and the catchpit/sand trap;
 - where walls or hoarding are erected are laid along the site boundary, the applicant shall provide adequate opening to intercept the existing overland flow passing through the Site;
 - the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and

- the applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on government land (where required) outside the Site;

General Comments / Requirements on the Drainage Works

- the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at his expense;
 - the applicant should ensure that the drainage system and the existing downstream drains/channels for discharge of the runoff from the Site have adequate capacity to convey the additional runoff from the Site. In addition, regular maintenance should be carried out by the lot owner/developer to avoid blockage of drain;
 - the lot owner/developer is required to rectify/modify the drainage system if it is found to be inadequate or ineffective during operation. The lot owner/developer shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by failure of the system;
 - prior consent and agreement from DLO/TP, District Officer (Tai Po) and/or relevant private lot owners should be sought for works to be undertaken outside the lot boundary;
 - the lot owner/developer should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing drainage facilities in the vicinity of the lot. In the event of any damage to the existing drainage facilities, the lot owner/developer would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom;
 - a minimum soil cover of 450mm and 900mm should be provided for the connection pipe constructed under footpath and carriageway respectively;
 - consideration should be given to adopt polyethylene (PE100) pipe for buried sewage pipe beyond the sewage terminal manhole; and
 - the lot owner/developer should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot;
- (h) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD) that:
- the development should not cause any water pollution to the upper indirect WGG at any time during the planning approval period;

- it is noted that shallow pad footings and petrol interceptor are proposed by the applicant and the construction of which may require excavation within the WSD tunnel reserve of Tau Pass Culvert. The applicant shall before carrying out any excavation work submit his proposals for such excavation work in writing to the Water Authority for approval in all respects, and shall not carry out any work whatsoever until the Water Authority has given written approval to such excavation work, and shall comply with any requirement of the Water Authority in respect of the said excavation work;
 - additional mitigation measures may be required when the actual situation renders the initial submissions and/or undertakings inviable; and
 - should pollution be detected in future due to the proposed development, immediate remedial action to clear the pollution must be taken by the grantee;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- in consideration of the design/nature of the proposal, fire services installations (FSIs) are anticipated to be required. The applicant should submit relevant layout plans incorporated with the proposed FSIs for approval. The layout plans should be (i) drawn to scale and depicted with dimensions and nature of occupancy, and (ii) the locations of where the proposed FSIs to be installed should be clearly marked on the layout plans;
 - if the proposed structure(s) is required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
 - if an electricity charging station is involved, the applicant should make reference to the requirement of Fireman's Emergency Switch (**Attachment I**); and
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- prior approval and consent of the Building Authority (BA) should be obtained before any new building works (including container(s), photovoltaic shelter/panels, etc.) are to be carried out on the Site, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - the Site shall be provided with EVA in accordance with Regulation 41D of the Building (Planning) Regulations (B(P)R);
 - the site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - if the existing structures are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designed for any proposed use under the captioned application;

- for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be constructed as an acceptance of any existing building works or UBW on the Site under the BO; and
- detailed checking under the BO will be carried out at building plan submission stage.

Requirements for the Fireman's Emergency Switch

1. A fireman's emergency switch conforming EMSD's Code of Practice shall be provided to cut off the power supply of all EV charging facilities within the car parking facilities.
2. The switch shall be situated in a conspicuous position, yet out of reach of the public in general. Thus, switch(es) provided at vehicle entrance(s) shall be positioned no more than 3m but not less than 2.5 from ground level. Where more than one fireman's emergency switch is installed on any one building, such switches shall be clearly marked to distinguish one from another.
3. In case the switch is installed at a location other than the vehicle entrance, notice plate(s) shall be provided at conspicuous location(s) of vehicle entrance(s) acceptable to the Director of Fire Services to indicate the location of fireman's emergency switch.
4. The 'ON' and 'OFF' position of the fireman's emergency switch shall be conventional (i.e. push upward – 'OFF'; push downward – 'ON') and clearly indicated by lettering legible to a person standing on the ground at the intended site.
5. The switch is to be affixed on a board approximately 300 mm long by 250 mm wide, which is painted white and edged with a 50 mm red border. The inscription 'EV CHARGING FACILITIES - FIREMAN'S SWITCH' in English is to be painted on the top and '電動車充電設施 - 消防員開關掣' in Chinese at the bottom of the board in black. The switch is to be positioned in the middle of the board.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-KLH/649

意見詳情 (如有需要，請另頁說明)

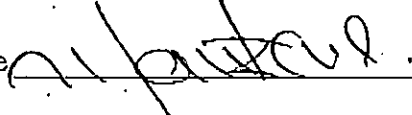
Details of the Comment (use separate sheet if necessary)

大埔泰亨鄉公所支持上述太陽能充電^新電車停車場
計劃申請，既能響應配合香港特區政府推行
綠化能源政策，除減排環保外亦便利本村電動
車主外，亦能對全球^新漸暖化稍盡棉力。

「提意見人」姓名/名稱 Name of person/company making this comment

泰亨鄉公所 譚文達

簽署 Signature



日期 Date

30/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 陳嘉妍

聯絡電話/電郵: __

日期: 26-12-2024



致:城市規劃委員會

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提意見人:



聯絡電話/電郵:

日期:

26-12-24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 

聯絡電話/電郵: _

日期: 26-12-2024



致:城市規劃委員會

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提意見人: 楊新文

聯絡電話/電郵: _____

日期: 26.12.2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 劉美珍

聯絡電話/電郵: _

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: _____

聯絡電話/電郵: _____

日期: _____

2024-12-26



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 陳紹俊

聯絡電話/電郵: _____

日期: 2024/12/24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人:

朱錦棠

聯絡電話/電郵: _

日期: 24-12-24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 劉佩雲

聯絡電話/電郵: _

日期: 2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人:

陳延輝

聯絡電話/電郵:

日期:

2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 彭漢龍

聯絡電話/電郵: _____

日期: 2024-12-24




致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人:  _____

聯絡電話/電郵: _____

日期: DEC 25, 2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: _____



聯絡電話/電郵: _____

日期: _____

12/25/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: Sivan Au

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 1125

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 李新

聯絡電話/電郵: _____

日期: 25/12/24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 梁玉成

聯絡電話/電郵:

日期: 25/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 陳柏橋

聯絡電話/電郵: _

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 崔慧君

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人:

廖海媚

聯絡電話/電郵:

日期:

2024.12.25



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: _____



聯絡電話/電郵: _____

日期: _____

25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: 王若怡

聯絡電話/電郵: _____

日期: 25/12/24.



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

村內的泊車位和汽車充電設施一直是村民們關注的熱點問題。隨著村內車輛數量的增加, 現有的正式泊車位已經不敷使用, 經常出現飽和的情況, 許多車主不得不在周邊尋找臨時停車位。此外, 村內的汽車充電位置嚴重不足, 電動汽車車主需要額外安排時間到其他地方充電, 非常不便。為了解決這些問題, 我們一致支持城規會通過新的停車場項目。該項目將提供更多的正式泊車位和充電設施, 有助於緩解當前的停車和充電壓力。另外, 該項目提及會加建太陽能系統設施, 這有效支持香港綠色能源發展, 推動環保理念的普及和實施, 讓我們的生活更加便利和環保。

提意見人: _____

何霞

聯絡電話/電郵: _____

日期: _____

2024 12. 25



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 鄺靖雯

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 邵浩然

聯絡電話/電郵: _____

日期: 2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 施細珠

聯絡電話/電郵: _____

日期: 2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:

廖志光

聯絡電話/電郵: _____

日期:

24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 麥永健

聯絡電話/電郵: __

日期: 2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:

鄧德成

聯絡電話/電郵: __

日期:

2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:

聯絡電話/電郵:

日期: 26-12-24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

太陽能為地球帶來了諸多好處。首先, 它是一種取之不盡的可再生能源, 能夠持續提供電力, 減少對化石燃料的依賴。此外, 太陽能發電過程中不會產生任何污染物, 對於改善空氣質量和保護生態環境具有顯著作用。使用太陽能還可以減少溫室氣體排放, 有助於應對全球氣候變化。這一系統的應用, 將大大促進該村的綠色發展和環保理念的普及。

除了太陽能系統, 該項目還計劃安裝電動汽車充電樁, 這將大大鼓勵村民們使用電動汽車, 推動綠色出行。電動汽車的普及將有助於減少尾氣排放, 進一步保護我們的環境。

總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 李永芳

聯絡電話/電郵: _____

日期: 26-12-26



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: _____

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: _____

聯絡電話/電郵: _____

日期: _____



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 黃明慧

聯絡電話/電郵: _____

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 陳國民

聯絡電話/電郵:

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 姚雪廷

聯絡電話/電郵: _____

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: _____

陳偉強

聯絡電話/電郵: _____

日期: _____

24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 王雪蓮

聯絡電話/電郵: _____

日期: 24.12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: _____

聯絡電話/電郵: _____

日期: _____



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 

聯絡電話/電郵: _

日期: 27-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 何志雄

聯絡電話/電郵: __

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 葉延光

聯絡電話/電郵: _____

日期: 2024-12-26



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人:

梁國偉

聯絡電話/電郵:

日期:

26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:

梁國成

聯絡電話/電郵: _

日期:

25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 何偉亮

聯絡電話/電郵: _____

日期: 26 Dec 24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:  _____

聯絡電話/電郵: _____

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: _____

鄧少芳

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 鄭浩倫

聯絡電話/電郵: _____

日期: 25-12-2024.



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 張瑞瑜

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 柯志榮

聯絡電話/電郵: _____

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 廖漢高

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 楊嘉如

聯絡電話/電郵: _

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 陳瑞邦

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

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提意見人: 鄧淑芳

聯絡電話/電郵: _____

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: Maggie Tsang

聯絡電話/電郵: _____

日期: 2024/12/24



致:城市規劃委員會

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提意見人: 關偉成

聯絡電話/電郵: _____

日期: 25/12/2024



致:城市規劃委員會

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提意見人: 鄧富華

聯絡電話/電郵: _____

日期: 2024.12.25



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

太陽能為地球帶來了諸多好處。首先, 它是一種取之不盡的可再生能源, 能夠持續提供電力, 減少對化石燃料的依賴。此外, 太陽能發電過程中不會產生任何污染物, 對於改善空氣質量和保護生態環境具有顯著作用。使用太陽能還可以減少溫室氣體排放, 有助於應對全球氣候變化。這一系統的應用, 將大大促進該村的綠色發展和環保理念的普及。

除了太陽能系統, 該項目還計劃安裝電動汽車充電樁, 這將大大鼓勵村民們使用電動汽車, 推動綠色出行。電動汽車的普及將有助於減少尾氣排放, 進一步保護我們的環境。

總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: Alan Ng

聯絡電話/電郵: _____

日期: 2024/12/28



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: _____

姜达芳

聯絡電話/電郵: _____

日期: _____

2024-12-25



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: 廖培光

聯絡電話/電郵: _____

日期: 2024/12/25



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: _____



聯絡電話/電郵: _____

日期: _____

23/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。

提意見人: _____

聯絡電話/電郵: _____

日期: _____

23 Dec 2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

首先, 我深知環保的重要性, 該停車場項目配備了太陽能系統, 這是一個非常具有環保意念的設計。太陽能作為綠色能源, 不僅能夠減少對傳統能源的依賴, 還能有效地降低溫室氣體排放, 對於減輕氣候變化影響具有重要意義。這一系統的引入, 無疑將為村內提供可持續發展的方案。

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總而言之, 我認為大家都是地球的一份子, 好應該為環保出一份力。



提意見人: _____

聯絡電話/電郵: _____

日期: 2024 Dec 23



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

我對城規會通過停車場項目表示高度支持, 這主要是基於支持綠色能源發展的原因, 太陽能會為村內帶來潔淨的能源, 並可有效宣傳環保意識, 將環保理念注入村內, 也可令村民了解太陽能的好處。村內目前的正式泊車位已經達到飽和狀態, 車主們經常面臨著無處停車的困境, 這不僅影響了日常生活, 也增加了交通壓力。更讓人頭痛的是, 村內的汽車充電位置也十分稀缺, 導致電動汽車車主不得不前往其他地方充電, 十分不便。新的停車場項目的落實將提供更多的停車空間和充電設施, 緩解當前的壓力。村民們相信, 這一項目不僅能促進村內的綠色能源發展, 還能改善交通狀況和生活環境, 帶來更多的便利和好處。

提意見人: _____

聯絡電話/電郵: _____

日期: 24 DEC 2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

我對城規會通過停車場項目表示高度支持, 這主要是基於支持綠色能源發展的原因, 太陽能會為村內帶來潔淨的能源, 並可有效宣傳環保意識, 將環保理念注入村內, 也可令村民了解太陽能的好處。村內目前的正式泊車位已經達到飽和狀態, 車主們經常面臨著無處停車的困境, 這不僅影響了日常生活, 也增加了交通壓力。更讓人頭痛的是, 村內的汽車充電位置也十分稀缺, 導致電動汽車車主不得不前往其他地方充電, 十分不便。新的停車場項目的落實將提供更多的停車空間和充電設施, 緩解當前的壓力。村民們相信, 這一項目不僅能促進村內的綠色能源發展, 還能改善交通狀況和生活環境, 帶來更多的便利和好處。

提意見人: 張志強

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

我對城規會通過停車場項目表示高度支持, 這主要是基於支持綠色能源發展的原因, 太陽能會為村內帶來潔淨的能源, 並可有效宣傳環保意識, 將環保理念注入村內, 也可令村民了解太陽能的好處。村內目前的正式泊車位已經達到飽和狀態, 車主們經常面臨著無處停車的困境, 這不僅影響了日常生活, 也增加了交通壓力。更讓人頭痛的是, 村內的汽車充電位置也十分稀缺, 導致電動汽車車主不得不前往其他地方充電, 十分不便。新的停車場項目的落實將提供更多的停車空間和充電設施, 緩解當前的壓力。村民們相信, 這一項目不僅能促進村內的綠色能源發展, 還能改善交通狀況和生活環境, 帶來更多的便利和好處。

提意見人: 李香瑋

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 葉秋園

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 邱秀峰

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 葉偉珠

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人:

鄺漢通

聯絡電話/電郵: _____

日期:

25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

我對城規會通過停車場項目表示高度支持, 這主要是基於支持綠色能源發展的原因, 太陽能會為村內帶來潔淨的能源, 並可有效宣傳環保意識, 將環保理念注入村內, 也可令村民了解太陽能的好處。村內目前的正式泊車位已經達到飽和狀態, 車主們經常面臨著無處停車的困境, 這不僅影響了日常生活, 也增加了交通壓力。更讓人頭痛的是, 村內的汽車充電位置也十分稀缺, 導致電動汽車車主不得不前往其他地方充電, 十分不便。新的停車場項目的落實將提供更多的停車空間和充電設施, 緩解當前的壓力。村民們相信, 這一項目不僅能促進村內的綠色能源發展, 還能改善交通狀況和生活環境, 帶來更多的便利和好處。

提意見人:

張月貴

聯絡電話/電郵:

日期:

2024.12.24



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 張弘榮

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 陳雯珊

聯絡電話/電郵: _____

日期: 28/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 麥煒麟

聯絡電話/電郵: _____

日期: 20/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 許榮忠

聯絡電話/電郵: __

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: _____

麥蕙賢

聯絡電話/電郵: _____

日期: _____

24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 胡芳榮

聯絡電話/電郵: _____

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 麥嘉晴

聯絡電話/電郵: _____

日期: 24/12/2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 黃省忠

聯絡電話/電郵: _____

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 李修福

聯絡電話/電郵: _____

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 蔡正銘

聯絡電話/電郵: __

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: _____

聯絡電話/電郵: _____

日期: _____



致:城市規劃委員會

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聯絡電話/電郵: _____

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提意見人:

陳榮偉

聯絡電話/電郵: _____

日期:

25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

我對城規會通過停車場項目表示高度支持, 這主要是基於支持綠色能源發展的原因, 太陽能會為村內帶來潔淨的能源, 並可有效宣傳環保意識, 將環保理念注入村內, 也可令村民了解太陽能的好處。村內目前的正式泊車位已經達到飽和狀態, 車主們經常面臨著無處停車的困境, 這不僅影響了日常生活, 也增加了交通壓力。更讓人頭痛的是, 村內的汽車充電位置也十分稀缺, 導致電動汽車車主不得不前往其他地方充電, 十分不便。新的停車場項目的落實將提供更多的停車空間和充電設施, 緩解當前的壓力。村民們相信, 這一項目不僅能促進村內的綠色能源發展, 還能改善交通狀況和生活環境, 帶來更多的便利和好處。

提意見人:

張朗尼

聯絡電話/電郵: _____

日期:

24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 高志文

聯絡電話/電郵: _

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 施文華

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 蔡欣希

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人:

冼志偉

聯絡電話/電郵: _

日期:

25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 陳偉強

聯絡電話/電郵: _____

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 呂曉雲

聯絡電話/電郵: _____

日期: 25-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

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提意見人: 鍾秋花

聯絡電話/電郵: __

日期: 24-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人: 張友恭

聯絡電話/電郵: _

日期: 26-12-2024



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

香港市民/泰亨村村民, 支持上述規劃申請, 原因為:

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提意見人:

徐文俊

聯絡電話/電郵: _

日期:

25-12-2024



就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241216-094051-84997

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

16/12/2024 09:40:51

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. NG HI CHEUNG

意見詳情**Details of the Comment :**

支持及贊成通過該項目發展, 因為我看到這個項目能為該村的電車用戶提供泊車和充電便利, 還有太陽能設備能提供綠色能源, 可謂"一舉三得", 所以希望城規會通過這項目。

2

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241216-114641-64188

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

16/12/2024 11:46:41

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. Lee

意見詳情**Details of the Comment :**

私家車車位不足
以及電動車的普及
這是必須要規劃的東西
所以支持

3

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241218-094218-65906

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

18/12/2024 09:42:18

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. 吳

意見詳情**Details of the Comment :**

偶爾會去泰亨朋友家，如果該村有充電停車場，那麼我就不用再去其他地方充電，然後再回家。所以我希望項目能通過。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號
Reference Number: 241222-213147-13581

提交限期
Deadline for submission: 31/12/2024

提交日期及時間
Date and time of submission: 22/12/2024 21:31:47

有關的規劃申請編號
The application no. to which the comment relates: A/NE-KLH/649

「提意見人」姓名/名稱
Name of person making this comment: 先生 Mr. 謝煒楠

意見詳情
Details of the Comment :

支持政府綠色環保

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-215139-20861

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 21:51:39

有關的規劃申請編號

The application no. to which the comment relates: A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. 阿康

意見詳情

Details of the Comment :

支持政府環保計劃

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-215244-79264

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 21:52:44

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. 蕭展基

意見詳情

Details of the Comment :

支持環保政策 可節約能源

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-220351-94633

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 22:03:51

有關的規劃申請編號

The application no. to which the comment relates: A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Joe yiu

意見詳情

Details of the Comment :

支持綠色環保政策！

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-221522-38546

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 22:15:22

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. 劉銘耀

意見詳情

Details of the Comment :

方便居民充電 支持環保

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號
Reference Number: 241223-112125-47337

提交限期
Deadline for submission: 31/12/2024

提交日期及時間
Date and time of submission: 23/12/2024 11:21:25

有關的規劃申請編號
The application no. to which the comment relates: A/NE-KLH/649

「提意見人」姓名/名稱
Name of person making this comment: 先生 Mr. 張禮民

意見詳情
Details of the Comment :

支持環保 方便居民

13
致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-KLH/649

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

It is extremely important to have a electric vehicle charging station in Tai Po, Kan Lung Hong. As more and more car owner change to buy electric cars, we need to have enough charging station. Therefore, we strongly support the building of a new electric car charging station in our area. Wish it can be built as soon as possible.

「提意見人」姓名/名稱 Name of person/company making this comment Mark Lam

簽署 Signature

[Signature]

日期 Date

22nd December 2024

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241230-100750-08822

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

30/12/2024 10:07:50

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

女士 Ms. ZHANAG Jie

意見詳情**Details of the Comment :**

本人任职于香港应用科技研究院 - 先进电子元件及系统技术部门。本人支持该申请；并支持充电桩业务的发展，因该类工作能促进电动车的普及，助力香港在绿色能源方面的持续努力。这将有助于减少碳排放，改善空气质量，并推动可持续经济的发展。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241230-150454-40571

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

30/12/2024 15:04:54

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

小姐 Miss Yujing Zhou

意見詳情**Details of the Comment :**

本人任职于香港应用科技研究院 - 先进电子元件及系统技术部门。本人支持该申请；其发展有助于充电桩业务在新界的发展，促进电动车的普及，助力香港在交通方面减排的目标。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241231-153457-53638

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

31/12/2024 15:34:57

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. Evan Li

意見詳情**Details of the Comment :**

這樣的停車場不僅能滿足居民日益增長的綠色旅遊需求，還能促進社區的永續發展。以下是我支持建造停車場的幾個理由：

環保：配備充電設施的停車場鼓勵居民使用電動車，減少碳排放，為保護環境做出貢獻。

便利：居民可以在家門口方便地為車輛充電，無需遠行尋找充電站，大大提升了生活的便利性。

社區發展：這樣的停車場將成為社區發展的亮點

未來趨勢：隨著技術的進步和政策的支持，電動車將成為主流，提前佈局充電設施將使社區在未來的競爭中佔據優勢。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241231-160753-96338

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

31/12/2024 16:07:53

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. Steven XIONG

意見詳情**Details of the Comment :**

我非常支持此規劃申請。這個公眾停車場規劃有電動充電設施，能滿足電動車停車與充電的需求，幫助解決買車易但停車難、充電難的困境。項目中還有太陽能光伏系統，用太陽能發電，這非常綠色，也符合氣候行動藍圖和特首施政報告的鼓勵政策。希望政府可以鼓勵加快建設更多這樣的項目，滿足綠色出行的發展趨勢，減少交通尾氣排放，促進香港的低碳可持續發展。

城市規劃委員會:

我認為 A/NE-KLH/649 的申請對村民是有利的, 能為當地村民提供更多車位有助減少村內違泊問題, 因此致函貴會表示支持。

陳少程

2月12日 2025年



120

致城市規劃委員會：

我支持 A/NE-KLH/649 的規劃申請，因為這是個對香港有好處的項目，能提供更多泊車位之餘，還可以提供充電樁。

王麗芳

2025年2月10日



121

給城市規劃委員會:

對於 A/NE-KLH/649 的規劃申請, 我表示支持, 了解到停車場會附加充電設備, 這個項目能鼓勵了大家換電車。

鄺漢高

25 - 2 - 2025



城市規劃委員會:

我對該規劃申請表示支持(A/NE-KLH/649), 因為他能為有車的村民提供便利。

李乃璋

22 - 2 - 2025



Dominic Yau



Hong Kong Town Planning Board

15th Floor, North Point Government Offices

333 Java Road, North Point, Hong Kong

Subject: Supportive letter for Solar System and Electric Car Charging Station Development in Lot 37 RP in D.D.7, Kau Lung Hang, Tai Po, NT, Hong Kong**

22nd February, 2025

To whom it may concern,

I am writing to express my strong support for the proposed development of a solar energy system and electric vehicle (EV) charging station in Tai Po Tai Hen Village. This forward-thinking initiative aligns seamlessly with Hong Kong's commitment to sustainable development, carbon neutrality, and improving air quality—goals outlined in the *Climate Action Plan 2050*.

The installation of a solar power system would harness Hong Kong's abundant sunlight, reducing reliance on fossil fuels and lowering carbon emissions. Pairing this with an EV charging station would further promote green transportation, encouraging residents and visitors to transition to electric vehicles. This dual approach addresses both energy generation and consumption, creating a holistic model for eco-friendly infrastructure. Tai

Po, with its blend of rural and urban communities, is an ideal location to pilot such innovations, demonstrating how sustainability can coexist with local heritage.

Moreover, this project promises tangible benefits for the Tai Po community. The EV charging station would alleviate “range anxiety” for drivers, making EV ownership more practical. The solar installation could also reduce long-term energy costs and serve as an educational resource, inspiring schools and residents to engage with renewable energy.

I understand concerns about preserving the village’s character and environment. However, the proposal’s emphasis on eco-sensitive design—such as low-impact construction and green spaces—shows a commitment to balancing progress with preservation. With careful planning, this project can enhance Tai Po’s role as a leader in sustainability without compromising its unique identity.

I urge the Town Planning Board to approve this visionary project, which exemplifies Hong Kong’s potential to innovate while prioritizing environmental and community well-being. Thank you for your consideration.

Best regards,

Dominic Yau

124

Hi TPD board,

I would like to support the proposed temporary public vehicle park with solar system. The project demonstrates a potential way to meet the increasing EV charging load with a low carbon electricity supply at the meantime.

Kind regards,



Jenny Zhou

Feb 24, 2025



1725

致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

作為當地的一名持份者，我全力支持城規會通過這次停車場的規劃申請，原因如下：

首先，增加停車位將有效減少在村內尋找空置車位所耗費的時間。這不僅提升了居民的生活品質，還能減少因尋找車位帶來的壓力和煩惱。

其次，停車場的建設將提升社區安全。規範的停車場將減少隨意停車和違規停車的情況，提升道路的通行效率和安全性，保障居民和訪客的安全。

我期待該項目的落成，讓我們的生活變得更加便利和美好。

姓名: 鄺靖雯

聯絡電話:

電郵: /

日期: 17-2-2025



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

作為一名在地的持份者，我全力支持城規會通過此次的停車場規劃申請，因為這個項目將會帶來多方面的好處。

首先，停車場的建設將能有效解決當地居民日益嚴重的停車問題。隨著人口增長和汽車數量的增加，停車難的問題已經成為很多家庭的日常困擾。該停車場的設立可以有效緩解這一問題，提升居民的生活質量。

此外，該項目計劃將其發展成為一個多功能停車場，包括提供電動汽車充電樁。這不僅對電動汽車的普及起到推動作用，還能進一步推動環保理念的普及，減少對化石燃料的依賴，改善空氣質量。

我相信，該停車場的落成，將不僅解決停車問題，更為社區帶來更便捷、舒適的生活環境。期待該項目的順利推進。

姓名: 邱秀峰

聯絡電話:

電郵:

日期: 10-2-2025



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

我熱切支持最近的停車場規劃申請，尤其是希望在村內建設一個充電停車場。隨著電動汽車的普及，充電設施的需求變得迫在眉睫。村內建設充電停車場不僅可以為本地居民及外來訪客提供便利，還可以促進更多人轉向使用電動汽車，推動綠色出行。

充電停車場的設立對於減少碳排放和改善空氣質量具有重要意義。電動汽車相比傳統汽油車對環境的影響較小，有助於減少有害氣體的排放，進一步提升我們社區的生活質量。最關鍵的是，這樣的設施能提升村莊的現代化水平，使我們與時俱進，成為環保和可持續發展的典範。

我相信，這個充電停車場的建設將為村內及周邊地區帶來長遠的益處，提升居民和訪客的生活品質。我期待該項目能夠順利落成，讓我們的社區變得更加便利和環保。

姓名:林倫理

電郵:

日期:2025 年 2 月 20 日



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

作為村內的一名持份者，我全力支持此次的停車場規劃申請，這個項目將帶來多方面的好處。首先，停車場的建設可以有效解決當地居民日益嚴重的停車問題。隨著人口增長和汽車數量的增加，停車難的問題已經成為很多家庭的日常困擾。該停車場的設立可以有效緩解這一問題，提升居民的生活質量。

此外，該項目還計劃將停車場發展成為一個多功能場所，包括提供電動汽車充電樁。這不僅對電動汽車的普及起到推動作用，還能進一步推動環保理念的普及，減少對化石燃料的依賴，改善空氣質量。停車場的建設也將提升社區安全。規範的停車場將減少隨意停車和違規停車的情況，提升道路的通行效率和安全性，保障居民和訪客的安全。

總而言之，我相信該停車場的落成不僅能解決停車問題，還能为社區帶來更便捷、舒適的生活環境。

姓名:區治

電郵:

日期: 27-2-2025



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

我是當地的持份者，想向貴會表示支持上述規劃申請，原因為：

我十分支持城規會通過停車場的項目，主要是因為我有朋友是當地村民，每次去他家拜訪都非常困難。村內的居民主要依賴小巴作為交通工具，外人到訪更加困難。因此，我傾向開車去拜訪朋友，但村內車位十分飽和，亂泊車既怕影響當地交通，又擔心車被鎖。

有一次，我偶然經過規劃申請編號 A/NE-KLH/649 的地段，看見閘門貼上了公眾諮詢的通告，立即寫信支持。如果這地方能變成停車場，將極大地方便我與朋友聯繫。此外，我聽說這個項目計劃發展成為充電停車場，不僅對電車用戶十分便利，也能藉此鼓勵使用電動車，減少化石能源的使用，減少對香港造成的空氣污染。

期待這個項目的落成，讓我們的生活更加便利和環保。

姓名: 吳豈彰

聯絡電話:

電郵:

日期: 21-2-2025



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

我之前已上呈過支持信，但最近發現新通告貼到該地。我支持此次的停車場規劃申請，希望在村內建設一個充電停車場，原因如下：

首先，隨著電動汽車的普及，充電設施的需求日益增長。村內設置充電停車場，可以為本地及外來的電動汽車提供便利。這將鼓勵更多居民轉換使用電動汽車，促進綠色出行。

其次，充電停車場有助於減少碳排放，改善空氣質量。電動汽車相比傳統汽油車，對環境的影響更小，減少了有害氣體的排放，提升社區的生活質量。

更重要的是，這樣的設施將提升我們村莊的現代化水平，讓我們與時俱進，成為一個環保、可持續發展的典範。

總的來說，我相信這個充電停車場的建設，將為村內及周邊地區帶來長遠的益處，並且提升居民和訪客的生活品質。期待該項目能夠順利落成，讓我們的社區變得更加便利和環保。

姓名: 李鐵華

聯絡電話:

電郵:

日期: 25-2-2025



致:城市規劃委員會

支持規劃申請編號 A/NE-KLH/649

作為一名在地的持份者，我全力支持城規會通過此次的停車場規劃申請，原因如下：

首先，有了更多的停車位，將能有效減少在村內尋找空置車位所耗費的時間。這不僅提升了居民的生活品質，還能減少因尋找車位所帶來的壓力和煩惱。

其次，停車場的建設能夠提升社區安全。規範的停車場將減少隨意停車和違規停車的情況，提升道路的通行效率和安全性，保障居民和訪客的安全。

期待該項目的落成，讓我們的生活更加便利和美好。

姓名:

李善新

聯絡電話:

電郵:

日期:

24/2/2025



Dear Town Planning Board,

I would like to support the proposed temporary public vehicle park application (Application No. A/NE-KLH/649). By integrating a solar power system, the project will not only provide essential electric vehicle (EV) charging services but also align with low-carbon policy initiatives.

By promoting EV usage through convenient charging options, the project will contribute to a broader cultural shift towards sustainable transportation.

Kind regards,

Dr Macy Jie Zhang

MSc, PhD, MIET, CEng

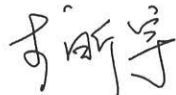
Principal Engineer, Advanced Electronic Components & Systems (AECS) Division
Hong Kong Applied Science and Technology Research Institute (ASTRI)



Dear TPD board,

Regarding the proposed temporary public parking with solar system, I would like to express my support since it provides a potential way to ease current surge demands in electrical vehicle charging. Also it helps support low carbon city development.

Best regards,



Xinvu Li

Feb 25, 2025



134

Dear TPD Board,

I am writing to express my strong support for the proposed temporary public parking facility equipped with a solar system. This initiative presents an innovative solution to address the rising demand for electric vehicle charging while promoting the use of renewable energy.

Implementing this project not only alleviates EV charging difficulties but also enhances Hong Kong's commitment to reducing carbon emissions through renewable energy sources.

Thank you for considering this significant endeavor.

熊天龙

Steven Xiong



就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241229-230132-24216

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

29/12/2024 23:01:32

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. Chick Nam Man

意見詳情**Details of the Comment :****強烈反對這項規劃申請，理由如下：**

泰亨三村(灰沙圍、中心圍、祠堂村)各自擁有數個大小不一的停車場，足夠滿足村民泊車所需。是項規劃申請的停車場經營者其目標只是吸引區外車主使用，而本村車路狹窄，大部分車路單線雙程行車，若再加上外來車輛穿梭出入，將增加本已擠擁的車路堵塞，不單對村民日常生活構成滋擾，對村內的治安也會造成不良影響。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號
Reference Number: 241222-000601-29371

提交限期
Deadline for submission: 31/12/2024

提交日期及時間
Date and time of submission: 22/12/2024 00:06:01

有關的規劃申請編號
The application no. to which the comment relates: A/NE-KLH/649

「提意見人」姓名/名稱
Name of person making this comment: 先生 Mr. Dominic Yau

意見詳情
Details of the Comment :

安排合理, 充分利用了资源, 考虑周全, 安排有序, 达到了最大的效益

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-000905-90535

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 00:09:05

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Johnson Wong

意見詳情

Details of the Comment :

井然有序：形容工作或计划安排得整齐有序，各个环节、各个步骤之间的衔接非常顺畅，没有出现混乱或无序的情况。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

241222-001250-51682

提交限期

Deadline for submission:

31/12/2024

提交日期及時間

Date and time of submission:

22/12/2024 00:12:50

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-KLH/649

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. 邱家宝

意見詳情

Details of the Comment :

运筹帷幄决策果断, 迅速制定解决方案, 所有事务都已安排得井井有条!

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-KLB/649

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

為配合國家政策節能減炭
給予鄉村提供綠色能源
提升環保意識及緩解停車壓力
懇請貴會給予通過。

「提意見人」姓名/名稱 Name of person/company making this comment 李鎮華

簽署 Signature 李鎮華 日期 Date 23-12-2024

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

241230-192811-20723

提交限期**Deadline for submission:**

31/12/2024

提交日期及時間**Date and time of submission:**

30/12/2024 19:28:11

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-KLH/649

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. XINYU LI

意見詳情**Details of the Comment :**

As a hong kong resident interested in sustainable living, I would like to see this application to promote EV charging. It really simplifies planning longer trips and reduces range anxiety. The application focus on green technology makes me feel good about supporting eco-friendly choices. I recommend it to everyone looking to make a positive impact on the environment.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號**

241231-150131-66790

Reference Number:**提交限期**

31/12/2024

Deadline for submission:**提交日期及時間**

31/12/2024 15:01:31

Date and time of submission:**有關的規劃申請編號**

A/NE-KLH/649

The application no. to which the comment relates:**「提意見人」姓名/名稱**

女士 Ms. REN Xinyu

Name of person making this comment:**意見詳情****Details of the Comment :**

光伏设施能够有效利用太阳能资源，减少对传统电力的依赖，促进绿色能源的应用，符合香港政府推动可持续发展的政策方向。充电停车场的建设能够促进电动汽车的普及，助力绿色交通发展，降低碳排放，改善空气质量，便于附近的村民生活。综合来看，该项目有助于推动环境友好型交通模式、促进地方经济和提升香港的可持续发展能力。

From:
Sent: 2024-12-30 星期一 02:51:16
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/NE-KLH/649 DD 7 Kau Lung Hang

A/NE-KLH/649

Lot 37 RP (Part) in D.D 7, Kau Lung Hang, Tai Po

Site area: About 992sq.m

Zoning: "VTD"

Applied use: 27 Public Vehicle Park / 69 Panel Solar Photovoltaic System / 5 Years

Dear TPB Members,

Of course there are no OVTs on the site, or any vegetation for that matter, as it was trashed some time ago and used for parking.

The EV facilities are welcome but nothing more than some green wash to oil the wheels to approval.

Mary Mulivhill