

**Similar Applications within the Same “Residential (Group D)” Zone  
in the Vicinity of the Site**

**Approved Applications**

	<b>Application No.</b>	<b>Proposed Use(s) / Development(s)</b>	<b>Date of Consideration</b>	<b>Approval Conditions</b>
1.	A/NE-KTS/460	Proposed Houses	21.12.2018	(a), (b), (c), (d) and (g)
2.	A/NE-KTS/466	Proposed Residential Development and Minor Relaxation of Plot Ratio and Building Height Restrictions	13.12.2019	(a) to (f)
3.	A/NE-KTS/528	Proposed House Development	9.6.2023	(a), (b), (c), (d) and (g)
4.	A/NE-KTS/525	Proposed Residential Development and Minor Relaxation of Plot Ratio Restrictions	27.10.2023	(b) and (c)

- (a) The submission of a Noise Impact Assessment and implementation of the mitigation measures identified therein.
- (b) The submission of a revised Sewerage Impact Assessment and/or implementation of a sewerage connection proposal identified or provision of sewerage improvement works.
- (c) The submission and/or implementation of a drainage proposal/drainage measures.
- (d) The provision of water supplies for firefighting and fire service installations/submission and implementation of fire service installations and water supplies for fire-fighting.
- (e) The design and provision of vehicular access, car parking and loading/unloading facilities for the proposed development.
- (f) The design and provision of pedestrian crossing at Hang Tau Road outside the application site and a public footpath along the eastern boundary abutting the local road.
- (g) The submission and implementation of landscape proposal.

Comments from Relevant Government Departments

Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- (a) in general, with a view to ensuring the compliance with any proposed additional conditions under lease, it is the LandsD's requirement that any proposed additional conditions would only be considered to be incorporated under lease provided that there is a relevant bureau / department requesting for or in support of such additional conditions. Such bureau / department would be responsible for monitoring the grantee's compliance with such additional conditions. In the absence of such bureau / department's request or support, no additional conditions would be incorporated under lease for the proposed works;

Widening of local access road

- (b) according to paragraph 4.4 of the Planning Statement, a boundary set back of around 0.7m to 1.9m from the existing local access road along the western boundary of the Site is proposed to offer an opportunity to widen this section of local access road. For any proposed road widening works that would affect third party private lots, the applicant should demonstrate consent from the concerned private lot owners for the right of access, construction works, etc. have been obtained. As Transport Department considers that the proposed road widening would only bring insignificant traffic benefits to the road users in the community, in the absence of the concerned bureau/department's request or support, no conditions for road widening works would be incorporated under lease of the regrant lot of the land exchange application (if submitted);

Setback Area at the Egress/Ingress Point

- (c) he has no comment on the applicant's confirmation that the proposed setback area (marked as "other set back area 28m<sup>2</sup>") would be maintained and managed by the applicant and would not be surrendered to the Government; and

Septic Tank

- (d) the applicant should ensure the septic tank and any other private facilities should be erected on private lot boundary and free from any surrender requirement of the land exchange application (if submitted). LandsD will give detailed comment on the GFA at the stage of land exchange application (if submitted).

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

**To : Secretary, Town Planning Board**

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

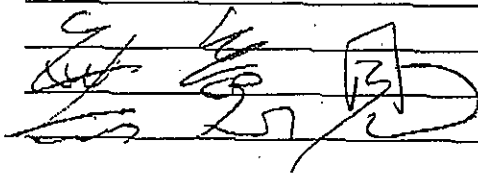
By e-mail : tpbpd@pland.gov.hk

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有關的規劃申請編號 The application no. to which the comment relates  
A/NE-KTS/538

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date 2024. 5. 17

Recommended Advisory Clauses

- (a) To note the comments of the District Lands Officer/North, Lands Department (LandsD) that the Site comprises 2 private lots namely Lot Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP, both in D.D. 94. Lot No. 407 S.A ss.2 S.A in D.D. 94 is held under Block Government Lease and demised as "Padi" for agricultural purposes, whereas Lot No. 408 S.B ss.1 RP in D.D. 94 is a New Grant agricultural lot held under Tai Po New Grant No. 2491. No structure is allowed to be erected without the prior approval of the Government. Should the subject planning application be approved, the lot owner should apply to the LandsD for a land exchange for implementation of the approved planning scheme. Such application will be considered by the LandsD acting in the capacity as landlord at its sole discretion and there is no guarantee that such application will be approved. If such application is approved, it will be subject to such terms and conditions as considered appropriate including but not limited to the payment of administrative fee and premium. In the event that the proposed boundary would be set back from the Site, the Applicant is required to clarify the management and maintenance issue of the concerned setback area. The applicant should clarify the extent of the adjoining private lots affected by the proposed road widening works. For any proposed road widening works that would affect third party private lots, the Applicant should demonstrate consent from the concerned private lot owners for the right of access, construction works, etc. have been obtained. The applicant should ensure the septic tank and any other private facilities should be erected on private lot boundary and free from any surrender requirement of the land exchange application (if submitted).
- (b) To note the comments of the Commissioner for Transport that the vehicular access between Hang Tau Road and the Site is not managed by the Transport Department. The management responsibility for this vehicular access, whether it will be widened or not, should remain unchanged. The applicant shall seek agreement/comment from the responsible party for the management and maintenance measures to be implemented for the vehicular access. The applicant should take all necessary measures to ensure that the tank lorries for desludging would not affect the normal traffic operation of the said access road and the pedestrian safety.
- (c) To note the comments of the Director of Environmental Protection that the Site is within unsewered area and surrounded by a cluster of similar housing development. There is an active brownfield operation in the vicinity to the Site. The applicant should take note of any possible fixed plant noise nuisance to the proposed house development.
- (d) To note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD) that the Site is in an area where no DSD stormwater drain and no public sewerage connection is available.
- (e) To note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that (i) the Site shall be provided with means of obtaining access thereto



from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively; (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage; (iii) if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BA, they are unauthorized building works (UBW) under the Buildings Ordinance (BO) and should not be designated for any proposed use under the captioned application; (iv) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under the BO; (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; the applicant's attention is also drawn to the provision under regulations 40, 41 and Part V of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of foul water and surface water and requirements of septic tanks respectively; (vii) site formation works are building works under the control of the BO. Before the proposed filling of land is to be carried out on the application site, the prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works. An Authorized Person should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and (viii) detailed checking under the BO including gross floor area exemption under regulation 23(3)(b) of the B(P)R for plant rooms with full justifications to be submitted will be carried out at building plan submission stage.

- (f) To note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the concerned site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines.
- (g) To note the comments of the Director of Fire Services that detailed fire services requirements will be formulated upon receipt of a formal submission of Short Term Tenancy/Short Term Waiver, general building plans or referral of application via relevant licensing authority. Furthermore, the Emergency Vehicular Access provision in the captioned work shall comply with the requirements as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by the Building Authority.

2024年 5月 3日

此文件在 收到・城市規劃委員會  
以傳真及文件形式正式接收及收到  
申請通知

This application was received on 3 MAY 2024.  
The Council will formally acknowledge  
the receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-1  
表格第 S16-1 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of "New Territories Exempted House(s)";**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401086 30/4 by hanel

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-KTS/538
	Date Received 收到日期	3 MAY 2004

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Chung Yick Tung Holding Limited

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Vision Planning Consultants Limited

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,018 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 486 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kwu Tung South Outline Zoning Plan No. S/NE-KTS/20
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group D)" Zone
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners" (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」(請夾附業權證明文件)。

☐ is not a "current land owner".  
並不是「現行土地擁有人」。

☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)".  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」。

(b) The applicant 申請人 –

☐ has obtained consent(s) of ..... "current land owner(s)".  
已取得 ..... 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on ..... (DD/MM/YYYY)<sup>#</sup>&  
於 ..... (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on ..... (DD/MM/YYYY)<sup>#</sup>&  
於 ..... (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on ..... (DD/MM/YYYY)<sup>#</sup>&  
於 ..... (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on ..... (DD/MM/YYYY)<sup>#</sup>&  
於 ..... (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project  
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☒ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供 (i) 類用			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計 .....		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘  Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土  Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土  Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

**(iii) For Type (iii) application 供第(iii)類申請**

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate  請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" data-bbox="518 1361 1439 1841"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)											

**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and also fill in the proposed use/development and development particulars in part (v) below –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☒ Plot ratio restriction From 由 .....0.4..... to 至 .....0.48.....  
地積比率限制
- ☐ Gross floor area restriction From 由 .....sq. m 平方米 to 至 .....sq. m 平方米  
總樓面面積限制
- ☐ Site coverage restriction From 由 .....% to 至 ..... %  
上蓋面積限制
- ☐ Building height restriction From 由 .....m 米 to 至 ..... m 米  
建築物高度限制  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction From 由 .....m to 至 ..... m  
非建築用地限制
- ☐ Others (please specify) .....  
其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed  
use(s)/development  
擬議用途/發展

Proposed House Development and Minor Relaxation of Plot Ratio  
Restriction

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

- Proposed gross floor area (GFA) 擬議總樓面面積 .....486..... sq.m 平方米 ☒About 約  
Proposed plot ratio 擬議地積比率 .....not more than 0.48..... ☐About 約  
Proposed site coverage 擬議上蓋面積 .....28.8..... % ☒About 約  
Proposed no. of blocks 擬議座數 .....2 (Main House + E&M & Guard Room).....  
Proposed no. of storeys of each block 每座建築物的擬議層數 .....not more than 2..... storeys 層  
☐ include 包括..... storeys of basements 層地庫  
☒ exclude 不包括.....1..... storeys of basements 層地庫  
(for ancillary E&M facilities and stormwater storage tank)  
Proposed building height of each block 每座建築物的擬議高度 .....mPD 米(主水平基準上) ☐About 約  
.....not more than 9..... m 米 ☐About 約  
(above ground level)



<input checked="" type="checkbox"/> <b>Domestic part 住用部分</b>		
GFA 總樓面面積	486 .....	sq. m 平方米
number of Units 單位數目	1 .....	
average unit size 單位平均面積	.....	sq. m 平方米
estimated number of residents 估計住客數目	about 8 .....	
<input type="checkbox"/> <b>Non-domestic part 非住用部分</b>		
<u>GFA 總樓面面積</u>		
<input type="checkbox"/> eating place 食肆	.....	sq. m 平方米
<input type="checkbox"/> hotel 酒店	.....	sq. m 平方米
(please specify the number of rooms 請註明房間數目) .....		
<input type="checkbox"/> office 辦公室	.....	sq. m 平方米
<input type="checkbox"/> shop and services 商店及服務行業	.....	sq. m 平方米
<input type="checkbox"/> Government, institution or community facilities 政府、機構或社區設施	(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)	
.....		
.....		
<input type="checkbox"/> other(s) 其他	(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)	
.....		
.....		
<input checked="" type="checkbox"/> <b>Open space 休憩用地</b>		
(please specify land area(s) 請註明地面面積)		
<input checked="" type="checkbox"/> private open space 私人休憩用地	206 .....	sq. m 平方米
<input type="checkbox"/> public open space 公眾休憩用地	.....	sq. m 平方米
<input type="checkbox"/> Not less than 不少於		
<input type="checkbox"/> Not less than 不少於		
<b>(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)</b>		
[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
2 (Main House + E&M & Guard Room)	B/F	E&M and stormwater storage tank
.....	G/F	Residential, E&M & Guard Room
.....	1/F	Residential
.....	.....	.....
.....	.....	.....
<b>(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途</b>		
Landscape Area, Car Parking Space		
.....		
.....		
.....		
.....		

**7. Anticipated Completion Time of the Development Proposal****擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

2027

**8. Vehicular Access Arrangement of the Development Proposal****擬議發展計劃的行車通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是          No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) ..... local village road <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是          No 否	<input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 ..... 2 Motorcycle Parking Spaces 電單車車位 ..... Light Goods Vehicle Parking Spaces 輕型貨車泊車位 ..... Medium Goods Vehicle Parking Spaces 中型貨車泊車位 ..... Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 ..... Others (Please Specify) 其他 (請列明) ..... ..... .....
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是          No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 ..... Coach Spaces 旅遊巴車位 ..... Light Goods Vehicle Spaces 輕型貨車車位 ..... Medium Goods Vehicle Spaces 中型貨車車位 ..... Heavy Goods Vehicle Spaces 重型貨車車位 ..... Others (Please Specify) 其他 (請列明) ..... ..... ..... <input checked="" type="checkbox"/>

## 9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是          No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																																				
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是          No 否</p>	<p><input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... 105 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... 2.9 ..... m 米 <input checked="" type="checkbox"/> About 約</p>																																				
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<p>On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明) No sewerage impact</p>	<table border="0"> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> </table> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>
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Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>																																			
Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>																																			

## 10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

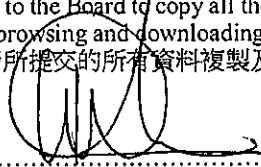
Please refer to the Planning Statement.

**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Mr. Kim On CHAN

Managing Director

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☒ Fellow of 資深會員

專業資格

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☒ RPP 註冊專業規劃師 #29

Others 其他

on behalf of  
代表

Vision Planning Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）



Date 日期

30/04/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.  
申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>⑥</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

⑥ Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該靈灰安置所內，總共最多可安放多少份骨灰。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories		
Site area 地盤面積	1,018 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)		
Plan 圖則			
Zoning 地帶	Approved Kwu Tung South Outline Zoning Plan No. S/NE-KTS/20		
Applied use/ development 申請用途/發展	Proposed House Development and Minor Relaxation of Plot Ratio Restriction from 0.4 to 0.48		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	486 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.48 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	2 (Main House + E&M & Guard Room)	
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	9	m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		2  1	Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input checked="" type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input checked="" type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	28.8 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	1		
(vi) Open space 休憩用地	Private 私人	206 (landscape area) sq.m 平方米	<input checked="" type="checkbox"/> Not less than 不少於
	Public 公眾		sq.m 平方米 <input type="checkbox"/> Not less than 不少於



(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/>	2
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/>	

**Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件**

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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*Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories*

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**Proposed 'House (not elsewhere specified)'  
Development and Proposed Minor Relaxation of  
Maximum Plot Ratio Restriction  
in "Residential (Group D)" Zone at  
Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP  
in D.D. 94, Hang Tau Tai Po,  
Kwu Tung South, New Territories**

Applicant	:	Chung Yick Tung Holding Limited
Project Manager	:	Gender Consultants Limited
Planning Consultant	:	Vision Planning Consultants Limited
Project Architect	:	Leadtops Raymond Limited
E&M Consultant	:	WEC Engineering Consultants ( International ) Ltd.
Date of Submission	:	30 April 2024

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## **Executive Summary**

This planning application aims to seek a permission of the Town Planning Board ("TPB") for a proposed 'House (not elsewhere specified)' development and proposed minor relaxation of maximum plot ratio ("PR") restriction from 0.4 to 0.48 (i.e. an increase of 20%) in "Residential (Group D)" ("R(D)") zone on the Approved Kwu Tung South Outline Zoning Plan No. S/NE-KTS/20 ("OZP") at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94 ("Subject Site"), Hang Tau Tai Po, Kwu Tung South, New Territories.

The proposed development comprises only one 2-storey (9m tall including hip roof structure) house which totally complies with the statutory planning requirements set out in the OZP with respect to the maximum building height restriction. A 2.5m tall solid fence wall is proposed to enhance the privacy and security of the development. To tackle the fire fighting, interim sewage disposal and potential flooding issues, proper on-site sprinkler system in association with underground fire sprinkler tank and pump room, soakaway system, and on-site underground stormwater storage tank and stormwater storage pump room are also proposed.

It has been demonstrated that the proposed increase in plot ratio by 20% is minor in nature and will not result in any consequential significant impact on the local area with respect to visual, traffic, sewerage or drainage aspects. The approval of two previous planning applications for the same increase in plot ratio within the same "R(D)" site by the TPB has already proved that the proposed increase in plot ratio by 20% is acceptable from the land-use planning point of view. The Applicant has reasonable expectation that same land-use planning treatment should also be shared in the present planning application. The proposed set back from the existing local access road in the west to offer an opportunity to widen this section of local access road up to 6m wide will no doubt contribute direct benefits to all local road users in the area.

## 行政摘要

(內文如有差異，以英文為準)

本規劃申請旨在懇請城市規劃委員會（下稱「**城規會**」）批准，就擬議的屋宇發展及擬議略為放寬最高地積比率限制，由 0.4 放寬至 0.48（即增幅 20%）。申請地點位於新界 古洞南 坑頭大布丈量約份第 94 約地段第 407 段 A 分段第 2 小分段 A 分段及 408 段 B 分段第 1 小分段餘段（以下簡稱為「**申請地點**」），屬於「古洞南分區計劃大綱核准圖編號 S/NE-KTS/20」（以下簡稱為「**大綱核准圖**」）的「住宅（丁類）」用途地帶。

擬議發展方案是按照規劃高限要求而設計的一幢兩層（9 米高，包括四坡屋頂結構高度）住宅房屋。為加強該住宅發展的隱私及保安功能，一幅 2.5 米高堅實圍牆因此而提出。在處理滅火，短期污水處理及防洪問題上，相關符合規範的消防花灑系統連地下消防花灑水缸和抽水機房，滲水污水井，以及地下蓄雨水缸和抽水機房，都相應提出，完滿解決。

本規劃說明書已證實，擬議放寬 20% 最高地積比率限制的性質，是屬於輕微，並不會對該區帶來嚴重不良的視覺景觀、交通、環境、排污排放或雨水排放的影響。早前「城規會」在同一幅「住宅（丁類）」用途地帶，批准了兩個同類的規劃申請，清楚證實增加 20%容積率，從土地用地規劃角度來看，是可以接受的調整。申請人有合理期望，本規劃申請應該得到相同的土地用地規劃對待。擬議的後退西部界線，旨在提供一個機會把這段道路可以擴闊至 6 米寬，令當區道路使用者可以受惠。

## **1. The Purpose**

- 1.1 Vision Planning Consultants Limited has been commissioned by Chung Yick Tung Holding Limited (the "**Applicant**"), the registered owner of Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94 (hereinafter collectively called the "**Subject Site**"), Hang Tau Tai Po (坑頭大布), Kwu Tung South, New Territories, to prepare and to submit this planning application on its behalf.
- 1.2 The purpose of this planning application aims to seek a planning permission of the Town Planning Board ("**TPB**") for a proposed **one** 2-storey (9m tall including hip roof structure) private residential house development [i.e. being classified as 'House (not elsewhere specified)' land use item under the present planning system] and proposed minor relaxation of the maximum plot ratio ("**PR**") restriction from 0.4 to 0.48 (an increase of 20%) at the Subject Site. The location of the Subject Site is shown in **Figure 1**. **Figure 2** and **Figure 3** are the lot plans of the Subject Site.
- 1.3 The Subject Site falls within an area zoned "Residential (Group D)" ("**R(D)**") on the Approved Kwu Tung South Outline Zoning Plan No. S/NE-KTS/20 (the "**OZP**") (**Figure 1**). According to the Notes of the OZP for "R(D)" zoning, the proposed 'House (not elsewhere specified)' is a Column 2 use and the Remark (b) of the same Notes also states: "*.....no development .....shall result in .....excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m).*" (**Appendix I**).
- 1.4 The present proposed 'House (not elsewhere specified)' development and proposed relaxation of PR up to 0.48 hence require a planning permission from the TPB under Section 16 of the Town Planning Ordinance.
- 1.5 To facilitate Members of the TPB to understand the proposed development scheme, this planning statement includes: a brief background of the site context and its surrounding developments, an indicative development scheme, relevant impact reviews with respect to drainage and sewerage aspects, and planning justifications.

## **2. THE SITE AND ITS SURROUNDINGS**

- 2.1 The Subject Site comprises two private lots as highlighted in paragraph 1.1 above (**Figure 2** and **Figure 3**). It covers a total land area of about 1,018m<sup>2</sup> (**Figure 3**). It is situated in the middle of Hang Tau Tai Po and is about 200m east of



Sheung Yu River (雙魚河) (**Figure 1**). It is surrounded a mixture of rural domestic structures (partly with active small-scale domestic agricultural activities), unused (or vacant) sites, and low-rise housing developments. At present, the Subject Site is vacant (**Figure 4**).

- 2.2 It is understood that the Subject Site was previously covered a cluster of single-storey livestock farming structures. These on-site structures were cleared in mid-2018. In order to avoid any unauthorised dumping or trespass activities, the Subject Site, together with its adjoining land area, has been fenced off with corrugated galvanised sheets as shown in **Figure 4**.
- 2.3 No tree has been identified within the Subject Site. The Subject Site is being served by a local access road (about 4m to 7m in width) linking Kwu Tung Road via Hang Tau Road and Kam Hang Road (**Figure 1** and **Figure 4**). The section of local access road fronting the Subject Site has a width ranged from about 4m to more than 6m. Local drainage system has already provided underneath and within the local access road, as shown in photos 3-6 in **Figure 4**. Within a radius catchment of 250m from the Subject Site, no public sewer manhole is available.
- 2.4 A Green Minibus (**GMB**) Route, namely No. 50K, is presently running MTR Sheung Shui Station to Hang Tau Village. The closest GMB stop to the Subject Site is located about 200m away to its southeastern (**Figure 4**).

### **3. PLANNING CONTEXT**

- 3.1 As mentioned in paragraph 1.3 above, the Subject Site falls within an area zoned "R(D)" on the OZP (**Figure 1**) and the Notes of the OZP for "R(D)" zoning (**Appendix I**) states clearly that the primarily planning intention for zoning is for *"improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments ..."*
- 3.2 In the same Notes, the proposed 'House (not elsewhere specified)' is a Column 2 use, which may be approved with or without conditions on application to the TPB under section 16 of the Town Planning Ordinance. As such, the proposed development at the Subject Site requires a planning permission from the TPB.
- 3.3 In addition, the maximum PR and building height of the Subject Site are being restricted to 0.4 and 3 storeys (9m) respectively (**Appendix I**). However, paragraph (e) in the Remarks of the same Notes, it states: *"Based on the individual*

*merits of a development or redevelopment proposal, minor relaxation of the plot ratio and/or building height restriction(s) stated...may be considered by the Town Planning Board...".* In view of this, the proposed minor relaxation of the maximum plot ratio restriction from 0.4 to 0.48 (i.e. an increase of 20%) also requires a permission from the TPB.

- 3.4 The Subject Site has no previous planning application record.
- 3.5 As shown in **Figure 1**, four similar planning applications (i.e., No. A/NE-KTS/460, A/NE-KTS/466, A/NE-KTS/525 and A/NE-KTS/528) located in close proximity to the Subject Site within the same "R(D)" site were approved with conditions by the TPB since 2018.
- 3.6 **Table 1** summarises the details of these four approved applications.

**Table 1: Details of Four Similar Approved Planning Applications**

No.	Proposed Use	Date of Decision
1. A/NE-KTS/460	House Development	21.12.2018
2. A/NE-KTS/466	Residential Development and Minor Relaxation of Maximum PR (from 0.4 to 0.48) and Building Height Restrictions	13.12.2019
3. A/NE-KTS/525	Residential Development (Houses) and Minor Relaxation of Maximum PR (from 0.4 to 0.48) Restriction	27.10.2023
4. A/NE-KTS/528	House Development	9.6.2023

- 3.7 It is noted that two out of these four planning applications (i.e. Nos. 2 and 3) involved minor relaxation of maximum plot ratio restriction from 0.4 to 0.48, which is exactly the same relaxation level as that in the present application.

#### **4. INDICATIVE DEVELOPMENT PROPOSALS**

##### ***The Scheme***

- 4.1 The proposed development scheme contains only one 2-storey (9m tall) house characterised by hip roof design. With a total land area of about 1,018m<sup>2</sup> and a proposed plot ratio of 0.48, a total domestic gross floor area ("GFA") of about 488.64m<sup>2</sup> will be yielded in optimal calculation. However, the present proposed scheme will only generate a total GFA of about 486m<sup>2</sup> (i.e. slightly less than 488.64m<sup>2</sup>). It is anticipated that if everything goes smooth, the whole project under application will complete by 2027.

- 4.2 **Figures 5, 6, 7, 8 and 9** show the Master Layout Plan (MLP), basement E&M facilities to be served by cat ladders, Ground Floor (G/F), First Floor (1/F) and Roof Floor (R/F) Plans of the proposed development respectively. **Figure 10** shows the front and side elevation diagrams of the proposed house development. The Section Diagrams of the proposed development are illustrated in **Figure 11** and **Figure 12**.
- 4.3 A 2.5m tall solid fence wall is proposed for better and greater security and privacy purposes (**Figure 5** and **Figure 7**). The overall building height of the proposed development including the hip roof structure is 9m (**Figures 10, 11** and **12**).
- 4.4 A boundary set back of around 0.7m to 1.9m from the existing local access road alongside the western site boundary is proposed to offer an opportunity to widen this section of local access road up to 6m wide (**Figure 5**).
- 4.5 **Table 2** outlines the key development parameters of the proposed development.

**Table 2: Key Development Parameters of the Proposed Development**

Item	
1. Site Area	About 1,018m <sup>2</sup>
2. Plot Ratio	Not more than 0.48
3. Total Domestic GFA	About 486m <sup>2</sup> (<488.64m <sup>2</sup> )
4. Site Coverage	About 28.8%
5. No. of Blocks	2 (Main House + E&M & Guard House)
6. Building Height	Not more than 9m
7. Number of Storeys	2 storeys plus 1-level of basement (for ancillary E&M facilities and stormwater storage tank)
8. Green Coverage	About 20.236% (>20%)
10. Total Car Parking Spaces	2 private car parking spaces
14. Anticipated Completion Year	2027

#### ***Internal Traffic Arrangements***

- 4.6 A 4.5m wide main vehicular egress/ingress point is proposed at the south-western of the Subject Site as shown in **Figures 5** and **7**. To facilitate easy and safety vehicular and pedestrian movements to and from the proposed development, so as the other local road users in future, the Applicant proposes to provide additional set back area at this entrance point (**Figure 5**). Two on-site car parking spaces are planned to meet the daily needs of the proposed development during operational phase (**Figures 5** and **7**).

#### ***Sewage Disposal Proposals***

- 4.7 As mentioned in paragraph 2.3 above, the nearest public sewer manhole in this

part of the Hang Tau Tao Po area is located over 250m away from the Subject Site. In view of this, an interim measure, by means of provision of on-site septic tanks with soakaway pit system, is proposed to cater for the sewage disposal to be generated by the proposed development. The size and the location of the proposed septic tank and soakaway pit are shown in **Figures 6 and 7**. **Appendix II** is the Sewage Treatment Proposal for the proposed development. This on-site sewage disposal system will be disused once an extension of the existing local public sewer system is available in future.

#### ***Drainage Arrangements***

- 4.8 The results of the Drainage Proposals (**Appendix III**), with the provision of the proposed on-site stormwater collection system, no significant adverse or unacceptable drainage impact on the local area is anticipated. The proposed on-site drainage system divides the whole catchment into two portions (i.e. one portion will collect the surface runoff from the western portion of the Subject Site and convey them to the existing drainage channel outside the Subject Site; and the other portion will collect the surface runoff in the eastern portion of the Subject Site and then convey them into the proposed underground stormwater storage tank. **Figure 6** shows the location and dimensions of these drainage facilities. Details of the drainage proposals are in **Appendix III**.

#### ***Fire Fighting Proposals***

- 4.9 As the width of many sections of the local access road connecting to the Subject Site from Hang Tau Road are substandard at the present moment, and to address the potential fire fighting issue, the Applicant proposes to provide an on-site fire sprinkler system with underground fire sprinkler tank and pump room (**Figure 6**). A row of pillar box, sprinkler control valve cabinet, sprinkler inlet cabinet and water meter cabinet are also proposed alongside the north-western end of the proposed development (**Figure 7**).

#### ***Landscape Aspect***

- 4.10 There is no existing tree within the Site. The proposed development will not involve any tree felling and tree transplant works. A total greenery area of about 206m<sup>2</sup> (or about 20.2% of green coverage) are provided within the Subject Site (**Figure 7**).

## **5. PLANNING JUSTIFICATIONS**

#### ***In-line with the Planning Intention***

- 5.1 Paragraph 3.1 above has mentioned that the Subject Site falls within an area

zoned "R(D)" which intends primarily for *"....improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings"* and *"....is also intended for low-rise, low-density residential developments"*.

- 5.2 Apart from the proposed relaxation of the maximum PR restriction from 0.4 to 0.48 (an increase of 20%), the number of building storeys and the building height of the proposed development fully comply with the planning requirements set out in the Notes of the OZP for "R(D)" zoning as outlined in paragraph 3.3 above.
- 5.3 It is noted that between 2019 and 2023, the TPB approved with conditions two previous planning applications (i.e. Application Nos. A/NE-KTS/466 and A/NE-TKS/525) for relaxation of the maximum plot ratio restriction from 0.4 to 0.48 within the same "R(D)" site (**Table 1** and **Figure 1** above).
- 5.4 The approval of these two previous planning applications has already proved that the proposed relaxation of the maximum restriction plot ratio from 0.4 to 0.48 is being acceptable in and compatible with the local land use planning context, and the degree of increase in plot ratio restriction is considered minor in nature and will not result in any unacceptable consequential effect on the area.
- 5.5 In view of the above and having considered the nature of the overall proposed development is low-rise, low-density residential development, the proposed development scheme under application is fully in line with the primarily planning intention of the "R(D)" zone.
- 5.6 Therefore, it has a reasonable expectation that the same land use planning treatment given by the TPB on the previously two planning applications, as mentioned above, should also be shared in the present planning application.

### ***No Consequential Significant Impact***

#### Nil Visual Impact

- 5.7 The proposed development is only one 2-storey (9m) house development. It complies totally with the building height restriction set out for the Subject Site. The proposed 2.5m tall solid fence wall aims only for provide better and greater level of security and privacy of the development during operational phase. The height of this fence wall is commonly found in many residential developments in the area. No unacceptable visual bulkiness is anticipated due to the proposed development at this part of the Hang Tau Tai Po area.

#### Insignificant Traffic Impact

- 5.8 The proposed development comprises only one 2-storey house. Only two on-site car parking spaces are proposed for the daily operational need. It is definitely not envisaged that the proposed development will generate any significant adverse traffic impact on the local road system.
- 5.9 The proposed set back of around 0.7m to 1.9m from the existing local access road intends to offer an opportunity to widen this section of local access road up to 6m wide. It is considered a most achievable **planning gain** to all road users in the community.

#### Nil Drainage/Sewerage Disposal Impact

- 5.10 The results of the sewerage and drainage proposals in **Appendix II** and **Appendix III** have demonstrated that with the provision of the proposed on-site sewerage and drainage systems, no unacceptable sewerage or drainage impact will be resulted from the proposed development.

### **6. CONCLUSION**

- 6.1 This planning application aims to seek a permission of the TPB for a proposed 'House (not elsewhere specified)' development with minor relaxation of maximum plot ratio ("PR") restriction from 0.4 to 0.48 (an increase of 20%) at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories.
- 6.2 The proposed development comprises only one 2-storey house. The total building height of the proposed development is 9m (including hip roof structure). The proposed building height complies fully with the statutory planning requirement set out in the OZP.
- 6.3 It has been demonstrated that the proposed scheme is fully in-line with the planning intention of the area; and the proposed development is acceptable in and compatible with the surrounding developments from land use planning standpoint. The approval of this planning application will not result in any significant adverse consequential impact or unacceptable effect on the local area in terms of traffic, sewerage, drainage, landscape or visual aspects.
- 6.4 The approval of this planning application will offer direct benefits to all local road users in the community as far as the local road safety and future road

widening works are being concerned.

- 6.5 In view of the above, we respectfully request the TPB to give a favourable consideration to approve this application to enable the Applicant to implement its proposed development at the Subject Site as early as possible.

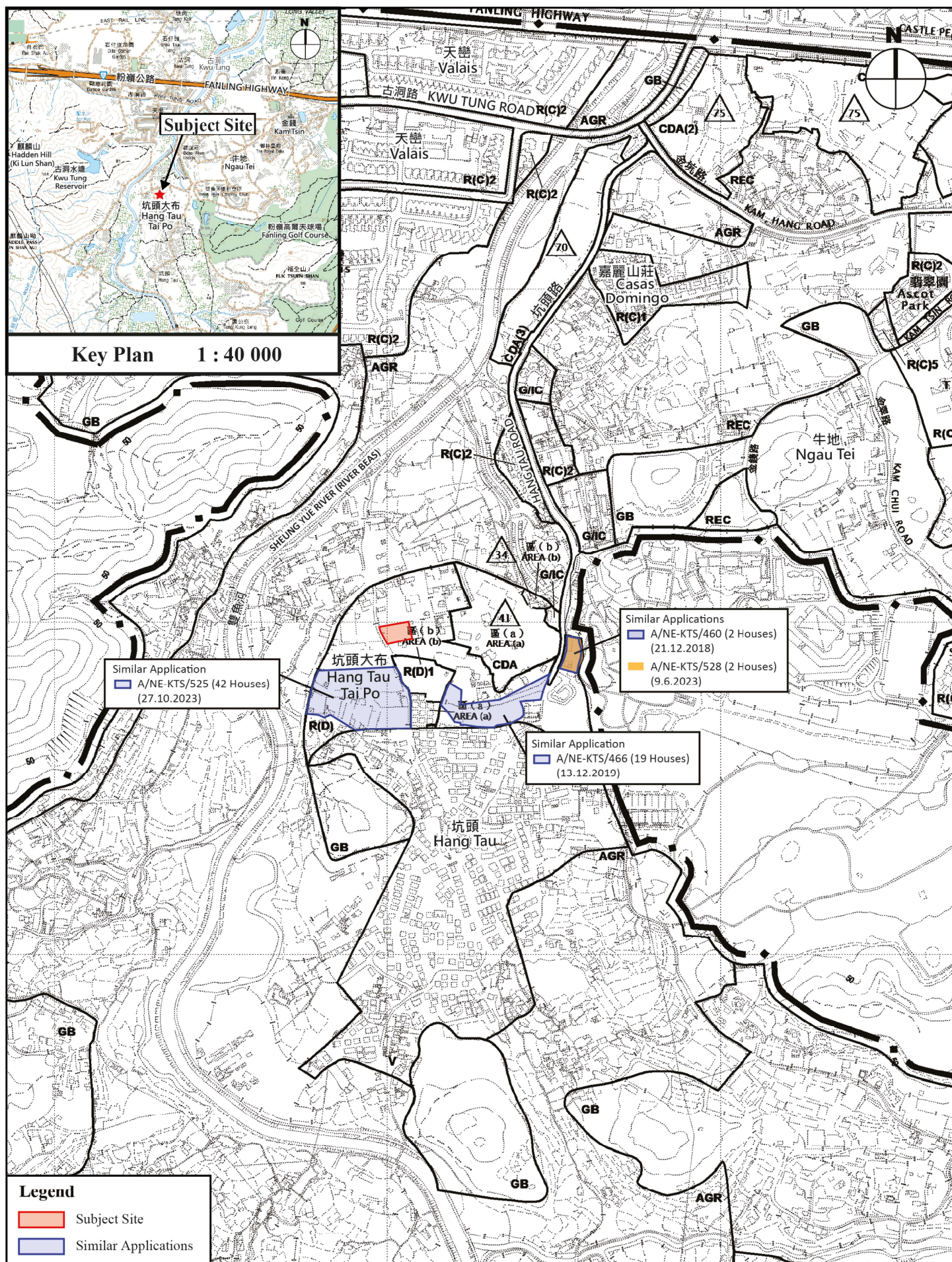
**Vision Planning Consultants Limited**

**30 April 2024**

## Figures

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## Site Location Plan

(Extract from the Approved Kwu Tung Outline Zoning Plan No. S/NE-KTS/20)

Figure 1

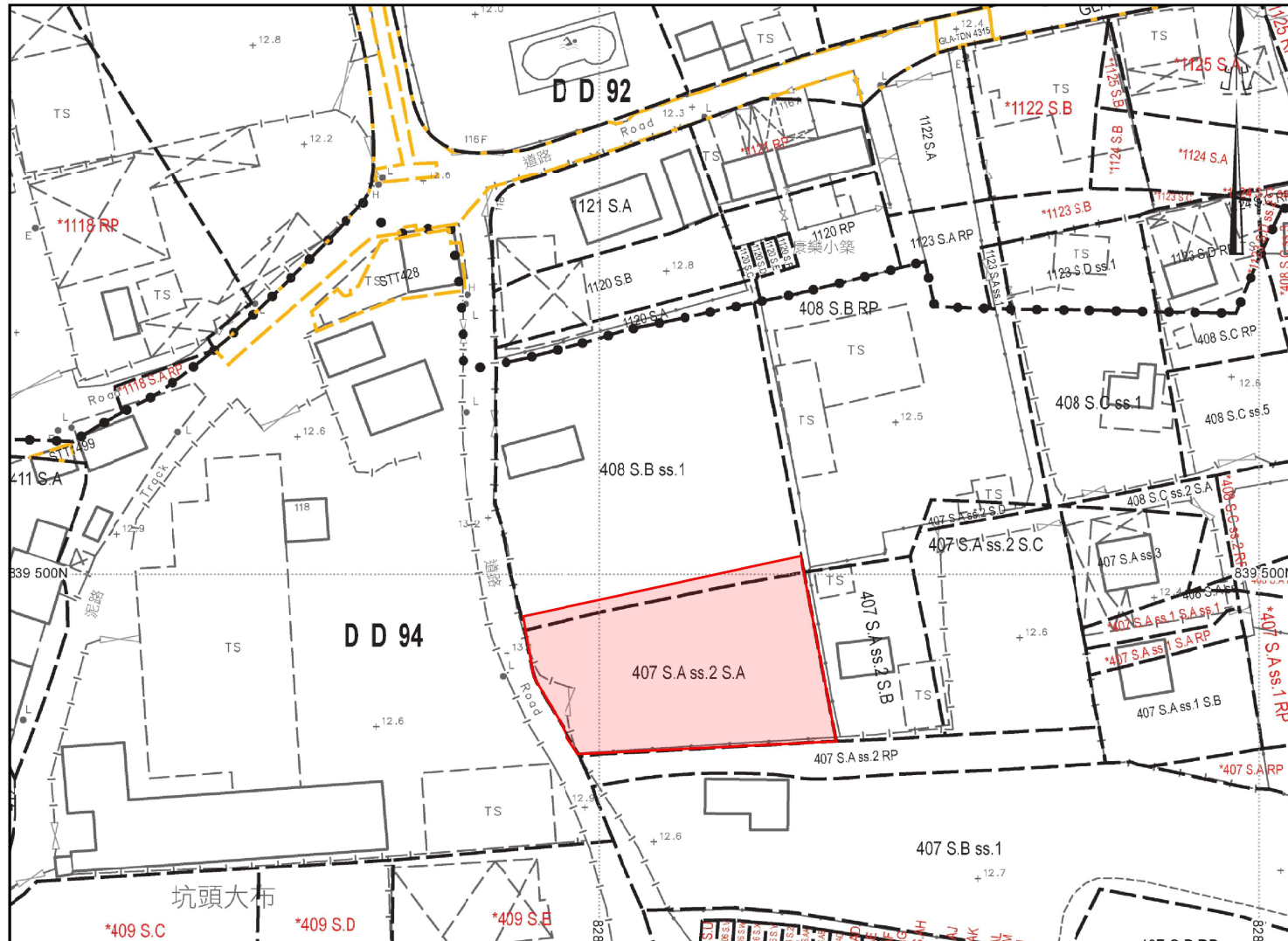
1 : 7 500

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# 地段索引圖 LOT INDEX PLAN



## Legend

Subject Site

## Lot Index Plan of the Subject Site

(Base Plan Extracted from the Lot Index Plan

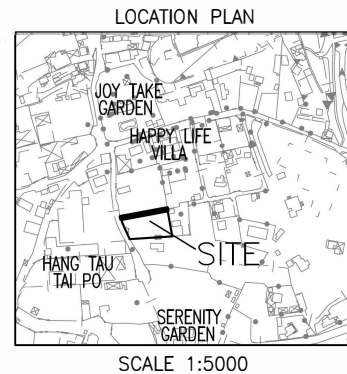
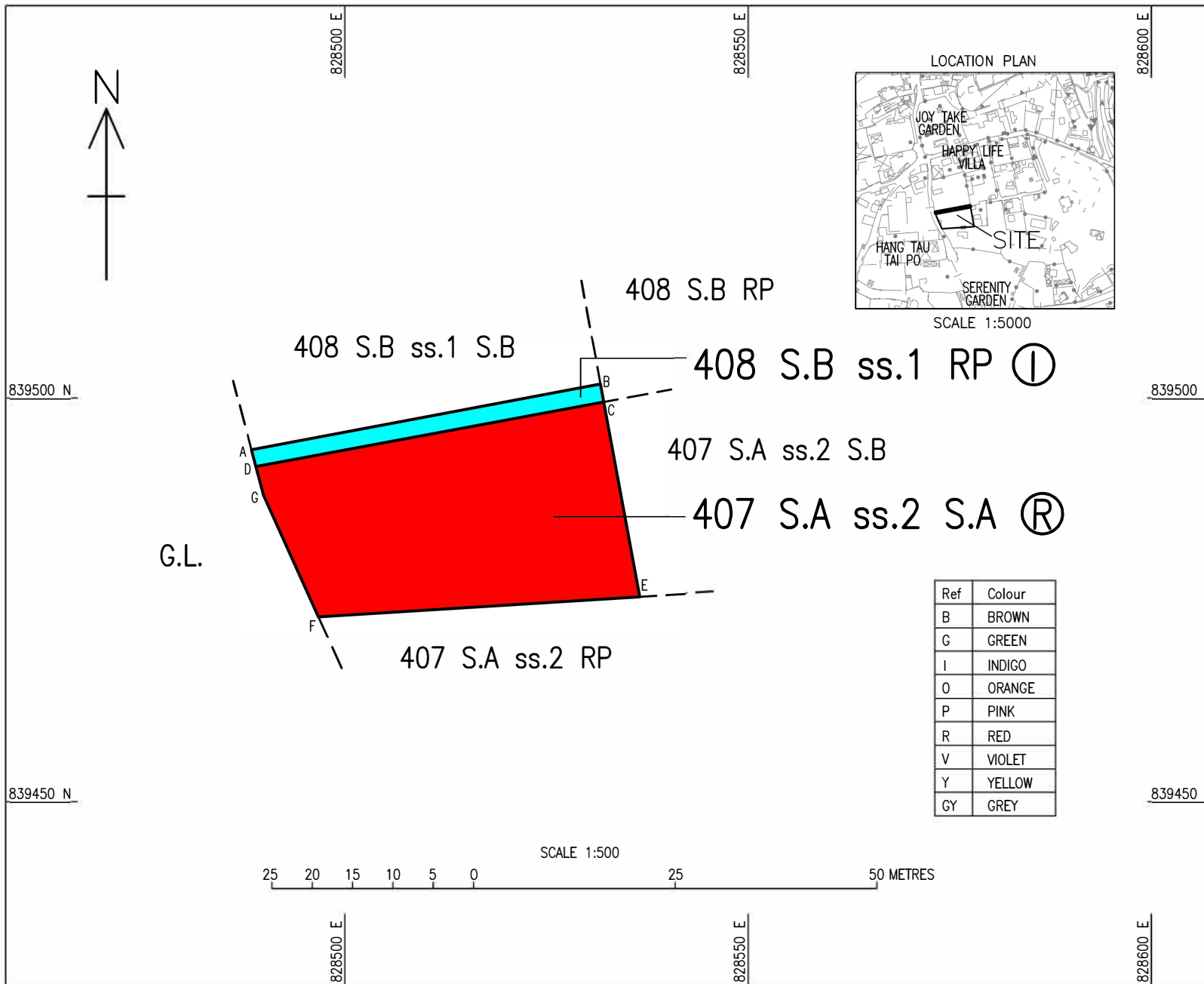
No. ags\_S00000111041\_0001)

## Figure 2

1 : 1 000

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LOT COORDINATES & DIMENSIONS				
Boundary Point	Bearing	Distance in metres	Northing	Easting
SUBJECT LOT NO. - LOT 407 S.A ss.2 S.A IN D.D.94				
D			839491.591	828488.990
C	79°31'10"	43.826	839499.563	828532.085
E	169°31'10"	24.486	839475.486	828536.539
F	266°26'22"	39.886	839473.009	828496.730
G	335°40'08"	16.497	839488.041	828489.933
D	345°07'26"	3.673	839491.591	828488.990
AREA = 921.0 sq.m. (about)				
SUBJECT LOT NO. - LOT 408 S.B ss.1 RP IN D.D.94				
A			839493.671	828488.438
B	79°21'11"	43.998	839501.800	828531.678
C	169°41'33"	2.273	839499.563	828532.085
D	259°31'10"	43.826	839491.591	828488.990
A	345°08'07"	2.152	839493.671	828488.438
AREA = 97.0 sq.m. (about)				

TABLE OF AREA	
LOT	AREA
LOT 407 S.A ss.2 S.A (colored red)	921.0 sq. m (About)
LOT 408 S.B ss.1 RP (colored indigo)	97.0 sq. m (About)

I, WONG YIU CHO JOSEPH, an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap.473), hereby certify that this land survey plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the tenth day of August 20 23.

Dated this twenty-first day of August 20 23

Authorized Land Surveyor





**The Site and its Surroundings**

(Extracted from Government Survey Sheet Nos.: 2-SE-9D & 2-SE-10C & 2-SE-14B & 2-SE-15A and Aerial Photo No. 2022\_E146423C taken by Lands Department on 19 Jan 2022)

**VISION**  
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**Figure 4**

**1: 2 000**



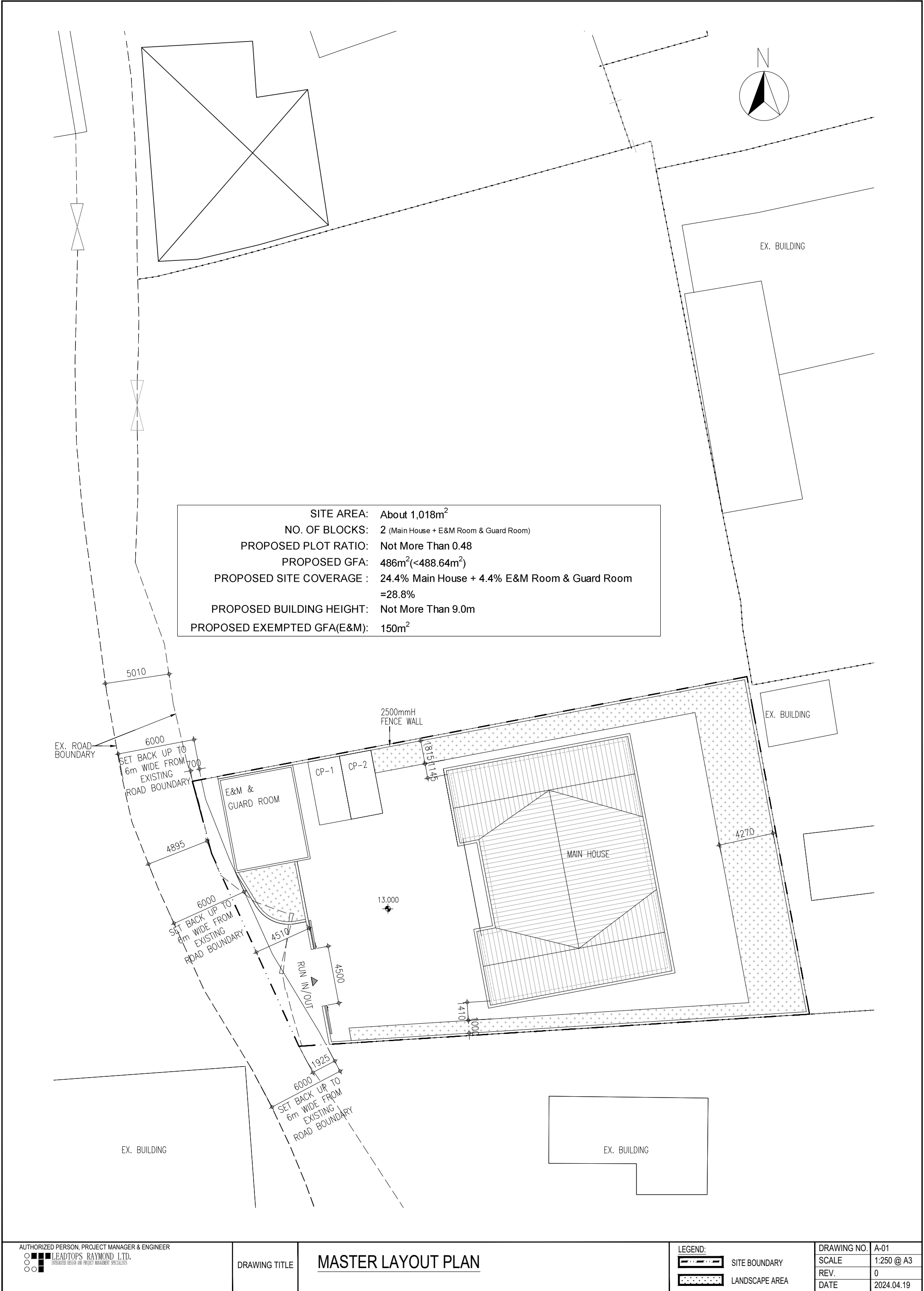


Figure 5 - Master Layout Plan

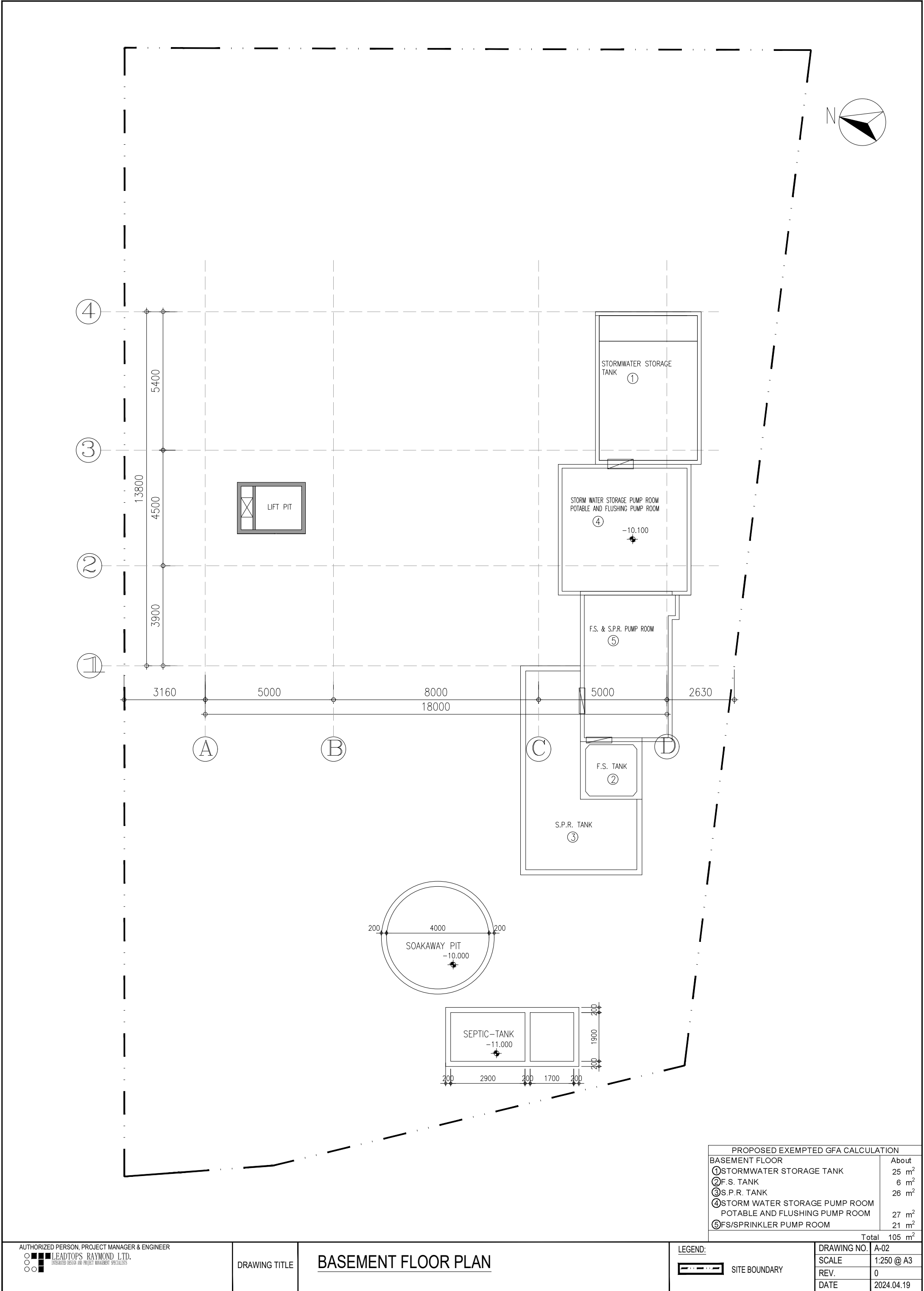
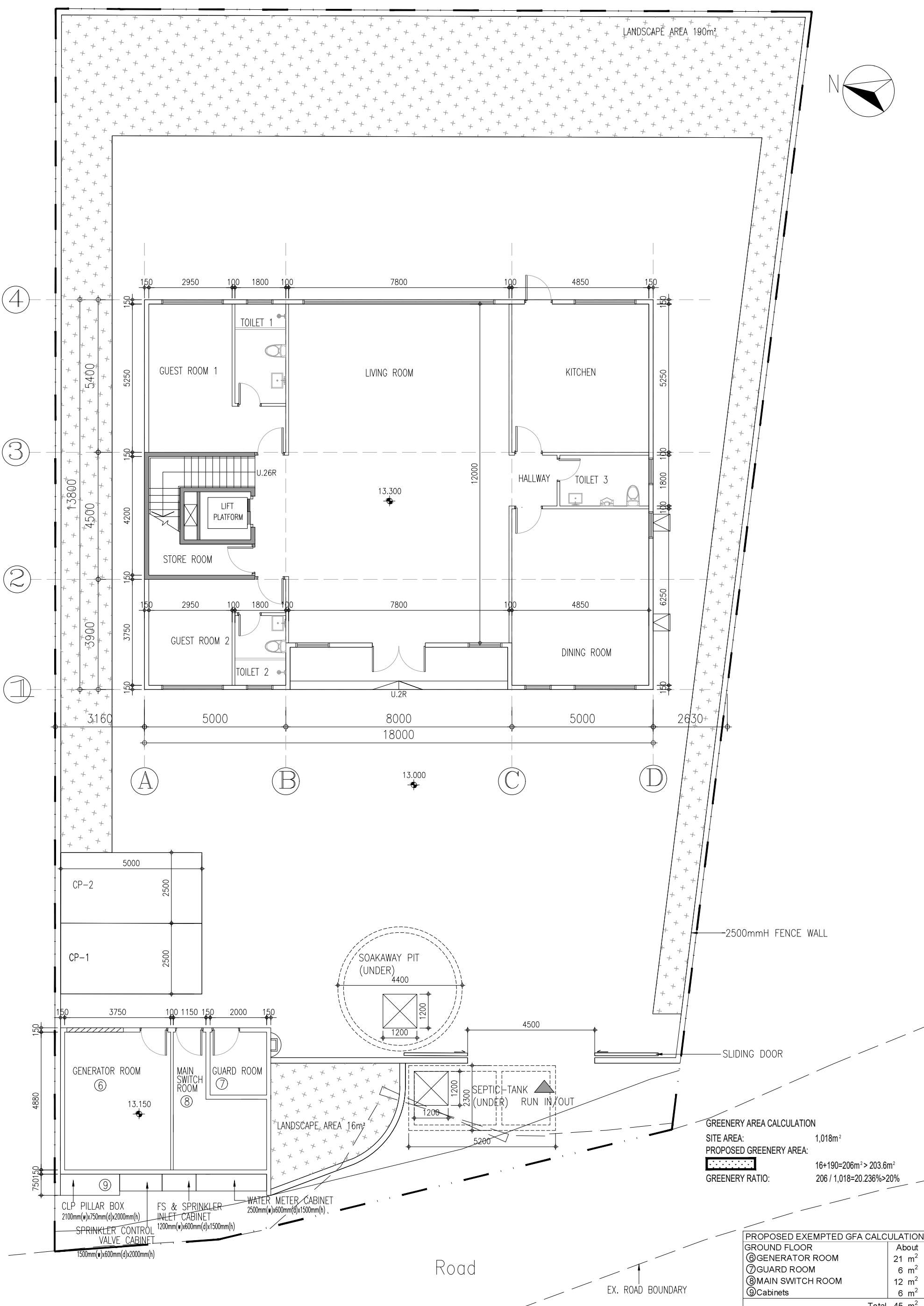


Figure 6 - Basement Floor Plan



GREENERY AREA CALCULATION	
SITE AREA:	1,018m²
PROPOSED GREENERY AREA:	16+190=206m² > 203.6m²
GREENERY RATIO:	206 / 1,018=20.236%>20%
PROPOSED EXEMPTED GFA CALCULATION	
GROUND FLOOR	About
⑥ GENERATOR ROOM	21 m²
⑦ GUARD ROOM	6 m²
⑧ MAIN SWITCH ROOM	12 m²
⑨ Cabinets	6 m²
Total 45 m²	

Figure 7 - Ground Floor Plan

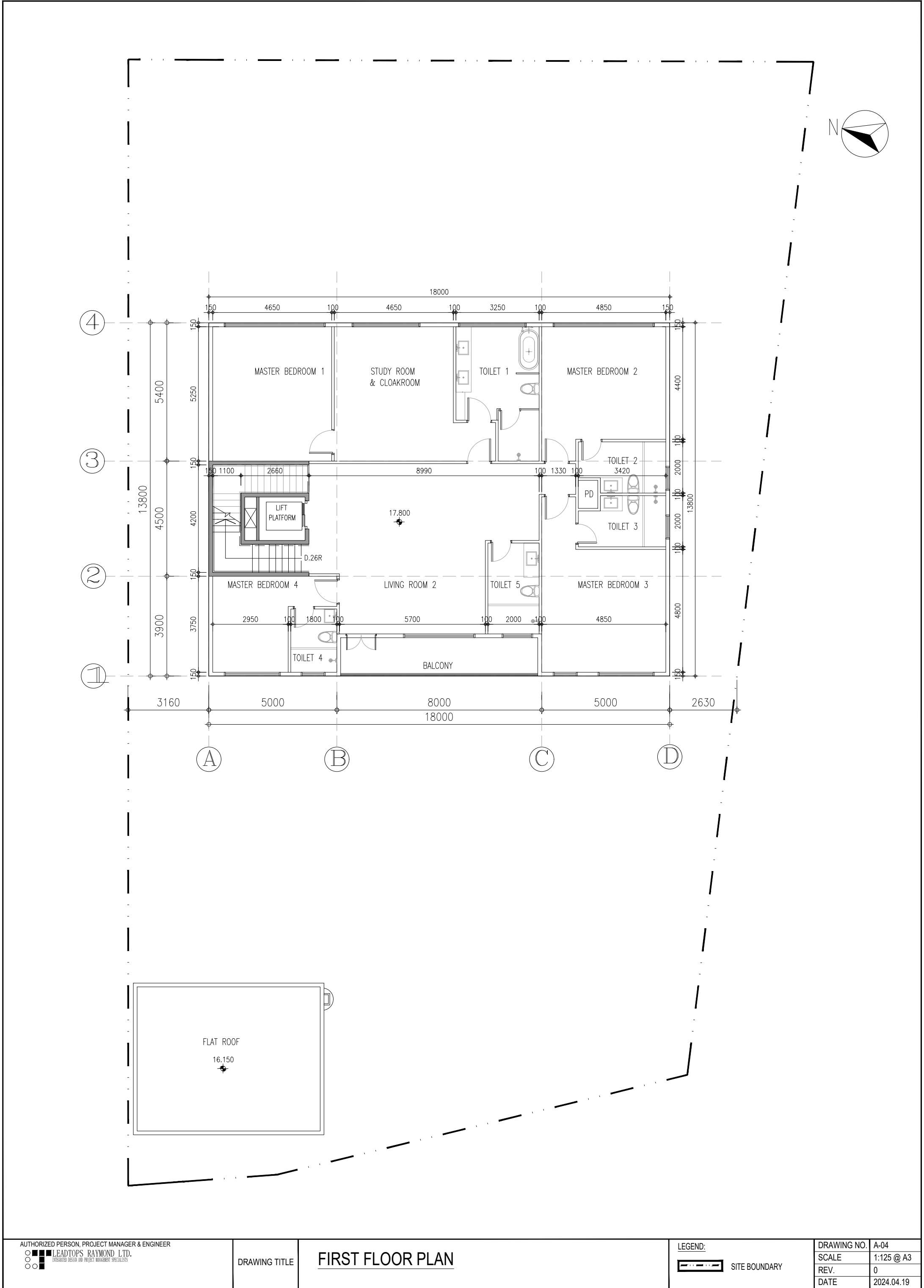


Figure 8 - First Floor Plan



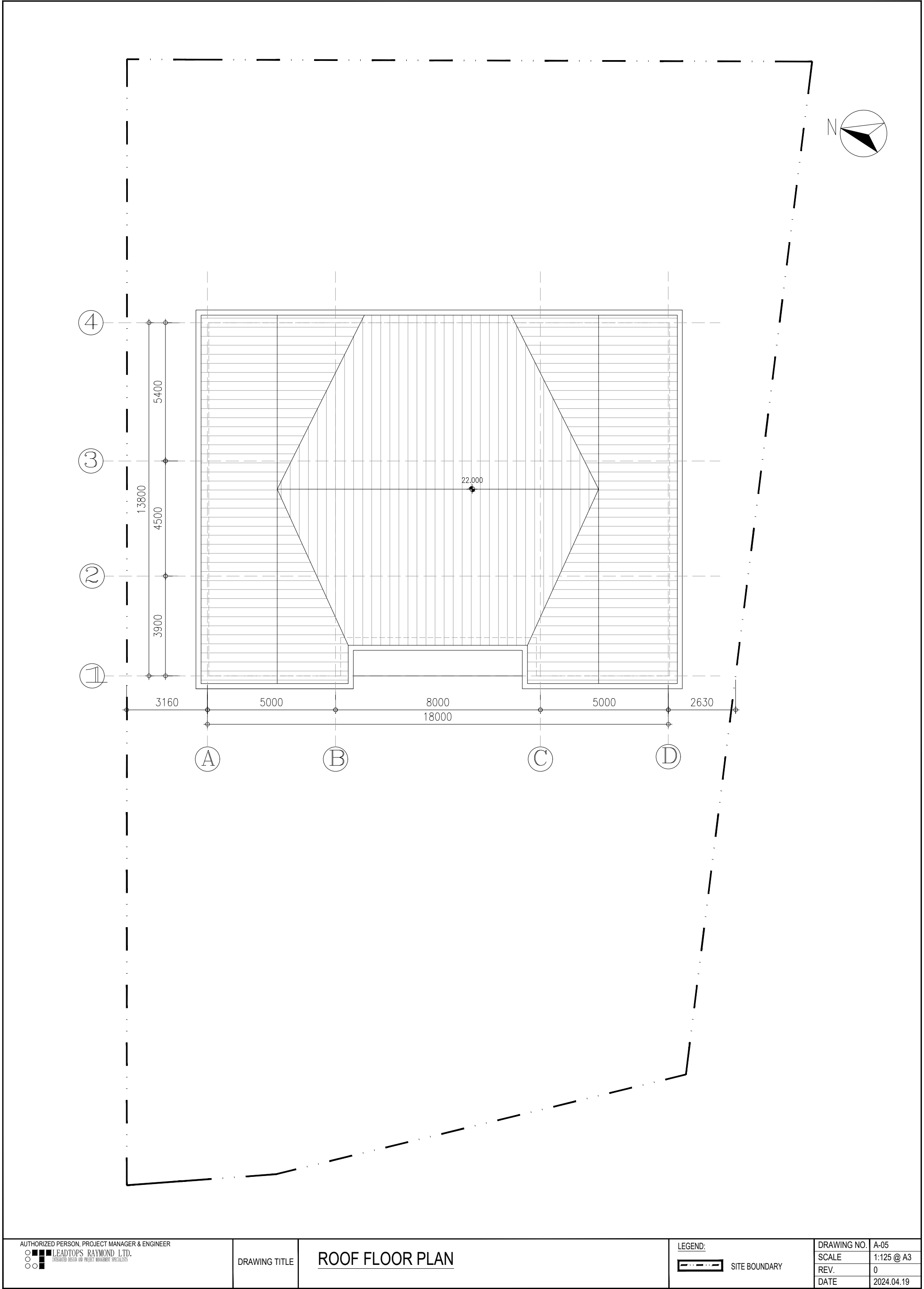
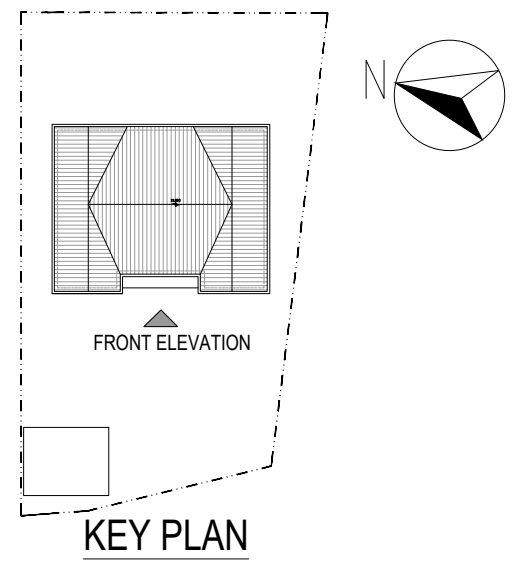


Figure 9 - Roof Floor Plan



Architectural elevation drawing of a building facade. The drawing includes vertical dimensions on the left and horizontal dimensions at the top. The roof is hatched. The facade has two windows on the upper floor and two on the lower floor. The drawing is labeled with 'R00F', '1/F', and 'G/F'.

Vertical dimensions (from bottom to top):

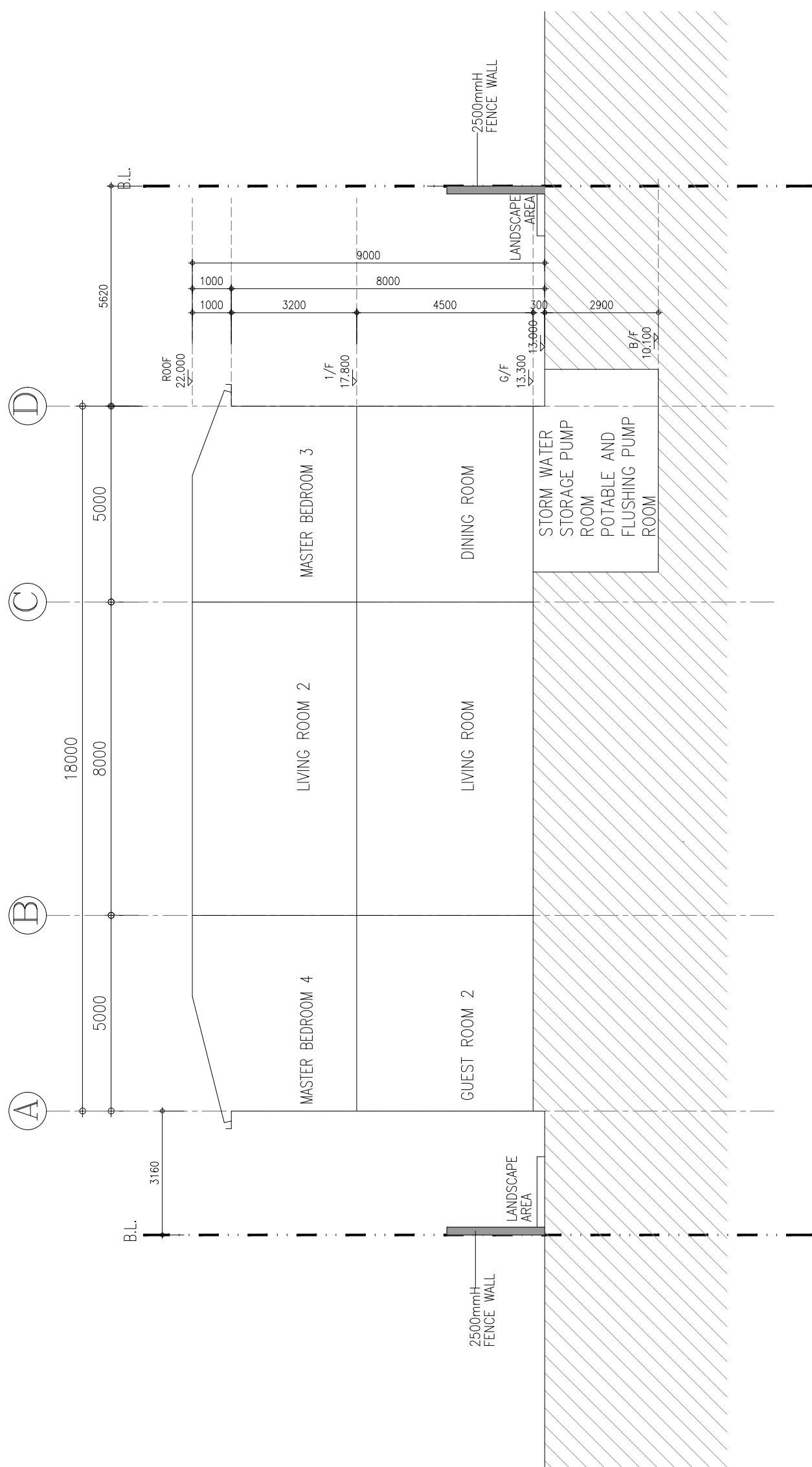
- 13.000 (Ground level)
- 4500 (Lower floor height)
- 8000 (Upper floor height)
- 9000 (Total height)
- 1000 (Roof slope height)
- 1000 (Roof slope height)

Horizontal dimensions (from left to right):

- 22.000 (Total width)

Labels:

- R00F (Roof)
- 1/F (First floor)
- G/F (Ground floor)



# SECTION A-A

<div><div><div>AUTHORIZED PERSON, PROJECT MANAGER &amp; ENGINEER</div><div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div>LEADTOPS RAYMOND LTD.</div><div>INTEGRATED DESIGN AND PROJECT MANAGEMENT SPECIALISTS</div></div></div><div>DRAWING TITLE</div><div>SECTION A-A</div><div><div>LEGEND:</div><div><div><div></div><div></div><div></div></div>SITE BOUNDARY</div></div><table><tr><td>DRAWING NO.</td><td>A-07</td></tr><tr><td>SCALE</td><td>1:125 @ A3</td></tr><tr><td>REV.</td><td>0</td></tr><tr><td>DATE</td><td>2024.04.19</td></tr></table></div>	DRAWING NO.	A-07	SCALE	1:125 @ A3	REV.	0	DATE	2024.04.19
DRAWING NO.	A-07							
SCALE	1:125 @ A3							
REV.	0							
DATE	2024.04.19							

## Figure 11 - Section



## **Appendix I**

*Extract of the Notes of the Approved Kwu Tung South  
Outline Zoning Plan No. S/NE-KTS/20*

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RESIDENTIAL (GROUP D)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Agricultural Use Government Use (Police Reporting Centre, Post Office only) House (Redevelopment; Addition, Alteration and/or Modification to existing house only) On-Farm Domestic Structure Rural Committee/Village Office	Eating Place Flat Government Refuse Collection Point Government Use (not elsewhere specified) # House (not elsewhere specified) Institutional Use (not elsewhere specified) # Library Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation # Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution # Residential Institution # School # Shop and Services Social Welfare Facility # Utility Installation for Private Project

In addition, the following uses are always permitted  
on the ground floor of a New Territories Exempted  
House:

Eating Place  
Library  
School  
Shop and Services

Planning Intention

This zone is intended primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Town Planning Board.

(Please see next page)

RESIDENTIAL (GROUP D) (Cont'd)

Remarks

- (a) No addition, alteration and/or modification to or in-situ redevelopment of an existing temporary structure or an existing building (except to 'New Territories Exempted House' or to those annotated with #) shall result in a total development and/or redevelopment in excess of a maximum building area of 37.2m<sup>2</sup> and a maximum building height of 2 storeys (6m), or the building area and height of the building which was in existence on the date of the first publication in the Gazette of the notice of the interim development permission area plan, whichever is the greater.
- (b) On land designated "Residential (Group D)", no development including redevelopment for 'Flat' and 'House' (except 'New Territories Exempted House') uses, other than those to which paragraph (a) above shall apply, shall result in a development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m).
- (c) On land designated "Residential (Group D)1", no development including redevelopment for 'Flat' and 'House' (except 'New Territories Exempted House') uses, other than those to which paragraph (a) above shall apply, shall result in a development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m). Any building development shall be located in Area (a) and no building development (except ancillary structures) is permitted in Area (b) which shall be designated as a landscaped area with ancillary car parking and utility installations.
- (d) In determining the maximum plot ratio for the purposes of paragraphs (b) and (c) above, any floor space that is constructed or intended for use solely as car park, loading/unloading bay, plant room, caretaker's office and caretaker's quarters, or recreational facilities for the use and benefit of all the owners or occupiers of the domestic building or domestic part of the building, provided such uses and facilities are ancillary and directly related to the development or redevelopment, may be disregarded.
- (e) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio and/or building height restriction(s) stated in paragraphs (b) and (c) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

## **Appendix II**

### *Sewage Treatment Proposal*

---





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Proposed Villa at Lots 407S.A. ss.2 S.A. and 408 S.B. ss.1 RP in D.D.94, Kwu Tung, Sheung Shui  
Sewage Treatment Proposal

### 1 EVALUATION OF SEWAGE IMPACT

#### 1.1 Evaluation of Generation

1.1.1 For the estimation of sewage generation from the proposed development, the planning unit flow factors for person as recommended in the “ Guidelines for Estimating Sewage Flows ( Version 1.0 ) ( hereinafter as “GESF” ) published by EPD “. As estimated number of residents are summarized in **Table 1.1**.

**Table 1.1 Estimated Population of the Proposed Villa**

Type of People	Number of People per Day
Resident	12

1.1.2 For the sewage flow estimation from resident, the planning unit flow factor of  $0.37\text{m}^3/\text{person}/\text{day}$  in GESF has been adopted.

1.1.3 As derived from the above, the total estimated daily flow generated by residents of the proposed development will be  $4.5\text{m}^3 / \text{day}$ . The calculation is provided in **Appendix A** for reference..

#### 1.2 Proposed Sewage Treatment Facility

1.2.1 As the Site is not currently served by any public sewer, a septic tank system (STS) is proposed as an interim measure to treat the sewage generated by residents of the proposed development. This on-site interim measure will be disused once the public sewer system is available.

1.2.2 The estimated daily flow generated by residents of the proposed development will be  $4.5\text{m}^3/\text{day}$ . In order to allow sufficient capacity of the STS, a septic tank with a capacity of minimum  $5.0\text{m}^3$  is recommended to be constructed. According to the design requirement as specified in “ Drainage Plans Subject to Comment by the Environmental Protection Department “ (ProPECC PN 5/93), the recommended dimensions of the septic tank should be about (L) 4.80m x (W) 1.90 m x (D) 2.00 m with a concrete wall thickness of 0.20 m to fulfil the specified dimension requirement.



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**Gender Consultants Limited**

Sewage Treatment Proposal For Lots 407S.A. ss.2 S.A and 408 S.B. ss.1 RP in D.D. 94

1.2.3 The minimum clearance requirements for a soakaway system are shown in **Table 1.2**

**Table 1.2 Minimum Clearance Requirements for Soakaway Systems**

Type	Distance from Soakaway System( m )	Remarks
Building	3	-
Retaining Walls	6	-
Wells	50	-
Stream where the bed is lower than invert of Soakaway System	15 (30)	Should the water from the stream or pool is used or likely to be used for drinking or domestic purpose, the distance (30) will be adopted
Pools	7.5 (30)	adopted
Cuts of Embankments	30	-
Paths	1.5	-
Beaches	100	From boundaries of gazette beaches or bathing Beach subzones of water control zone
Beaches	30	From H.W.M. and from nearest watercourses for other cases
Ground water table	0.6	Below invert

1.2.4 Figure 1.1 shows the proposed location of the septic tank and soakaway system and Drawing Number EP 50/D1/5/01 & EP 50/D1/5/02 showing the Septic Tank Detail and Soakaway Pit System respectively.

1.2.5 As the site is not served by public sewer and the use of STS is considered the most suitable option for sewage proposal.

1.2.6 With the provision of the proposed on-site sanitary facility ( i.e. STS ) , there will be no adverse water quality/sewage impact arising from the proposed development during the operation.



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Sewage Treatment Proposal For Lots 407S.A. ss.2 S.A and 408 S.B. ss.1 RP in D.D. 94

## 1.3 Provision of Sewage Treatment and Disposal Facilities Recommendation

1.3.1 The Septic Tank System (STS) should be properly sited, designed, constructed, operated and maintained in accordance with the “Guidance Notes on Discharges from Village Houses” and “Drainage Plans subject to Comment by the Environmental Protection Department (ProPECC PN 5/93)” published by the EPD. To minimize the adverse impact on the public and the environment, the following precaution should be considered during planning a new STS:

- Locate the STS away from the beach, stream, well, retaining wall etc. to prevent water contamination and leakage;
- Carry out a soil percolation test before the STS construction to ensure the permeability of Soil; and
- Locate the STS in an open space with easy access for desludging.

1.3.2 - The operator should implement good housekeeping practices to ensure that the continuous operation of the STS. These should include:

- Avoid deposit any oil, chemical and solid waste into the STS;
- Inspect and measure of the sludge depth of treatment components at least once every 6 months;
- Remove the STS sludge properly when exceed 1/4 of overall water depth;
- Inspect the STS immediately when flooding, overflow, odour become noticeable or not flush well and;
- Clean and flush of screens and other sewage handling equipment regularly.

1.3.3 According to the ‘Guideline Notes on Discharges from Village Houses’, the STS should be inspected and desludged regularly. Desludging should be done by Specialist Contractor. A tank lorry equipped with a pump is often used for pumping out the content of the septic tank and transport to sludge treatment facility for future treatment.

- END -

## Appendix A

### Sewage Treatment Proposal for Lots 407S.A. ss.2 S.A. and 408 S.B. ss.1 RP in D.D.94, Kwu Tung, Sheung Shui Calculation of Daily Flow

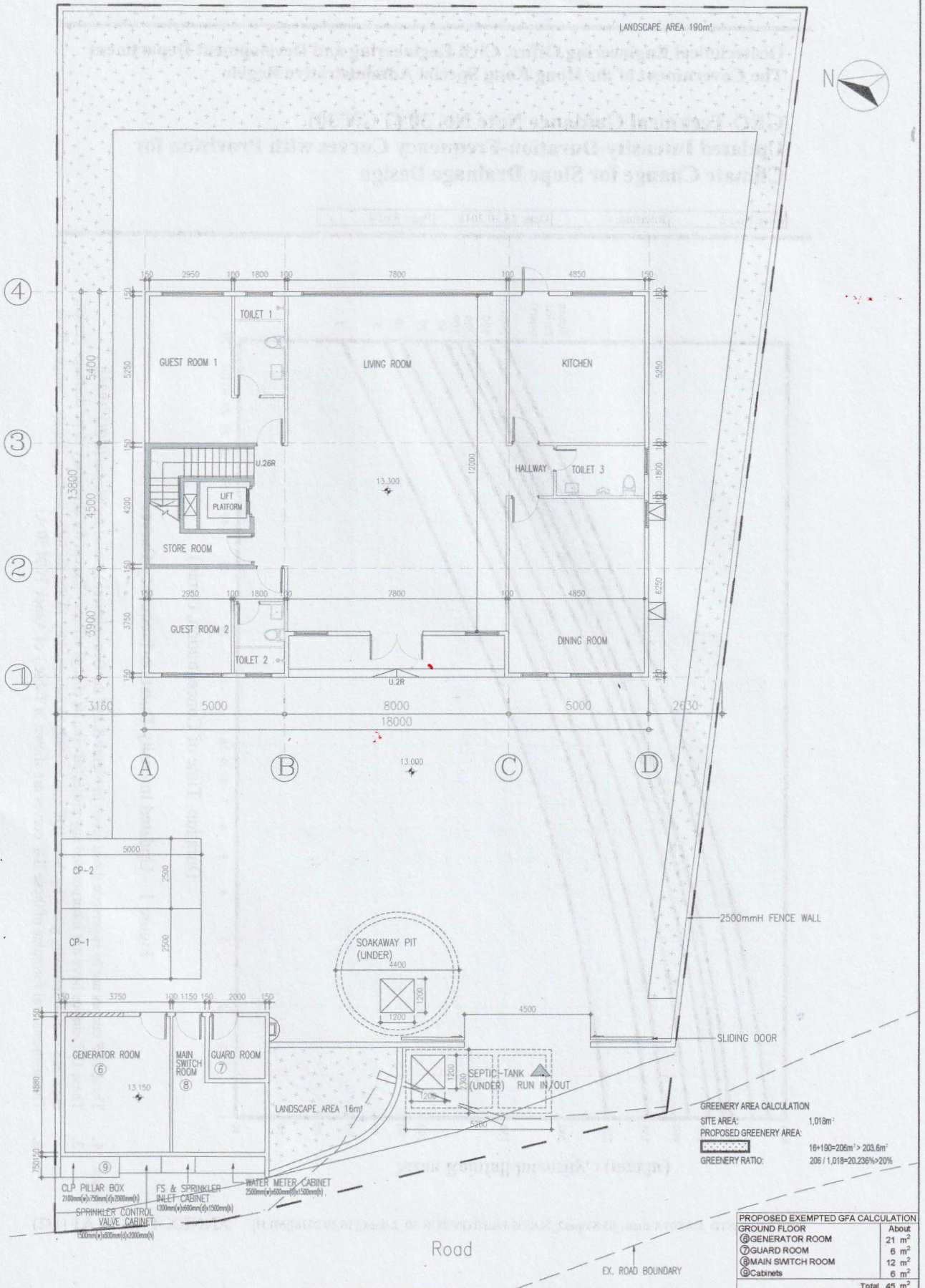
#### Estimation of Sewage Flow from the Villa Development

Total number of residents	12 persons	
Unit flow- Activities	0.37 m <sup>3</sup> /person/day	Referred to the planning unit flow factor for “Domestic Flow” activities in Table T-1 of GESF <sup>(a)</sup>
Estimated daily flow	4.5 m <sup>3</sup> /day	
<b>Total Estimated Daily Flow</b>	<b>4.5 m<sup>3</sup>/Day</b>	

#### **Note :**

(a) GESF – ‘ Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning ‘ published by Environmental Protection (EPD)





AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER  
 LEADTOP'S RAYMOND LTD.  
 RETAINED 80% BY RIGHT CARRY OVER

DRAWING TITLE

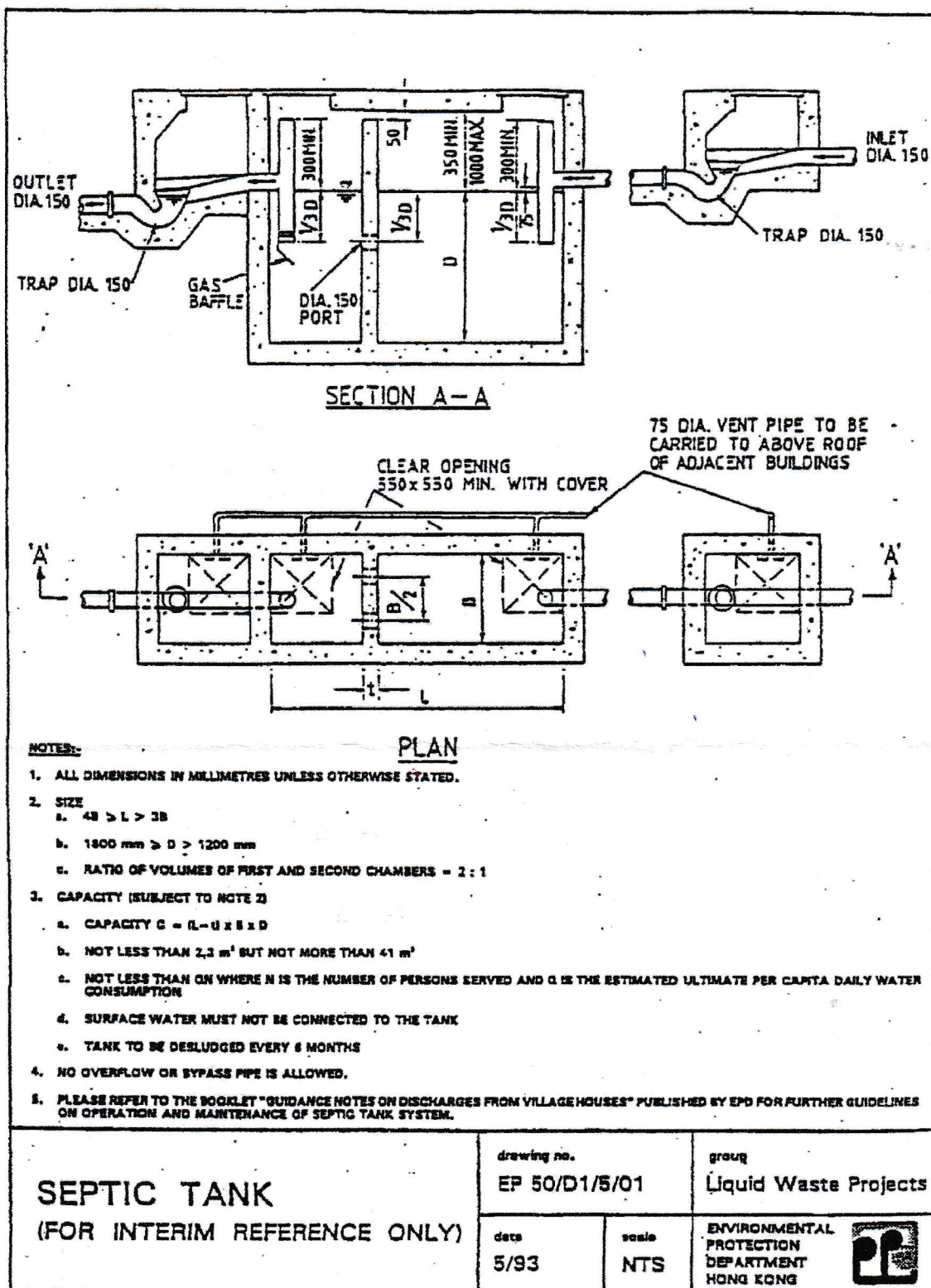
GROUND FLOOR PLAN

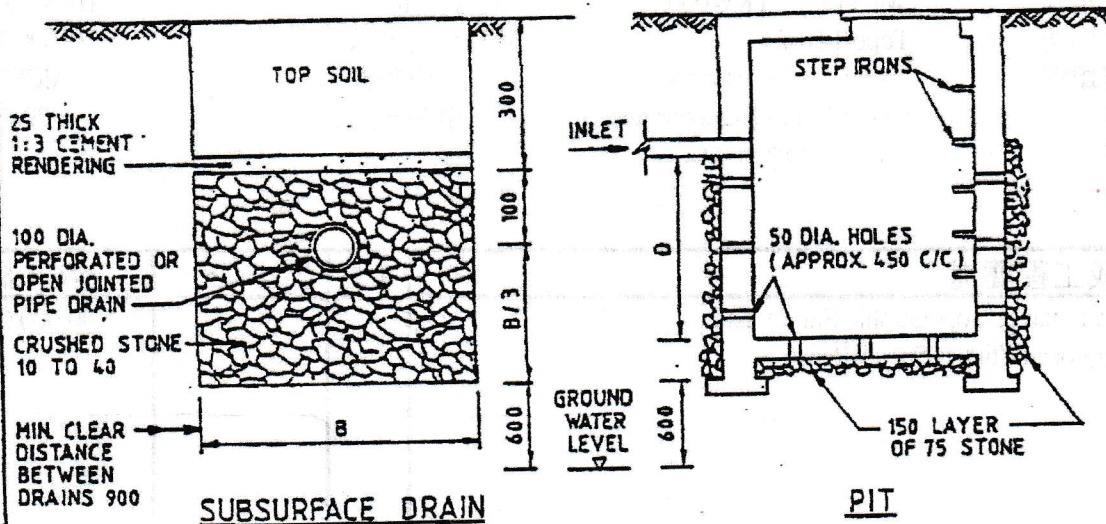
LEGEND:

--- SITE BOUNDARY  
 --- LANDSCAPE AREA

DRAWING NO. A-03  
 SCALE 1:250 @ A3  
 REV. 0  
 DATE 2024.04.19





**NOTES:**

1. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE STATED
2. PERCOLATION TEST FOR DETERMINING ABSORPTION CAPACITY OF SOIL
  - a. EXCAVATE A HOLE 300 mm SQUARE TO THE SAME DEPTH OF THE PIT OR TRENCH.
  - b. FILL THE HOLE WITH APPROXIMATELY 150 mm OF WATER AND ALLOW TO SEEP AWAY COMPLETELY.
  - c. REPEAT THE HOLE WITH WATER TO A DEPTH OF 150 mm AND OBSERVE THE TIME, IN MINUTES, FOR WATER TO SEEP COMPLETELY AWAY.
  - d. DIVIDE THE TIME BY 4 TO GIVE TIME TAKEN TO FALL 25 mm FOR USE IN TABLE BELOW.
3. ALLOWABLE LOADING OF SOAKAWAY SYSTEMS

TIME IN MINUTES FOR WATER TO FALL 25 mm IN TEST PIT	ALLOWABLE LOADING IN LITRES PER m <sup>2</sup> PER DAY	
	DRAIN TRENCH BOTTOM AREA	PIT PERCOLATION AREA
1 OR LESS	163	278
2	130	175
3	98	130
10	63	94
30	33	48

THE TOTAL ALLOWABLE LOADING PER DAY SHOULD EQUATE WITH THE DAILY INCOMING FLOW

4. MINIMUM CLEARANCE REQUIREMENTS FOR SOAKAWAY SYSTEMS

	DISTANCE FROM SOAKAWAY SYSTEMS (m)	
BUILDING	3	
RETAINING WALLS	8	
WELLS	50	
STREAM WHERE THE SED IS LOWER THAN INVERT OF SOAKAWAY SYSTEM	15 (30)*	THESE DISTANCES SHOULD BE INCREASED TO DISTANCES SHOWN IN BRACKETS IF THE WATER FROM THE STREAM OR POOL IS USED OR LIKELY TO BE USED FOR DRINKING OR DOMESTIC PURPOSES.
POOLS	7.5 (30)*	
CUTS OR EMBANKMENTS	30	
PATHS	1.5	
BEACHES	100	(FROM BOUNDARIES OF GAZETTED BEACHES OR BATHING BEACH SUBZONES OF WATER CONTROL ZONES)
	30	(FROM M.W.M. AND FROM NEAREST WATERCOURSES FOR OTHER CASES)
GROUND WATER TABLE	0.6	(BELOW INVERT)

## SOIL SOAKAWAY SYSTEM

(FOR INTERIM REFERENCE ONLY)

drawing no.

EP 50/D1/5/02

group

Liquid Waste Projects

date

5/93

scale

NTS

ENVIRONMENTAL  
PROTECTION  
DEPARTMENT  
HONG KONG

## **Appendix III**

### *Drainage Proposal*

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**DRAINAGE PROPOSAL**

ON

LOT 407 S.A.ss.2 S.A and 408 S.B. ss.1 RP

IN D.D. 94

Kwu Tung

---

Prepared on January 28, 2024

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Table of Contents

1. INTRODUCTION ..... 2

2. DESIGN PRINCIPLE .....2

Appendix List	
Appendix A	Design Calculation of Proposed Storm water Drainage System

## 1. INTRODUCTION

Reference is made to the planning application for the residential development at Lots 407S.A ss.2 S.A and 408 S.B. ss.1 RP in D.D. 94 , Kwu Tung, Sheung Shui. and we provide a storm water drainage proposal for the said proposed Villa.

This report covers the design principle and the design calculation of the proposed storm water drainage system on the catchment area of the captioned site .

This report covers the design principle and the design calculation of the proposed storm water drainage system on the captioned site.

## 2. DESIGN PRINCIPLE

The proposed storm water drainage system lies around the boundary of the captioned lot and it is designed to collect the storm water not only the captioned lot, and also the adjacent area of the lot. Two 225mm U-Channel is proposed for this storm water drainage system. One of the storm water channel is designed to be collected and diverted to an existing channel at the ~~Western~~ side of the captioned lot while another one is to be collected by a proposed storm water storage tank located at the northern part of the premises. For the drainage layout please refer to the drawing DS-01 attached with this submission.

The design calculation for showing the adequacy of proposed storm water drainage system can be found in Appendix A and B respectively.

# APPENDIX A

## Design Calculation

### Proposed Storm water Drainage System



# 祥達顧問有限公司 Gender Consultants Limited

- Appendix 'A' -

Project Title : Lots 407S.A ss.2 S.A and 408 S.B. ss.1 RP in D.D. 94  
- Storm water catchment calculation for Catchment Area A

Reporting Date : January 27, 2024

Maximum total rainfall (mm) under Monthly Extract of Meteorological Observations in 2023

Month	Hong Kong Observatory										King's Park	Waglan Island^	
	Mean Pressure (hPa)	Air Temperature					Mean Dew Point (deg. C)	Mean Relative Humidity (%)	Mean Amount of Cloud (%)	Total Rainfall (mm)	Total Bright Sunshine (hours)	Prevailing Wind Direction (degrees)	Mean Wind Speed (km/h)
		Absolute Daily Max (deg. C)	Mean Daily Max (deg. C)	Mean (deg. C)	Mean Daily Min (deg. C)	Absolute Daily Min (deg. C)							
01	1020.3	24.7	19.4	17.0	14.9	9.8	10.4	67	68	18.2	134.1	010	24.8
02	1019.2	26.6	22.0	18.9	16.8	13.1	13.7	73	60	1.6	163.8	070	26.0
03	1017.0	29.0	24.2	21.3	19.4	16.4	16.5	76	61	70.3	156.8	080	22.1
04	1012.0	30.8	26.0	23.6	21.7	18.0	20.3	82	82	77.5	92.3	080	22.3
05	1009.9	34.7	29.2	26.6	24.9	20.2	23.1	81	75	182.8	131.9	080	19.8
06	1006.5	35.2	31.9	29.2	27.1	25.1	25.9	83	82	490.9	147.4	090	17.6
07	1006.0	36.1	33.0	30.1	28.0	26.2	25.8	78	74	175.2	219.2	230	18.6
08	1004.6	35.1	32.4	29.7	27.8	25.7	25.6	79	81	140.7	166.4	230#	14.9#
09	1008.0	34.4	31.2	28.5	26.9	24.8	24.9	81	74	1067.1	170.5	070	19.6
10	1014.0	34.6	29.1	26.4	24.8	22.0	21.7	76	79	546.0	138.9	070	28.4
11	1018.5	30.7	26.1	23.5	21.6	15.6	17.3	69	50	3.3	208.2	070	24.9

The above source was captured from HKO official website at below link :

<http://www.hko.gov.hk/tc/cis/monthlyExtract.htm?y=2023>

The maximum monthly rainfall is 1067.1mm in September 2023

The maximum hourly rainfall,  $i = 1.482$

Hard paved area is  $518\text{m}^2$  of Catchment Area  $A = 0.000518\text{ km}^2$  as shown on Drawing n0. DS-1



祥達顧問有限公司  
Gender Consultants Limited

Project Title : Lots 407S.A ss.2 S.A and 408 S.B. ss.1 RP in D.D. 94  
- Storm water catchment calculation

Reporting Date : January 27, 2024

-Continued -

Infiltration rate of rainfall (Hard paved area),  $C = 90\% = 0.90$

<i>Surface Characteristics</i>	<i>Runoff coefficient, C</i>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The above source was extracted from GEO Technical Guidance Note No. 39 (TGN 39)

According to the Storm water Drainage Manual ( Fifth Edition, 2018 ) issued by Drainage Services Department ( DSD ), peak runoff is given by the following expression ;

$$Q_p = 0.278 C_i A$$

Daily rainfall from catchment area A of Villa at Lots 407S.A ss.2 S.A and 408 S.B. ss.1 RP  
in D.D. 94

$$Q_1 = 0.278 \times 0.85 \times 1.482 \times 0.000518 \times 60 \times 60 \times 24 = 15.67 \text{ m}^3 / \text{day}$$

### Conclusion

The estimated daily runoff on the proposed development will be round up to 16m<sup>3</sup>/day. In order to allow sufficient capacity of the rainwater for 3 days, the recommended dimension of the proposed Storm Water Storage Tank should be about (L) 6.00m x (W) 5.00m x (D) 3.00m with a concrete wall thickness of 0.25m.

Project : Proposed Villa Application at Lots 407 S.A.ss.2S.A. and 408 S.B. ss.1 RP in DD94  
 Drainage Design  
 Subject : Calculation of Proposed Drainage  
 Date : 27.01.2024

### Checking of Surface Channel

Catchment Area A = 518 m<sup>2</sup> to U – Channel B-1 (225 UC )

$$L = 12\text{m}$$

$$h = 0.12\text{m}$$

$$H = 0.12 \times 100/12 = 1.00\text{m} \quad (\text{average fall per 100m run})$$

( where  $H < 1$ , a conservative value of 1 has been assumed )

$$t_c = 0.14465 \times 12 / (1^{0.2} \times 518^{0.1}) = 0.93 \text{ min}$$

For  $t^f$  ,  $w = 45\text{m}$ ,  $v = 3\text{m/s}$  ( assumed )

$$t^f = 45 / ( 3 \times 60 ) = 0.25 \text{ min}$$

$$t = 0.93 + 0.25 = 1.18 \text{ min}$$

From rainfall curve, use  $t = 1.2 \text{ min}$

$$i_{200} = 440\text{mm / hr.} \quad (\text{Fig.1, TGN 30})$$

$$K = 0.85 \quad (\text{TGN 39})$$

Flow for 200 years return periods,

$$Q_{200} = 0.85 \times 440 \times 518/60 = 3229 \text{ litres / min} < 3800 \text{ litres/min}$$

Gradient of the design channel = 1 in 100

Proposed channel size = 225 UC (TGN 43 )

Therefore, proposed 225mm UC is adequate for catchment Area of A .

Project : Proposed Villa Application at Lots 407 S.A.ss.2S.A. and 408 S.B. ss.1 RP in DD94  
 Drainage Design  
 Subject : Calculation of Proposed Drainage  
 Date : 27.01.2024

### Checking of Surface Channel

Catchment Area B = 500 m<sup>2</sup> to U – Channel B-1 (225 UC )

$$L = 12\text{m}$$

$$h = 0.12\text{m}$$

$$H = 0.12 \times 100/12 = 1.00\text{m} \quad (\text{average fall per 100m run})$$

( where  $H < 1$ , a conservative value of 1 has been assumed )

$$t_c = 0.14465 \times 12 / (1^{0.2} \times 500^{0.1}) = 0.93 \text{ min}$$

For  $t^f$  ,  $w = 48\text{m}$ ,  $v = 3\text{m/s}$  ( assumed )

$$t^f = 48 / ( 3 \times 60 ) = 0.27 \text{ min}$$

$$t = 0.93 + 0.27 = 1.20 \text{ min}$$

From rainfall curve, use  $t = 1.2 \text{ min}$

$$i_{200} = 440\text{mm / hr.} \quad (\text{Fig.1, TGN 30})$$

$$K = 0.85 \quad (\text{TGN 39})$$

Flow for 200 years return periods,

$$Q_{200} = 0.85 \times 440 \times 500/60 = 3117 \text{ litres / min} < 3800 \text{ litres/min}$$

Gradient of the design channel = 1 in 100

Proposed channel size = 225 UC (TGN 43 )

Therefore, proposed 225mm UC is adequate for catchment Area of B .



[illegible]

1. Equations and Assumptions

1.1 Surface drainage design is in accordance with Geotechnical Manual for Slopes (2nd Edition, 1984).

1.2 Slope drainage is designed to a frequency of 1 in 200 rainfall return period.

1.3 Time of Concentration = time of entry + time of flow

$$\text{i.e. } t_c = t_e + t_f$$

1.4 Time of entry is calculated based on the modified form of Bransby-Williams Equation:

$$t_e = 0.14465 \times L / (H^{0.2} \times A^{0.1})$$

where  $t_e$  = time of entry (min),

A = area of catchment ( $\text{m}^2$ ),

H = average fall (m per 100m) from the summit of catchment to the point of design,

L = distance in metre measured on the line of natural flow between the design section and that point of catchment from which water would take the longest time to reach the design section (m)

1.5 Time of flow is calculated from the measured water flow length in channel divided by the assumed flow velocity.

$$\text{i.e. } t_f = w / v$$

where  $t_f$  = time of flow (min),

w = measured water flow length in channel (m),

v = assumed water flow velocity ( $\text{m/s}$ )

1.6 Runoff coefficient for the slope is assumed to be 1.0 for [vegetated ground surface](#).

1.7 Peak stormwater is determined by the "Rational Method" using the following formula:

$$Q = KiA/60$$

Where Q = Maximum runoff (litres/min),

K = runoff coefficient ( $K = 1.0$ )

, i = design mean intensity of rainfall ( $\text{mm/hr}$ ),

A = Area of catchment ( $\text{m}^2$ ).

Eqn. 8.2

Geotechnical  
Manual for SlopesGeotechnical  
Manual for  
Slopes (p. 96)

Eqn. 8.7

Geotechnical  
Manual for Slopes

**GEO Technical Guidance Note No. 39 (TGN 39)**  
**Guidelines for Estimation of Surface Runoff from Natural Terrain**  
**Catchments for Drainage Design Purposes**

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Issue No.: 1	Revision: -	Date: 27.12.2013	Page: 4 of 4
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**Values of Runoff Coefficient Recommended in DSD (2013)**

Surface Characteristics	Runoff coefficient, $C$ <sup>Note 1</sup>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil <sup>Note 2</sup> )	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

*Notes*

- (1) For steep natural hillsides or areas where a shallow soil surface is underlain by an impervious rock layer, a higher  $C$  value of 0.4 - 0.9 may be applicable.
- (2) Heavy soil refers to fine-grained soil composed largely of silt and clay.



**GEO Technical Guidance Note No. 30 (TGN 30)**  
**Updated Intensity-Duration-Frequency Curves with Provision for**  
**Climate Change for Slope Drainage Design**

Issue No.: 2	Revision: -	Date: 23.10.2018	Page: 3 of 4
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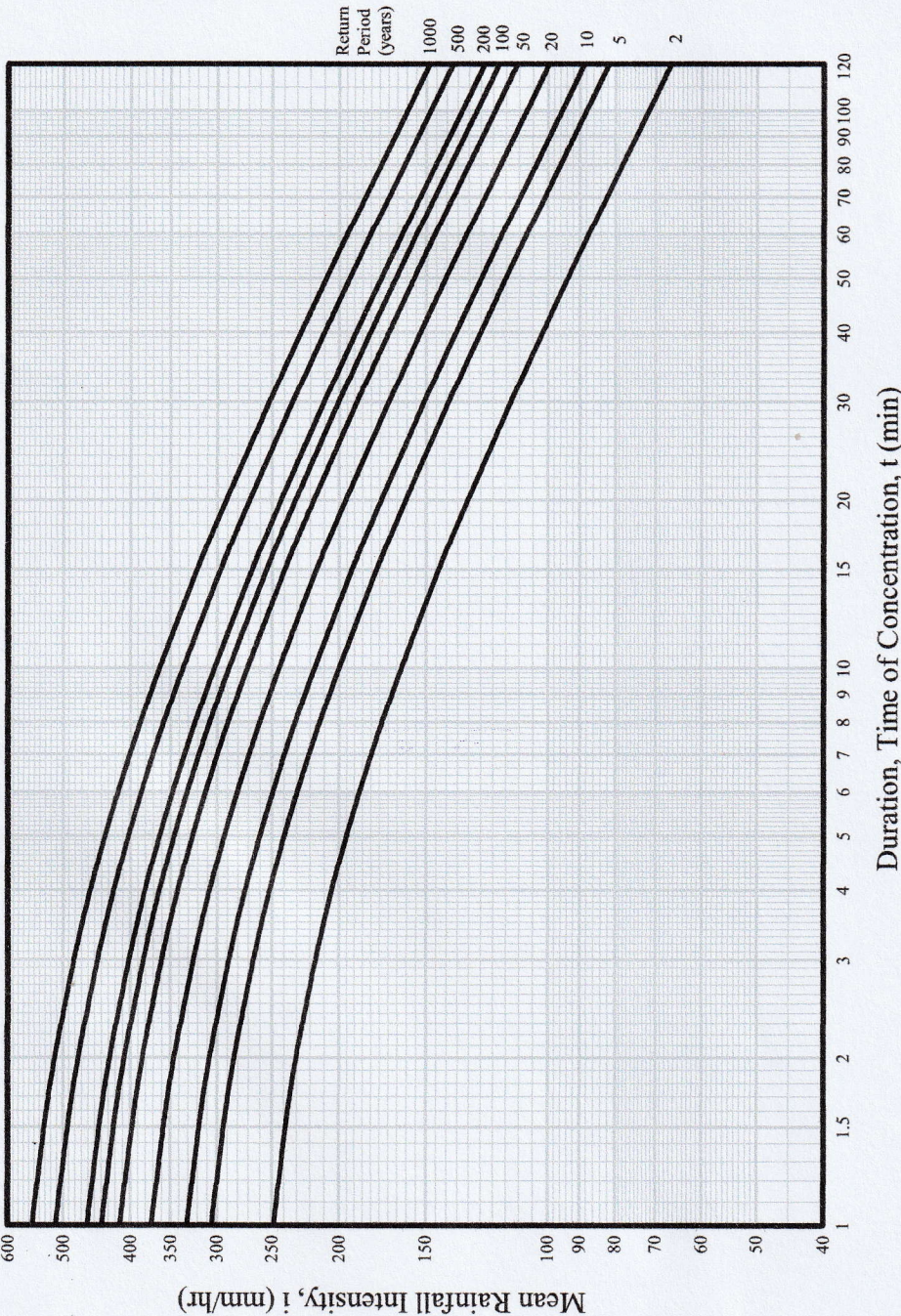


Figure 1 – Updated Intensity-Duration-Frequency Curves

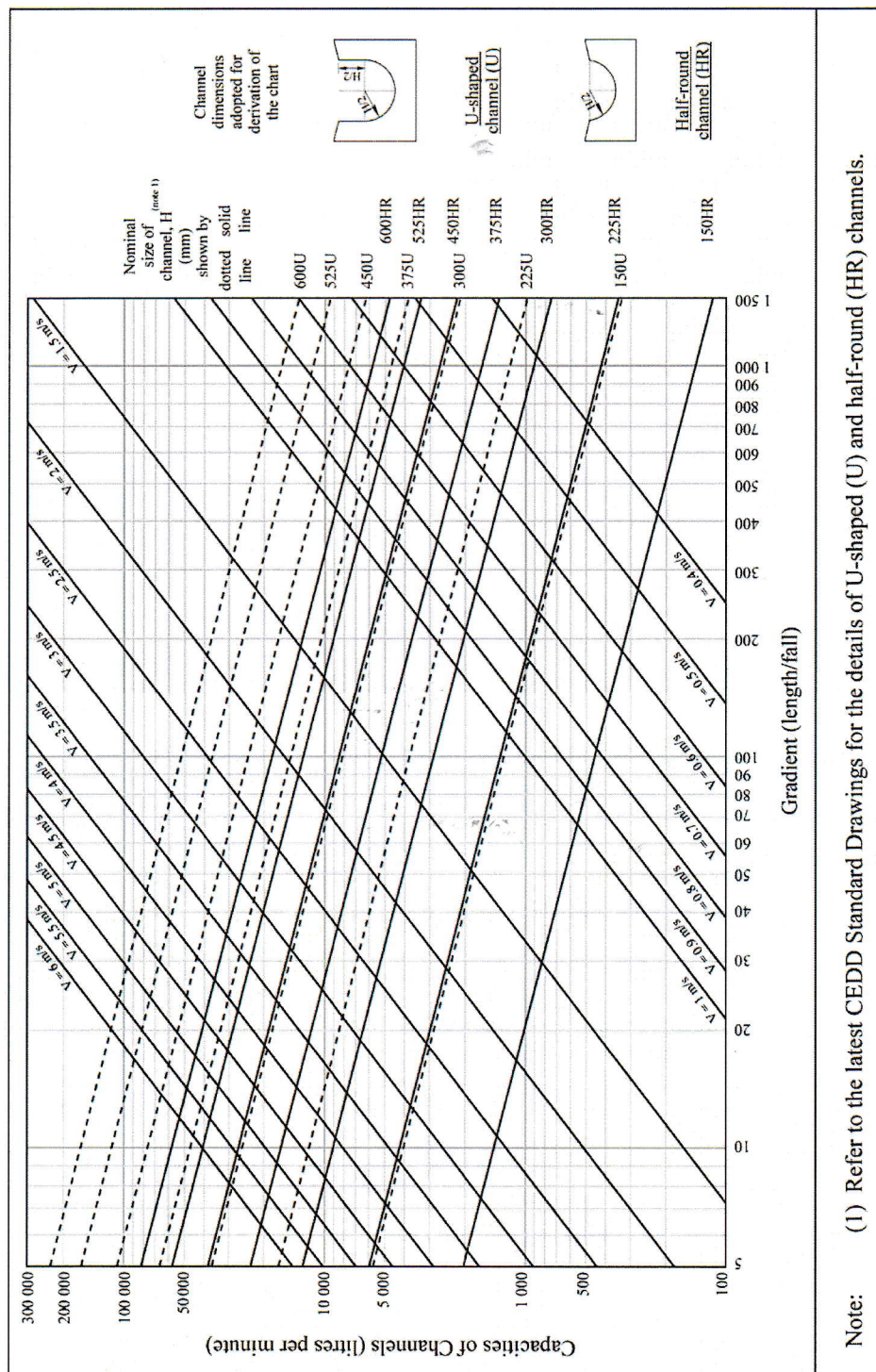
- Notes:
1. These IDF curves are to supersede those given in Figure 8.2 of the Geotechnical Manual for Slopes (GCO, 1984).
  2. These IDF curves have not incorporated any projected climate change effects. Except for temporary slope drainage design, the mean rainfall intensity given by these IDF curves shall be increased by 13.8% for incorporating climate change effects.
  3. The mathematical formulae of these IDF curves are shown in Table 1 of Annex TGN 30 A1.

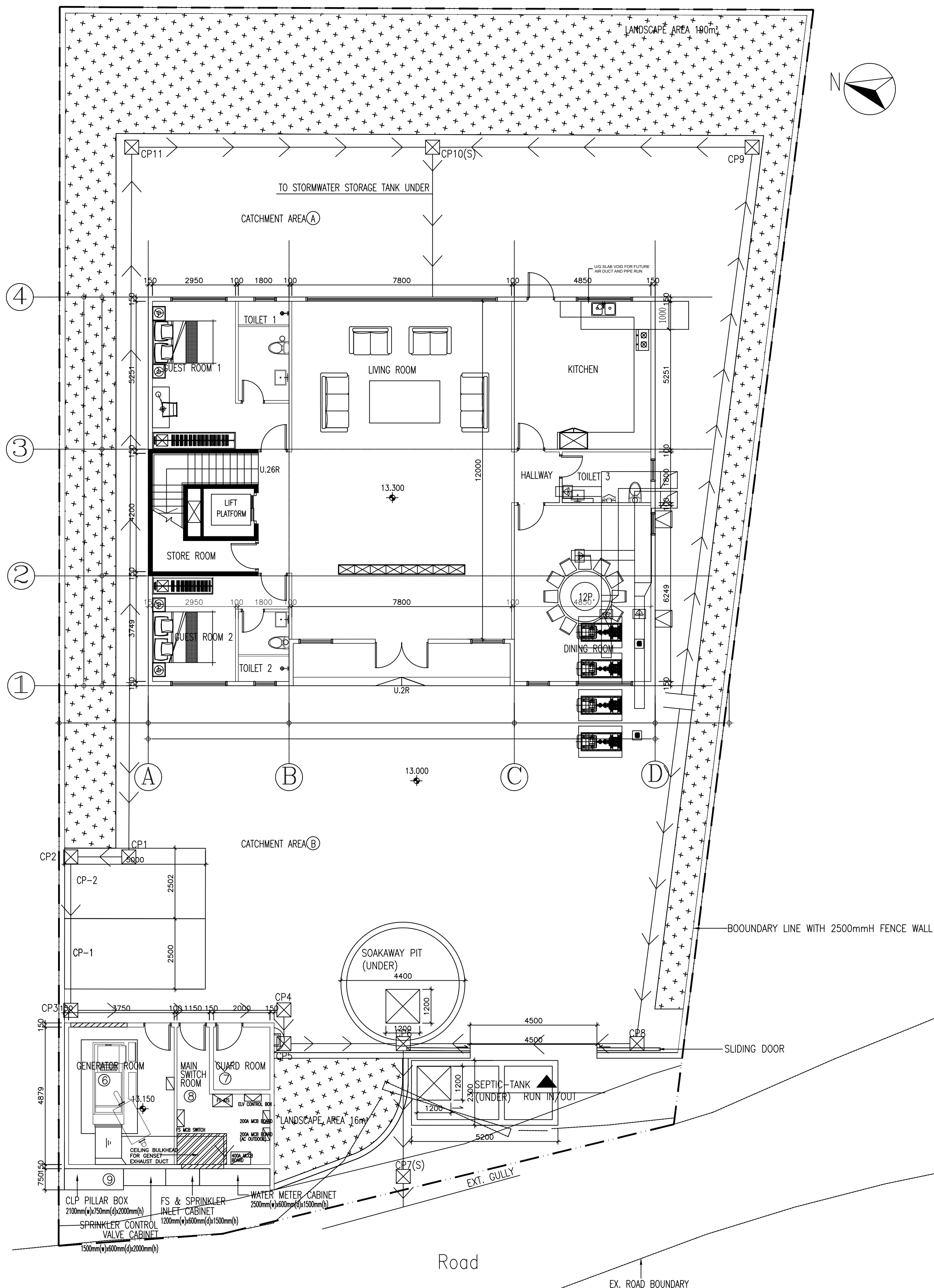


**GEO Technical Guidance Note No. 43 (TGN 43)**  
**Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes**

Issue No.: 1	Revision: -	Date: 05.06.2014	Page: 3 of 3
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Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm





PROPOSED DRAINAGE LAYOUT PLAN  
N.T.S

CATCHPIT / SANDTRAP NO.	C.L. (m.P.D.)	I.L. (m.P.D.)
CP1	13.80	13.42
CP2	13.80	13.03
CP3	13.80	12.91
CP4	13.80	12.74
CP5	13.80	12.72
CP6	13.80	12.62
CP7(S)	13.80	12.50
CP8	13.80	12.70
CP9	13.80	12.90
CP10(S)	13.80	12.52
CP11	13.80	13.30
EXT GULLY	13.02	12.40

Ref.:  

1. DO NOT SCALE DRAWING. FIGURED DIMENSIONS ARE TO BE FOLLOWED. READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY IS FOUND THEREIN.

2. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE CERTIFIED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

Legend  

Lot Boundary

House Boundary

Existing Open Channel

Septic Tank

Level

Proposed 225 Covered U-Channel (Min Fall 1:100)

Proposed Catchpit

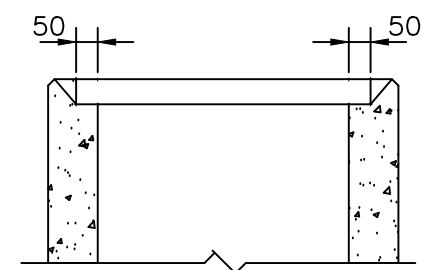
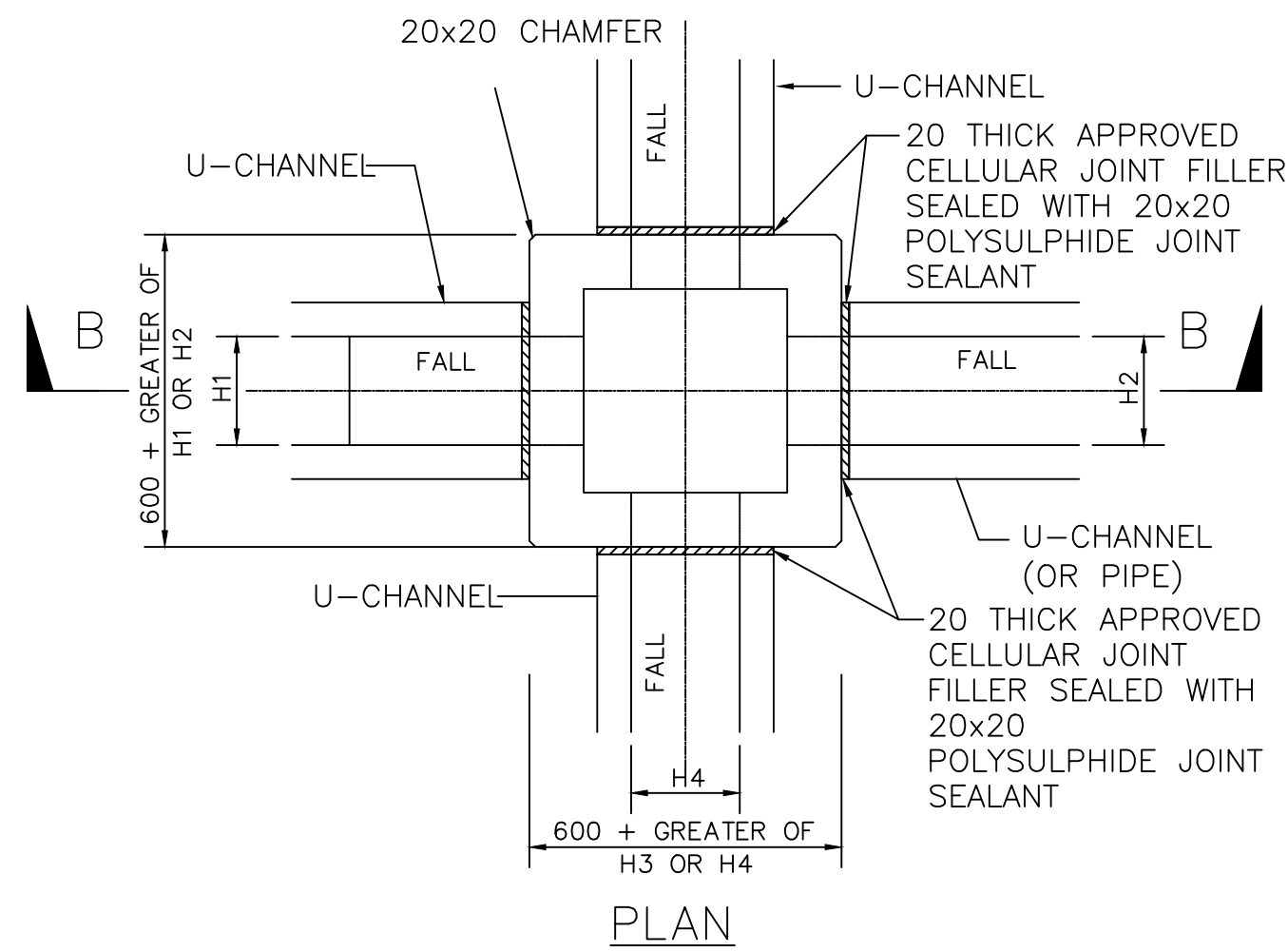
Proposed Catchpit with Trap

NOTES  

1. CATCHPITS CP1, CP2, CP3, CP4, CP5, CP6, CP7(S), CP8, CP9, CP10, CP11(S) SHALL BE MAINTAINED BY THE SUBJECT LOT OWNER.

2. CATCHPIT WITH TRAP CP7(S), CP11(S) SHOULD BE REGULARLY DESILTED BY THE LOT OWNER TO PREVENT SAND AND SILT FROM BEING WASHED DOWN INTO THE EXISTING DRAINAGE SYSTEM DOWNSTREAM.

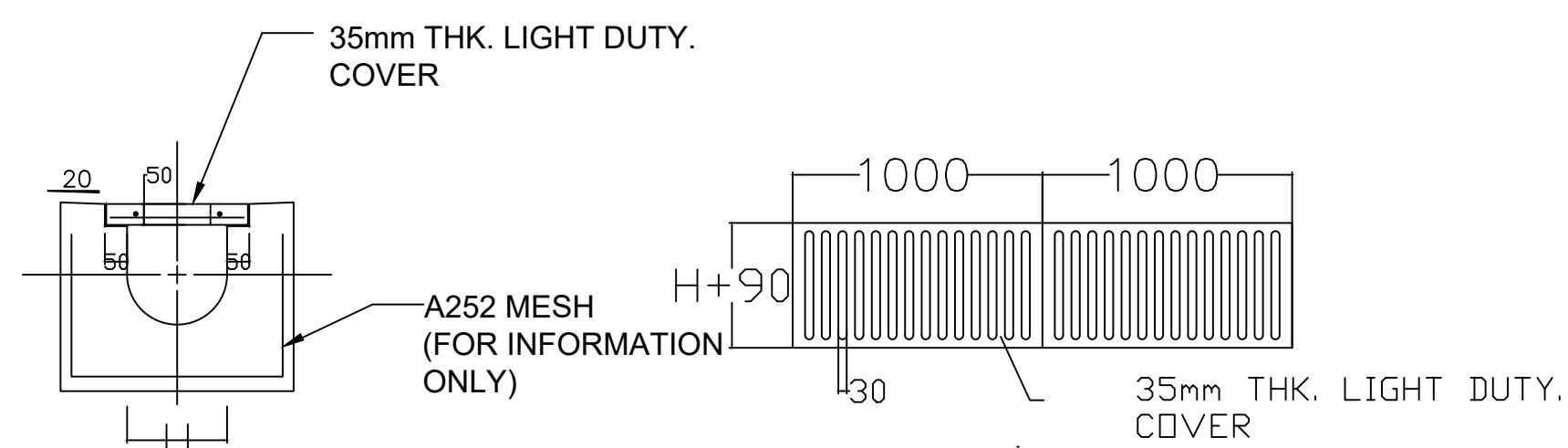
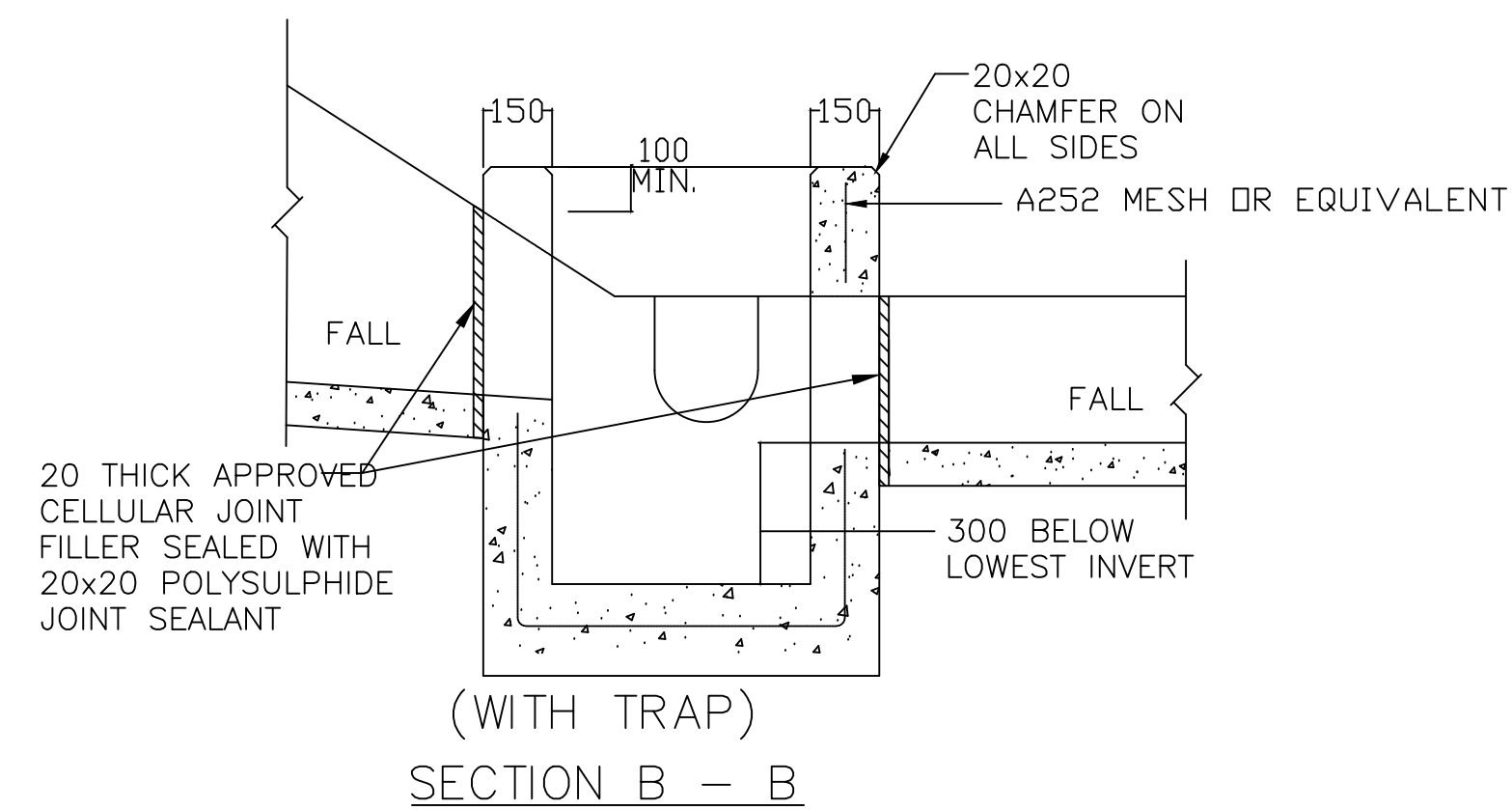
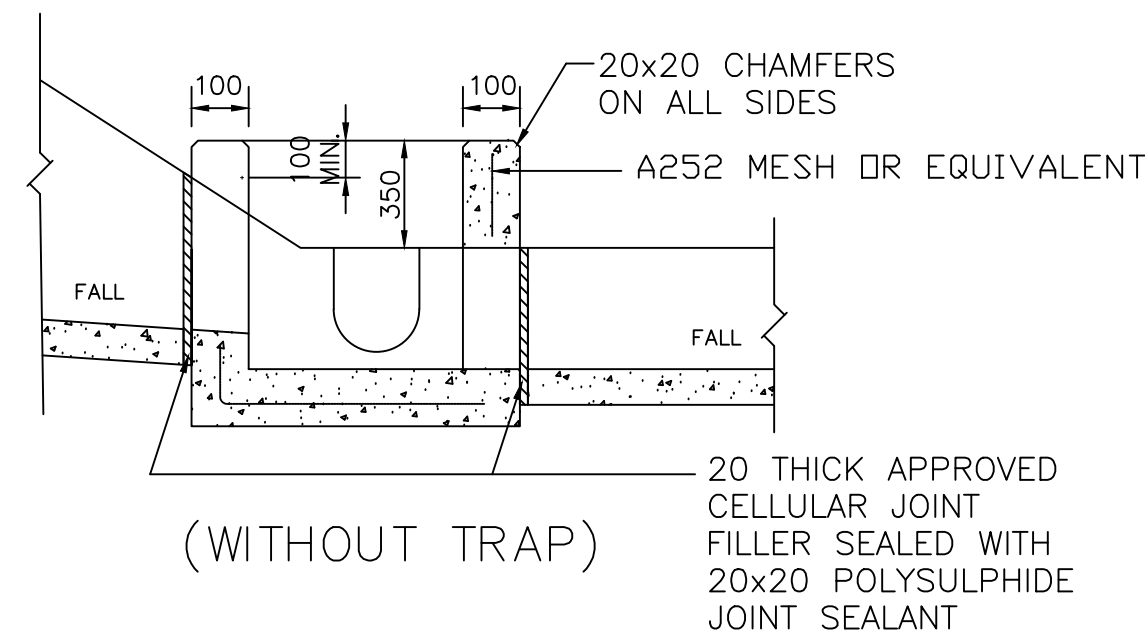
Rev.	Date	Description
Project PROPOSED STORMWATER DRAINAGE SYSTEM FOR LOT 407SA SS2 SA 4408SB SS1 RP IN DD94, KWU TUNG		
Drawing Title : STORMWATER DRAINAGE LAYOUT		
Drawn : ZS	Scale :	
Date : DEC 2022	Checked :	
Job Ref. -	Drawing No. DS-01	Rev. -



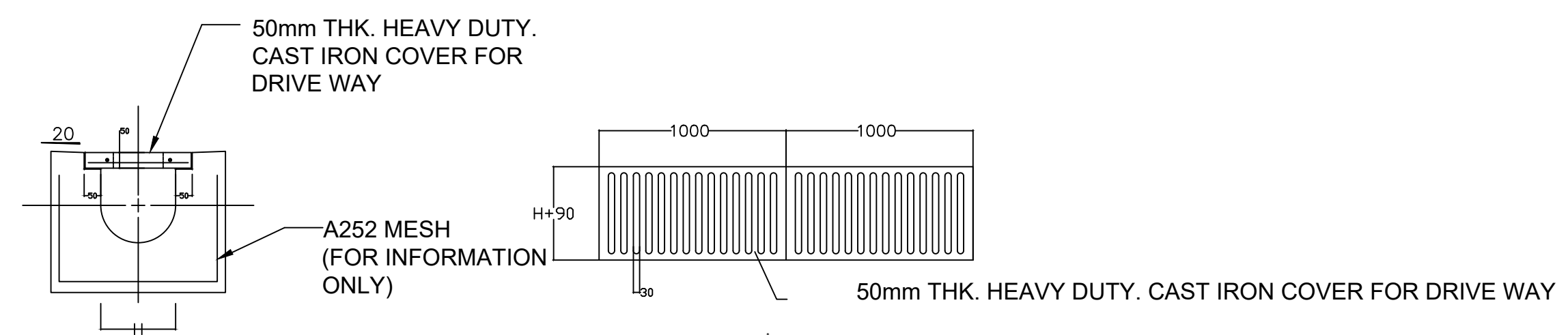
TOP SECTION FOR HEAVY DUTY  
COVER

## STANDARD CATCHPIT DETAILS

N.T.S.



TYPICAL SECTION  
PLAN OF COVERED CHANNEL  
U-CHANNEL WITH LIGHT DUTY IRON  
COVER

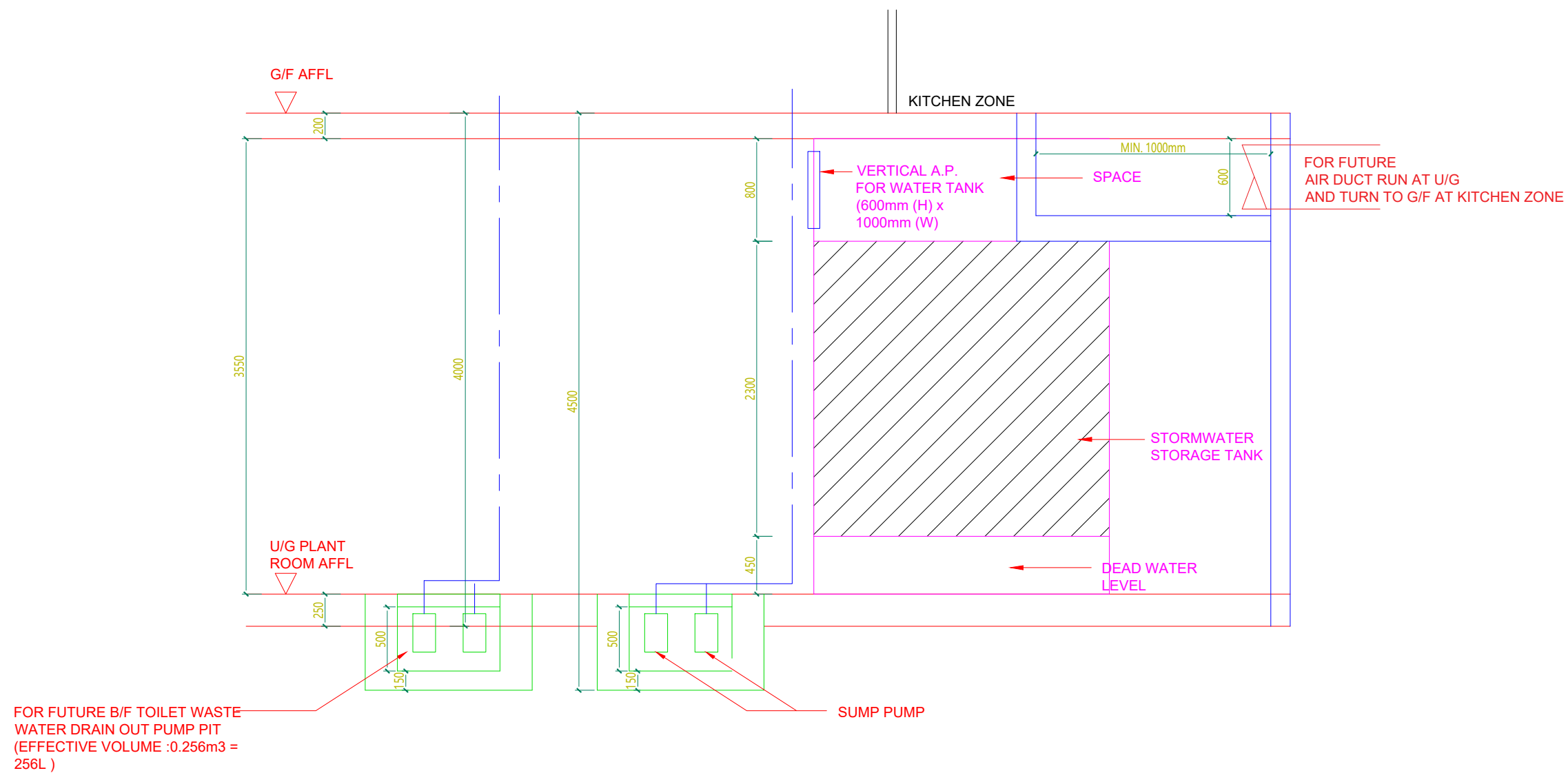


TYPICAL SECTION  
PLAN OF COVERED CHANNEL  
U-CHANNEL WITH HEAVY DUTY IRON  
COVER AT DRIVEWAY  
(UP TO H OF 525)

Ref.:

- DO NOT SCALE DRAWING. FIGURED DIMENSIONS ARE TO BE FOLLOWED. READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY IS FOUND THEREIN.
- THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE CERTIFIED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

Rev.	Date	Description
Project		
PROPOSED STORMWATER DRAINAGE SYSTEM FOR LOT 407SA SS2 SA %408SB SS1 RP IN DD94, KWU TUNG		
Drawing Title :		
STORMWATER DRAINAGE DETAIL		
Drawn :	ZS	Scale :
Date :	DEC 2022	Checked :
Job Ref.	-	Drawing No. DS-02
		Rev. -



POTABLE AND FLUSHING TANK AND PUMP ROOM + STORM WATER STORAGE PUMP ROOM SECTION DRAWING





VISION PLANNING CONSULTANTS LTD.  
弘域城市規劃顧問有限公司

Appendix Ib of RNTPC  
Paper No. A/NE-KTS/538A

Your Ref: TPB/A/NE-KTS/538  
Our Ref: NE-KTS/PA/GCL/23-07  
Date: 11 June 2024

By Hand and Email

The Secretary,  
Town Planning Board,  
c/o Town Planning Board Section,  
Planning Department,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong.

Dear Sirs,

**Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/538) – Further Information**

On behalf of the Applicant, we would like to submit herewith a total of 4 sets of the following materials to respond to comments raised by the District Lands Officer/North, Lands Department ("DLO/N, LandsD"), the Commissioner for Transport ("C for T") and the Chief Buildings Surveyor/New Territories West, Buildings Department ("CBS/NTW, BD") on the captioned planning application:

- i. Response-to-Comments ("R-to-C") Table dated 7.6.2024;
- ii. Figures 5a, 6a, 7a and 11a to replace their original ones (Annex A); and
- iii. Replacement pages of the Planning Statement (Annex B).

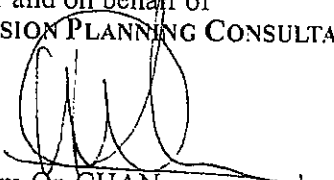
In addition, the Applicant would like to clarify the following:

- a. the total domestic GFA should be read as about 488.64m<sup>2</sup> (see Annexes A and B);
- b. the areas for road widening and for self-circulation purposes are about 26 m<sup>2</sup> and about 28 m<sup>2</sup> respectively (see Figure 5a). The overall setback area is about 54m<sup>2</sup> and the outside amenity planter area is about 16m<sup>2</sup> in extent; and
- c. A pedestrian route to the minibus station is attached in Annex C for easy reference.

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO or the undersigned

Thank you very much for your kind attention.

Yours faithfully,  
for and on behalf of  
VISION PLANNING CONSULTANTS LTD.

  
Kim On CHAN  
Managing Director

[NE-KTS/PA/GCL/23-07] [KC/sl]





**Table A**

Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (S.16 Planning Application TPB Ref: A/NE-KTS/538)

Departmental Comments		Applicant's Responses
<b>A. Comments from District Lands Officer/North, Lands Department received on 3 June 2024</b>		
	<b><u>Guard Room</u></b>	
1.	<p>It is noted from the application form that the "number of units" is "1". The Applicant should note that guard room which is taken as caretakers' / watchmen's office (as shown on Figure 7 – Ground Floor Plan of the Planning Statement in this case) would in general not be exempted from gross floor area calculation in case the concerned private lot is developed as a single house development.</p> <p>Please clarify if the proposed GFA has taken into account the GFA required for the Guard Room.</p>	<p>Noted. The GFA of the Guard Room is now being included in the proposed GFA. <b>Figure 5a</b> and <b>Figure 7a</b> in <b>Annex A</b>, and para. 4.1 and <b>Table 2</b> in the Planning Statement as attached in <b>Annex B</b> have been updated accordingly.</p>
	<b><u>Widening of local access road</u></b>	
2.	<p>According to paragraph 4.4 of the Planning Statement, a boundary set back of around 0.7m to 1.9m from the existing local access road along the western boundary of the Application Site is proposed to offer an opportunity to widen this section of local access road.</p> <p>In the event that the proposed boundary would be set back from the Application Site, the Applicant is required to clarify the management and maintenance issue of the concerned setback area.</p>	<p>Noted.</p> <p>The Applicant will undertake the responsibility for constructing, managing and maintaining the setback area within the Subject Site to the satisfaction of relevant government departments, until the government demands to take back the long-term management and maintenance of such setback area, should the current</p>

Table A

Departmental Comments		Applicant's Responses
	<p>Furthermore, by referring to Figure 5 – Master Layout Plan of the Planning Statement, the Applicant should clarify the extent of the adjoining private lots affected by the proposed road widening works. For any proposed road widening works that would affect third party private lots, the Applicant should demonstrate consent from the concerned private lot owners for the right of access, construction works, etc. have been obtained.</p>	<p>application be approved.</p> <p>No third party private lot will be affected under the current application.</p>
	<b><u>Septic Tank</u></b>	
3.	<p>Lastly, while the said setback area would not form part of the regnant lot of the land exchange application (if submitted), the Applicant is requested to justify why the proposed septic tank which solely serves the subject development (by referring to Figure 5 – Master Layout Plan and Figure 7 – Ground Floor Plan of the Planning Statement) would need to partially fall beyond the regnant lot boundary.</p>	<p>The location of the proposed septic tank has been revised accordingly (see <b>Figure 5a and Figure 7a</b>).</p>
<b>B. Comments from the Commissioner for Transport received on 5 June 2024</b>		
	<b><u>Widening of local access road</u></b>	
1.	<p>The road section fronting the Site is just about 25m long. Widening such a short section of access road would only bring insignificant traffic benefits to the road users in the community.</p>	<p>Noting the fact that the width of the present local service road fronting the Subject Site is ranged irregularly from 3m to 13m. It is the intention of the Applicant to make its initiative to provide a setback of its lot boundary fronting this substandard service road up to 6m as a mean to offer a positive and active community collaboration in a neighbourhood planning approach with a view to drawing the attention of other nearby land owners with high redevelopment potential sites to continue to contribute the same and/or similar setback to attain</p>

**Table A**

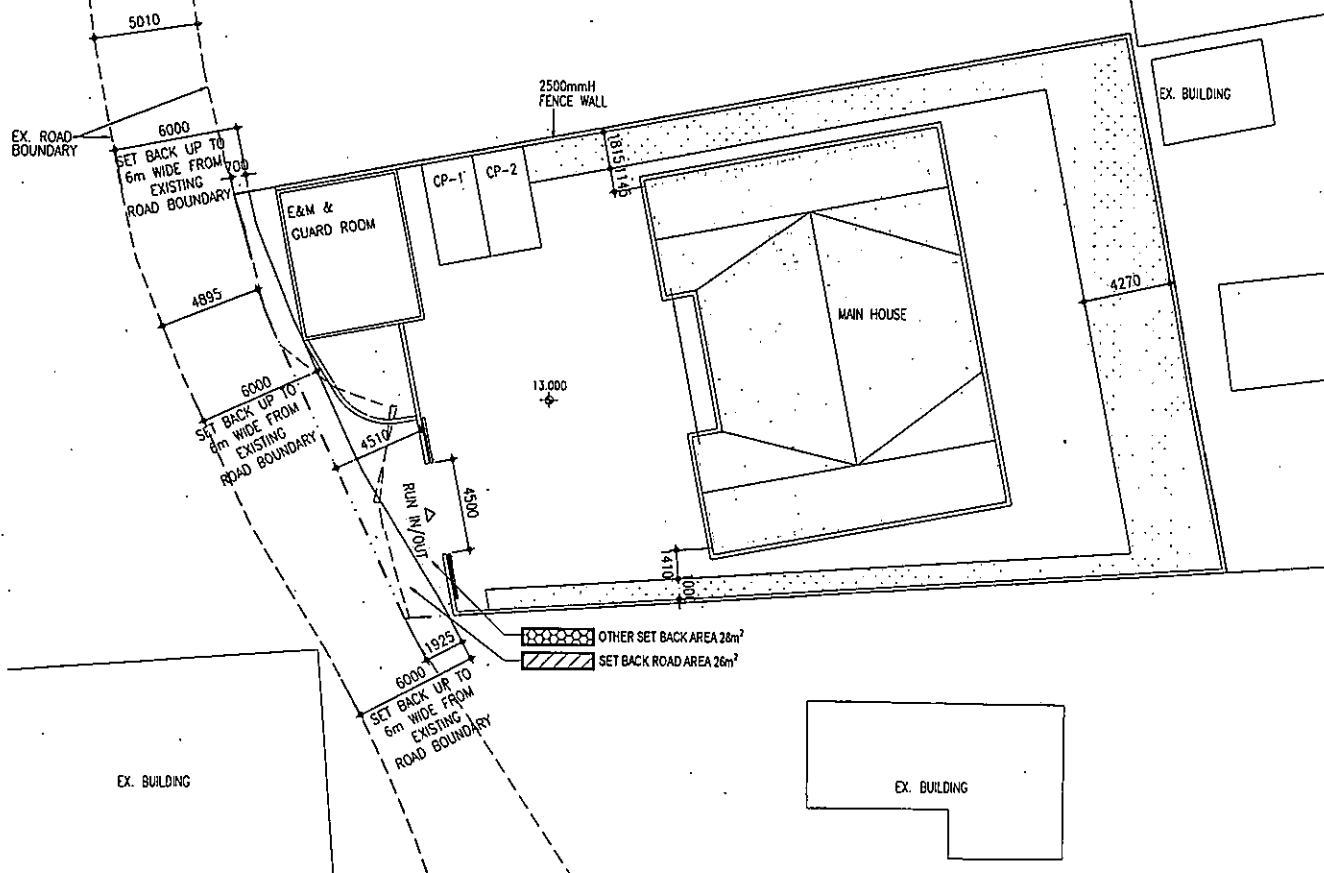
Departmental Comments	Applicant's Responses
	<p>a full length of road widening at the end of the day in a cumulative community-based manner. Positive and active efforts from relevant government departments to monitor and to encourage other new planning applications under this "R(D)" zone on the two sides of this substandard service road are also required in the near future.</p> <p>Despite the road section fronting the Site is only about 25m long, it represents the Applicant's best endeavour to make its contribution to the community at large. Unless, there is a solid and clear road improvement programme is now working by the Government or in the near foreseeable future, including, but not limited to the subject unattended substandard service road, local land owners have to rely on their own sincerely cumulative contributions to improve their local living conditions. All setbacks on the two sides of this substandard local service road via redevelopment schemes are essential and necessary to gradually improve the existing undesirable local living conditions and they are matters to the community in the long run.</p> <p>Please note that the Applicant has informally approached the adjoining land owners to the north of the Site, they have replied very positively and are willing to provide the similar setback once redevelopment schemes are in action.</p>

Table A

Departmental Comments		Applicant's Responses
C. Comments from the Chief Buildings Surveyor/New Territories West, Buildings Department received on 6 June 2024		
	<b><u>Accountability of Basement Floor</u></b>	
1.	Based on the information provided with consideration of the size, location and use, the underground E&M facilities and water tanks with access through cat ladder directly from internal part of the proposed house may be considered as a basement under the Buildings Ordinance (BO).	Please note that the proposed underground M&E utilities and associated plant rooms will only be connected by hatched doors located outside the proposed building. These underground essential ancillary facilities shall not be treated as a basement floor. <b>Figures 6b, 7a and 11a in Annex A</b> are being revised to replace their original ones.



SITE AREA: About 1,018m<sup>2</sup>  
 NO. OF BLOCKS: 2 (Main House + E&M Room & Guard Room)  
 PROPOSED PLOT RATIO: Not More Than 0.48  
 PROPOSED GFA: About 488.64m<sup>2</sup> (Including Guard Room)  
 PROPOSED SITE COVERAGE: 24.4% Main House + 4.4% E&M Room & Guard Room  
 =28.8%  
 PROPOSED BUILDING HEIGHT: Not More Than 9.0m  
 PROPOSED EXEMPTED GFA(E&M): 144m<sup>2</sup>



AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER  
 LEADTOPS RAYMOND LTD.  
 INCORPORATED IN THE REPUBLIC OF SOUTH AFRICA

DRAWING TITLE

MASTER LAYOUT PLAN

LEGEND:  
 SITE BOUNDARY  
 LANDSCAPE AREA

DRAWING NO. A-01  
 SCALE 1:250 @ A3  
 REV. 1  
 DATE 2024.06.07

Figure 5a - Master Layout Plan

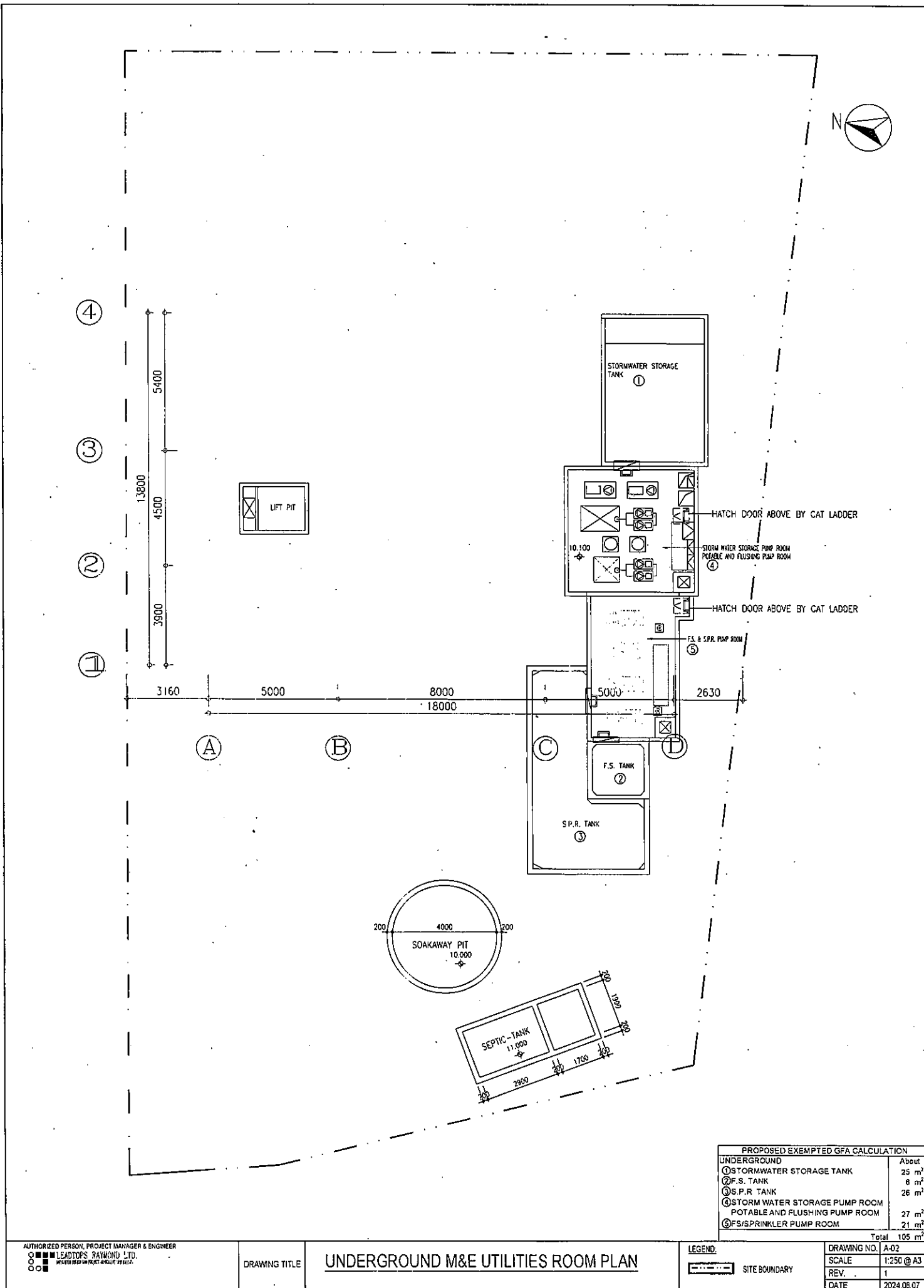


Figure 6a - Basement Floor Plan



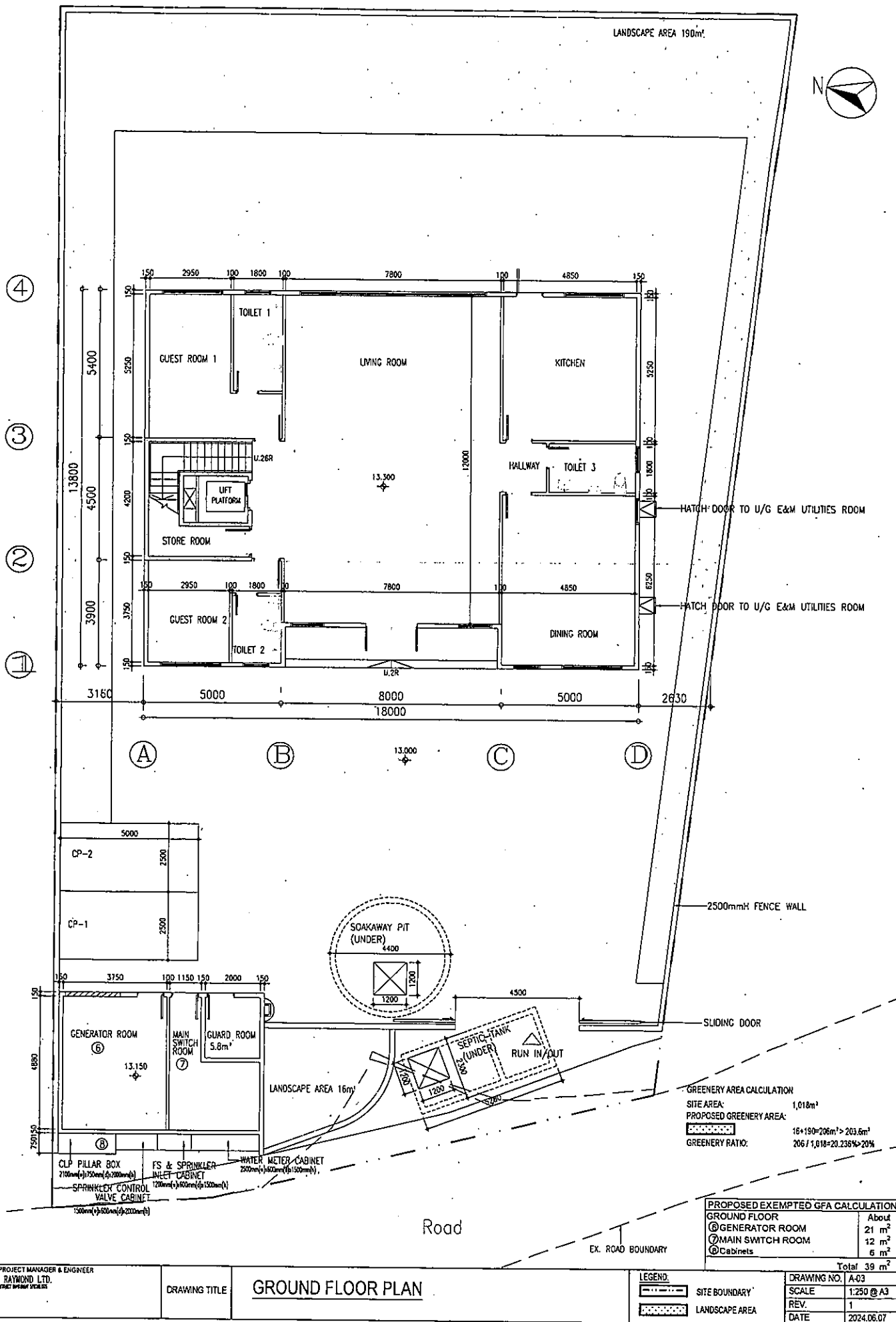


Figure 7a - Ground Floor Plan

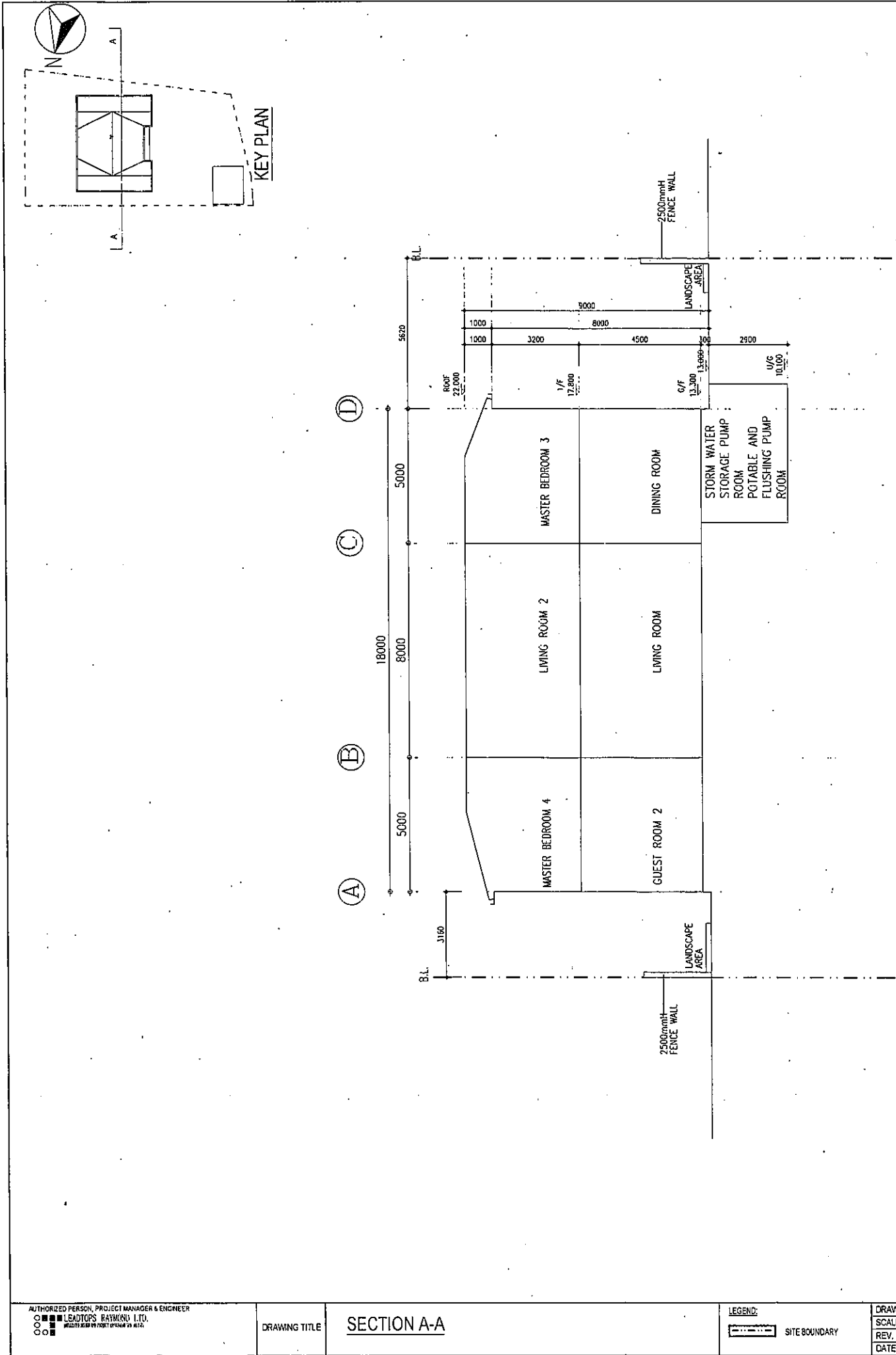


Figure 11a - Section

*merits of a development or redevelopment proposal, minor relaxation of the plot ratio and/or building height restriction(s) stated... may be considered by the Town Planning Board...". In view of this, the proposed minor relaxation of the maximum plot ratio restriction from 0.4 to 0.48 (i.e. an increase of 20%) also requires a permission from the TPB.*

- 3.4 The Subject Site has no previous planning application record.
- 3.5 As shown in **Figure 1**, four similar planning applications (i.e., No. A/NE-KTS/460, A/NE-KTS/466, A/NE-KTS/525 and A/NE-KTS/528) located in close proximity to the Subject Site within the same "R(D)" site were approved with conditions by the TPB since 2018.
- 3.6 **Table 1** summarises the details of these four approved applications.

**Table 1: Details of Four Similar Approved Planning Applications**

No.	Proposed Use	Date of Decision
1. A/NE-KTS/460	House Development	21.12.2018
2. A/NE-KTS/466	Residential Development and Minor Relaxation of Maximum PR (from 0.4 to 0.48) and Building Height Restrictions	13.12.2019
3. A/NE-KTS/525	Residential Development (Houses) and Minor Relaxation of Maximum PR (from 0.4 to 0.48) Restriction	27.10.2023
4. A/NE-KTS/528	House Development	9.6.2023

- 3.7 It is noted that two out of these four planning applications (i.e. Nos. 2 and 3) involved minor relaxation of maximum plot ratio restriction from 0.4 to 0.48, which is exactly the same relaxation level as that in the present application.

#### **4. INDICATIVE DEVELOPMENT PROPOSALS**

##### *The Scheme*

- 4.1 The proposed development scheme contains only one 2-storey (9m tall) house characterised by hip roof design. With a total land area of about 1,018m<sup>2</sup> and a proposed plot ratio of 0.48, a total domestic gross floor area ("GFA") of about 488.64m<sup>2</sup> is therefore proposed, which has incorporated the floor area of guard room (i.e. about 5.8m<sup>2</sup>). It is anticipated that if everything goes smooth, the whole project under application will complete by 2027.

- 4.2 **Figures 5, 6, 7, 8 and 9** show the Master Layout Plan (MLP), basement E&M facilities to be served by cat ladders, Ground Floor (G/F), First Floor (1/F) and Roof Floor (R/F) Plans of the proposed development respectively. **Figure 10** shows the front and side elevation diagrams of the proposed house development. The Section Diagrams of the proposed development are illustrated in **Figure 11** and **Figure 12**.
- 4.3 A 2.5m tall solid fence wall is proposed for better and greater security and privacy purposes (**Figure 5** and **Figure 7**). The overall building height of the proposed development including the hip roof structure is 9m (**Figures 10, 11** and **12**).
- 4.4 A boundary set back of around 0.7m to 1.9m from the existing local access road alongside the western site boundary is proposed to offer an opportunity to widen this section of local access road up to 6m wide (**Figure 5**).
- 4.5 **Table 2** outlines the key development parameters of the proposed development.

**Table 2: Key Development Parameters of the Proposed Development**

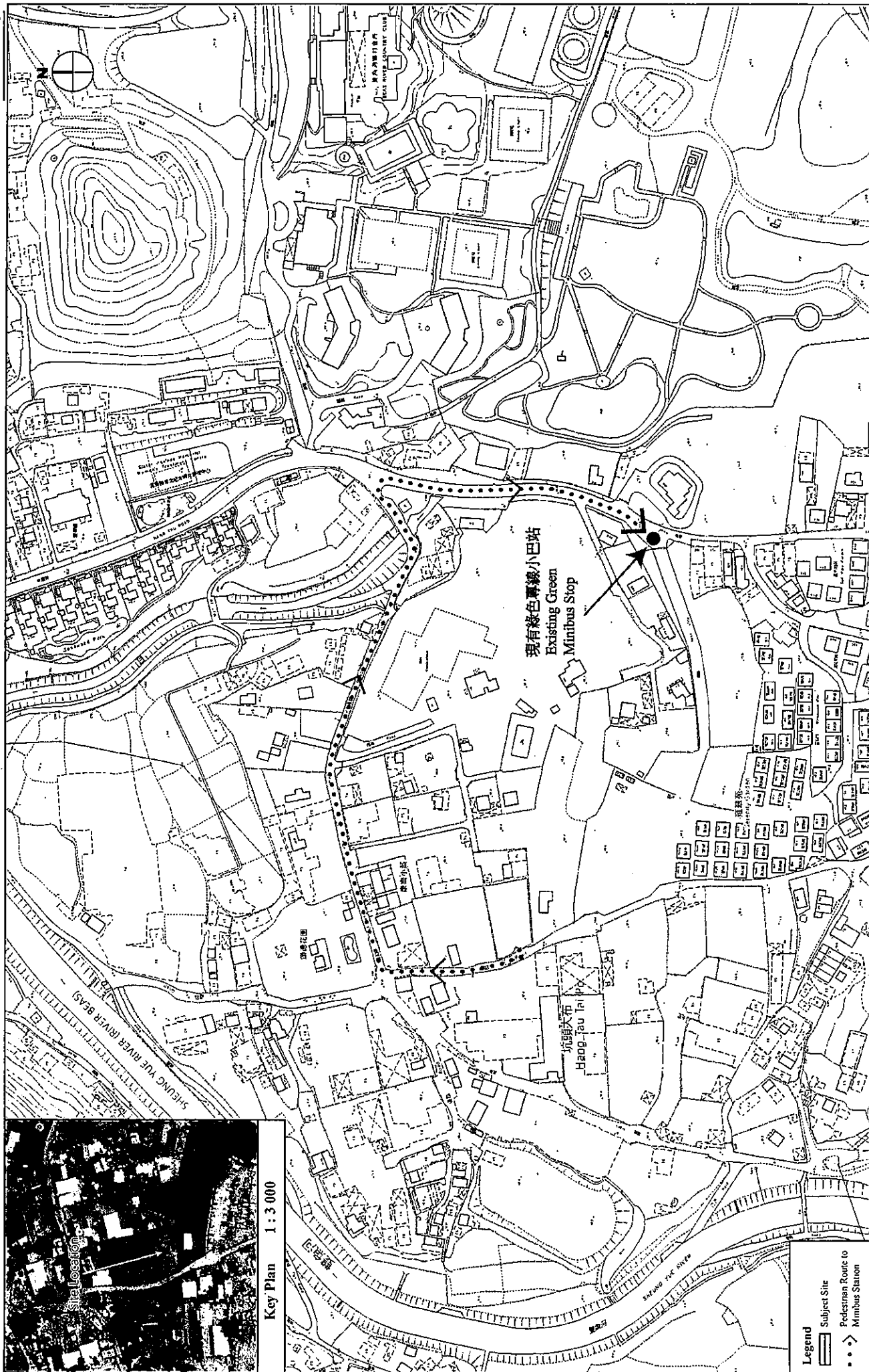
Item	
1. Site Area	About 1,018m <sup>2</sup>
2. Plot Ratio	Not more than 0.48
3. Total Domestic GFA	About 488.64m <sup>2</sup> (including guard room)
4. Site Coverage	About 28.8%
5. No. of Blocks	2 (Main House + E&M & Guard House)
6. Building Height	Not more than 9m
7. Number of Storeys	2 storeys plus 1-level of basement (for ancillary E&M facilities and stormwater storage tank)
8. Green Coverage	About 20.236% (> 20%)
10. Total Car Parking Spaces	2 private car parking spaces
14. Anticipated Completion Year	2027

#### ***Internal Traffic Arrangements***

- 4.6 A 4.5m wide main vehicular egress/ingress point is proposed at the south-western of the Subject Site as shown in **Figures 5** and **7**. To facilitate easy and safety vehicular and pedestrian movements to and from the proposed development, so as the other local road users in future, the Applicant proposes to provide additional set back area at this entrance point (**Figure 5**). Two on-site car parking spaces are planned to meet the daily needs of the proposed development during operational phase (**Figures 5** and **7**).

#### ***Sewage Disposal Proposals***

- 4.7 As mentioned in paragraph 2.3 above, the nearest public sewer manhole in this



**Legend**  
 Subject Site  
 Pedestrian Route to Minibus Station

**The Site and its Surroundings**

(Extracted from Government Survey Sheet Nos.: 2-SE-9D & 2-SE-10C & 2-SE-14B & 2-SE-15A and Aerial Photo No. 2022\_E146423C taken by Lands Department on 19 Jan 2022)

**VISION**

弘達城市規劃顧問有限公司  
 VISION PLANNING CONSULTANTS LTD.





VISION PLANNING CONSULTANTS LTD.  
弘域城市規劃顧問有限公司

Appendix Ic of RNTPC

Paper No. A/NE-KTS/538A

Your Ref: TPB/A/NE-KTS/538  
Our Ref: NE-KTS/PA/GCL/23-10  
Date: 26 June 2024

**By Hand and Email**  
(tpbpd@pland.gov.hk)

The Secretary,  
Town Planning Board,  
c/o Town Planning Board Section,  
Planning Department,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong.

Dear Sirs,

**Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/538) – Further Information**

On behalf of the Applicant, we would like to submit herewith a total of 4 sets of the following materials to respond to comments raised by the District Lands Officer/North, Lands Department ("DLO/N, LandsD") and the Chief Buildings Surveyor/New Territories West, Buildings Department ("CBS/NTW, BD") on the captioned planning application:

- i. Response-to-Comments ("R-to-C") Table (Table A) dated 26.6.2024; and
- ii. A set of revised plans, i.e. Figures 5b, 6b, 7b and 11b, as attached in Annex A to replace their original ones.

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO at or the undersigned at

Thank you very much for your kind attention.

Yours faithfully,  
for and on behalf of  
VISION PLANNING CONSULTANTS LTD.

Kim On CHAN  
Managing Director

[NE-KTS/PA/GCL/23-10] [KC/sl]



**Table A**

**Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (S.16 Planning Application TPB Ref: A/NE-KTS/538)**

Departmental Comments		Applicant's Responses
<b>A. Comments from District Lands Officer/North, Lands Department received on 13 June 2024</b>		
	<b><u>Guard Room</u></b>	
1.	The Applicant proposed in the FI a new setback area named for "self-circulation purposes" in para. 2b of its cover letter dated 11.6.2024 and marked it as "other set back area 28m <sup>2</sup> " in the revised Figure 5a – Master Layout Plan. The Applicant shall clarify the meaning of "self-circulation purposes", i.e. whether the said "other set back area 28m <sup>2</sup> " is intended to be surrendered to the Government (i.e. likewise as the "set back road area 26m <sup>2</sup> "), and its management and maintenance responsibilities.	The Applicant would like to confirm that it has no intention to surrender the "other set back area of 28m <sup>2</sup> " to the Government. This portion of the set back area will be designed, constructed, maintained and managed by the Applicant on its own expenses.
2.	Regardless of the Applicant's clarification of its intention, we note TD's comments from the Response-to-Comments that widening the short section of access road in this case would only bring insignificant traffic benefits to the road users in the community. As mentioned in our previous memo dated 3.6.2024, in the absence of the concerned bureau / department's request or support, <u>no conditions for road widening works would be incorporated under lease of the regrant lot of the land exchange application (if submitted).</u>	Noted.



Table A

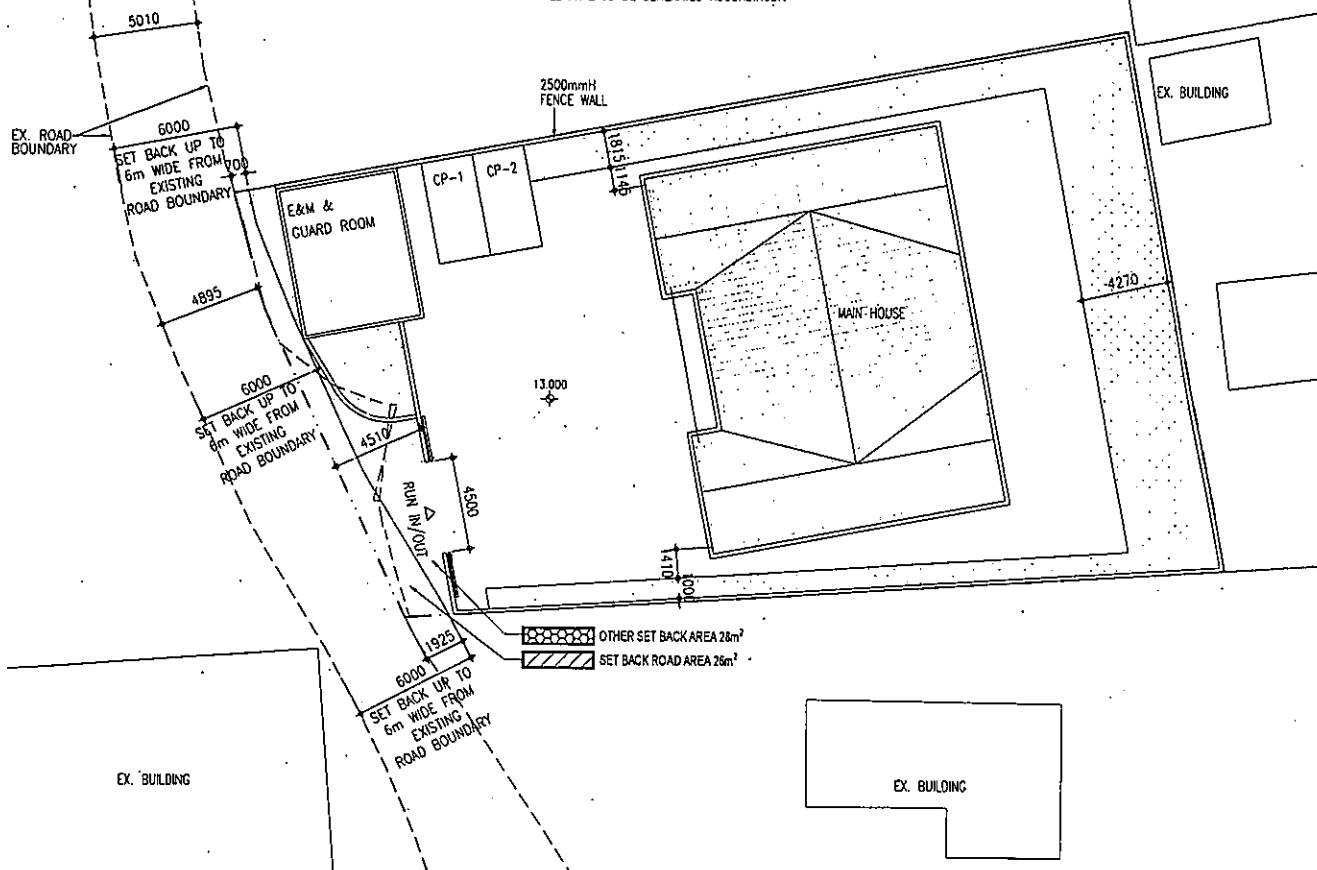
Departmental Comments		Applicant's Responses
3.	<p>Lastly, the Applicant has revised the location of the septic tank. The Applicant should ensure the septic tank and any other private facilities should be erected on private lot boundary and free from any surrender requirement of the land exchange application (if submitted). Also, this office will give detailed comment on the GFA at the stage of land exchange application (if submitted).</p>	Noted.
<b>B. Comments from the Chief Buildings Surveyor/New Territories West, Buildings Department received on 14 June 2024</b>		
1.	<p>Based on the information provided, in particular of the height, the underground E&amp;M facilities and water tanks may be considered as a storey under the Buildings Ordinance.</p>	<p>The proposed heights of the F.S. &amp; sprinkler pump room, stormwater storage pump room and portable &amp; flushing pump room have been reduced to 2.1m, while the height of the stormwater storage tank, F.S. tank and sprinkler tank are now being reduced to 2.8m. Due to the above changes, a set of revised plans, i.e. <b>Figures 5b, 6b, 7a and 11a</b>, is now attached in <b>Annex A</b> to replace their original ones. As a result, the sizes of these ancillary facilities have been amended and an additional GFA of about 12m<sup>2</sup> will be resulted accordingly.</p>





SITE AREA:	About 1,018m <sup>2</sup>
NO. OF BLOCKS:	2 (Main House + E&M Room & Guard Room)
PROPOSED PLOT RATIO:	Not More Than 0.48
PROPOSED GFA:	About 488.64m <sup>2</sup> (Including Guard Room)
PROPOSED SITE COVERAGE :	24.4% Main House + 4.4% E&M Room & Guard Room =28.8%
PROPOSED BUILDING HEIGHT:	Not More Than 9.0m
PROPOSED EXEMPTED GFA(E&M):	156m <sup>2</sup> *

\*DUE TO REDUCTION OF HEIGHTS, ADDITIONAL 12m<sup>2</sup> EXEMPTED GFA WILL HAVE TO BE GENERATED ACCORDINGLY.



AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER  
LEADTOPS RAYMOND LTD.  
REGISTERED AS AN ARCHITECT UNDER THE ARCHITECTS ACT

DRAWING TITLE

MASTER LAYOUT PLAN

LEGEND:

— SITE BOUNDARY  
— LANDSCAPE AREA

DRAWING NO. A-01

SCALE 1:250 @ A3

REV. 2

DATE 2024.06.24

Figure 5b - Master Layout Plan

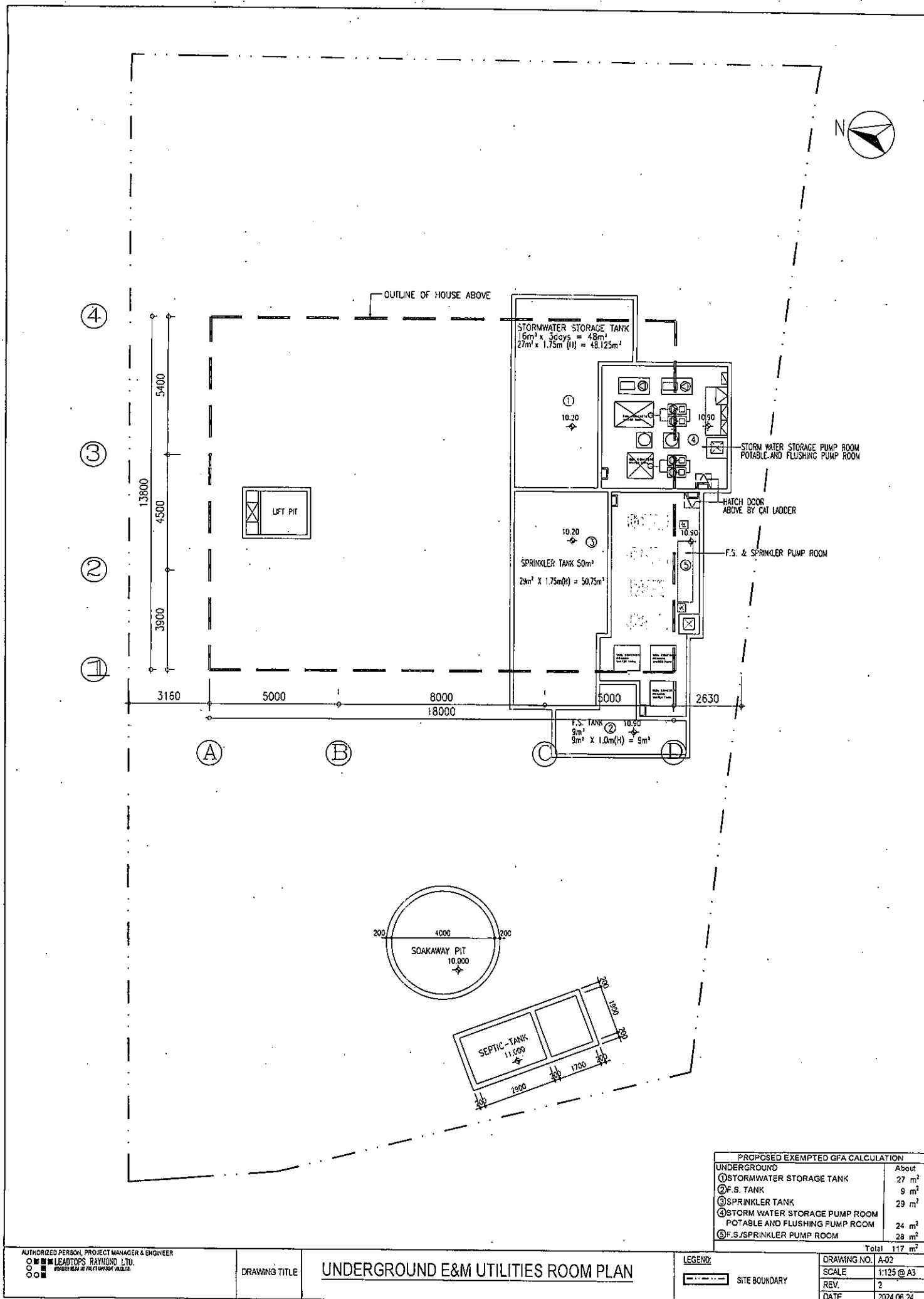


Figure 6b - Underground E&M Utilities Room Plan

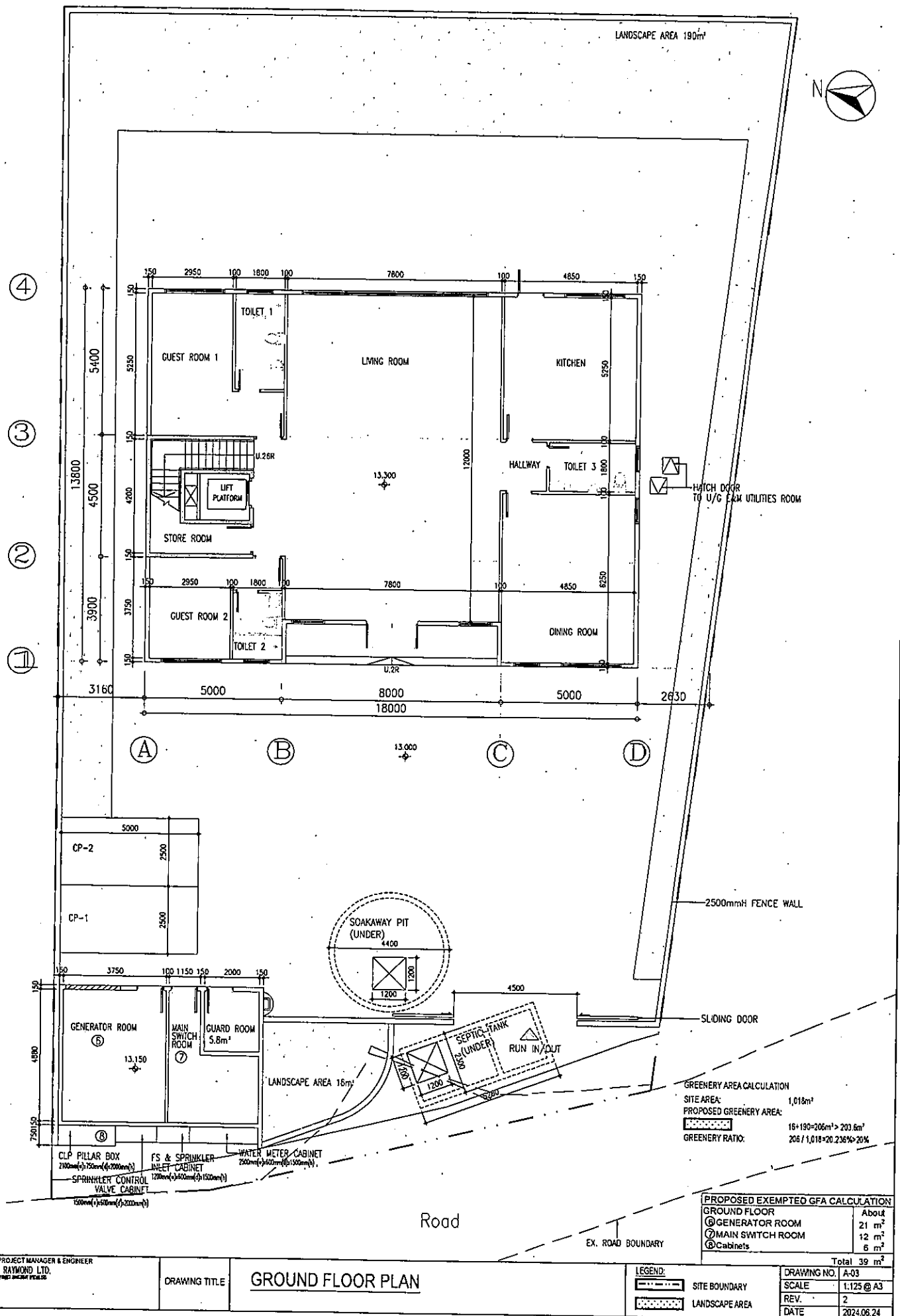


Figure 7b - Ground Floor Plan

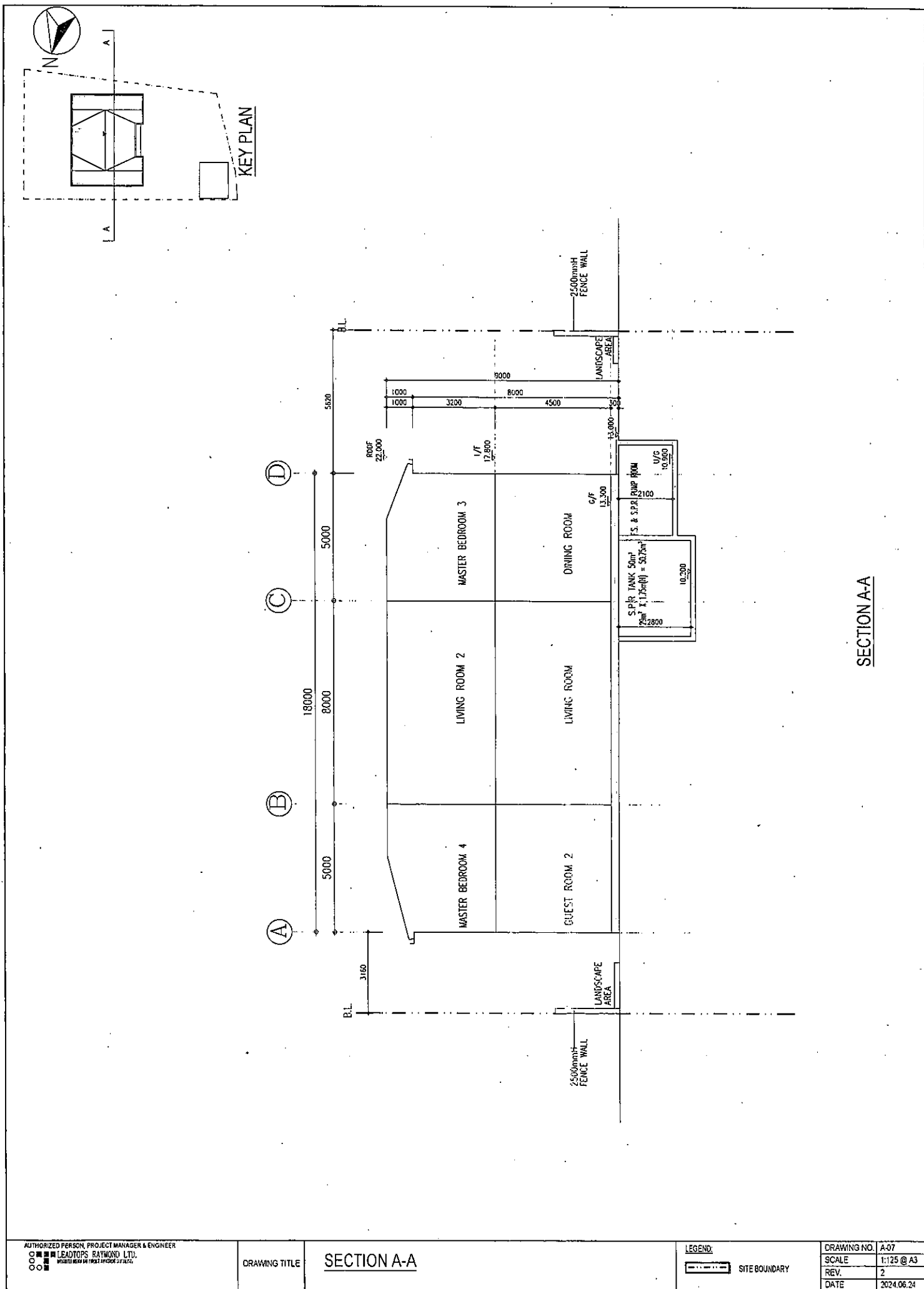


Figure 11b - Section



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弘域城市規劃顧問有限公司

Appendix Id of RNTPC

Paper No. A/NE-KTS/538A

Your Ref: TPB/A/NE-KTS/538  
Our Ref: NE-KTS/PA/GCL/23-11  
Date: 22 July 2024

**By Hand and Email**  
(tpbpd@pland.gov.hk)

The Secretary,  
Town Planning Board,  
c/o Town Planning Board Section,  
Planning Department,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong.

Dear Sirs,

**Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/538) – Further Information**

In response to the specific comments raised by the Chief Buildings Surveyor/New Territories West, Buildings Department ("CBS/NTW, BD") on the proposed development under application, please find enclosed herewith a total of 4 sets of the following materials:

- i. Response-to-Comments ("R-to-C") Table (**Table A**) dated 22.7.2024; and
- ii. A set of revised plans, i.e. **Figures 6c** and **11c**, as attached in **Annex A** to replace their original ones.

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO or the undersigned

Thank you very much for your kind attention.

Yours faithfully,  
for and on behalf of  
**VISION PLANNING CONSULTANTS LTD.**

Kim On CHAN  
Managing Director

[NE-KTS/PA/GCL/23-11] [KC/sl]

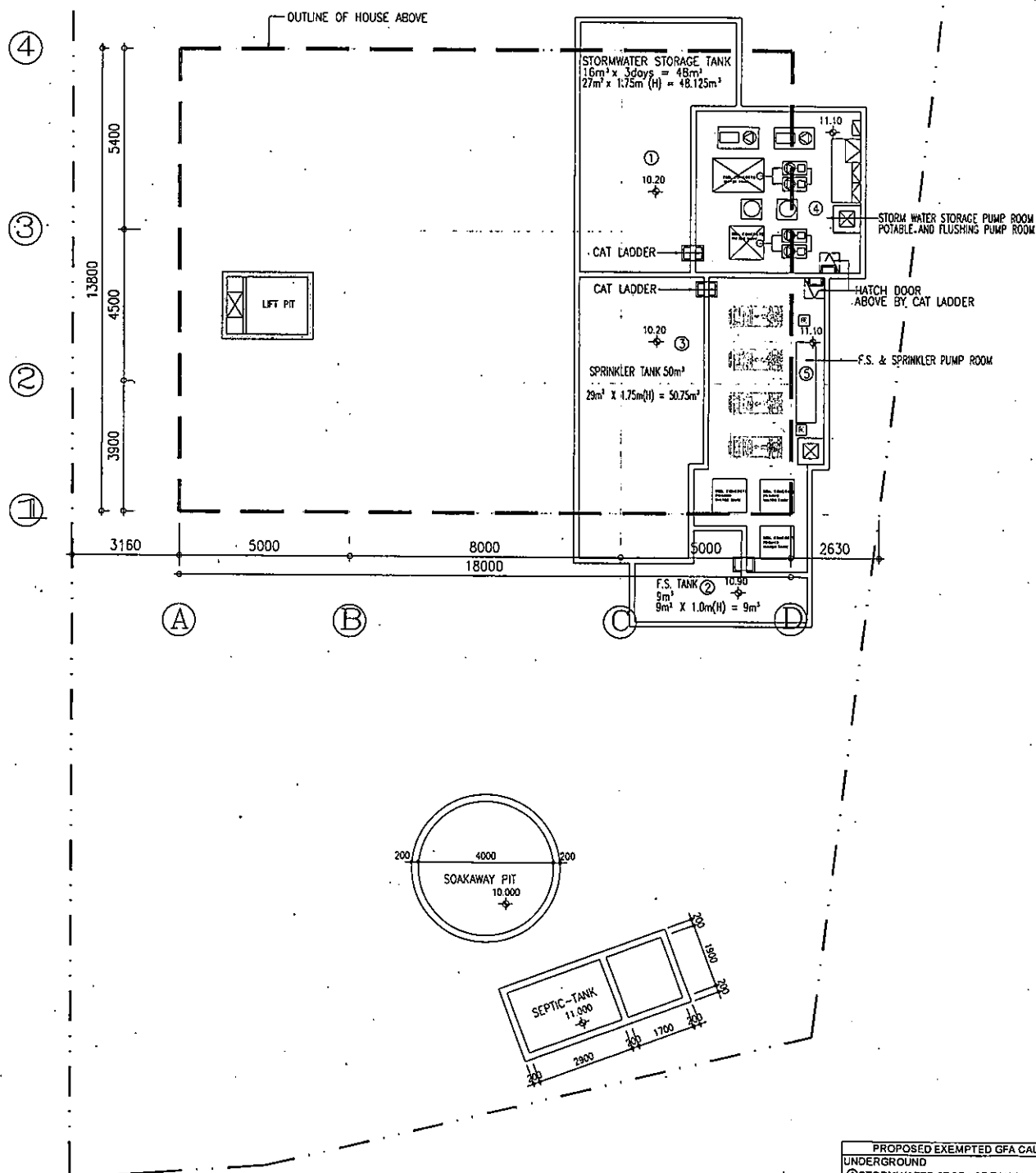


**Table A**

**Proposed ‘House (not elsewhere specified)’ Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in “Residential (Group D)” Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (S.16 Planning Application TPB Ref: A/NE-KTS/538)**

<b>Departmental Comments</b>		<b>Applicant’s Responses</b>
<b>A. Comments from the Chief Buildings Surveyor/New Territories West, Buildings Department received on 9 July 2024</b>		
1.	Based on the information provided, in particular of the height, the underground E&M facilities and water tanks may be considered as a storey under the Buildings Ordinance.	In response to BD’s specific concerns, the AP of the Project Team is now proposed to reduce the heights of the F.S. & sprinkler pump room, stormwater storage pump room and portable & flushing pump room to 1.9m, and the height of the F.S. tank is now being reduced to 2.1m. As such, a set of revised plans, i.e. <b>Figures 6c and 11c</b> , is now attached in <b>Annex A</b> to replace their original ones. <b>Figure 11c</b> shows the updated section diagram with respect to the above changes.





PROPOSED EXEMPTED GFA CALCULATION	
UNDERGROUND	About
① STORMWATER STORAGE TANK	27 m <sup>2</sup>
② F.S. TANK	9 m <sup>2</sup>
③ SPRINKLER TANK	29 m <sup>2</sup>
④ STORM WATER STORAGE PUMP ROOM POTABLE AND FLUSHING PUMP ROOM	24 m <sup>2</sup>
⑤ F.S./SPRINKLER PUMP ROOM	28 m <sup>2</sup>
<b>Total</b>	<b>117 m<sup>2</sup></b>

AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER  
 LEADTOPS RAYMOND LTD.  
 PROJECT MANAGER & ENGINEER

DRAWING TITLE

UNDERGROUND E&amp;M UTILITIES ROOM PLAN

LEGEND:

SITE BOUNDARY

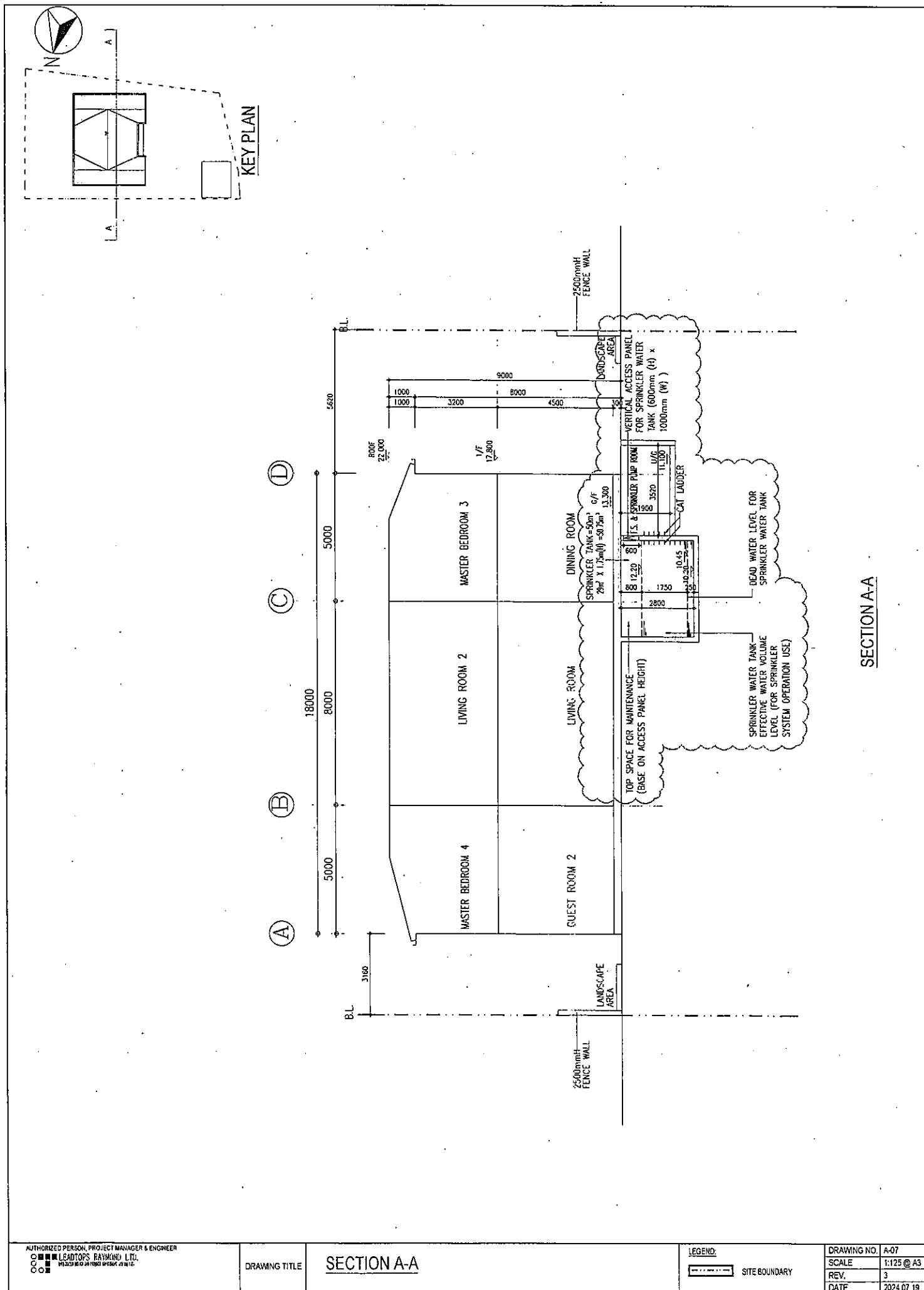
DRAWING NO. A-02

SCALE 1:125 @ A3

REV. 3

DATE 2024.07.19

Figure 6c - Underground E&amp;M Utilities Room Plan





VISION PLANNING CONSULTANTS LTD.  
弘域城市規劃顧問有限公司

Appendix Ie of RNTPC

Paper No. A/NE-KTS/538A

Your Ref: TPB/A/NE-KTS/538  
Our Ref: NE-KTS/PA/GCL/23-12  
Date: 31 July 2024

**By Hand and Email**  
(tpbpd@pland.gov.hk)

The Secretary,  
Town Planning Board,  
c/o Town Planning Board Section,  
Planning Department,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong.

Dear Sirs,

**Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/538) – Further Information**

In response to the specific comments raised by the Chief Buildings Surveyor/New Territories West, the Buildings Department ("CBS/NTW, BD"), please find enclosed herewith a total of 4 sets of the following materials:

- i. Response-to-Comments ("R-to-C") Table (Table A) dated 31.7.2024; and
- ii. A set of revised plans, i.e. **Figures 5c, 6d, 7c, 11d and 12a**, as attached in **Annex A** to replace their original ones.

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO or the undersigned

Thank you very much for your kind attention.

Yours faithfully,  
for and on behalf of  
**VISION PLANNING CONSULTANTS LTD.**

Kim On CHAN  
Managing Director

[NE-KTS/PA/GCL/23-12] [KC/sl]



Table A

Proposed 'House (not elsewhere specified)' Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in "Residential (Group D)" Zone at Lots Nos. 407 S.A ss.2 S.A and 408 S.B ss.1 RP in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (S.16 Planning Application TPB Ref: A/NE-KTS/538)

Departmental Comments		Applicant's Responses
<b>A. Comments from the Chief Buildings Surveyor/New Territories West, Buildings Department received on 29 July 2024</b>		
1.	Based on the information provided, in particular of the height, the underground E&M facilities and water tanks may be considered as a storey under the Buildings Ordinance.	<p>In response to BD's specific concerns, the AP of the Project Team is now proposed to relocate the underground E&amp;M utilities to the west of the main house with a 1m separation from the main house footprint. The underground facilities will be accessible from outside the building.</p> <p>As such, a set of revised plans, i.e. <b>Figures 5c, 6d, 7c, 11d and 12a</b>, is now attached in <b>Annex A</b> to replace the original ones.</p>

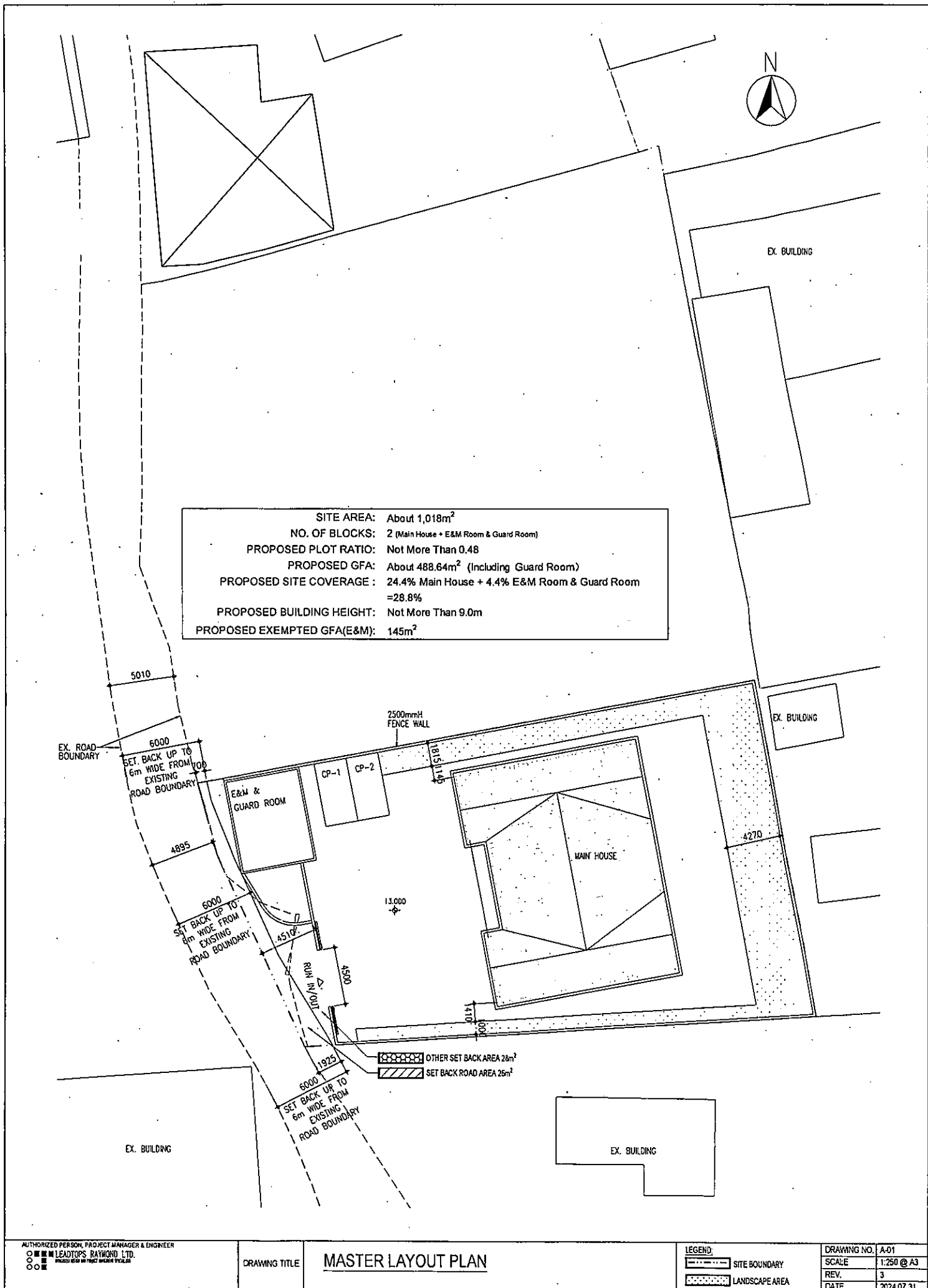
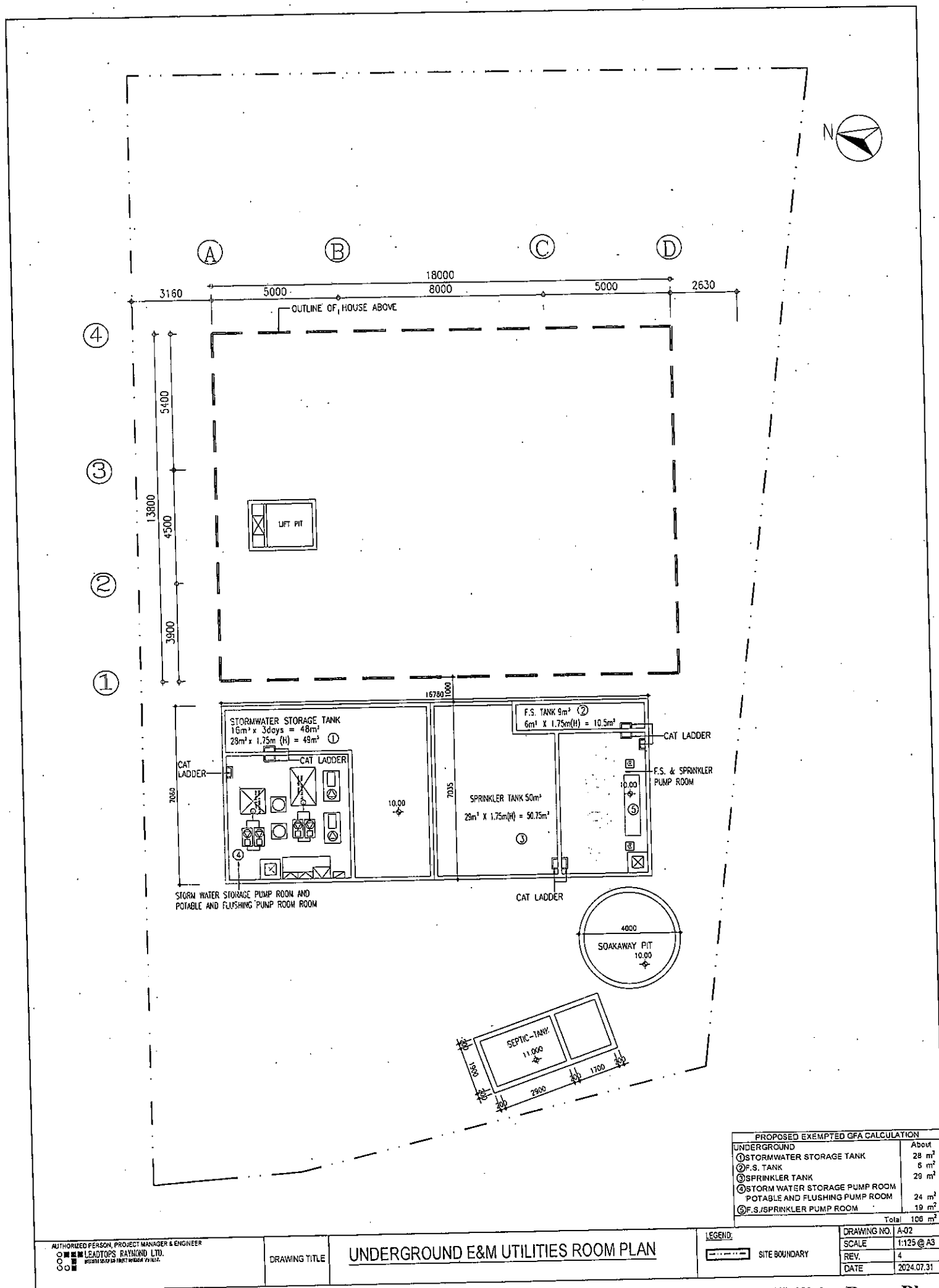


Figure 5c - Master Layout Plan



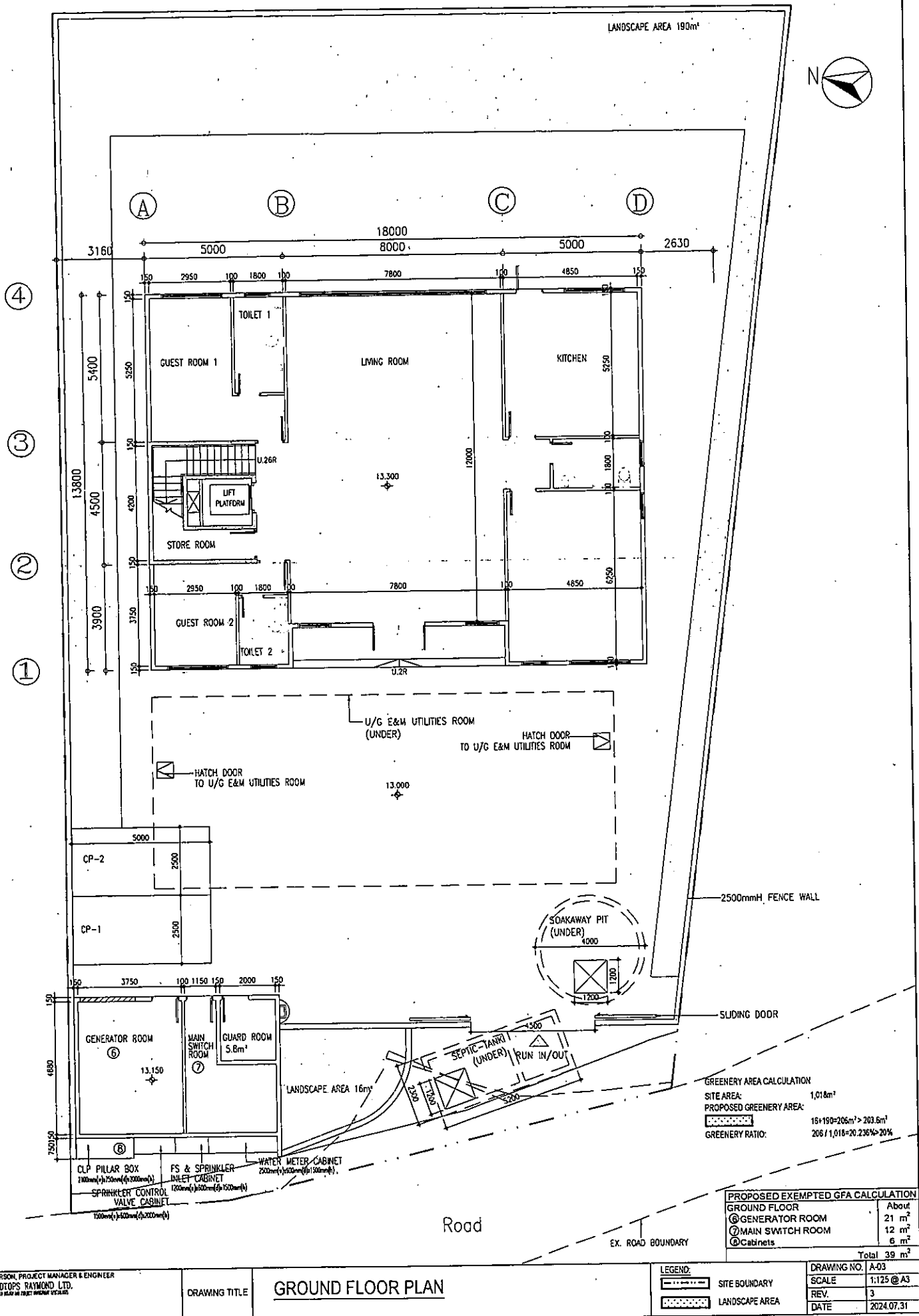


Figure 7c - Ground Floor Plan

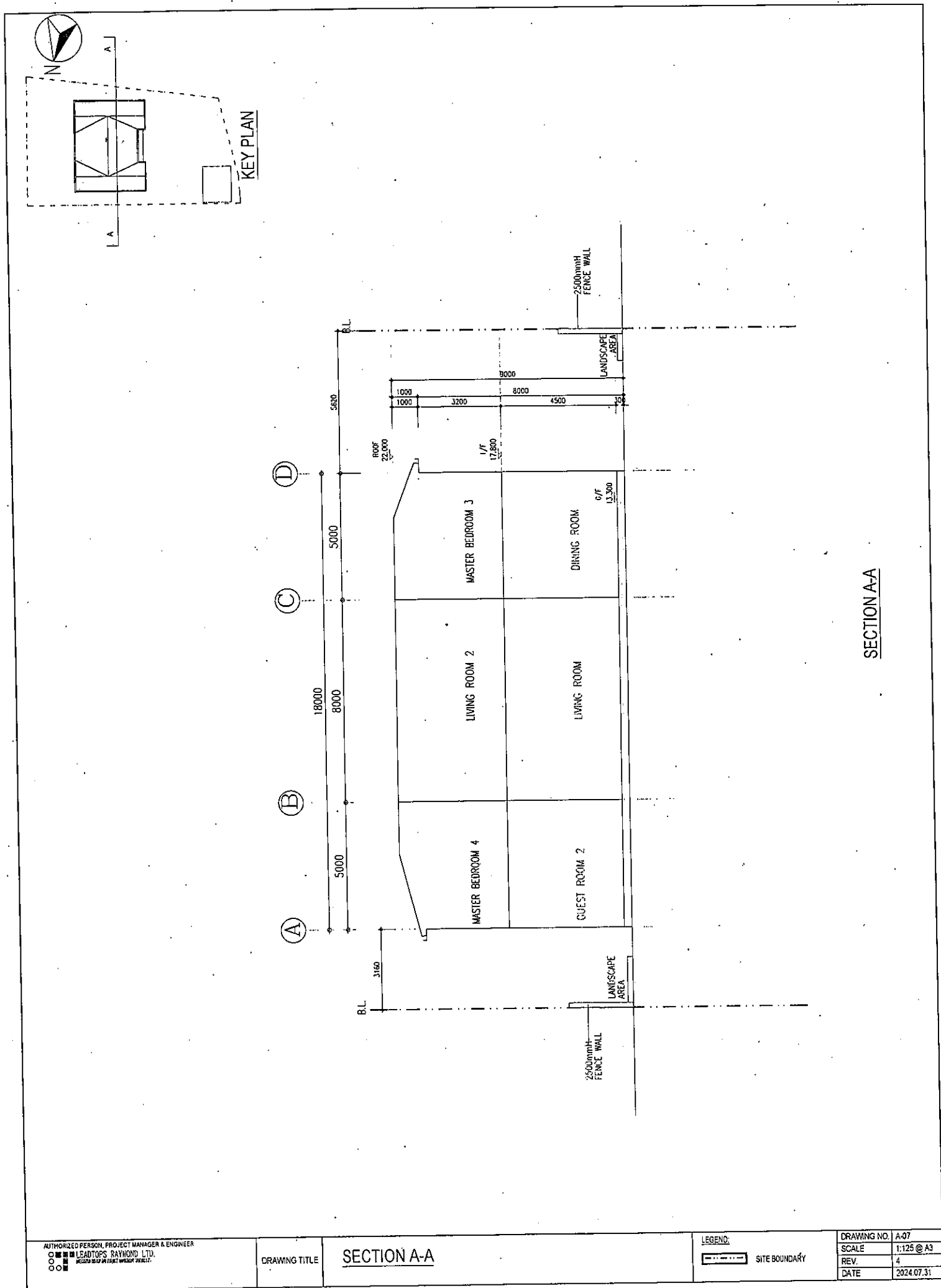


Figure 11d - Section



