

2024年 8月 7日

此文件已收到・城市規劃委員會
主要的資料及文件後才正式確認收到

This is received on 7 AUG 2024
The Planning Board will formally acknowledge
the application only upon receipt
of all required information and documents.

Form No. SI6-I
表格第 SI6-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) Construction of "New Territories Exempted House(s)";
興建「新界豁免管制屋宇」;
- (ii) Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) Renewal of permission for temporary use or development in rural areas or Regulated Areas
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/zh/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註釋

* "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401906

5/8

by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NZ-KS / 541
	Date Received 收到日期	7 AUG 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Chung Yick Tung Holding Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Vision Planning Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot No. 1120 S.A in D.D.92 (Part), Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,782.8 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 855.74 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Draft Kwu Tung South Outline Zoning Plan No. S/NE-KTS/21
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group D)" Zone
(f) Current use(s) 現時用途	Vacant with a single-storey structure (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。

☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☒ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數	Number of units involved 涉及單位數目		
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請	
(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p>
(b) Intended use/development 有意進行的用途/發展	

(iii) For Type (iii) application 供第(iii)類申請													
(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☒ Plot ratio restriction From 由 0.4 to 至 0.48
地積比率限制
- ☐ Gross floor area restriction From 由 sq. m 平方米 to 至 sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由 % to 至 %
上蓋面積限制
- ☐ Building height restriction From 由 m 米 to 至 m 米
建築物高度限制
- From 由 mPD 米 (主水平基準上) to 至 mPD 米 (主水平基準上)
- From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由 m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed
use(s)/development
擬議用途/發展

Proposed Houses Development and Minor Relaxation of Plot
Ratio Restriction

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積	..... 855.74 sq.m 平方米	<input checked="" type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	..... not more than 0.48	<input type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積	..... 29.5 %	<input checked="" type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	..... 4 [(2 Main Houses + 2 E&M-cum-Guard Rooms)]	
Proposed no. of storeys of each block 每座建築物的擬議層數	..... not more than 2 storeys 層	
	(with underground E&M utilities accessible outside the building)	
	<input type="checkbox"/> include 包括 storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括 storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度	..... mPD 米 (主水平基準上)	<input type="checkbox"/> About 約
	..... not more than 9 m 米	<input type="checkbox"/> About 約
	(above ground level)	

☒ Domestic part 住用部分

GFA 總樓面面積

855.74 sq. m 平方米

☒ About 約

number of Units 單位數目

2 Houses

average unit size 單位平均面積

427.87 sq. m 平方米

☐ About 約

estimated number of residents 估計住客數目

about 8

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆

..... sq. m 平方米

☐ About 約☐ hotel 酒店

..... sq. m 平方米

☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室

..... sq. m 平方米

☐ About 約☐ shop and services 商店及服務行業

..... sq. m 平方米

☐ About 約☐ Government, institution or community facilities

(please specify the use(s) and concerned land

政府、機構或社區設施

area(s)/GFA(s) 請註明用途及有關的地面面積/總

樓面面積)

.....
.....
.....☐ other(s) 其他

(please specify the use(s) and concerned land

area(s)/GFA(s) 請註明用途及有關的地面面積/總

樓面面積)

.....
.....
.....☒ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☒ private open space 私人休憩用地...about 372 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地..... sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
4 [(2 Main Houses + 2 E&M-cum- Guard Rooms)]	G/F 1/F (underground)	Residential, E&M-cum-Guard Room Residential (solely for ancillary utilities installation)
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Landscape Area, Car Parking Space

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

April 2028

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行車通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) local village road <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?	Yes 是 No 否	<input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 4 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____ <input checked="" type="checkbox"/>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> No 否 <input checked="" type="checkbox"/></p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																																
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input checked="" type="checkbox"/> No 否 <input type="checkbox"/></p>	<p><input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 212 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of excavation 挖土深度 2.8 m 米 <input checked="" type="checkbox"/> About 約</p> <p><input type="checkbox"/> (for underground utilities only)</p>																																
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td colspan="3">No sewerage impact</td> </tr> </table> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	No sewerage impact		
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																																
No sewerage impact																																		

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

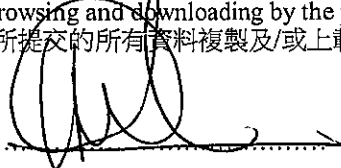
Please refer to the Planning Statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Mr. Kim On CHAN

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Managing Director

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☒ Fellow of 資深會員

專業資格

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☒ RPP 註冊專業規劃師

Others 其他

#29

on behalf of
代表

Vision Planning Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及印章（如適用）



Date 日期

05/08/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量^②

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

② Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該靈灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) ()		
Location/address 位置/地址	Lot No. 1120 S.A in D.D.92 (Part), Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B. in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories		
Site area 地盤面積	1,782.8 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)		
Plan 圖則			
Zoning 地帶	Draft Kwu Tung South Outline Zoning Plan No. S/NE-KTS/21		
Applied use/ development 申請用途/發展	Proposed Houses Development and Minor Relaxation of Plot Ratio Restriction from 0.4 to 0.48		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	855.74 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.48 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	4 (2 Main Houses + 2 E&M-cum-Guard Rooms)	
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	9	<input checked="" type="checkbox"/> (Not more than 不多於) m 米
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		2 (with underground E&M utilities accessible outside the building)	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層 (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用		<input type="checkbox"/> (Not more than 不多於) m 米
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層 (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		<input type="checkbox"/> (Not more than 不多於) m 米
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層 (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	29.5 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	2		
(vi) Open space 休憩用地	Private 私人	372 (landscape area) sq.m 平方米	<input checked="" type="checkbox"/> Not less than 不少於
	Public 公眾		sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	4
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	4
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」, 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

此為空白頁。
This is a blank page.

**Proposed ‘House (not elsewhere specified)’
Development and Proposed Minor Relaxation
of Maximum Plot Ratio Restriction
in “Residential (Group D)” Zone at
Lot No. 1120 S.A in D.D.92, Lots
Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B
in D.D. 94, Hang Tau Tai Po,
Kwu Tung South, New Territories**

Applicant	:	Chung Yick Tung Holding Limited
Project Manager	:	Gender Consultants Limited
Planning Consultant	:	Vision Planning Consultants Limited
Project Architect	:	Leadtops Raymond Limited
E&M Consultant	:	WEC Engineering Consultants (International) Ltd.
Date of Submission	:	5 August 2024

CONTENTS

Executive Summary

Main Text

- 1. The Application**
- 2. The Site and Its Surroundings**
- 3. Statutory Planning Context**
- 4. Similar Previous Approved Applications**
- 5. Schematic Development Proposals**
- 6. Planning Justifications**
- 7. Conclusion**

List of Tables

Table 1	Details of Four Similar Approved Planning Applications
Table 2	Key Development Parameters of the Proposed Development

List of Figures

Figure 1	Site Location Plan
Figure 2	Lot Index Plan of the Subject Site
Figure 3	Lot Plan of the Subject Site (Site A)
Figure 4	Lot Plan of the Subject Site (Site B)
Figure 5	The Site and Its Surroundings
Figure 6	Schematic Master Layout Plan
Figure 7	Underground E&M Utilities Plan
Figure 8	Ground Floor Plan
Figure 9	First Floor Plan
Figure 10	Roof Floor Plan
Figure 11	Elevations
Figure 12	Sections

Appendices

Appendix I	Extract of the Notes of the Draft Kwu Tung South Outline Zoning Plan No. S/NE-KTS/21
Appendix II	Sewage Treatment Proposal
Appendix III	Drainage Proposal

Executive Summary

This planning application aims to seek a permission from the Town Planning Board ("TPB") for a proposed 'House (not elsewhere specified)' development and proposed minor relaxation of maximum plot ratio ("PR") restriction from 0.4 to 0.48 (i.e. an increase of 20%) in "Residential (Group D)" ("R(D)") zone on the Draft Kwu Tung South Outline Zoning Plan No. S/NE-KTS/21 ("OZP") at Lot No. 1120 S.A in D.D.92, and Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B. in D.D. 94 (hereinafter collectively called the "**Subject Site**"), Hang Tau Tai Po, Kwu Tung South, New Territories.

The proposed development comprises two independent and self-contained 2-storey (9m tall including hip roof structure) houses which totally complies with the statutory building height restriction set out in the Notes of the OZP for "R(D)" zone. A 2.5m tall solid fence wall in each house lot is proposed for the privacy and security reasons. Each house will provide its own set of ancillary interim fire fighting, sewage disposal and storm water drainage systems.

It has been demonstrated that the proposed increase in plot ratio by 20% is minor in nature and will not result in any consequential significant impact on the local area with respect to visual, traffic, sewerage or drainage aspects. The approval of two previous planning applications with the same increase in plot ratio within the same "R(D)" site by the TPB has already proved that the proposed increase in plot ratio by 20% for this low-rise, low density residential development is not incompatible and acceptable from the land-use planning standpoint. As such, the present proposed development should share the same land-use planning treatment as those given by the TPB in the two previous approved applications. The approval of this application will contribute a meaningful section of road widening works (i.e. enable to widen the local sub-standard road width up to 6m wide). Upon completion of this local road widening works, it will benefit all local road users in the area.

行政摘要

(內文如有差異，以英文為準)

本規劃申請旨在懇請城市規劃委員會(下稱「**城規會**」)批准，就位於新界 古洞南 坑頭大布丈量約份第 92 約地段第 1120 段 A 分段及第 94 約地段第 408 段 B 分段第 1 小分段 A 分段和 408 段 B 分段第 1 小分段 B 分段(以下統稱為「**申請地點**」)，屬於「古洞南分區計劃大綱草圖編號 S/NE-KTS/21」(以下簡稱為「**大綱草圖**」)的「住宅(丁類)」用途地帶，擬議的屋宇發展，以及擬議略為放寬最高地積比率限制，由 0.4 放寬至 0.48 (即增幅 20%)的規劃申請。

擬議發展方案是按照「大綱草圖」「住宅(丁類)」用途地帶註釋上要求的建築物高限要求而設計，是兩幢兩層(9 米高，包括四坡屋頂結構高度)完全各自獨立的住宅屋宇。為加強各自屋宇發展的隱私及保安功能，每片屋宇地塊都擬議一幅 2.5 米高的堅實圍牆。每一間屋宇也會有各自的過渡性滅火，污水處理及雨水排放系統。

本規劃說明書已證實，擬議放寬 20% 最高地積比率限制的性質，是屬於輕微，並不會對該區帶來嚴重不良的視覺景觀、交通、環境、排污排放或雨水排放的影響。早前「城規會」在同一幅「住宅(丁類)」用途地帶，批准了兩個性質相同的規劃申請，也清楚證實，從土地用地規劃角度來看，增加 20% 的容積率不是不協調，仍是接受的。批准是次申請會為本區帶來一段有義意的擴闊路段(至少擴闊到 6 米寬)。完成這段道路擴闊工程後，所有本區的道路使用者都會直接受惠得到。

1. THE APPLICATION

- 1.1 Vision Planning Consultants Limited has been commissioned by Chung Yick Tung Holding Limited (the "**Applicant**"), the registered owner of Lot No. 1120 S.A in D.D.92 and Lots Nos. 408 S.B ss.1 S.A ("**Site A**"), and 408 S.B ss.1 S.B in D.D. 94 ("**Site B**") (hereinafter collectively called the "**Subject Site**"), Hang Tau Tai Po (坑頭大布), Kwu Tung South, New Territories, to prepare and to submit this planning application on its behalf.
- 1.2 The purpose of this planning application aims to seek a planning permission of the Town Planning Board ("**TPB**") for proposed two 2-storey (9m tall including hip roof structure) independent and self-contained houses (i.e. one house on Site A and one house on Site B) at the Subject Site; and proposed minor relaxation of the maximum plot ratio ("**PR**") restriction from 0.4 to 0.48 (an increase of 20%) associated with each house. The location of the Subject Site is shown in **Figure 1**. **Figures 2 - 4** are the lot plans of the Subject Site.
- 1.3 The Subject Site falls within an area zoned "Residential (Group D)" ("**R(D)**") on the Draft Kwu Tung South Outline Zoning Plan No. S/NE-KTS/21 (the "**OZP**") (**Figure 1**). According to the Notes of the OZP for "R(D)" zoning, the proposed 'House (not elsewhere specified)' is a Column 2 use and the Remark (b) of the same Notes also states: "*.....no developmentshall result inexcess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m).*" (**Appendix I**).
- 1.4 The present proposed 'House (not elsewhere specified)' development and proposed relaxation of PR from 0.4 to 0.48 hence require a planning permission from the TPB under Section 16 of the Town Planning Ordinance.
- 1.5 To facilitate Members of the TPB to understand the proposed development scheme, this planning statement includes: a brief background of the site context and its surrounding developments, an indicative development scheme, relevant impact reviews with respect to drainage and sewerage aspects, and planning justifications.

2. THE SITE AND ITS SURROUNDINGS

- 2.1 The Subject Site comprises three private lots, as highlighted in paragraph 1.1 above (**Figures 2, 3 and 4**). Site A contains two lots (i.e. Lot No. 1120 S.A in D.D.92 and Lot No. 408 S.B ss.1 S.A in D.D. 94), and Site B contain one lot (i.e.

Lot No. 408 S.B ss.1 S.B in D.D. 94). The Subject Site covers a total land area of about 1,782.8m², of which Site A and Site B share equally the same amount of the land area, i.e. about 891.4m² each (**Figure 3** and **Figure 4**).

- 2.2 The Subject Site is situated in the middle of Hang Tau Tai Po and is about 150m east of Sheung Yu River (雙魚河) (**Figure 1**). As shown in **Figure 5**, the Subject Site is surrounded by a mixture of rural domestic structures (partly with active small-scale domestic agricultural activities), unused (or vacant) sites, and low-rise, low-density housing developments. At present, apart from a small single-storey structure in Site A, the rest of the Subject Site is vacant.
- 2.3 According to the Applicant, the Subject Site was previously covered a cluster of single-storey livestock farming structures. Apart from an existing single-storey structure in Site A, all other building structures within the Subject Site were already cleared in mid-2018. At present, the Subject Site, together with its adjoining land area, has been fenced off with corrugated galvanised sheets, as shown in **Figure 5**. This aims to prevent any unnecessary unauthorised dumping or trespass activities.
- 2.4 No tree has been identified within the Subject Site. At present, the Site has been overgrown with weeds (see Photographs in **Figure 5**).
- 2.5 The Subject Site is being served by a sub-standard local access road (the width of which is being ranged irregularly from about 3.5m to about 13m) linking Kwu Tung Road via Hang Tau Road and Kam Hang Road (**Figure 1** and **Figure 5**). The width of the local access road section fronting the Subject Site is ranged from about 3.5m to 5.2m. It is understood that no road improvement programme or road widening works has ever been proposed/planned by the Government in this Hang Tau Tai Po area. Such an extremely undesirable living conditions will have to depend very much upon the local self-initiative neighbourhood collaborations via redevelopment projects in the near future, if this area remains unattended.
- 2.6 Minimal local drainage system is being provided underneath and within the sub-standard local access road, as shown in photos 3-5 in **Figure 5**. Within a radius catchment of about 250m from the Subject Site, no public sewer manhole is available.
- 2.7 A Green Minibus (**GMB**) Route, namely No. 50K, is presently running MTR Sheung Shui Station to Hang Tau Village. The closest GMB stop to the Subject

Site is located about 220m away to its southeastern (**Figure 5**). A local pedestrian route connecting the Subject Site with this GMB stop is shown in **Figure 5**.

3. STATUTORY PLANNING CONTEXT

- 3.1 The Subject Site falls within an area zoned "R(D)" on the draft OZP (**Figure 1**) and the Notes of the OZP for "R(D)" zoning (**Appendix I**) states clearly that the primarily planning intention for zoning is for *"improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments ..."*
- 3.2 In the same Notes, the proposed 'House (not elsewhere specified)' development is a Column 2 use, which may be approved with or without conditions on application to the TPB under section 16 of the Town Planning Ordinance. As such, the proposed house development at the Subject Site requires a planning permission from the TPB.
- 3.3 Also, a maximum PR restriction of 0.4 and a maximum building height restriction of 3 storeys (9m) have been imposed on the Subject Site under the OZP (**Appendix I**). However, paragraph (e) in the Remarks of the same Notes, it states: *"Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio and/or building height restriction(s) stated...may be considered by the Town Planning Board..."*.
- 3.4 In view of the above, the proposed minor relaxation of the maximum PR restriction from 0.4 to 0.48 (i.e. an increase of 20%) also requires a permission from the TPB.

4. SIMILAR PREVIOUS APPROVED APPLICATIONS

- 4.1 The Subject Site has no previous planning application record. However, it is understood that since 2018, TPB approved with conditions a total of four similar planning applications (i.e., No. A/NE-KTS/460, A/NE-KTS/466, A/NE-KTS/525 and A/NE-KTS/528) in areas located in close proximity to the Subject Site within the same "R(D)" site, as shown in **Figure 1**.
- 4.2 **Table 1** summarises the details of these four approved planning applications. Among these four planning applications, two of them (i.e. Nos. 2 and 3) were involved a proposed minor relaxation of maximum PR restriction from 0.4 to 0.48,

which is exactly the same relaxation level as that in the present application.

Table 1: Details of Four Similar Approved Planning Applications

No.	Proposed Use	Date of Decision
1. A/NE-KTS/460	House Development	21.12.2018
2. A/NE-KTS/466	Residential Development and Minor Relaxation of Maximum PR (from 0.4 to 0.48) and Building Height Restrictions	13.12.2019
3. A/NE-KTS/525	Residential Development (Houses) and Minor Relaxation of Maximum PR (from 0.4 to 0.48) Restriction	27.10.2023
4. A/NE-KTS/528	House Development	9.6.2023

5. SCHEMATIC DEVELOPMENT PROPOSALS

The Scheme Layouts

- 5.1 The proposed development scheme comprises two 2-storey (9m tall) houses characterised by hip roof design. These two houses are independent and self-contained in terms of main vehicular ingress/egress point, ancillary electrical and mechanical ("E&M") facilities, landscape proposal, firefighting system, sewage disposal facility and drainage discharge systems.
- 5.2 With a total land area of about 1,782.8m² and the proposed plot ratio of 0.48, a total domestic gross floor area ("GFA") of about 855.74m² will be yielded. As the land area in Site A and Site B are the same, the amount of domestic GFA in House 1 at Site A and House 2 at Site B are also the same, i.e., about 427.87m² for each house. For security reason, the Applicant proposes to allocate about 6m² out the total 427.87m² GFA for provision of an on-site Guard Room purpose in each house development lot. This Guard Room is planned to be combined with the standalone E&M Room in the western end of each lot.
- 5.3 **Figures 6, 7, 8, 9 and 10** show respectively the schematic Master Layout Plan (MLP), **Underground Utilities** (i.e., firefighting system, drainage/flood control and sewage disposal facilities), Ground Floor (G/F), First Floor (1/F) and Roof Floor (R/F) Plans of the proposed development.
- 5.4 **Figure 11** shows the typical elevation diagrams of the proposed house development at the Subject Site. The Section Diagrams of the proposed development are illustrated in **Figure 12**.
- 5.5 Each house development lot will contain two building blocks (i.e. one is the Main House and one is the E&M-cum-Guard Room) (**Figures 6 and 8**). A 2.5m tall solid fence wall is proposed in each house development lot for security and

privacy purposes (**Figure 6 and Figure 8**). The overall building height of the proposed development including the hip roof structure is 9m (**Figures 11 and 12**).

5.6 All underground utilities, including sprinkler tank, stormwater storage tank and their associated pump rooms will be provided outside the building development as shown in **Figure 7**. No other maintenance access to these underground utilities will be provided in the Main House.

5.7 **Table 2** outlines the key development parameters of the proposed development.

Table 2: Key Development Parameters of the Proposed Development

1. Total Site Area <i>Site A:</i> <i>Site B:</i>	About 1,782.8m² <i>About 891.4m²</i> <i>About 891.4m²</i>
2. Total No. of Blocks	4 [(1 Main House + 1 E&M-cum-Guard Room) x 2]
3. Proposed Plot Ratio	Not more than 0.48
4. Total Domestic GFA <i>Site A:</i> <i>Site B:</i>	About 855.74m² <i>About 427.87m² (including about 6m² Guard Room)</i> <i>About 427.87m² (including about 6m² Guard Room)</i>
5. Total Site Coverage <i>Main House</i> <i>E&M-cum-Guard Room</i>	About 29.5% <i>About 24.5% (each site)</i> <i>About 5% (each site)</i>
6. Proposed Building Height	Not more than 9m
7. Total Landscape Area <i>Site A:</i> <i>Site B:</i>	About 372m² (about 20.87% > 20%) <i>About 186m²</i> <i>About 186m²</i>
8. Total Car Parking Spaces <i>Site A:</i> <i>Site B:</i>	4 private car parking spaces <i>2 private car parking spaces</i> <i>2 private car parking spaces</i>

Boundary Set Back Proposals

5.8 With an attempt to offer an opportunity to widen the existing local road section fronting the western site boundary up to 6m wide, a strip of boundary set back area ranged from around 1.9m to 4.2m fronting the existing local access road is proposed (**Figure 6**). This set back area serves two purposes. The outer one is being planned for widening the section of the existing local access road up to 6m wide; and the inner one is proposed for pedestrian movements (**Figure 6**).

5.9 In terms of land area, the outer one will be about 60m² (i.e., 28m² in Site A and 32m² in Site B) and the inner one will be about 59m² (i.e. 22m² in Site A and 37m² in Site B). **Figure 6** shows the detailed breakdown of these set back areas.

5.10 The total length of affected local access road section is about 36m. This may

not be considered as a substantial road improvement section, but it is the intention of the Applicant to act as a catalyst for other adjoining lots with high redevelopment potential to follow the same pro-active and neighbourhood collaboration initiative effort to improve this undesirable local access road condition via redevelopment planning process. Unless the Government will take up the road improvement works in the near future, it would be the most pragmatic way to achieve such road improvement works in long term.

- 5.11 The Applicant has no intention to surrender this set back area to Government. Yet, the design and construction of the proposed road widening works under application will be undertaken by the Applicant at its own expenses to the satisfaction of relevant Government departments. Until and unless the Government is decided to take over the long-term maintenance and management ("M&M") responsibilities of this set back area, the Applicant is willing to undertake the M&M responsibilities of this local access road section at its own expenses.

Internal Traffic Arrangements

- 5.12 Two independent main vehicular egress/ingress points, one at Site A and one at Site B, are proposed at the western side of the Subject Site fronting the existing local access road as shown in **Figures 6 and 8**. A total of 4 parking spaces (2 in Site A and 2 in Site B) are provided under application (**Figure 6, Figure 8 and Table 2**).

Sewage Disposal Proposals

- 5.13 As mentioned in paragraph 2.5 above, the nearest public sewer manhole in this part of the Hang Tau Tao Po area is located over 250m away from the Subject Site. In light of this, an interim measure, by means of provision of an on-site septic tank with soakaway pit system, is hence proposed to tackle the short to medium term sewage disposal demand in each independent house.
- 5.14 The size and the location of the proposed septic tank and soakaway pit system are shown in **Figures 7 and 8**. **Appendix II** is the Sewage Treatment Proposal for each house development at the Subject Site. These on-site sewage disposal systems will be disused once an extension of the existing local public sewer system is available in future.

Drainage Arrangements

- 5.15 The results of the Drainage Proposals (**Appendix III**), with the provision of the proposed on-site stormwater collection system, no significant adverse or

unacceptable drainage impact on the local area is anticipated. The proposed on-site drainage system divides the whole catchment into two portions (i.e. one portion will collect the surface runoff from the western portion of the Subject Site and convey them to the existing drainage channel outside the Subject Site; and the other portion will collect the surface runoff in the eastern portion of the Subject Site and then convey them into the proposed underground stormwater storage tanks. **Figure 7** shows the location and dimensions of these drainage facilities. Details of the drainage proposals are in **Appendix III**.

Firefighting Proposals

- 5.16 As the width of many sections of the existing local access road connecting the Subject Site to Hang Tau Road are only 3.5m wide, the Applicant proposes to provide within each house lot a set of on-site fire sprinkler system with underground fire sprinkler tanks and pump rooms to address the potential firefighting issue in short to medium terms (**Figure 7**). A separated set of pillar boxes, sprinkler control valve cabinets, sprinkler inlet cabinets and water meter cabinets for each house is also proposed in the western ends of the Subject Site as shown in **Figure 8**.

Greenery Proposals

- 5.17 There is no existing tree within the Site. The proposed development will not involve any tree felling and tree transplant works. A total greenery area of about 372m² (or about 20.87% of green coverage) is proposed within the Subject Site (**Figure 8**).

6. PLANNING JUSTIFICATIONS

In-line with the Planning Intention

- 6.1 In accordance with paragraph 3.1 above, the Subject Site falls within an area zoned "R(D)" on the OZP. The primarily planning intention of this zone is aimed for "... *improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings*" and "...*is also intended for low-rise, low-density residential developments*".
- 6.2 The proposed redevelopment scheme comprises two 2-storeys (9m tall) houses, which conform totally with the primarily planning intention set out in the Notes of the OZP for "R(D)" zone, as stated above.

Compatible Redevelopment Scheme

- 6.3 Apart from the proposed relaxation of the maximum PR restriction from 0.4 to

0.48 (an increase of 20%), the number of building storeys and the building height of the proposed redevelopment scheme fully comply with the planning requirements set out in the Notes of the OZP for "R(D)" zoning as outlined in paragraph 3.3 above.

- 6.4 As mentioned in paragraphs 4.1 – 4.2 above, between 2019 and 2023, the TPB has approved on two previous planning applications (i.e. Application Nos. A/NE-KTS/466 and A/NE-TKS/525) for relaxation of the maximum plot ratio restriction from 0.4 to 0.48 within the same "R(D)" site (**Table 1** and **Figure 1** above). Obviously, it has been demonstrated that the proposed increase in domestic plot ratio from 0.4 to 0.48 at this locality is not incompatible the local planning context including its surrounding built environment or setting.
- 6.5 Having considered that the proposed redevelopment scheme comprises only two houses, and the results of the sewerage disposal (**Appendix II**) and drainage assessment (**Appendix III**), together with the provision of firefighting system have demonstrated that the approval of this planning application will not result in causing any unacceptable sewerage, drainage, firefighting or traffic effects on the local area.
- 6.6 In light of the above, the present proposed increase level in plot ratio restriction from 0.4 to 0.48 at the Subject Site is minor in nature and will not end up to generate any significant adverse or unacceptable consequential impact on its local area.
- 6.7 The nature and the scale of development under application conforms fully with the primarily planning intention of the "R(D)" zone under the present statutory town plan.
- 6.8 Therefore, the Applicant has a reasonable expectation that the present proposed relaxation of maximum plot ratio restriction from 0.4 to 0.48 at the Subject Site will share the same land use planning treatment that given by the TPB on the two previously approved planning applications.

Effective Catalyst for Achieving Community Benefits

- 6.9 At present, the width of the existing local access road serving the Subject Site is ranged irregularly from 3.5m to 13m, as mentioned in paragraph 2.5 above. This undesirable situation will unlikely be improved via the Government funding in the foreseeable future. In order to offer an opportunity to widen the section of this local access road fronting the Subject Site up to 6m wide, upon approval

of this planning application, the Applicant has committed to provide a boundary set back alongside the western boundary. **Figure 6** shows the alignment of this set back area.

- 6.10 Upon completion of the proposed development at the Subject Site, a total length of 36m of the existing substandard local access road will be widened up to 6m wide. It is noted that the southern redevelopment site under Application No. A/NE-KTS/538 has also offered the same widening scheme (i.e. to widen the road up to 6m wide). As such, a cumulative length of the proposed improvement section will up to about 61m (**Figure 6**).
- 6.11 The Applicant will take the active liberty to talk to other adjoining land owners for the same boundary set back arrangement where situation permits with a view to improving the local living conditions via redevelopment projects.
- 6.12 Therefore, the present proposed boundary set back for improving local road within the Hang Tau Tai Po area will act as an effective catalyst to realise the provision of a proper 6m wide vehicular access road via the local redevelopment projects in the area.
- 6.13 Both TPB and relevant Government departments/bureaux should give their active supports to such local self-initiative neighbourhood-based collaboration planning objective to improve their own living conditions via local redevelopment projects.

No Consequential Significant Impact

Nil Visual Impact

- 6.14 The proposed development comprises two 2-storey (9m) houses. It complies totally with the building height restriction imposed on the Subject Site. The proposed 2.5m tall solid fence walls aims solely for providing better and greater level of security and privacy of the development during operational phase. The height of this fence wall is commonly found in many residential developments in the area. No unacceptable visual bulkiness is anticipated due to the proposed development at this part of the Hang Tau Tai Po area.

Insignificant Traffic Impact

- 6.15 The proposed development only involves two 2-storey houses. Only two on-site car parking spaces per each house are proposed for the daily operational need. It is definitely not envisaged that the proposed development will generate any significant adverse traffic impact on the local road system.

- 6.16 The proposed boundary set back of around 60m² in extent will enable the affected section of the existing local access road to be widened up to 6m wide. It is a quick-win project to gradually improve the local driving and walking conditions.

Nil Drainage/Sewerage Disposal Impact

- 6.17 The results of the sewerage and drainage proposals respectively in **Appendix II** and **Appendix III** have demonstrated that with the provision of the proposed on-site sewerage and drainage systems, no unacceptable sewerage or drainage impact on the local area due to the proposed redevelopment is anticipated.

Nil Firefighting Issue

- 6.18 The proposed fire-fighting system in each house lot will fully tackle the concern on fire-fighting due to the substandard local service road in the area. No fire-fighting issue is anticipated in the present proposed redevelopment scheme.

7. CONCLUSION

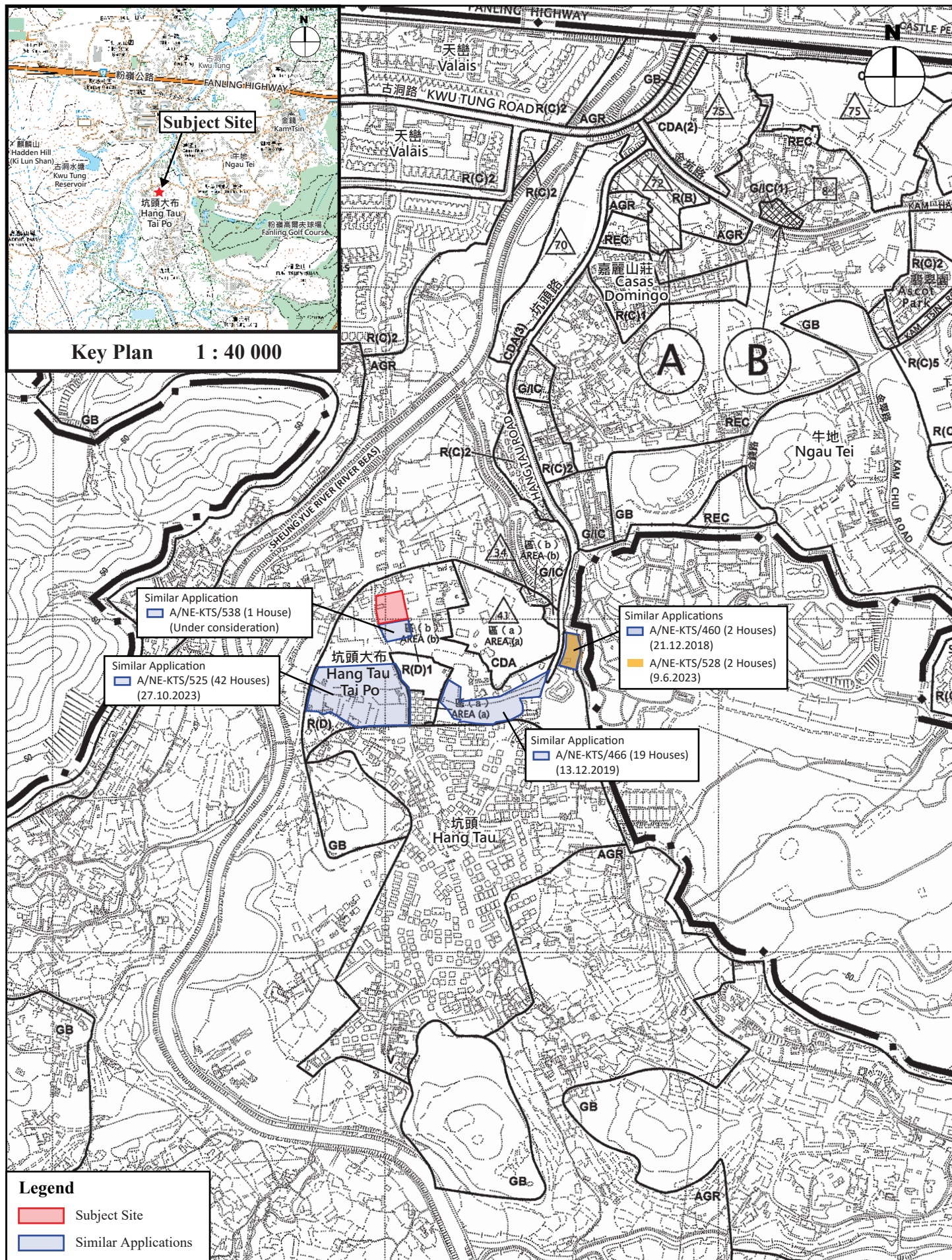
- 7.1 This planning application to seek a permission of the TPB for a proposed 'House (not elsewhere specified)' development and proposed minor relaxation of maximum plot ratio ("PR") restriction from 0.4 to 0.48 (an increase of 20%) at Lot No. 1120 S.A in D.D.92, and Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B in D.D. 94 (hereinafter collectively called the "**Subject Site**"), Hang Tau Tai Po, Kwu Tung South, New Territories.
- 7.2 The proposed development comprises two 2-storey houses. The total building height of the proposed development is 9m (including hip roof structure). The proposed building height complies fully with the statutory planning requirement set out in the OZP.
- 7.3 It has been demonstrated that the proposed redevelopment scheme fully in-line with the planning intention of the "R(D)" zoning in the area; the proposed redevelopment will not result in causing any unacceptable visual, traffic, sewerage or drainage impact on the local area, nor causing any fire-fighting issue; is minor in nature and is not incompatible with its surrounding development characters.
- 7.4 The approval of this planning application represents an active and positive support for the local self-initiative neighbourhood collaboration to widen gradually the local access road up to 6m at the end of the day.
- 7.5 In view of the above, we respectfully request the TPB to give a favourable

consideration to approve this application to enable the Applicant to implement its proposed redevelopment scheme at the Subject Site as early as possible.

Vision Planning Consultants Limited

5 August 2024

Figures



Site Location Plan

(Extract from the Draft Kwu Tung Outline Zoning Plan No. S/NE-KTS/21)

Figure 1

1 : 7 500

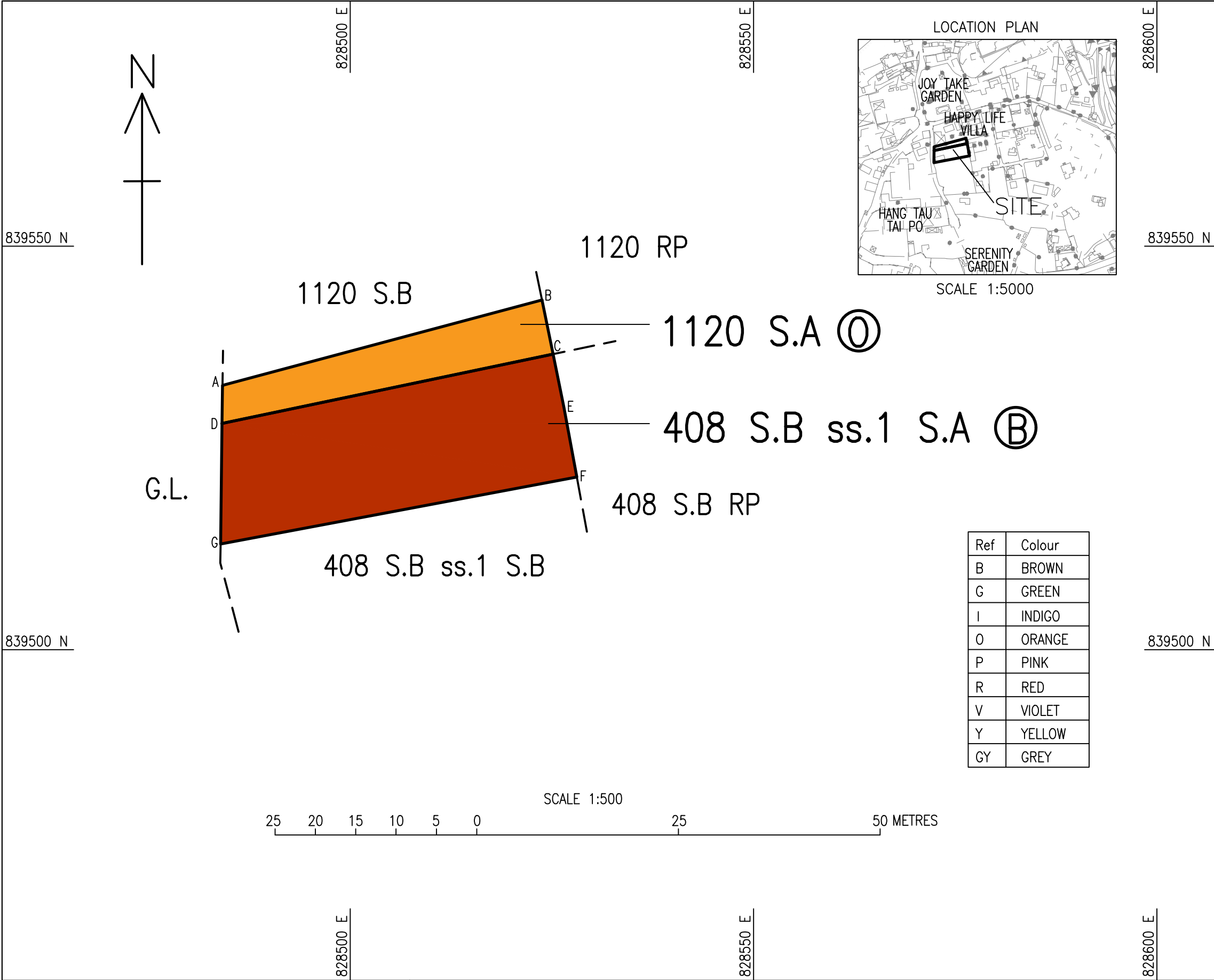


弘域城市規劃顧問有限公司
 VISION PLANNING CONSULTANTS LTD.

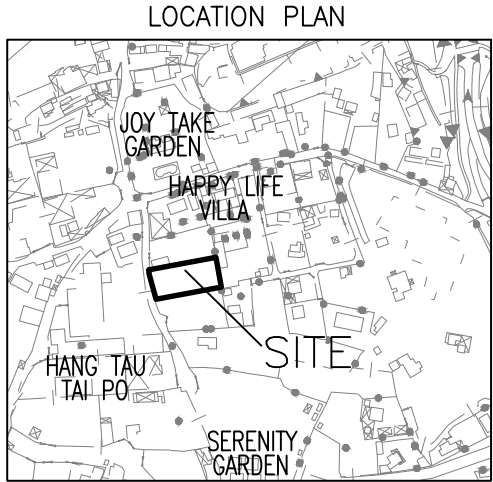
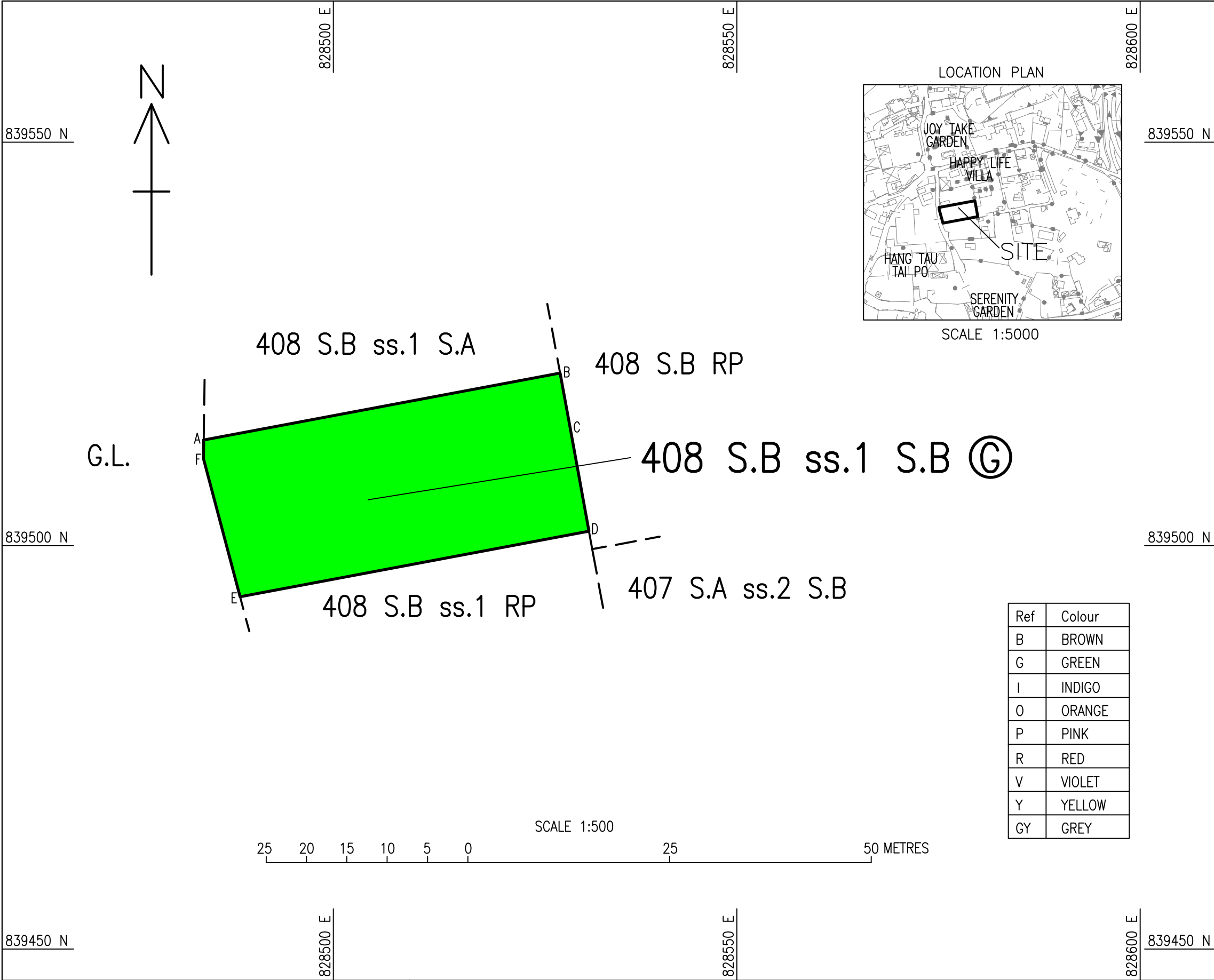


1 : 1 000

弘域城市規劃顧問有限公司
VISION PLANNING CONSULTANTS LTD.



LOT COORDINATES & DIMENSIONS				
<u>Boundary Point</u>	<u>Bearing</u>	<u>Distance in metres</u>	<u>Northing</u>	<u>Easting</u>
SUBJECT LOT NO. – LOT 1120 S.A IN D.D.92				
A			839532.748	828484.177
B	75°02’02”	40.980	839543.331	828523.767
C	168°23’00”	6.848	839536.623	828525.146
D	258°10’15”	41.918	839528.030	828484.118
A	0°42’59”	4.718	839532.748	828484.177
AREA = 236.6 sq.m. (about)				
SUBJECT LOT NO. – LOT 408 S.B ss.1 S.A IN D.D.94				
D			839528.030	828484.118
C	78°10’15”	41.918	839536.623	828525.146
E	168°24’08”	6.795	839529.967	828526.512
F	169°32’07”	8.717	839521.395	828528.095
G	259°20’46”	44.937	839513.088	828483.932
D	0°42’35”	14.943	839528.030	828484.118
AREA = 654.8 sq.m. (about)				
TABLE OF AREA				
LOT			AREA	
LOT 1120 S.A (colored orange)			236.6 sq. m (About)	
LOT 408 S.B ss.1 S.A (colored brown)			654.8 sq. m (About)	
I, _____ an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap.473), hereby certify that this land survey plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the <u>tenth</u> day of <u>August</u> 20 <u>23</u> .				
Dated this <u>twenty-first</u> day of <u>August</u> 20 <u>23</u> .				
_____ Authorized Land Surveyor				



LOT COORDINATES & DIMENSIONS				
Boundary Point	Bearing	Distance in metres	Northing	Easting
SUBJECT LOT NO. – LOT 408 S.B ss.1 S.B IN D.D.94				
A			839513.088	828483.932
B	79°20'46"	44.937	839521.395	828528.095
C	169°32'07"	6.903	839514.607	828529.349
D	169°41'33"	13.018	839501.800	828531.678
E	259°21'11"	43.998	839493.671	828488.438
F	345°08'07"	17.673	839510.752	828483.904
A	0°42'35"	2.335	839513.088	828483.932
AREA = 891.4 sq.m. (about)				

Ref	Colour
B	BROWN
G	GREEN
I	INDIGO
O	ORANGE
P	PINK
R	RED
V	VIOLET
Y	YELLOW
GY	GREY

TABLE OF AREA	
LOT	AREA
LOT 408 S.B ss.1 S.B (colored green)	891.4 sq. m (About)

I, _____ an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap.473), hereby certify that this land survey plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the tenth day of August 20 23 .

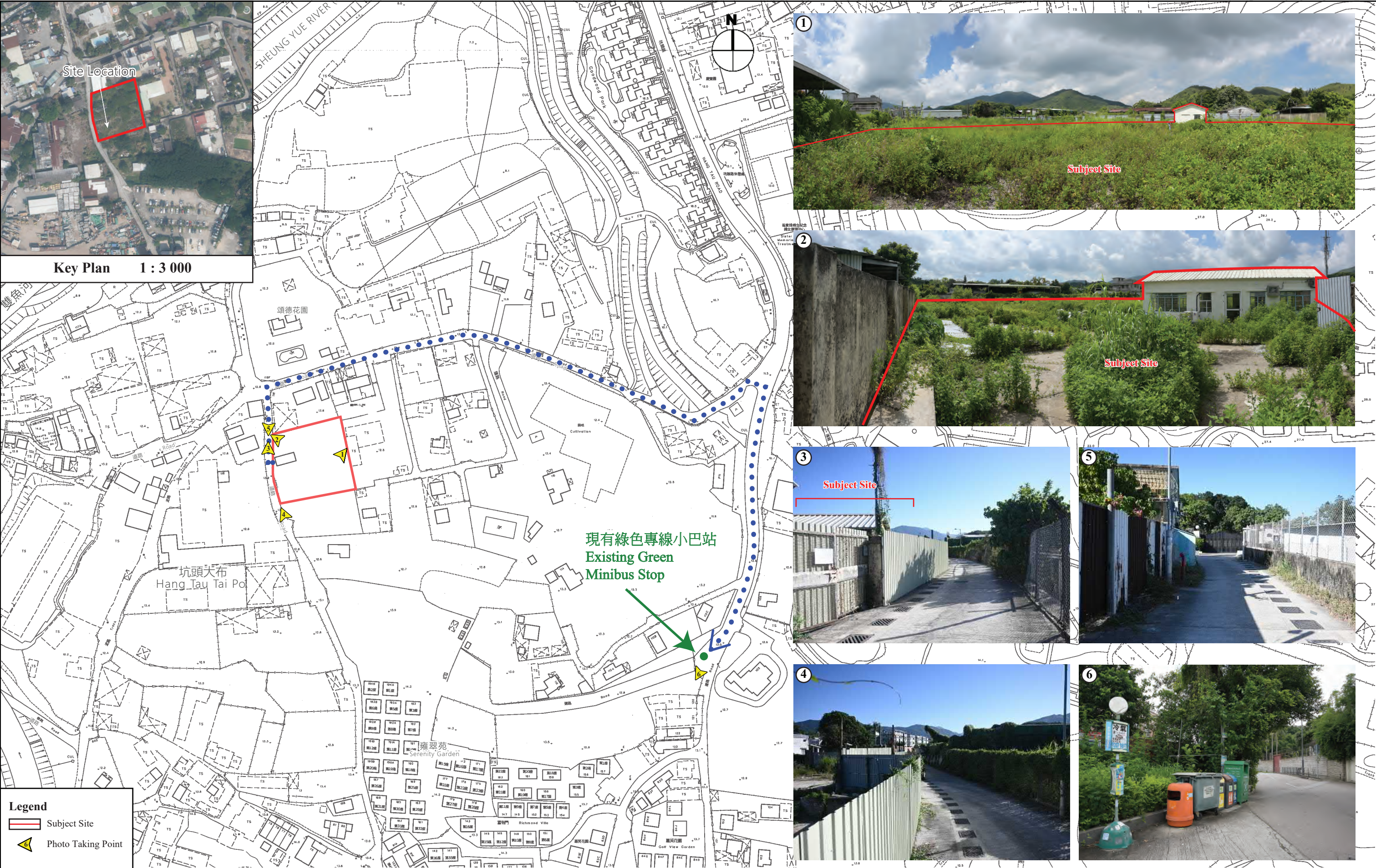
Dated this fifth day of October 20 23

.....
Authorized Land Surveyor

Survey District : NORTH
Date of Survey : AUGUST 2023
Survey Sheet No. : 2-SE-14B, 2-SE-15A
Survey Record Plan : SRP/DN/057/66212/D1

PLAN OF LOT 408 S.B ss.1 S.B in D.D.94

Figure 4
Lot Plan of the Subject Site (Site B)



The Site and its Surroundings

(Extracted from Government Survey Sheet Nos.: 2-SE-9D & 2-SE-10C & 2-SE-14B & 2-SE-15A and Aerial Photo No. 2023_E185667C taken by Lands Department on 23 Feb 2023)

Figure 5

1 : 2 000

1. Total Site Area	About 1,782.8m ²
Site A	About 891.4m ²
Site B	About 891.4m ²
2. Total No. of Blocks	4 (1 Main House & 1 E&M Room & Guard Room in Each Site)
3. Proposed Plot Ratio	Not more than 0.48
4. Total Domestic GFA	About 855.74m ²
Site A	About 427.87m ² (including about 6m ² for Guard Room)
Site B	About 427.87m ² (including about 6m ² for Guard Room)
5. Total Site Coverage	About 29.5%
Main House	About 24.5% (each site)
E&M Room & Guard Room	About 5% (each site)
6. Proposed Building Height	Not more than 9m
7. Total Landscape Area	About 372m ² (about 20.87% > 20%)
Site A	About 186m ²
Site B	About 186m ²



AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER LEADTOPS RAYMOND LTD. INTEGRATED DESIGN AND PROJECT MANAGEMENT SPECIALISTS	DRAWING TITLE MASTER LAYOUT PLAN	LEGEND: SITE BOUNDARY LINE LOT BOUNDARY LINE LANDSCAPE AREA	DRAWING NO. A-01 SCALE 1:250 @ A3 REV. 1 DATE 2024.08.15
--	--	--	---

Figure 6 - Schematic Master Layout Plan

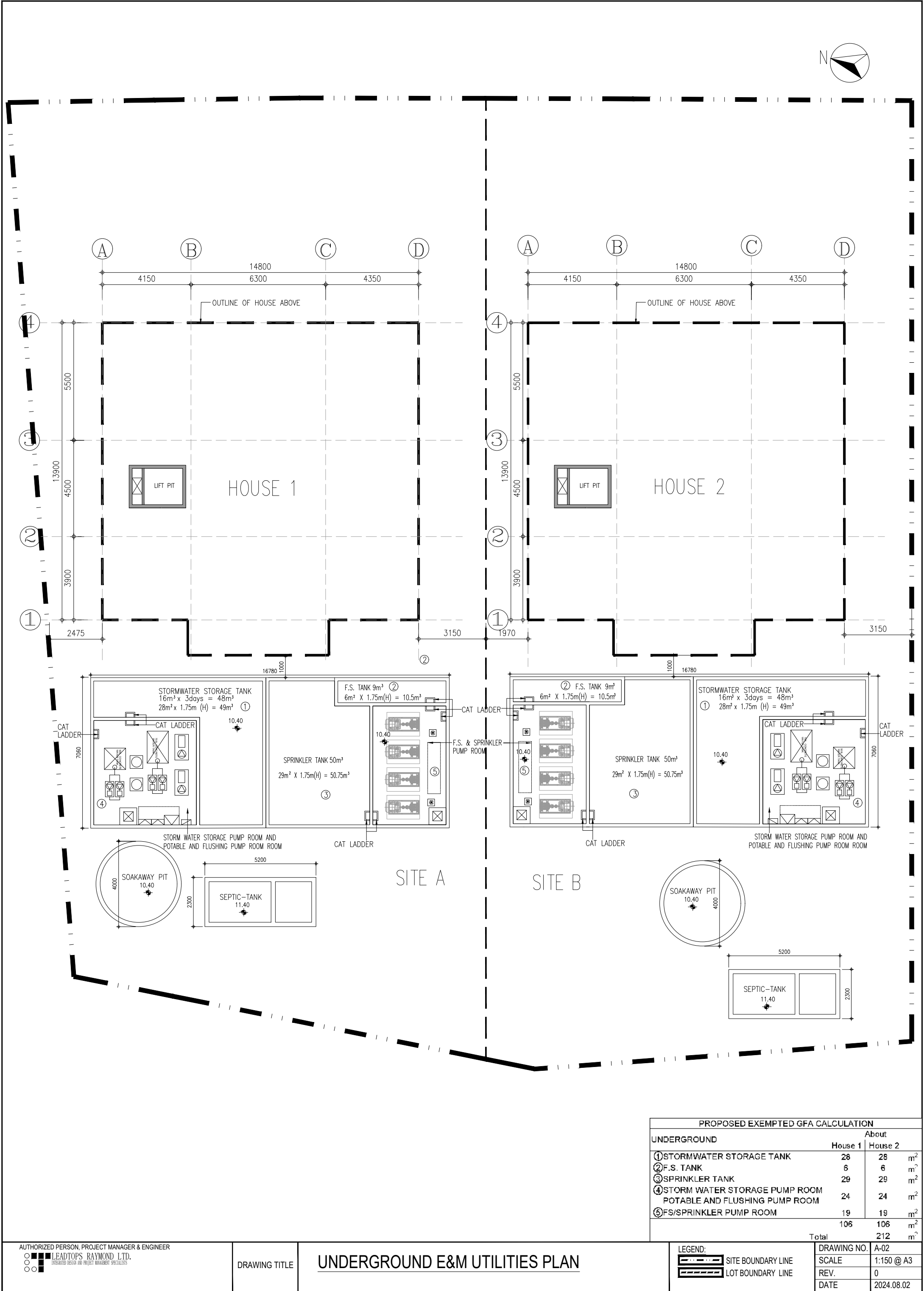
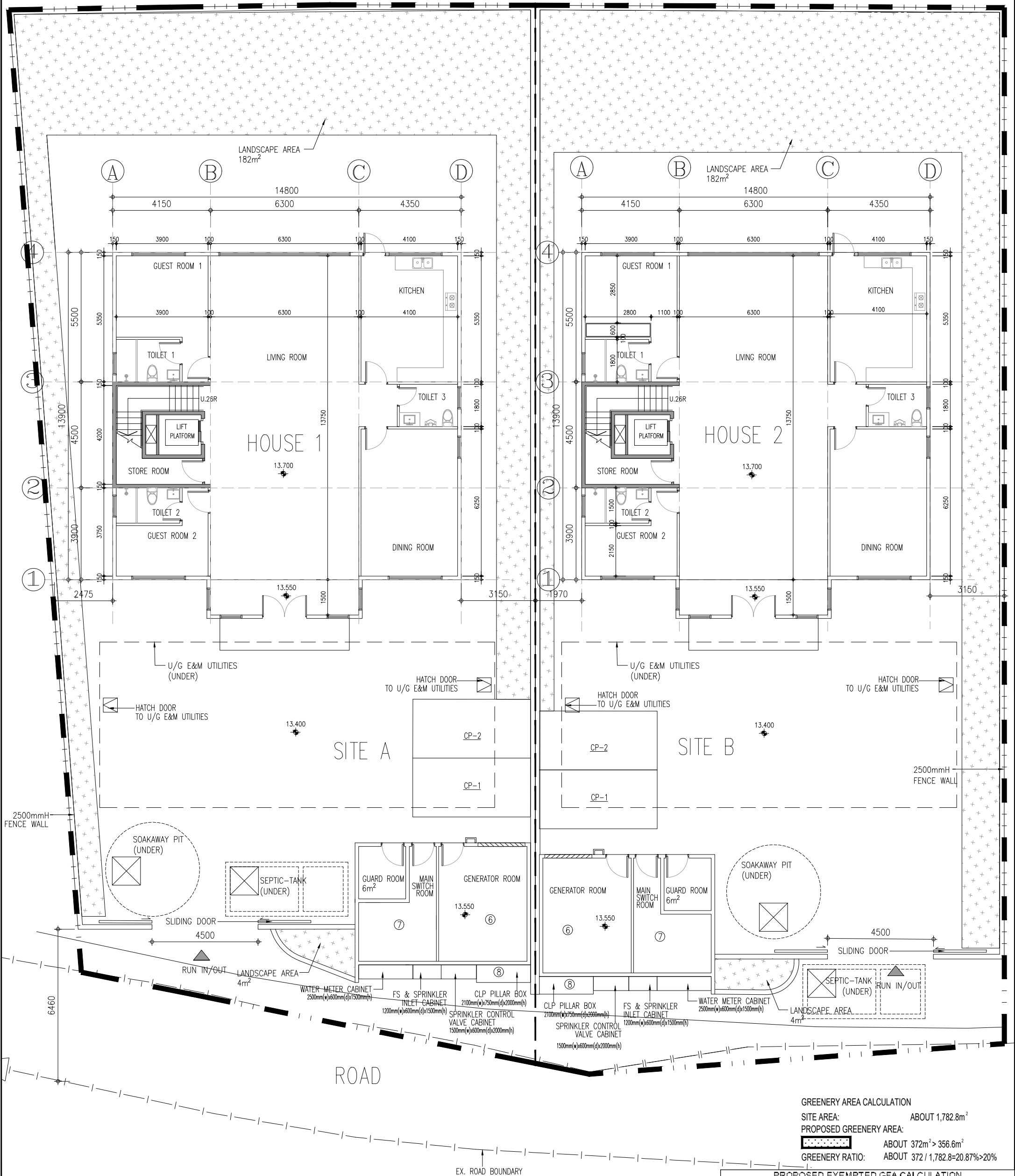


Figure 7 - Underground E&M Utilities Plan



AUTHORIZED PERSON, PROJECT MANAGER & ENGINEER
LEADTOPS RAYMOND LTD.
INTEGRATED DESIGN AND PROJECT MANAGEMENT SPECIALISTS

DRAWING TITLE

GROUND FLOOR PLAN

LEGEND:

— SITE BOUNDARY LINE
— LOT BOUNDARY LINE
— LANDSCAPE AREA

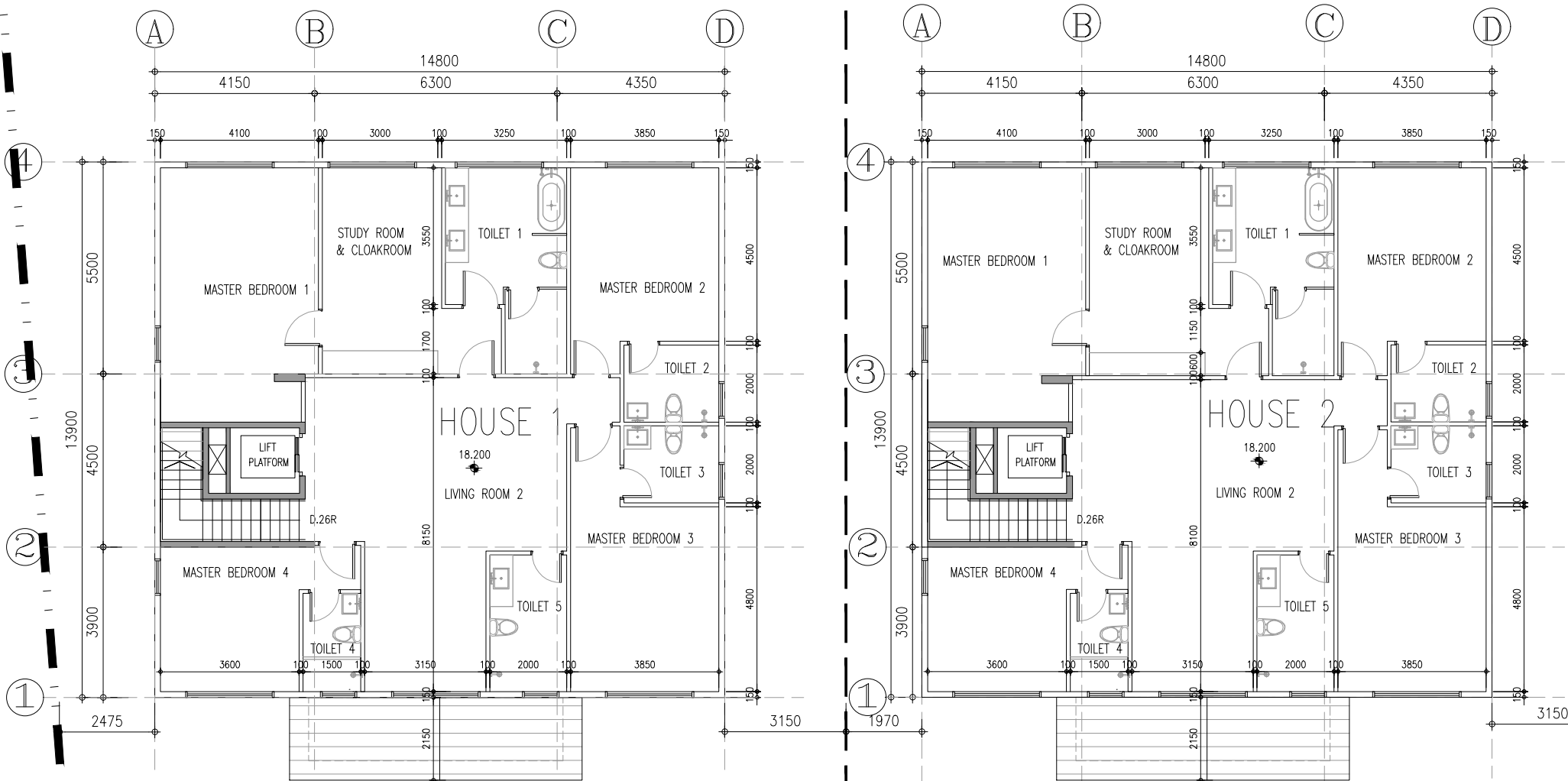
DRAWING NO. A-03

SCALE 1:150 @ A3

REV. 0

DATE 2024.08.02

Figure 8 - Ground Floor Plan



SITE A

SITE B

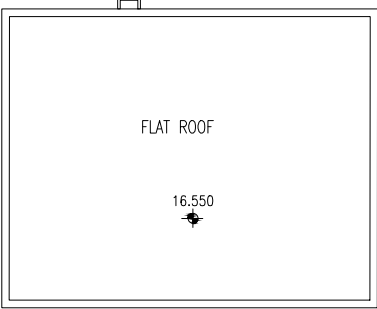
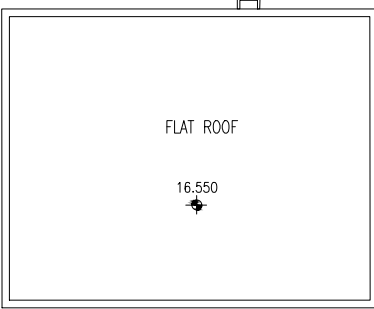


Figure 9 - First Floor Plan

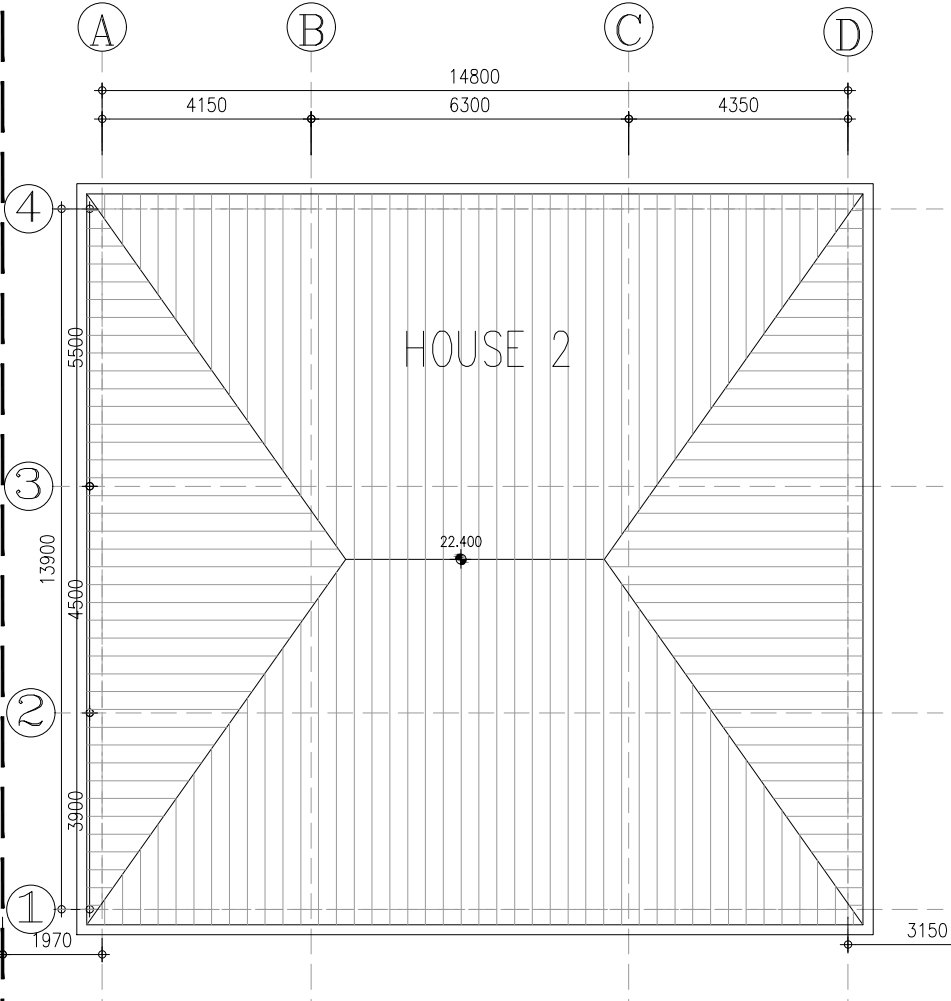
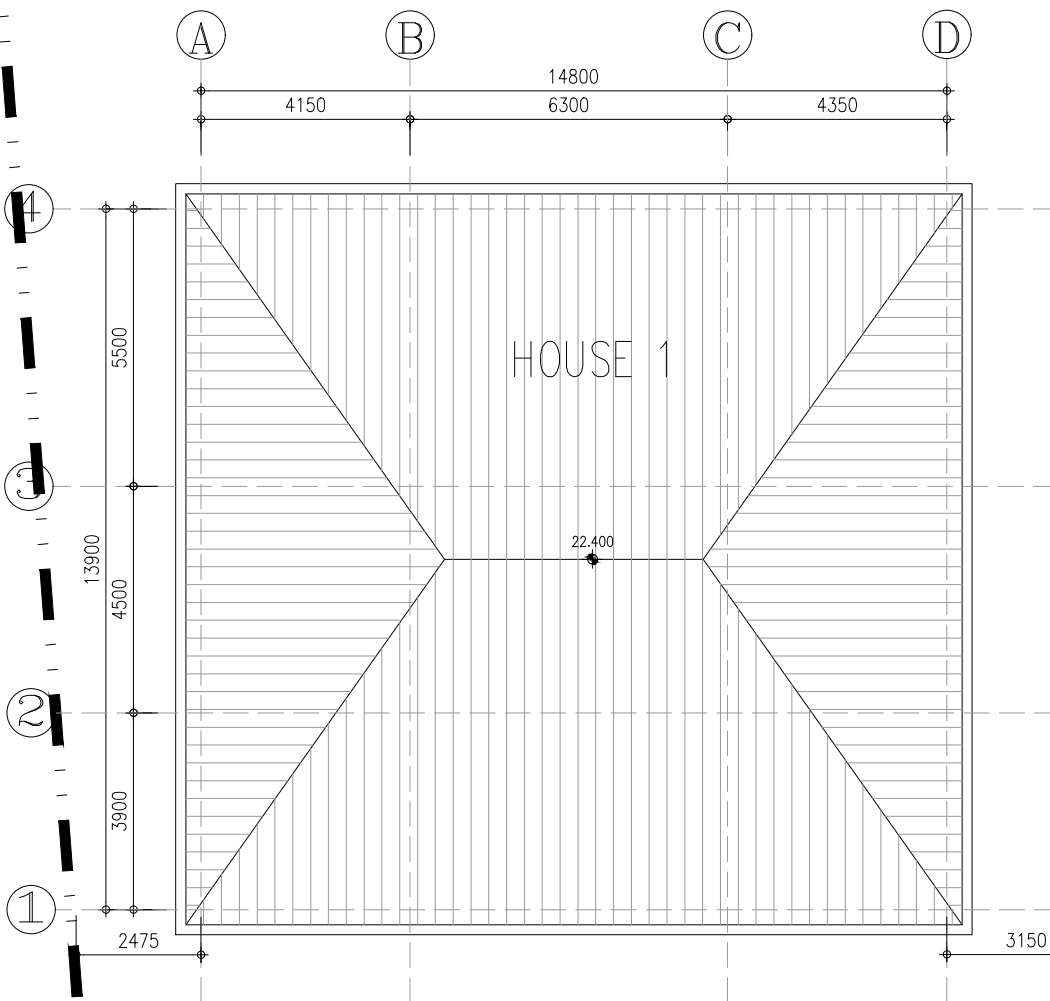
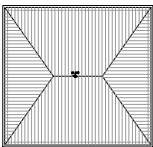


Figure 10 - Roof Floor Plan

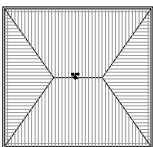


FRONT ELEVATION

KEY PLAN

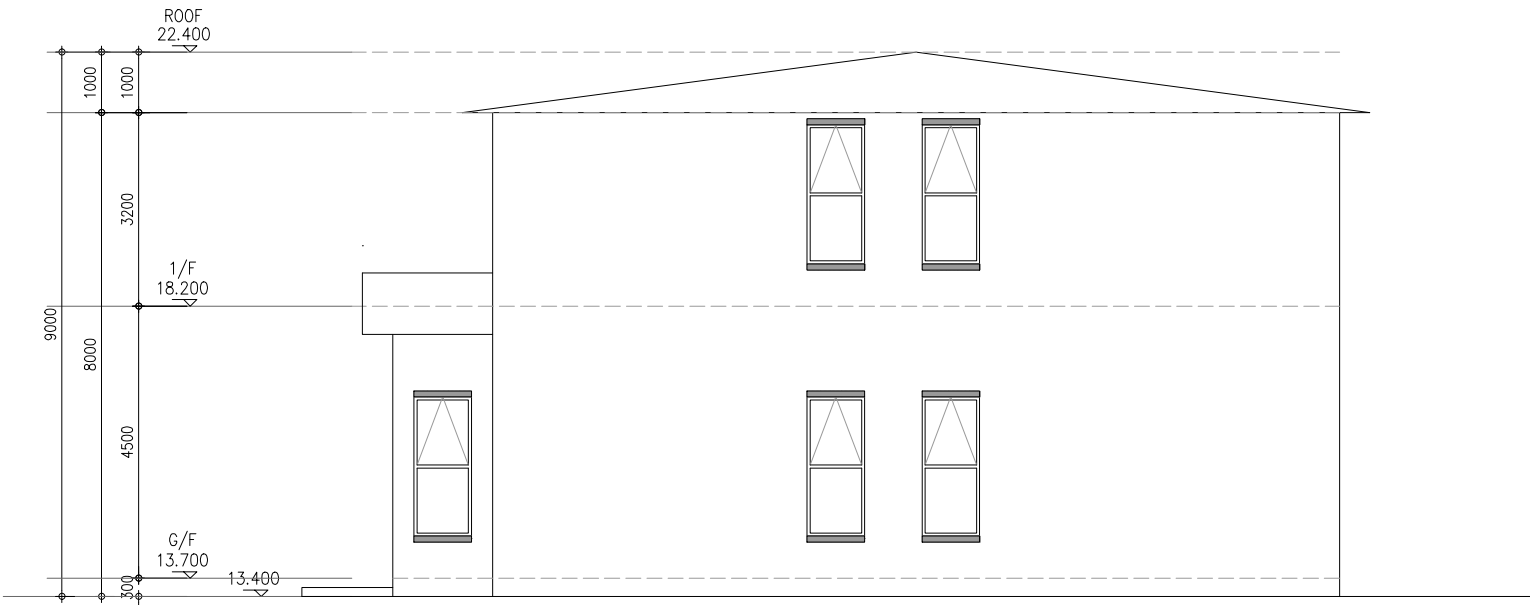


TYPICAL FRONT ELEVATION



SIDE ELEVATION

KEY PLAN



TYPICAL SIDE ELEVATION

Figure 11 - Elevations

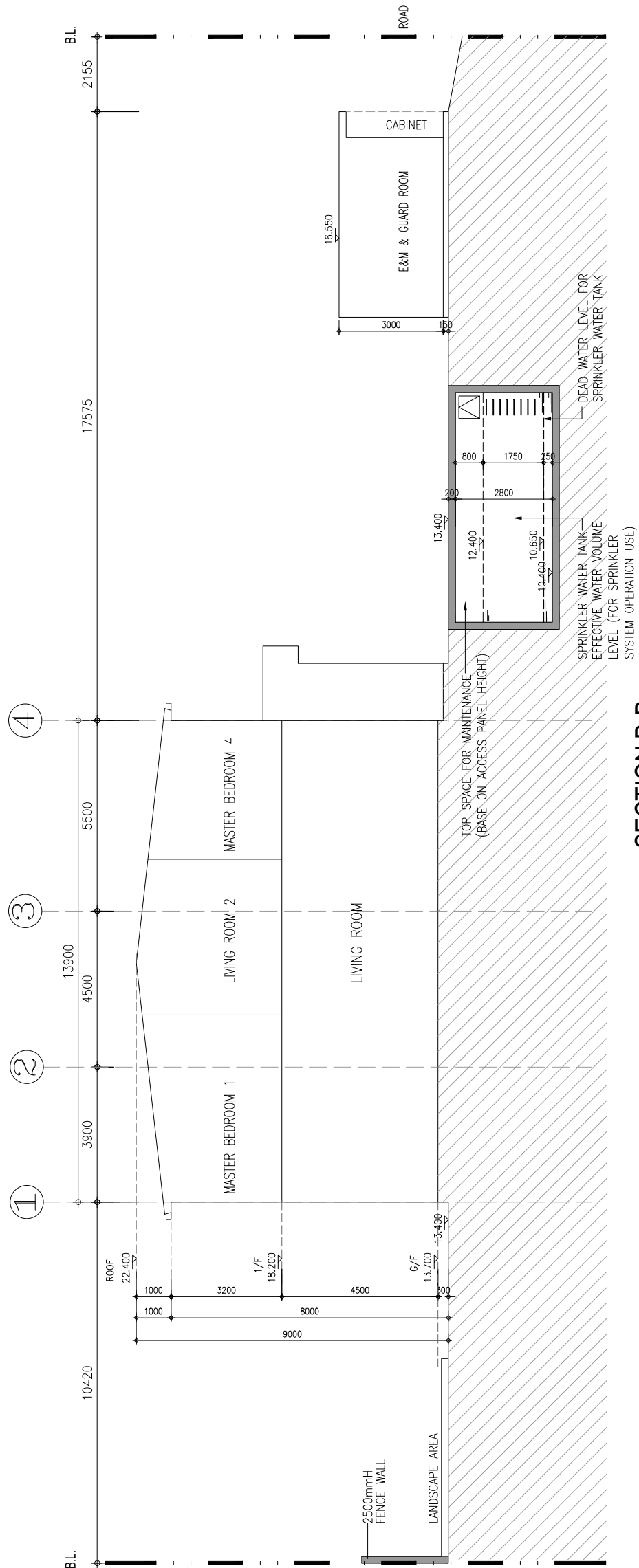
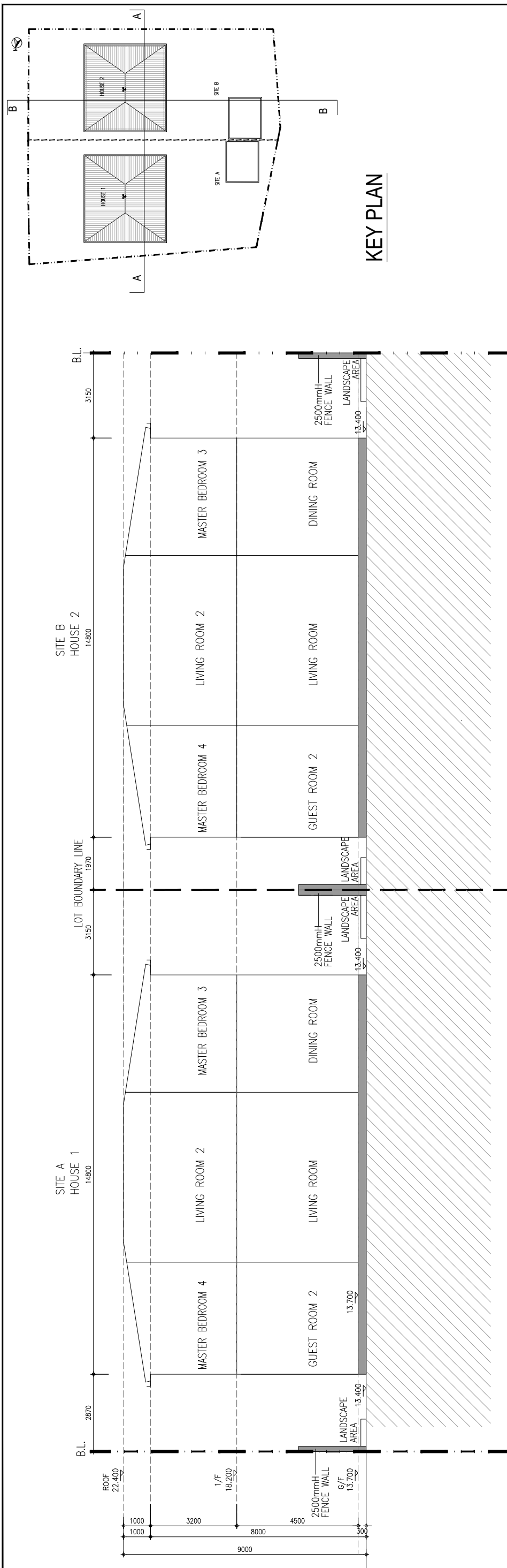


Figure 12 - Sections

Appendix I

*Extract of the Notes of the Draft Kwu Tung South
Outline Zoning Plan No. S/NE-KTS/21*

RESIDENTIAL (GROUP D)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Agricultural Use Government Use (Police Reporting Centre, Post Office only) House (Redevelopment; Addition, Alteration and/or Modification to existing house only) On-Farm Domestic Structure Rural Committee/Village Office	Eating Place Flat Government Refuse Collection Point Government Use (not elsewhere specified) # House (not elsewhere specified) Institutional Use (not elsewhere specified) # Library Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation # Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution # Residential Institution # School # Shop and Services Social Welfare Facility # Utility Installation for Private Project

In addition, the following uses are always permitted
on the ground floor of a New Territories Exempted
House:

Eating Place
Library
School
Shop and Services

Planning Intention

This zone is intended primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Town Planning Board.

(Please see next page)

RESIDENTIAL (GROUP D) (Cont'd)

Remarks

- (a) No addition, alteration and/or modification to or in-situ redevelopment of an existing temporary structure or an existing building (except to 'New Territories Exempted House' or to those annotated with #) shall result in a total development and/or redevelopment in excess of a maximum building area of 37.2m² and a maximum building height of 2 storeys (6m), or the building area and height of the building which was in existence on the date of the first publication in the Gazette of the notice of the interim development permission area plan, whichever is the greater.
- (b) On land designated "Residential (Group D)", no development including redevelopment for 'Flat' and 'House' (except 'New Territories Exempted House') uses, other than those to which paragraph (a) above shall apply, shall result in a development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m).
- (c) On land designated "Residential (Group D)1", no development including redevelopment for 'Flat' and 'House' (except 'New Territories Exempted House') uses, other than those to which paragraph (a) above shall apply, shall result in a development and/or redevelopment in excess of a maximum plot ratio of 0.4 and a maximum building height of 3 storeys (9m). Any building development shall be located in Area (a) and no building development (except ancillary structures) is permitted in Area (b) which shall be designated as a landscaped area with ancillary car parking and utility installations.
- (d) In determining the maximum plot ratio for the purposes of paragraphs (b) and (c) above, any floor space that is constructed or intended for use solely as car park, loading/unloading bay, plant room, caretaker's office and caretaker's quarters, or recreational facilities for the use and benefit of all the owners or occupiers of the domestic building or domestic part of the building, provided such uses and facilities are ancillary and directly related to the development or redevelopment, may be disregarded.
- (e) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio and/or building height restrictions stated in paragraphs (b) and (c) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.

Appendix II

Sewage Treatment Proposal



祥達顧問有限公司

Gender Consultants Limited

Proposed Two Standalone Houses, One at Lot 1120 S.A in D.D.92 and 408 S.B. ss.1 S.A in D.D.94, (H1) and One at Lot 408 S.B ss.1 S.B. in D.D. 94 (H2), Kwu Tung South, Sheung Shui Sewage Treatment Proposal

1 EVALUATION OF SEWAGE IMPACT

1.1 Evaluation of Generation

1.1.1 This report is to evaluate the potential sewage generation being generated by each of two houses. The planning unit flow factors for person as recommended in the “ Guidelines for Estimating Sewage Flows (Version 1.0) (hereinafter as “GESF”) published by EPD “ is being adopted. The estimated number of residents for each house are summarized in **Table 1.1**.

Table 1.1 Estimated Population in Each House

Type of People	Number of People per Day
Resident	12

1.1.2 For the sewage flow estimation from resident, the planning unit flow factor of $0.37\text{m}^3/\text{person}/\text{day}$ in GESF has been adopted.

1.1.3 As derived from the above, the total estimated daily flow generated by residents in each house will be $4.5\text{m}^3 / \text{day}$. The calculation is provided in **Appendix A** for reference..

1.2 Proposed Sewage Treatment Facility

1.2.1 As the Application Site is not currently served by any public sewer, a septic tank system (STS) for each house is proposed as an interim measure to resolve the sewage generated by each proposed house. These two on-site interim measures will be disused once the public sewer system is available.

1.2.2 The estimated daily flow generated residents of the proposed development will be $4.5\text{m}^3/\text{day}$. In order to allow sufficient capacity of the STS, a septic tank with a capacity of minimum 5.0m^3 in each house lot is recommended to be constructed. According to the design requirement as specified in “ Drainage Plans Subject to Comment by the Environmental Protection Department “ (ProPECC PN 5/93), the recommended dimensions of the septic tank should be about (L) 4.80m x (W) 1.90m x (D) 2.00m with a concrete wall thickness of 0.20m to fulfil the specified dimension requirement.



祥達顧問有限公司 Gender Consultants Limited

Sewage Treatment Proposal For Lot 1120SA in Dd 92 and 408 S.B. ss.1 SA in D.D. 94 (H1) and Lot 408 S.B. ss.1 S.B. in D.D. 94 (H2)

1.2.3 The minimum clearance requirements for a soakaway system are shown in **Table 1.2**

Table 1.2 Minimum Clearance Requirements for Soakaway Systems

Type	Distance from	Remarks Soakaway System(m)
Building	3	-
Retaining Walls	6	-
Wells	50	-
Stream where the bed is lower than invert of Soakaway System	15 (30)	Should the water from the stream or pool is used or likely to be used for drinking or domestic purpose, the distance (30) will be adopted
Pools	7.5 (30)	-
Cuts of Embankments	30	-
Paths	1.5	-
Beaches	100	From boundaries of gazette beaches or bathing Beach subzones of water control zone
Beaches	30	From H.W.M. and from nearest watercourses for other cases
Ground water table	0.6	Below invert

1.2.4 Figure 1.1 shows the proposed location of the septic tank and soakaway system and Drawing Number EP 50/D1/5/01 & EP 50/D1/5/02 showing the Septic Tank Detail and Soakaway Pit System respectively.

1.2.5 As the Application site is not served by public sewer and the use of STS for each house is considered the most suitable interim option for sewage disposal.

1.2.6 With the provision of the proposed on-site sanitary facility (i.e. STS)in each house , there will be no adverse water quality/sewage impact to be resulted from the proposed development during the operational phase.



祥達顧問有限公司

Gender Consultants Limited

*Sewage Treatment Proposal For Lot 1`120SA in DD92 and 408 S.B. ss.1 S.A in D.D. 94 (H1)
and Lot 408 S.B. ss.1 S.B. in D.D. 94 (H2)*

1.3 Provision of Sewage Treatment and Disposal Facilities Recommendation

1.3.1 The Septic Tank System (STS) should be properly sited, designed, constructed, operated and maintained in accordance with the “ Guidance Notes on Discharges from Village Houses” and “ Drainage Plans subject to Comment by the Environmental Protection Department (ProPECC PN 5/93)” published by the EPD. To minimize the adverse impact on the public and the environment, the following precaution should be considered during planning a new STS:

- Locate the STS away from the beach, stream, well, retaining wall etc. to prevent water contamination and leakage;
- Carry out a soil percolation test before the STS construction to ensure the permeability of Soil; and
- Locate the STS in an open space with easy access for desludging.

1.3.2 - The operator should implement good housekeeping practices to ensure that the continuous operation of the STS. These should include:

- Avoid deposit any oil, chemical and solid waste into the STS;
- Inspect and measure of the sludge depth of treatment components at least once every 6 months;
- Remove the STS sludge properly when exceed 1/4 of overall water depth;
- Inspect the STS immediately when flooding, overflow, odour become noticeable or not flush well and;
- Clean and flush of screens and other sewage handling equipment regularly.

1.3.3 According to the ‘ Guideline Notes on Discharges from Village Houses, the STS should be inspected and desludged regularly. Desludging should be done by Specialist Contractor. A tank lorry equipped with a pump is often used for pumping out the content of the septic tank and transport to sludge treatment facility for future treatment.

- END -

Appendix A

Sewage Treatment Proposal for Lot 1120SA in DD92 and 408 S.B. ss.1 S.A in D.D.94, (H1)
and Lot 408 S.B. ss.1 S.B. in D.D. 94 (H2) ,Kwu Tung South, Sheung Shui

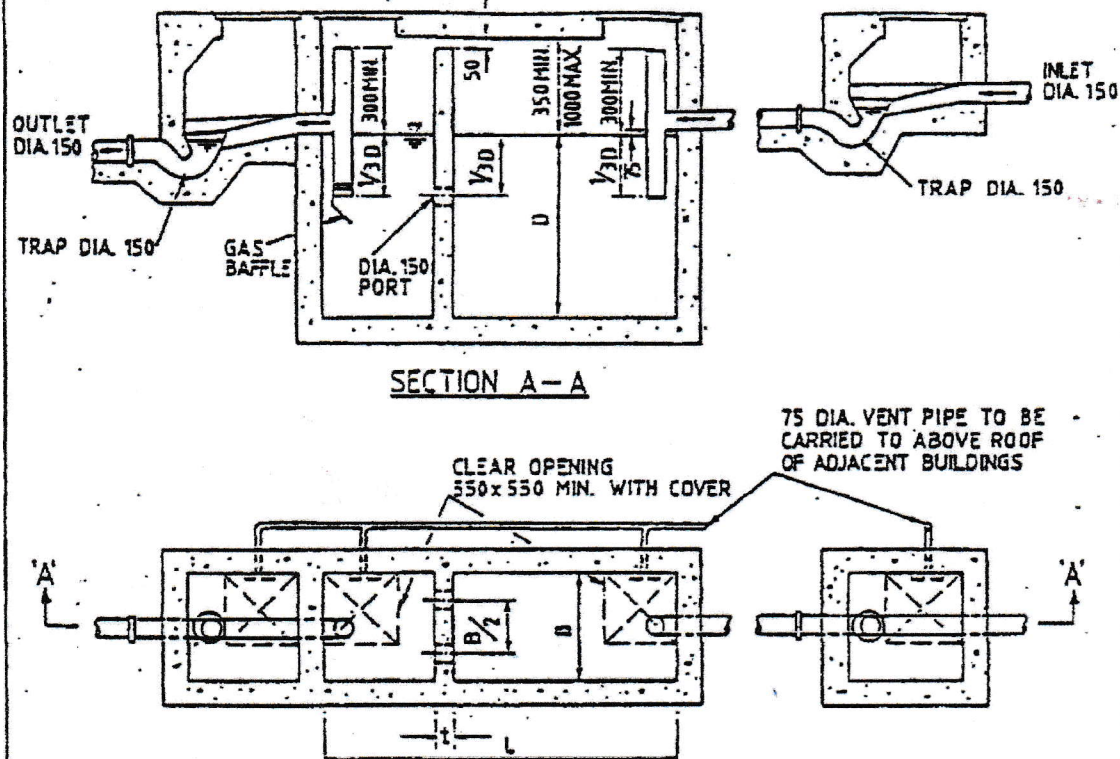
Calculation of Daily Flow

Estimation of Sewage Flow from the Villa Development

Total number of Inhabitants	12 persons	
Unit flow- Activities	0.37 m ³ /person/day	Referred to the planning unit flow factor for “Domestic Flow” activities in Table T-1 of GESF ^(a)
Estimated daily flow	4.5 m ³ /day	
Total Estimated Daily Flow	4.5m³/Day	

Note :

(a) GESF – ‘ Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning Version 1.0 “ published by Environmental Protection (EPD)



PLAN

- PLAN
- NOTES:-
1. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE STATED.
 2. SIZE
 - a. $48 > L > 38$
 - b. $1800 \text{ mm} > D > 1200 \text{ mm}$
 - c. RATIO OF VOLUMES OF FIRST AND SECOND CHAMBERS = 2 : 1
 3. CAPACITY (SUBJECT TO NOTE 2)
 - a. CAPACITY $C = (L \times D \times H) \times D$
 - b. NOT LESS THAN 2.2 m^3 BUT NOT MORE THAN 41 m^3
 - c. NOT LESS THAN 0.01 WHERE N IS THE NUMBER OF PERSONS SERVED AND Q IS THE ESTIMATED ULTIMATE PER CAPITA DAILY WATER CONSUMPTION
 - d. SURFACE WATER MUST NOT BE CONNECTED TO THE TANK
 - e. TANK TO BE DESLUGGED EVERY 6 MONTHS
 4. NO OVERFLOW OR BYPASS PIPE IS ALLOWED.
 5. PLEASE REFER TO THE BOOKLET "GUIDANCE NOTES ON DISCHARGES FROM VILLAGE HOUSES" PUBLISHED BY EPD FOR FURTHER GUIDELINES ON OPERATION AND MAINTENANCE OF SEPTIC TANK SYSTEM.

SEPTIC TANK

(FOR INTERIM REFERENCE ONLY)

drawing no.

EP 50/D1/5/01

group

Liquid Waste Projects

data

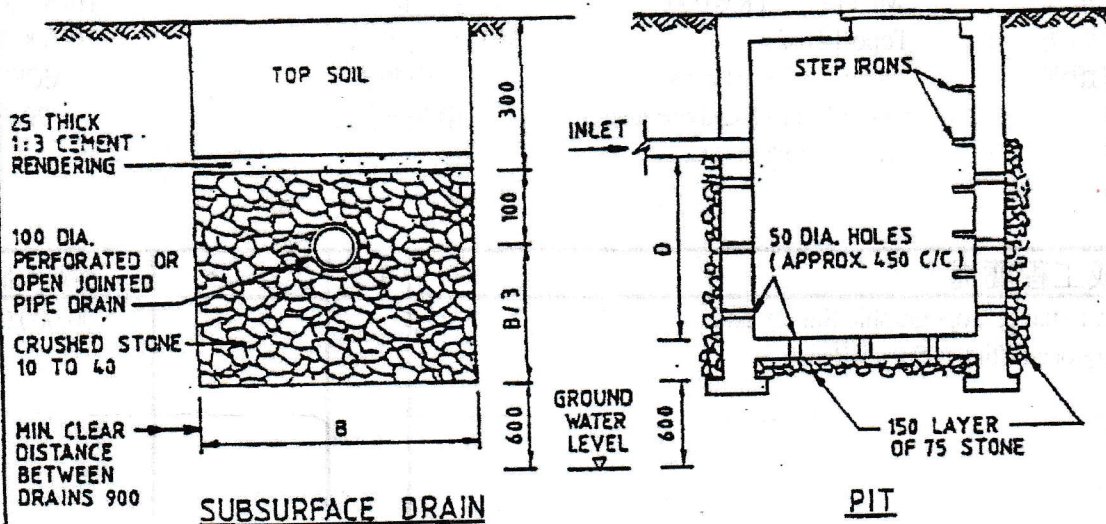
5/93

scale

NTS

ENVIRONMENTAL
PROTECTION
DEPARTMENT
HONG KONG



**NOTES:**

1. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE STATED
2. PERCOLATION TEST FOR DETERMINING ABSORPTION CAPACITY OF SOIL
 - a. EXCAVATE A HOLE 300 mm SQUARE TO THE SAME DEPTH OF THE PIT OR TRENCH.
 - b. FILL THE HOLE WITH APPROXIMATELY 150 mm OF WATER AND ALLOW TO SEEP AWAY COMPLETELY.
 - c. REPEAT THE HOLE WITH WATER TO A DEPTH OF 150 mm AND OBSERVE THE TIME, IN MINUTES, FOR WATER TO SEEP COMPLETELY AWAY.
 - d. DIVIDE THE TIME BY 4 TO GIVE TIME TAKEN TO FALL 25 mm FOR USE IN TABLE BELOW.
3. ALLOWABLE LOADING OF SOAKAWAY SYSTEMS

TIME IN MINUTES FOR WATER TO FALL 25 mm IN TEST PIT	ALLOWABLE LOADING IN LITRES PER m ² PER DAY	
	DRAIN TRENCH BOTTOM AREA	PIT PERCOLATION AREA
1 OR LESS	163	278
2	130	175
3	98	130
10	63	94
30	33	48

THE TOTAL ALLOWABLE LOADING PER DAY SHOULD EQUATE WITH THE DAILY INCOMING FLOW

4. MINIMUM CLEARANCE REQUIREMENTS FOR SOAKAWAY SYSTEMS

	DISTANCE FROM SOAKAWAY SYSTEMS (m)	
BUILDING	3	
RETAINING WALLS	8	
WELLS	50	
STREAM WHERE THE SED IS LOWER THAN INVERT OF SOAKAWAY SYSTEM	15 (30)*	THESE DISTANCES SHOULD BE INCREASED TO DISTANCES SHOWN IN BRACKETS IF THE WATER FROM THE STREAM OR POOL IS USED OR LIKELY TO BE USED FOR DRINKING OR DOMESTIC PURPOSES.
POOLS	7.5 (30)*	
CUTS OR EMBANKMENTS	30	
PATHS	1.5	
BEACHES	100	(FROM BOUNDARIES OF GAZETTED BEACHES OR BATHING BEACH SUBZONES OF WATER CONTROL ZONES)
	30	(FROM M.W.M. AND FROM NEAREST WATERCOURSES FOR OTHER CASES)
GROUND WATER TABLE	0.6	(BELOW INVERT)

SOIL SOAKAWAY SYSTEM

(FOR INTERIM REFERENCE ONLY)

drawing no.

EP 50/D1/5/02

group

Liquid Waste Projects

date

5/93

scale

NTS

ENVIRONMENTAL
PROTECTION
DEPARTMENT
HONG KONG

Appendix III

Drainage Proposal

DRAINAGE PROPOSAL

FOR TWO INDEPENDENT HOUSES ON

LOT 1120S.A in D.D. 92 and 408 S.B. ss.1 S.A
IN D.D. 94 (House 1)

LOT 408 S.B. ss.1 S.B. in D.D. 94 (House 2)

Hang Tau Tai Po, Kwu Tung South, Sheung Shui

Prepared on June 28, 2024

Table of Contents

1. INTRODUCTION.....2

2. DESIGN PRINCIPLE2

Appendix List	
Appendix A	Design Calculation of Proposed Storm water Drainage System

1. INTRODUCTION

This planning application comprises TWO standalone houses, i.e. one on Lot 1120 S.A in D.D. 92 and 408 S.B. ss.1 S.A in D.D. 94 (hereinafter called House 1), and another one on Lot 408 S.B. ss.1 S.B in D.D. 94 (hereinafter called House 2). They are located at Hang Tau Tai Po, Kwu Tung South, Sheung Shui. This storm water drainage proposal provides appropriate measures for these two houses.

This report covers the design principle and the design calculation of the proposed storm water drainage system on the catchment area of the captioned sites.

2. DESIGN PRINCIPLE

The proposed storm water drainage system in each house lies around the boundary of its own house lot and it is designed to collect the storm water within each lot. Two sets of 225mm U-Channel are proposed for this storm water drainage system within each site. One set of the storm water channel is designed to be collected and diverted to an existing channel at the western side of each lot while another one is to be collected by a proposed storm water storage tank located at the northern part of each house. For the drainage layout please refer to the drawing DS-01 attached with this submission.

The design calculations for showing the adequacy of proposed storm water drainage system for each of the two proposed houses are provided in Appendix A.

APPENDIX A

Design Calculation

Proposed Storm water Drainage System



祥達顧問有限公司

Gender Consultants Limited

Project Title : Lot 1120S.A in D.D.92 and 408 S.B. ss.1 S.A in D.D. 94 (House 1)
- Storm water catchment calculation for Catchment Area A

Reporting Date : June 28, 2024

Maximum total rainfall (mm) under Monthly Extract of Meteorological Observations in 2023

Month	Hong Kong Observatory										King's Park	Waglan Island*	
	Mean Pressure (hPa)	Air Temperature					Mean Dew Point (deg. C)	Mean Relative Humidity (%)	Mean Amount of Cloud (%)	Total Rainfall (mm)	Total Bright Sunshine (hours)	Prevailing Wind Direction (degrees)	Mean Wind Speed (km/h)
		Absolute Daily Max (deg. C)	Mean Daily Max (deg. C)	Mean (deg. C)	Mean Daily Min (deg. C)	Absolute Daily Min (deg. C)							
01	1020.3	24.7	19.4	17.0	14.9	9.8	10.4	67	68	18.2	134.1	010	24.8
02	1019.2	26.6	22.0	18.9	16.8	13.1	13.7	73	60	1.6	163.8	070	26.0
03	1017.0	29.0	24.2	21.3	19.4	16.4	16.5	76	61	70.3	156.8	080	22.1
04	1012.0	30.8	26.0	23.6	21.7	18.0	20.3	82	82	77.5	92.3	080	22.3
05	1009.9	34.7	29.2	26.6	24.9	20.2	23.1	81	75	182.8	131.9	080	19.8
06	1006.5	35.2	31.9	29.2	27.1	25.1	25.9	83	82	490.9	147.4	090	17.6
07	1006.0	36.1	33.0	30.1	28.0	26.2	25.8	78	74	175.2	219.2	230	18.6
08	1004.6	35.1	32.4	29.7	27.8	25.7	25.6	79	81	140.7	166.4	230#	14.9#
09	1008.0	34.4	31.2	28.5	26.9	24.8	24.9	81	74	1067.1	170.5	070	19.6
10	1014.0	34.6	29.1	26.4	24.8	22.0	21.7	76	79	546.0	138.9	070	28.4
11	1018.5	30.7	26.1	23.5	21.6	15.6	17.3	69	50	3.3	208.2	070	24.9

The above source was captured from HKO official website at below link :
<http://www.hko.gov.hk/tc/cis/monthlyExtract.htm?y=2023>

The maximum monthly rainfall is 1067.1mm in September 2023

The maximum hourly rainfall, $i = 1.482$

Hard paved area is 522m^2 , $A = 0.00052\text{ km}^2$ as shown on attached Sketch 1



祥達顧問有限公司 Gender Consultants Limited

Project Title : Lot 1120S.A in D.D.92 and 408 S.B. ss.1 S.A in D.D. 94
- Storm water catchment calculation for Catchment Area A

Reporting Date : June 28, 2024

Infiltration rate of rainfall (Hard paved area), $C = 90\% = 0.90$

<i>Surface Characteristics</i>	<i>Runoff coefficient, C</i>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The above source was extracted from GEO Technical Guidance Note No. 39 (TGN 39)

According to the Storm water Drainage Manual (Fifth Edition, 2018) issued by Drainage Services Department (DSD), peak runoff is given by the following expression ;

$$Q_p = 0.278 C_i A$$

Daily rainfall from catchment area A of Villa at Lot 408 S.B. ss.1 S.B in D.D. 94

$$Q_1 = 0.278 \times 0.85 \times 1.482 \times 0.00052 \times 60 \times 60 \times 24 = 15.73 \text{ m}^3 / \text{day}$$

Conclusion

The estimated daily runoff on the proposed development will be round up to $16\text{m}^3/\text{day}$. In order to allow sufficient capacity of the rainwater for 3 days, the recommended dimension of the proposed Storm Water Storage Tank should be about (L) 6.00m x (W) 5.00m x (D) 3.00m with a concrete wall thickness of 0.25m.

Project : Proposed House Application at Lots_Lot 1120S.A in D.D.92 and 408 S.B. ss.1 S.A in D.D. 94
(House 1)

Drainage Design

Subject : Calculation of Proposed Drainage

Date : 22.06.2024

Checking of Surface Channel

Catchment Area B = 370 m^2 to U – Channel B-1 (225 UC)

$$L = 11\text{m}$$

$$h = 0.11\text{m}$$

$$H = 0.11 \times 100/12 = 0.92\text{m} \text{ (average fall per 100m run)}$$

(where $H < 1$, a conservative value of 1 has been assumed)

$$t_c = 0.14465 \times 11 / (1^{0.2} \times 370^{0.1}) = 0.88 \text{ min}$$

For t^f , $w = 50\text{m}$, $v = 3\text{m/s}$ (assumed)

$$t^f = 50 / (3 \times 60) = 0.28 \text{ min}$$

$$t = 0.88 + 0.28 = 1.16 \text{ min}$$

From rainfall curve, use $t = 1.2 \text{ min}$

$$i_{200} = 440\text{mm / hr. (Fig.1, TGN 30)}$$

$$K = 0.85 \text{ (TGN 39)}$$

Flow for 200 years return periods,

$$Q_{200} = 0.85 \times 440 \times 370 / 60 = 2306 \text{ litres / min} < 3800 \text{ litres/min}$$

Gradient of the design channel = 1 in 100

Proposed channel size = 225 UC (TGN 43)

Therefore, proposed 225mm UC is adequate for catchment Area of B .

[illegible]



祥達顧問有限公司
Gender Consultants Limited

Project Title : Lot 408 S.B. ss.1 S.B in D.D. 94 (House 2)
- Storm water catchment calculation for Catchment Area A

Reporting Date : June 28, 2024

Maximum total rainfall (mm) under Monthly Extract of Meteorological Observations in 2023

Month	Hong Kong Observatory										King's Park	Waglan Island ^A	
	Mean Pressure (hPa)	Air Temperature					Mean Dew Point (deg. C)	Mean Relative Humidity (%)	Mean Amount of Cloud (%)	Total Rainfall (mm)	Total Bright Sunshine (hours)	Prevailing Wind Direction (degrees)	Mean Wind Speed (km/h)
		Absolute Daily Max (deg. C)	Mean Daily Max (deg. C)	Mean (deg. C)	Mean Daily Min (deg. C)	Absolute Daily Min (deg. C)							
01	1020.3	24.7	19.4	17.0	14.9	9.8	10.4	67	68	18.2	134.1	010	24.8
02	1019.2	26.6	22.0	18.9	16.8	13.1	13.7	73	60	1.6	163.8	070	26.0
03	1017.0	29.0	24.2	21.3	19.4	16.4	16.5	76	61	70.3	156.8	080	22.1
04	1012.0	30.8	26.0	23.6	21.7	18.0	20.3	82	82	77.5	92.3	080	22.3
05	1009.9	34.7	29.2	26.6	24.9	20.2	23.1	81	75	182.8	131.9	080	19.8
06	1006.5	35.2	31.9	29.2	27.1	25.1	25.9	83	82	490.9	147.4	090	17.6
07	1006.0	36.1	33.0	30.1	28.0	26.2	25.8	78	74	175.2	219.2	230	18.6
08	1004.6	35.1	32.4	29.7	27.8	25.7	25.6	79	81	140.7	166.4	230#	14.9#
09	1008.0	34.4	31.2	28.5	26.9	24.8	24.9	81	74	1067.1	170.5	070	19.6
10	1014.0	34.6	29.1	26.4	24.8	22.0	21.7	76	79	546.0	138.9	070	28.4
11	1018.5	30.7	26.1	23.5	21.6	15.6	17.3	69	50	3.3	208.2	070	24.9

The above source was captured from HKO official website at below link :
<http://www.hko.gov.hk/tc/cis/monthlyExtract.htm?y=2023>

The maximum monthly rainfall is 1067.1mm in September 2023

The maximum hourly rainfall, $i = 1.482$

Hard paved area is 486m^2 , $A = 0.000486\text{ km}^2$ as shown on attached Sketch 1



祥達顧問有限公司 Gender Consultants Limited

Project Title : Lot 408 S.B. ss.1 S.B in D.D. 94
- Storm water catchment calculation

Reporting Date : June 28, 2024
-Continued -

Infiltration rate of rainfall (Hard paved area), $C = 90\% = 0.90$

<i>Surface Characteristics</i>	<i>Runoff coefficient, C</i>
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The above source was extracted from GEO Technical Guidance Note No. 39 (TGN 39)

According to the Storm water Drainage Manual (Fifth Edition, 2018) issued by Drainage Services Department (DSD), peak runoff is given by the following expression ;

$$Q_p = 0.278 C_i A$$

Daily rainfall from catchment area A of Villa at Lot 408 S.B. ss.1 S.B in D.D. 94

$$Q_1 = 0.278 \times 0.85 \times 1.482 \times 0.000486 \times 60 \times 60 \times 24 = 14.70 \text{ m}^3 / \text{day}$$

Conclusion

The estimated daily runoff on the proposed development will be round up to $15\text{m}^3/\text{day}$. In order to allow sufficient capacity of the rainwater for 3 days, the recommended dimension of the proposed Storm Water Storage Tank should be about (L) 6.00m x (W) 5.00m x (D) 3.00m with a concrete wall thickness of 0.25m.

Project : Proposed House Application at Lots 408 S.B. ss.1 S.B in DD94 (House 2)
Drainage Design
Subject : Calculation of Proposed Drainage
Date : 28.06.2024

Checking of Surface Channel

Catchment Area B = 406 m² to U – Channel B-1 (225 UC)

$$L = 11\text{m}$$

$$h = 0.11\text{m}$$

$$H = 0.11 \times 100/12 = 0.92\text{m} \text{ (average fall per 100m run)}$$

(where $H < 1$, a conservative value of 1 has been assumed)

$$t_c = 0.14465 \times 11 / (1^{0.2} \times 406^{0.1}) = 0.87 \text{ min}$$

For t^f , $w = 48\text{m}$, $v = 3\text{m/s}$ (assumed)

$$t^f = 48 / (3 \times 60) = 0.27 \text{ min}$$

$$t = 0.87 + 0.27 = 1.14 \text{ min}$$

From rainfall curve, use $t = 1.2 \text{ min}$

$$i_{200} = 440\text{mm / hr.} \text{ (Fig.1, TGN 30)}$$

$$K = 0.85 \text{ (TGN 39)}$$

Flow for 200 years return periods,

$$Q_{200} = 0.85 \times 440 \times 406 / 60 = 2531 \text{ litres / min} < 3800 \text{ litres/min}$$

Gradient of the design channel = 1 in 100

Proposed channel size = 225 UC (TGN 43)

Therefore, proposed 225mm UC is adequate for catchment Area of B .

[illegible]

<p>Project : Proposed Drainage Design</p>	
<p>1. <u>Equations and Assumptions</u></p> <p>1.1 Surface drainage design is in accordance with Geotechnical Manual for Slopes (2nd Edition, 1984).</p> <p>1.2 Slope drainage is designed to a frequency of 1 in 200 rainfall return period.</p> <p>1.3 Time of Concentration = time of entry + time of flow i.e. $t_c = t_e + t_f$</p> <p>1.4 Time of entry is calculated based on the modified form of Bransby-Williams Equation: $t_e = 0.14465 \times L / (H^{0.2} \times A^{0.1})$ <p>where t_e = time of entry (min) , A = area of catchment (m^2) , H = average fall (m per 100m) from the summit of catchment to the point of design, L = distance in metre measured on the line of natural flow between the design section and that point of catchment from which water would take the longest time to reach the design section (m)</p> <p>1.5 Time of flow is calculated from the measured water flow length in channel divided by the assumed flow velocity. i.e. $t_f = w / v$ where t_f = time of flow (min) , w = measured water flow length in channel (m) , v = assumed water flow velocity (m/s)</p> <p>1.6 Runoff coefficient for the slope is assumed to be 1.0 for vegetated ground surface.</p> <p>1.7 Peak stormwater is determined by the "Rational Method" using the following formula: $Q = KiA/60$ <p>Where Q = Maximum runoff (litres/min) , K = runoff coefficient ($K = 1.0$) , i = design mean intensity of rainfall (mm/hr) , A = Area of catchment (m^2) .</p> </p></p>	<p>Eqn. 8.2 Geotechnical Manual for Slopes</p> <p>Geotechnical Manual for Slopes (p. 96)</p> <p>Eqn. 8.7 Geotechnical Manual for Slopes</p>

GEO Technical Guidance Note No. 39 (TGN 39)
Guidelines for Estimation of Surface Runoff from Natural Terrain
Catchments for Drainage Design Purposes

Issue No.: 1	Revision: -	Date: 27.12.2013	Page: 4 of 4
--------------	-------------	------------------	--------------

Values of Runoff Coefficient Recommended in DSD (2013)

Surface Characteristics	Runoff coefficient, C ^{Note 1}
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil ^{Note 2})	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

Notes

- (1) For steep natural hillsides or areas where a shallow soil surface is underlain by an impervious rock layer, a higher C value of 0.4 - 0.9 may be applicable.
- (2) Heavy soil refers to fine-grained soil composed largely of silt and clay.

GEO Technical Guidance Note No. 30 (TGN 30)
Updated Intensity-Duration-Frequency Curves with Provision for
Climate Change for Slope Drainage Design

Issue No.: 3	Revision: -	Date: 30.5.2023	Page: 3 of 4
--------------	-------------	-----------------	--------------

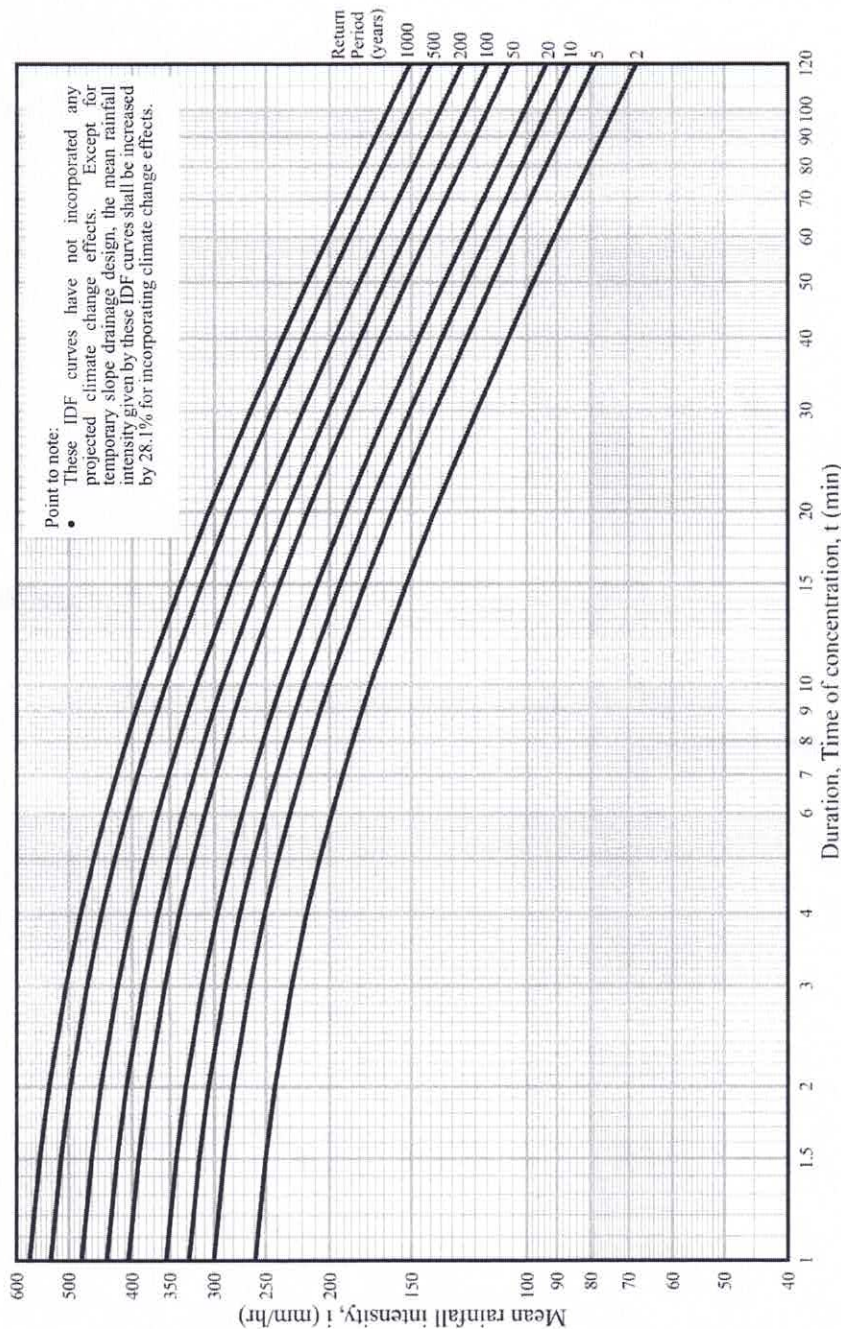


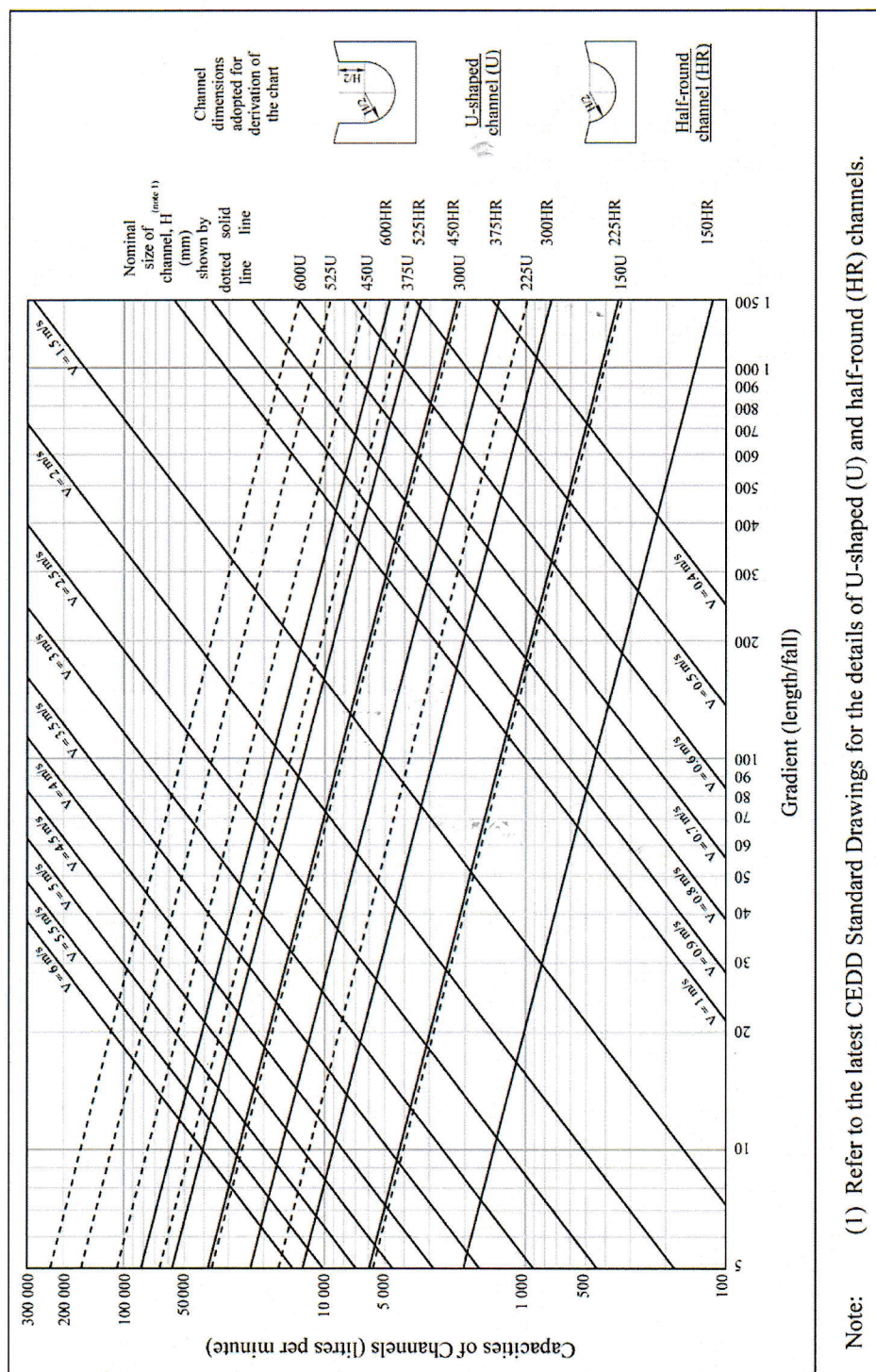
Figure 1 – Updated Intensity-Duration-Frequency Curves

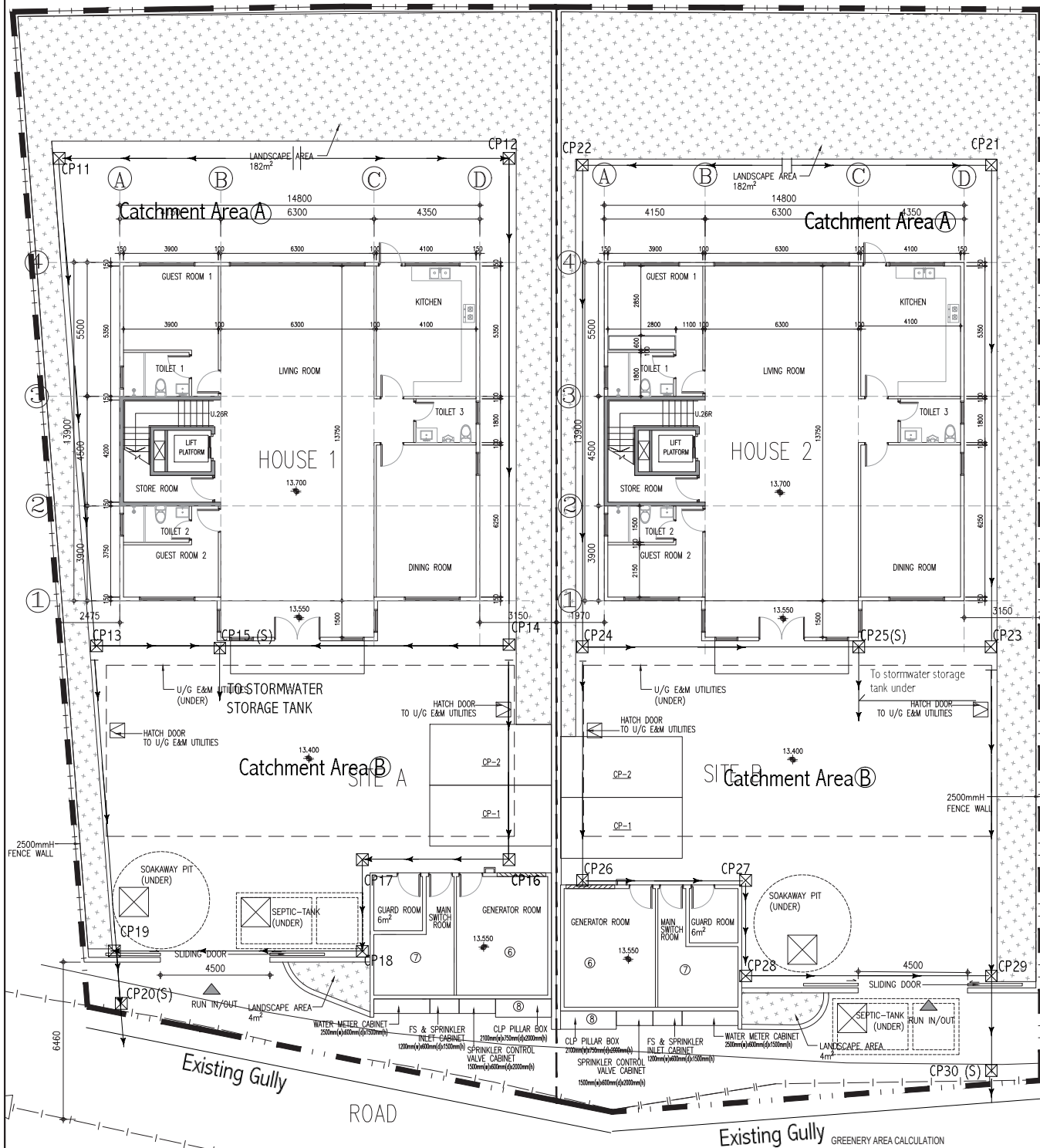
- Notes:
1. These IDF curves are to supersede those given in Figure 8.2 of the Geotechnical Manual for Slopes (GCO, 1984).
 2. The mathematical formulae of these IDF curves are shown in Table 1 of Annex TGN 30 A1.

GEO Technical Guidance Note No. 43 (TGN 43) **Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes**

Issue No.: 1	Revision: -	Date: 05.06.2014	Page: 3 of 3
--------------	-------------	------------------	--------------

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm





House (H) 1

CATCHPIT/ SANDTRAP NO.	C.L. (m.P.D.)	I.L. (m.P.D.)
CP11	13.40	13.05
CP12	13.40	13.10
CP13	13.40	12.86
CP14	13.40	12.92
CP15(S)	13.40	12.80
CP16	13.40	13.00
CP17	13.40	12.94
CP18	13.40	12.90
CP19	13.40	12.80
CP20(S)	13.02	12.71
EXISTING GULLY	12.97	12.61

House (H) 2

CATCHPIT/ SANDTRAP NO.	C.L. (m.P.D.)	I.L. (m.P.D.)
CP21	13.40	13.05
CP22	13.40	13.10
CP23	13.40	12.86
CP24	13.40	12.92
CP25	13.40	12.80
CP26	13.40	12.69
CP27	13.40	12.62
CP28	13.40	12.59
CP29	13.40	12.49
CP30(S)	13.08	12.39
EXISTING GULLY	13.08	12.29

PROJECT:
PROPOSED STORMWATER
DRAINAGE SYSTEM
(H1) Lot 1120 S.A. in D.D.
92 and 408 S.B. ss. 1 S.A.
in D.D. 94
(H2) Lot 408 S.B. ss. 1
S.B. in D.D. 94
KWU TUNG

DRAWING TITLE
STORM DRAIN LAYOUT

DESIGNER: IS

DATE: JUN 2024

DRAWING NO: DS-01

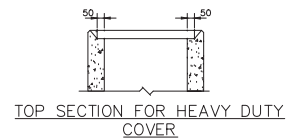
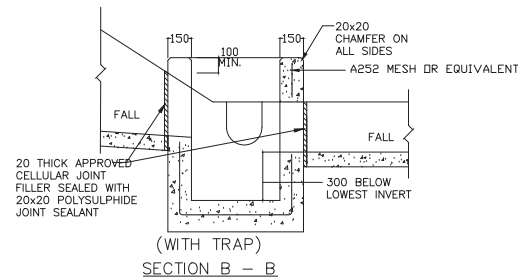
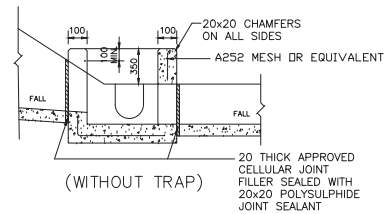
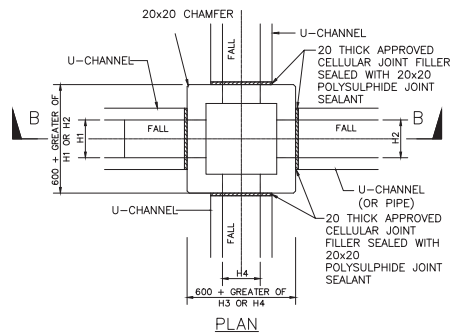
GREENERY AREA CALCULATION

SITE AREA: ABOUT 1,782.8m²

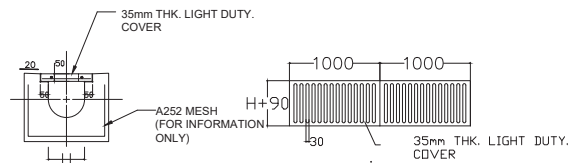
PROPOSED GREENERY AREA:

ABOUT 372m² > 356.6m²

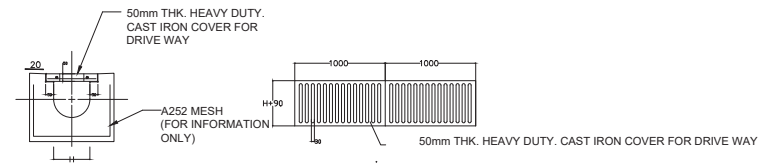
GREENERY RATIO: ABOUT 372 / 1,782.8 = 20.87% > 20%



STANDARD CATCHPIT DETAILS
N.T.S.



U-CHANNEL WITH LIGHT DUTY IRON COVER



U-CHANNEL WITH HEAVY DUTY IRON COVER AT DRIVEWAY
(UP TO H OF 525)

PROJECT:
PROPOSED STORMWATER
DRAINAGE SYSTEM

(H1) Lot 1120 S.A. in D.D. 92 and 408 S.B. ss. 1 S.A. in D.D. 94

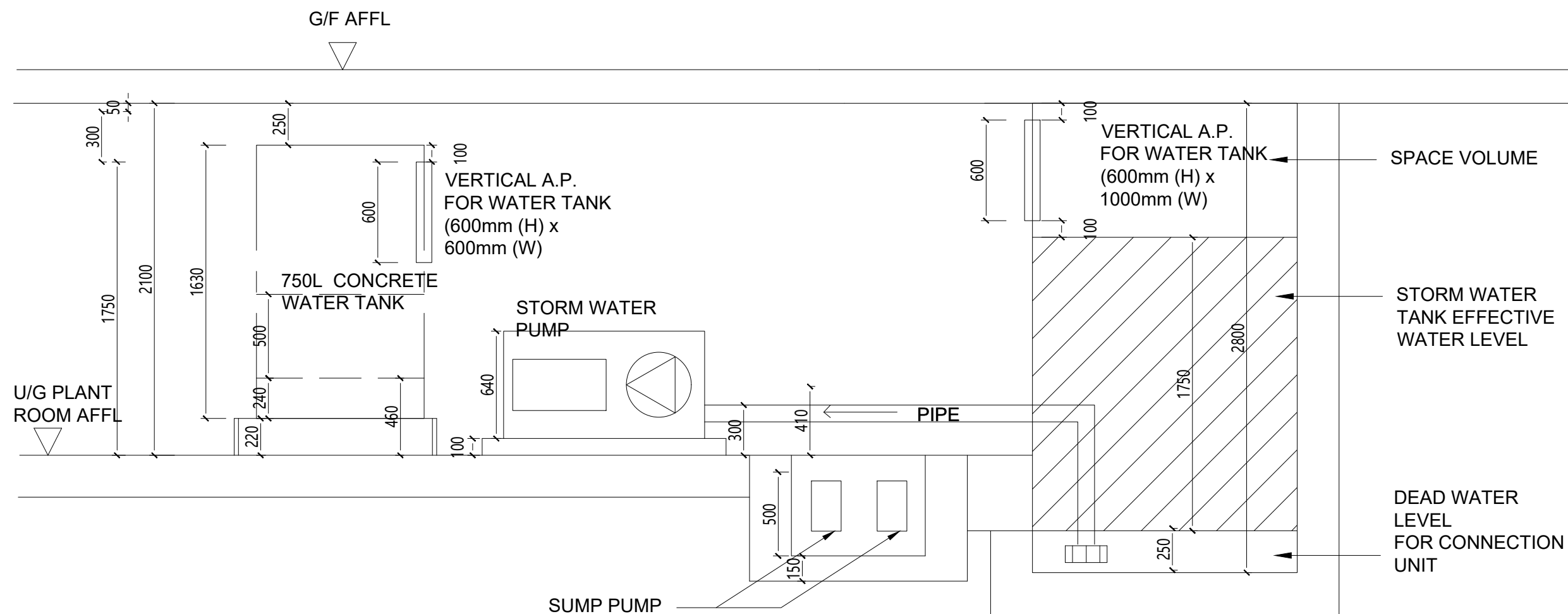
(H2) Lot 408 S.B. ss. 1 S.B. in D.D. 94
KWJ TUNG

DRAWING TITLE
STORM DRAIN LAYOUT

DESIGNER: IS

DATE: JUN 2024

DRAWING NO: DS-02



STORM WATER STORAGE PUMP ROOM SECTION DRAWING

Your Ref: TPB/A/NE-KTS/541
Our Ref: NE-KTS/PA/GCL/23-16
Date: 9 September 2024

By Hand and Email

The Secretary,
Town Planning Board,
c/o Town Planning Board Section,
Planning Department,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong.

Dear Sirs,

Proposed ‘House (not elsewhere specified)’ Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in “Residential (Group D)” Zone at Lot No. 1120 S.A in D.D.92, Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/541) – Further Information

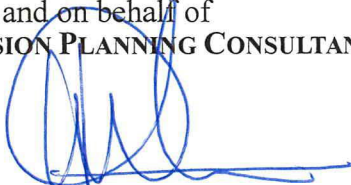
On behalf of the Applicant, we would like to submit herewith a total of 4 sets of the following materials to respond to comments raised by the District Lands Officer/North, Lands Department (“**DLO/N, LandsD**”) on the captioned planning application:

- i. Response-to-Comments (“**R-to-C**”) Table dated 9.9.2024;

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO at [REDACTED] or the undersigned at [REDACTED].

Thank you very much for your kind attention.

Yours faithfully,
for and on behalf of
VISION PLANNING CONSULTANTS LTD.



Kim On CHAN
Managing Director

[NE-KTS/PA/GCL/23-16] [KC/sl]

Table A

Proposed ‘House (not elsewhere specified)’ Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in “Residential (Group D)” Zone at Lot No. 1120 S.A in D.D.92, Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (S.16 Planning Application TPB Ref: A/NE-KTS/541)

Departmental Comments		Applicant’s Responses
A. Comments from District Lands Officer/North, Lands Department received on 6 September 2024		
	<u>Septic Tank</u>	
1.	According to Figure 6 (Schematic Master Layout Plan) and Figure 8 (Ground Floor Plan), it appears that the septic tank of Site B (House 2) falls within the set back area. The Applicant should review the design so as to ensure the septic tank (and any other private facilities) should be erected on private lot boundary and free from any surrender proposal submitted by the Applicant.	<p>Please note that in paragraph 5.11 of the submitted Planning Statement, the Applicant has already explained that “the Applicant has no intention to surrender this set back area to Government.... Until and unless the Government is decided to take over the long-term maintenance and management (“M&M”) responsibilities of this set back area, the Applicant is willing to undertake the M&M responsibilities of this local access road section at its own expenses.”.</p> <p>The Applicant would like to clarify that the inner set back area for pedestrian circulation movement as shown in Figure 6 (Schematic Master Layout Plan) will not be surrendered to the Government. This set back area will be maintained and managed by the Applicant itself.</p>

Your Ref: TPB/A/NE-KTS/541
Our Ref: NE-KTS/PA/GCL/23-18
Date: 25 September 2024

By Email

The Secretary,
Town Planning Board,
c/o Town Planning Board Section,
Planning Department,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong.

Dear Sirs,

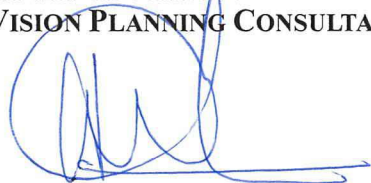
Proposed ‘House (not elsewhere specified)’ Development and Proposed Minor Relaxation of Maximum Plot Ratio Restriction in “Residential (Group D)” Zone at Lot No. 1120 S.A in D.D.92, Lots Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B in D.D. 94, Hang Tau Tai Po, Kwu Tung South, New Territories (Application No.: A/NE-KTS/541) – Clarifications

On behalf of the Applicant, we would like to clarify that the proposed 2.5m tall solid boundary fence wall as indicated in **Figures 6 and 8** is solely for security and privacy purposes. The proposed setback areas will be outside this boundary fence wall.

Should you have any queries with regard to the above, please do not hesitate to contact our Ms. Sylvia LO at [REDACTED] or the undersigned at [REDACTED]

Thank you very much for your kind attention.

Yours faithfully,
for and on behalf of
VISION PLANNING CONSULTANTS LTD.



Kim On CHAN
Managing Director

[NE-KTS/PA/GCL/23-18] [KC/sl]

**Similar Applications within the Same “Residential (Group D)” Zone
in the Vicinity of the Site**

Approved Applications

	Application No.	Proposed Use(s) / Development(s)	Date of Consideration	Approval Conditions
1.	A/NE-KTS/460	Proposed Houses	21.12.2018	(a), (b), (c), (d) and (g)
2.	A/NE-KTS/466	Proposed Residential Development and Minor Relaxation of Plot Ratio and Building Height Restrictions	13.12.2019	(a) to (f)
3.	A/NE-KTS/528	Proposed House Development	9.6.2023	(a), (b), (c), (d) and (g)
4.	A/NE-KTS/525	Proposed Residential Development (Houses) and Minor Relaxation of Plot Ratio Restriction	27.10.2023	(b) and (c)
5.	A/NE-KTS/538	Proposed House Development and Minor Relaxation of Plot Ratio Restriction	16.8.2024	(a), (b) and (c)

- (a) The submission of a Noise Impact Assessment and implementation of the mitigation measures identified therein.
- (b) The submission of a revised Sewerage Impact Assessment and/or implementation of a sewerage connection proposal identified or provision of sewerage improvement works or sewage treatment and disposal method(s) identified therein.
- (c) The submission and/or implementation of a drainage proposal/drainage measures.
- (d) The provision of water supplies for firefighting and fire service installations/submission and implementation of fire service installations and water supplies for fire-fighting.
- (e) The design and provision of vehicular access, car parking and loading/unloading facilities for the proposed development.
- (f) The design and provision of pedestrian crossing at Hang Tau Road outside the application site and a public footpath along the eastern boundary abutting the local road.
- (g) The submission and implementation of landscape proposal.

Comments from Relevant Government Departments

Land Administration

Comments of the District Lands Officer/North, Lands Department (LandsD):

- (a) in general, with a view to ensuring the compliance with any proposed additional conditions under lease, it is the LandsD's requirement that any proposed additional conditions would only be considered to be incorporated under lease provided that there is a relevant bureau / department requesting for or in support of such additional conditions. Such bureau / department would be responsible for monitoring the grantee's compliance with such additional conditions. In the absence of such bureau / department's request or support, no additional conditions would be incorporated under lease for the proposed works.

Widening of local access road

- (b) according to paragraph 5.8 of the Planning Statement, a boundary set back of around 1.9m to 4.2m from the existing local access road along the western boundary of the Application Site is proposed to offer an opportunity to widen this section of local access road. It is also noted that the applicant has no intention to surrender the setback area to the Government as per paragraph 5.11 of the Planning Statement and the applicant further advises that they are willing to undertake the management and maintenance responsibilities of the setback area at their own expenses until and unless the Government has decided to take over it in the future. In case the setback area would not be surrendered to the Government as public road, such road widening proposal would not be incorporated in the future land exchange application (if approved).

Septic Tank

- (c) her office has no comment provided that the applicant could ensure that the septic tank and any other private facilities should be erected on private lot boundary and free from any surrender requirement of the land exchange application (if submitted).

Traffic

Comments of the Commissioner for Transport:

Regarding the proposed road widening works, it is noted that the upstream section of the concerned road leading to Hang Tau Road has yet been committed by the adjoining land lot owners, including the approved planning application No. Y/NE-KTS/13 for comprehensive development.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates
A/NE-KTS/541

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

反對上述地段地積比的申請，理由如下：

- ① 若申請批准，做成不良先例。
- ② 週圍村的果樹極不協調，因申請地帶附近多為「丁屋」群，「丁屋」的可建面積上限為700平方呎。放寬地積比例，做就屋宇大細不一。
- ③ 村內只得單程路段，若放寬地積比，必增加交通負荷。

「提意見人」姓名/名稱 Name of person/company making this comment AU-YOUNG HO WING /
LEE KOON SIN

簽署 Signature [Signature] / Lee Koon Sin 日期 Date 2024年 8月 22日

2

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

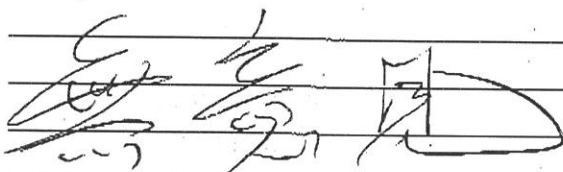
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-KTS/541

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



上水區鄉事委員會

「提意見人」姓名/名稱 Name of person/company making this comment

侯志強 謹

簽署 Signature



日期 Date

23 AUG 2024

2 附加

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-KTS/541

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

坑頭村村代表強烈反對該申請
因為坑頭的道路非常繁忙，交通情況
沒有改善，一下大雨時又會水浸。

上水區鄉事委員會主席

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date

23 AUG 2024

致：城規會秘書處

15/F, North Point Government Offices

333 Java Road, North Point, HONG KONG

申請編號：A/NE-KTS/541

本人，是附近村民，就標題申請有以下意見：

1. 申請地點已沒有使用多年，內裏雜草叢生，衛生環境極差。而是項申請方案正符合城規劃發展性質和意圖，所以樂見其早日落成，改善本區環境及衛生，我們同村兄弟亦非常支持是項申請。
2. 該項申請發展考慮周詳，顧己及人及讓現有車路擴闊 6 米，是一個極好及有週詳考慮的方案，批准這申請可讓當區道路使用者早日受惠，我完全支持。
3. 況且城規會早前亦已批准在申請地點毗鄰地積比率及高度與申請相同的規劃申請 A/NE-KTS/538，證明申請也是合乎情理和公道，因此我支持。請早日批准。
4. 建議發展有助改善區內狹窄道路的問題，利人利己，請城規會儘快批准，讓改善得到落地。本人全力支持。



Mr. Alfred YEUNG

Date: 4.9.2024



Recommended Advisory Clauses

- (a) To note the comments of the District Lands Officer/North, Lands Department (LandsD) that:
- the application site (the Site) comprises three private lots namely Lot No. 1120 S.A (Part) in D.D. 92, Lot Nos. 408 S.B ss.1 S.A and 408 S.B ss.1 S.B, both in D.D. 94. No Government land is involved. All three private lots are New Grant agricultural lots held under Tai Po New Grant No. 2491. No building of any description shall be erected on the lots; and
 - should the subject planning application be approved, the lot owner should apply to LandsD for a land exchange for implementation of the approved planning scheme. Such application will be considered by LandsD acting in the capacity as landlord at its sole discretion and there is no guarantee that such application will be approved. If such application is approved, it will be subject to such terms and conditions as considered appropriate including but not limited to the payment of administrative fee and premium. In case the setback area would not be surrendered to the Government as public road, such road widening proposal would not be incorporated in the future land exchange application (if approved);
- (b) To note the comments of the Commissioner for Transport that the access road between Hang Tau Road and the Site is not managed by the Transport Department (TD). TD considers that the local widening works is not necessary for the subject application but will be beneficial to the Kwu Tung South area if all adjacent land lot owners would have set back their site boundary to provide a widened access road connecting to Hang Tau Road;
- (c) To note the comments of the Director of Environmental Protection that the proposed houses are within unsewered area and surrounded by a cluster of similar housing development in “Residential (Group D)” zone. There is an active brownfield in the vicinity of the proposed houses. The applicant is advised to take note of any possible fixed plant nuisance to the proposed houses;
- (d) To note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD) that:
- the Site is in an area where no DSD stormwater drain and no public sewerage connection is available;
 - all existing flow paths as well as the run-off onto and passing through the Site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the Site any time during or after the works;

- surface channels should be provided along the perimeter of the lot to collect all the runoff generated from the Site or passing through the Site, and discharge the runoff collected to a proper discharge point. Where walls are erected or kerbs are laid along the boundary of the Site, peripheral channels should be provided on both sides of the walls or kerbs with details to be agreed by DSD; and
 - the proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at their own expense. For drainage works to be undertaken outside the lot boundary, the applicant should obtain prior consent and agreement from LandsD and/or relevant private lot owners;
- (e) To note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that
- before any new building works (including containers/ open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BA, they are UBW under the BO and should not be designated for any proposed use under the captioned application;
 - for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; the applicant's attention is also drawn to the provision under regulations 40, 41 and Part V of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of foul water and surface water and requirements of septic tanks respectively;
 - site formation works are building works under the control of the BO. Before the proposed filling of land is to be carried out on the Site, the prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works. An

AP should be appointed as the co-ordinator for the proposed site formation in accordance with the BO; and

- detailed checking under the BO including gross floor area exemption under regulation 23(3)(b) of the B(P)R for plant rooms with full justifications to be submitted will be carried out at building plan submission stage;
- (f) To note the comments of the Director of Electrical and Mechanical Services that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
- (g) To note the comments of the Director of Fire Services that detailed fire services requirements will be formulated upon receipt of a formal submission of Short Term Tenancy/Short Term Waiver, general building plans or referral of application via relevant licensing authority. Furthermore, the Emergency Vehicular Access provision in the captioned work shall comply with the requirements as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by the BA.