

**Relevant Revised Interim Criteria for Consideration of  
Application for NTEH/Small House in New Territories  
(promulgated on 7.9.2007)**

- (a) sympathetic consideration may be given if not less than 50% of the proposed NTEH/Small House footprint falls within the village 'environs' ('VE') of a recognized village and there is a general shortage of land in meeting the demand for Small House development in the "Village Type Development" ("V") zone of the village;
- (b) if more than 50% of the proposed NTEH/Small House footprint is located outside the 'VE', favourable consideration could be given if not less than 50% of the proposed NTEH/Small House footprint falls within the "V" zone, provided that there is a general shortage of land in meeting the demand for Small House development in the "V" zone and the other criteria can be satisfied;
- (c) development of NTEH/Small House with more than 50% of the footprint outside both the 'VE' and the "V" zone would normally not be approved unless under very exceptional circumstances (e.g. the application site has a building status under the lease, or approving the application could help achieve certain planning objectives such as phasing out of obnoxious but legal existing uses);
- (d) application for NTEH/Small House with previous planning permission lapsed will be considered on its own merits. In general, proposed development which is not in line with the criteria would normally not be allowed. However, sympathetic consideration may be given if there are specific circumstances to justify the cases, such as the site is an infill site among existing NTEHs/Small Houses, the processing of the Small House grant is already at an advance stage;
- (e) an application site involves more than one NTEH/Small House, application of the above criteria would be on individual NTEH/Small House basis;
- (f) the proposed development should not frustrate the planning intention of the particular zone in which the application site is located;
- (g) the proposed development should be compatible in terms of land use, scale, design and layout, with the surrounding area/development;
- (h) the proposed development should not encroach onto the planned road network and should not cause adverse traffic, environmental, landscape, drainage, sewerage and geotechnical impacts on the surrounding areas. Any such potential impacts should be mitigated to the satisfaction of relevant Government departments;
- (i) the proposed development, if located within water gathering grounds, should be able to be connected to existing or planned sewerage system in the area except under very special circumstances (e.g. the application site has a building status under the lease or the applicant can demonstrate that the water quality within water gathering grounds will not be affected by the proposed development^);

- (j) the provision of fire service installations and emergency vehicular access, if required, should be appropriate with the scale of the development and in compliance with relevant standards; and
  - (k) all other statutory or non-statutory requirements of relevant Government departments must be met. Depending on the specific land use zoning of the application site, other Town Planning Board guidelines should be observed, as appropriate.
- ^i.e. the applicant can demonstrate that effluent discharge from the proposed development will be in compliance with the effluent standards as stipulated in the Water Pollution Control Ordinance Technical Memorandum.

**Similar Applications within the “AGR” Zone in the Vicinity of the Site**  
**on the Lam Tsuen Outline Zoning Plan**

**Rejected Applications**

<b>Application No.</b>	<b>Proposed Development</b>	<b>Zoning</b>	<b>Date of Consideration</b>	<b>Rejection Reasons</b>
A/NE-LT/474	Proposed House (NTEH - Small House)	“AGR”, “V”	3.1.2014	R1, R2
A/NE-LT/536	Proposed House (NTEH - Small House)	“AGR”	8.5.2015	R1, R3
A/NE-LT/554	Proposed House (NTEH - Small House)	“AGR”	1.4.2016 (on Review)	R1, R4

**Rejection Reasons**

- R1. The proposed development was not in line with the planning intention of the "Agriculture" (“AGR”) zone for the area which was primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It was also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. There was no strong planning justification provided in the submission for a departure from the planning intention.
- R2. The proposed development did not comply with the "Interim Criteria for Consideration of Application for New Territories Exempted House/Small House in the New Territories" in that the applicant failed to demonstrate that the proposed development would not cause adverse impact on landscape resources and water quality in the surrounding areas.
- R3. The proposed development did not comply with the 'Interim Criteria for Consideration of Application for New Territories Exempted House/Small House in the New Territories in that the proposed Small House within the upper indirect Water Gathering Ground (WGG) might not be able to be connected to the planned public sewers in the area. The applicant failed to demonstrate in the submission that the proposed development located within the WGG would not cause adverse impact on the water quality in the area.
- R4. Land was still available within the “Village Type Development” (“V”) zone of Tai Mong Che and Ma Po Mei which was primarily intended for Small House development. It was considered more appropriate to concentrate the proposed Small House development within the “V” zone for more orderly development pattern, efficient use of land and provision of infrastructures and services.

**Detailed Comments from Relevant Government Departments**

**1. Land Administration**

Comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- (a) the applicant is an indigenous villager of Shui Wo Village as confirmed by the Indigenous Inhabitant Representative (IIR). However, his eligibility of Small House grant has yet to be ascertained;
- (b) the application site (the Site) is held under Block Government Lease demised for agricultural use and is not covered by Modification of Tenancy or Building Licence. No valid Small House application has been received by this office from the applicant;
- (c) the number of outstanding Small House applications and the number of 10-year Small House demand for the villages concerned are as follows:

<u>Villages</u>	<u>No. of outstanding Small House applications</u>	<u>No. of 10-year Small House demand*</u>
Tai Mong Che	22	150
Ma Po Mei	7	50

(\*The figure of 10-year Small House demand is estimated and provided by the IIRs of Tai Mong Che and Ma Po Mei and the information so obtained is not verified in any way by DLO/TP, LandsD)

- (d) if and after planning approval has been granted by the Town Planning Board (the Board), LandsD will process the Small House application when it is received by LandsD. However, there is no guarantee that the Small House application would be approved. If the Small House application is approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD. There is no guarantee to the grant of a right of way to the Small House concerned or approval of the Emergency Vehicular Access thereto.

**2. Agriculture**

Comments of the Director of Agriculture, Fisheries and Conservation (DAFC):

- (a) the Site is currently a piece of abandoned land. There are active agricultural activities in the vicinity, and agricultural infrastructure such as footpath and water source is available. The Site can be used for agricultural activities such as open-field cultivation, greenhouses, plant nurseries, etc.;
- (b) the Site possesses potential for agricultural rehabilitation. As such, the application is not supported from agricultural point of view; and
- (c) the Site is adjacent to a stream tributary that drains into the Lam Tsuen River

(Upper) Ecologically Important Stream. Should the application be approved, the applicant should be advised to make reference to Buildings Department Practice Note for Authorized Persons and Registered Structural Engineers ADV-27 to minimize adverse impacts on the stream.

### **3. Traffic**

Comments of the Commissioner for Transport (C for T):

- (a) the Small House development should be confined within the “Village Type Development” (“V”) zone as far as possible. Although additional traffic generated by the proposed development is not expected to be significant, such type of development outside the “V” zone, if permitted, will set an undesirable precedent case for similar applications in the future. The resulting cumulative adverse traffic impact could be substantial; and
- (b) notwithstanding the above, the application only involving development of a Small House could be tolerated on traffic grounds.

### **4. Environment**

Comments of the Director of Environmental Protection (DEP):

- (a) does not support the application;
- (b) the Site falls within “Agricultural” zone and is within the water gathering ground (WGG). The applicant proposes to connect the Small House to the existing public sewer at Tai Mong Che; and
- (c) it is noted that the feasibility of sewerage connection to public sewer is subject to the site formation level. Hence, there is insufficient information to demonstrate that the proposed Small House could be connected to the public sewer for sewage disposal.

### **5. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- (a) no objection to the application from landscape planning perspective;
- (b) with reference to the aerial photo of 2021, the Site is located in an area of settled valleys landscape character comprises small houses mainly within “V” zone, farmland, clusters of tree groups and woodland at the further west. The proposed use under this application is considered not incompatible with its surrounding environment;
- (c) it is noted that self-seeded vegetation and some trees of common species in fair condition along the south-western site boundary were removed. Given the existing trees are common species, significant adverse impact on the landscape

resources arising from the proposed use is not anticipated; and

- (d) approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works.

## **6. Drainage and Sewerage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- (a) if the application is approved, a condition on submission and implementation of a drainage proposal for the Site is required to ensure that it will not cause adverse drainage impact to the adjacent area and will not cause structural instability / damage to the existing river embankment of Lam Tsuen River;
- (b) the Site is in the vicinity of an existing streamcourse. The applicant shall be required to place all the proposed works (including fence wall) 3m away from the top of the bank of the streamcourse. All the proposed works in the vicinity of the streamcourse should not create any adverse drainage impacts, both during and after construction. Proposed flooding mitigation measures if necessary shall be provided at the resources of the applicant to the satisfaction of the Director of Drainage Services;
- (c) the applicant should be reminded to minimize the possible adverse environmental impacts on the existing streamcourse in his design and during construction;
- (d) the applicant should have its own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The applicant should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicant should maintain the drainage systems properly and rectify/modify the nearby existing/original drainage systems if they are found to be inadequate or ineffective to accommodate the additional runoff arisen from the development of the Site. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the modified drainage systems caused by their works;
- (e) there are existing DSD maintained public sewers in the vicinity but the feasibility of sewerage connection is subject to the site formation level;
- (f) should the applicant choose to dispose of the sewage of the proposed development through other means, views and comments from EPD should be sought;

- (g) the applicants shall provide written consent(s) from relevant lot owner(s) and/or LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones outside the Site or on government land (where required); and
- (h) the cost and work of drainage and sewerage connection as well as future maintenance responsibility shall be borne by the applicant.

## **7. Fire Safety**

Comments of the Director of Fire Services (D of FS):

- (a) no in-principle objection to the application; and
- (b) the applicant is reminded to observe "New Territories Exempted Houses – A Guide to Fire Safety Requirements" published by LandsD. Detailed fire safety requirements will be formulated upon receipt of formal applications referred by LandsD.

## **8. Water Supply**

Comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD):

- (a) has reservation on the application as the feasibility of public sewerage connection is subject to site formation level which cannot be ascertained at this stage;
- (b) the Site is located within upper indirect WGG and is situated less than 30m from the nearest stream;
- (c) the applicant should also note the following comments:
  - (i) the foul water drainage system of the proposed Small House can be connected to the public sewerage system in the area and the applicant shall connect the whole of the foul water drainage system to the public sewerage system;
  - (ii) adequate protective measures shall be taken to ensure that no pollution or siltation occurs to the WGG;
  - (iii) the applicant shall submit an executed Deed of Grant of Easement for each private lot through which the sewer connection pipes are proposed to pass to demonstrate that it is both technically and legally feasible to install sewerage pipes from the proposed Small House to the sewerage system via relevant private lots;
  - (iv) the whole of foul effluent from the proposed Small House shall be conveyed through cast iron pipes or other approved material with sealed joints and hatch boxes; and

- (v) since the proposed Small House is less than 30m from the nearest watercourse, the proposed Small House should be located as far away from the watercourse as possible.
- (d) for provision of water supply to the proposed development, the applicant may need to extend his/her inside services to the nearest suitable government water mains for connection. The applicant shall resolve any land matter (such as private lots) associated with the provision of water supply and shall be responsible for the construction, operation and maintenance of the inside services within the private lots to WSD's standards.

**9. Demand and Supply of Small House Sites**

According to the DLO/TP, LandsD's record, the total number of outstanding Small House applications for Tai Mong Che and Ma Po Mei is 29 while the 10-year Small House demand forecast for the same villages is 200. Based on the latest estimates by the Planning Department, about 2.06 ha of land (or equivalent to about 82 Small House sites) are available within the "V" zone of the concerned villages. Therefore, the land available cannot fully meet the future demand of 229 Small Houses (equivalent to about 5.7 ha of land).



就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

220805-161239-55778

提交限期

Deadline for submission:

12/08/2022

提交日期及時間

Date and time of submission:

05/08/2022 16:12:39

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-LT/733

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Lam Ka Hing

意見詳情

Details of the Comment :

反對，住屋過於密集，引至附近交通阻塞，環境污染，增加引發火警危機，影響村民安全、生活質數及生態環境。

**Recommended Advisory Clauses**

- (a) to note the comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that if the Small House application is approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD. There is also no guarantee to the grant of a right of way to the Small House concerned or approval of the Emergency Vehicular Access thereto;
- (b) to note the comments of the Director of Agriculture, Fisheries and Conservation (DAFC) that the Site is adjacent to a stream tributary that drains into the Lam Tsuen River (Upper) Ecologically Important Stream. The applicant should be advised to make reference to Buildings Department Practice Note for Authorized Persons and Registered Structural Engineers ADV-27 to minimize adverse impacts on the stream;
- (c) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the application does not imply approval of tree works such pruning, transplanting and felling under lease. The applicant should seek approval for any proposed tree works from relevant departments prior to commencement of the works;
- (d) to note the comments of the Chief Engineer/Mainland North (CE/MN), DSD that:
  - (i) the application site (the Site) is in the vicinity of an existing streamcourse. The applicant shall be required to place all the proposed works (including fence wall) 3m away from the top of the bank of the streamcourse. All the proposed works in the vicinity of the streamcourse should not create any adverse drainage impacts, both during and after construction. Proposed flooding mitigation measures if necessary shall be provided at the resources of the applicant to the satisfaction of the Director of Drainage Services;
  - (ii) the applicant should be reminded to minimize the possible adverse environmental impacts on the existing streamcourse in his design and during construction;
  - (iii) the applicant should have its own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The applicant should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicant should maintain the drainage systems properly and rectify/modify the nearby existing/original drainage systems if they are found to be inadequate or ineffective to accommodate the additional runoff arisen from the development of the Site. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the modified drainage systems caused by their works;
  - (iv) there are existing DSD maintained public sewers in the vicinity but the feasibility of sewerage connection is subject to the site formation level. Should

the applicant choose to dispose of the sewage of the proposed development through other means, views and comments from EPD should be sought;

- (v) the applicants shall provide written consent(s) from relevant lot owner(s) and/or LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones outside the Sites or on government land (where required); and
- (vi) the cost and work of drainage and sewerage connection as well as future maintenance responsibility shall be borne by the applicants;
- (e) to note the comments of the Director of Fire Services (D of FS) that the applicant should observe 'New Territories Exempted Houses – A Guide to Fire Safety Requirements' published by the LandsD. Detailed fire safety requirements will be formulated upon receipt of formal application referred by LandsD;
- (f) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD):
  - (i) the foul water drainage system of the proposed Small House can be connected to the public sewerage system in the area and the applicant shall connect the whole of the foul water drainage system to the public sewerage system;
  - (ii) adequate protective measures shall be taken to ensure that no pollution or siltation occurs to the WGG;
  - (iii) the applicant shall submit an executed Deed of Grant of Easement for each private lot through which the sewer connection pipes are proposed to pass to demonstrate that it is both technically and legally feasible to install sewerage pipes from the proposed Small House to the sewerage system via relevant private lots;
  - (iv) the whole of foul effluent from the proposed Small House shall be conveyed through cast iron pipes or other approved material with sealed joints and hatch boxes;
  - (v) since the proposed Small House is less than 30m from the nearest watercourse, the proposed Small House should be located as far away from the watercourse as possible; and
  - (vi) for provision of water supply to the proposed development, the applicant may need to extend his/her inside services to the nearest suitable government water mains for connection. The applicant shall resolve any land matter (such as private lots) associated with the provision of water supply and shall be responsible for the construction, operation and maintenance of the inside services within the private lots to WSD's standards; and
- (g) to note that the permission is only given to the development under application. If provision of an access road is required for the proposed development, the applicant should ensure that such access road (including any necessary filling/excavation of land) complies with the provisions of the relevant statutory plan and obtain planning permission from the Town Planning Board where required before carrying out the road works.

2022年 7月 1 4日

此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 14 JUL 2022  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-II  
表格第 S16-II 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP.131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Construction of  
“New Territories Exempted House(s)”**

**適用於只涉及興建「新界豁免管制屋宇」的建議**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.info.gov.hk/tpb/en/plan\\_application/apply.html](https://www.info.gov.hk/tpb/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.info.gov.hk/tpb/tc/plan\\_application/apply.html](https://www.info.gov.hk/tpb/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-LT/733
	Date Received 收到日期	14 JUL 2022

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構 )

SHAM MAN TONG (沈萬棠)

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

CHEER EXCEL ENGINEERING LIMITED

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	LOT NO. 311 IN DD8. TAI YEUNG CHE VILLAGE, TAI PO LAM TSUEN, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 161.5 .....sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 195.09 .....sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	Nil ..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Lam Tsuen Outline Zoning Plan Plan No. S/NE-LT/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Village Type Development (V) and Agriculture (AGR)
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

☒ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。

☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

N.A

(a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 -

☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☒ others (please specify)  
其他（請指明）

Consent letter dated 7/7/2022 from land owners of Lots 275 S.A, 279 S.A, 279 S.B, 279 S.C, 279 S.D, 279 RP, 282 S.E, 282 S.F, 282 S.G, 282 S.H, 282 RP and 284 RP in DD8 for proposed sewerage connection.

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料





**7. Impacts of Development Proposal 擬議發展計劃的影響**

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?</p>	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

**8. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

**(1) Compatibility of Land Use**

Since the uses of the neighbouring land have been zoned mainly for residential development and village type development, the change of the subject site from agriculture use to village type development is considered to be compatible with the surrounding designated zonings. In fact, the proposed re-zoning of the subject site is an extension of the village type development zone at its boundary.

**(2) Economical Use of Land Resource**

The subject site is currently left fallow and disused. From the land economy point of view, it is a waste of land resource. The proposed land use will convert the derelict land into a more practical and economical residential use without affecting the rural character of the area. It is beneficial to the community as a whole.

**(3) No Adverse Environmental Impact**

The proposed residential use will not create pollution of any kind. In fact, it is a more desirable land use when compared with previous use of the site for vacant and rural in character. Also, the construction of village houses on the subject site will be in harmony with the existing developments in the neighbourhood.

**9. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

  
.....  
CHAN CHOI SHING

Name in Block Letters  
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

..... Project Manager.....  
Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....MALB..ICIOB.....

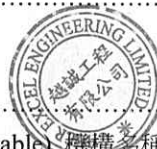
on behalf of  
代表

.....CHEER EXCEL ENGINEERING LIMITED.....

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

.....16 JUN 2022..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	LOT NO. 311 IN DD8. TAI YEUNG CHE VILLAGE, TAI PO LAM TSUEN, N.T.
Site area 地盤面積	161.5 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Lam Tsuen Outline Zoning Plan Plan No. S/NE-LT/11
Zoning 地帶	Village Type Development and Agriculture
Applied use/ development 申請用途／發展	New Territories Exempted House 新界豁免管制屋宇 <input checked="" type="checkbox"/> Small House 小型屋宇
(i) Proposed Gross floor area 擬議總樓面面積	195.09 sq.m 平方米 <input type="checkbox"/> About 約
(ii) Proposed No. of house(s) 擬議房屋幢數	1
(iii) Proposed building height/No. of storeys 建築物高度／層數	8.23 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
	3 Storeys(s) 層

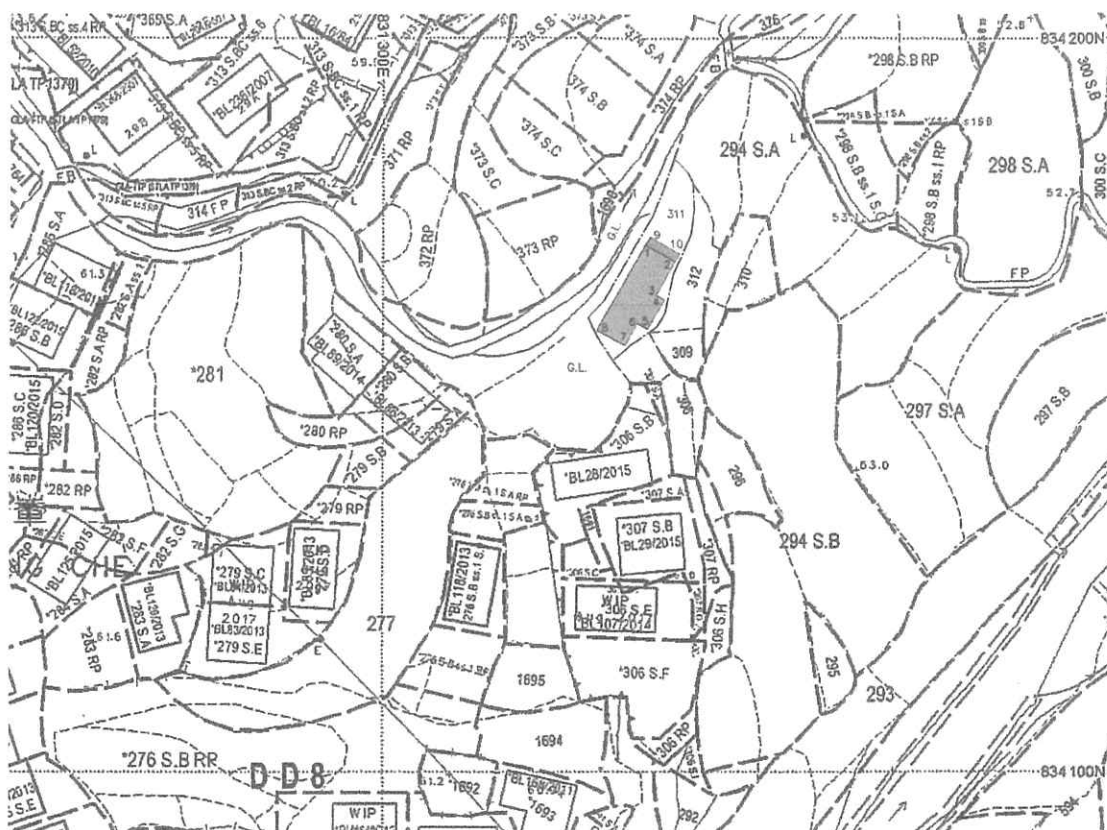
## Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1. Dimension Plan of the Proposed Small House (App.1)		
2. Location Plan (App.2) 3. Proposed Sewerage Connection Plan (App.5)		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

# Dimension Plan of the Proposed Small House on Lot 311 in D.D. 8 Tai Po



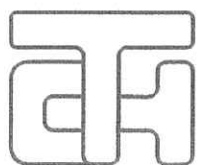
Coloured Pink Area 65.03 Square Metres ( About )

Scale 1 : 1000

■ Balcony

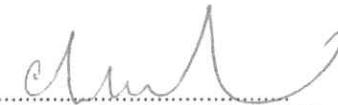
to be connected to the Public Sewage

Side	Bearing ° ' "	Distance in Metres	Pt	Co-ordinate Data (1980 Datum)		Remarks
				N	E	
1 - 2	119 15 53	4.534	1	834171.858	831335.381	
2 - 3	209 15 53	5.218	2	834169.642	831339.336	
3 - 4	119 15 53	1.255	3	834165.090	831336.785	
4 - 5	209 15 53	4.602	4	834164.476	831337.881	
5 - 6	299 15 53	1.506	5	834160.461	831335.631	
6 - 7	209 15 53	3.440	6	834161.198	831334.317	
7 - 8	299 15 53	4.283	7	834158.197	831332.635	
8 - 1	29 15 53	13.260	8	834160.291	831328.899	
Co-ordinates of the balcony						
9 - 10	119 15 53	4.534	9	834172.923	831335.977	
10 - 2	209 15 53	1.220	10	834170.706	831339.932	
2 - 1	299 15 53	4.534	2	834169.642	831339.336	
1 - 9	29 15 53	1.220	1	834171.858	831335.381	



**T.H. & ASSOCIATES LIMITED**  
( 陳德慶測量有限公司 )

Approved By

  
T.H. CHAN (ALS, MHKIS, MRICS, RPS(LS))  
Authorized Land Surveyor

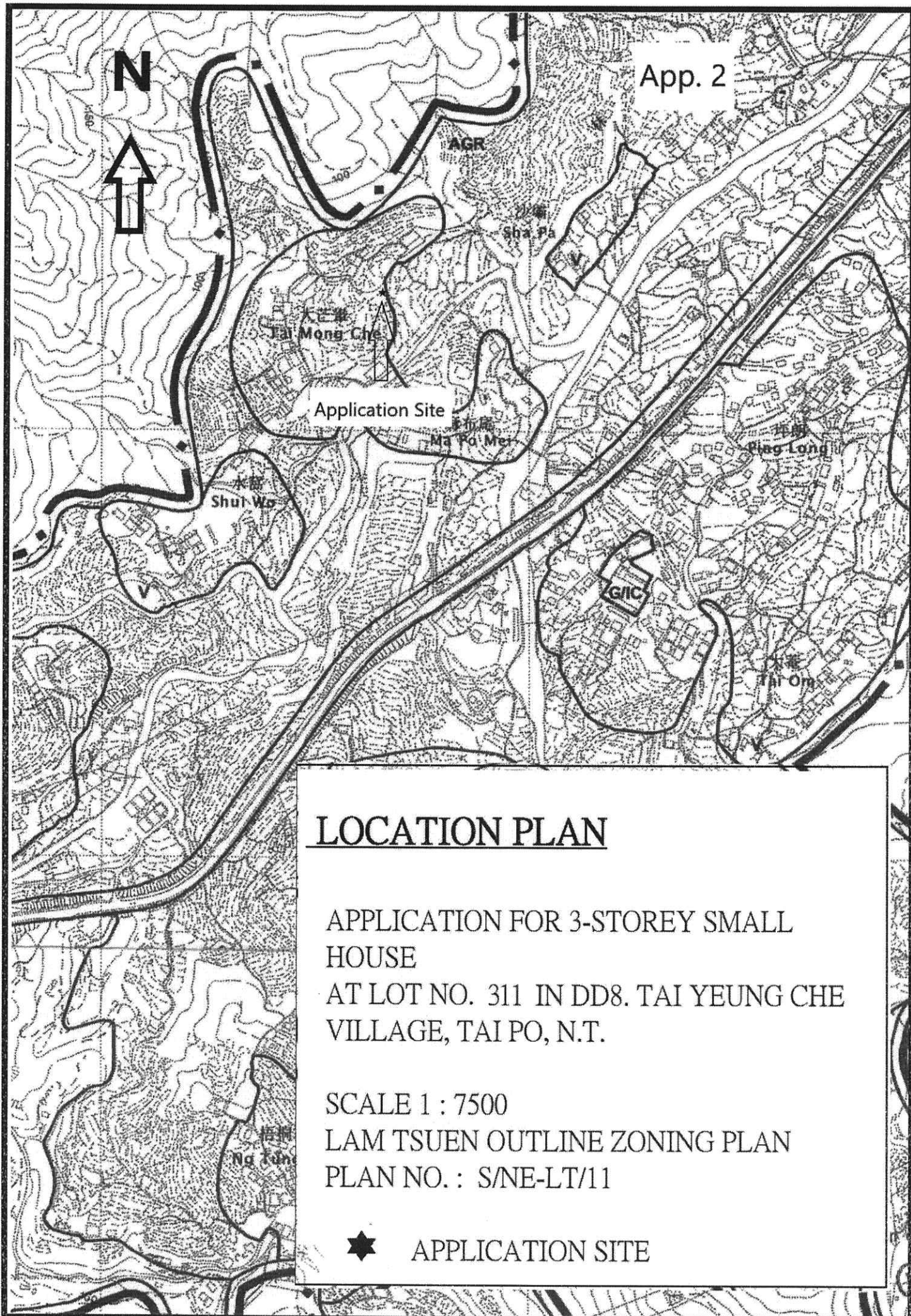
Tel: 26577726 Fax: 26588757 e-mail: thechan\_survey@yahoo.com

Survey Sheet No.: 7-NW-6D

Plan No.: TP/8/311-SH

Date: 14-06-2022





## LOCATION PLAN

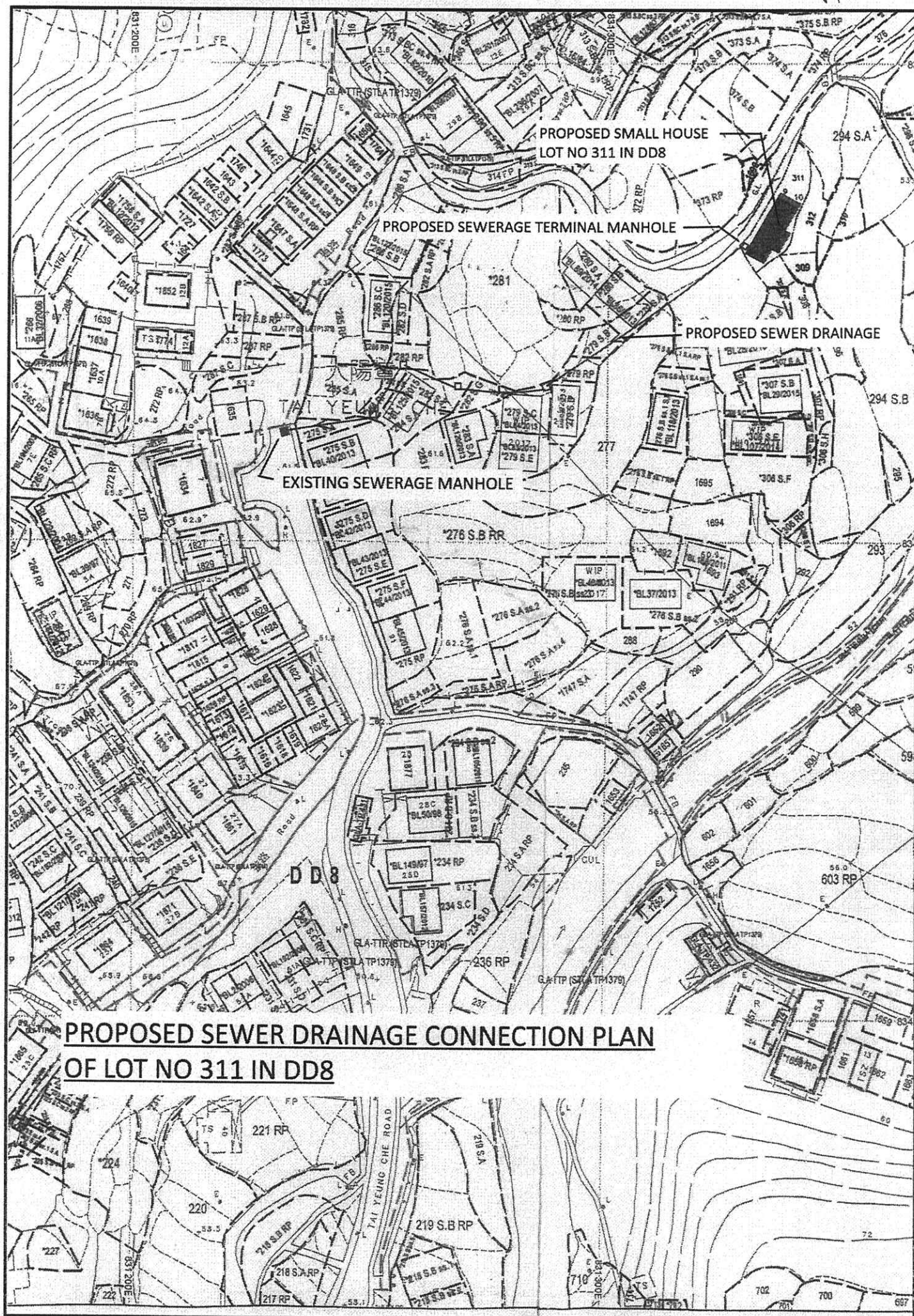
APPLICATION FOR 3-STOREY SMALL  
HOUSE  
AT LOT NO. 311 IN DD8. TAI YEUNG CHE  
VILLAGE, TAI PO, N.T.

SCALE 1 : 7500  
LAM TSUEN OUTLINE ZONING PLAN  
PLAN NO. : S/NE-LT/11



APPLICATION SITE

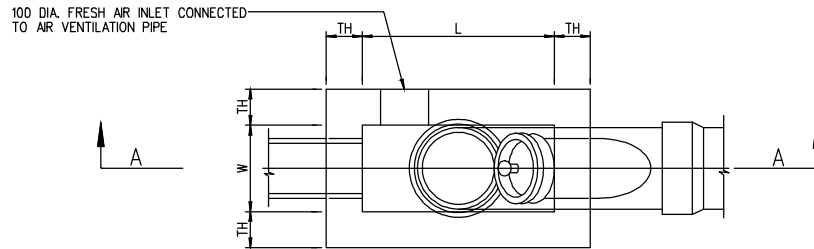






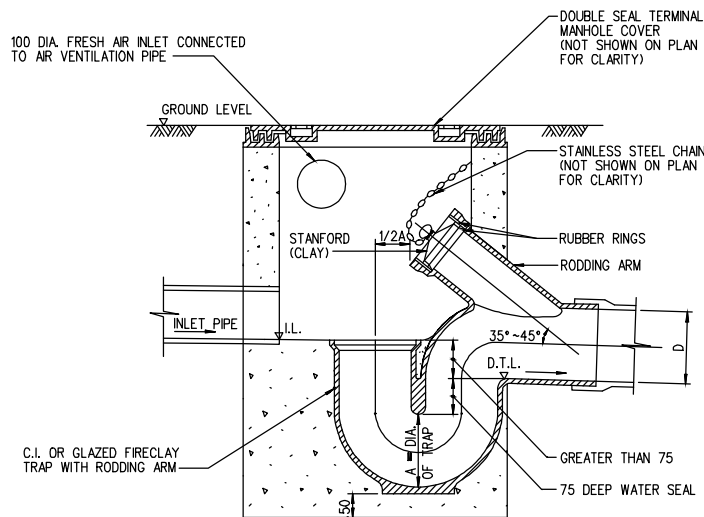






PLAN

DEPTH FROM GROUND LEVEL TO DISCONNECTING TRAP LEVEL (DEPTH TO DTL)	MAX. DIA. OF OUTLET PIPE (D)	THICKNESS OF WALL (TH)	INTERNAL LENGTH (L)	INTERNAL WIDTH (W)	DIA. OF RODDING ARM
390 < DEPTH TO DTL ≤ 520	150	75	400	180	100
520 < DEPTH TO DTL ≤ 1 000	150	125	450	450	100
1 500 MAX.	225	150	600	600	150



SECTION A-A

### TERMINAL MANHOLE TYPE T10\_1

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S STANDARD DRAWING NO. DS1094.

### NOTES

- ALL DIMENSIONS ARE IN MILLIMETRES.
- USED IN : CONNECTIONS IN AREAS WHERE THE WORKING SPACE IS NOT ADEQUATE FOR THE CONSTRUCTION OF TERMINAL MANHOLES TYPE T10.1.
- FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
- CONCRETE MIX : GRADE 30/20
- FOR DEPTH TO DTL GREATER THAN 520, BENCHING SHOULD BE PROVIDED.
- FOR DEPTH TO DTL GREATER THAN 1 000, DETAILS OF STEP IRONS & COVER SHOULD BE SAME AS TERMINAL MANHOLE TYPE T10.1.
- FOR DEPTH TO DTL GREATER THAN 1 500 BUT LESS THAN 2 500, TERMINAL MANHOLE TYPE T10.1 SHOULD BE USED.
- EACH TERMINAL MANHOLE SHOULD BE PROPERLY AIR VENTED IN ORDER TO AVOID BUILDING UP OF GASES INSIDE THE TERMINAL MANHOLE. THE FRESH AIR INLET OF THE MANHOLE CAN ONLY BE OMITTED IF OTHER ACCEPTABLE ARRANGEMENTS THAT SERVE THE PURPOSE OF AIR VENTILATION ARE PROVIDED IN THE UPSTREAM INTERNAL SEWERAGE.

### GENERAL NOTES FOR SEWERAGE DRAINAGE

- ALL DIMENSIONS ARE IN MILLIMETER AND LEVELS ARE IN METERS ABOVE P.D. EXCEPT OTHERWISE SPECIFIED.
- ALL PROPOSED SEWER PIPES SHALL BE POLYETHYLENE (PE100) PIPE.
- ALL IN-SITU CONCRETE TO BE GRADE 30D/20 WITH MINIMUM 28-DAY CUBE STRENGTH OF 30MPa. EXCEPT OTHERWISE SPECIFIED. CONCRETE GRADE FOR BLINDING SHALL BE 10D/20 AND CONCRETE GRADE FOR CONCRETE SURROUND SHALL BE 20D/20 EXCEPT OTHERWISE SPECIFIED. CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE 40mm.
- ALL STEEL REINFORCEMENT SHALL COMPLY WITH CS2:2012 WITH MIN  $f_y=460\text{MPa}$ , FOR TYPE 'Y' BARS AND  $f_y=250\text{MPa}$  FOR TYPE 'R' BARS.
- HEAVY DUTY MANHOLE COVERS AND FRAMES TO BE PROVIDED ON FOOTPATH.
- THE CONTRACTOR SHALL CLEAN THE EXISTING DRAINAGE PIPES WHICH ARE TO BE RETAINED.
- ALL COVER LEVELS ARE INDICATIVE ONLY AND MUST BE PRECISELY DETERMINED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF THE WORKS.
- EXACT LOCATIONS OF FOUL SEWER MANHOLES TO BE VERIFIED ON SITE.
- ALL PROPOSED DRAINAGE WORKS SHALL COMPLY WITH THE GOVERNMENT GENERAL SPECIFICATION FOR CIVIL ENGINEERING WORKS.

**Idaho Engineering Ltd.**

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Fax: 2124 0299

Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

TERMINAL MANHOLE TYPE T10\_1

Scale

N.T.S.

Date

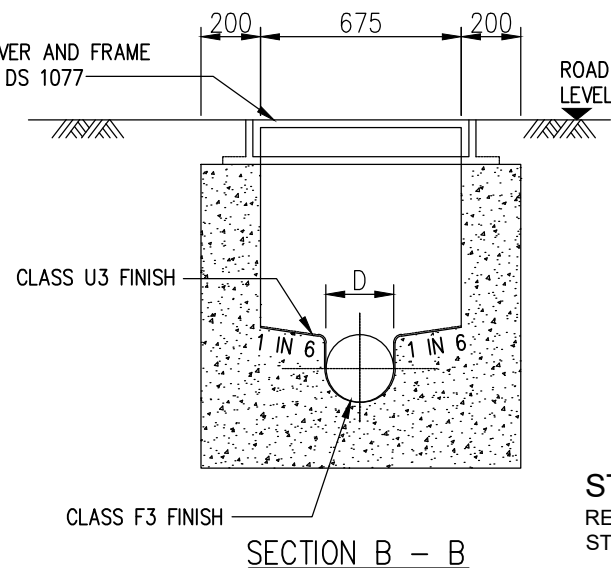
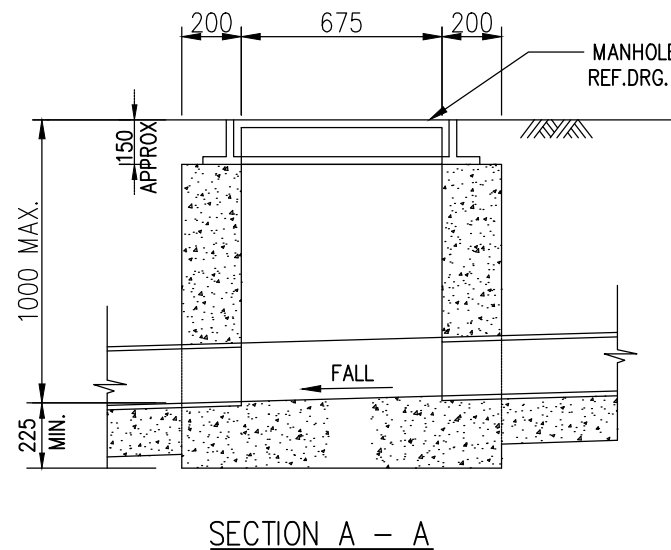
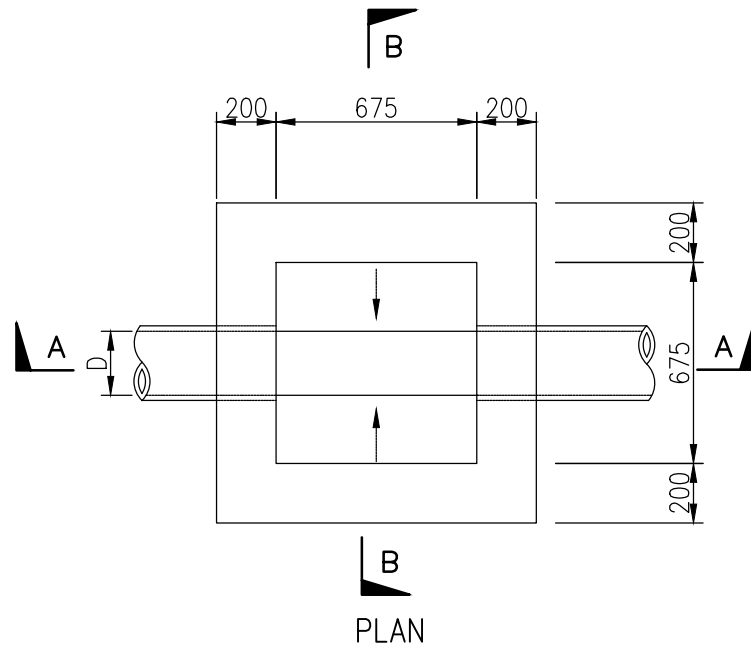
09.11.2022

Figure No.

311/DR-03

Revision

-



## NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. PIPE DIAMETER : 150 TO 300 mm
3. NORMAL RANGE OF DEPTH : MAX. 1000 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)
4. USED IN : STORMWATER DRAIN AND SEWER
5. JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN INDIVIDUAL CASE.
6. TOP TREATMENT : SEE DRG. NO. DS 1032
7. FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
8. CONCRETE : GRADE 30/20
9. COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY.

## STANDARD MANHOLE TYPE C

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S STANDARD DRAWING NO. DS1078.

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Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

STANDARD MANHOLE TYPE C1

Scale

N.T.S.

Date

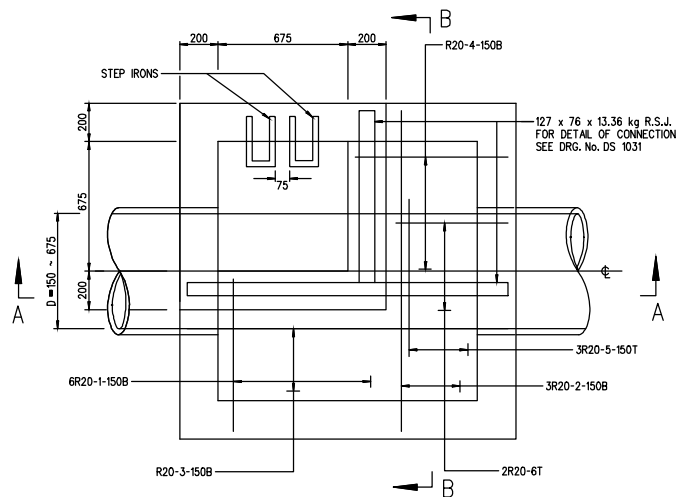
09.11.2022

Figure No.

311/DR-04

Revision

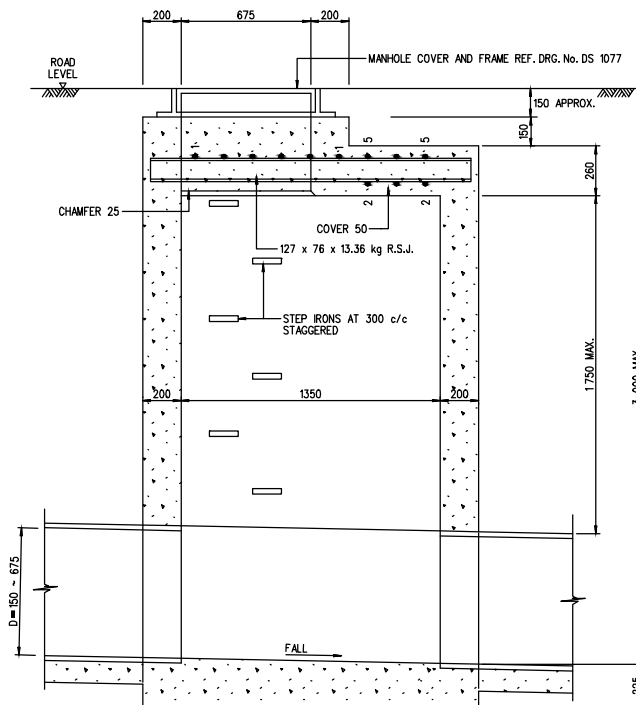
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PLAN

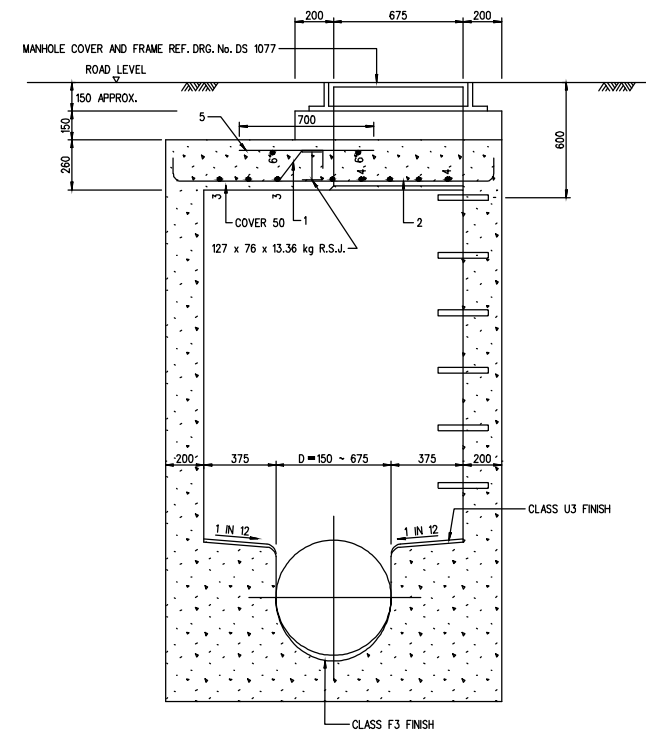
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. PIPE DIAMETER : 150 TO 675 mm
3. NORMAL RANGE OF DEPTH : 1500 TO 3 000 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)
4. USED IN : STORMWATER DRAIN AND SEWER
5. JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN EACH INDIVIDUAL CASE. CHANNELS IMMEDIATELY UNDER ACCESS TO MANHOLE SHOULD BE AVOIDED.
6. TOP TREATMENT : SEE DRG. No. DS 1032
7. FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
8. CONCRETE : GRADE 30/20
9. ALL BAR MARKS APPEARED HEREON ARE USED FOR REFERENCE IN THIS DRAWING ONLY.
10. MINIMUM COVER AT END OF BARS 40 mm
11. REINFORCEMENT SHALL COMPLY WITH BS 4449, BENDING OF REINFORCEMENT SHALL COMPLY WITH BS 4466.
12. COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY



SECTION A-A

BAR MARKS	SHAPE CODE
1 & 4	99
2, 3 & 6	55
5	20



SECTION B-B

## STANDARD MANHOLE TYPE E1

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S  
STANDARD DRAWING NO. DS1080B.

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Tel: 2122 0135  
Fax: 2124 0299

Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

STANDARD MANHOLE TYPE E1

Scale

N.T.S.

Date

09.11.2022

Figure No.

311/DR-05

Revision

-



致：大埔地政處  
規劃處  
渠務處

接駁渠務工程同意書

本人 **WONG KWOK HING PATRICK (黃國興)**，是大埔太陽輦村 Lot No. 281RP in D.D.8 地段土地業權人，知悉 Lot No. 311 in D.D.8 地段丁屋的污水渠管道將會經過並設置於本人上述的地段土地內，本人特此表明同意接納上述污水渠的設計及施工安排。

有關地段土地業主同意簽署

K. H. WONG

WONG KWOK HING PATRICK (黃國興)

日期：11/11/2022

Proposed House (New Territories Exempted House - Small House)  
Lot 311 in D.D. 8. Tai Yeung Che Village, Lam Tsuen, Tai Po (Application No. A/NE-LT/733)  
Further Information (1)  
**Reply to DSD's Comments**

The DSD's comments on the Drainage Proposal for the captioned application dated 28 November 2022 are addressed below :

- (a) *As informed by the AP, the existing ground original site level is 59.12mPD and the proposed site formation level is 60.6mPD. Landfilling of about 1.5m is required. Please seek approval from the relevant authorities including DLO/TP on the proposed site formation level.*

Reply The proposed site formation level will be submitted to DLO/TP firstly via a Geotechnical Assessment Report (GAR) in seeking the approval in accordance with PNAP APP-56 "Exemption Criteria for Site Formation Works associated with Exempted Building Works in the New Territories".

In case the criteria or conditions for exemption in respect of site formation works cannot be satisfied by DLO/TP or CEDD, a site formation plans may be submitted to the Buildings Department for approval.

- (b) *The proposed sewers from manhole 311/FTMN to manhole FMH3 will be laid and constructed above the existing ground. Such arrangement will block the existing overland flow to the nearest stream. The applicant shall demonstrate that the overland flow in the surrounding area will not be affected by the sewer laying works..*

Reply New surface channels and catchpits will be constructed alongside the proposed sewers from manhole 311/FTMN to manhole FMH3, as shown in Figure No. 311/DR-06. These surface U-channels can be used to intercept the surface runoff falling from the southern side of lands towards the existing stream.

The collected surface water will be connected into the existing stormwater drainage facilities for the adjacent Lot 277, which will be finally discharged to existing stream. Hence, the overland flow from the surrounding area will not be affected by the proposed sewer drainage works.

- (c) *The new sewer from manhole 311/FTMN to existing public sewer manhole FMH 1055774 will be located in private lots and government land. Prior consent and agreement from DLO/TP, DO/TP and/or relevant private lot owners should be sought before commencement of the proposed sewer laying works.*

Reply For works to be carried out in private lots and government land, permissions and consents from any relevant owners, including government departments/ maintenance parties/ private lot owners, will be obtained before carrying out the proposed drainage connection or laying of proposed drains and associated manholes.

- (d) *The proposed sewerage from manholes 311/FTMH to FMH6 shall be maintained by the private owners.*

Reply Noted. All relevant private owners shall undertake the maintenance responsibilities for the proposed sewerage from manholes 311/FTMH to FMH6.

(e) *It is noted that the DS1094 is not applicable to the 200mm dia. outlet pipe. Please revise.*

Reply The outlet drainage pipe from manholes 311/FTMH to FMH1 is now revised to 150mm diameter. =

(f) *The gradient of the proposed pipes is smaller than the 1:75 stated in the LEGEND. Please review.*

Reply The proposed Invert Level (I.L.) of all drainage pipes are now revised such that they will have a minimum gradient of 1:75.

2. In addition, please remind the applicant's A.P. of the following general comments/requirements on the drainage works.

(a) *The proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at his expense.*

Reply Noted.

(b) *The lot owner/developer is required to rectify/modify the drainage system if it is found to be inadequate or ineffective during operation. The lot owner/developer shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by failure of the system.*

Reply Noted.

(c) *For works to be undertaken outside the lot boundary, prior consent and agreement from DLO/TP, DO/TP and/or relevant private lot owners should be sought.*

Reply Noted. For works to be carried out beyond the lot boundary, permissions and consents from any relevant owners, including government departments/ maintenance parties/ private lot owners, will be obtained before carrying out the proposed drainage connection or laying of proposed drains and associated manholes.

(d) *The lot owner/developer should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing drainage facilities in the vicinity of the lot. In the event of any damage to the existing drainage facilities, the lot owner/developer would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom.*

Reply Noted.

(e) *A minimum soil cover of 450mm and 900mm should be provided for the connection pipe constructed under footpath and carriageway respectively.*

Reply Note (4) in Figure No. 311/DR-02(A) is now added for such minimum soil cover requirement.



**Reply to DSD's Comments**

- (f) *Consideration should be given to adopt polyethylene (PE100) pipe for buried sewage pipe beyond the sewage terminal manhole.*

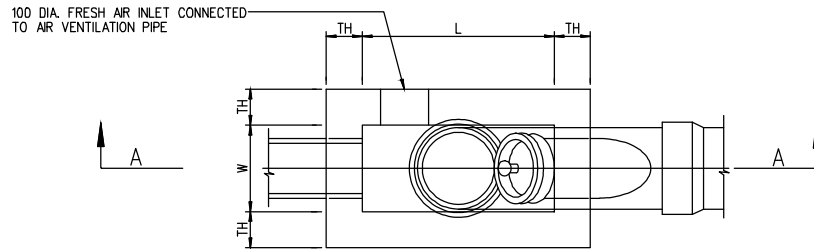
Reply Referring to Note (2) in Figure No. 311/DR-02(A), it is specified that all proposed drainage pipes shall be of Polyethylene (PE100) pipe to prevailing government standards.

- (g) *The lot owner/developer should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (i) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot.*

Reply Noted.

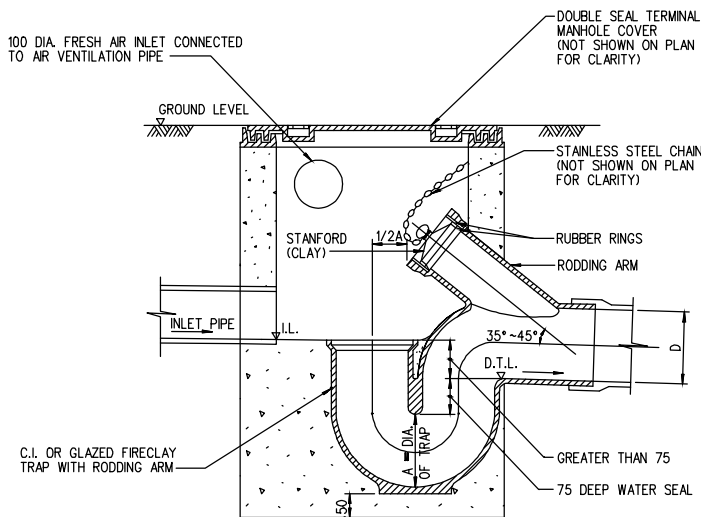
Project Title LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.	Figure Title SITE LOCATION PLAN	
<b>Idaho Engineering Ltd.</b>  17/F, Hong Kong Jewellery Building 176-180 Queen's Road, Central, H.K. <div style="float: right;">           Tel: 2122 0135            Fax: 2124 0299         </div>	Scale            1 : 1000	Figure No.    311/DR-01
	Date            05.12.2022	Revision        A





PLAN

DEPTH FROM GROUND LEVEL TO DISCONNECTING TRAP LEVEL (DEPTH TO DTL)	MAX. DIA. OF OUTLET PIPE (D)	THICKNESS OF WALL (TH)	INTERNAL LENGTH (L)	INTERNAL WIDTH (W)	DIA. OF RODDING ARM
390 < DEPTH TO DTL ≤ 520	150	75	400	180	100
520 < DEPTH TO DTL ≤ 1 000	150	125	450	450	100
1 500 MAX.	225	150	600	600	150



SECTION A-A

## TERMINAL MANHOLE TYPE T10\_1

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S STANDARD DRAWING NO. DS1094.

## NOTES

- ALL DIMENSIONS ARE IN MILLIMETRES.
- USED IN : CONNECTIONS IN AREAS WHERE THE WORKING SPACE IS NOT ADEQUATE FOR THE CONSTRUCTION OF TERMINAL MANHOLES TYPE T10.1.
- FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
- CONCRETE MIX : GRADE 30/20
- FOR DEPTH TO DTL GREATER THAN 520, BENCHING SHOULD BE PROVIDED.
- FOR DEPTH TO DTL GREATER THAN 1 000, DETAILS OF STEP IRONS & COVER SHOULD BE SAME AS TERMINAL MANHOLE TYPE T10.1.
- FOR DEPTH TO DTL GREATER THAN 1 500 BUT LESS THAN 2 500, TERMINAL MANHOLE TYPE T10.1 SHOULD BE USED.
- EACH TERMINAL MANHOLE SHOULD BE PROPERLY AIR VENTED IN ORDER TO AVOID BUILDING UP OF GASES INSIDE THE TERMINAL MANHOLE. THE FRESH AIR INLET OF THE MANHOLE CAN ONLY BE OMITTED IF OTHER ACCEPTABLE ARRANGEMENTS THAT SERVE THE PURPOSE OF AIR VENTILATION ARE PROVIDED IN THE UPSTREAM INTERNAL SEWERAGE.

## GENERAL NOTES FOR SEWERAGE DRAINAGE

- ALL DIMENSIONS ARE IN MILLIMETER AND LEVELS ARE IN METERS ABOVE P.D. EXCEPT OTHERWISE SPECIFIED.
- ALL PROPOSED SEWER PIPES SHALL BE POLYETHYLENE (PE100) PIPE.
- ALL IN-SITU CONCRETE TO BE GRADE 30D/20 WITH MINIMUM 28-DAY CUBE STRENGTH OF 30MPa. EXCEPT OTHERWISE SPECIFIED. CONCRETE GRADE FOR BLINDING SHALL BE 10D/20 AND CONCRETE GRADE FOR CONCRETE SURROUND SHALL BE 20D/20 EXCEPT OTHERWISE SPECIFIED. CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE 40mm.
- ALL STEEL REINFORCEMENT SHALL COMPLY WITH CS2:2012 WITH MIN  $f_y=460\text{MPa}$ , FOR TYPE 'Y' BARS AND  $f_y=250\text{MPa}$  FOR TYPE 'R' BARS.
- HEAVY DUTY MANHOLE COVERS AND FRAMES TO BE PROVIDED ON FOOTPATH.
- THE CONTRACTOR SHALL CLEAN THE EXISTING DRAINAGE PIPES WHICH ARE TO BE RETAINED.
- ALL COVER LEVELS ARE INDICATIVE ONLY AND MUST BE PRECISELY DETERMINED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF THE WORKS.
- EXACT LOCATIONS OF FOUL SEWER MANHOLES TO BE VERIFIED ON SITE.
- ALL PROPOSED DRAINAGE WORKS SHALL COMPLY WITH THE GOVERNMENT GENERAL SPECIFICATION FOR CIVIL ENGINEERING WORKS.

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Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

TERMINAL MANHOLE TYPE T10\_1

Scale

N.T.S.

Date

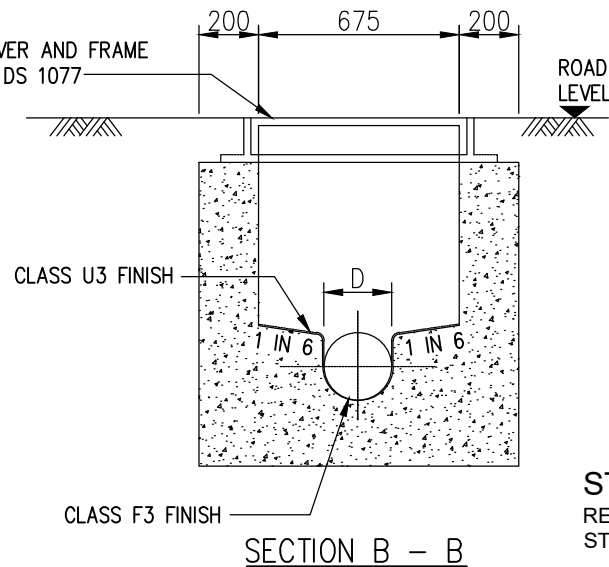
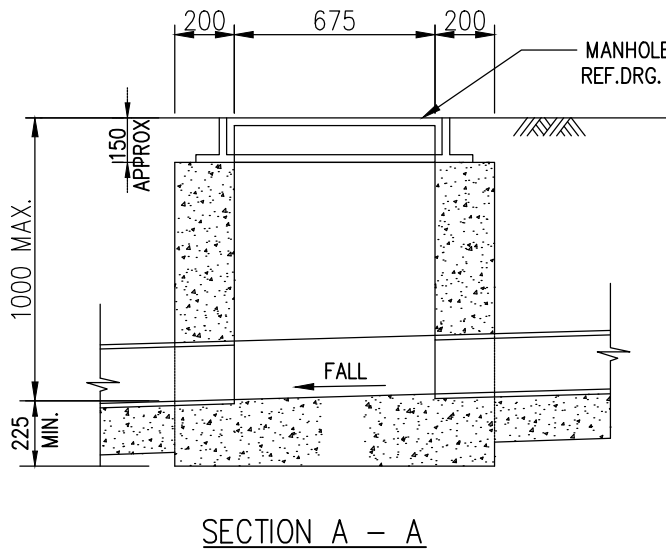
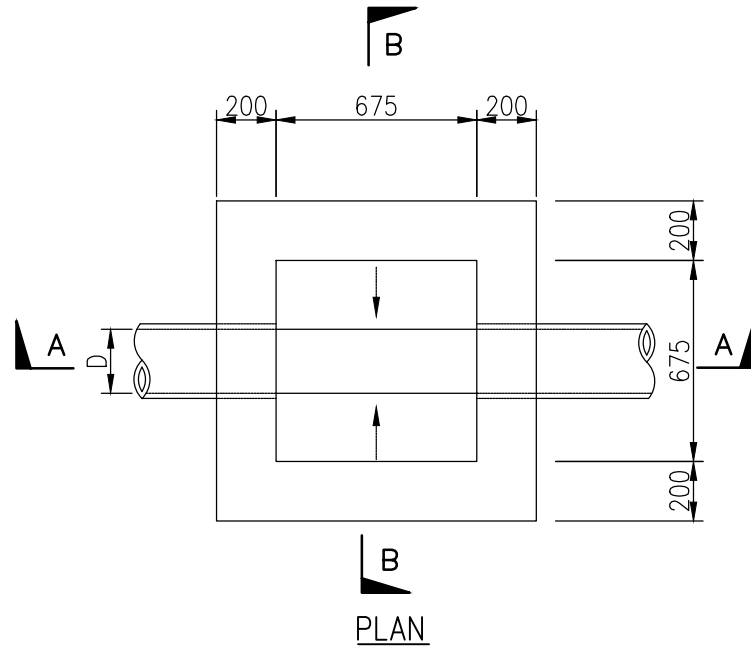
05.12.2022

Figure No.

311/DR-03

Revision

A



## NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. PIPE DIAMETER : 150 TO 300 mm
3. NORMAL RANGE OF DEPTH : MAX. 1000 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)
4. USED IN : STORMWATER DRAIN AND SEWER
5. JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN INDIVIDUAL CASE.
6. TOP TREATMENT : SEE DRG. NO. DS 1032
7. FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
8. CONCRETE : GRADE 30/20
9. COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY.

## STANDARD MANHOLE TYPE C

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S STANDARD DRAWING NO. DS1078.

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Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

STANDARD MANHOLE TYPE C1

Scale

N.T.S.

Date

05.12.2022

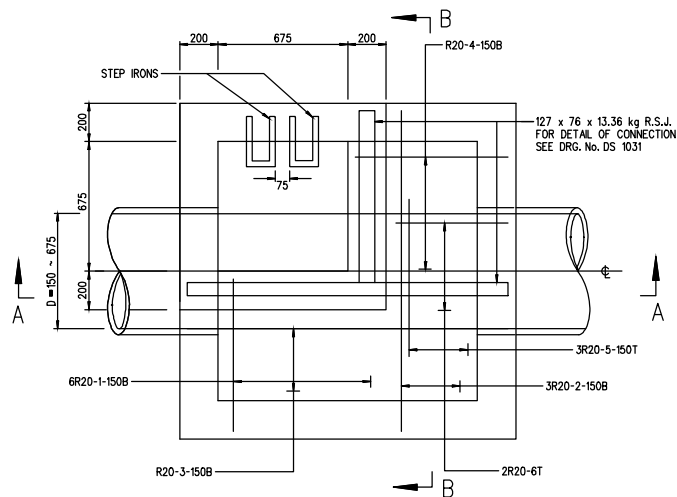
Figure No.

311/DR-04

Revision

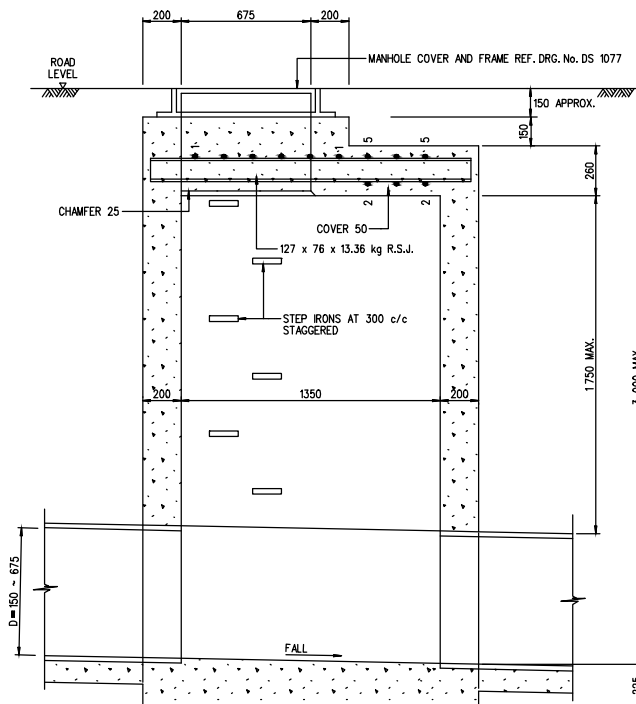
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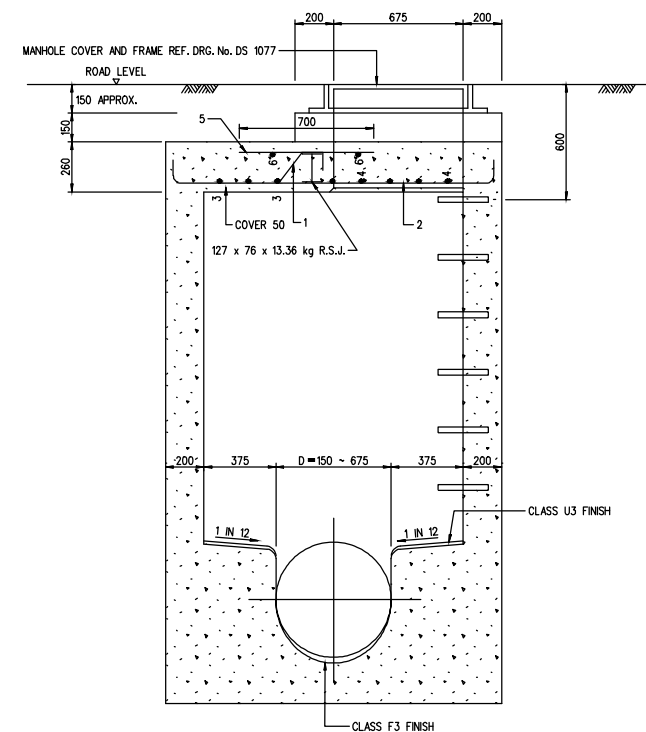
#### NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- PIPE DIAMETER : 150 TO 675 mm
- NORMAL RANGE OF DEPTH : 1500 TO 3 000 mm (MEASURED FROM ROAD LEVEL TO LOWEST INVERT)
- USED IN : STORMWATER DRAIN AND SEWER
- JUNCTION : POSITION OF JUNCTION TO BE DETERMINED IN EACH INDIVIDUAL CASE. CHANNELS IMMEDIATELY UNDER ACCESS TO MANHOLE SHOULD BE AVOIDED.
- TOP TREATMENT : SEE DRG. No. DS 1032
- FOUNDATION : FOUNDATION OF MANHOLE VARIES WITH SITE CONDITION. THEREFORE, IT SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
- CONCRETE : GRADE 30/20
- ALL BAR MARKS APPEARED HEREON ARE USED FOR REFERENCE IN THIS DRAWING ONLY.
- MINIMUM COVER AT END OF BARS 40 mm
- REINFORCEMENT SHALL COMPLY WITH BS 4449, BENDING OF REINFORCEMENT SHALL COMPLY WITH BS 4466.
- COVER AND FRAME NOT SHOWN ON PLAN FOR CLARITY



SECTION A-A

BAR MARKS	SHAPE CODE
1 & 4	99
2, 3 & 6	55
5	20



SECTION B-B

## STANDARD MANHOLE TYPE E1

REFERENCE IS MADE TO DRAINAGE SERVICES DEPARTMENT'S STANDARD DRAWING NO. DS1080B.

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Fax: 2124 0299

Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

STANDARD MANHOLE TYPE E1

Scale

N.T.S.

Date

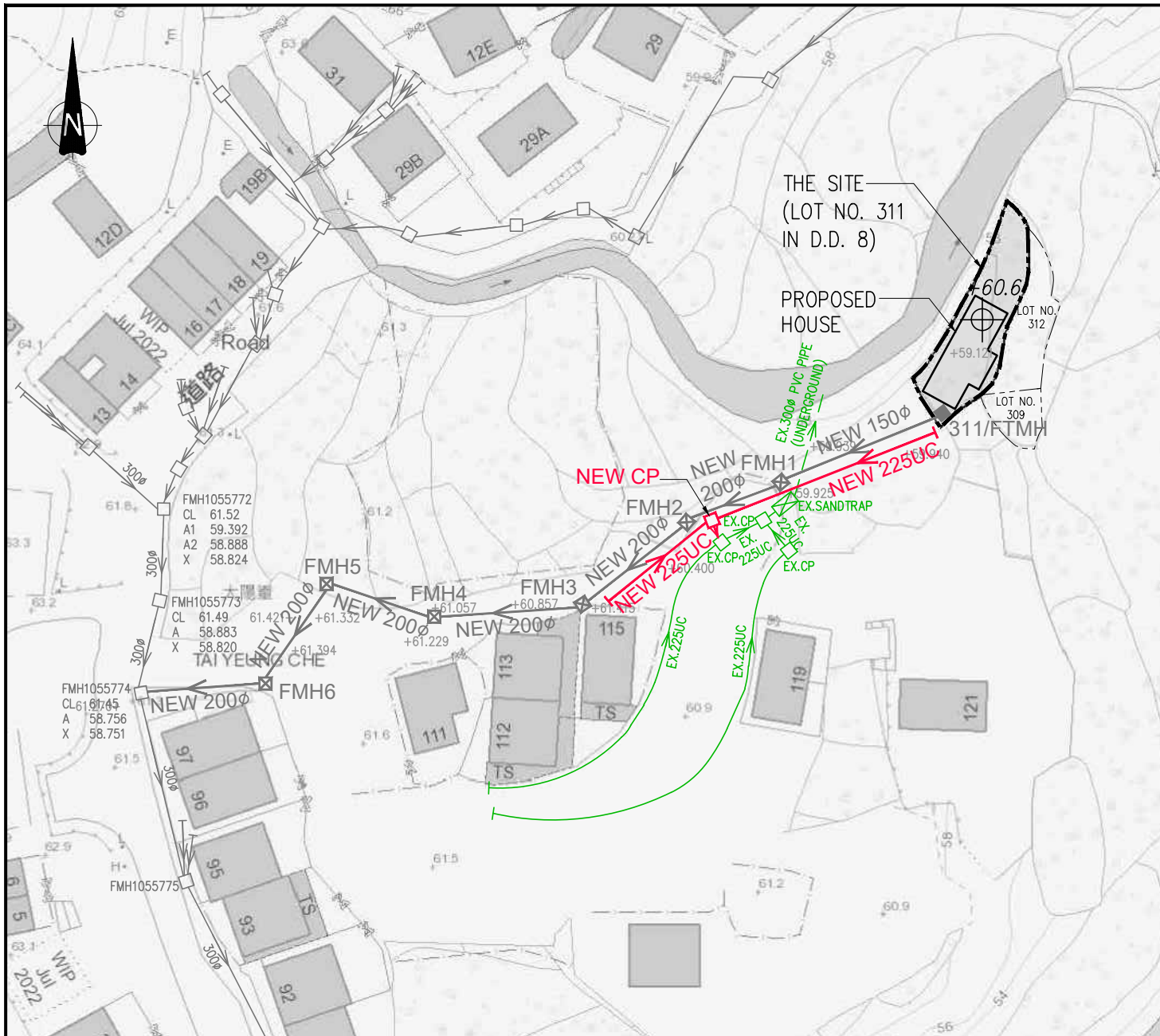
05.12.2022

Figure No.

311/DR-05

Revision

A



## LEGEND

	SITE BOUNDARY LINE
	EXISTING WALL
+58.087	EXISTING SPOT LEVEL
	PROPOSED GROUND FLOOR LEVEL
FMH1055774	EXISTING SEWERAGE PIPE AND MANHOLE
	PROPOSED SEWERAGE TERMINAL MANHOLE
	PROPOSED STANDARD MANHOLE
	PROPOSED 200 (INTERNAL DIAMETER) PE100 PIPE (MIN. 1:75)
	EXISTING 225 U-CHANNEL
	EXISTING CATCHPIT
	EXISTING SANDTRAP
	PROPOSED 225 U-CHANNEL (MIN. 1:100)
	PROPOSED CATCHPIT

EXISTING STORMWATER FACILITIES FOR LOT 277 (FOR INFORMATION ONLY)

**Idaho Engineering Ltd.**

17/F, Hong Kong Jewellery Building  
178-180 Queen's Road, Central, H.K.

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Fax: 2124 0299

Project Title

LOT NO. 311 IN D.D. 8, TAI YEUNG CHE VILLAGE, TAI PO, N.T.

Figure Title

PROPOSED STORMWATER DRAINAGE MEASURES  
(TO PREVENT BLOCKAGE TO OVERLAND FLOW FROM ADJACENT GROUNDS)

Scale

1 : 750

Date

05.12.2022

Figure No.

311/DR-06

Revision

-