

2023年 12月 4日

此文件在 _____ 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

- 4 DEC 2023

This document is received on _____
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.
其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
 - & Please attach documentary proof 請夾附證明文件
 - ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2303043 23/11 by hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-LYT/86
	Date Received 收到日期	-4 DEC 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Wing Fook Land Investment Company Limited (榮福置業投資有限公司) and
Siu Kai Wai Boni (蕭佳惠)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 4,064 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 3,539 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 263 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lung Yeuk Tau & Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture ("AGR")
(f) Current use(s) 現時用途	Public Vehicle Park for Private Cars and Medium Goods Vehicles (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。

☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表 Proposed uncovered land area 擬議露天土地面積 2,287 sq.m <input checked="" type="checkbox"/> About 約 Proposed covered land area 擬議有上蓋土地面積 1,777 sq.m <input checked="" type="checkbox"/> About 約 Proposed number of buildings/structures 擬議建築物/構築物數目 3 Proposed domestic floor area 擬議住用樓面面積 NA sq.m <input type="checkbox"/> About 約 Proposed non-domestic floor area 擬議非住用樓面面積 3,539 sq.m <input checked="" type="checkbox"/> About 約 Proposed gross floor area 擬議總樓面面積 3,539 sq.m <input checked="" type="checkbox"/> About 約 Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) One 2-storey warehouse for storage of construction materials (height: about 12m) with one 1-storey washroom (height: about 3m) One 2-storey warehouse for storage of construction materials and ancillary site office (height: about 12m) with one 1-storey washroom (height: about 3m) 1 1-storey meter room (height: about 3m) Proposed number of car parking spaces by types 不同種類停車位的擬議數目 Private Car Parking Spaces 私家車車位 3 (2.5m x 5m) Motorcycle Parking Spaces 電單車車位 NA Light Goods Vehicle Parking Spaces 輕型貨車泊車位 NA Medium Goods Vehicle Parking Spaces 中型貨車泊車位 NA Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 NA Others (Please Specify) 其他 (請列明) NA Proposed number of loading/unloading spaces 上落客貨車位的擬議數目 Taxi Spaces 的士車位 NA Coach Spaces 旅遊巴車位 NA Light Goods Vehicle Spaces 輕型貨車車位 NA Medium Goods Vehicle Spaces 中型貨車車位 NA Heavy Goods Vehicle Spaces 重型貨車車位 NA Others (Please Specify) 其他 (請列明) 2 (3.5m x 16m) for Container Vehicles/Medium Goods Vehicles	

Proposed operating hours 擬議營運時間 Mondays to Saturdays (8am - 7pm) No operation on Sundays and Public Holidays																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Sha Tau Kok Road - Ma Mei Ha <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) <input type="checkbox"/>																															
	No 否																																
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁註明可盡量減少可能出現不良影響的措施, 否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約																															
	No 否	<input checked="" type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
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Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>NA</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

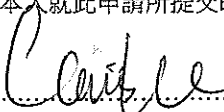
Please refer to the planning statement attached.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Cannis Lee

Associate Director (Planning)

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

- ☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /
☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /
☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會
☐ RPP 註冊專業規劃師
Others 其他 MPA

on behalf of
代表 Lawson David & Sung Surveyors Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

23/11/2023 (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
Site area 地盤面積	4,064 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 263 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Lung Yeuk Tau & Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19
Zoning 地帶	Agriculture
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	3,539 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.87 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA m 米 <input type="checkbox"/> (Not more than 不多於)	
		NA Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	3 - 12 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 - 2 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	43.7 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		3
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (2.5m x 5m) NA NA NA NA NA
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicles / Medium Goods Vehicles _____ _____		NA NA NA NA NA 2 (3.5m x 16m)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Lot Index Plan, Plan showing Vehicular Access to the Application Site		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swept Path Analysis, Drainage Proposal and Fire Service Installations Proposal		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED
Property Consultants • Planning • Valuers • Auctioneers
Estate Agency Licence No. C-006328

Ref: LDS/PLAN/6915

Section 16 Planning Application

Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.

Planning Statement

Applicants:

**Wing Fook Land Investment Company Limited (榮福置業投資有限公司) and
Siu Kai Wai Boni (蕭佳惠)**

Prepared by

Lawson David and Sung Surveyors Limited

November 2023

Executive Summary

This planning statement is submitted to the Town Planning Board (the “Board”) in support of a planning application for Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T. (“the Application Site”).

The Application Site, covering an area of about 4,064 sq.m. (including Government Land of about 263 sq.m.), falls within an area zoned “Agriculture” (“AGR”) on the Approved Lung Yeuk Tau & Kwan Tei South Outline Zoning Plan (OZP) No. S/NE-LYT/19 gazetted on 16.12.2022. According to the Notes of the OZP, ‘Warehouse’ and ‘Open Storage’ are neither Column 1 nor Column 2 use of the “AGR” zone, and temporary use or development of any land or building not exceeding a period of three years requires planning permission from the Board.

The Application Site, or part of it, is the subject of 3 previous approved applications. The last application (No. A/NE-LYT/741) was approved for temporary public vehicle park for private cars and medium goods vehicles and warehouse for storage of construction materials on 10.9.2021 for a period of three years. The Application Site is currently being used as a public vehicle park. The Applicants intend to convert the Application Site into a warehouse and open storage of construction materials for their business operation.

The proposed development will erect a 2-storey (height: about 12m) warehouse for storage of construction materials with a floor area of about 3,144 sq.m at the southern portion of the Application Site. Another 2-storey (height: about 12m) warehouse with an ancillary site office of about 380 sq.m. will be proposed at the northern portion. Each warehouse will be equipped with a 1-storey washroom (height: about 3m) of about 15 sq.m. A 1-storey (height: about 3m) meter room of about 15 sq.m. will be erected next to the proposed warehouse. The open area of the Application Site will then be used for open storage of construction materials and vehicle manoeuvring.

The ingress/egress point will be at the western boundary connecting Sha Tau Kok Road – Ma Mei Ha with 8m in width. There will be 2 loading/unloading spaces (3.5m x 16m) for container vehicles / medium goods vehicles and 3 private car parking spaces for staff/visitors (2.5m x 5m). The operation hours of the Application Site are between 8am to 7pm from Mondays to Saturdays. There will be no operation on Sundays and public holidays. To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

The justifications of this application are:

1. The proposed development caters for the demand of warehouse and open storage facilities;
2. The Application Site is unsuitable for agricultural rehabilitation;
3. The proposed development allows optimization of valuable land resources;
4. The Application Site has previous planning approval for similar warehouse use;
5. The proposed development is in compliance with TPB PG-No. 13G;
6. The proposed development is considered not incompatible with surrounding land uses; and
7. The proposed development will not generate adverse traffic, drainage and environmental impacts on the surrounding areas.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.

行政摘要

此規劃報告書向城市規劃委員會(“城規會”)呈交，旨在支持在新界粉嶺沙頭角公路吳屋村丈量約份第 76 約地段第 1445 號 B 分段第二小分段、第 1445 號 B 分段餘段、第 1489 號、第 1490 號、第 1492 號、第 1494 號及毗連政府土地(“申請地點”)，作為期三年的臨時貨倉和露天存放建築材料(“擬議發展”)的規劃申請。

申請地點的面積約 4,064 平方米(包括政府土地約 263 平方米)，座落於在 2022 年 12 月 16 日刊憲的龍躍頭及軍地南分區計劃大綱核准圖(圖則編號：S/NE-LYT/19)上的「農業」地帶。根據該大綱圖的註釋，「貨倉」和「露天貯物」皆不屬「農業」地帶內的第一欄或第二欄用途，然而不超過三年土地或建築物的臨時用途或發展，須先向城規會提出申請。

申請地點或其部分涉及 3 宗規劃許可。最後一次申請(申請編號：A/NE-LYT/741)於 2021 年 9 月 10 日獲批用作臨時公眾停車場(私家車及中型貨車)和貨倉存放建築材料，為期三年。申請地點現時用作公眾停車場。申請人計劃將申請地點用途改為臨時貨倉和露天存放建築材料。

擬議發展將於申請地點南面興建一個樓面面積約 3,144 平方米以及其高度不超過 12 米的兩層高貨倉，用作存放建築材料。申請地點的北面亦會興建一個樓面面積約 380 平方米以及其高度不超過 12 米的兩層高貨倉及附設辦公室。該兩個貨倉內亦會各自設有一座面積約 15 平方米的洗手間(約 3 米高)。此外，於擬議貨倉旁會提供一座電錶房(面積約 15 平方米，約 3 米高)。申請地點的露天位置將會用作露天存放建築材料及供車輛移動。

申請人會沿用現時申請地點西面的出入口(約 8 米闊)，連接沙頭角公路馬尾下段。申請地點亦設有 2 個貨櫃車/中型貨車上落貨位(3.5 米 x 16 米)和 3 個供職員/訪客使用的私家車停車位(2.5 米 x 5 米)。擬議發展的營運時間為星期一至星期六上午 8 時至下午 7 時，星期日及公眾假期不會運作。為減少擬議發展對附近地方的潛在噪音及環境影響，申請地點內不會進行任何工場活動。

本規劃申請的理據為：

1. 擬議發展將滿足區內對貨倉及露天貯物設施的需求；
2. 申請地點不適合用作農業復耕；
3. 擬議發展可有效利用寶貴的土地資源；
4. 申請地點之前獲同類貨倉用途的規劃許可；
5. 擬議發展符合城規會指引編號 13G；
6. 擬議發展與周邊土地用途兼容；及
7. 擬議發展不會對附近地方構成不良的交通、排水及環境影響。

基於本規劃報告書所述的理據，敬希 各城規會委員及有關政府部門能批准此項申請，作為期三年的臨時用途。

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1. Introduction

1.1 Purpose

Pursuant to Section 16 of the Town Planning Ordinance, this Planning Statement Report is submitted to the Town Planning Board (“the Board”) in support of a planning application for Proposed Temporary Warehouse and Open Storage of Construction Materials (the “proposed development”) for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T. (hereafter referred to as “the Application Site”). **Figure 1** shows the location of the Application Site and the Lot Index Plan indicating the concerned lots is shown per **Figure 2**.

The Application Site, covering an area of about 4,064 sq.m. (including Government land of about 263 sq.m.), falls within an area zoned “Agriculture” (“AGR”) on the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan (OZP) No. S/NE-LYT/19 gazetted on 16.12.2022. According to the Notes of the OZP, ‘Warehouse’ and ‘Open Storage’ are neither a Column 1 nor Column 2 use of the “AGR” zone, and temporary use or development of any land or building not exceeding a period of three years requires planning permission from the Board.

The Application Site, or part of it, is the subject of 3 previous approved applications. The last application (No. A/NE-LYT/741) was approved for temporary public vehicle park for private cars and medium goods vehicles and warehouse for storage of construction materials on 10.9.2021 for a period of three years. The Application Site is currently being used as a public vehicle park. The Applicants intend to convert the Application Site as warehouse and open storage of construction materials for their business operation.

1.2 Organization of the Planning Statement

Following this introductory chapter, this planning statement contains five further chapters:

- Chapter 2 presents the background details of the Application Site in terms of current land-use characteristics and neighbouring developments;
- Chapter 3 discusses the planning context of the Application Site;
- Chapter 4 outlines the development proposal;
- Chapter 5 gives account to the justifications of the proposed development;
- Chapter 6 is the conclusion of the planning statement.

2. Site Context

2.1 The Application Site and Its Existing Condition

The Application Site, with an area of about 4,064 sq.m. (including Government land of about 263 sq.m.), is located next to Sha Tau Kok Road – Ma Mei Ha in Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T. The Application Site is generally flat, hard-paved and currently used as a public vehicle park for private cars and medium goods vehicles. The Application Site is fenced off by corrugated metal sheets of 2.5m high (see **Site Photos**).

2.2 Surrounding Land Use

The surrounding area of the Application Site is rural in nature and consists of a mixture of vehicle parks, temporary structures/village houses, open storage / warehouse uses and fallow agricultural land. A vehicle park can be found at the immediate north while a series of temporary structures / village houses and an adventure training centre are situated at the southern direction. The village settlements of Hung Leng can be found at the north across Sha Tau Kok Road – Ma Mei Ha. Two warehouse uses with planning approvals (Application Nos. A/NE-TKL/655 and A/NE-TKL/676) are located at the further northeast and west across Sha Tau Kok Road – Ma Mei Ha respectively. Several open storage uses are also situated at the further southwest along Sha Tau Kok Road – Ma Mei Ha. The Application Site is fronting Tan Shan River and its tributary at the east with the village settlements of Ng Uk Tsuen across the river at the further east.

2.3 Accessibility

The Application Site is accessible via Sha Tau Kok Road – Ma Mei Ha. The existing entrance to the Application Site is about 8m wide which is located to the west. A plan showing the vehicular access to the Application Site is provided at **Figure 3**.

2.4 Land Status

According to the records of Land Registry, the Subject Lots are held under Block Government Lease and demised for agricultural use with a lease term for 75 years, commenced from 1.7.1898, and are renewable for a further term of 24 years.

The Applicants are the land owners of the Subject Lots. The Applicants will apply for a Short Term Waiver (STW) for the proposed structures and a Short Term Tenancy (STT) for the use of government land to the Lands Department upon obtaining planning approval for this application.

3. Planning Context

3.1 Outline Zoning Plan

The Application Site falls within an area zoned “Agriculture” (“AGR”) on the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan (OZP) No. S/NE-LYT/19 gazetted on 22.12.2022 (see **Figure 1**). The planning intention of “AGR” zone is “primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.”

Despite the fact that the proposed development (‘warehouse’ and ‘open storage’) is neither one of the Column 1 nor Column 2 uses under the Schedule of Uses for the subject “AGR” zone, the Board

may grant planning permission (with or without conditions) for a maximum period of three years under section 16 of the Town Planning Ordinance.

3.2 Previous Applications

The Application Site, or part of it, is subject to 3 previously approved planning applications and the details are as follows:

Application No.	Applied Use	Location	TPB's Decision (Date)
A/NE-LYT/586	Proposed Temporary Public Vehicle Park (Private Cars, Light Goods Vehicles and Medium Goods Vehicles) for a Period of 3 Years	Lots 1445 S.B RP (Part), 1489, 1490 (Part), 1492 (Part) and 1494 in D.D.76 and adjoining Government land	Approved with Conditions (13.5.2016)
A/NE-LYT/691			Approved with Conditions (3.5.2019)
A/NE-LYT/741	Proposed Temporary Public Vehicle Park for Private Cars and Medium Goods Vehicles, and Warehouse for Storage of Construction Materials for a Period of 3 Years		Approved with Conditions (10.9.2021) Revoked (10.6.2023)

3.3 Town Planning Board Guidelines No. 13G (TPB PG-No. 13G)

According to TPB PG-No.13G, the Application Site falls within a “Category 2” area. The guidelines stipulate that applications for open storage and port back-up uses in “Category 2” could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments, where appropriate, should be submitted to demonstrate that the proposed uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas.

4. Development Proposal

4.1 Site Configuration and Layout

It is proposed to use the Application Site as temporary warehouse and open storage of construction materials for a period of 3 years. The Application Site has an area of about 4,064 sq.m. The existing ingress/egress point at the western boundary connecting Sha Tak Kok Road – Ma Mei Ha with 8m in width will be maintained by the Applicants.

The Applicants will erect two 2-storey warehouses for storage of construction materials (including steel). A 2-storey (height: about 12m) warehouse with a floor area of about 3,144 sq.m. will be proposed at the southern portion of the Application Site. Another warehouse with an ancillary site office will be proposed at the northern portion of the Application Site with a floor area of about 380 sq.m. and height of about 12m. Both proposed warehouses will be equipped with a 1-storey (height: about 3m) washroom of about 15 sq.m. A 1-storey (height: about 3m) meter room will be erected next to the proposed warehouse. The open area of the Application Site will then be used for open storage of construction materials and vehicle manoeuvring (see Layout Plan at **Figure 4**).

The loading/unloading activities will be conducted within the warehouse at the southern portion of the site. The Application Site is fenced off by the existing 2.5m high corrugated metal sheets on all sides. To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

4.2 Vehicular Access and Parking Arrangement

The existing run-in/out as constructed under previous approval will be maintained by the Applicants for the current application. The width of the existing ingress/egress point of the Application Site is about 8m wide and located at the western side of the Application Site connecting to the Sha Tak Kok Road – Ma Mei Ha. 2 loading/unloading spaces (3.5m x 16m) for container vehicle / medium goods vehicles and 3 private car parking spaces (2.5m x 5m) for staff/visitors are proposed. A swept path analysis (see **Appendix A**) is prepared to demonstrate that satisfactory manoeuvring of vehicles entering to and exiting from the Application Site and manoeuvring within the Application Site. There will be no difficulties in internal traffic circulation sense as a holding area and sufficient space for manoeuvring of vehicles is reserved at the western portion such that no waiting or queuing of goods vehicles along Sha Tau Kok Road – Ma Mei Ha will arise under any circumstances. In addition, according to the Applicants, trips for transporting the storage materials to/from the Application Site made by the goods vehicles will not be more than 3 round trips daily at non-peak hours (between 10am – 4pm). There will be no more than 10 working staff on-site. Considering the business nature and operational needs, staff can take public transport to the Application Site and the traffic generated by private vehicles (staff) can be minimized. The estimated traffic arising from the proposed development is as follows:

Time	No. of Trips (Container/Medium Goods Vehicles)		No. of Trips (Private Cars)	
	In	Out	In	Out
08:00-09:00 (peak hour)	0	0	2	0
09:00-10:00 (peak hour)	0	0	1	0
10:00-11:00	1	0	0	0
11:00-12:00	1	1	0	0
12:00-13:00	0	1	0	0
13:00-14:00	0	0	0	0
15:00-16:00	1	0	0	0
16:00-17:00	0	1	0	0
17:00-19:00 (peak hour)	0	0	0	3

4.3 Site Operations

The operation hours of the Application Site are between 8am to 7pm from Mondays to Saturdays. There will be no operation on Sundays and public holidays. The main use of the Application Site will be for storage purpose of construction materials. To minimize any potential noise and environmental impacts to the surrounding area, no workshop activities will be conducted within the Application Site.

4.4 Landscape and Tree Preservation

The Application Site is set back from Sha Tau Kok Road – Ma Mei Ha and has been provided with 51 peripheral screen plantings from the previous application (No. A/NE-LYT/741) along the site boundary. The tree species is *Ficus Microcarpa*, which grow to a mature height of 4 to 6.5 metres. The Applicants would preserve the existing trees within the current Application Site as far as practical, which would act as the natural hedges bounding the edge of the development and thus soften the building footprint of the proposed development. As a result, the proposed development would fit well into the setting in the neighborhood without causing any significant visual impact.

4.5 Drainage Proposal

Existing surface U-channels from the last application can be found surrounding the site boundary of the Application Site. For the current application, U-channel with heavy duty steel grating will be provided at the existing ingress/egress point of the Application Site. To prevent the stormwater affecting the adjacent areas, peripheral u-channels and catchpits are provided to cater for the catchments from the Application Site and the adjacent site. A 300mm PVC pipe will be connected to the existing catchpit at the northeastern boundary, which will then divert surface runoff from the Application Site to the existing Tan Shan River. A drainage proposal is submitted (see **Appendix B**) to show the proposed drainage design.

4.6 Fire Service Installations Proposal

To minimize the fire hazard, the Applicants will provide fire service installations to the satisfaction of the Fire Services Department. A fire service installations proposal (see **Appendix C**) is submitted together with this application.

4.7 Environmental Consideration

The nature of the proposed use will merely involve the storage of construction materials. To minimize the possible environmental nuisance, the Applicants will follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and undertake to provide the following mitigation measures:

- (a) No workshop activities will be conducted at the Application Site;
- (b) The existing 2.5m high corrugated metal fencing will be maintained along the site boundary;
- (c) The operating hours will be restricted from 8 am to 7 pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays;
- (d) No more than 3 round trips by goods vehicles daily to minimize the traffic and noise impact;
- (e) On-site washrooms will be provided. Septic tank will be installed to treat the sewage generated from the Application Site as no public sewerage connection is available. The Applicants will follow ProPECC PN 5/93 to prevent any water pollution.

5. Planning Justifications

5.1 Cater for the Demand of Warehouse and Open Storage Facilities

With the introduction of Northern Metropolis Development Strategy in the recent policy address, it could be assumed that many private land, especially existing warehouse and open storage sites, in the Northern New Territories and North Eastern New Territories will be resumed by the Government

for development of NDAs/public works in the near future. In view of the much more stringent control on land usage coupled with shrinking supply of land for warehouse and open storage uses and increasing difficulty in acquiring planning permission, the demand for warehouse and open storage sites has already become a key economic and logistics issue concerning the whole Territory. Granting approval to this application will maintain the supply of land for such use and help satisfy the needs for warehouse and open storage facilities. The proposed development would therefore provide a temporary solution to meet the pressing market demand of warehouse and open storage facilities in the North East New Territories.

5.2 The Application Site is Unsuitable for Agricultural Rehabilitation

Notwithstanding the Application Site falls within an area zoned “AGR”, the Application Site is unsuitable for agricultural rehabilitation. The majority of the Application Site is already hard paved and has been used as vehicle park/warehouse in the past. Having considered the fact that vehicle parks / warehouses / open storage uses are found along Sha Tau Kok Road – Ma Mei Ha in vicinity of the Application Site, the planning intention of “AGR” zone is hardly materialized at the current capacity until the surrounding characteristics are entirely required to be reverted back to agricultural uses. In contrast, the proposed development in the interim at the Application Site is deemed not incompatible and is able to flexibly meet the demand and operational needs of the Applicants.

5.3 Optimization of Valuable Land Resources

The Application Site is currently a public vehicle park for private cars and medium goods vehicles. As the Applicants intend to use the Application Site for the proposed warehouse and open storage of construction materials, the proposed development can help alleviate the pressing demand of warehouse and open storage facilities in the area, which would maximize land utilization on the Application Site. Additionally, the proposed development would take full advantage of the location and the exceptional physical state of the Application Site i.e. direct access to Sha Tau Kok Road – Ma Mei Ha for transportation of construction materials and mostly flat and paved land. The proposed development is considered fully commensurate with its local geographical setting and ideal to attain utmost land use maximization.

5.4 Previous Planning Approval for Similar Warehouse Use

The last approved application (No. A/NE-LYT/741) at the Application Site for proposed temporary public vehicle park for private cars and medium goods vehicles and two warehouses for storage of construction materials was approved by the Board for a period 3 years on 10.9.2021. The applied warehouse use of the current application is similar to the previous approved application. To support the current application, the Applicants have also submitted relevant proposals. In this regard, temporary use of the proposed development could be considered acceptable within the “AGR” zone.

5.5 Compliance with TPB PG-No.13G

The Application Site currently falls within a “Category 2” area under TPB PG-No.13G. Adverse traffic, drainage and environmental impacts on the surrounding areas are not anticipated. It should also be noted that the previous approved application at the Application Site also include similar warehouse uses and the concerns of relevant Government departments can be addressed through implementation of approval conditions. Therefore, the applied use is in line with the TPB PG-No. 13G.

5.6 Not Incompatible with Surrounding Land Uses

The proposed development is considered not incompatible with the surrounding land uses. The surrounding of the Application Site mainly consists of scattered fallow agricultural land, open storage, warehouses, unused land / structures and temporary structures, with approved application of similar uses in vicinity. Taking into consideration that the Applicants have proposed proper mitigation measures, including no workshop activities within the Application Site and restriction of operation hours, the proposed development could co-exist well with all these surrounding land uses without posing any adverse environmental impacts. As the proposed development is considered not incompatible with other developments/facilities in the adjacent areas in terms of nature and scale of use, approval of the application would therefore not result in any interface problems with the surrounding areas.

5.7 No Adverse Impacts on the Surrounding Areas

Owing to the nature and size of the proposed development, no adverse impacts are anticipated on the surrounding areas, as discussed below:

Traffic

The Application Site is directly accessible to Sha Tau Kok Road – Ma Mei Ha and no more than 3 round trips daily will be made by goods vehicles to/from the Application Site. Most of the vehicles will enter to/get out of the Application Site at non-peak hours (between 10am – 4pm). Compared with the previously approved public vehicle park with 25 parking spaces for private vehicles and 8 for medium goods vehicles, the trip generation from the proposed development would be far less. As such, it is anticipated that traffic generated by the proposed development to Sha Tau Kok Road – Ma Mei Ha will be very minimal and not be overloaded should the application be approved. In addition, a holding area / sufficient spaces will be reserved at the western portion of the Application Site for vehicle manoeuvring. It is further envisaged and unlikely that the foregoing minimal volume of traffic generated from the proposed development would adversely affect the existing and/or planned road networks. There will also be no need for goods vehicles queuing up outside the Application Site under any circumstances.

Drainage

The Applicants will maintain and upgrade the existing drainage facilities within the Application Site and surface runoff will be effectively collected from and discharge out of the Application Site. The Applicants have accordingly submitted a drainage proposal (see **Appendix B**) to elaborate. Therefore, no adverse drainage impact would be generated from the Application Site.

Environment

The proposed warehouse and open storage uses is merely for the storage of construction materials, which would not generate adverse noise, air pollution or visual intrusion to the surrounding. The Applicants will preserve the existing trees within the Application Site as far as practical to act as a natural barrier to minimize the visual impact. Meanwhile, most of the loading / unloading activities will be conducted within the warehouse at the southern part of the Application Site. No workshop activities will be conducted within the Application Site and relevant mitigation measures will be taken to minimize all the potential environmental impacts on the surrounding areas. In addition, the

operating hours will be restricted from 8am to 7pm. Therefore, the proposed development will not generate any pollution or adverse environmental impacts on the surrounding environment.

6. Conclusion

The Application Site falls within “AGR” zone on the approved Lung Yeuk Tau and Kwan Tei South OZP. In view of the site location, surrounding land uses and the nature of the proposed development, the Application Site is considered suitable for proposed temporary warehouse and open storage of construction materials, which will be able to cater for the ongoing high demand of warehouse and open storage facilities in North East New Territories.

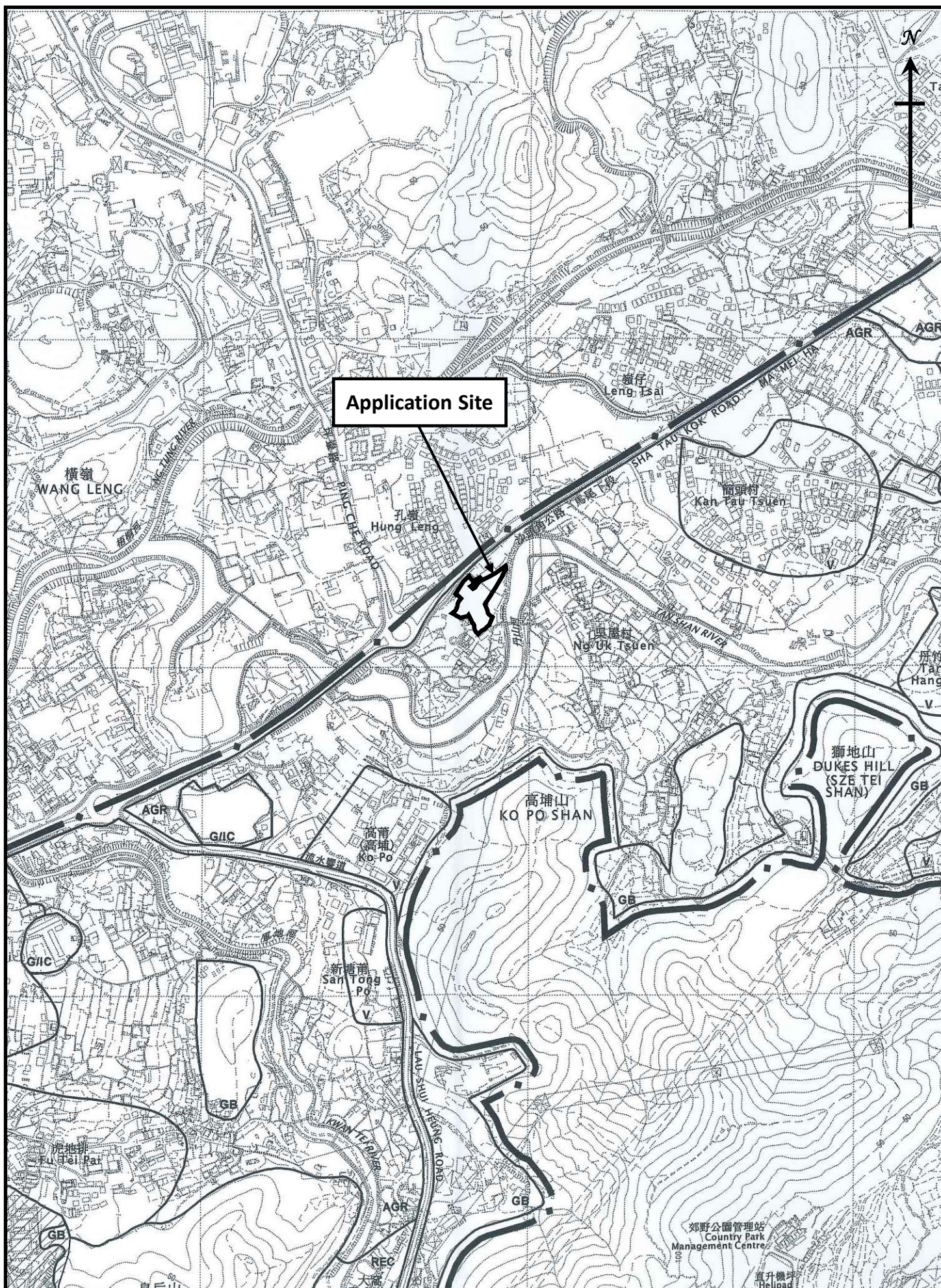
Despite the fact that the Application Site fall within the “AGR” zone, the planning intention of “AGR” is hardly to be materialized in short term until the surrounding characteristics are entirely and compulsorily required to be reverted to agricultural activities. In contrast, the proposed development in the interim at the Application Site is deemed not unsuitable for temporary uses as the surrounding areas are currently characterized by a variety of rural warehouse and storage uses. With previous similar planning approval at the Application Site, the proposed development actually encourages optimization of valuable land resources by fully utilizing the locational advantage and existing physical state of the Application Site whilst not causing any adverse impacts on the surrounding areas.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.

Lawson David & Sung Surveyors Ltd.
November 2023

Figures

- Figure 1 Location Plan
- Figure 2 Lot Index Plan
- Figure 3 Vehicular Access to the Site
- Figure 4 Indicative Layout Plan



Location Plan

(Extract from Approved Lung Yeuk Tau & Kwai Tei South Outline Zoning Plan No. S/NE-LYT/19)

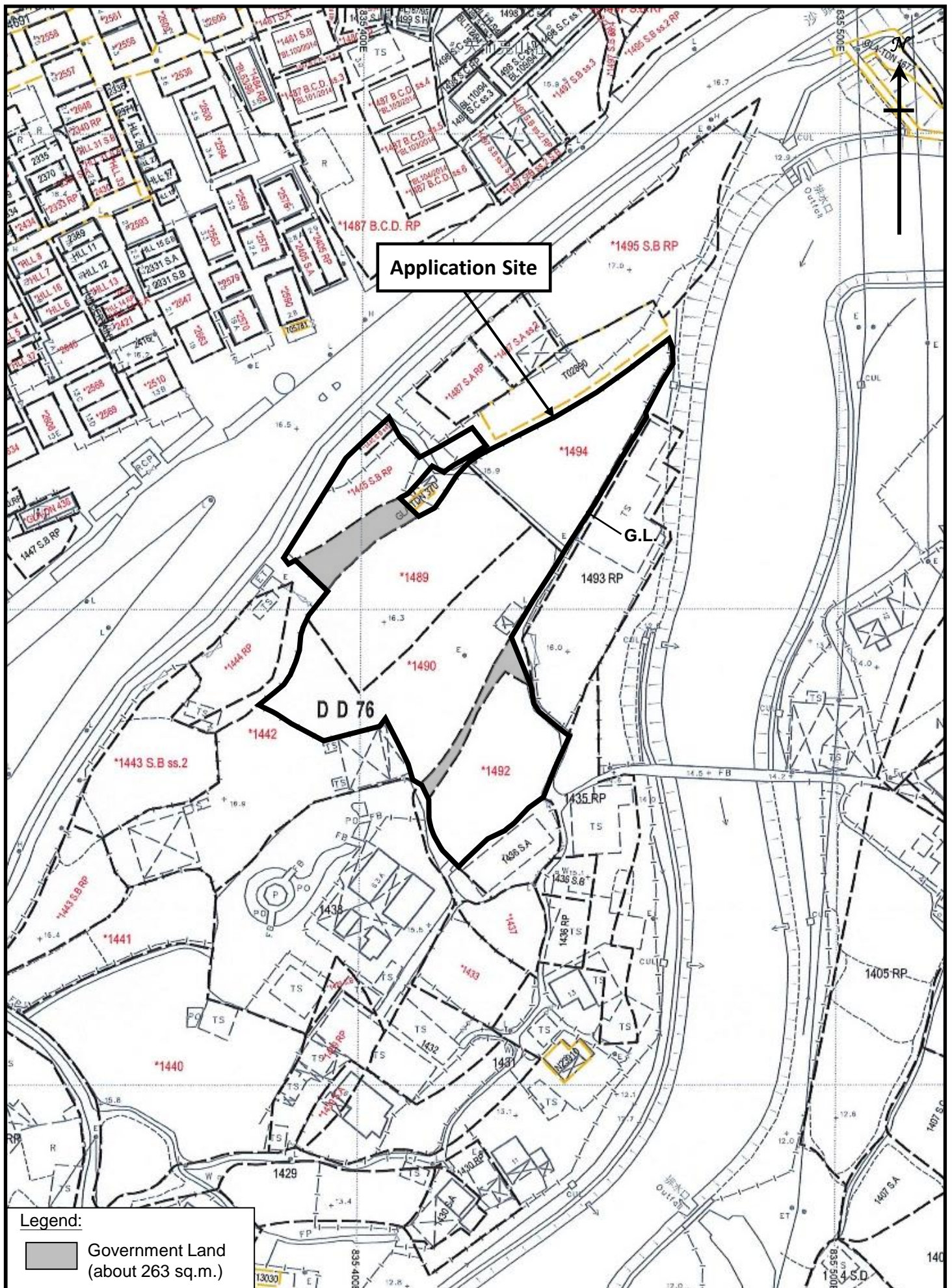
Figure 1

1 : 7500




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Legend:

 Government Land
(about 263 sq.m.)

Lot Index Plan

Figure 2

1 : 1000

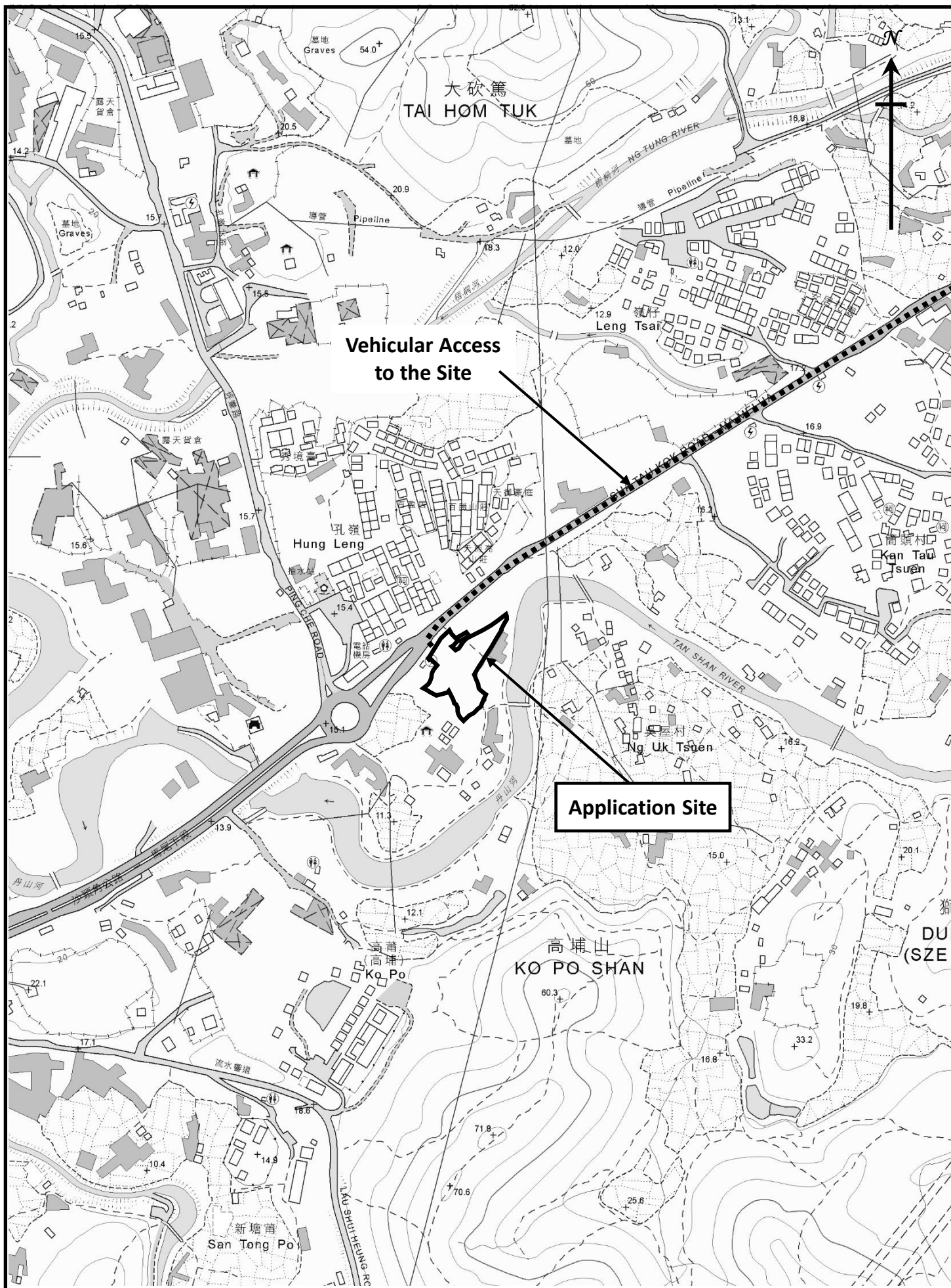


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Vehicular Access to the Application Site

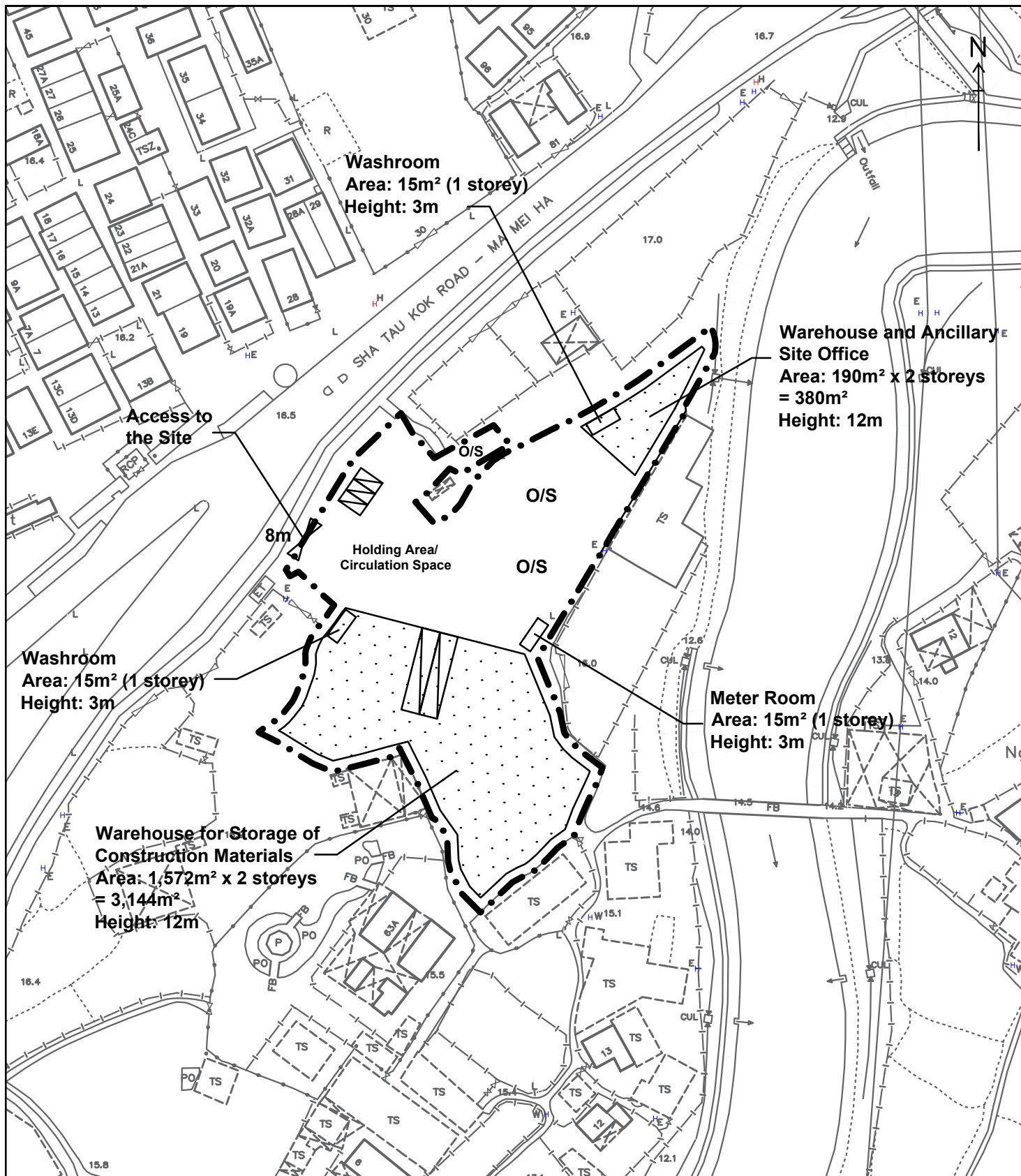
Figure 3

1 : 5000



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Legend:

- Application Site (about 4,064 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

For Identification Purpose

Layout Plan

Figure 4

Scale 1:1000

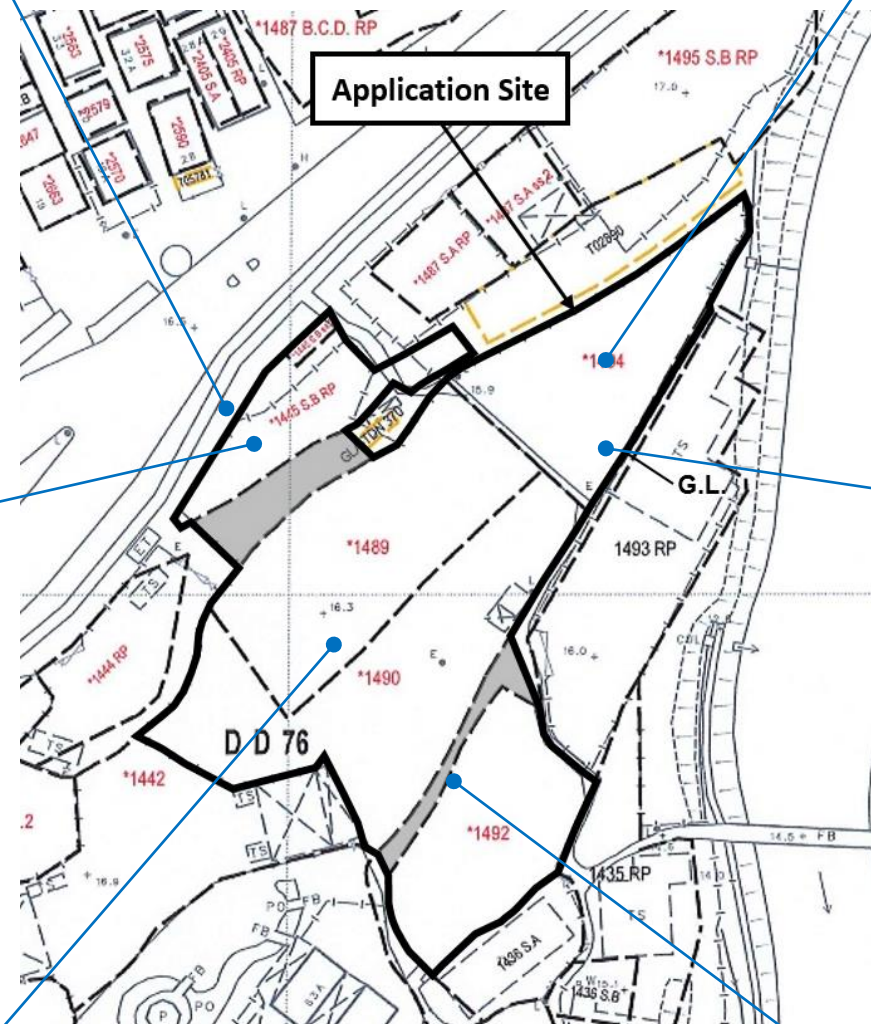


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Site Photos



Existing Condition of the Application Site

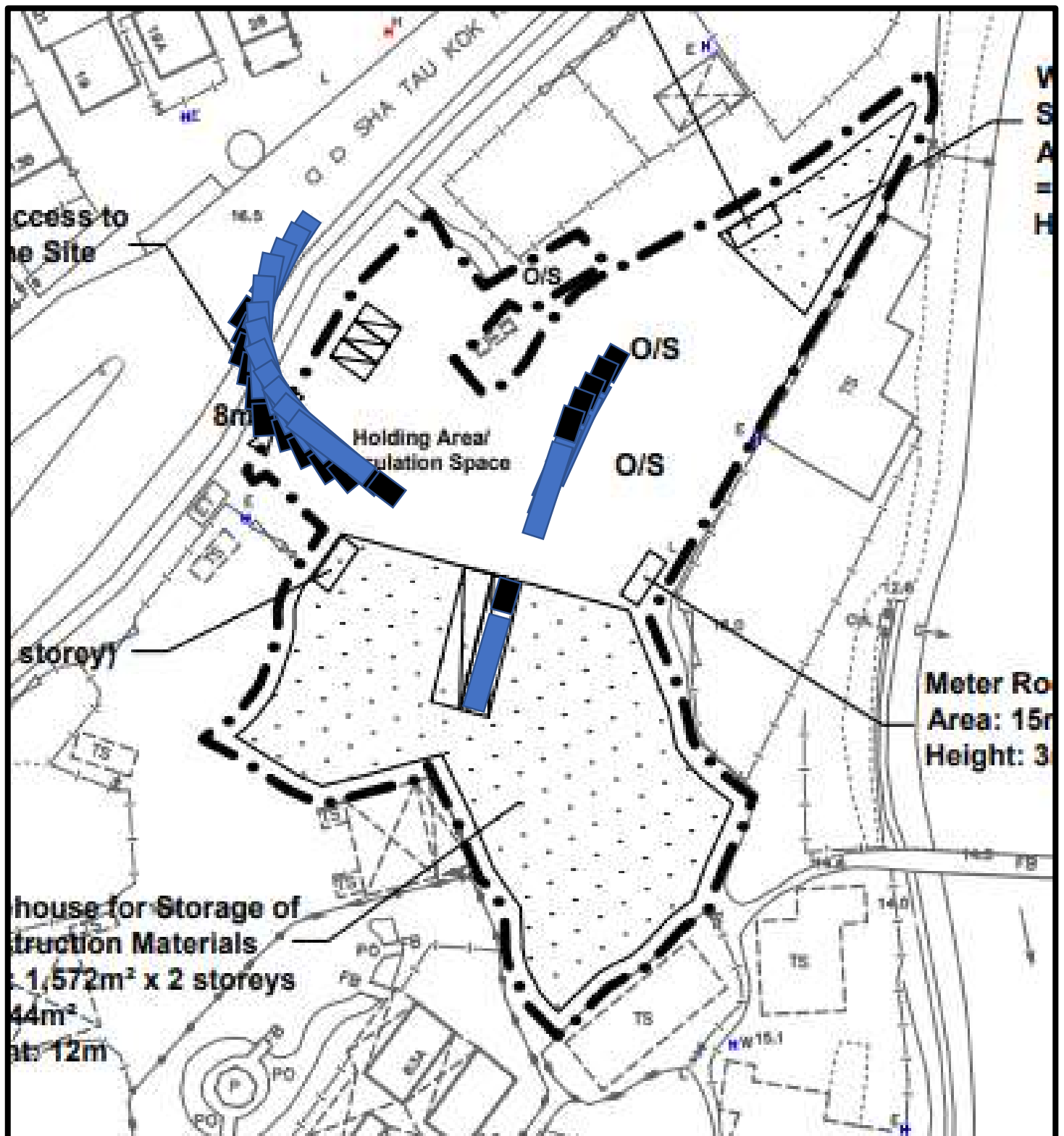
Site Photos



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Appendix A

Swept Path Analysis

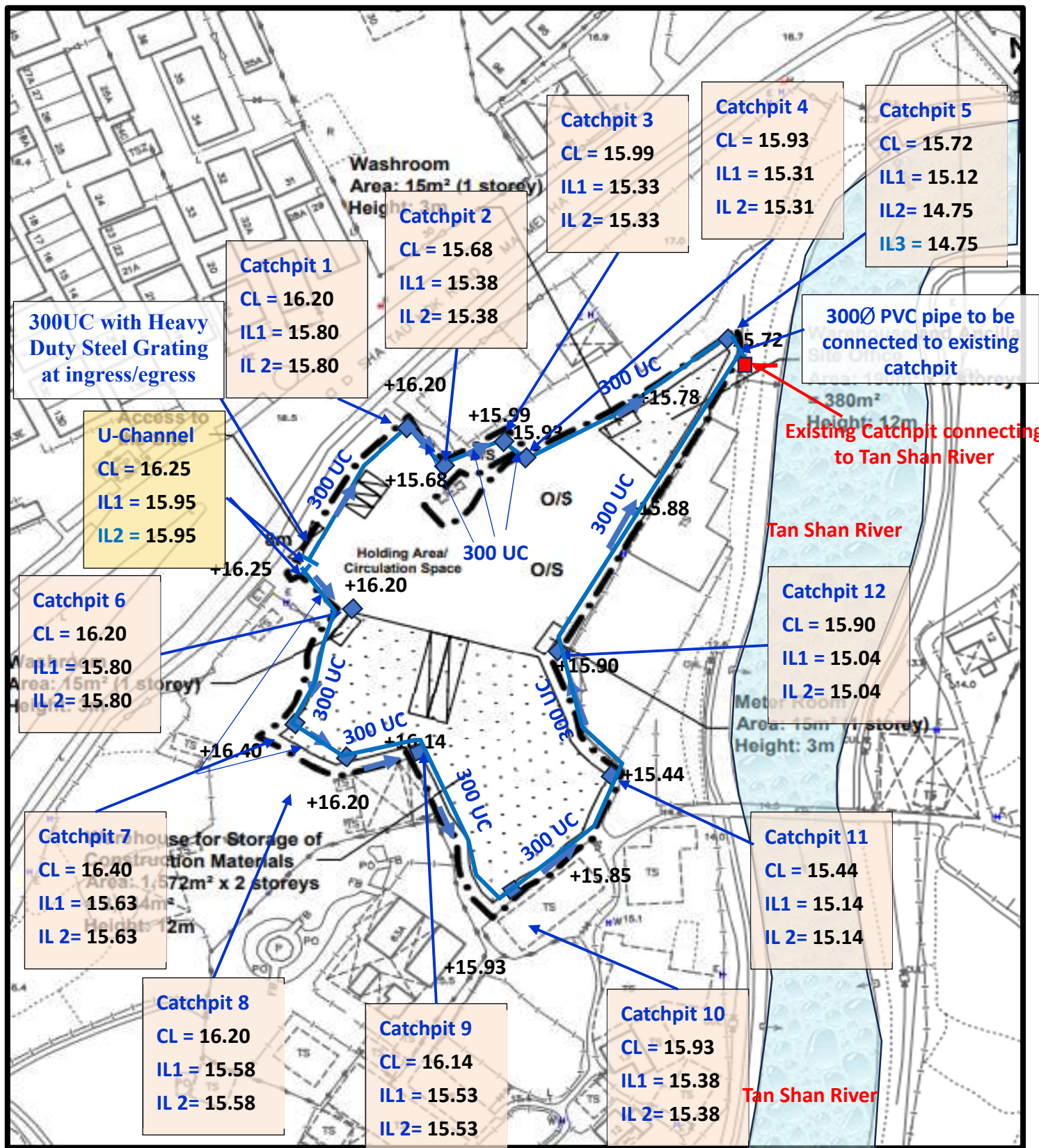


Swept Path Analysis

Drawing No. STK 001A

Appendix B

Drainage Proposal



Notes :

1. Peripheral U-channels are provided to cater for the catchments from the application site and the adjacent site. Additional 20% of application site area is added to prevent the stormwater affecting the adjacent areas.
2. U-channel with heavy duty steel grating is provided at the vehicular entrance/exit point.

Drainage Plan

Drawing No. STK 002A

Drainage Design for the site at DD76

Sha Tau Kok Road – Ma Mei Ha

DSD - STORMWATER DRAINAGE MANUAL

7.5.2 Rational Method

$$Q_p = 0.278 C_i A$$

where Q_p = peak runoff in m^3/s

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in km²

In Hong Kong, a value of $C = 1.0$ is commonly used in developed urban areas. In less developed areas, appropriate C values in order to ensure that the design would be fully cost-effective.

Surface Characteristics Runoff coefficient, C*

Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The surface of the site will be covered by Asphalt, the C should be 0.85 (Mid value)

6.6.1 Village Drainage and Main Rural Catchment Drainage Channels

‘Village Drainage’ refers to the local stormwater drainage system within a village. A stormwater drain conveying stormwater runoff from an upstream catchment but happens to pass through a village may need to be considered as either a ‘Main Rural Catchment Drainage Channel’ or ‘Village Drainage’, depending on the nature and size of the upstream catchment. In any case, the impact of a 50-year event should be assessed in the planning and design of village drainage system to check whether a higher standard than 10 years is justified. 20 Years is normally used.

Table 2d – Intensity-Duration-Frequency (IDF) Relationship of North District Area
for durations not exceeding 240 minutes

Duration (min)	Extreme Intensity x (mm/h) for various Return Periods						
	T(year)						
	2	5	10	20	50	100	200
240	28.5	37.7	43.4	48.6	54.9	59.4	63.6
120	42.2	54.7	62.5	69.6	78.4	84.7	90.8
60	61.0	75.7	84.3	92	101	108	114
30	84.0	100	110	118	128	135	142
15	106	127	139	150	163	173	182
10	119	141	155	168	184	196	208
5	138	161	177	193	216	234	254

i (rainfall intensity) = 92mm/hr (Duration of 60min is used)

$$Q_p = 0.278 C i A$$

C = 0.85 (Asphalt)(mid value) (Application Site)

C = 0.15 (Grass Land (Sandy Soil) (Adjacent Area)

i = 92 mm/hr

A = 4,064² (0.00407km²) (Application Site)

+ 750m² (0.00075km²) (Adjacent Area = 20% of Application Site)

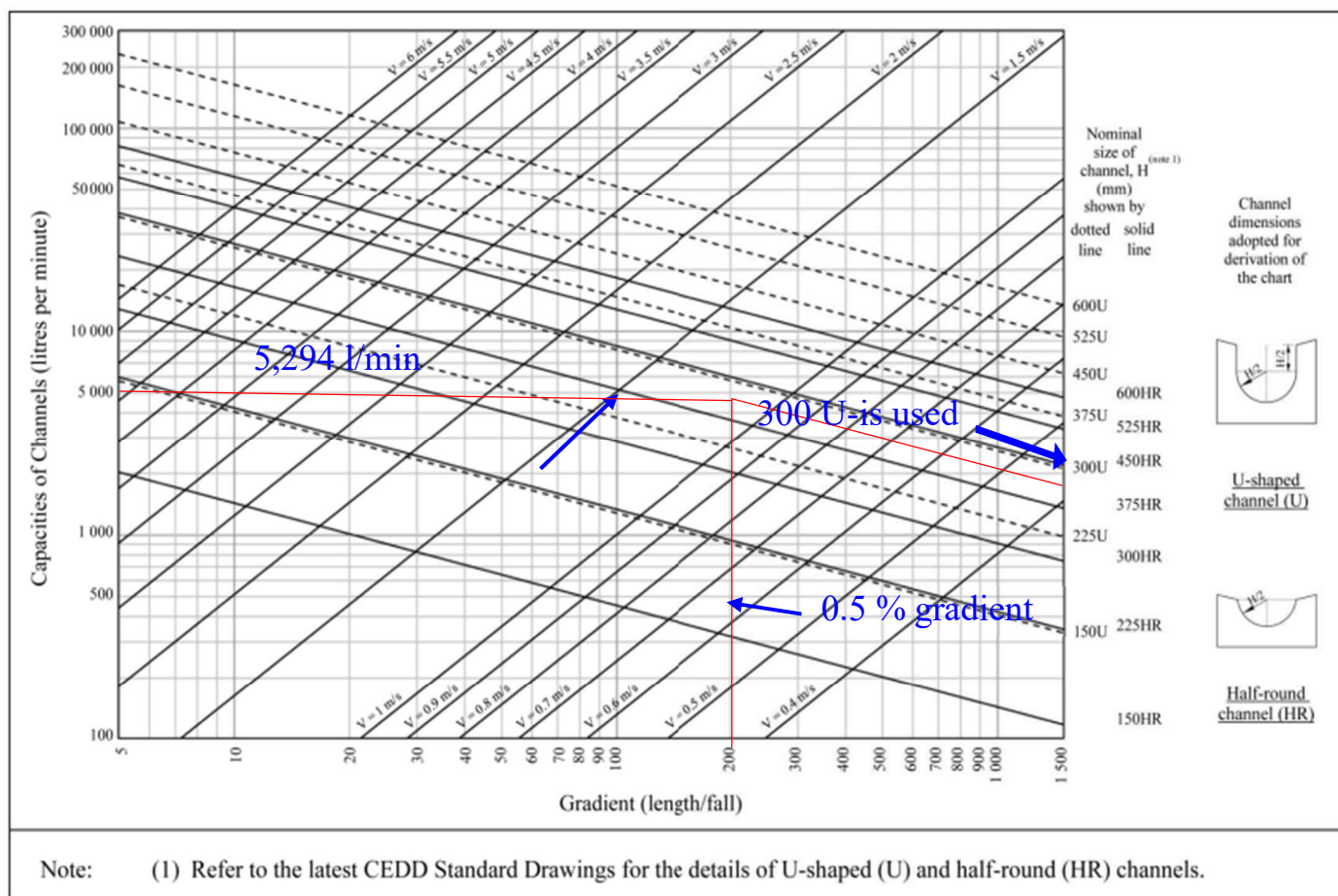
$$Q_p = 0.278 \times 92 \times ((0.85 \times 0.00407) + (0.15 \times 0.00075))$$

$$Q_p = 0.0882 \text{ m}^3/\text{s} \text{ or } 5,294 \text{ l/min}$$

For conservative calculations, all catchment areas are combined for all U-Channels.

GEO Technical Guidance Note No. 43 (TGN 43) Guidelines on Hydraulic Design of U-shaped

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



For 5,294 l/min, 300 U-channel is used.

Appendix C

Fire Service Installations Proposal

F.S.NOTES:

1. GENERAL

- 1.1

FIRE SERVICE INSTALLATIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE CODES OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATIONS AND EQUIPMENT AND INSPECTION, TESTING AND MAINTENANCE OF INSTALLATIONS AND EQUIPMENT 2022 (COP 2022), FSD CIRCULAR LETTERS AND THE HONG KONG WATERWORKS STANDARD REQUIREMENTS.
- 1.2

ALL TUBES AND FITTINGS SHALL BE G.M.S. TO BS1387 MEDIUM GRADE WHERE PIPEWORK UP TO ø150mm.
- 1.3

ALL TUBES AND FITTINGS SHALL BE DUCTILE IRON TO BS EN545 K12 WHERE PIPEWORK ABOVE ø150mm.
- 1.4

ALL DRAIN PIPES SHALL BE DISCHARGED TO A CONSPICUOUS POSITION WITHOUT THE POSSIBILITY OF BEING SUBMERGED.
- 1.5

ALL PUDDLE FLANGES SHALL BE MADE OF DUCTILE IRON
- 1.6

THE AGGREGATE AREA OF OPENABLE WINDOWS NOT LESS THAN 6.25% OF THE FLOOR AREA OF THE STRUCTURE
- 1.7

VENTILATION/AIR CONDITIONING SYSTEM NOT TO BE PROVIDED.

2. HOSE REEL SYSTEM

- 2.1

NEW FIRE HOSE REEL SHALL BE PROVIDED AS INDICATED ON PLAN TO ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30m HOSE REEL TUBING.
- 2.2

THE WATER SUPPLY FOR HOSE REEL SYSTEM WILL BE FED FROM A NEW 2m³F.S. FIBREGLASS WATER TANK VIA TWO HOSE REEL PUMPS (DUTY/STANDBY) LOCATED INSIDE FS PUMP ROOM AT EXTERNAL AREA.
- 2.3

HOSE REEL PUMPS SHALL BE STARTED BY ACTUATION OF ANY BREAKGLASS UNIT FITTED ASIDE EACH HOSE REEL SETS
- 2.4

ALL FIRE HOSE REEL OUTLETS SHOULD BE HOUSED IN GLASS FRONTED CABINET SECURED UNDER LOCK & KEY.
- 2.5

ALL FIRE HOSE REEL SHOULD BE PROVIDED WITH FSD APPROVED TYPE INSTRUCTION PLATE & WSD WARNING PLATE
- 2.6

SECONDARY ELECTRICITY SUPPLY DIRECTLY TEE OFF BEFORE CLP'S INCOMING MAIN SWITCH SHALL BE PROVIDED FOR THE FS PUMPS.

3. AUTOMATIC SPRINKLER SYSTEM

- 3.1

NEW AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12845: 2015 (INCLUDING TECHNICAL BULLETINS, NOTES, COMMENTARY AND RECOMMENDATIONS) AND FSD CIRCULAR LETTER NO. 5/2020. THE CLASSIFICATION OF THE OCCUPANCIES WILL BE ORDINARY HAZARD GROUP III.
- 3.2

ONE NEW 135m³ SPRINKLER WATER TANK WILL BE PROVIDED AS INDICATED ON PLAN. THE TOWN MAIN WATER SUPPLY WILL BE FED FROM SINGLE END.
- 3.3

TWO NEW SPRINKLER PUMPS (DUTY/STANDBY) AND ONE JOCKEY PUMP SHALL BE PROVIDED IN FS PUMP ROOM LOCATED AT EXTERNAL AREA.
- 3.4

NEW SPRINKLER CONTROL VALVE SET AND SPRINKLER INLET SHALL BE PROVIDED AS INDICATED ON PLAN.
- 3.5

A TEST VALVE SHALL BE PROVIDED FOR EACH ZONE OF SPRINKLER PIPE. THIS VALVE SHALL BE AT A CONSPICUOUS POSITION THAT WATER CAN BE DRAINED AWAY EASILY.
- 3.6

ALL SUBSIDIARY STOP VALVES TO BE ELECTRIC MONITORING TYPE.
- 3.7

ALL ELECTRIC TYPE VALVES SHOULD GIVE VISUAL SIGNALS TO FIRE SERVICE MAIN SUPERVISORY CONTROL PANEL TO INDICATE THE STATUS (OPEN/CLOSE) OF THE VALVES.
- 3.8

SECONDARY ELECTRICITY SUPPLY DIRECTLY TEE OFF BEFORE CLP'S INCOMING MAIN SWITCH SHALL BE PROVIDED FOR THE SPRINKLER PUMPS.
- 3.9

THE SPRINKLER SYSTEM DESIGN IS BASED ON THE FOLLOWINGS:
HAZARD CLASS : ORDINARY HAZARD GROUP III
TYPE OF STORAGE : POST-PALLET (ST2)
STORAGE CATEGORY : CATEGORY I
MAXIMUM STORAGE HEIGHT : 3.5m
SPRINKLER PROTECTION : CEILING PROTECTION ONLY

4. FIRE ALARM SYSTEM

- 4.1

NEW FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH BS 5839 PART 1: 2017 AND FSD CIRCULAR LETTERS 6/2021
- 4.2

NEW BREAKGLASS UNITS AND FIRE ALARM BELLS SHALL BE PROVIDED AT ALL NEW FIRE HOSE REEL POINTS. THE FIRE ALARM INTALLATION WILL BE INTEGRATED WITH THE HOSE REEL SYSTEM.

5. EMERGENCY LIGHTING

- 5.1

EMERGENCY LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH 'BS 5266-PART 1 :2016 AND BS EN 1838 :2013", FSD CIRCULAR LETTER 4/2021, COVERING ALL AREA. EMERGENCY LIGHTINGS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE

6. EXIT SIGN

- 6.1


ALL EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH 'BS 5266-PART 1 :2016 AND FSD CIRCULAR LETTER NO. 5/2008, FOR THE BUILDING. EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE.

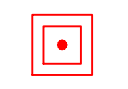
7. PORTABLE APPLIANCES

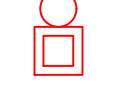
- 7.1

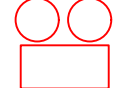
PORTABLE HAND OPERATED APPLIANCES SHALL BE PROVIDED AS INDICATED ON PLAN.

LEGEND

 HOSE REEL

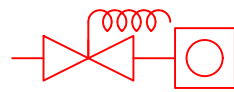
 BREAK GLASS UNIT

 FIRE ALARM BELL

 EMERGENCY LIGHT

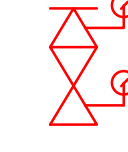
EXIT

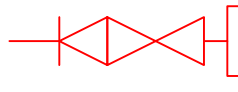
EXIT SIGN


 SUBSIDIARY VALVE / FLOW SWITCH

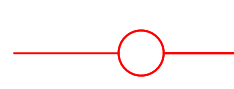
FE


5KG CO2 FIRE EXTINGUISHER

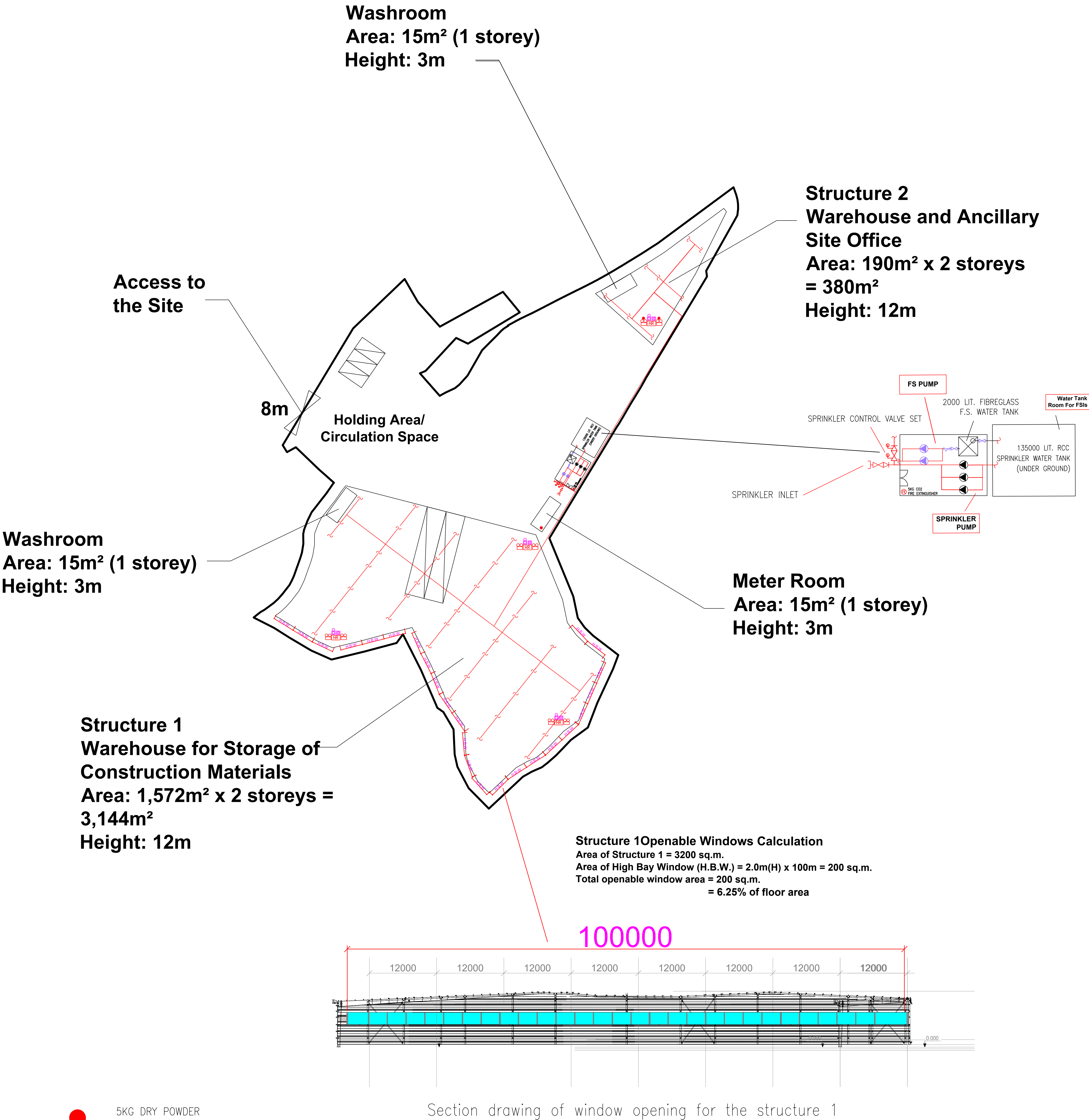
 SPRINKLER CONTROL VALVE SET

 SPRINKLER INLET

 5KG DRY POWDER FIRE EXTINGUISHER

 SPRINKLER HEAD (ON PLAN)

 PUMP SET



PROJECT : Proposed Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years at Lots 1445SBss2, 1445SBRP, 1489, 1490, 1492 & 1494 in DD76	DRAWING TITLE : F.S. Notes, Legend, Fire Service Installation Layout Plan			ARCHITECT :	CONSULTANT :	FIRE SERVICE CONTRACTOR : Century Fire Service Engineering Co., Ltd.		NAME C.K.NG	DATE 21 NOV 2023	DRAWING NO : FS-01	REV. 0
							DRAWN BY				
							CHECKED BY				
							APPROVED BY				
		REV	DESCRIPTION	DATE						SCALE : 1 : 300 (A0)	SOURCE : B.O.O. Ref. BD F.S.D. Ref. FP

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

Katie Yuet Yee LEUNG/PLAND

寄件者:
寄件日期: 2024年02月02日星期五 11:34
收件者: Katie Yuet Yee LEUNG/PLAND
副本: Carman Chui Ying CHEUNG/PLAND; Johnny Chung Yin LAM/PLAND
主旨: 回覆: Application No. A/NE-LYT/816: Questions from NDEHO, FEHD

郵件標幟: 待處理
標幟狀態: 已標幟

類別: Internet Email

Dear Katie,

We refer to your email dated 1.2.2024 and answer the following questions from FEHD:

NDEHO, FEHD

a) Whether the project proponent have the responsibility for repositioning of the RCP for FEHD in connection with the planning application;

Answer: The Applicant will not re-position the existing RCP. Taking into consideration for environmental hygiene of the area, the Applicant allows the refuse collection vehicle to enter the Application Site to collect the refuse. Such arrangement is now in place and the Applicant will maintain such arrangement with the contractor of FEHD.

b) Whether operation of the warehouse would generate significant amount of the refuse;

Answer: The operation of the warehouse is mainly for storage purpose and no workshop/dismantling/packing and repacking activities will be conducted within the Application Site. The proposed warehouse would not generate significant amount of the refuse. The refuse and construction waste generated during construction stage will be disposed by the Applicant to the public filling area at their own expense.

c) Whether the owner of the private land could use their own expense to treat their refuse during their operation

Answer: As mention in item (b) above, the proposed warehouse would not generate significant amount of the refuse during their operation. The Applicant will minimize generation of waster during operation and ensure that the waste is disposed of legally and properly.

Should you have any queries, please feel free to call me at

Thank you.

Best Regards,
Cannis Lee

Lawson David & Sung Surveyors Ltd.



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Appendix Ib of RNTPC
Paper No. A/NE-LYT/816B



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FHKIS FRICS ALS MHKIS RPS(LS) MSc

潘孝維
Pun How Wai
MRIBA

By Email

Date : 19 February 2024
Your Ref.: TPB/A/NE-LYT/816
Our Ref. : LDS/PLAN/6915

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(Application No. A/NE-LYT/816)

We refer to the comments from various Government departments on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at 2877-1636.

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Lawson David & Sung



Encl.

c.c. DPO/STN (Attn.: Ms. Carmen Cheung) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Department on Planning Application No. A/NE-LYT/816 (19 February, 2024)

COMMENTS	RESPONSES
1. Sha Tin, Tai Po and North District Planning Office, Planning Department	
<p>(a) According to the Planning Statement, the application site is proposed to be used as temporary warehouse and open storage of construction materials, which would be fenced off by corrugated metal sheets on all sides. Please advise how the access of emergency vehicles and pedestrian from Sha Tau Kok Road – Ma Mei Ha to the village settlements in Ng Uk Tsuen would not be interrupted by the proposed use. Public comments received during the statutory public inspection period raising similar concerns are also attached (Appendix A) for your reference.</p>	<p>(a) A pedestrian access/path will be reserved with the Application Site for local villagers from Sha Tau Kok Road – Ma Mei Ha to the village settlements in Ng Uk Tsuen (see Figure 4A at Annex 1). Meanwhile, it is worth note that no emergency vehicle access was provided in the past and emergency vehicles are not using the private land within the Application Site. The Applicant will continue to allow the refuse collection vehicles to access the site and collect the refuse at the villagers’ waste collection point at regular time interval. As such, the pedestrian access would not be interrupted by the proposed development.</p>
2. Urban Design & Landscape Section, Planning Department	
<p><u>Landscape Observations / Comments</u></p> <p>(a) With reference to the aerial photo of 2022, the site is located in an area of rural inland plains landscape character comprising of clusters of small houses, temporary structures, vehicle parks, and clusters of tree groups. The site is hard paved and some trees of common species are observed along the site boundary within the site. According to the Planning Statement, 51 nos. of existing trees (i.e. Ficus Microcarpa) along the site boundary would be preserved as far as practical. According to the Layout Plan, the proposed layout will be in</p>	<p>(a) According to our site visit on 8.1.2024, approximate 59 trees are found within the site (see Landscape and Tree Preservation Proposal at Annex 2). The trees are Ficus Microcarpa and in good conditions. All the existing trees are proposed to be preserved within the Application Site. The details of the existing trees (location and size) are shown in Figure 5 and photos showing the condition of existing trees are provided at Annex 2.</p> <p>All the structures are set back 2m from the site boundary to allow the</p>

COMMENTS	RESPONSES
<p>conflict with the existing trees. Without information (e.g. location, size, conditions and proposed treatment etc.) on the existing trees within the site, potential adverse impact on the landscape resources arising from the proposed use cannot be reasonably ascertained.</p>	<p>preservation of existing trees and provision of drainage facilities. Therefore, the proposed layout will not be in conflict with the existing trees.</p>
<p><u>Detailed Comments / Advisory Comments</u></p> <p>(b) The applicant should provide information (e.g. location, size, conditions and proposed treatment etc.) on the existing trees within the site, proposed tree treatment and mitigation measures, if any. The applicant is reminded to offset the proposed temporary structures and car parks from the existing trees to avoid damage to the trees.</p>	<p>(b) See our response in 2(a) above.</p>
<p>3. Highways Department</p>	
<p>(a) The proposed access arrangement and the Traffic Impact Assessment for the runin/out at Sha Tau Kok Road - Ma Mei Ha should be commented and approved by the Transport Department (TD);</p>	<p>(a) Noted.</p>
<p>(b) The run-in/out should be designed and constructed in accordance with prevailing Highways Department (HyD) Standard Drawings to the satisfaction of HyD and TD;</p>	<p>(b) Drawing No. STK004 is attached showing the existing drop kerb complies with TPDM – Diagram 3.6.3.1 (see Annex 3).</p>
<p>(c) Adequate drainage measures should be provided to prevent surface water running from the application site to the nearby public roads and drains.</p>	<p>(c) Noted. The Application Site has been equipped with existing drainage facilities and a drainage proposal has been submitted together with this application. Proper drainage facilities will be provided to the satisfaction of Drainage Services Department.</p>

COMMENTS	RESPONSES
4. Transport Department	
(a) Please provide the detailed layout of run-in/out and ensure that it complies with the requirements in TPDM Vol. 2 Ch. 3.6; and	(a) Drawing No. STK004 is attached showing the existing drop kerb complies with TPDM – Diagram 3.6.3.1 (see Annex 3).
(b) Due to restriction in sightline and limited space for right-turn movements into and out of the site, please mandate the vehicular movements into and out of the site to be left-turn only.	(b) All vehicles from the run in/out will be restricted to “Left Turn” only. “Right Turn” movement can be taking place at the nearby roundabout.
5. Environmental Protection Department	
(a) It is noted that the applicant proposed septic tank for the temporary warehouse and open storage area. However, please be advised that there is existing public sewerage (i.e. FMH1003701) in the vicinity of the application site. The applicant shall explore the feasibility of connecting to public sewer for sewage disposal and if applicable, submit a Sewerage Impact Assessment Report with this S.16 application for review by EPD and DSD;	(a) Taking into consideration that there will be not more than 10 staff working on the site and the operation will be restricted in daytime only from Monday to Saturday, it is considered the sewage flow generated from the Application Site is minimal and provision of septic tank within the site is adequate to treat the sewage.
(b) Please note that ProPECC PN5/93 has been superseded by ProPECC PN1/23. Please update relevant content;	(b) Noted. Paragraph 4.7 (e) of the Planning Statement should read “On-site washrooms will be provided. Septic tank will be installed to treat the sewage generated from the Application Site as no public sewerage connection is available. The Applicants will follow ProPECC PN 1/23 to prevent any water pollution.”

COMMENTS	RESPONSES
(c) Inconsistency has been spotted in the planning statement. Please clarify if all the loading/unloading activities will be conducted within the warehouse;	(c) We clarify that all loading/unloading activities will be conducted within the warehouse.
(d) Please clarify if the warehouses have any openings (including windows and doors). If yes, please indicate the location of all windows and doors on suitable plans;	(d) The proposed warehouse will provide 6.25% openable window area to meet openable windows requirements for fire safety purpose (the extract of the fire services installation proposal is attached at Annex 4 for reference). The windows will be kept closed at all time and a well-designed ventilation system will be provided to improve the indoor air quality. The doors of the warehouses were also marked on the plan.
(e) The applicant should review whether the extent, height and construction of the boundary walls are adequate in screening all on-site activities from the residential buildings in the vicinity. The applicant is suggested to provide such boundary wall such that there is no direct line-of-sight from the nearby sensitive uses, including the Hung Leng and Ng Uk Tsuen, to the proposed development;	(e) The Application Site will be fenced off by metal sheets along the whole boundary of about 2.5. Most of the construction materials will be stored within the warehouse and the warehouse structures will help screening on-site activities from the residential buildings in the vicinity. For other open storage activities, the Applicant will ensure that the stacking height of the materials stored within the Application Site will not exceed the height of the boundary fence.
(f) While we note that the proposed warehouse structures may potentially help screening on-site activities from the nearby noise sensitive receivers (NSRs), the applicant should ensure and prove that all such noise screening would be available throughout the operation. Otherwise, alternative and adequate noise mitigation measures should be provided; and	(f) As all loading/unloading activities will be conducted within the warehouse and the operation is restricted to day-time only without any workshop activities, the Applicant will minimize all noise generating activities
(g) Considering the loading / unloading activities inside the warehouse, the applicant is advised to provide warehouse	(g) Noted.

COMMENTS	RESPONSES
structure of adequate surface mass density (e.g. $>7\text{kg/m}^2$) to minimise noise transmitting through the structure and the subsequent noise nuisance/impact.	
6. Drainage Services Department	
(a) The application site is in the vicinity of existing Tan Shan River to the east of the application site. Should the application be approved, the applicant shall be required to place all the proposed works at least 3m away from the top of the bank of the Tan Shan River. All the proposed works in the vicinity of the river should not create any adverse drainage impacts, both during and after construction. Proposed flooding mitigation measures if necessary shall be provided at the resources of the applicant to DSD's satisfaction.	(a) The stormwater from the application site will be connecting to the existing manhole which is more than 3m away from the top of the bank. The drainage connecting work will be at the cost of the applicant and will not cause any adverse impact to the existing stormwater drainage system during and after construction.
(b) The project proponent should demonstrate clearly that the proposed development would not cause any increase in the flooding susceptibility of the adjacent areas and Tan Shan River.	(b) Since there is no change of catchment areas. Therefore, there is no additional run-off. Tan Shan River is a proper river with adequate capacity to cater the stormwater from the adjacent areas.
(c) Please also be advised on the following general requirements in the drainage proposal:	(c) Noted.
(i) Surface channel with grating covers should be provided along the site boundary;	(i) All surface U-channels with concrete cover will be provided along the site boundary and heavy duty steel grating will be provided at the vehicular entrance/exit point.
(ii) A drainage plan should be provided clearly showing the size, levels and routes of the proposed drainage. The details (invert	(ii) Drawing No. STK-002B – Drainage Plan (see Annex 5) is submitted showing the proposed drainage system for the site including the

COMMENTS	RESPONSES
level, gradient, general sections etc.) of the proposed drain/surface channel, catchpits and the discharge structure shall be provided;	ground levels, invert levels and the gradients.
(iii) The cover levels of proposed channels should be flush with the existing adjoining ground level;	(iii) Topographic survey has been carried out, all proposed drainage levels will flush with the existing adjoining ground levels.
(iv) A catchpit with covers should be provided where there is a change of direction of the channel/drain. The details of the catchpit with covers shall be provided;	(iv) Catchpits are provided for all connecting the proposed U-channels where there is a change of flow direction.
(v) Catchpits with sand trap shall be provided at the outlets of the proposed drainage system. The details of the catchpit with sand trap should be provided;	(v) Catchpit No. 5 with sand trap will be provided where is the outlet of the proposed drainage system. The details is shown on the attached Sketch No. 1.
(vi) The applicant should check and ensure that the existing drainage downstream to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the captioned site. He should also ensure that the flow from this site will not overload the existing drainage system;	(vi) The stormwater from the application will be finally discharged onto the existing streamcourse (Tan Shan River) as original since there is no change of catchment areas. Therefore, there is no additional run-off. Tan Shan River is a proper river with adequate capacity to cater the stormwater from the adjacent areas.
(vii) The applicant is reminded that where walls are erected or kerbs are laid along the boundary of the same, peripheral channels should be provided on both sides of the walls or kerbs, and/or adequate openings should be provided at the walls/kerbs to allow existing overland flow passing through the site to be intercepted by the drainage system of the site with details to be agreed by DSD, unless justified not necessary;	(vii) U-channels will be constructed inside the boundary wall and openings will be provided to collect run-off from adjacent catchpit. A typical details of opening (Sketch No. 2) is attached for reference.

COMMENTS	RESPONSES
(viii) The applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drains, channels and watercourses on or in the vicinity of the subject site any time during or after the works;	(viii) The final discharge point (Catchpit 5) with sand trap will connect to existing manhole as shown on Drainage Plan (Drawing No. STK 002B). The proposed drainage design for the application has already taken consideration of the catchment of the application site and adjacent areas, therefore, there will be adverse effect to the existing drainage system during construction period and after the works.
(ix) The proposed drainage works, whether within or outside the site boundary, should be constructed and maintained properly by the applicant and rectify the system if it is found to be inadequate or ineffective during operation at his/her own expense;	(ix) The applicant will properly construct and maintain all drainage works within and outside the lot boundary at its own expenses.
(x) For works to be undertaken outside the lot boundary, the applicant should obtain prior consent and agreement from LandsD and/or relevant private lot owners;	(x) Prior agreement will be sought from LandsD/relevant land owner when works for any works outside the lot boundary.
(xi) The applicant should make good all the adjacent affected areas upon the completion of the drainage works;	(xi) The applicant will make good all the adjacent affected areas upon the completion of the drainage works;
(xii) The applicant shall allow all time free access for the Government and its agent to conduct site inspection on his completed drainage works;	(xii) Government and its agent are welcome to have site inspection on the completed drainage work.
(xiii) The applicant and the successive lot owners shall allow connections from the adjacent lots to the completed drainage works on Government Land when so required; and	(xiii) If required, the applicant will allow connections from adjacent lots to the completed drainage works.

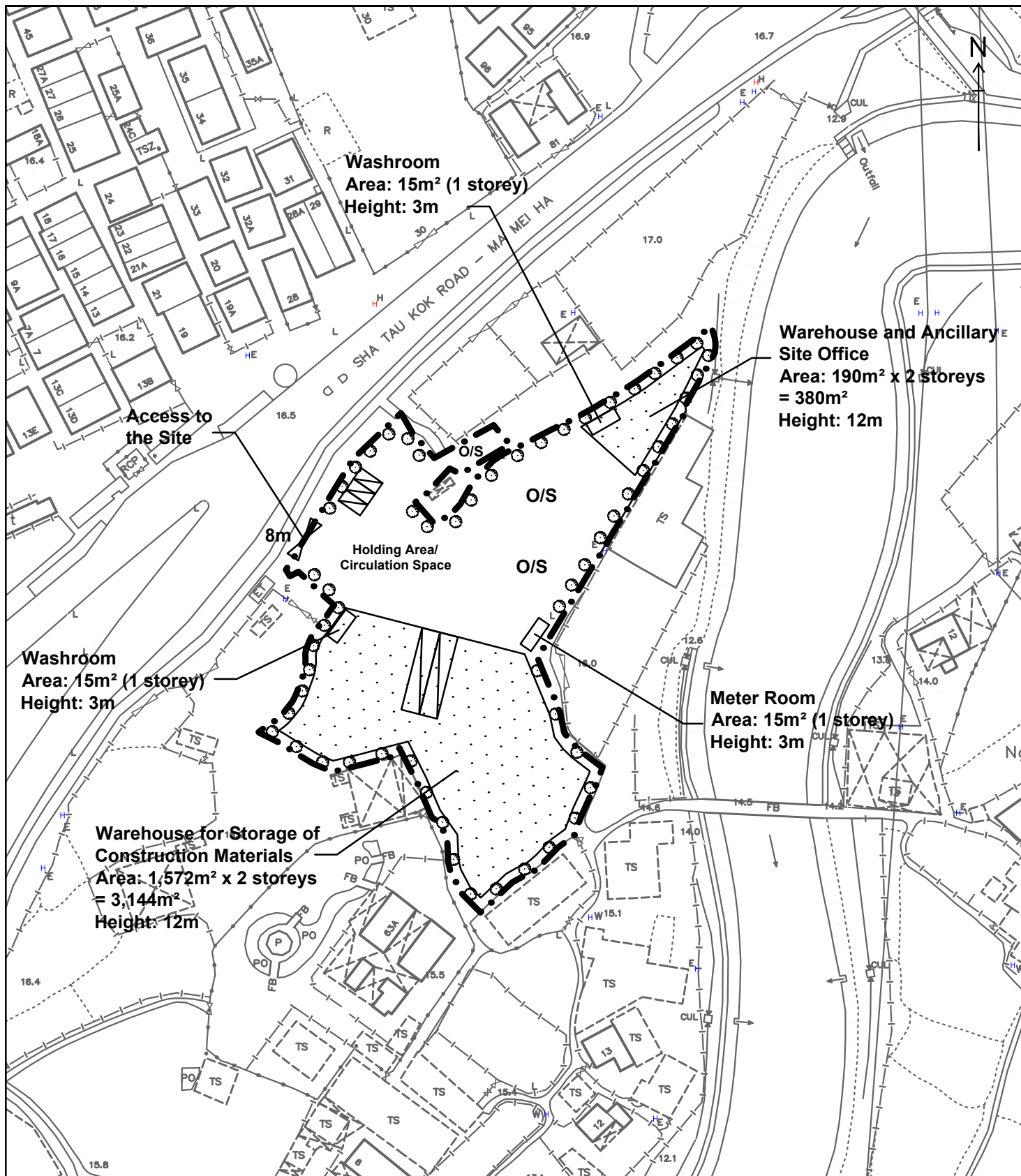
COMMENTS	RESPONSES
<p>(xiv) Photos should be submitted clearly showing the current conditions of the area around the site, the existing drainage/flowpaths around the site, the proposed drainage from the site to the downstream existing watercourse and the existing watercourse at about 20m intervals. The locations of the camera and the direction of each photo should also be indicated on a plan.</p>	<p>(xiv) Site photos are attached showing the location of the application site and the existing steamcourse nearby.</p>


Annex 1

Figure 4A – Layout Plan showing the Pedestrian Route

Annex 2

Figure 5 – Landscape and Tree Preservation Proposal and
Existing Tree Photos



Existing Trees to be Preserved:	Spacing	Size (Height)	Quantity
*Ficus Microcarpa (細葉榕) 	4m	3 - 6.5m	59

* Landscaping already implemented since previous planning approval (No. A/NE-LYT/586)

For Identification Purpose

Landscape and Tree Preservation Proposal

Figure 5

Scale 1:1000



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Existing Condition of Trees within the Application Site



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



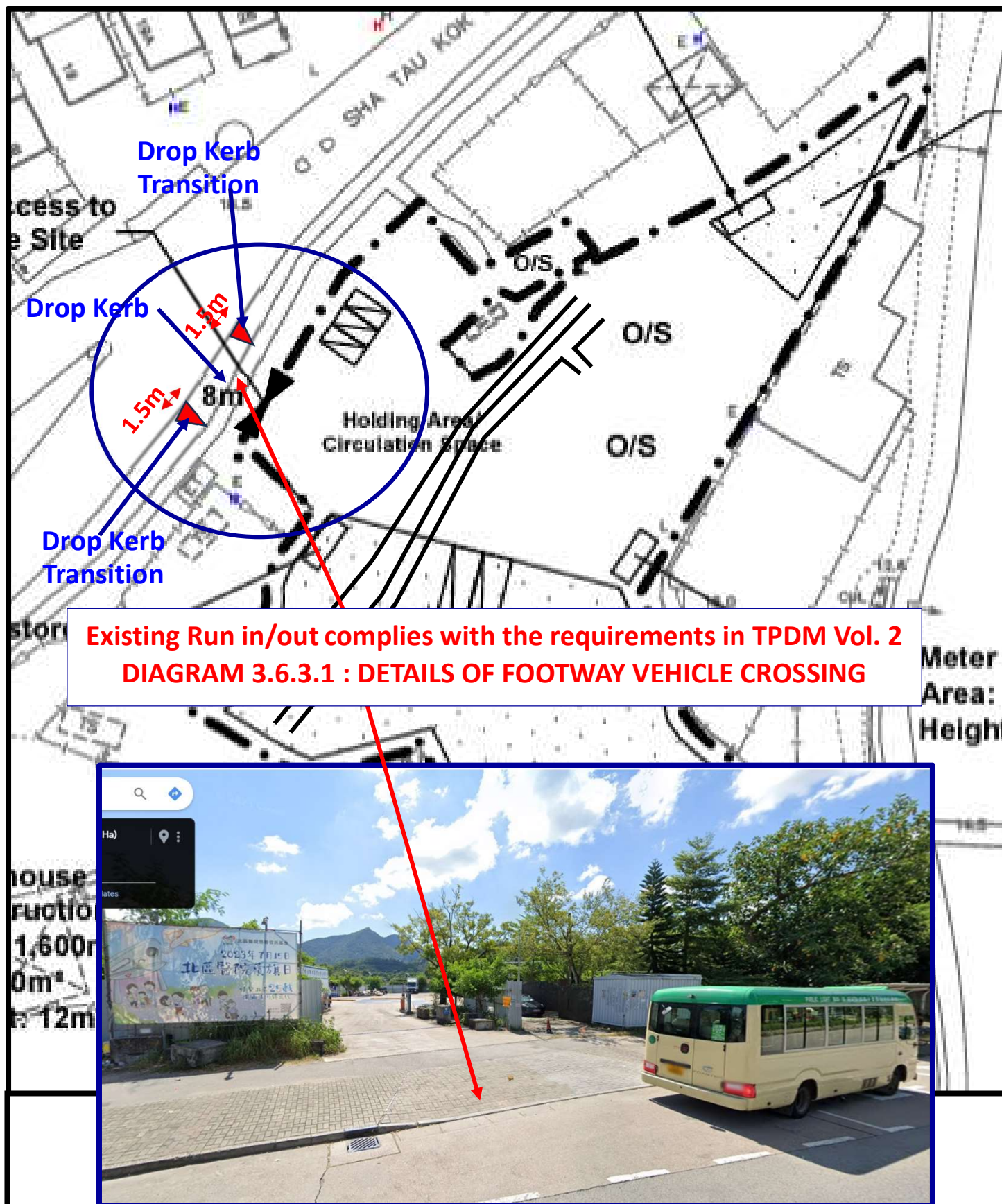
Photo 9



Photo 10

Annex 3

Run in/out Details



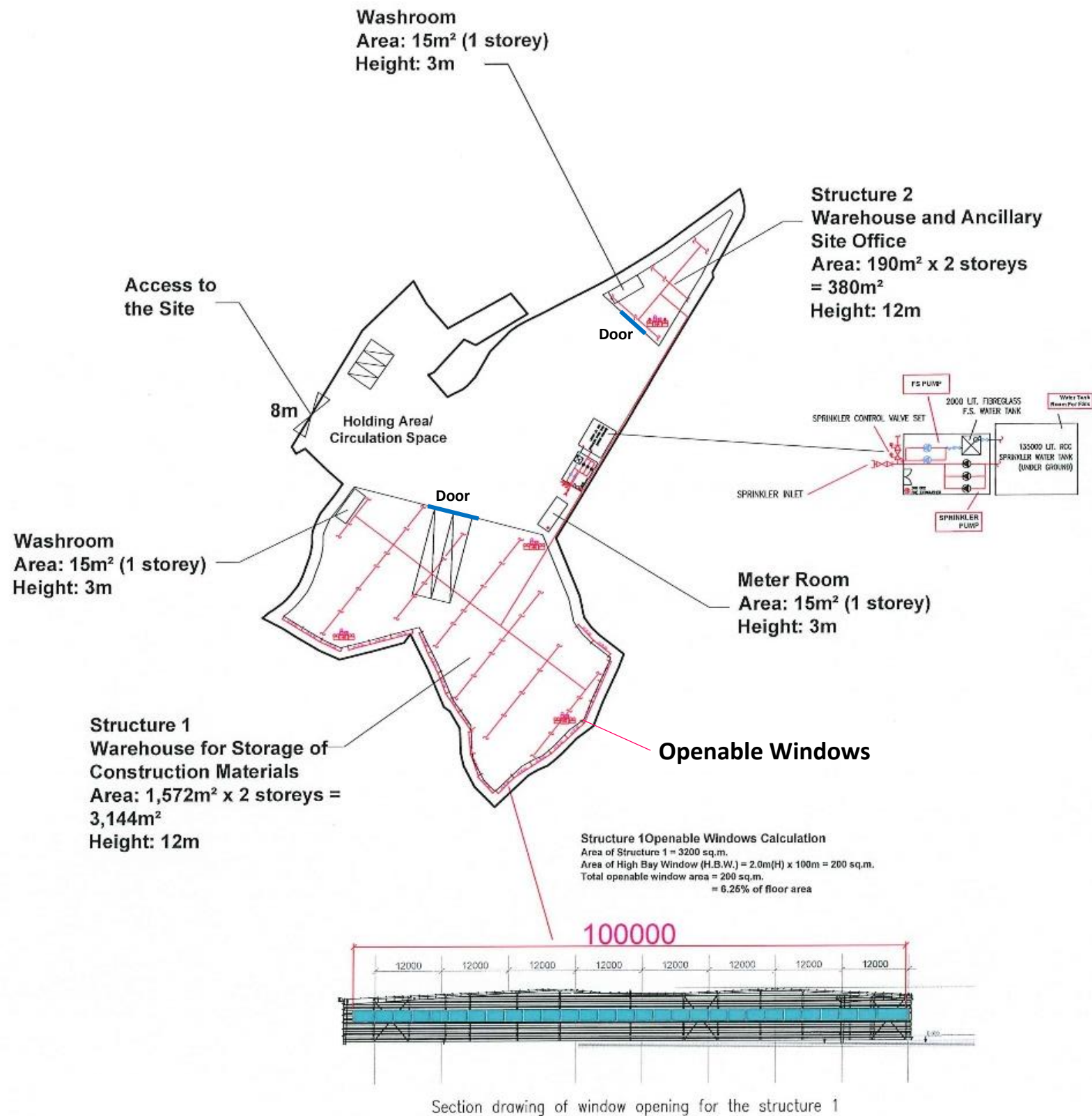
Run in/out Details

Drawing No. STK 004

Annex 4

Openable Windows and Doors of the Proposed Warehouse

Openable Windows and Doors of the Proposed Warehouse



Drawing extracted from the Fire Service Installations Proposal

Annex 5

Revised Drainage Proposal

Drainage Design for the site at DD76

Sha Tau Kok Road – Ma Mei Ha

DSD - STORMWATER DRAINAGE MANUAL

7.5.2 Rational Method

$$Q_p = 0.278 C_i A$$

where Q_p = peak runoff in m^3/s

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in km^2

In Hong Kong, a value of $C = 1.0$ is commonly used in developed urban areas. In less developed areas, appropriate C values in order to ensure that the design would be fully cost-effective.

Surface Characteristics Runoff coefficient, C*

Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The surface of the site will be covered by Asphalt, the C should be 0.85 (Mid value)

6.6.1 Village Drainage and Main Rural Catchment Drainage Channels

‘Village Drainage’ refers to the local stormwater drainage system within a village. A stormwater drain conveying stormwater runoff from an upstream catchment but happens to pass through a village may need to be considered as either a ‘Main Rural Catchment Drainage Channel’ or ‘Village Drainage’, depending on the nature and size of the upstream catchment. In any case, the impact of a 50-year event should be assessed in the planning and design of village drainage system to check whether a higher standard than 10 years is justified. 20 Years is normally used.

Table 2d – Intensity-Duration-Frequency (IDF) Relationship of North District Area
for durations not exceeding 240 minutes

Duration (min)	Extreme Intensity x (mm/h) for various Return Periods						
	T(year)						
	2	5	10	20	50	100	200
240	28.5	37.7	43.4	48.6	54.9	59.4	63.6
120	42.2	54.7	62.5	69.6	78.4	84.7	90.8
60	61.0	75.7	84.3	92	101	108	114
30	84.0	100	110	118	128	135	142
15	106	127	139	150	163	173	182
10	119	141	155	168	184	196	208
5	138	161	177	193	216	234	254

i (rainfall intensity) = 92mm/hr (Duration of 60min is used)

$$Q_p = 0.278 C i A$$

C = 0.85 (Asphalt)(mid value) (Application Site)

C = 0.15 (Grass Land (Sandy Soil) (Adjacent Area)

i = 92 mm/hr

A = 4,064² (0.00407km²) (Application Site)

+ 750m² (0.00075km²) (Adjacent Area = 20% of Application Site)

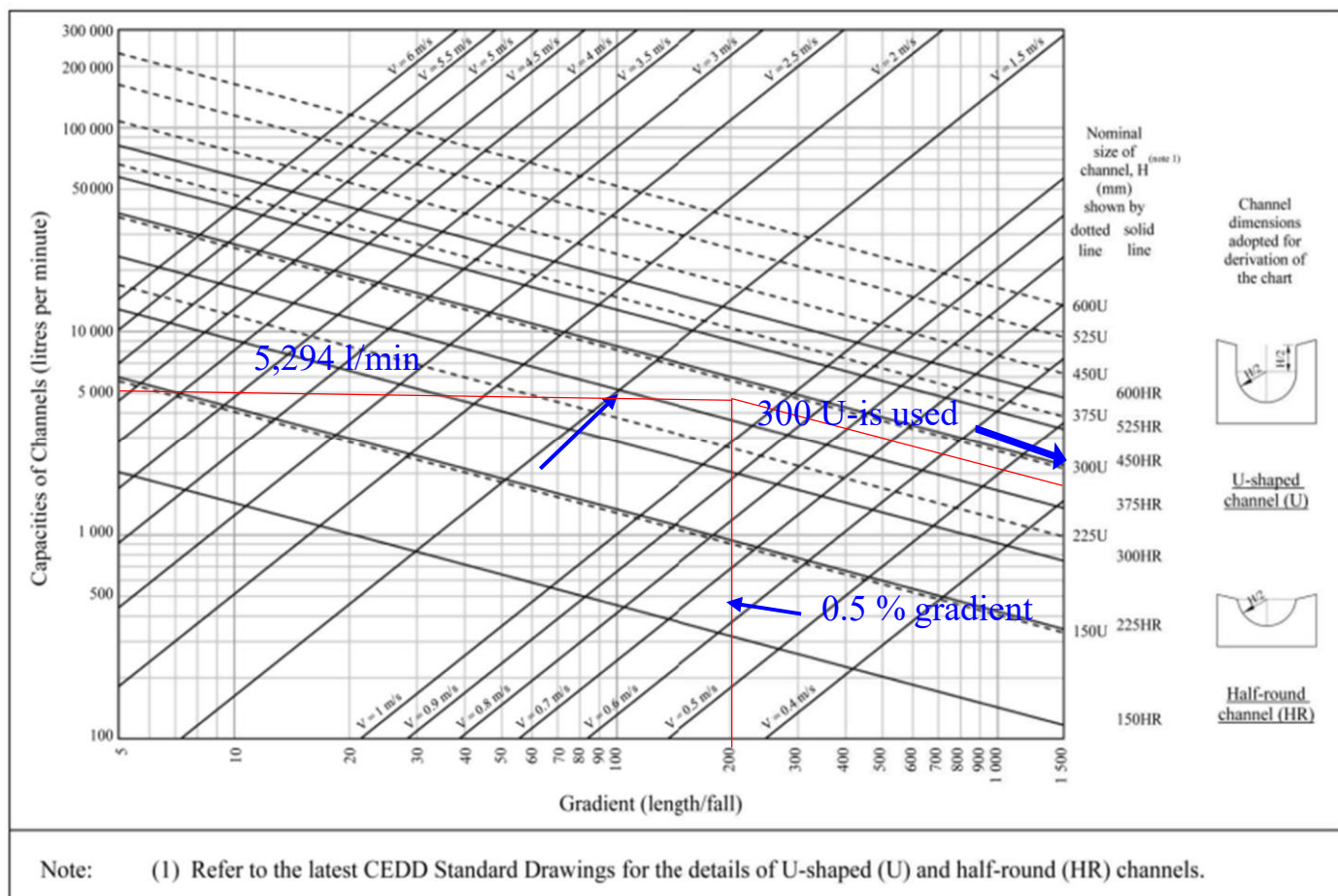
$$Q_p = 0.278 \times 92 \times ((0.85 \times 0.00407) + (0.15 \times 0.00075))$$

$$Q_p = 0.0882 \text{ m}^3/\text{s} \text{ or } 5,294 \text{ l/min}$$

For conservative calculations, all catchment areas are combined for all U-Channels.

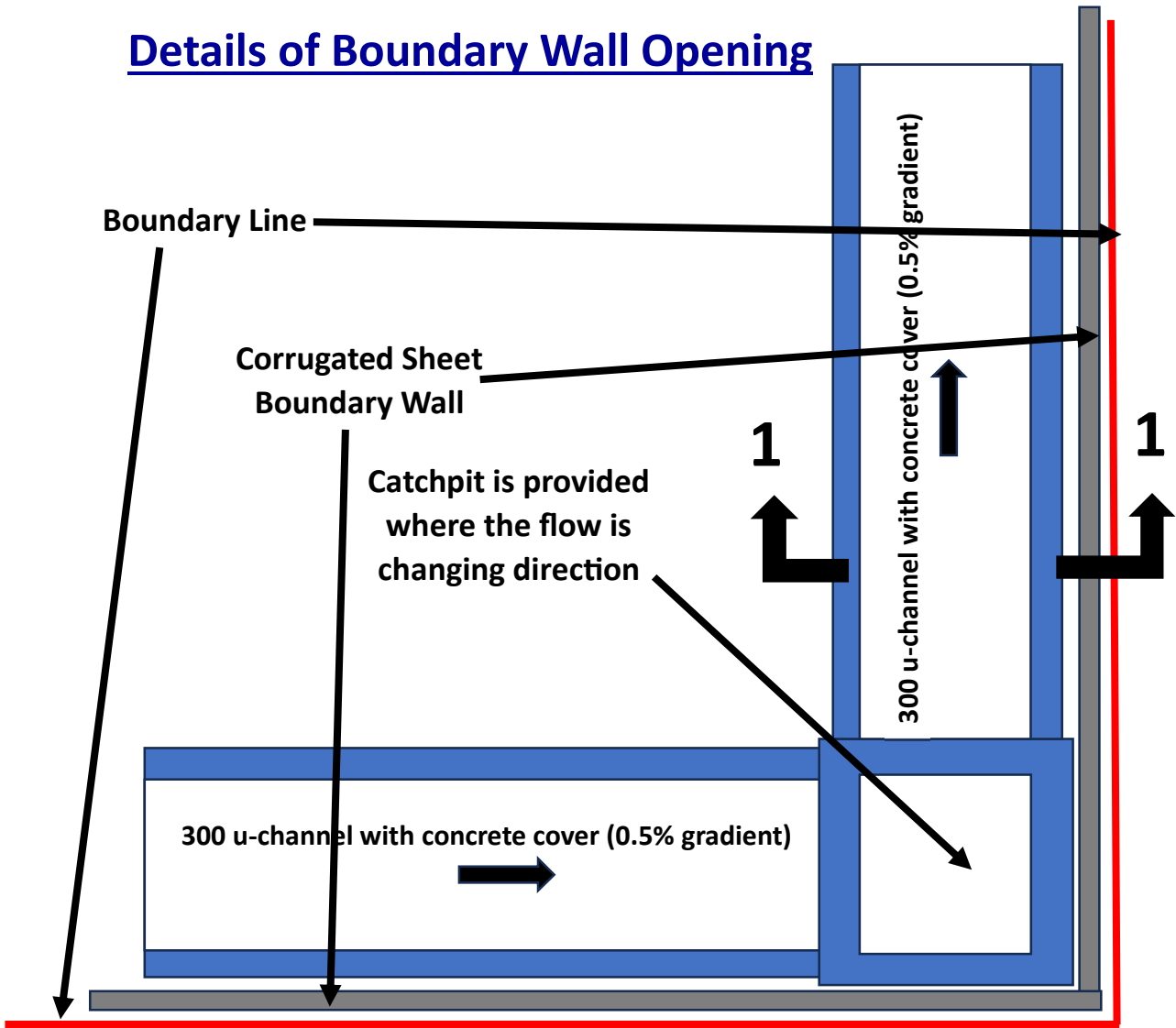
GEO Technical Guidance Note No. 43 (TGN 43) Guidelines on Hydraulic Design of U-shaped

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm

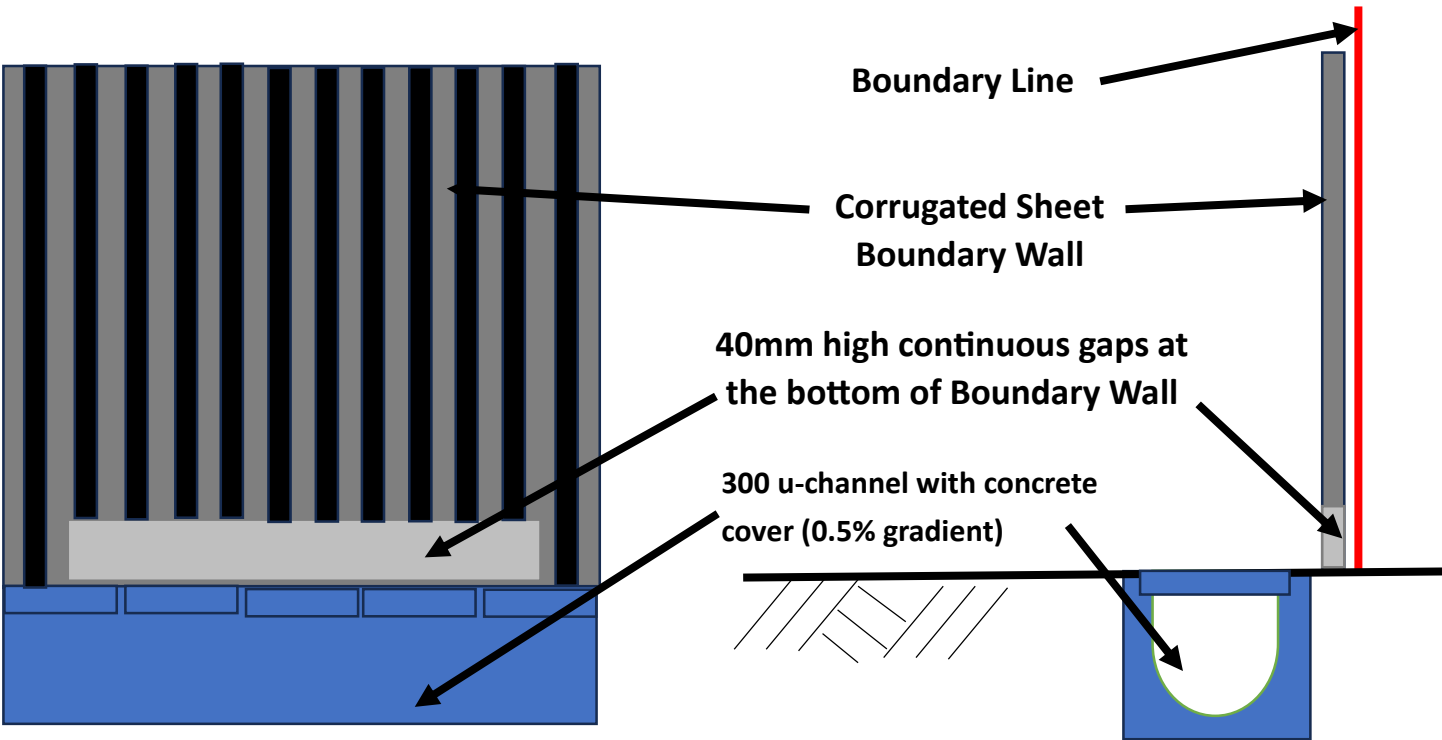


For 5,294 l/min, 300 U-channel is used.

Details of Boundary Wall Opening



Typical Plan

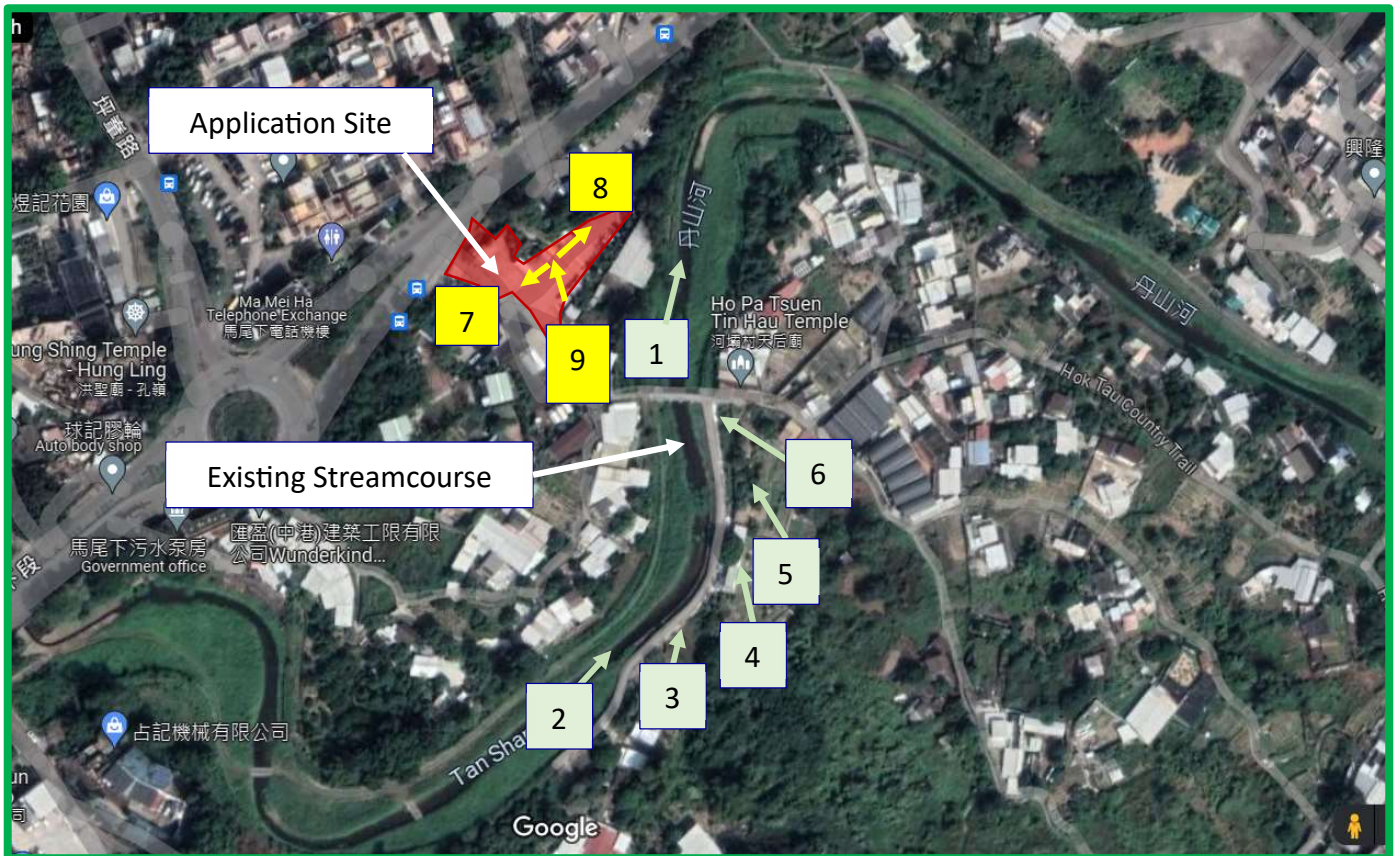


Elevation

Section 1-1

Sketch No. 2

Site Photos



Plan View



Photo No. 1



Photo No. 2



Photo No. 3



Photo No. 4



Photo No. 5



Photo No. 6



Photo No. 7



Photo No. 8



Photo No. 9



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Appendix Ic of RNTPC
Paper No. A/NE-LYT/816B



宋梓華
Sung Tze Wah
FRICS FHKIS MSISV MCIREA ACI Arb RPS (GP)

李霧儀
Lee Mo Yi
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Consultant :

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潘孝維
Pun How Wai
MRIBA

By Email

Date : 22 February 2024
Your Ref.: TPB/A/NE-LYT/816
Our Ref. : LDS/PLAN/6915

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong



Dear Sir/Madam,

Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(Application No. A/NE-LYT/816)

We refer to the comments from the Lands Department and Highways Department on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at 2877-1636.

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Encl.

c.c. DPO/STN (Attn.: Ms. Carmen Cheung) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Department on Planning Application No. A/NE-LYT/816 (22 February, 2024)

COMMENTS	RESPONSES
1. District Lands Office/North, Lands Department	
<u>Part A: General Comments</u>	
My comments/observations based on the applicant's information are as follows:	
1. The application site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land (GL) is granted to the application site.	1. Noted.
2. I must point out that the following irregularities have been detected by this office:	2. Noted.
(a) <u>Unauthorized structures within the said private lots</u> There are unauthorized structures on the private lots. The lot owners should immediately rectify the lease breaches and this office reserves the rights to take necessary lease enforcement action against the breaches without further notice.	(a) According to our recent site inspection on 8.1.2024, there are no unauthorized structures erected on the private lots involved. The Application Site is currently vacant and site photos showing the existing condition of the Application Site are attached for your reference (see Annex 1). The Applicant will apply for Short Term Waiver (STW) for the proposed temporary structures to be erected on the Application Site should this application be approved.
(b) <u>Unlawful occupation of Government land</u> The GL within the application site (about 263m ² as mentioned in the application form) and the adjoining GL not covered by the planning application have been fenced off without any	(b) The existing fencing was erected at the time of the previous approved application (No. A/NE-LYT/741) by the previous occupier and based on the last approved application boundary. The Applicant has not moved the existing fencing since the last approval. Should this

COMMENTS	RESPONSES
<p>permission. Any occupation of GL, without Government's prior approval is an offence under Cap. 28. This office reserves the rights to take necessary land control action against the illegal occupation of Government land without further notice.</p>	<p>application be approved, the Applicant will appoint a land surveyor to set out the application boundary on site and rectify the existing fencing. The Applicant will also apply for Short Term Tenancy (STT) for the use of Government land (GL) within the Application Site.</p>
<p>3. The lot owners shall cease the illegal occupation of the GL at the southwestern corner immediately and include the GL not covered by the subject planning application in the subject planning application for further consideration by the relevant departments and, subject to the approval of the Town Planning Board to the planning application which shall have reflected the rectification or amendment as aforesaid required, apply to this office for a Short Term Waiver (STW) and Short Term Tenancy (STT) to permit the structures erected/to be erected and the occupation of the GL. The application for STW and STT will be considered by the Government in its capacity as landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate to be imposed by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structures will be considered.</p>	<p>3. Compared with last application, the Applicant will minimize the use of GL. The Applicant will only use the GL as included in the Application Site and no additional GL will be occupied. Should this application be approved, the Applicant will appoint a land surveyor to set out the application boundary on site and rectify the existing fencing.</p> <p>As discussed with Food and Environmental Hygiene Department on 21.2.2024, the Applicant will exclude the existing Refuse Collection Point (RCP) on GL from the Application Site (see Figure 2 in Annex 2). A set of updated drawings and the replacement pages of the Application Form containing the updated development parameters are attached as Annex 2 for your reference.</p> <p>As mentioned in our previous responses to comments, the Applicant will continue to allow the refuse collection vehicles to access the site and collect the refuse at the RCP at regular time interval.</p>

COMMENTS	RESPONSES
<p>4. Unless and until the unlawful occupation of GL not covered by the subject application is duly rectified by the lot owners or entirely included in the application, please take it as this office's objection to the application which must be brought to the attention of the Town Planning Board when they considered the application.</p>	<p>4. As mentioned in points 2 and 3 above, the Applicant will rectify the fencing and apply for STT upon obtaining planning approval.</p>
<p>5. Please notify the applicant of our comments/requirements as stated above.</p>	
<p><u>Part B: Advisory Comments</u></p> <p>6. I have other observation/advisory comment as follows:</p> <p>(a) Lot No. 1490 in D.D.76 is partly covered by Modification of Tenancy (MOT) No. 36513 for erection of temporary structures. This office reserves the rights to take enforcement action for irregularities and cancel the MOT as appropriate.</p>	<p>(a) Noted. The Applicant will apply for a STW for the temporary structures to be erected on Lot 1490 in DD76.</p>
<p>2. Highways Department</p>	
<p>(a) The highway design of the run-in/out is missing. Please follow the design of the run-in /out according to HyD standard drawing H1113 and H1114.</p>	<p>(a) The design of existing run-in/out has follow the HyD's standard drawings H1113 and H1114.</p>

Annex 1

Site Photos showing the Existing Condition
of the Application Site

Site Photos showing the Existing Condition of the Application Site



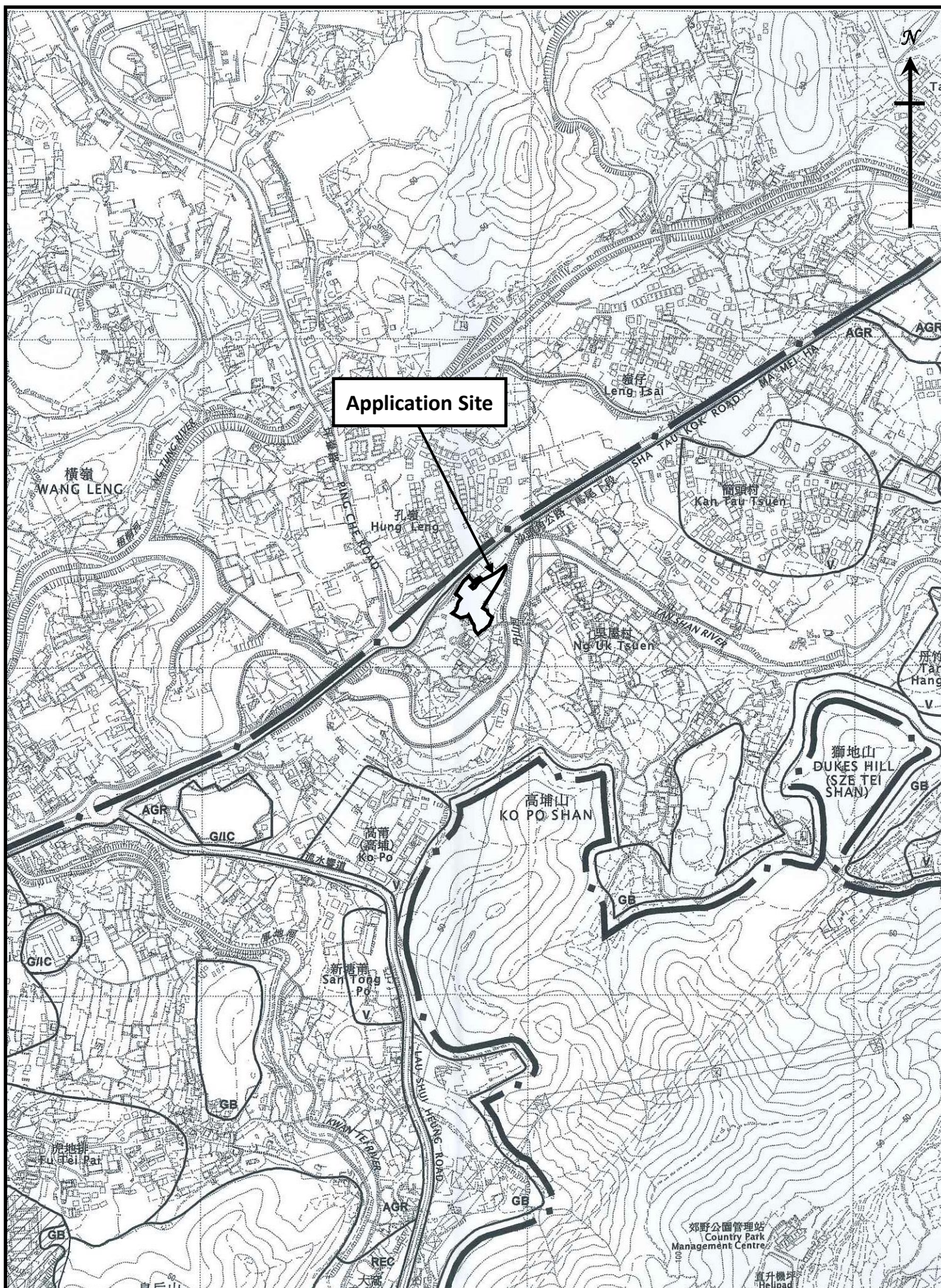
Looking North



Looking South

Annex 2

Updated Drawings and
Replacement Pages of Application Form



Location Plan

(Extract from Approved Lung Yeuk Tau & Kwai Tei South Outline Zoning Plan No. S/NE-LYT/19)

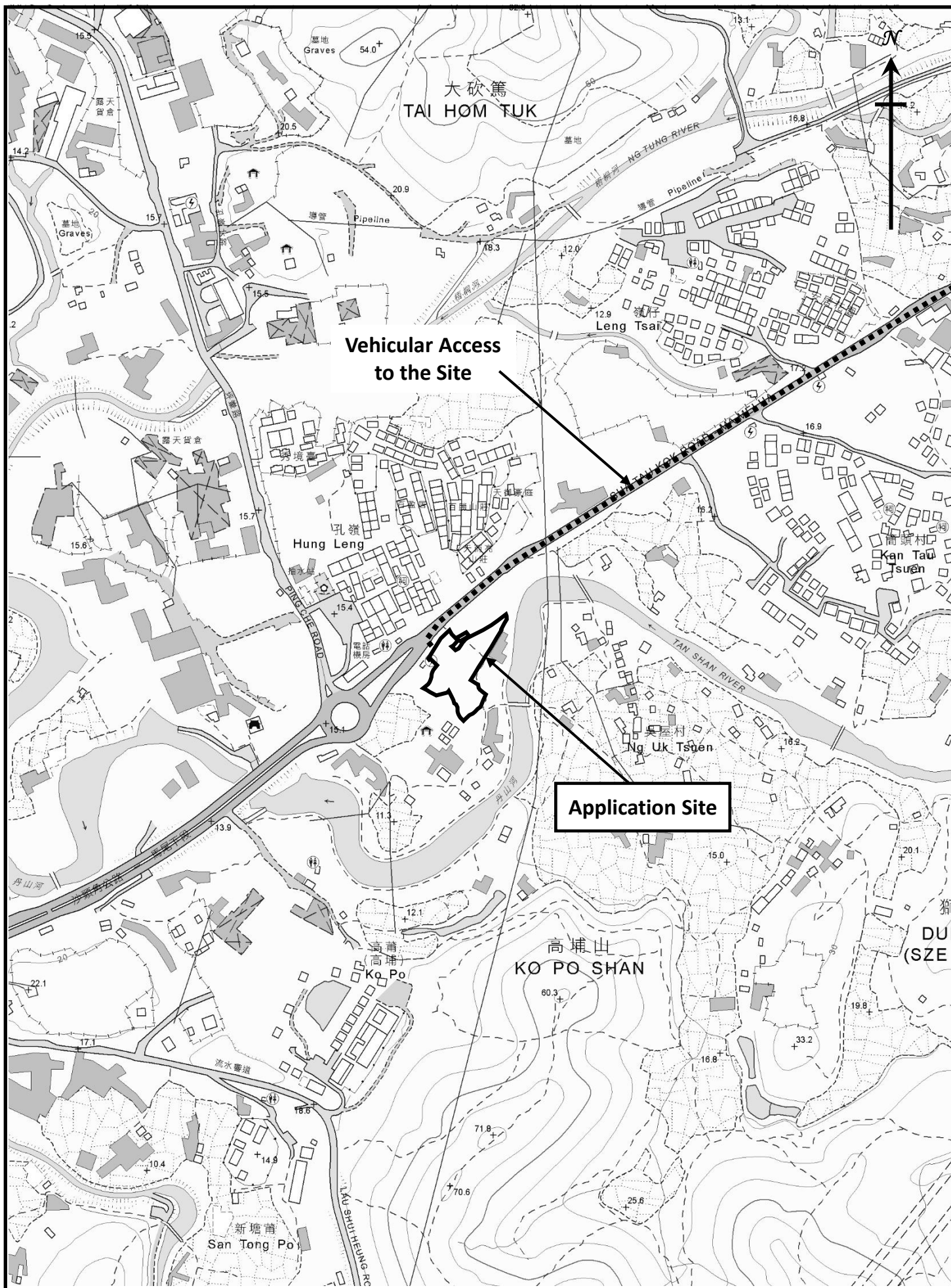
Figure 1

1 : 7500



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Vehicular Access to the Application Site

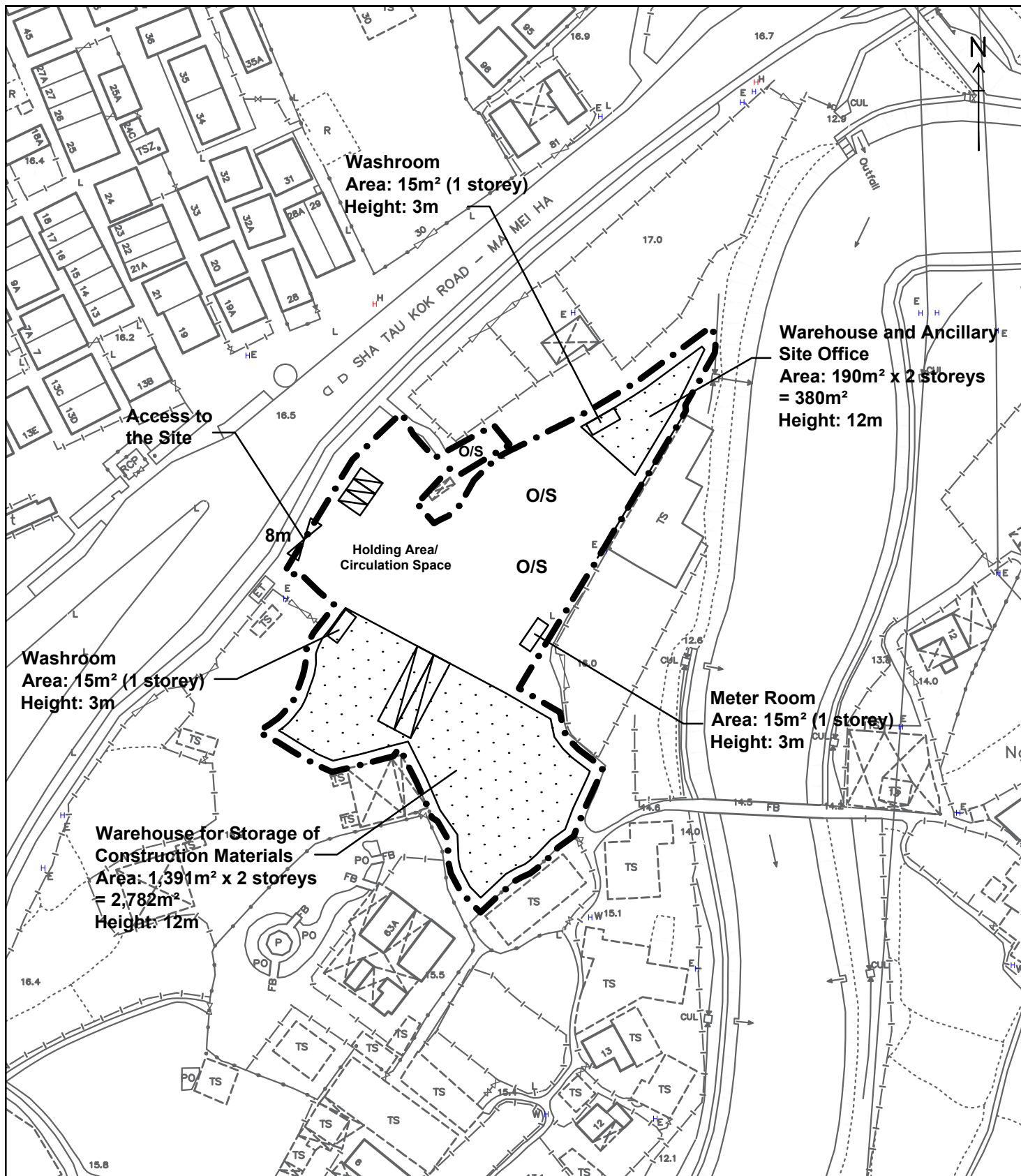
Figure 3

1 : 5000



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Legend:

- Application Site (about 4,033 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

For Identification Purpose

Layout Plan

Figure 4

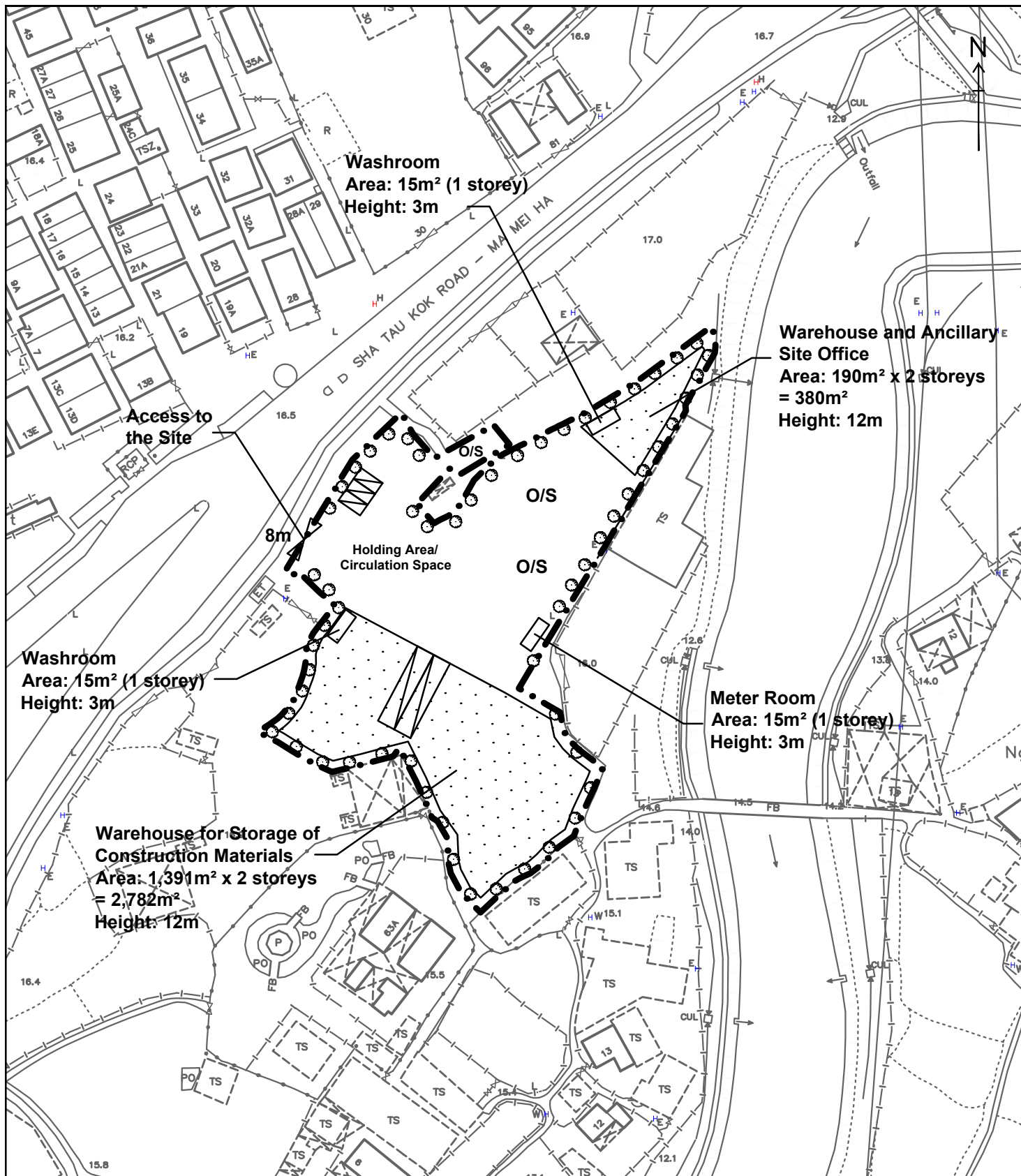
Scale 1:1000




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Existing Trees to be Preserved:	Spacing	Size (Height)	Quantity
*Ficus Microcarpa (細葉榕) 	4m	3 - 6.5m	59

* Landscaping already implemented since previous planning approval (No. A/NE-LYT/586)

For Identification Purpose

Landscape and Tree Preservation Proposal

Figure 5

Scale 1:1000



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For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Wing Fook Land Investment Company Limited (榮福置業投資有限公司) and
Siu Kai Wai Boni (蕭佳惠)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 4,033 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 3,177 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 232 sq.m 平方米 <input checked="" type="checkbox"/> About 約

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	..... 2,437 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	..... 1,596 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	..... 3
Proposed domestic floor area 擬議住用樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	..... 3,177 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	..... 3,177 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) One 2-storey warehouse for storage of construction materials (height: about 12m) with one 1-storey washroom (height: about 3m). One 2-storey warehouse for storage of construction materials and ancillary site office (height: about 12m) with one 1-storey washroom (height: about 3m) 1 1-storey meter room (height: about 3m)	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	..... 3 (2.5m x 5m)
Motorcycle Parking Spaces 電單車車位	..... NA
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... NA
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	..... NA
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	..... NA
Others (Please Specify) 其他 (請列明)	..... NA
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	..... NA
Coach Spaces 旅遊巴車位	..... NA
Light Goods Vehicle Spaces 輕型貨車車位	..... NA
Medium Goods Vehicle Spaces 中型貨車車位	..... NA
Heavy Goods Vehicle Spaces 重型貨車車位	..... NA
Others (Please Specify) 其他 (請列明)	..... 2 (3.5m x 16m)
for Container Vehicles/Medium Goods Vehicles	

Gist of Application 申請摘要 (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
Site area 地盤面積	4,033 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 232 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Lung Yeuk Tau & Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19
Zoning 地帶	Agriculture
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 <input type="checkbox"/> Month(s) 月
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	3,177 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.79 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	<input type="checkbox"/> (Not more than 不多於) m 米
		NA	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	3 - 12	<input checked="" type="checkbox"/> (Not more than 不多於) m 米
		1 - 2	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	39.6 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		3
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (2.5m x 5m) NA NA NA NA NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicles / Medium Goods Vehicles _____ _____		NA NA NA NA NA 2 (3.5m x 16m)



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趙慧姿
Chiu Wai Chi
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MHKIE MSOE FCI MCI Arb MSc

劉志光
Lau Chi Kwong
FHKIS FRICS ALS MHKIS RPS(LS) MSc

潘孝維
Pun How Wai
MRIBA

By Email

Date : 29 February 2024
Your Ref.: TPB/A/NE-LYT/816
Our Ref. : LDS/PLAN/6915

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(Application No. A/NE-LYT/816)

We refer to the comments from the Transport Department and Urban Design and Landscape Section, Planning Department on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at 2877-1636.

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Encl.

c.c. DPO/STN (Attn.: Ms. Carmen Cheung) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Department on Planning Application No. A/NE-LYT/816 (29 February, 2024)

COMMENTS	RESPONSES
1. Transport Department	
(a) The applicant should clearly indicate the vehicular access of the proposed development in the drawing for our ease of reference and further review; and	(a) Please refer to the blow-up plan (see Figure 4B in Annex 1) showing the vehicular access of the proposed development. The proposed vehicular access is 8m wide and all vehicles from the run in/out will be restricted to “Left Turn” only.
(b) Based on the documents and drawing available at the moment, it seems that the vehicular access of the proposed development is close to the existing crossing with islands and the bus stop (southbound) on Sha Tau Kok Road - Ma Mei Ha. The applicant should further demonstrate how the pedestrian, traffic and transport operation would not be affected for our further consideration.	(b) According to the swept path analysis for heavy goods vehicle attached (see Figure 4C in Annex 1), the getting in/out of vehicles will not affect the existing crossing with islands and the bus stop (southbound) on Sha Tau Kok Road – Ma Mei Ha. A pedestrian path for staff and visitors of 1.5m will be provided at the southwest side of the vehicular access. Another pedestrian access/path will also be reserved along the southwestern boundary within the Application Site for local villagers from Sha Tau Kok Road – Ma Mei Ha to the village settlements in Ng Uk Tsuen. As such, the Applicant will provide separate vehicular and pedestrian access to ensure pedestrian safety.
(c) Referring to response-to-comment table Item 4(b), please advise and illustrate on plan what measures would be adopted to restrict the vehicles leaving the site to left turning only;	(c) A left-turn road sign will be marked on the entrance of the ground and a “No right-turn” sign will be posted at a prominent location of the entrance to restrict the vehicles leaving the site to left turning only (see Figure 4B in Annex 1).
(d) Referring to the Layout Plan in Annex 1, please state the clear width of the proposed pedestrian path for local villagers and justify whether the clear width is sufficient for local villagers.	(d) The Applicant will reserve a pedestrian path of not less than 1m for local villagers and the warehouse will be set back to allow sufficient space for local villagers. The width of this pedestrian path is similar to the width of existing footpath outside the Application Site leading to Ng Uk Tsuen.

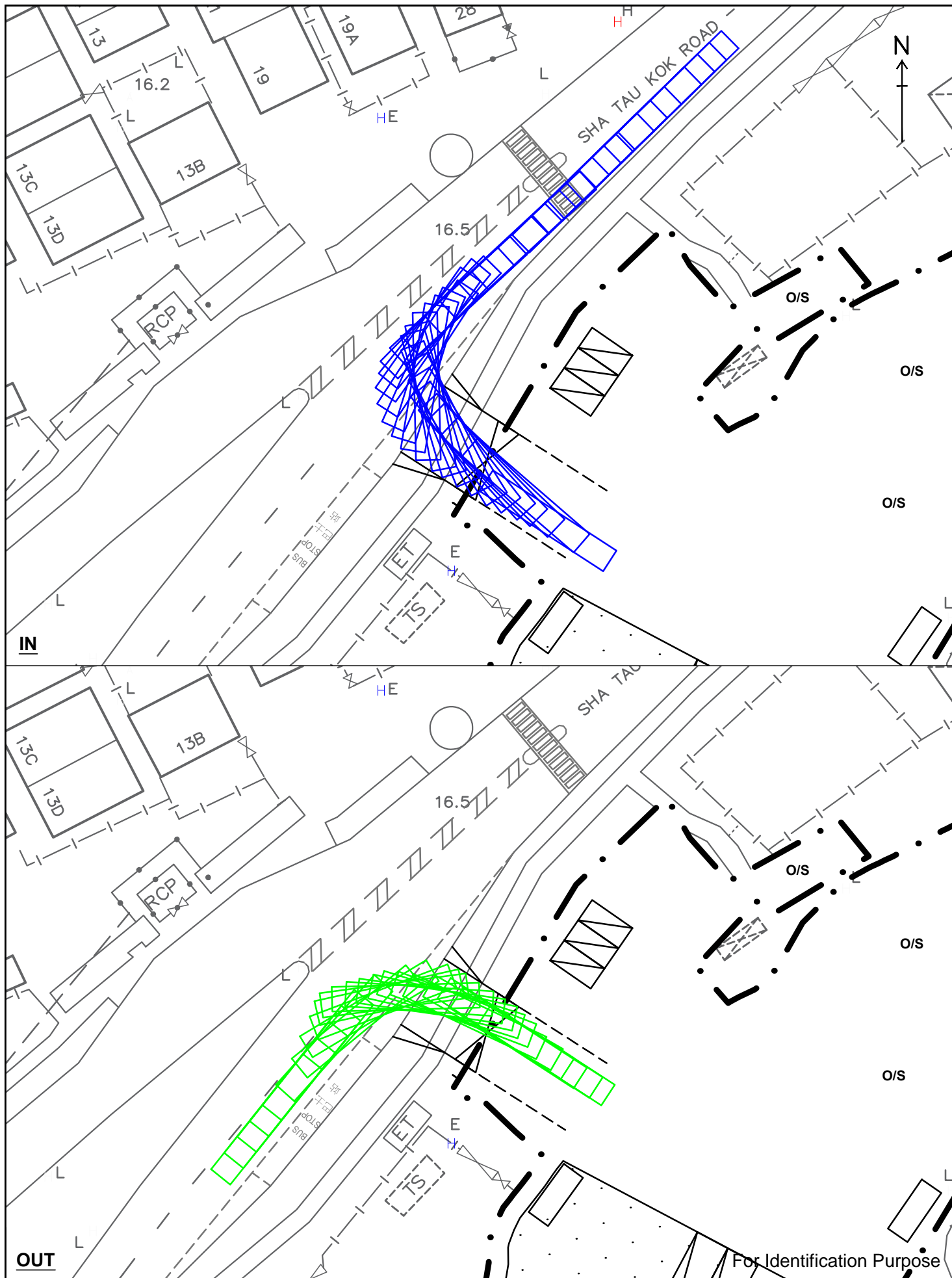
COMMENTS	RESPONSES
(e) Referring to the plan for the Landscape and Tree Preservation Proposal in Annex 2, please clarify whether the existing trees at the western side of the land lot will clash with the proposed pedestrian path.	(e) The Applicant will reserve a pedestrian path of not less than 1m for local villagers. As such, the pedestrian path for local villagers will not clash with the existing trees (see Section in Figure 4D attached).
(f) The applicant shall advise the provision and management of pedestrian facilities to ensure pedestrian safety;	(f) The pedestrian facilities will be provided, managed and maintained by the Applicant at their own cost.
2. Urban Design & Landscape Section, Planning Department	
(a) Having reviewed the submitted information and RtC, 59 trees (i.e. <i>Ficus microcarpa</i>) within the site as shown in Figure 5 are proposed to be preserved. All structures are proposed to be set back 2m from the site boundary for tree preservation and provision of drainage facilities.	(a) Noted.
(b) The applicant is advised to indicate the viewpoint location and angle of the provided tree photos in Annex 2.	(b) The viewpoint location and angle of the tree photos are provided in Annex 2 attached.
(c) The applicant is advised to provide a minimum set back from the trunk of existing trees instead of from the site boundary for the proposed structures/ car parks to avoided damage to the 59 nos. of existing trees along site boundary within the site.	(c) Noted. Sufficient spacing will be reserved for the existing trees to avoid damage to the 59 nos. of existing trees. The spacing to be reserved will be provided at detailed design stage.

Annex 1

Figure 4B Vehicular and Pedestrian Access

Figure 4C Swept Path Analysis – Heavy Goods Vehicle

Figure 4D Section



Swept Path Analysis - HGV

Scale 1 : 500

Figure 4C

Fencing

Warehouse

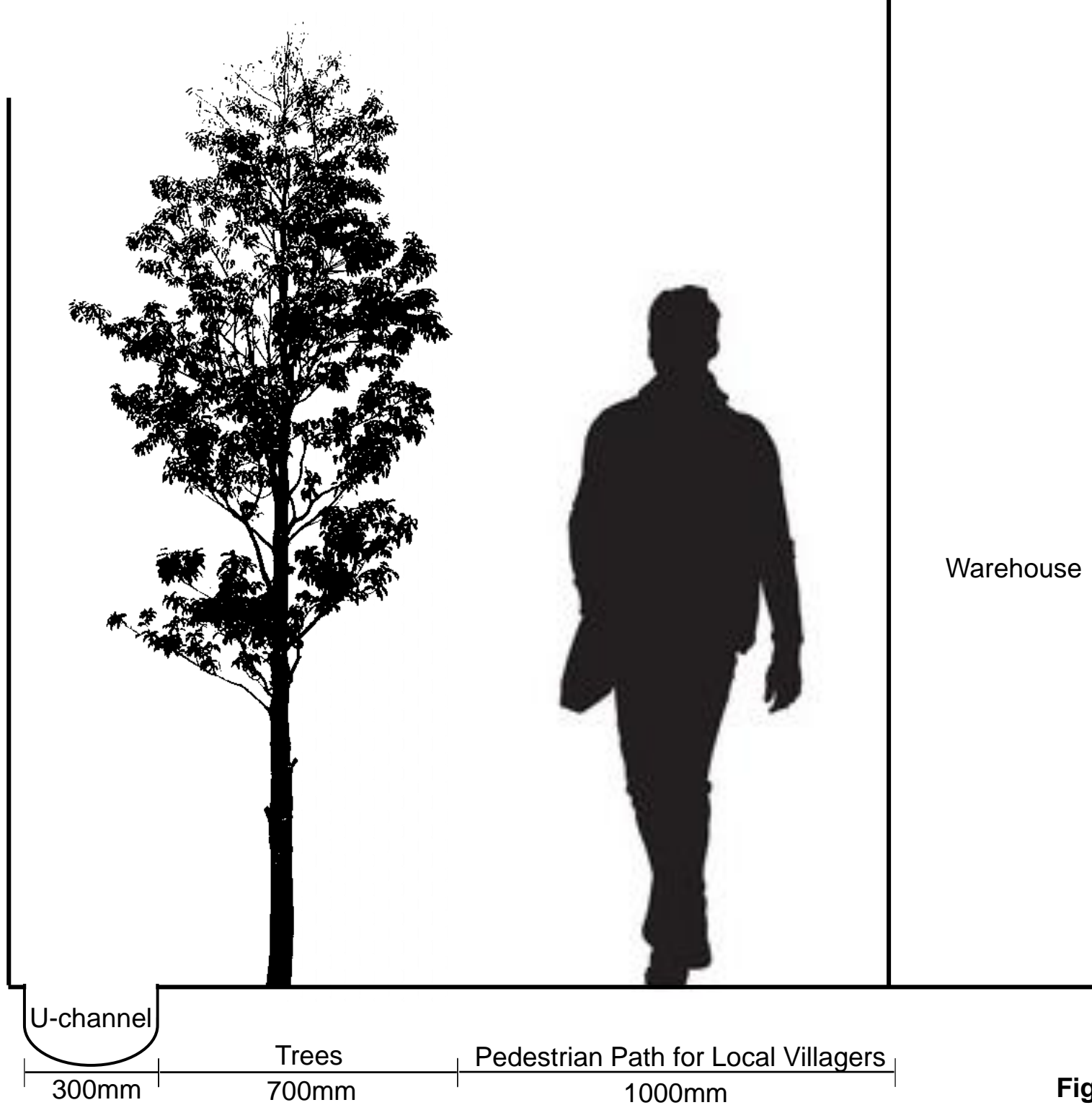
U-channel

300mm

Trees
700mm

Pedestrian Path for Local Villagers
1000mm

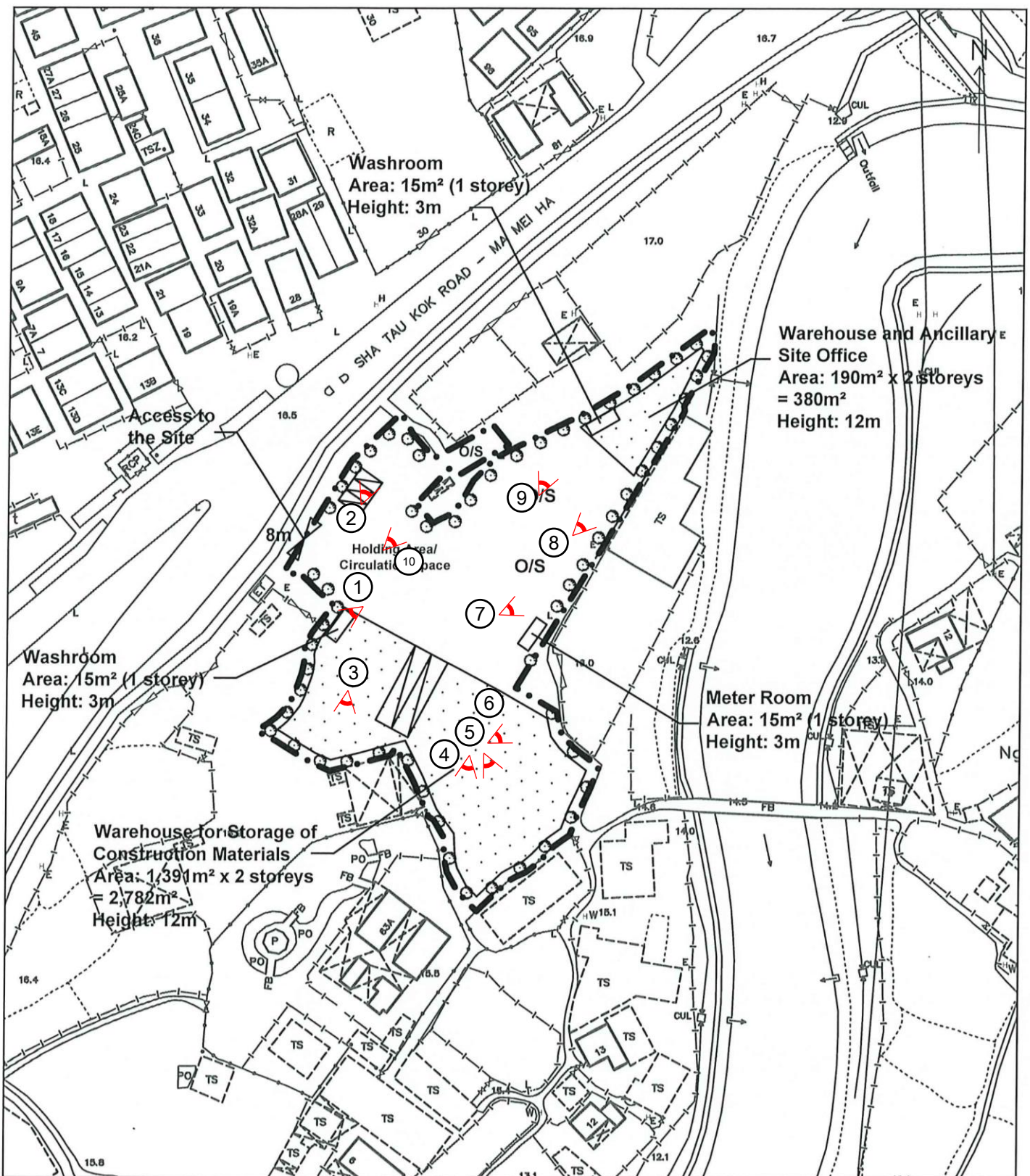
Figure 4D Section




Annex 2

Viewing Points of Tree Photos and
Photos of Existing Trees

Viewing Points of Tree Photos



Viewing Points of Tree Photos

Existing Trees to be Preserved:	Spacing	Size (Height)	Quantity
*Ficus Microcarpa (細葉榕) 	4m	3 - 6.5m	59

* Landscaping already implemented since previous planning approval (No. A/NE-LYT/586)

For Identification Purpose

Landscape and Tree Preservation Proposal

Figure 5

Scale 1:1000



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Existing Condition of Trees within the Application Site



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



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Appendix 1e of RNTPC
Paper No. A/NE-LYT/816B



宋梓華
Sung Tze Wah
FRICS FHKIS MSISV MCIREA ACI Arb RPS (GP)

李霧儀
Lee Mo Yi
MPIA RPP MUDD BA (Hons)

吳恆廣
Ng Hang Kwong, BBS
FRICS FHKIS RPS (GP)
Honorary World Valuer (WAVO)

林桂金
Daniel K.K. Lam
MRICS MHKIS MCIREA RPS(GP) BSc

宋樹鴻
Sung Shu Hung
FRICS MHKIS RPS (GP) MCIREA
MHIREA BSc (Hons)

趙慧姿
Chiu Wai Chi
MRICS MSc BBus (MK1g)

Consultant :

陳志凌
Elwyn C. Chan
RPE PMgr CEnv FIHE FCI OB MICE
MHKIE MSOE FCMi MCI Arb MSc

劉志光
Lau Chi Kwong
FHKIS FRICS ALS MHKIS RPS(LS) MSc

潘孝維
Pun How Wai
MRIBA

By Email

Date : 27 March 2024
Your Ref.: TPB/A/NE-LYT/816
Our Ref. : LDS/PLAN/6915

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong



Dear Sir/Madam,

**Application for Planning Permission for Proposed Temporary Warehouse and
Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2,
1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land,
Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.**
(Application No. A/NE-LYT/816)

We refer to the comments from Urban Design and Landscape Section, Planning Department, Environmental Protection Department and Lands Department on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at 2877-1636.

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Encl.

c.c. DPO/STN (Attn.: Ms. Carmen Cheung) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Department on Planning Application No. A/NE-LYT/816 (27 March, 2024)

COMMENTS	RESPONSES
1. Urban Design & Landscape Section, Planning Department	
<p>(a) Our previous comments to your office via email dated 27.2.2024 have not been properly addressed and recapped as below.</p> <ul style="list-style-type: none"> - The applicant is advised to provide a minimum set back from the truck of existing trees instead of from the site boundary for the proposed structures/ car parks to avoid damage to the 59 nos. of existing trees along site boundary within the site. Besides, adequate distance between the existing trees and the pedestrian path should be allowed to minimize the conflict of tree canopy and the pedestrian. 	<p>(a) A minimum of 1-1.5m set back from the truck of existing trees will be provided to avoid damage to the 59 nos. of existing trees. In addition, adequate distance between the existing trees and the pedestrian path will be provided (see our response in (b) below) and regular tree pruning will be conducted by the Applicant to minimize the conflict of tree canopy and the pedestrian.</p>
<p>(b) Figure 4D:- It is noted that tree planting area of 700mm width is proposed for preserved trees. The applicant should provide minimum 1m wide continuous planting strip for tree planting areas in order to ensure healthy growth and stability of the trees.</p>	<p>(b) Noted. A minimum 1m wide planting strip will be provide for tree planting areas (see Figure 4D in Annex 1 attached). The proposed warehouse at southern side of the Application Site will be further setback to provide adequate distance between the existing trees and the pedestrian path. The updated Layout Plan, Landscape and Tree Preservation Proposal and replacement pages of the Application Form are attached for your reference (see Annex 1).</p>
2. Environmental Protection Department	
<p>(a) “We have a textual comment on the planning statement. Please be advised that there is existing public sewerage (i.e. FMH1003701) in the vicinity of the application site. The statement of "septic tank will be installed to treat</p>	<p>(a) Noted and Paragraph 4.7 (e) of the Planning Statement should be updated as follows: “On-site washrooms will be provided. Septic tank will be installed to treat the sewage generated from the Application Site. The Applicants</p>

COMMENTS	RESPONSES
<p>the sewage generated from the Application Site <u>as no public sewerage connection is available</u>" in Section 4.7(e) is factually incorrect, please revise accordingly.</p>	<p>will follow ProPECC PN 1/23 to prevent any water pollution.”</p>
<p>(b) It is noted that the applicant has undertaken to provide the following mitigation measures to minimize potential environmental nuisance to nearby sensitive receivers:</p> <p>(a) No workshop activities will be conducted at the application site.</p> <p>(b) 2.5m high corrugated metal fencing will be erected along the site boundary.</p> <p>(c) All loading/unloading activities will be conducted within the warehouse.</p> <p>(d) The warehouse structure will have a surface mass density of at least 7kg/m², and windows of the warehouse will be kept closed at all time.</p> <p>(e) The operating hours will be restricted from 8am to 7pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays.</p> <p>(f) No more than 3 round trips by goods vehicles daily to minimize the traffic and noise impact.</p>	<p>(b) Noted.</p>
<p>3. Lands Department</p>	
<p>(a) This office did not agree to the statement “According to our recent site inspection on 8.1.2024, there are no unauthorized structures erected on the private lots involved. The Application Site is currently vacant...” Site inspection conducted by this office on 9.1.2024 revealed that there were unauthorized structures erected on application site. One of the</p>	<p>(a) Noted. The unauthorized structure (the meter room) erected on Lot 1494 in DD76 has been demolished (see Photos 1-2 in Annex 2). While the temporary structures on Lot 1490 in DD76 were erected based on Modification of Tenancy (MOT) No. 36513 for erection of temporary structures for the purposes of dwelling and shade, these temporary structures will be demolished to facilitate the proposed</p>

COMMENTS	RESPONSES
<p>unauthorized structures was captured in the right hand side of the photo (“Looking North”) provided by the applicants.</p>	<p>development. There are no other unauthorized structures erected within the Application Site.</p>
<p>(b) The applicants should rectify the lease breaches and immediately cease illegal occupation of Government Land (GL) without delay. The applicant should not first illegally occupy GL and then make application. This office reserves the rights to take necessary lease enforcement action against the breaches and land control action against any illegal occupation of GL without separate notice.</p>	<p>(b) There are openings on existing fencing near the Government land and other areas along the site boundary (see Photos 3-7 taken on 26.3.2024 in Annex 2). People can access to the Government Land at ease and therefore there is no illegal occupation of Government land. Upon approval of this application, the Applicant will apply for a Short Term Tenancy on the use of Government land within the Application Site.</p>

Annex 1

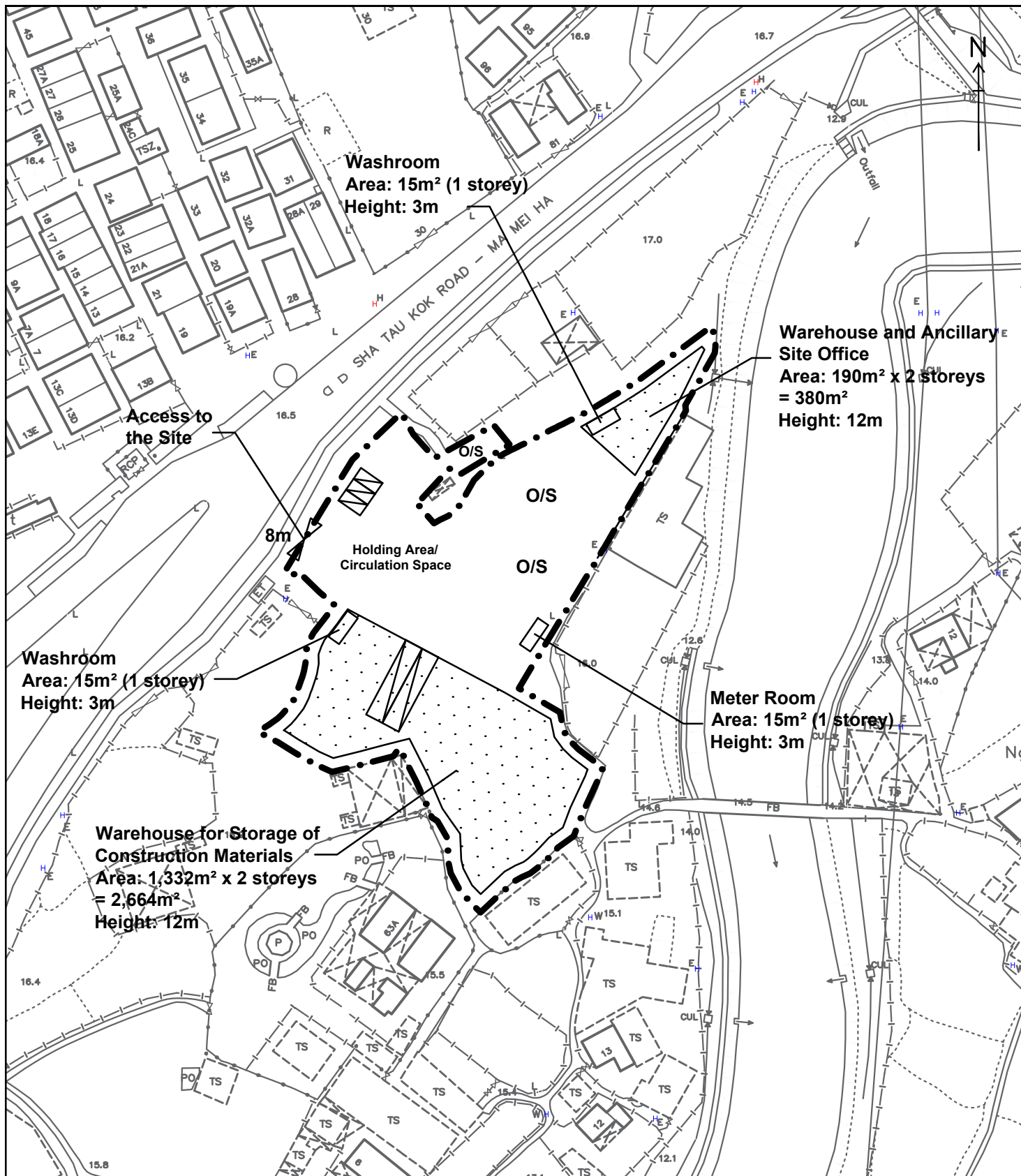
Figure 4 Revised Layout Plan

Figure 4A Revised Layout Plan showing the Pedestrian Path

Figure 5 Revised Landscape and Tree Preservation Proposal

Figure 4D Section

Replacement pages of the Application Form



Legend:

- Application Site (about 4,033 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

5.3.2024

For Identification Purpose

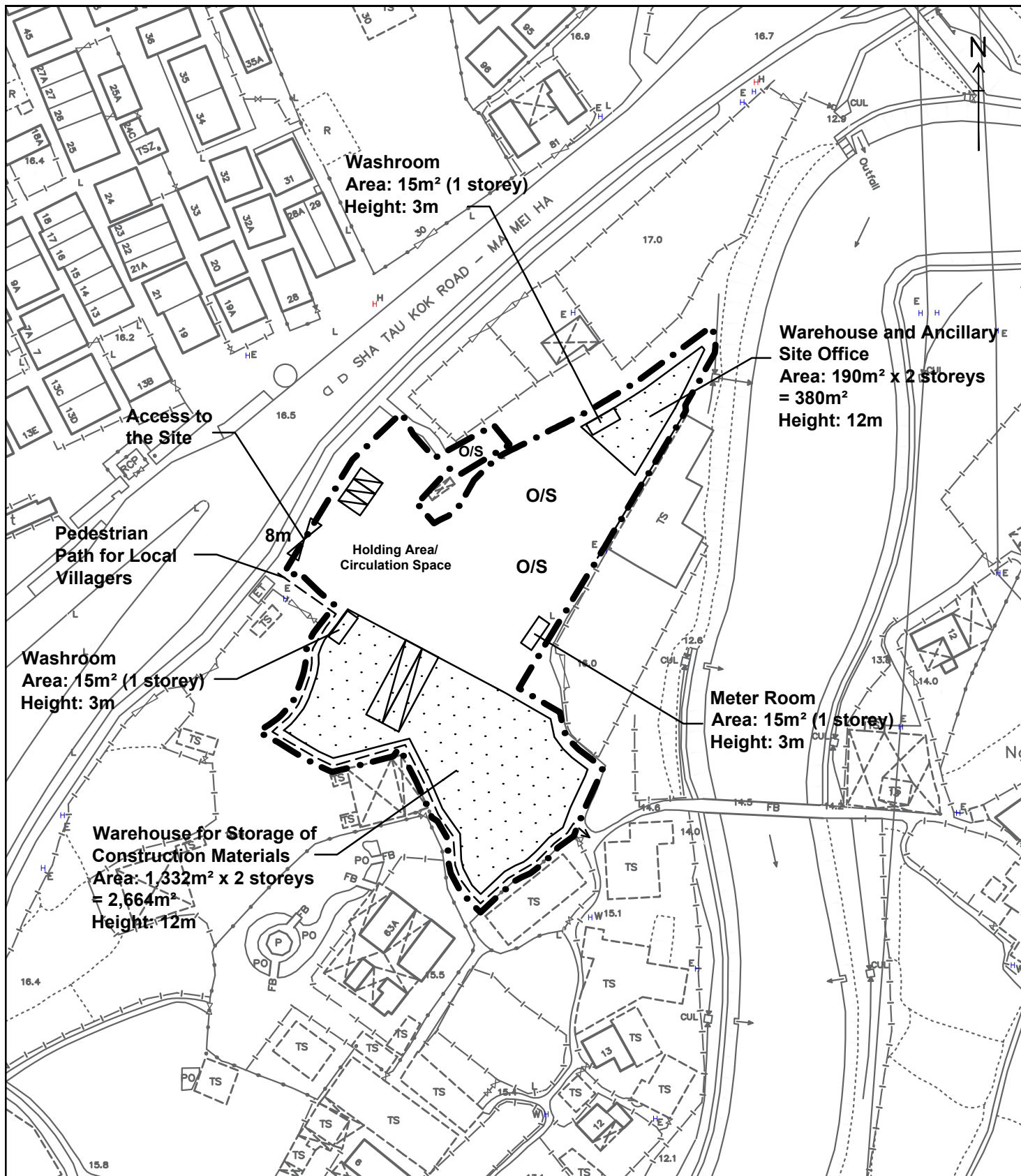
Layout Plan

Figure 4

Scale 1:1000



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Legend:

- Application Site (about 4,033 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

5.3.2024

For Identification Purpose

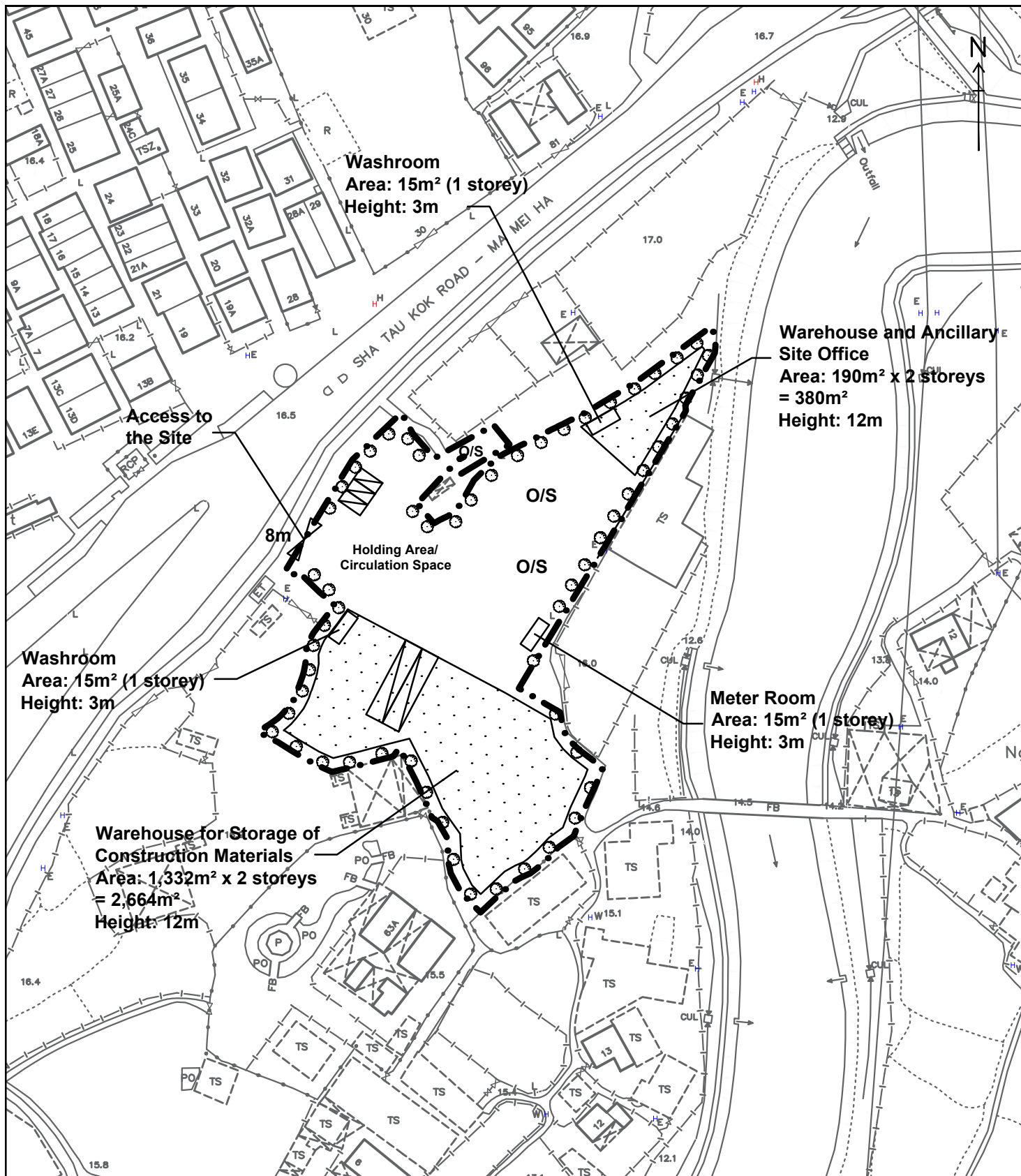
Layout Plan


Figure 4A

Scale 1:1000



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Existing Trees to be Preserved:	Spacing	Size (Height)	Quantity
*Ficus Microcarpa (細葉榕) 	4m	3 - 6.5m	59

* Landscaping already implemented since previous planning approval (No. A/NE-LYT/586)

5.3.2024
For Identification Purpose

Landscape and Tree Preservation Proposal

Figure 5

Scale 1:1000



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Estate Agency Licence No. C-006328

Fencing

Warehouse

U-channel

300mm

Trees
1000mm

Pedestrian Path for Local Villagers
1000mm

Figure 4D Section



For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Wing Fook Land Investment Company Limited (榮福置業投資有限公司) and
Siu Kai Wai Boni (蕭佳惠)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

3. Application Site 申請地點

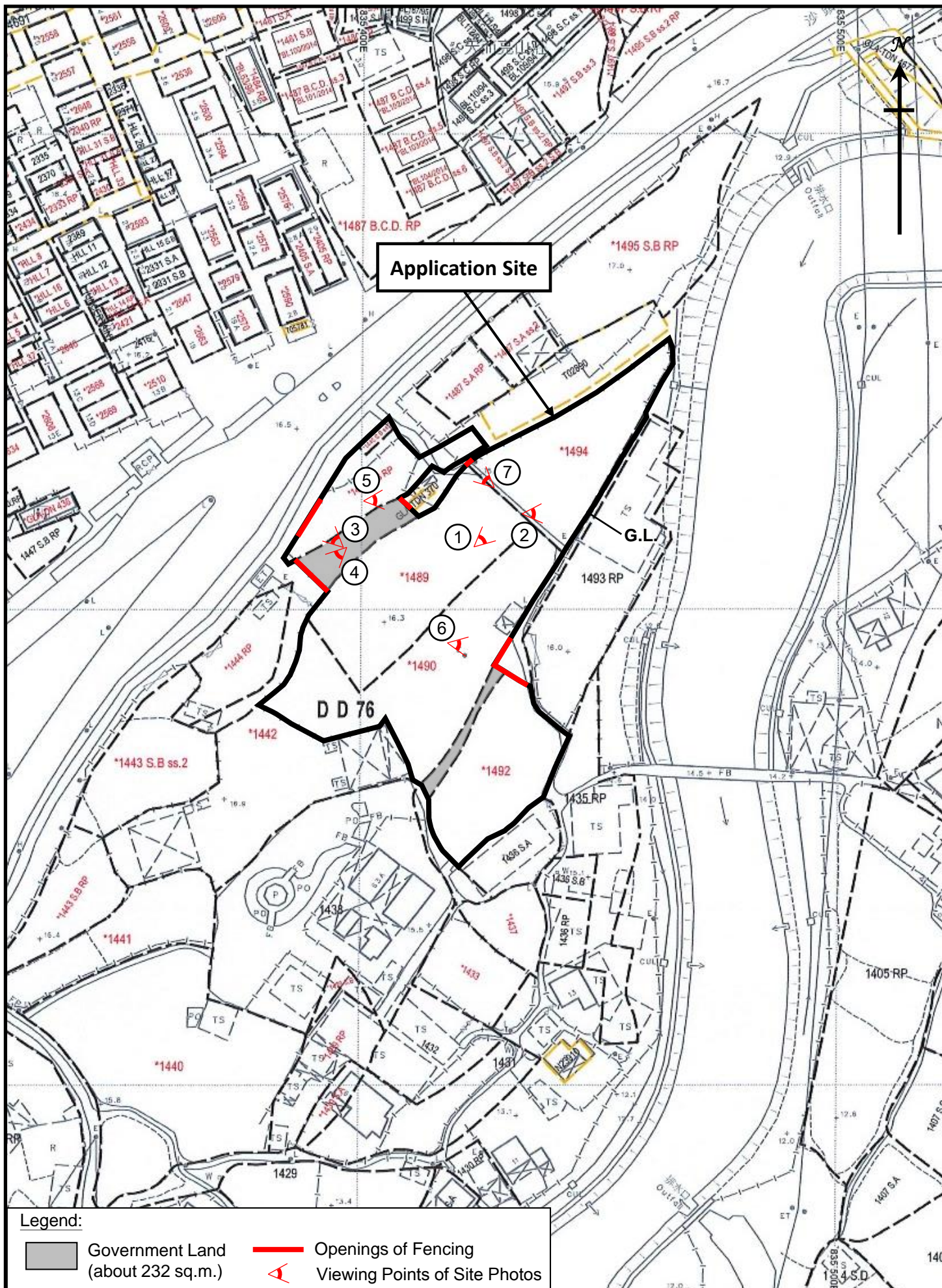
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 4,033 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 3,059 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 232 sq.m 平方米 <input checked="" type="checkbox"/> About 約

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	2,496 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	1,537 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	3
Proposed domestic floor area 擬議住用樓面面積	NA .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	3,059 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	3,059 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) One 2-storey warehouse for storage of construction materials (height: about 12m) with one 1-storey washroom (height: about 3m) One 2-storey warehouse for storage of construction materials and ancillary site office (height: about 12m) with one 1-storey washroom (height: about 3m) 1 1-storey meter room (height: about 3m)	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	3 (2.5m x 5m)
Motorcycle Parking Spaces 電單車車位	NA
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	NA
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	NA
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	NA
Others (Please Specify) 其他 (請列明)	NA
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	NA
Coach Spaces 旅遊巴車位	NA
Light Goods Vehicle Spaces 輕型貨車車位	NA
Medium Goods Vehicle Spaces 中型貨車車位	NA
Heavy Goods Vehicle Spaces 重型貨車車位	NA
Others (Please Specify) 其他 (請列明)	2 (3.5m x 16m)
for Container Vehicles/Medium Goods Vehicles	

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	3,059 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.76 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	<input type="checkbox"/> m 米 (Not more than 不多於)
		NA	<input type="checkbox"/> Storeys(s) 層 (Not more than 不多於)
	Non-domestic 非住用	3 - 12	<input checked="" type="checkbox"/> m 米 (Not more than 不多於)
		1 - 2	<input checked="" type="checkbox"/> Storeys(s) 層 (Not more than 不多於)
(iv) Site coverage 上蓋面積	38 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		3
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (2.5m x 5m) NA NA NA NA NA
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicles / Medium Goods Vehicles _____ _____		NA NA NA NA NA 2 (3.5m x 16m)

Annex 2

Site Photos



Application Site

1
2
3
4
5
6
7

G.L.

D D 76

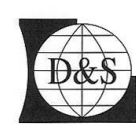
Legend:

- Government Land (about 232 sq.m.)
- Openings of Fencing
- Viewing Points of Site Photos

Openings of Fencing

Annex 2

1 : 1000



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Site Photos taken on 26.3.2024



Photo 1



Photo 2 The meter room erected on Lot 1494 in DD76 has been demolished

Site Photos – Openings of Fencing



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Carman Chui Ying CHEUNG/PLAND

寄件者: Cannis Lee < >
寄件日期: 2024年04月08日星期一 14:55
收件者: Carman Chui Ying CHEUNG/PLAND
副本: Johnny Chung Yin LAM/PLAND; Katie Yuet Yee LEUNG/PLAND; tpbpd/PLAND
主旨: 回覆: Application No. A/NE-LYT/816
附件: Revised page of Planning Statement.pdf

類別: Internet Email

Dear Carman,

In response to the comments from EPD, we provide herewith a revised page of the Planning Statement for your review.

Should you have any queries, please feel free to call me at 2877-1636. Thank you.

Best Regards,
Cannis Lee

Lawson David & Sung Surveyors Ltd.
Room 1601 South China Building
1-3 Wyndham Street, Central, Hong Kong
Tel : + 852 2877 1636
Fax : + 852 2524 0355
<http://www.lawsonsurveyors.com>

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. The content and opinions contained in this email are not necessarily those of Lawson David & Sung Surveyors Ltd.

If you have received this email in error please contact the sender.

寄件者: Carman Chui Ying CHEUNG/PLAND [mailto:ccycheung@pland.gov.hk]
寄件日期: Monday, 8 April 2024 2:06 pm
收件者: Cannis Lee < >
副本: Johnny Chung Yin LAM/PLAND <jcylam@pland.gov.hk>; Katie Yuet Yee LEUNG/PLAND <kyyleung@pland.gov.hk>
主旨: Re: Application No. A/NE-LYT/816

4.4 Landscape and Tree Preservation

The Application Site is set back from Sha Tau Kok Road – Ma Mei Ha and has been provided with 51 peripheral screen plantings from the previous application (No. A/NE-LYT/741) along the site boundary. The tree species is *Ficus Microcarpa*, which grow to a mature height of 4 to 6.5 metres. The Applicants would preserve the existing trees within the current Application Site as far as practical, which would act as the natural hedges bounding the edge of the development and thus soften the building footprint of the proposed development. As a result, the proposed development would fit well into the setting in the neighborhood without causing any significant visual impact.

4.5 Drainage Proposal

Existing surface U-channels from the last application can be found surrounding the site boundary of the Application Site. For the current application, U-channel with heavy duty steel grating will be provided at the existing ingress/egress point of the Application Site. To prevent the stormwater affecting the adjacent areas, peripheral u-channels and catchpits are provided to cater for the catchments from the Application Site and the adjacent site. A 300mm PVC pipe will be connected to the existing catchpit at the northeastern boundary, which will then divert surface runoff from the Application Site to the existing Tan Shan River. A drainage proposal is submitted (see **Appendix B**) to show the proposed drainage design.

4.6 Fire Service Installations Proposal

To minimize the fire hazard, the Applicants will provide fire service installations to the satisfaction of the Fire Services Department. A fire service installations proposal (see **Appendix C**) is submitted together with this application.

4.7 Environmental Consideration

The nature of the proposed use will merely involve the storage of construction materials. To minimize the possible environmental nuisance, the Applicants will follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and undertake to provide the following mitigation measures:

- (a) No workshop activities will be conducted at the Application Site;
- (b) The existing 2.5m high corrugated metal fencing will be maintained along the site boundary;
- (c) The operating hours will be restricted from 8 am to 7 pm on Mondays to Saturdays and there will be no operation on Sundays and public holidays;
- (d) No more than 3 round trips by goods vehicles daily to minimize the traffic and noise impact;
- (e) On-site washrooms will be provided. Septic tank will be installed to treat the sewage generated from the Application Site. The Applicants will follow ProPECC PN 1/23 to prevent any water pollution.

5. Planning Justifications

5.1 Cater for the Demand of Warehouse and Open Storage Facilities

With the introduction of Northern Metropolis Development Strategy in the recent policy address, it could be assumed that many private land, especially existing warehouse and open storage sites, in the Northern New Territories and North Eastern New Territories will be resumed by the Government



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Appendix Ig of RNTPC
Paper No. A/NE-LYT/816B



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Sung Tze Wah
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潘孝維
Pun How Wai
MRIBA

By Email

Date : 7 May 2024

Your Ref.: TPB/A/NE-LYT/816

Our Ref. : LDS/PLAN/6915

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Application for Planning Permission for Proposed Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 Years at Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(Application No. A/NE-LYT/816)

We refer to the comments from Urban Design and Landscape Section, Planning Department and Transport Department on the captioned application and submit herewith our response in **Table 1** for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at 2877-1636.

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited




Encl.

c.c. DPO/STN (Attn.: Ms. Carmen Cheung) – By Email
Client

Your Assets for Growth

香港中環雲咸街1-3號南華大廈1601室
Room 1601, South China Building, 1-3 Wyndham Street, Central, Hong Kong. Tel: (852) 2877 1636 Fax: (852) 2524 0355
Email: LDS@sung@LawsonSurveyors.com Website: www.LawsonSurveyors.com

Table 1: Responses to Comments from Government Department on Planning Application No. A/NE-LYT/816 (7 May, 2024)

COMMENTS	RESPONSES
1. Urban Design & Landscape Section, Planning Department	
<p>(a) The Applicant is advised to provide minimum 2m set back of proposed structures from the trunk for the 59 nos. of preserved trees (i.e. <i>Ficus microcarpa</i>) that require larger growing and planting space.</p>	<p>(a) The Applicant will provide a minimum of 2m set back of proposed structures from the trunk of existing trees (see the revised Layout Plan, Landscape and Tree Preservation Proposal and Section at Annex 1).</p> <p>In this regard, the area of the proposed warehouses has been reduced and the layout plan showing the pedestrian route and replacement pages of the Application Form are also attached for your reference (see Annex 1).</p>
2. Transport Operations (New Territories) Division, Transport Department	
<p>(a) This Division has reservation to the proposed run-in/run-out from transport operations viewpoint, In view that it would occupy part of the existing bus lay-by which would affect franchised bus/green minibus operations and passenger queueing.</p>	<p>(a) The attached drawing (see Annex 2) showing the actual location of the “Existing Bus Stop” and the “Proposed Run-in/out”. It is observed that the location of the run-in/out is not overlapping the bus stop. Most importantly, there is a very good visibility of motorist from the application site, therefore, the motorist can clearly observe the bus or green minibus and take necessary precaution to prevent conflicting with bus and the passengers.</p> <p>In addition, the Applicant can provide safety guard to control the “in and out traffic” to minimize the conflict.</p>

Annex 1

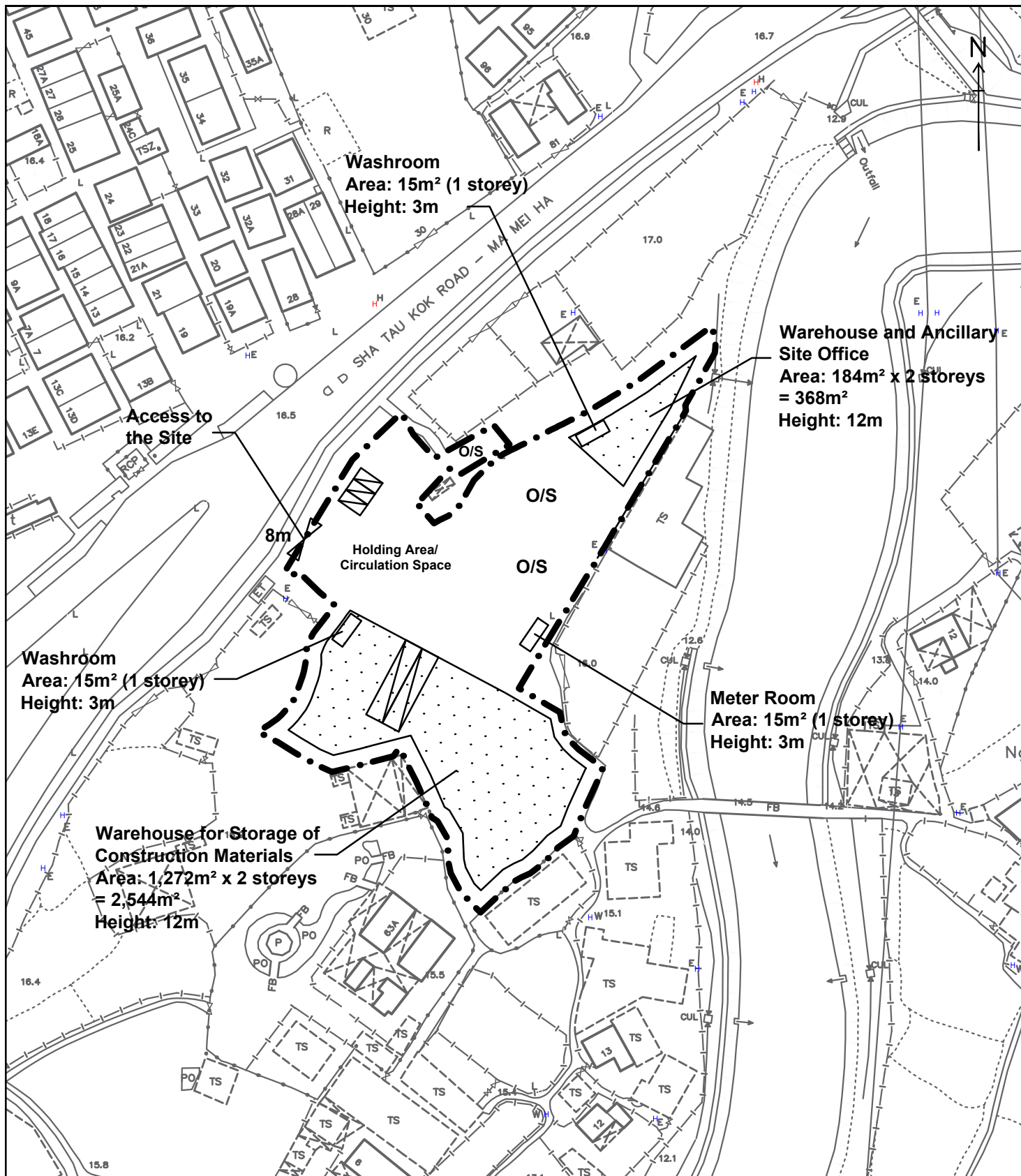
Figure 4 Revised Layout Plan

Figure 4A Revised Layout Plan showing the Pedestrian Path

Figure 5 Revised Landscape and Tree Preservation Proposal

Figure 4D Section

Replacement pages of the Application Form



Legend:

- Application Site (about 4,033 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

3.5.2024

For Identification Purpose

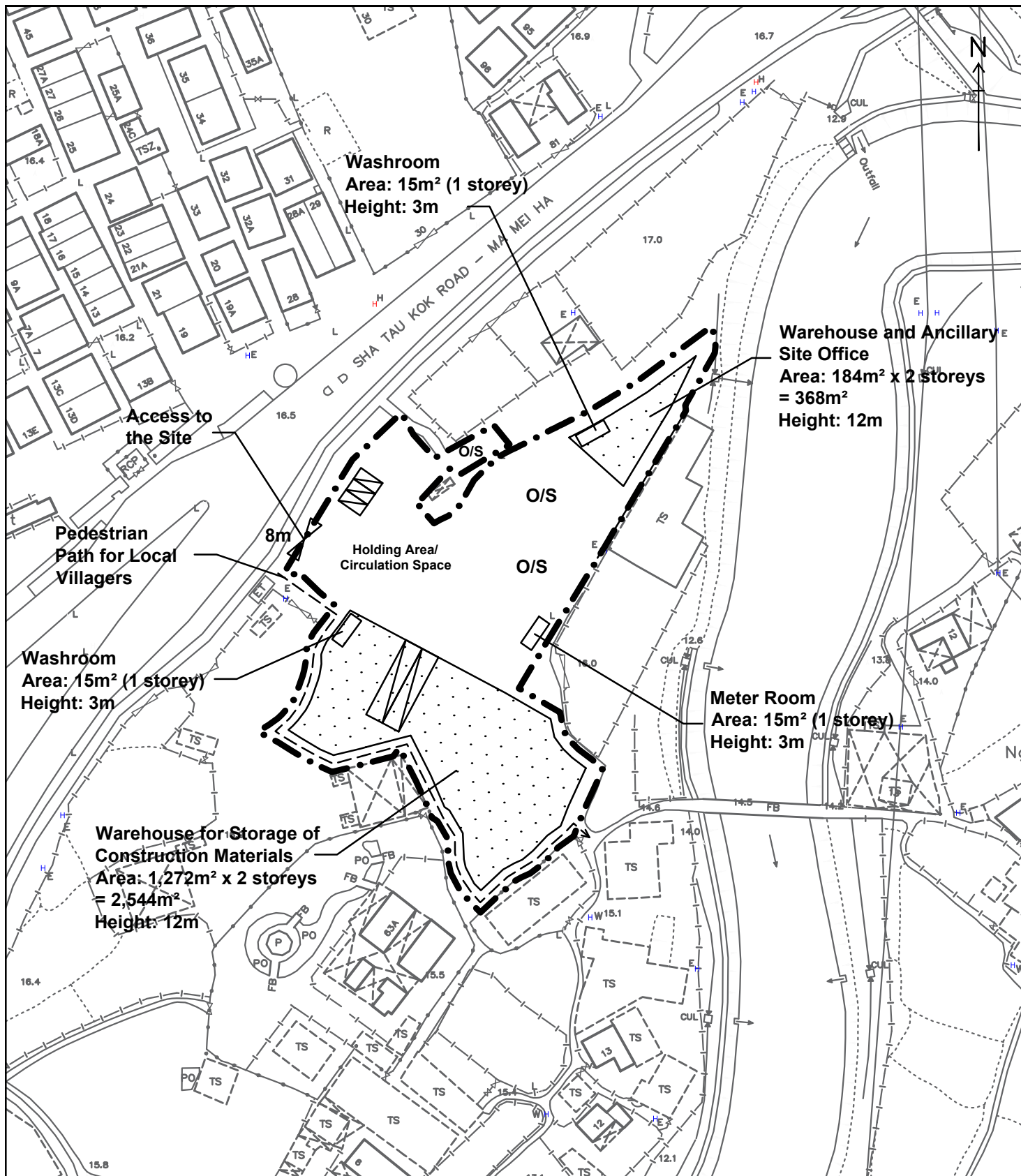
Layout Plan

Figure 4

Scale 1:1000



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Legend:

- Application Site (about 4,033 sq.m.)
- O/S Open Storage of Construction Materials
- Loading/Unloading Spaces for Container Vehicles/Medium Goods Vehicles (3.5m x 16m) (2 nos.)
- Parking Spaces for Staff/Visitors (2.5m x 5m) (3 nos.)

3.5.2024

For Identification Purpose

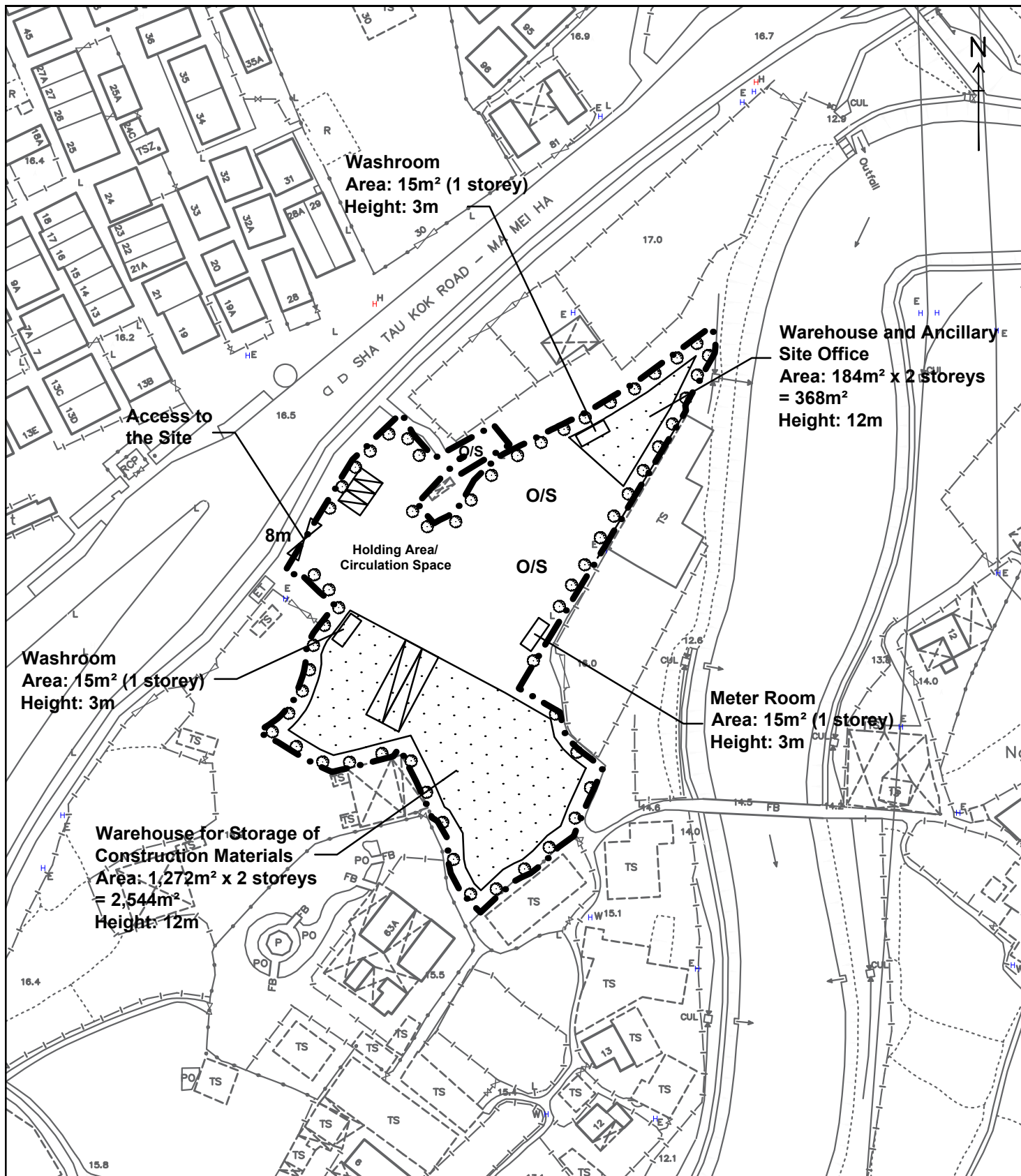
Layout Plan


Figure 4A

Scale 1:1000



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Existing Trees to be Preserved:	Spacing	Size (Height)	Quantity
*Ficus Microcarpa (細葉榕) 	4m	3 - 6.5m	59

* Landscaping already implemented since previous planning approval (No. A/NE-LYT/586)

3.5.2024
For Identification Purpose

Landscape and Tree Preservation Proposal

Figure 5

Scale 1:1000



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Fencing

Warehouse

U-channel

300mm

Trees
1000mm

Pedestrian Path for Local Villagers
(2m set back from the trunk)

2000mm

Figure 4D Section



For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Wing Fook Land Investment Company Limited (榮福置業投資有限公司) and
Siu Kai Wai Boni (蕭佳惠)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

3. Application Site 申請地點

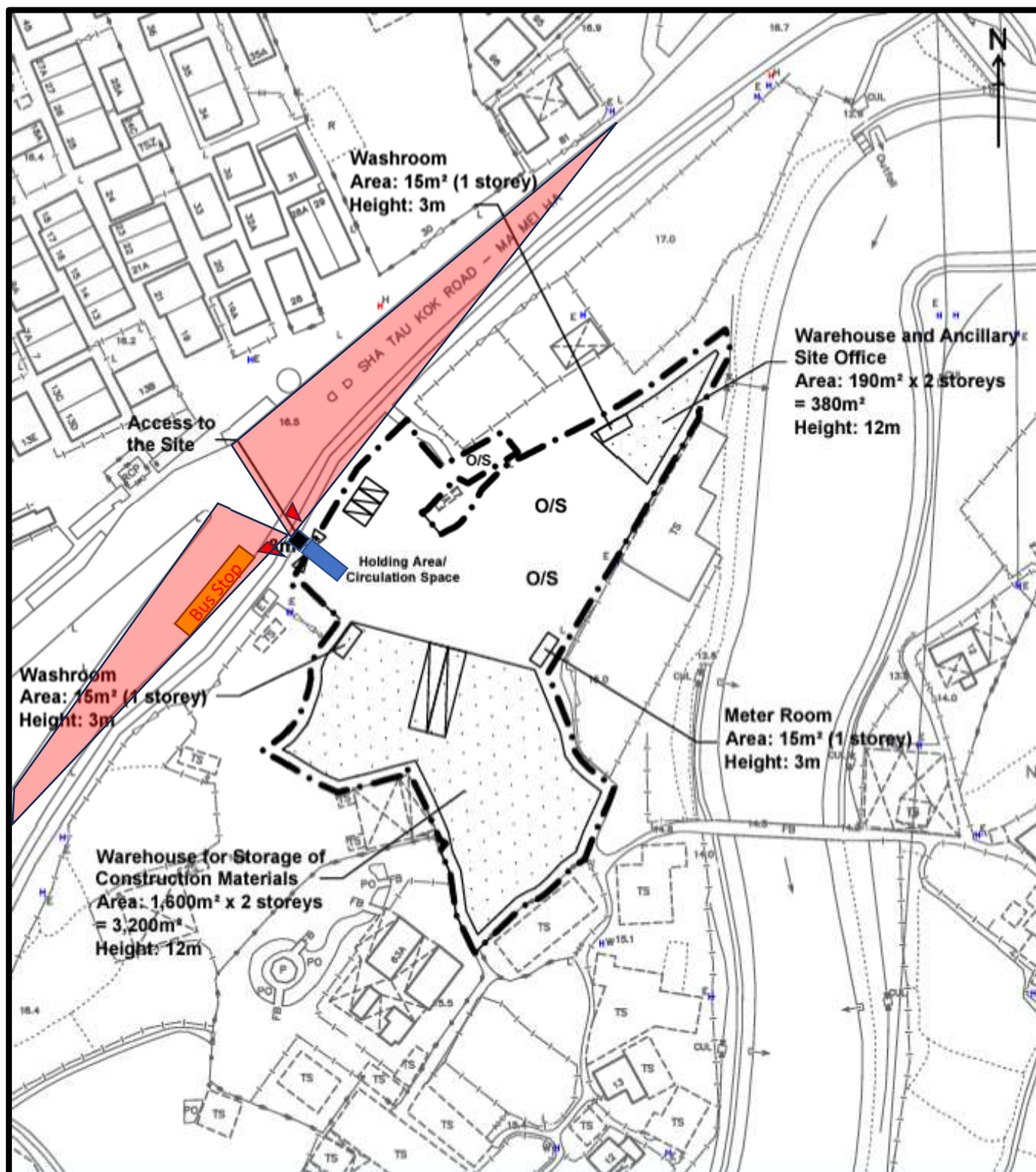
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D.76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 4,033 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 2,927 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 232 sq.m 平方米 <input checked="" type="checkbox"/> About 約

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Warehouse and Open Storage of Construction Materials for a Period of 3 years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	..... 2,562 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	..... 1,471 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物／構築物數目	..... 3
Proposed domestic floor area 擬議住用樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	..... 2,927 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	..... 2,927 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) One 2-storey warehouse for storage of construction materials (height: about 12m) with one 1-storey washroom (height: about 3m)..... One 2-storey warehouse for storage of construction materials and ancillary site office (height: about 12m) with one 1-storey washroom (height: about 3m)..... 1 1-storey meter room (height: about 3m).....	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	..... 3 (2.5m x 5m)
Motorcycle Parking Spaces 電單車車位	..... NA
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... NA
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	..... NA
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	..... NA
Others (Please Specify) 其他 (請列明)	..... NA
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	..... NA
Coach Spaces 旅遊巴車位	..... NA
Light Goods Vehicle Spaces 輕型貨車車位	..... NA
Medium Goods Vehicle Spaces 中型貨車車位	..... NA
Heavy Goods Vehicle Spaces 重型貨車車位	..... NA
Others (Please Specify) 其他 (請列明)	..... 2 (3.5m x 16m)
for Container Vehicles/Medium Goods Vehicles	

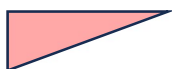
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	2,927 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.73 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA <input type="checkbox"/> (Not more than 不多於) m 米	
		NA <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
	Non-domestic 非住用	3 - 12 <input checked="" type="checkbox"/> (Not more than 不多於) m 米	
		1 - 2 <input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
(iv) Site coverage 上蓋面積	36 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		3
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (2.5m x 5m) NA NA NA NA NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicles / Medium Goods Vehicles _____ _____		NA NA NA NA NA 2 (3.5m x 16m)

Annex 2

Location Plan showing the Existing Bus Stop and
the Run in/out of the Application Site



Legend



Visibility of Motorist from the application site

Location Plan showing the Existing Bus Stop and the Run in/out of the Application Site

Relevant Extracts of Town Planning Board Guidelines on
Application for Open Storage and Port Back-up Uses
(TPB PG-No. 13G)

1. On 14.4.2023, the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No. 13G) were promulgated, which set out the following criteria for the various categories of area:
 - (a) Category 1 areas: Favourable consideration will normally be given to applications within these areas, subject to no major adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments should be submitted if the proposed uses may cause significant environmental and traffic concerns;
 - (b) Category 2 areas: Planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions. Technical assessments, where appropriate, should be submitted to demonstrate that the proposed uses would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas;
 - (c) Category 3 areas: Applications would normally not be favourably considered unless the applications are on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant). Sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. Planning permission could be granted on a temporary basis up to a maximum period of 3 years, subject to no adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions;
 - (d) Category 4 areas: Applications would normally be rejected except under exceptional circumstances. For applications on sites with previous planning approvals (irrespective of whether the application is submitted by the applicant of previous approval or a different applicant), and subject to no adverse departmental comments and local objections, sympathetic consideration may be given if genuine efforts have been demonstrated in compliance with approval conditions of the previous planning applications and/or relevant technical assessments/proposals have been included in the fresh applications, if required, to demonstrate that the proposed uses would not generate adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas. The intention is however to encourage the phasing out of such non-conforming uses as early as possible. Planning permission for a maximum period of 3 years may be allowed for an applicant to identify suitable sites for relocation. Application for renewal of approval will be assessed on its individual merits; and
 - (e) Taking into account the demand for cross-boundary parking facilities, applications for such use at suitable sites in areas of close proximity to the boundary crossing points, such

as in the San Tin area, particularly near the existing cross-boundary link in Lok Ma Chau, may also be considered. Notwithstanding the criteria set out in paragraphs 2.1(c) and (d) above, application of such nature will be assessed on its own merits, including its nature and scale of the proposed use and the local circumstances, and subject to satisfactory demonstration that the proposed use would not have adverse drainage, traffic, visual, landscaping and environmental impacts on the surrounding areas, and each case will be considered on its individual merits.

2. In assessing applications for open storage and port back-up uses, the other major relevant assessment criteria are also summarized as follows:

- (a) port back-up sites and those types of open storage generating adverse noise, air pollution, visual intrusion and frequent heavy vehicle traffic should not be located adjacent to sensitive receivers such as residential dwellings, hospitals, schools and other community facilities;
- (b) port back-up uses are major generators of traffic, with container trailer/tractor parks generating the highest traffic per unit area. In general, port back-up sites should have good access to the strategic road network, or be accessed by means of purpose built roads;
- (c) adequate screening of the sites through landscaping and/or fencing should be considered where sites are located adjacent to public roads or are visible from surrounding residential areas;
- (d) there is a general presumption against conversion of active or good quality agricultural land and fish ponds to other uses on an ad-hoc basis. For flood prone areas or sites which would obstruct natural drainage channels and overland flow, advice should be sought; and
- (e) for applications involving sites with previous planning approvals, should there be no evidence to demonstrate that the applicants have made any genuine effort to comply with the approval conditions of the previous planning applications, planning permission may be refused, notwithstanding other criteria set out in the Guidelines are complied with.

Previous S.16 Applications

Approved Applications

Application No.	Uses/ Development	Date of Consideration
A/NE-LYT/586	Temporary Public Vehicle Park (Private Cars, Light Goods Vehicles and Medium Goods Vehicles) for a Period of 3 Years	13.5.2016
A/NE-LYT/691	Renewal of Planning Approval for Temporary "Public Vehicle Park (Private Car, Light Goods Vehicle and Medium Goods Vehicle)" for a Period of 3 Years	3.5.2019
A/NE-LYT/741	Proposed Temporary Public Vehicle Park for Private Cars and Medium Goods Vehicles, and Warehouse for Storage of Construction Materials for a Period of 3 Years	10.9.2021 (Revoked on 10.6.2023)

**Similar S.16 Application for Temporary Open Storage within the “Agriculture” zone
in the vicinity of the Site in the Lung Yeuk Tau Area**

Rejected Application

Application No.	Uses/ Development	Date of Consideration	Rejection Reasons
A/NE-LYT/685	Proposed Temporary Open Storage of Wooden Materials, Metal and Miscellaneous Objects for a Period of 3 Years	1.2.2019	R1-R4

Rejection Reasons

- R1 The proposed development was not in line with the planning intention of the “Agriculture” (“AGR”) zone for the Lung Yeuk Tau and Kwan Tei South area, which was primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes and to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. There was no strong planning justification in the submission for a departure from the planning intention, even on a temporary basis.
- R2 The application did not comply with the Town Planning Board Guidelines for ‘Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance’ in that no previous approval had been granted at the Site and there were adverse departmental comments and local objections on the application.
- R3 There was no information in the submission to demonstrate that the development would not cause adverse traffic impact on the surrounding areas.
- R4 The approval of the application would set an undesirable precedent for similar applications within the “AGR” zone. The cumulative effect of approving such similar applications would result in a general degradation of the rural environment of the area.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- having reviewed the Further Information and site inspection conducted by her staff of DLO/N of LandsD on 25.4.2024, the lease breaches and illegal occupation of Government Land (GL) have been rectified. She has no comment on the revised proposal and no objection to the application; and
- the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via GL is granted to the Site.

2. Traffic

Comments of the Commissioner for Transport (C for T):

- having reviewed the Further Information, she has no adverse comment on the application from engineering viewpoint; and
- meanwhile, the project proponent is required to ensure that public transport services (including franchised bus and minibus services) operating outside the Site should not be affected at all times.

Comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD):

- having reviewed the Further Information, he has no comment on the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- having reviewed the Further Information, he has no comment on the application from the public drainage viewpoint;
- the Site is in the vicinity of existing Tan Shan River to the east of the Site. Should the application be approved, the applicant shall be required to place all the proposed works at least 3m away from the top of the bank of the Tan Shan River. All the proposed works in the vicinity of the river should not create any adverse drainage impacts, both during and after construction. Proposed flooding mitigation measures if necessary shall be provided at the resources of the applicant to his satisfaction;
- should the application be approved, conditions should be included to request the applicants to submit and implement a drainage proposal for the Site to ensure that it will not cause adverse drainage impact to the adjacent area, and the implemented drainage facilities at the Site shall be maintained at all times during the planning approval period; and
- the Site is in an area where no public sewerage connection is available. Environmental

Protection Department should be consulted regarding the sewage treatment/disposal facilities for the proposed development.

4. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- having reviewed the Further Information, a minimum of 2m setback for proposed structures from the trunk of existing trees is proposed as shown in **Plan A-2**, and she has no further comment and has no objection to the application from the landscape planning perspective.

5. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- he has no objection in-principle to the captioned application subject to fire service installations (FSIs) and water supplies for firefighting being provided to the satisfaction of his department,
- having considered the nature of open storage, the following approval condition shall be added:

“ the provision of fire extinguisher(s) within 6 weeks from the date of planning approval to the satisfaction of D of FS.”

The applicants are required to submit a valid fire certificate (FS 251) to his department for approval and advised to note his advisory comments appended at **Appendix VI**.

6. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- as there is no record of approval by the Building Authority for the existing structures at the Site, BD is not in a position to offer comments on their suitability for the use proposed in the application; and
- detailed advisory comments under the Buildings Ordinance are appended in **Appendix VI**.

7. **Other Departments**

- The following government departments have no objection to/comments on the application:
 - Project Manager (North), North Development Office, Civil Engineering and Development Department;
 - Chief Engineer/Construction, Water Supplies Department;
 - Director of Food and Environmental Hygiene; and
 - Commissioner of Police.

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that the low owners shall apply to DLO/N, LandsD for Short Term Waiver (STW) and Short Term Tenancy (STT) to permit the structures erected/to be erected within the said private lots and the occupation of the Government land. The applications for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered. Lot 1490 in D.D. 76 is partly covered by Modification of Tenancy (MOT) No. 36513 for erection of temporary structures. LandsD reserves the rights to take enforcement action for irregularities and cancel the MOT as appropriate;
- (b) to note the comments of the Director of Environmental Protection that in case the connection to public sewer is not feasible, septic tank and soakaway system is also considered to be acceptable provided that its design and construction follow the requirements of the ProPECC PN 1/23 "Drainage Plans subject to Comment by the Environmental Protection Department", in particular the distance between stream and soakaway systems, and are duly certified by an Authorized Person. Besides, the applicants should comply with all environmental protection/pollution control ordinances, including the Water Pollution Control Ordinance. The applicants are also advised to follow relevant environmental mitigation measures as set out in the latest "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" issued by Director of Environmental Protection in order to minimize any possible environmental nuisances to nearby sensitive receivers and watercourses;
- (c) to note the comments of the Commissioner for Transport that the applicants are required to ensure that public transport services (including franchised bus and minibus services) operating outside the Site should not be affected;
- (d) to note the comments of the Director of Agriculture, Fisheries and Conservation that the applicant should be reminded to perform good site practice so as not to pollute the watercourses nearby;
- (e) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD) that the Site is in an area where no public sewerage connection is available. Environmental Protection Department should be consulted regarding the sewage treatment/disposal facilities for the proposed development. The applicants are advised to the following general requirements in the drainage proposal:
 - (i) surface channel with grating covers should be provided along the Site boundary;
 - (ii) a drainage plan should be provided clearly showing the size, levels and routes of the proposed drainage. The details (invert level, gradient, general sections, etc.) of the proposed drain/surface channel, catchpits and the discharge structure shall be provided;
 - (iii) the cover levels of proposed channels should be flush with the existing adjoining ground level;
 - (iv) a catchpit with covers should be provided where there is a change of direction of the channel/drain. The details of the catchpit with covers shall be provided;

- (v) catchpits with sand trap shall be provided at the outlets of the proposed drainage system. The details of the catchpit with sand trap should be provided;
 - (vi) the applicants should check and ensure that the existing drainage downstream to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the Site. He should also ensure that the flow from the Site will not overload the existing drainage system;
 - (vii) the applicants are reminded that where walls are erected or kerbs are laid along the boundary of the same, peripheral channels should be provided on both sides of the walls or kerbs, and/or adequate openings should be provided at the walls/kerbs to allow existing overland flow passing through the site to be intercepted by the drainage system of the site with details to be agreed by DSD, unless justified not necessary;
 - (viii) the applicants are reminded that all existing flow paths as well as the run-off falling onto and passing through the sites should be intercepted and disposed of via proper discharge points. The applicants shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drains, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
 - (ix) the proposed drainage works, whether within or outside the site boundary, should be constructed and maintained properly by the applicants and rectify the system if it is found to be inadequate or ineffective during operation at their own expense;
 - (x) for works to be undertaken outside the lot boundary, the applicants should obtain prior consent and agreement from DLO/N, LandsD and/or relevant private lot owners;
 - (xi) the applicants should make good all the adjacent affected areas upon the completion of the drainage works;
 - (xii) the applicants shall allow all time free access for the Government and its agent to conduct site inspection on their completed drainage works;
 - (xiii) the applicants and the successive lot owners shall allow connections from the adjacent lots to the completed drainage works on Government Land when so required; and
 - (xiv) photos should be submitted clearly showing the current conditions of the area around the sites, the existing drainage/flowpaths around the sites, the proposed drainage from the site to the downstream existing watercourse and the existing watercourse at about 20m intervals. The locations of the camera and the direction of each photo should also be indicated on a plan;
- (f) to note the comments of the Director of Fire Services (D of FS) that:
- (i) having considered the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicants are advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval. The applicants should also be advised on the following points:
 - 1. the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy;

2. the location of proposed FSIs to be installed should be clearly marked on the layout plans;
 3. attached good practice guidelines (**Attachment 1**) for open storage should be adhered to;
- (ii) to address this additional approval condition, the applicants are advised to submit a valid fire certificate (FS 251) to this Department for approval; and
- (iii) the applicants are reminded that if the subject application is required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;
- (g) to note the following comments of Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):
- (i) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the Building (Planning) Regulations (B(P)Rs);
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with B(P)Rs 5 and 41D respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iv) if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under the Building Ordinance (BO) and should not be designated for any proposed use under the captioned application;
 - (v) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (vi) before any new building works (including containers/ open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent from the BA should be obtained, otherwise they are UBW under the BO. An authorized person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (vii) the applicants' attention is also drawn to the provision under R40 and 41 of Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of surface water; and
 - (viii) detailed checking under the BO will be carried out at building plan submission stage; and

- (h) to note the comments of Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that the applicants are advised to provide minimum 2m set back of proposed structures from the trunk for the 59 nos. of preserved trees (i.e. *Ficus microcarpa*) that require larger growing and planting space. Approval of the application does not imply approval of tree works such as pruning, transplanting and felling. The applicants are reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works.

Good Practice Guidelines for Open Storage Sites

		Internal Access for Fire Appliances	Lot Boundaries (Clear Width)	Distance between Storage Cluster and Temporary Structure	Cluster Size	Storage Height
1.	Open Storage of Containers		2m	4.5m		
2.	Open Storage of Non-combustibles or Limited Combustibles	4.5m	2m	4.5m		
3.	Open Storage of Combustibles	4.5m	2m	4.5m	40m x 40m	3m

Remarks : Smoking and naked flame activities shall not be allowed within the open storage /recycling site.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/816

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

Handwritten signature and details of the comment on lined paper.

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature

Handwritten signature of the person making the comment.

日期 Date 2023.12.18

2

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

231216-204801-30438

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

16/12/2023 20:48:01

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**

小姐 Miss Lau

意見詳情**Details of the Comment :**

本人為河壩村村民，就該土地規劃申請，有以下意見：

(1) 因村內主要居住的是慳人，所以保持足夠人行及車行通道入村是非常重要及必要的。當村民有事，警察，救護，消防人員可依據明確的指示入河壩村，不要阻礙了搶救病人的時間。

(2) 為保障村民健康，確保不會產生任何污染，包括空氣，水質及噪音，等。

(3) 定期開一條通道給食環署安排夾雜物車清走大型垃圾。

3

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

231217-122208-24625

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

17/12/2023 12:22:08

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**

女士 Ms. yu mei har

意見詳情**Details of the Comment :**

- 1) 大貨車及貨櫃車橫跨巴士站進入貨倉, 會嚴重影響行人路上的人身安全.
- 2) 當有數輛貨車進入貨倉時, 排隊停在沙頭角公路上等候, 會做成交通阻塞, 巴士亦不能準時埋站, 延誤居民上班或上課, 嚴重影響民生.
- 3) 由農地改為棕地後, 在此生活了數拾年的村民將無路通往居所, 所有耆英躺著等死.
- 4) 建議在新界北, 選一無民居土地, 和她交換建倉, 這樣做會成為雙贏, 皆大歡喜 功德無量.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號**

231218-093440-44951

Reference Number:**提交限期**

02/01/2024

Deadline for submission:**提交日期及時間**

18/12/2023 09:34:40

Date and time of submission:**有關的規劃申請編號**

A/NE-LYT/816

The application no. to which the comment relates:**「提意見人」姓名/名稱**

先生 Mr. cheng nim chun

Name of person making this comment:**意見詳情****Details of the Comment :**

河霸村村口巴士站位置, 是所有村民的主要出入通道, 去鶴藪郊野公園道路之一, 同時亦可通往丹山河谷大水霸, 這條鶴藪郊遊徑多彩多姿, 每逢假日遊人不絕, 更獲不少單車發燒友賞識, 一旦這條通道被封閉, 村民將無法外出了, 亦會帶來廣大市民的不幸, 弊多於利 敬請三思.

5

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

231218-131553-31524

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

18/12/2023 13:15:53

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. cheng ka po

意見詳情**Details of the Comment :**

嗰度係農地嚟嘅, 村民通過農地行去巴士站, 已經行咗70幾年以上, 政府早就認可此做法, 並且幫村民興建一大橋, 橫跨丹山河通往巴士站, 若封閉此通道, 政府是否有更便捷嘅方法? 我哋希望地主復耕此地, 以便村民能平安通過往巴士站.

6

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號**

231222-223230-51148

Reference Number:**提交限期**

02/01/2024

Deadline for submission:**提交日期及時間**

22/12/2023 22:32:30

Date and time of submission:**有關的規劃申請編號**

A/NE-LYT/816

The application no. to which the comment relates:**「提意見人」姓名/名稱**

先生 Mr. Lee man shun

Name of person making this comment:**意見詳情****Details of the Comment :**

本人為河壩村村民，就該土地規劃申請，有以下意見：

(1) 因村內主要居住的是暫人，所以保持足夠人行及車行通道入村是非常重要及必要的。當村民有事，警察，救護，消防人員可依據明確的指示入河壩村，不要阻礙了搶救病人的時間。

(2) 為保障村民健康，確保不會產生任何污染，包括空氣，水質及噪音，等。

(3) 定期開一條通道給食環署安排夾雜物車清走大型垃圾。

7

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

231223-190346-91596

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

23/12/2023 19:03:46

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**

夫人 Mrs. Chan yan

意見詳情**Details of the Comment :**

反對，由於涉及路段剛好是沙頭角公路由2條行車線變為1條線行車線的交介，而且政府為市民興建的皇后山村及興建中的皇后山村2期，為了配合疏導市民交通保持暢順 政府斥資 25.45億港元興建龍山隧道等相關交通改善項目，為市民帶來交通便利。若果落實該規劃土地由農地改為貨倉，上址不但是行車主幹道亦有大型迴旋處，而且坪輦及皇后，軍地居民往來龍山隧道的必經之路，車道2變1已非常繁忙，若變更為貨倉不單為該村居民沒有便利的道路前往巴士站，而對於道路使用者亦造成安全隱患。

8

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

231226-092226-53596

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

26/12/2023 09:22:26

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**女士 Ms. Miss 俾我有用㗎到
時間我問題我唔知英文解釋M
adam唔該下啱呀Lau**意見詳情****Details of the Comment :**

To whom it may concern,

Regarding the planning application case A/NE-LYT/816, I am writing this email on behalf of indigenous inhabitants of Ng Uk Tsuen, to express our opposition against "proposed temporary warehouse and open storage of construction materials for a period of 3 years".

First, the site of the above proposed plan is exactly next to the bus stop, which poses risks of safety issue and traffic congestion. This severely threatens the quality of life of inhabitants, who are mostly elderly.

Thank you for your attention. We sincerely appreciate your efforts looking into this issue and ensuring the safety and quality of the inhabitants.

Yours faithfully,

inhabitants of

9 to 11

1/4

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/816

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

請看附頁反對資料

「提意見人」姓名/名稱 Name of person/company making this comment

簽署 Signature



日期 Date

22-12-2023

9
2/4

香港新界粉嶺區鄉事委員會
Hong Kong Fanling District Rural Committee

敬啟者：

貴處檔號：TPB/A/NE-LYT/816

新界粉嶺沙頭角公路吳屋村丈量約份第76約地段第1445號分段第2小分段、第1445號B分段餘段、第1489號、第1490號、第1492號及第1494號
和毗連政府土地

擬議臨時貨倉及露天存放建築材料（為期3年）
（申請編號：A/NE-LYT/816）

本會接獲村民對上述申請提出 強烈反對，其理由：

- 1) 該地段太近路口巴士站，影響乘客上落安全。
- 2) 加上該段路前面是回旋處交通繁忙。
- 3) 上述申請將引入大量貨車及重型車輛出入，村路阻塞，危及行人/村民的安全。

懇請 貴處理解村民之憂慮，考慮整體環境，慎重處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會主席

（李國鳳）



敬上

2023年12月22日



香港新界粉嶺區鄉事委員會
Hong Kong Fanling District Rural Committee

3/4

敬啟者：

貴處檔號： TPB/A/NE-LYT/816

新界粉嶺沙頭角公路吳屋村大量的份第 76 的地段第 1445 號分段第 2 小分段、第 1445 號 B 分段餘段、第 1489 號、第 1490 號、第 1492 號及第 1494 號和毗連政府土地

擬議臨時貨倉及露天存放建築材料（為期 3 年）
（申請編號： A/NE-LYT/816）

本會接獲村民對上述申請提出 強烈反對，其理由：

- 1) 該地段太近路口巴士站，影響乘客上落安全。
- 2) 加上該段路前面是回旋處交通繁忙。
- 3) 上述申請將引入大量貨車及重型車輛出入，村路阻塞，危及行人/村民的安全。

懇請 貴處理解村民之憂慮，考慮整體環境，慎重處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會首副主席



劉永安 敬上
(劉永安)

2023 年 12 月 22 日



香港新界粉嶺區鄉事委員會
Hong Kong Fanling District Rural Committee

3/4

敬啟者：

貴處檔號：TPB/A/NE-LYT/816

新界粉嶺沙頭角公路吳屋村丈量約份第76約地段第1445號分段第2小分段、第1445號B分段餘段、第1489號、第1490號、第1492號及第1494號
和毗連政府土地
擬議臨時貨倉及露天存放建築材料（為期3年）
（申請編號：A/NE-LYT/816）

本會接獲村民對上述申請提出 強烈反對，其理由：

- 1) 該地段太近路口巴士站，影響乘客上落安全。
- 2) 加上該段路前面是回旋處交通繁忙。
- 3) 上述申請將引入大量貨車及重型車輛出入，村路阻塞，危及行人/村民的安全。

懇請 貴處理解村民之憂慮，考慮整體環境，慎重處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會副主席

鄧志佳
(鄧志佳)



2023年12月22日



反對通知書（規劃申請編號：A/NE-LYT/816）

粉嶺沙頭角公路河壩村全體村民提出：反對粉嶺沙頭角公路吳屋村丈量約份第 76 約地段第 1445 號 B 分段第 2 小分段、第 1445 號 B 分段餘段、第 1489 號、第 1490 號、第 1492 號、第 1494 號和毗連政府地，將農業地改臨時貨倉及露天存放建築材料。

理由如下：

1. 如果批准存放建築材料將會有大貨櫃車出入，而貨倉門口正正是巴士站，在該村屋主要交通上落點！對村民構成危險。
2. 由信箱到橋頭系村民主要出入道路，村民已經用該道路超過 60 年，新業主圍封，會造成道路狹窄，影響救護擔架車及村民不能搬運大型傢私，而且圍板會變得黑暗，村民出入危險。
3. 村民出入村必經道路的路權不清晰，而新地主沒有同本村村民傾細節。
4. 毗連政府地不能批給此地主使用，因為本村已經缺少政府地，本村沒有公廁、大型垃圾站，我們將會用此政府地申請這些設施。
5. 新地主為了自己的利益，派人燒左我村民用左幾十年的垃圾房。
6. 河壩村已獲批為保育村，如果改建存放建築材料，為環境衛生

河壩村村民堅決反對規劃申請「A/NE-LYT/816」簽名

	地址	中文姓名（正楷）	簽名
1		盧玉璽	盧玉璽
2		李子基	李子基 田秀容
3		吳夢傑 羅錦	吳 家
4		劉永維	劉永維
5		劉永維	和 南佳
6		劉永蘭	蘭
7		蘇偉雄	雄
8		田秀容	田秀容
9		杜清怡	杜清怡 葉福娣
10		謝青雲 李子好	
11		溫桂雲	溫錦榮
12		林菊	林光輝
13		曹炳熙	曹佐芬
14		潘潤柱	廖小勤
15		李文信	信
16		鄭唯愛	Fam
17		吳東律	吳
18		叶召英	李適文
19		蘇偉強	李小秋
20		金偉昌	江婉儀
21		譚來娣	譚來娣
22		孔鳳雪	

河壩村村民堅決反對規劃申請「A/NE-LYT/816」簽名

	地址	中文姓名（正楷）	簽名
23		陳春燕	陳振凡
24		吳世忠	
25		李寧	李寧
26		李永達	李永達
27		李秋香	李秋香
28		陳志中	←
29		曾容根	
30		李岸明	
31		陽吉波	
32		羅偉昌	羅偉權
33		吳藝文	吳遠友
34		羅天瑞	羅運嬌
35		張文在	
36		張亦生	張亦生
37		張亦強	張亦強
38		凌曉華	凌曉華
39			
40			
41			
42			
43			
44			

河壩村村民堅決反對規劃申請「A/NE-LYT/816」簽名

	地址	中文姓名（正楷）	簽名
45			鄒敬友
46			李香君
47		劉偉雄	劉
48		李桂濃	李
49		劉嘉敏	劉
50		于六娥	于
51		李偉興	李
52		張佩儀	張佩儀
53			
54		張麗強	鄭香清
55		張偉豪	張偉鍵
56		Siti ZH Roh	Wan Kam Sang
57		朱彩棠	
58		黃芸	
59			
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66			

河壩村村民堅決反對規劃申請「A/NE-LYT/816」簽名

	地址	中文姓名（正楷）	簽名
67		岑錦叔	凡
68		先妣靜	丁
69		吳耀光	黃惠冰
70		吳耀輝	吳耀榮
71		陳水發	叶東輝
72		李碧群	
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A /NE-LYT/816

19/12/2023 06:44

From:

To: tpbpd@pland.gov.hk

Sent by: tpbpd@pland.gov.hk

File Ref:

本人為河壩村村民，就該土地規劃申請，有以下意見：

(1) 因村內主要居住的是慙人，所以保持足夠人行及車行通道入村是非常重要及必要的。當村民有事，警察，救護，消防人員可依據明確的指示入河壩村，不要阻礙了搶救病人的時間。

(2) 為保障村民健康，確保不會產生任何污染，包括空氣，水質及噪音，等。

(3) 定期開一條通道給食環署安排夾雜物車清走大型垃圾。

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申請編號：A/NE-LYT/816

18/12/2023 16:40

From:

To: tpbpd@pland.gov.hk

Sent by: tpbpd@pland.gov.hk

File Ref:

本人為河壩村天後廟負責人。對吳屋村丈量約份第76約地段第1445,1489,1490,1492&1494 及毗連政府土地做臨時貨倉及露天存放建築材料（為期三年）。

原本以上地段是私人地段及政府土地，普通市民不便反對或有任何意見才對。主要以上地段河壩村／吳屋村有一條通道已有七十年之久，後期此通道由政府維修，政府動用幾百萬營造完整混凝土大橋給村民出入及運送大型傢俱或建築材料。現改建臨時貨倉，從表面圖則觀察，現有通道便封，為了村民福利的大方向，本人必要提出反對，我們不想防礙政府發展農村，但亦希望政府以雙贏眼光，利商家亦應顧及貧苦村民。政府如能清楚情況才考慮判核，村民住得開心，商家才做得放心，大家和諧相處。我想這也是現任特首-李家超先生的意願。我希望城市規劃成員能多走一步，多採取宏觀態度和眼光。是市民之福，村民之福。

希望能清楚告知通道是否保留，是否足夠較為大型物品通過，有否明確指示河壩村通道入口，方便救護人員入村接送危急老人，病者。本人要求不高。望政府要員關注為盼。

敬祝金安

提意人：聯慶堂花炮會主席

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擬議臨時貨倉及露天存放建築材料（為期3年）（申請編號：A/NE-LYT/816）
29/12/2023 17:04

From:

To: tpbpd@pland.gov.hk

Sent by: tpbpd@pland.gov.hk

File Ref:

孔嶺(下稱本村)強烈反對上述申請並列舉反對理據如下：

1. 有關地段位置處於農地，上述申請改變的土地用途完全違背規劃原意。城規會過往曾接連三次批准有關地段作出為停泊貨車和露天存貨的臨時用途，但政府卻未見有效監察其實際運作是否符合規劃批准的條件，致使孔嶺及附近居民的生活和健康大受影響，投訴也不能令情況改善。如今若城規會批准上述申請，居民所受的影響將會繼續存在而得不到改善，對居民造成莫大不公。
2. 有關地段毗鄰孔嶺，面積龐大，其運作規模所帶來的不良影響不容忽視。所謂建築材料肯定亦包括大量廢料，存放及搬運此等廢料時都會產生很多微粒和塵埃，污染附近空氣，亦引致噪音滋擾，對居民的健康和生活構成莫大威脅和深遠影響。
3. 近這三年間，沙頭角公路的交通已變得相當繁忙，途經孔嶺的巴士路線已增長至計有78C, 78K, 78X, 79P, 79X, 277A, 679, 979, N78C等，相信不久將來再有需要加密班次和增加巴士路線。有關地段的車輛出入口正處於巴士站的巴士停車區域，巴士靠站已經很頻繁，若有車輛橫跨巴士站區域以進入私人土地，這對路人的安全帶來很大的威脅，過往這問題已一直存在但政府未有管控或加以制止。該車輛出入的路口設在非常不適當位置，政府應該要盡快廢除它。
4. 申請文件中的Figure 3 所示的Vehicle Access to the Application Site只是理想的概念，極不誠實反映過往及以後的使用情況。根據我們的觀察，很多時都有大型和小型車輛從沙頭角公路粉嶺方向駛至，在孔嶺交通燈前右轉並跨過對面公路路綫和巴士站停車區域進入該地段。無疑這樣的行車很方便但亦是極危險。
5. 在1489地段和1445 S.B. RP地段之間及1490地段和1492地段之間有兩幅政府地，面積不少，政府應該讓公眾可以自由路經這些地方，不應該把它撥歸申請人獨佔，以致把政府地讓申請人與其私人地圍在一起。
6. 貨倉面積過於龐大 1572m² x 2 storeys, 而貨倉高度12m亦過高，與附近鄉郊環境格格不入，嚴重影響孔嶺鄉郊的景觀。

盼城規會能充份考慮本村的反對理據，否決上述申請。萬分感謝！

孔嶺原居民代表邱為鈞(電話) 及

孔嶺居民代表葉水生(電話)

16

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

231229-111357-71083

提交限期

Deadline for submission:

02/01/2024

提交日期及時間

Date and time of submission:

29/12/2023 11:13:57

有關的規劃申請編號

The application no. to which the comment relates:

A/NE-LYT/816

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Wan Sau Fat

意見詳情

Details of the Comment :

就申請人用作申請的7項理據，本人有以下意見：

1. 本區未見貨倉用地需求。

2. 申請地點需不適合復耕，但是因為有以下的種種原因所以亦未見適合建造倉地。

3. 有效利用寶貴土地資源，可用作申請臨時停車場。

(就申請地點已多次成功申請作臨時停車場，近幾個月停止運作反而另到行人路，巴士站違例泊車嚴重。)

4. 就申請地點只是3次成功申請臨時停車場，而沒有上蓋建築物的。

5. 發展未符合城規會指引編號13G。

建造臨時貨倉，12米高而大面積的倉庫，遮擋視野，破壞環境。

露天貯存建築物材料，會另到重金屬和有害物質經雨水流入丹山河，嚴重污染河道，破壞生態環境。而貨倉與村民居所近在咫尺，產生噪音影響居民。

車場出入口正是巴士站及行人過路斑馬線位置有交通事故潛在風險，予村民極力反對。

6. 周邊的土地未見有12米高的貨倉。

7. 擬議發展絕對會對附近地方做成不良應響。

1. 此地段原本有一條村民行使近百年的行人路，就有關之申請未見提及此行人路。

此行人路是河壩村村民，救護人員及行山人士最直接進出村的道路，行走近一世紀，是村民主要通道。近幾年極端天氣影響，河道多次水浸，只有這條路能夠進入村裏救援，是村民救命路。

就此地段早期3次申請作臨時停車場時，當時的土地擁有人有預留行人路給村民大眾使用。

2.交通風險

就申請地點出入口正是巴士站及行人過路斑馬線位置，是多條村村民等車及過路的地方，人的流量非常大，就貨倉有貨櫃車及重型車輛出入，增加巴士站交通事故風險。亦增加交通路面壓力。

3.環境破壞

有關申請面積12m高1777平方米遮擋視野，破壞鄉村景觀，夜間令周邊環境變得黑暗危險。

露天存放建築材料，雨水經雨水渠流入就近的丹山河，重金屬除雨水流入河道，丹山河有多種雀鳥及魚類棲息污染水源，影響生態環境。

4.申請地點還立入263平方米政府土地，政府珍貴的土地資源是香港市民大眾共同使用，非申請人私人使用。

而申請人向政府申請263平方米用地作為倉地私用圖利，而沒有撥出行人路給村民大眾使用。

17

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

240102-120400-52611

提交限期**Deadline for submission:**

02/01/2024

提交日期及時間**Date and time of submission:**

02/01/2024 12:04:00

有關的規劃申請編號**The application no. to which the comment relates:**

A/NE-LYT/816

「提意見人」姓名/名稱**Name of person making this comment:**

女士 Ms. mable cheng

意見詳情**Details of the Comment :**

政府正值全力改善劏房戶居住環境, 但請勿忘記河壩村居民的存活機會, 不應因為小眾商人的倉庫利益, 而封殺村民的活路.

北區各村落均建有入口牌坊, 而我哋被忽視的一群, 只希望擁有一條小小的人道走廊, 以方便救傷車、燒防車、警車、郵政車以及食環車等, 能夠直達橋頭方便運作. 另外亦可以延長村口的單車徑, 直達郊野公園, 供全港市民享用, 一舉兩得何樂而不為!

這裏的村民永遠都是向前望, 若政府能在橋頭預留十米寬通道, 作改善居民民生用途, 如設立永久性垃圾站, 將村民信箱搬到路口及加建上蓋作避雨亭, 有可能再建有蓋行人通道直達巴士站, 讓所有愛國愛港之村民, 能夠幸福快樂地活下去.

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A/NE-LYT/816 DD 76 Ng Uk Tsuen

02/01/2024 03:24

From:

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent by: tpbpd@pland.gov.hk

File Ref:

A/NE-LYT/816

Lots 1445 S.B ss.2, 1445 S.B RP, 1489, 1490, 1492 and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling

Site area : About 4,064m² Includes Government Land of about 263m²

Zoning : "Agriculture"

Applied Use: Warehouse / Open Storage / 5 Vehicle Parking

Dear TPB Members,

So nobody was fooled by the parking application 805 so it was dropped and back with the genuine intention. Brownfield. Neither a Col 1 or 2 permitted use.

As the applicant has shown that he is unreliable and manipulative, members should consider the impact on local residents and reject the application.

Mary Mulvihill

From:

To: tpbpd <tpbpd@pland.gov.hk>

Date: Wednesday, 13 September 2023 2:34 AM HKT

Subject: A/NE-LYT/805 DD 76 Ng Uk Tsuen

A/NE-LYT/805

Lots 1445 S.B RP (Part), 1489, 1490 (Part), 1492 (Part) and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling

Site area : About 4,100m² Includes Government Land of about 254m²

Zoning : "Agriculture"

Applied Use : 38 Vehicle Parking

Dear TPB Members,

Despite objections from local residents, 741 was approved. Surprise, surprise, conditions were not fulfilled.

Solution, come back with some variation on the size of the site and drop the storage element. However members have to question the integrity of the application, 100sq.m per vehicle????

The data provided by the applicant has to be verified. Members must make a realistic assessment of the plan and question what conditions were at issue instead of following the inevitable recommendation of PlanD.

Mary Mulvihill

From:

To: tpbpd <tpbpd@pland.gov.hk>

Date: Tuesday, 29 December 2020 3:58 AM CST

Subject: A/NE-LYT/741 DD 76 Ng Uk Tsuen

A/NE-LYT/741

Lots 1445 S.B RP (Part), 1489, 1490 (Part), 1492 (Part) and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling

Site area : About 4,000m² Includes Government Land of about 272m²

Zoning : "Agriculture"

Applied Use : 29 Vehicle Parking / Open Storage Construction Materials

Dear TPB Members,

Last time despite objections from local residents and even though it was pointed out that the size of the site was disproportionate to the number of vehicles and raising doubts about the true intention of the applicant, members asked no questions and approved 691.

Now four extensions of time and failure to comply with conditions, applicant has included open storage in the new application. There is no previous approval for this brownfield use. In addition the site is across the road from a large number of homes. Open storage of construction materials creates environmental issues and cannot be tolerated so close to residences.

Approval cannot be justified in such circumstances.

Mary Mulvihill

From:

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent: Friday, April 12, 2019 2:28:33 AM

Subject: A/NE-LYT/691 DD 76 Ng Uk Tsuen

A/NE-LYT/691

Lots 1445 S.B RP (Part), 1489, 1490 (Part), 1492 (Part) and 1494 in D.D. 76 and Adjoining Government Land, Ng Uk Tsuen, Sha Tau Kok Road, Fanling

Site area : About 4,000m² Includes Government Land of about 272m²

Zoning : "Agriculture"

Applied Use : 34 Vehicle Parking

Dear TPB Members,

You approved 4,000sqmts to park 34 vehicles? **Over 100sqmts per vehicle.**

There are a number of high ranking officials on the board. Shame on them as they then try to sell us the lies about lack of land for housing and other uses.

It is quite obvious that the intention is to cement over agriculture land in a 'Destroy to Build' operation.

How can this abuse of 'scarce' land be tolerated.

Land near the river should be used for recreation. Note there are no basketball courts or playgrounds in the vicinity.

Mary Mulvihill