

2024年 7月 2 6日

Appendix I of

RNTPC Paper No. A/NE-LYT/834

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

26 JUL 2024

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas, or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401575

28/6

By hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-LYT/834
	Date Received 收到日期	26 JUL 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Shun Cheong Strategic Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Alliance Architects Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 799 S.A RP, 800 S.B RP & 801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<div> <input checked="" type="checkbox"/> Site area 地盤面積 741sq.m 平方米 </div> <div> <input checked="" type="checkbox"/> About 約 </div> <div> <input type="checkbox"/> Gross floor area 總樓面面積sq.m 平方米 </div> <div> <input type="checkbox"/> About 約 </div>
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	<div>Not Applicable</div> <div>..... sq.m 平方米</div> <div><input type="checkbox"/> About 約</div>

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Lung Yeuk Tau and Kwan Tei South OZP S/NE-LYT/19
(e) Land use zone(s) involved 涉及的土地用途地帶	Residential (Group C)
(f) Current use(s) 現時用途	<p>Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (Excluding Container Vehicle) and Loading / Unloading</p> <p>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)</p>

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of “current land owner(s)”[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☐ year(s) 年☐ month(s) 個月**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積sq.m ☐About 約Proposed covered land area 擬議有上蓋土地面積sq.m ☐About 約

Proposed number of buildings/structures 擬議建築物/構築物數目

Proposed domestic floor area 擬議住用樓面面積sq.m ☐About 約Proposed non-domestic floor area 擬議非住用樓面面積sq.m ☐About 約Proposed gross floor area 擬議總樓面面積sq.m ☐About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

.....

.....

.....

.....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位

Motorcycle Parking Spaces 電單車車位

Light Goods Vehicle Parking Spaces 輕型貨車泊車位

Medium Goods Vehicle Parking Spaces 中型貨車泊車位

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位

Others (Please Specify) 其他 (請列明)

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位

Coach Spaces 旅遊巴車位

Light Goods Vehicle Spaces 輕型貨車車位

Medium Goods Vehicle Spaces 中型貨車車位

Heavy Goods Vehicle Spaces 重型貨車車位

Others (Please Specify) 其他 (請列明)

Proposed operating hours 擬議營運時間																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))																															
		<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)																															
		<input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是 No 否	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">On environment 對環境</td> <td style="width: 10%;">Yes 會 <input type="checkbox"/></td> <td style="width: 10%;">No 不會 <input type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																															
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ NE - LYT / 752
(b) Date of approval 獲批給許可的日期	24/09/2021 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	24/09/2024 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (excluding container vehicle) and Loading/Unloading for a Period of 3 Years
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input checked="" type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input checked="" type="checkbox"/> year(s) 年 3</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

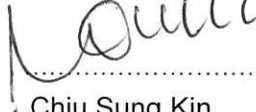
1. Planning application for temporary permission has been approved on 24 Sep. 2021 which will lapse on 24 Sep. 2024.
2. The applied use is to provide Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (excluding Container Vehicle) and Loading/Unloading for the existing factory building of the adjoining lot owned by the applicant. The Temporary Private Vehicle Park will be used solely by the applicant and their employee only. The Loading/Unloading will be used for the daily operation of the existing factory only.
3. No operation between 6:00 p.m. and 8:00 a.m.
4. No operation on Sundays and Public Holidays.
5. The temporary use of the caption lots has no significant impact on the adjacent environment.
6. All approval conditions of previous planning application have been complied with.
7. All water supplies for fire fighting and fire services installations are remain unchanged, updated FS 251 for the rain shelter are submitted (Enclosure 7 of Planning Statement refers).

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Chiu Sung Kin

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Director

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☒ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

Authorized Person

on behalf of
代表

Alliance Architects Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

28 June 2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 799 S.A RP, 800 S.B RP & 801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling, N.T.
Site area 地盤面積	<div> <div>741</div> <div>sq. m 平方米 <input checked="" type="checkbox"/> About 約</div> </div> <div> <div>(includes Government land of 包括政府土地</div> <div>sq. m 平方米 <input type="checkbox"/> About 約)</div> </div>
Plan 圖則	Lung Yeuk Tau and Kwan Tei South OZP S/NE-LYT/19
Zoning 地帶	Residential (Group C)
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <div> <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ </div> <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <div> <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ </div>
Applied use/ development 申請用途/發展	Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (Excluding Container Vehicle) and Loading/Unloading for a Period of 3 Years.

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	Not Applicable <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	Not Applicable <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	312.5 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	--- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	Not Applicable	
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	Not Applicable m 米 <input type="checkbox"/> (Not more than 不多於)	
		Not Applicable Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	6 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	42.1 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		3 (Private Car/ Light Goods Vehicle Parking Spaces)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		1 (Light Goods Vehicle Spaces)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<hr/>		
Note: May insert more than one 「✓」, 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

**Renewal Application for Permission for Temporary Use for a Period of 3 Years
Temporary Private Vehicle Park for Private Car and Light Goods Vehicle
(Excluding Container Vehicle) and Loading /Unloading in
“Residential (Group C)” Zone, Lots 799 S.A RP, 800 S.B RP and 801 S.B in
D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling**

Executive Summary

Short Summary of the Renewal Application

Subject Site

The subject property Lot No. 799 S.A RP, 800 S.B RP and 801 S.B in D.D. 83 is a small site with an area of about 741 sq. m.

Statutory Planning

The subject site was zoned "Residential (Group C)" rural areas at No. 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling, N.T.

Previous Planning Application Approval

Planning Application (Application No. A/NE-LYT/752) for Permission for Temporary Use for a period of 3 years for temporary private vehicle park for private car and light goods vehicle (excluding container vehicle) and loading / unloading has been approved on 24 Sep. 2021 (copy attached) and will be expired on 24 Sep. 2024.

Current Renewal Application

The renewal application for Permission for Temporary Use for a period of 3 years is now submitted for approval.

Support and Justifications for Renewal Application for Approval

The current renewal application for fulfillment of the past planning approval conditions remains unchanged as following:-

- no operation between 6:00p.m. to 8:00a.m. on Monday to Saturday is allowed on the site;
- no operation on Sundays and public holidays is allowed on the site;
- no container tractor / trailer is allowed to be parked/stored on or enter/exit the site at any time;
- the peripheral fencing of the site should be maintained at all times;
- the existing drainage facilities should be properly maintained at all times and

- rectified if they are found inadequate / ineffective during operation;
- all existing trees should be properly maintained at all times;
- all water supplies for firefighting and fire service installations should be properly maintained at all times.

Recommendation

It is recommended that the renewal application should be approved as soon as possible for the temporary use of the subject site for a period of 3 years for temporary private vehicle park for private car and light goods vehicle (excluding container vehicle) and loading / unloading.

向城市規劃委員會提交

3 年臨時使用許可續期申請 私家車及輕型貨車臨時停車場（不包括貨櫃車輛）和裝卸貨物之用，“住宅（C 組）”區，丈量約份第 83 號約，地段 799 S.A RP、800 S.B RP 和 801 S.B 粉嶺龍躍頭沙頭角道 192 號

申請撮要

申請地的簡單敘述

第 83 號約，地段 799 S.A RP、800 S.B RP 和 801 S.B 是一個細小地盤，面積約 741 平方米。

規劃藍圖

龍躍頭及軍地南計劃大綱圖將上述地盤納入為「住宅（丙組）」鄉郊地帶。

以前規劃申請臨時使用許可已獲批准

於 2021 年 9 月 24 日城市規劃委員會已批准臨時私家車停放及輕型貨車 3 年臨時使用許可及裝卸貨物之用（申請編號：A/NE-LYT/752）（附複印件）並將於 2024 年 9 月 24 日到期。

現時臨時使用許可續期申請

敝司現提交一份為期 3 年的臨時使用許可續期申請。

臨時使用許可續期申請批准的支持和理由

目前以下臨時使用許可批准之要求條件已全面滿足了，並將保持不變：－

- － 下午 6:00 至上午 8:00 之間不營業；
- － 週日和公眾假期不營業；
- － 貨櫃車/拖架不得停放/存放或進入/離開現場；
- － 場地的外圍圍欄應妥善保持；
- － 應時刻妥善保養現有的排水設施，以及如果在操作過程中發現它們失效，則予以修葺；
- － 任何時候都應妥善維護所有現有樹木；
- － 消防和消防設施的所有供水應妥善保養。

此臨時使用許可續期申請對該鄰近地方環境沒有不良之影響

推薦

建議盡快批准臨時使用許可續期申請，將以上用地更新使用期限為 3 年，用於臨時私家車停車場和輕型貨車及裝卸貨物。

**Application for Renewal of Permission for Temporary Use
Temporary Private Vehicle Park for Private Car and Light Goods Vehicle
(Excluding Container Vehicle) and Loading /Unloading for a Period of 3
Years in “Residential (Group C)” Zone, Lots 799 S.A RP, 800 S.B RP and
801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling**

Renewal Application Statement

Applicant : Shun Cheong Strategic Limited

Consultant : Alliance Architects Limited

Date : 28 June 2024

**Application for Renewal of Permission for Temporary Use
Temporary Private Vehicle Park for Private Car and Light Goods Vehicle
(Excluding Container Vehicle) and Loading /Unloading for a Period of 3
Years in “Residential (Group C)” Zone, Lots 799 S.A RP, 800 S.B RP and
801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling**

CONTENT

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1.	Instruction	(1)
2.	Zoning and Plan	(1)
3.	Site Area	(1)
4.	Lots Ownership	(1)
5.	Description of the Site and Adjacent Environment	(1)
6.	Previous Application (No. A/NE-LYT/752) Approval	(1)
7.	Justifications for Renewal Application	(2)
8.	Conclusion	(2)

List of Enclosures

Enclosure 1	Extract of approved Lung Yeuk Tau and Kwan Tei South OZP Plan No. S/NE-LYT/19
Enclosure 2	Existing Site Photos
Enclosure 3	Previous TBP's Approval dated 24 Sep. 2021
Enclosure 4	Renewal Application with Layout Plan
Enclosure 5	Existing Drainage Facilities and Photos
Enclosure 6	Photo Record of Existing Trees
Enclosure 7	3 nos. of F.S. 251 for the Rain shelter (No. A8409899 & 8779332) both dated 13 Mar. 2024 and No. A8779336 dated 18 Apr. 2024

**Application for Renewal of Permission for Temporary Use Statement
Temporary Private Vehicle Park for Private Car and Light Goods Vehicle
(Excluding Container Vehicle) and Loading /Unloading for a Period of 3
Years in “Residential (Group C)” Zone, Lots 799 S.A RP, 800 S.B RP and
801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling**

1. Instruction :

Alliance Architects Limited has been appointed as the Consultant by the registered owner to apply to the Town Planning Board (TBP) for the caption renewal application.

2. Zoning and Plan

The caption Lots are zoned Residential (Group C) on the approved Lung Yeuk Tau and Kwan Tei South OZP Plan No. S/NE-LYT/19. (See Enclosure 1)

3. Site Area

Total Site Area of Lots 799 S.A RP, 800 S.B RP and 801 S.B in D.D. 83 is about 741sq. m.

4. Lots Ownership

Lots 799 S.A RP, 800 S.B RP and 801 S.B were acquired by Shun Cheong Strategic Limited on 3 Jan. 1997.

5. Description of the Site and Adjacent Environment

Lots 799 S.A. RP, 800 S.B RP and 801 S.B. in D.D. 83 is a small flat site located next to Tin Wah Building with vehicular access from Sha Tau Kok Road. It is currently used as temporary private vehicle parking (Excluding Container Vehicle) and loading/unloading for the adjoining factory building. (See Enclosure 2)

6. Previous Planning Application (No. TPB/A/NE-LYT/752) Approval

Approval of temporary permission was given on 24 Sep. 2021 and the permission will lapse on 25 Sep. 2024. (See Enclosure 3)

7. Justifications for Application for Renewal of Permission for Temporary Use

A renewal application to the TBP for permission of temporary use of the caption lot is now submitted for approval.

The existing permitted use is to provide temporary private vehicle car park and light goods vehicle (Excluding Container Vehicle) and loading/unloading spaces for the existing factory building of the adjoining lot (See Enclosure 4).

All the following past planning approval conditions will remain unchanged:-

- no operation between 6:00p.m. to 8:00a.m. on Monday to Saturday is allowed on the site;
- no operation on Sundays and public holidays is allowed on the site;
- no container tractor / trailer is allowed to be parked/stored on or enter/exit the
- the peripheral fencing of the site should be maintained at all times;
- the existing drainage facilities should be properly maintained at all times and rectified if they are found inadequate / ineffective during operation (See Enclosure 5);
- all existing trees should be properly maintained at all times (See Enclosure 6);
- all water supplies for firefighting and fire service installations should be properly maintained at all times (See Enclosure 7).

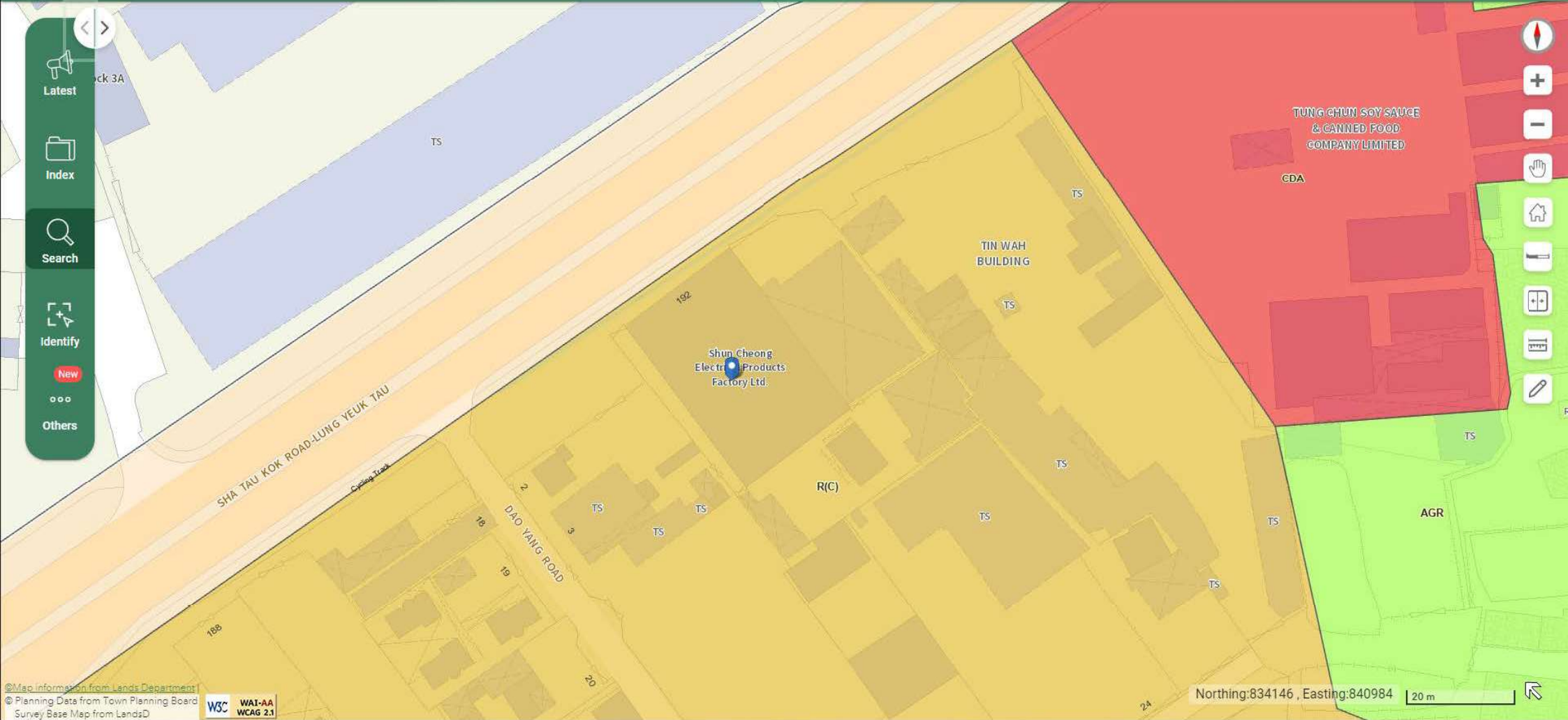
The temporary use of the caption lots has no significant impact on the adjacent environment.

8. Conclusion

As the temporary permission will be expired on 24 Sep. 2024 and all previous planning approval conditions have been fulfilled, the current renewal application should be approved by the Town Planning Board as soon as possible.

Enclosure 1

**Extract of approved Lung Yeuk Tau and Kwan Tei South
OZP Plan No. S/NE-LYT/19**



Enclosure 2

Existing Site Photos





Enclosure 3

Previous TBP's Approval dated 24 Sep. 2021

城市規劃委員會

香港北角漢華道二百三十三號
北角政府合署十五樓

TOWN PLANNING BOARD

15/F., North Point Government Offices
333 Java Road, North Point,
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

電 話 Tel: 2231 4810

來函檔號 Your Reference:

By Post & Fax

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/NE-LYT/752

15 October 2021

Alliance Architects Ltd.
22/F, Wo Foo Commercial Building
574-576 Nathan Road
Kowloon
(Attn.: Andrew Lau)

Dear Sir/Madam,

**Temporary Private Vehicle Park for Private Car and Light Goods Vehicle
(Excluding Container Vehicle) and Loading/Unloading for a Period of
3 Years in "Residential (Group C)" Zone, Lots 799 S.A RP, 800 S.B RP
and 801 S.B in D.D. 83, 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling**

I refer to my letter to you dated 13.9.2021.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid on a temporary basis for a period of 3 years until 24.9.2024 and is subject to the following conditions :

- (a) no operation between 6:00 p.m. and 8:00 a.m., as proposed by you, is allowed on the site during the planning approval period;
- (b) no operation on Sundays and public holidays, as proposed by you, is allowed on the site during the planning approval period;
- (c) the peripheral fencing of the site should be maintained at all times during the planning approval period;
- (d) the existing fire service installations implemented shall be maintained in efficient working order at all times during the planning approval period;
- (e) the existing drainage facilities shall be properly maintained at all times during the planning approval period and rectified if they are found inadequate/ineffective during operation;
- (f) the submission of a condition record of the existing drainage facilities on the site within 3 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 24.12.2021;

- 2 -

- (g) if any of the above planning condition (a), (b), (c), (d) or (e) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice; and
- (h) if the above planning condition (f) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice.

The TPB also agreed to advise you to note the advisory clauses as set out at Appendix V of the TPB Paper.

You are reminded to strictly adhere to the time limit for complying with the above planning conditions. If any of the above planning conditions are not complied with by the specified time limit, the permission given shall be revoked without further notice and the development will be subject to enforcement action. If you wish to apply for extension of time for compliance with planning conditions, you should submit a section 16A application to the TPB no less than six weeks before the expiry of the specified time limit. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for extension of time if the time limit specified in the permission has already expired at the time of consideration by the TPB. For details, including the total time period for compliance that might be granted, please refer to the TPB Guidelines No. 34D and 36B. The Guidelines, application form (Form No. S16A) and the Guidance Notes for applications are available at the TPB's website (www.info.gov.hk/tpb/), the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

This temporary permission will lapse on 25.9.2024. You may submit an application to the TPB for renewal of the temporary permission no less than two months and normally no more than four months before its expiry by completing an application form (Form No. S16-III). Application submitted more than four months before expiry of the temporary approval may only be considered based on the individual merits and exceptional circumstances of each case. For details, please refer to TPB Guidelines No. 34D. However, the TPB is under no obligation to renew the temporary permission.

For amendments to the approved development that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36B for details.

A copy of the TPB Paper in respect of the application (except the supplementary planning statement/technical report(s), if any) and the relevant extract of minutes of the TPB meeting held on 24.9.2021 are enclosed herewith for your reference.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform me within 21 days from the date of this letter (on or before 5.11.2021). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

- 3 -

This permission by the TPB under section 16 of the Town Planning Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Mr. Tim Fung of Sha Tin, Tai Po & North District Planning Office at 2158 6237. In case you wish to consult the relevant Government departments on matters relating to the above approval conditions, a list of the concerned Government officer is attached herewith for your reference.

Yours faithfully,



(Raymond KAN)
for Secretary, Town Planning Board

RK/CC/el

List of Government Department Contacts

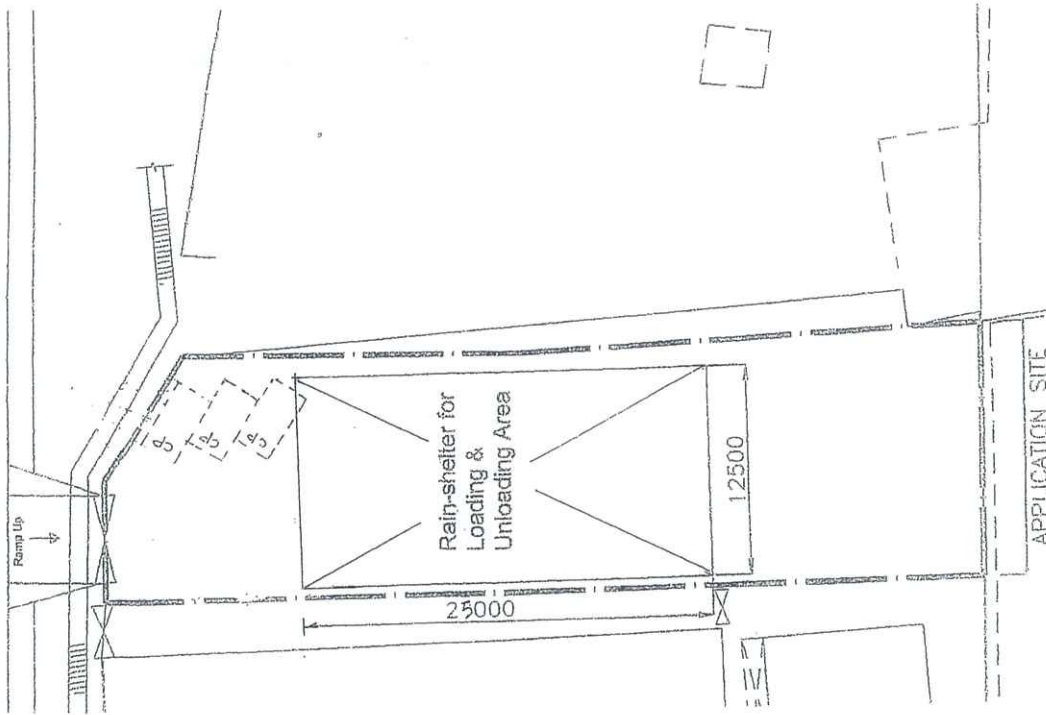
(Application No. A/NE-LYT/752)

部門 Department	辦事處 Office	聯絡人姓名 Name of Contact Person	電話號碼 Telephone No.	傳真號碼 Facsimile No.
渠務署 Drainage Services Department	新界北渠務部 Mainland North Division	王文泓先生 Mr. WONG Man Wang, Wilson	2300 1439	2770 4761

Enclosure 4

Renewal Application with Layout Plan

Sha Tau Kok Road Lung Yeuk Tau



alliance architects limited

22/F., 40 Esplanade Building
574-576, Nathan Road
Kowloon, Hong Kong

Tel: 264 2332 Fax: 264 2277

Project: Application for Permission under Section 16 of Town Planning Ordinance at Lots No

799 S.A.P.P., 800 S.B.P. AND 801 SE IN DD83

Contract No.:

Draw No.:

A-01

Scale: 1:400 Date: June 2004

Title: Existing Layout Plan

Enclosure 5

Existing Drainage Facilities and Photos

As-built Drainage Layout

Sha Tau Kok Road - Lung Yeuk Tau

Φ +12.

General Note:

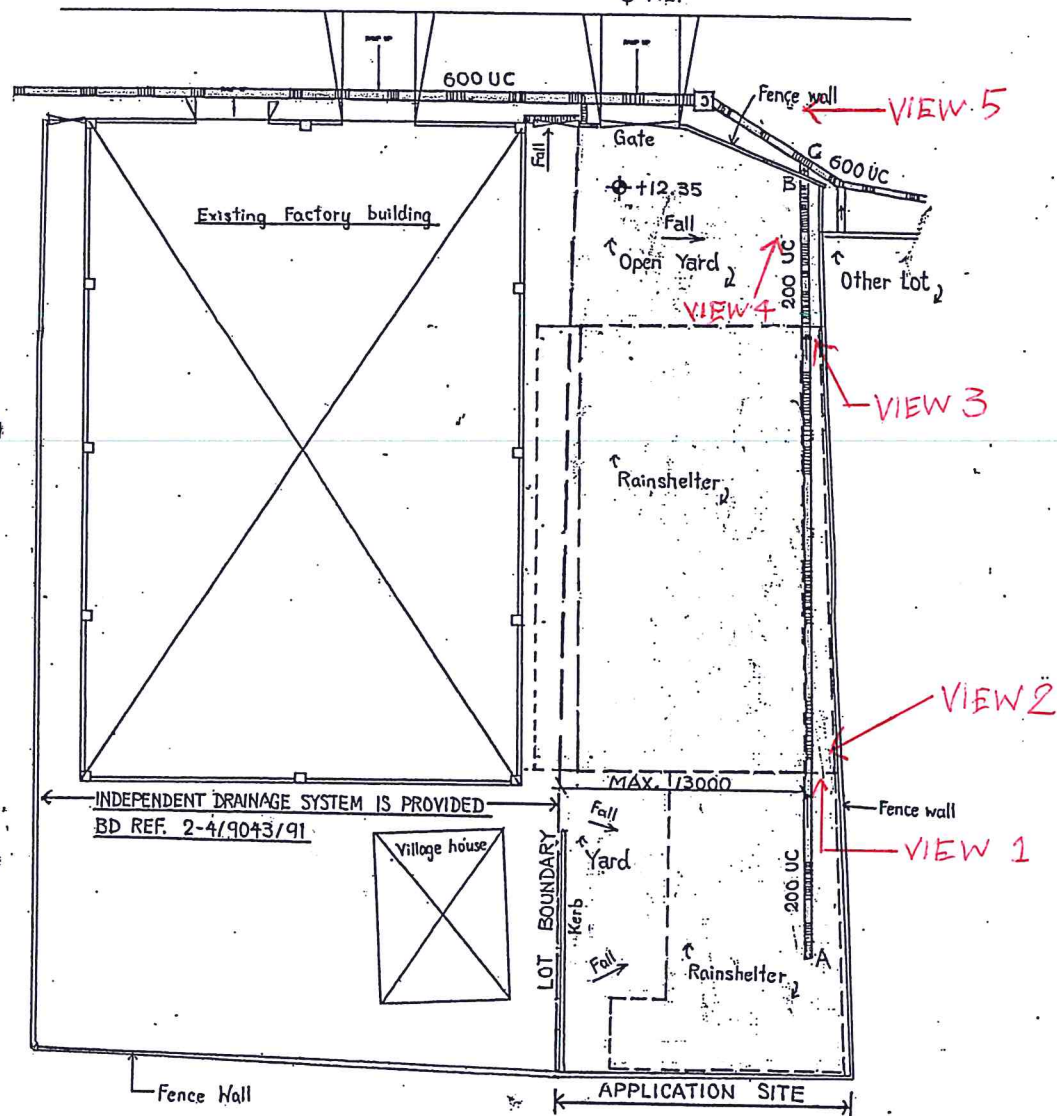
1. All dimensions & lead in millimeters.
2. All levels shall be reference to the principle datum of Hong Kong in meter.
3. All measurements must be checked on site.

Particular of application site:

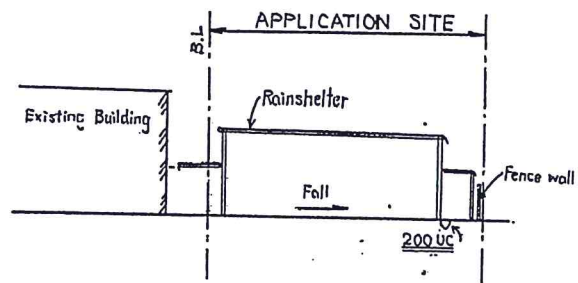
1. Location: No. 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling, N.T
2. Lots No.: 799 S.A RP and 800 S.B RP and 801 S.B in D.D 83
3. Site Area: 772 sq. m with concrete paving
4. Permission usage: Temporary Car Parking and Loading/Unloading Area

Details of Drainage (storm water) System:

1. As-built 200mm width surface channel shown on layout plan.
2. The discharge is connected to 600mm width surface channel built by government.



SITE LAYOUT PLAN



TYPICAL SECTION

Project : APPLICATION FOR PERMISSION UNDER SECTION 16 OF TOWN PLANNING ORDINANCE
AT LOTS NO. 799 S.A RP , 800 S.B RP AND 801 S.B IN D.D 83
192 SHA TAU KOK ROAD, LUNG YEUK TAU, FANLING , N.T

Title : DRAINAGE PROPOSAL (AS-BUILT RECORD)

Dwg. no.: AP16/01/1692 D-01

Date:

Scale: N.T.S

Revision:

Designed :

Drawn :

Checked :

No.	Revision notes	Date	By

Photos
(taken on 14 June 2024)



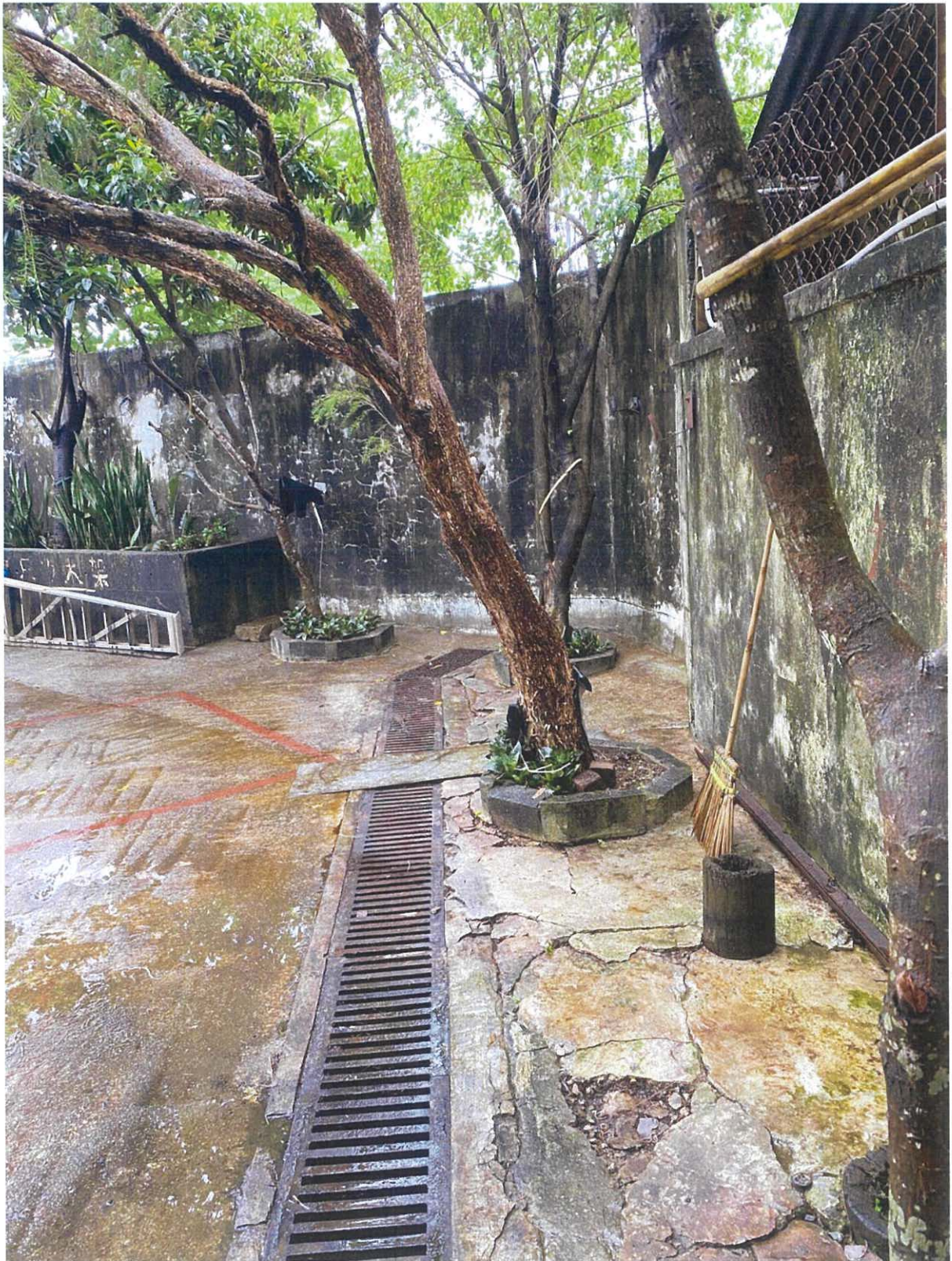
View 1



View 2



View 3



View 4



View 5

Enclosure 6

Photo Record of Existing Trees



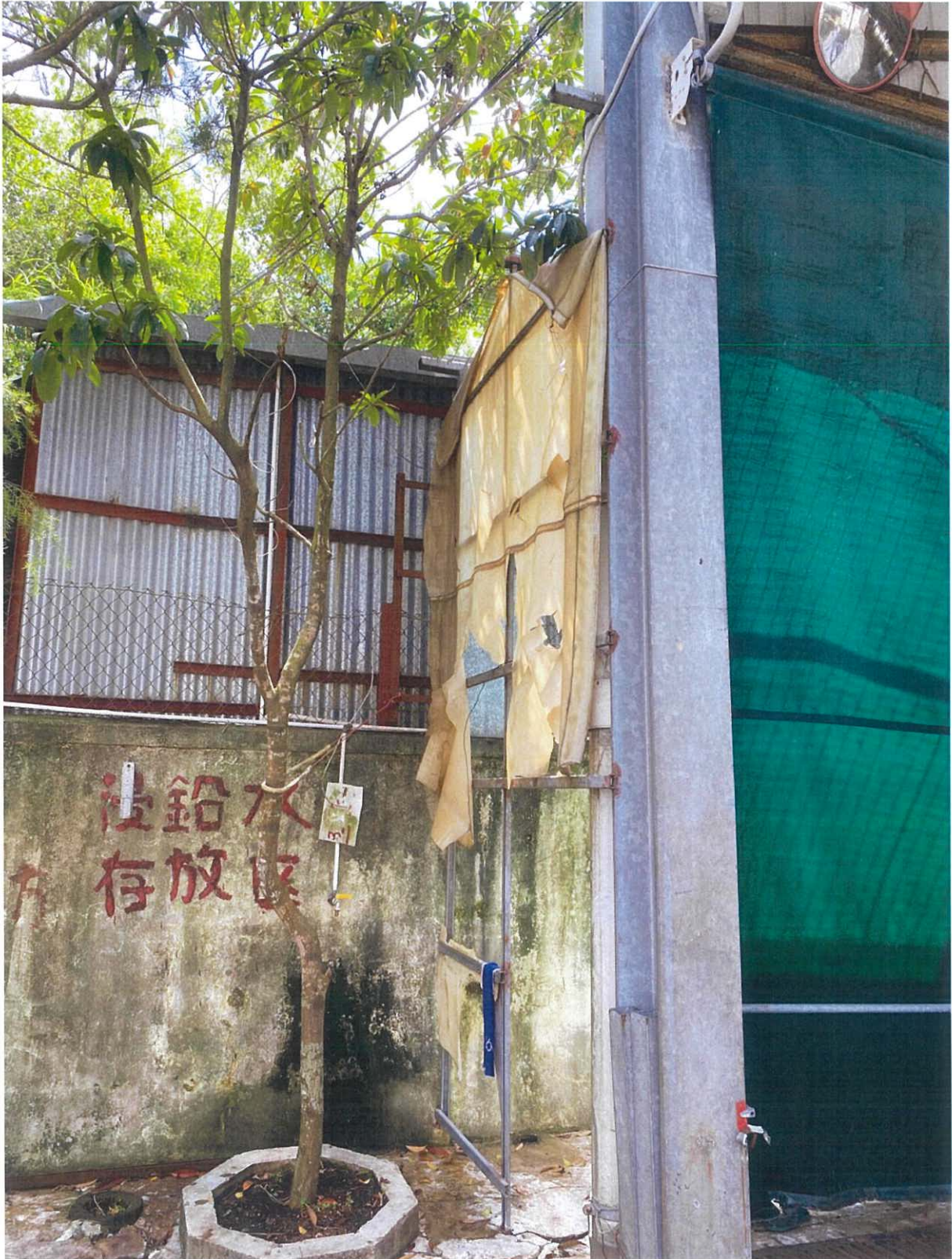
Tree#1,2,3,4 (photo taken in the year 2021)



Tree#4 ,5 (photo taken in the year 2021)



Tree #1,2,3,4 (now)



Tree 5



Tree 1



Tree 2



Tree 3



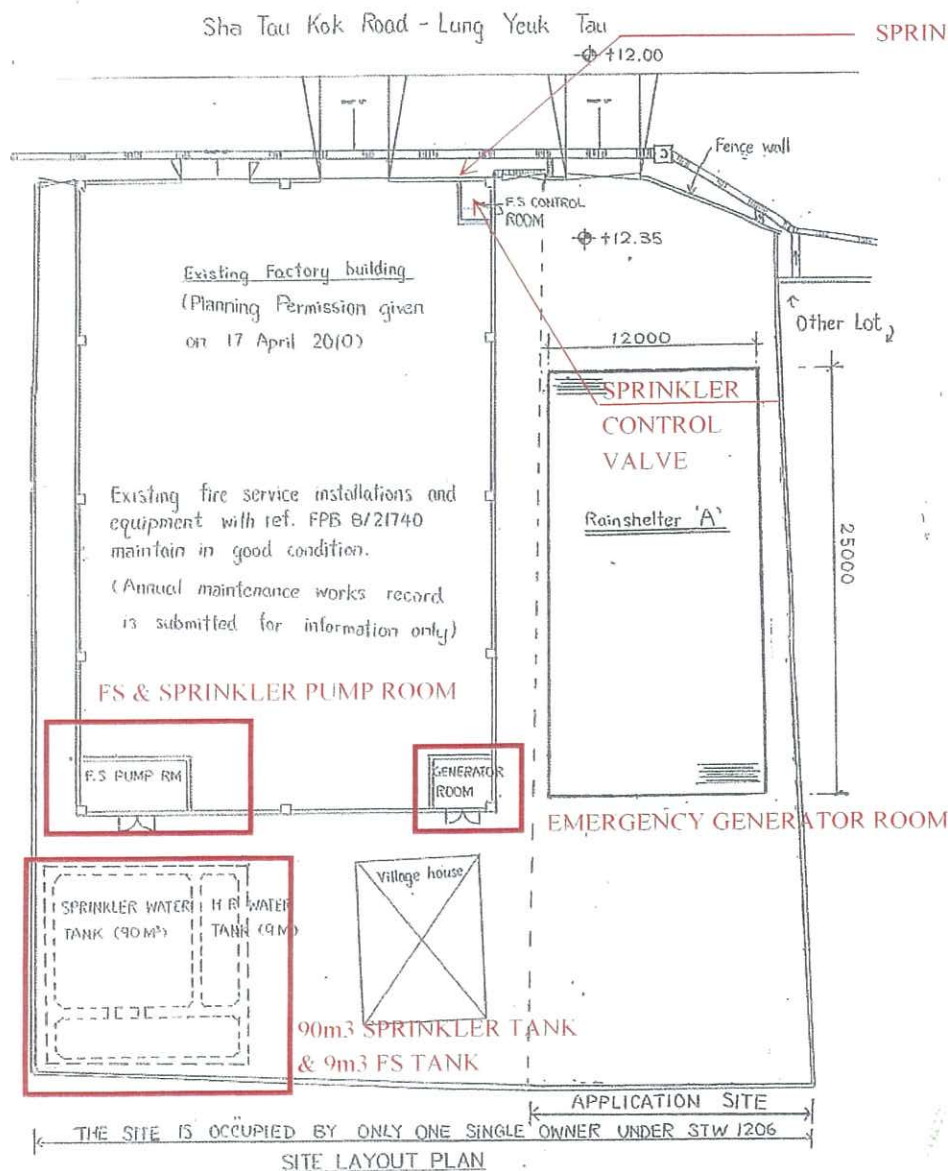
Tree 4



Tree #4,5 (now)

Enclosure 7

**Existing Fire Services Installation Layout and
F.S. 251 (No. A8409899 & 8779332) both dated 13 Mar. 2024
and No. A8779336 dated 18 Apr. 2024**



General Note:

1. All dimensions are read in millimeters.
2. All levels shall be reference to the principle datum of Hong Kong in meter.
3. All measurements must be checked on site.

Particular of application site:

1. Location: No. 192 Sha Tau Kok Road, Lung Yeuk Tau, Fanling, N.T
2. Lots No.: 799 S.A RP and 800 S.B RP and 801 S.B in D.D 83
3. Site Area: 772 sq. m with concrete paving
4. Permission usage: Temporary Car Parking and Loading/Unloading Area
5. Site coverage
Rain shelter "A": Main Shelter 12m x 25m = 300 sq. m

Fire Service Note: (For This application only)

1. Portable fire extinguisher provided as indicated on plan.
2. Sprinkler System shall be provided and protect cover area which exceed 230 sq. m
3. Sufficient Hose Reel shall be provided to ensure that every parts of the rain shelter can be reached by a length of not more than 30M of hose reel tube.
4. Fire Alarm System - one actuation point and one audio warning device shall be located at each Hose Reel point.
6. Visual Fire Alarm Signals shall be provided for the area under this application in accordance with section 4-4 NFPA 72, shall be located at each Hose Reel point.
7. Emergency Lighting shall be provided though out area under this application.
8. If necessary, exit signs-sufficient direction and exit sign shall be provided to ensure that all exit routes for the area under this application to be provided.
9. When a ventilation / Air Conditioning Control System to a building is provided, it shall stop mechanically included air movement within a designated fire compartment.

Project : APPLICATION FOR PERMISSION UNDER SECTION 16 OF TOWN PLANNING ORDINANCE
AT LOTS NO. 799 S.A RP, 800 S.B RP AND 801 S.B IN D.D 83
192 SHA TAU KOK ROAD, LUNG YEUK TAU, FANLING, N.T

Title : FIRE SERVICES INSTALLTION PROPOSAL
SITE LAYOUT AND GENERAL NOTE

Dwg. no.: AP16/01/1694 FS-01

Date:

Scale: N.T.S

Revision:

Designed :

Drawn :

Checked :

No.

Revision notes

Date

By

LEGEND

	GATE VALVE
	GLOBE VALVE
	CHECK VALVE (NON-RETURN VALVE)
	PRESSURE REDUCING VALVE
	SPRINKLER CONTROL VALVE (PLAN)
	WATER MOTOR ALARM GONG
	MONITORED SUBSIDIARY VALVE
	GATE VALVE COMPLETE WITH PLUG
	F.S. INLET / SPRINKLER INLET (PLAN)
	FIRE PUMP SET
	EXPANSION JOINT
	FLEXIBLE PIPE CONNECTOR
	Y-TYPE STRAINER
	FLOW SWITCH
	PRESSURISER SWITCH
	PRESSURE GAUGE WITH STOP CORK
	VORTEX INHIBITOR (ELEVATION)
	4.5kg CO2 F.E.
	YODALAR
	UPPER LAYER SPRINKLER HEAD UNDER STRUCTURAL SLAB
	LOWER LAYER SPRINKLER HEAD UNDER FALSE CEILING
	DOUBLE LAYER SPRINKLER HEAD
	SMOKE DETECTOR UNDER A.C. DUCT
	SMOKE DETECTOR UNDER FALSE CEILING
	SMOKE DETECTOR UNDER STRUCTURAL SLAB
	HEAT DETECTOR UNDER FALSE CEILING
	HEAT DETECTOR UNDER STRUCTURE SLAB
	FIRE HYDRANT (PLAN)
	HOSE REEL (PLAN)
	ALARM BELL (Ø150)
	BREAKGLASS UNIT
	ON/OFF PUSH BUTTON FOR F.S. PUMP
	SLEEVE OPENING
	FIRE SERVICES MOTOR CONTROL CENTRE
	AFA & FIRE ANNUNCIATION PANEL WITH TEL LINE
	BATTERY CHARGER UNIT
	NICKEL - CADMIUM BATTERY

F.S. NOTES

- (1) TWO NUMBER OF HOSE REEL TO BE INSTALL AT POSITION AS INDICATED ON PLAN
- (2) A MANUAL-OPERATED FIRE ALARM SYSTEM COMPRISING BREAKGLASS AND ALARM TO BE PROVIDED THROUGHOUT THE BUILDING AND TO BE INCORPORATED IN THE FIRE ALARM CONTROL ROOM.
- (3) AUTOMATIC SPRINKLER SYSTEM CONFORMED TO 29TH EDITION OF FOC RULES TO BE PROVIDED TO PROTECT THE ENTIRE BUILDING EXCEPT F.S. PUMP ROOM, GENSET ROOM AND FIRE CONTROL ROOM.
- (4) AUTOMATIC FIRE DETECTION SYSTEM TO BE PROVIDED COVERING F.S. PUMP ROOM, GENSET ROOM AND FIRE CONTROL ROOM.
- (5) SPRINKLER SYSTEM TO BE INCORPORATED IN THE AUTOMATIC FIRE ALARM SYSTEM AND CONNECTED TO THE F.S. COMMUNICATION CENTRE BY DIRECT TELEPHONE LINK.
- (6) AUTOMATIC SPRINKLER SYSTEM TO BE ORDINARY HAZARD II.
- (7) GOVERNMENT MAIN WATER TO BE SUPPLIED TO THE FIRE SERVICES AND SPRINKLER SYSTEM. THE MAIN IS FED FROM SINGLE END.
- (8) WATER TANK FOR THE SPRINKLER SYSTEM TO THE 90M³.
- (9) ONE NUMBER OF SPRINKLER INLET AND SPRINKLER CONTROL VALVE TO BE PROVIDED AT POSITIONS AS INDICATED ON PLAN.
- (10) WATER TANK FOR THE HOSE REEL SYSTEM TO BE 9M³.
- (11) SPRINKLER ANNUNCIATION PANEL AND AFA PANEL TO BE PROVIDED AT THE FIRE CONTROL ROOM.
- (12) FIRE EXTINGUISHER TO BE INSTALLED AT THE POSITION AS INDICATED ON PLANS.
- (13) EMERGENCY LIGHTINGS TO BE PROVIDED THROUGHOUT THE ENTIRE BUILDING.
- (14) EXIT SIGNS TO BE PROVIDED TO ENSURE THAT ALL EXITS ROUTES WITHIN THE BUILDING ARE CLEARLY INDICATED.
- (15) EMERGENCY ELECTRICAL POWER SUPPLY TO BE PROVIDED TO ALL F.S. PUMPS AND SPRINKLER PUMPS, EMERGENCY LIGHTINGS, EXIT SIGNS BY MEANS OF EMERGENCY GENERATOR.

REVISION

NO.	DATE	DESCRIPTION
A	10-10-94	SPR. CONTROL VALVE ROOM WAS RELOCATED

SHUN CHEONG ELECT. ENGG. CO. LTD.

Project

PROPOSED TEMPORARY BLOC,
AT LOG NO 792B, 799R P.800C
800P P. 801CR, P 801D, 802B
807C1 IN D 083.
N.T

Title

HOSE REEL AND SPRINKLER LAYOUT

Dwg. No.

YOSCWCL D1

Date

MAY 94

Scale

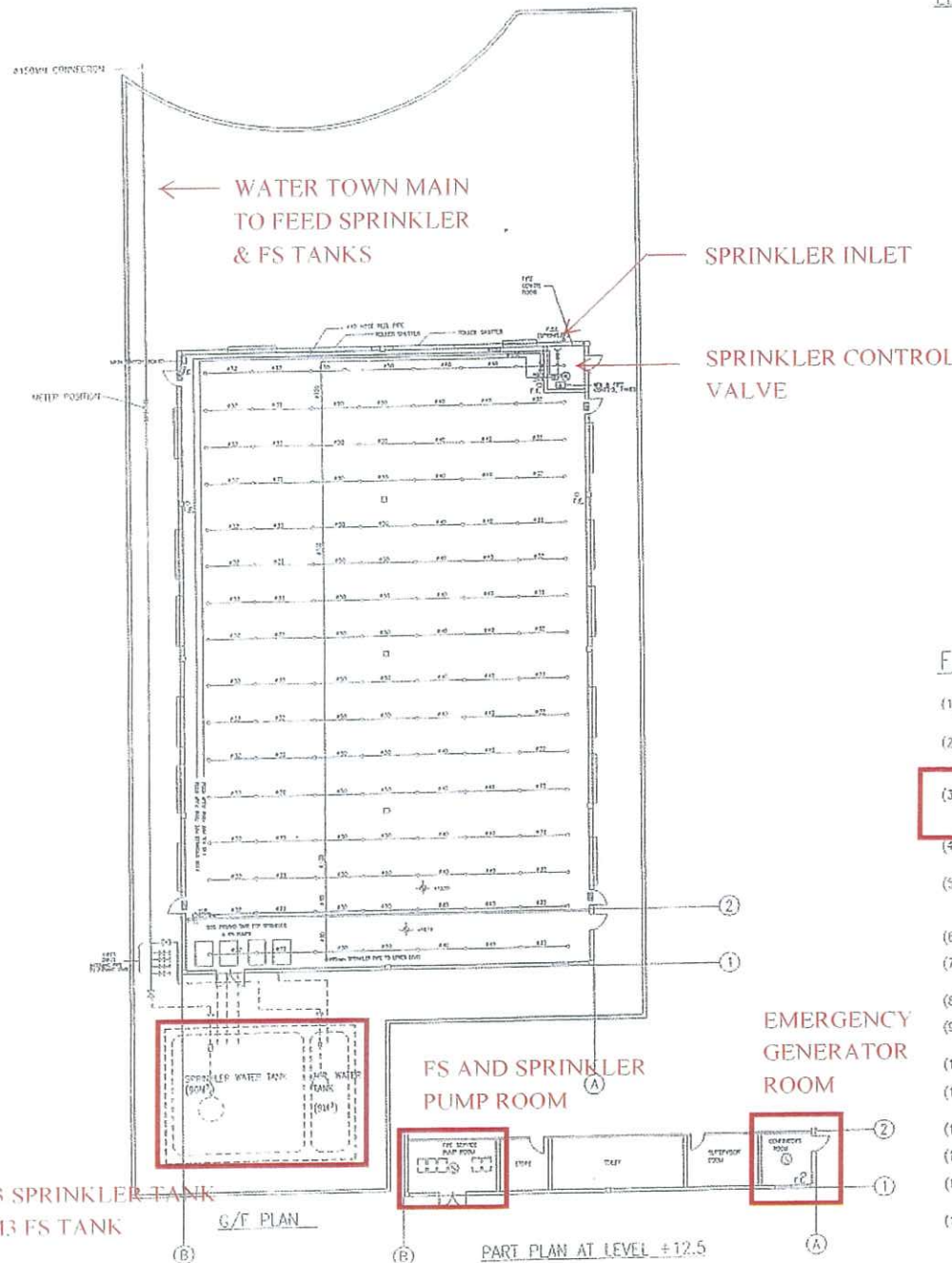
1:100

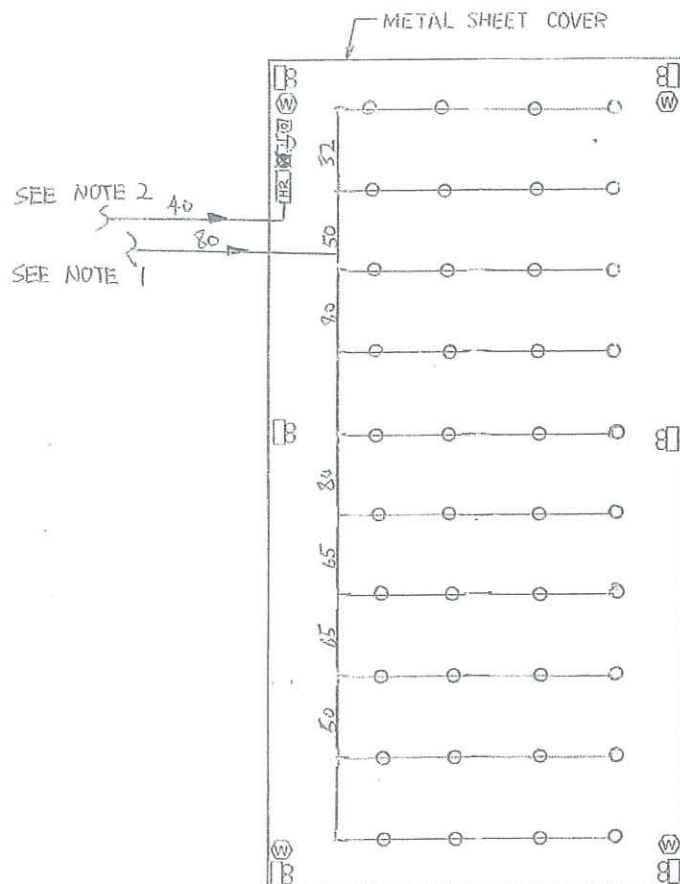
Drawn

Checked

Revision

A





RAINSHELTER 'A'

FLOOR PLAN SCALE 1:150

Remarks

Note 1: 80mm dia. sprinkler pipe tee from existing sprinkler distribution main at existing factory building owned by the applicant.

Note 2: 40mm dia. Hose reel pipe tee from existing HR round main at existing factory building owned by the applicant.

LEGEND

- Emergency light
- Exit sign
- Directional sign
- Fire Alarm Bell 150mm dia
- Visual Fire Alarm
- Break glass call point
- Hose Reel, 30M length tube
- Water CO2 Fire extinguisher, 9 Lit Capacity
- Automatic sprinkler head 68°C, pendant glass bulb type
- G.I. Pipe comply to B.S.1387 medium grade minimum size 32mm dia, or specify
- Hose Reel G.I. Pipe, comply to B.S.1387 medium grade, minimum size 32mm dia, or specify.

Project : APPLICATION FOR PERMISSION UNDER SECTION 16 OF TOWN PLANNING ORDINANCE
AT LOTS NO. 799 S.A RP, 800 S.B RP AND 801 S.B IN D.D 83
192 SHA TAU KOK ROAD, LUNG YEUK TAU, FANLING, N.T.

Title : FIRE SERVICES INSTALLATION PROPOSAL
FLOOR PLAN AND DETAILS

Dwg. no.: AP16/O1/1695 FS-02

Date: _____ **Designed :** _____
Scale: AS SHOWN **Drawn :** _____
Revision: _____ **Checked :** _____

No.	Revision notes	Date	By

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處編號

A 8409899

Name of Client:

顧客姓名

順昌策略有限公司

Name of Building:

樓宇名稱

順昌策略有限公司

Street No./Town Lot:

門牌號數/市地段

龍躍頭段192號

Street/Road/Estate Name:

街道/屋苑名稱

Lots 799 S.A. RP and 800 S.B. RP and
801 S.B. in D.D.83 沙頭角公路

Block:

座

Rainshelter "A"

District:

分區

粉嶺

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業☒ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
13 28 23 11	Fire Alarm System (MFA) Sprinkler System Hosereels Emergency Lighting	Rainshelter "A" - 1 no. - 1 lot - 1 no. - 6 nos.	Conforms with FSD Requirement	08-Mar-2024	07-Mar-2025

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises
for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:

授權人簽署

Name:

姓名

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

Telephone:

聯絡電話

Date:

日期

Fung Tin Ching

RC1/30, RC2/67

Shun Cheong Electrical
Engineering Company Limited

24217808

13-Mar-2024

For FSD
use only:

Inspected

Key-in

Verified

FSD Ref.:
消防處編號

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
消防（裝置及設備）規例
(Regulation 9(1))
(第九條(1)款)
CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
消防裝置及設備證書

A 8779322

Name of Client:
顧客姓名

順昌策略有限公司

Name of Building:
樓宇名稱

順昌策略有限公司

Street No./Town Lot:
門牌號數/市地段

龍躍頭段192號

Street/Road/Estate Name:
街道/屋苑名稱

Lots 799 S.A. RP and 800 S.B. RP and
801 S.B. in D.D.83 沙頭角公路

Block:
座

District:
分區

粉嶺

Area:
地區

☐ HK
香港

☐ K
九龍

☒ NT
新界

Type of Building 樓宇類型: ☐ Industrial 工業

☒ Commercial 商業

☐ Domestic 住宅

☐ Composite 綜合

☐ Licensed premises 持牌處所

☐ Institutional 社團

Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防（裝置及設備）規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	Portable Fire Extinguishers 9L Water / CO2 FE (4 nos.) 4kg Dry Powder FE (1 no.) Sand Bucket (2 nos.) 9L Water / CO2 FE (1 no.)	G/F Rainshelter "A" G/F Rainshelter "A" G/F Rainshelter "A" 臨時小食亭	Conforms with FSD Requirement (Except Part 3 Specified)	08-Mar-2024	07-Mar-2025

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編號 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	Portable Fire Extinguishers 9L Water / CO2 FE 4kg Dry Powder FE	露天倉 露天倉	1 no. (FE expired) 1 no. (FE expired)	Need Replacement Need Replacement

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈
或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises
for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:
授權人簽署

Name:
姓名

FSD/RC No.:
消防處註冊號碼

Company Name:
公司名稱

Telephone:
聯絡電話
Date:
日期

Lam Tak Ming, Oliver Carlo

RC3/473

Shun Cheong Electrical
Engineering Company Limited

24217808 /

13-Mar-2024

For FSD,
use only:

Inspected

Key-in

Verified

FSD Ref.:
消防處檔號

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS
消防(裝置及設備)規例
(Regulation 9(1))
(第九條(1)款)
CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT
消防裝置及設備證書

A 8779336

Name of Client : 顧客姓名
順昌策略有限公司

Name of Building : 樓宇名稱
順昌策略有限公司

Street No./Town Lot : 門牌號數/市地段
龍躍頭段192號
Street/Road/Estate Name : 街道/屋苑名稱
Lots 799 S.A. RP and 800 S.B. RP and 801 S.B. in D.D.83 沙頭角公路

Block : 座
District : 粉嶺
Area : ☐ HK 香港 ☐ K 九龍 ☒ NT 新界

Type of Building 樓宇類型: ☐ Industrial 工業 ☒ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☐ Institutional 社團

Part 1 Annual Inspection ONLY 第一部 只適用於年檢事項					
In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	Portable Fire Extinguishers 9L Water / CO2 FE 5kg Dry Powder FE	露天倉 露天倉	1 no. (To supply and replace) 1 no. (To supply and replace)	Conforms with FSD requirements (Defect FS251 No. A8779322)	12-Apr-2024 12-Apr-2024

Part 3 第三部 Defects 損壞事項				
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈之最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

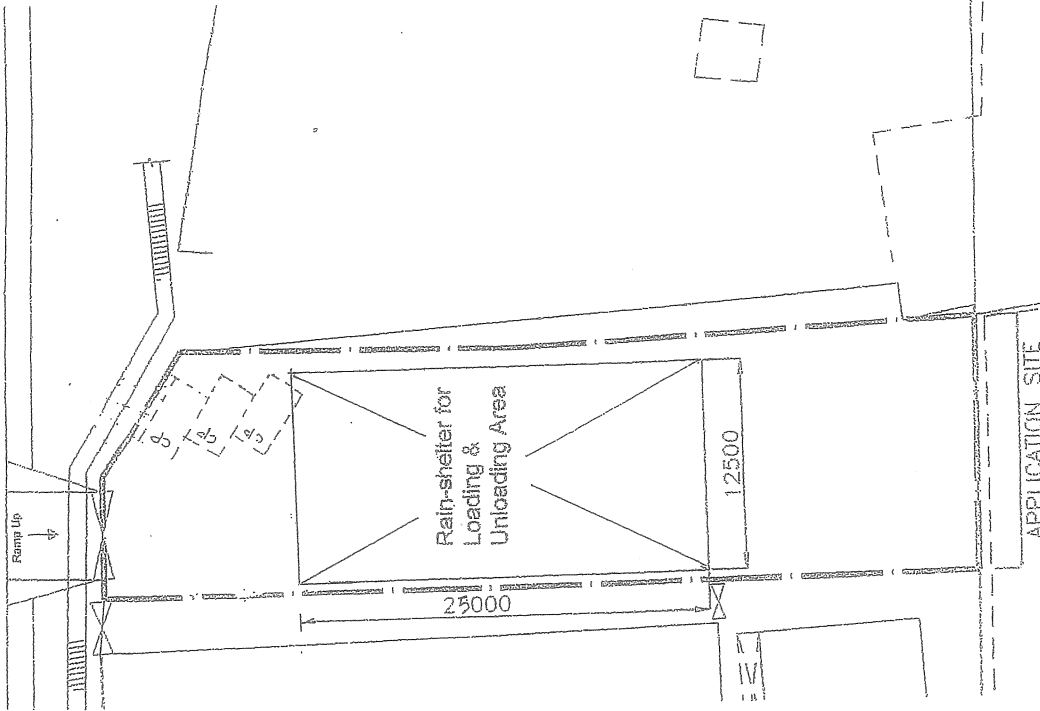
如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises
for FSD's inspection if any annual maintenance work is involved.

F.S. 251 (Rev. 1/2016)

Authorized Signature : 
受權人簽署
Name : 姓名
Lam Tak Ming, Oliver Carlo
FSD/RC No. : 消防處註冊號碼
RC3/473
Company Name : 公司名稱
Shun Cheong Electrical Engineering Company Limited
Telephone : 聯絡電話
24217808 /
Date : 日期
18-Apr-2024
For FSD use only:
Inspected
Key-in
Verified

Sha Tau Kok Road Lung Yeuk Tau



Contract No.:
 Draw No.: A-01
 Scale: 1:400 Date: June 2004

Project: Application for Permission under Section 16 of Town Planning Ordinance at Lots No 788 S.A.R.P. 800 SERP AND 801 SE IN DD63

Title: Existing Layout Plan

alliance architects limited
 22/F., 4th Eco Commercial Building
 57A-57B Nathan Road
 Kowloon
 Hong Kong
 Tel 2104 2325 Fax 2104 2277

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Peter Pak Lun NGAN/PLAND

寄件者: Daniel Chu
寄件日期: 2024年08月09日星期五 16:35
收件者: TPB Submission/PLAND
副本: tonychiu; Peter Pak Lun NGAN/PLAND
主旨: RE: Planning Application No. A/NE-LYT/834 - Supplementary Information
附件: A_NE-LYF_834_Statement_page 2.pdf; A_NE-LYT_834_existing layout plan (Enclosure 7).pdf; A_NE-LYT_834_Renewal Application Statement-R2.pdf

郵件標幟: 待處理
標幟狀態: 已標幟

類別: Internet Email

Dear Sir/Madam,

Attached please find the revised page in the “Renewal Application Statement” with revised content “no change in existing layout and FS layout” for your further process.

A full set of the revised Application Statement-R2 is also attached for your information, thanks

Regards,

Daniel Chu
Associate

alliance architects limited
22/F, Wo Foo Commercial Building
574 Nathan Road, Kowloon

<http://alliancehk.com/>

7. Justifications for Application for Renewal of Permission for Temporary Use

A renewal application to the TBP for permission of temporary use of the caption lot is now submitted for approval.

The existing permitted use is to provide temporary private vehicle car park and light goods vehicle (Excluding Container Vehicle) and loading/unloading spaces for the existing factory building of the adjoining lot (See Enclosure 4).

All the following past planning approval conditions will remain unchanged:-

- no operation between 6:00p.m. to 8:00a.m. on Monday to Saturday is allowed on the site;
- no operation on Sundays and public holidays is allowed on the site;
- no container tractor / trailer is allowed to be parked/stored on or enter/exit the
- the peripheral fencing of the site should be maintained at all times;
- the existing drainage facilities should be properly maintained at all times and rectified if they are found inadequate / ineffective during operation (See Enclosure 5);
- all existing trees should be properly maintained at all times (See Enclosure 6);
- all water supplies for firefighting and fire service installations should be properly maintained at all times (See Enclosure 7).
- the existing layout and FS layout had remain unchanged with previously approved scheme.

The temporary use of the caption lots has no significant impact on the adjacent environment.

8. Conclusion

As the temporary permission will be expired on 24 Sep. 2024 and all previous planning approval conditions have been fulfilled, the current renewal application should be approved by the Town Planning Board as soon as possible.

**Relevant Extracts of Town Planning Board Guidelines No. 34D
on ‘Renewal of Planning Approval and Extension of Time for Compliance
with Planning Conditions for temporary Use or Development’
(TPB PG-No. 34D)**

1. The relevant assessment criteria for assessing applications include:
 - (a) whether there has been any material change in planning circumstances since the previous temporary approval was granted (such as a change in the planning policy/land-use zoning for the area) or a change in the land uses of the surrounding areas;
 - (b) whether there are any adverse planning implications arising from the renewal of the planning approval (such as pre-emption of planned permanent development);
 - (c) whether the planning conditions under previous approval have been complied with to the satisfaction of relevant Government departments within the specified time limits;
 - (d) whether the approval period sought is reasonable; and
 - (e) any other relevant considerations.
2. Under normal circumstances, the approval period for renewal should not be longer than the original validity period of the temporary approval. In general, the Board is unlikely to grant an approval period exceeding three years unless there are strong justifications and the period is allowed for under the relevant statutory plans. Depending on the circumstances of each case, the Board could determine the appropriate approval period, which may be shorter than the time under request.

Previous s.16 Applications

Approved Applications

Application No.	Uses/ Development	Date of Consideration
A/NE-LYT/149	Extension of Workshop and Storage of Electrical Appliances/Fittings with Car Parking and Loading/Unloading	20.2.1998 (approved for a period of 12 months)
A/NE-LYT/196	Temporary Car Parking and Loading/Unloading Area for a Period of 3 Years	18.2.2000
A/NE-LYT/308	Temporary Car Parking and Loading/Unloading Area for a Period of 3 Years	29.7.2005
A/NE-LYT/396	Temporary Car Parking and Loading/Unloading Area for a Period of 3 Years	7.8.2009
A/NE-LYT/496	Temporary Car Parking and Loading/Unloading Area for a Period of 3 Years	8.2.2013 (revoked on 8.10.2013)
A/NE-LYT/541	Temporary Vehicle Park for Private Car and Light Goods Vehicle (Excluding Container Vehicle) and Loading/Unloading for a Period of 3 Years	22.8.2014
A/NE-LYT/640	Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (Excluding Container Vehicle) and Loading/Unloading for a Period of 3 Years	20.7.2018
A/NE-LYT/752	Temporary Private Vehicle Park for Private Car and Light Goods Vehicle (Excluding Container Vehicle) and Loading/Unloading for a Period of 3 Years	24.9.2021

**Similar s.16 Applications in the vicinity of the Application Site
within/partly within the “Residential (Group C)” zone
on the approved Lung Yeuk Tau and Kwan Tei South OZP No. S/NE-LYT/19
in the Past Five Years**

Approved Applications

<u>Application No.</u>	<u>Uses/ Development</u>	<u>Date of Consideration</u>
A/NE-LYT/775 [#]	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 5 Years	31.3.2023 (revoked on 31.3.2024)
A/NE-LYT/806 [#]	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Associated Filling of Land	27.10.2023
A/NE-LYT/820	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Associated Filling of Land	26.1.2024

Remarks[#] : A/NE-LYT/775 is a portion of A/NE-LYT/806

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- no objection to the application;
- the application site (the Site) comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government Land is granted to the Site;
- the Site is already being used for the applied use under the application. Two of the application lots (i.e. Lots 800 S.B RP and 801 S.B both in D.D. 83) are covered by Short Term Waiver No. 1206 (the STW). The STW is issued for the purpose of workshop and storage of electrical appliances/fittings on Lots 799 S.B RP, 799 RP, 800 RP, 800 S.B RP, 800 S.C, 801 S.B, 801 S.C RP, 801 S.D, 807 S.B, 808 S.A and 808 S.B RP all in D.D. 83. The total site coverage of the existing structures erected on site had exceeded the permitted built-over-area under the STW. Her office reserves the right to take enforcement action for breach of the STW; and
- if the application is approved, the applicant will need to apply to her office for modification of the STW conditions where appropriate to permit the structures erected within the said private lots. The application for modification will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The modification, if approved, will be subject to such terms and conditions including the payment of back-dated waiver fee from the first date the unauthorised structures were erected and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered.

2. Traffic

Comments of the Commissioner for Transport (C for T):

- no adverse comment on the application from traffic engineering perspective.

Comments of the Chief Highways Engineer/New Territories East, Highways Department (CHE/NTE, HyD):

- no comment on the application from highways maintenance perspective.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no comment on the application from environmental perspective; and
- there is no complaint case related to the Site in the past three years.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from public drainage perspective;
- site inspection was conducted by his office on 21.8.2024 which revealed that the existing drainage facilities on the Site was considered acceptable; and
- should the application be approved, condition should be included to request the applicant to maintain the existing drainage facilities on the Site at all times during the planning approval period.

5. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no specific comment on the application from fire safety perspective.

6. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD)

- the Site falls within “Residential (Group C)” zone, which is a non-landscape sensitive zoning, and no significant landscape impact arising from the applied use is anticipated.

7. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no adverse comment on the application; and
- the applicant is advised to note his advisory comments under the Buildings Ordinance appended at **Appendix V**.

8. District Officer's Comments

Comments of the District Officer (North), Home Affairs Department (DO(N), HAD):

- he has issued consultation letters to the Chairman of Sheung Shui District Rural Committee, the Indigenous Inhabitant Representative and the Resident Representative of Kai Leng.

9. Project Interface

Comments of the Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD):

- the Site is located within the proposed New Territories North New Town (NTN New Town) under the Planning and Engineering Study for NTN New Town and Man Kam To (the P&E Study) commenced on 29.10.2021. The land uses/developments and associated infrastructure and community facilities in the area will be holistically reviewed under the P&E Study. The public will be consulted on the proposals of NTN New Town and Man Kam To under the P&E Study in due course.

10. Other Departments

The following government departments have no objection to / no comment on the application:

- Director of Agriculture, Fisheries and Conservation (DAFC);
- Commissioner of Police (C of P);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD); and
- Director of Electrical and Mechanical Services (DEMS).

Recommended Advisory Clauses

- (a) to note the following comments of the District Lands Officer/North, the Lands Department (DLO/N, LandsD) that:
 - (i) the application site (the Site) comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government Land is granted to the Site;
 - (ii) the Site is already being used for the applied use under the application. Two of the application lots (i.e. Lots 800 S.B RP and 801 S.B both in D.D. 83) are covered by Short Term Waiver No. 1206 (the STW). The STW is issued for the purpose of workshop and storage of electrical appliances/fittings on Lots 799 S.B RP, 799 RP, 800 RP, 800 S.B RP, 800 S.C, 801 S.B, 801 S.C RP, 801 S.D, 807 S.B, 808 S.A and 808 S.B RP all in D.D. 83. The total site coverage of the existing structures erected on site had exceeded the permitted built-over-area under the STW. Her office reserves the right to take enforcement action for breach of the STW; and
 - (iii) the applicant will need to apply to her office for modification of the STW conditions where appropriate to permit the structures erected within the said private lots. The application for modification will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The modification, if approved, will be subject to such terms and conditions including the payment of back-dated waiver fee from the first date the unauthorised structures were erected and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered;
- (b) to note the comments of the Chief Highways Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
 - (i) the access road adjacent to the Site is not maintained by HyD;
 - (ii) the run-in/out should be designed and constructed in accordance with prevailing HyD Standard Drawings to the satisfaction of HyD and the Transport Department; and
 - (iii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (c) to note the comments of the Director of Environmental Protection (DEP) that the applicant should comply with all environmental protection/pollution ordinances, and follow the latest “Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites” issued by the Environmental Protection Department in order to minimise any possible environmental nuisances;
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD):
 - (i) the applied use and the drainage facilities implemented on-site shall not obstruct overland flow/surface runoff and any existing drainage facilities. The applicant shall make sure that rain water falling onto the Site shall be connected by a drainage system and conveyed to a proper discharge point(s); and

- (ii) the applicant shall maintain such system properly and rectify the system if it is found to be inadequate or ineffective during operation at his own cost. The applicant shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by a failure of the system;
- (e) to note the comments of the Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD) that the Site is located within the proposed New Territories North New Town (NTN New Town) under the Planning and Engineering Study for NTN New Town and Man Kam To (the P&E Study). The land uses/developments and associated infrastructure and community facilities in the area will be holistically reviewed under the P&E Study. The public will be consulted on the proposals of NTN New Town and Man Kam To under the P&E Study in due course; and
- (f) to note the following comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) if the existing structures are erected on leased land without approval of the Building Department (BD) (not being a New Territories Exempted House), they are unauthorised under the Buildings Ordinance (the BO) and should not be designated for any approved use under the captioned application;
 - (ii) before any new building works (including containers/open sheds as, temporary buildings) are to be carried out on the Site, the prior approval and consent of BD should be obtained, otherwise they are unauthorised building works (UBWs). An Authorised Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (iii) for UBWs erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with BD's enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under the BO;
 - (iv) in connection with (ii) above, the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively; and
 - (v) if the Site does not abut on a specified street of not less than 4.5m wide, its permitted development intensity shall be determined under Regulation 19(3) of B(P)R at the building plan submission stage.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

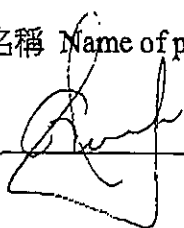
A/NE-LYT/834

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date

2024.8.8

專人送遞或郵遞:香港北角渣華道 333 號北角政府合署 15 樓
傳真 : 2877 0245 或 2522 8426
電郵: tpbpd@pland.gov.hk

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A/NE-LYT/834

意見詳情 (如有需要, 請另頁說明)

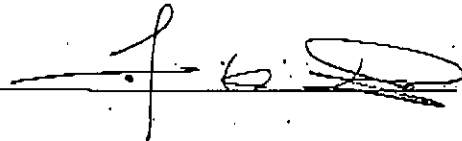
Details of the Comment (use separate sheet if necessary)

沒有意見

「提意見人」姓名/名稱 Name of person/company making this comment

黃亞成

簽署 Signature



日期 Date

8.8.2024

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

P. 1/4

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

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By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/834

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary).

請看附頁反對資料

「提意見人」姓名/名稱 Name of person/company making this comment _____

簽署 Signature _____



日期 Date _____

20-8-2024

敬啟者：

貴處檔號：TPB/A/NE-LYT-834

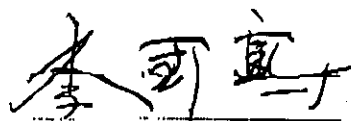
粉嶺龍躍頭沙頭角公路192號丈量約份第83約地段
第799號A分段餘段、第800號B分段餘段及第801號B分段
臨時私人私家車及輕型貨車停車場(貨櫃車除外)和
上落客貨區的規劃許可續期(為期3年)
(申請編號：A/NE-LYT/834)

本會接獲該區村民求助及對上述申請作出強烈反對，反對理由是道路欠安全配套，出入路口欠缺路牌指示小心車輛或行車方向，仍有隱藏危機，滋擾村民出入，危及村民安全。

懇請 貴處理解村民之憂慮，密慎處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會主席


(李國鳳) 敬上



2024年8月20日



香港新界粉嶺區鄉事委員會
Hong Kong Fanling District Rural Committee

P.3/4

敬啟者：

貴處檔號：TPB/A/NE-LYT-834

粉嶺龍躍頭沙頭角公路192號丈量約份第83約地段
第799號A分段餘段、第800號B分段餘段及第801號B分段
臨時私人私家車及輕型貨車停車場(貨櫃車除外)和
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懇請 貴處理解村民之憂慮，審慎處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會首副主席

劉永安

(劉永安)

敬上



2024年8月20日



香港新界粉嶺區鄉事委員會
Hong Kong Fanling District Rural Committee

p. 4/4

敬啟者。

貴處檔號：TPB/A/NE-LYT-834

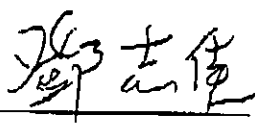
粉嶺龍環頭沙頭角公路 192 號丈量約份第 83 約地段
第 799 號 A 分段餘段、第 800 號 B 分段餘段及第 801 號 B 分段
臨時私人私家車及輕型貨車停車場(貨櫃車除外) 和
上落客貨區的規劃許可續期 (為期 3 年)
(申請編號: A/NE-LYT/834)

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懇請 貴處理解村民之憂慮，審慎處理上述申請。

此致
規劃署沙田、大埔
及北區規劃專員

粉嶺區鄉事委員會副主席

 敬上
(鄧志佳)

2024 年 8 月 20 日