

- 6 NOV 2024

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.
*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
- & Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2402472

15/10 By hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-LYT/837
	Date Received 收到日期	- 6 NOV 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Anson Technology Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

LCH Planning & Development Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Remaining Portion of Section A of Lot No. 1508 in Demarcation District 83, Lung Yeuk Tau
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 843.1 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 116 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture
(f) Current use(s) 現時用途	Public Vehicle Parks (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

Temporary Public Vehicle Park (Private Cars Only) for a period of 3 years

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 Three☐ month(s) 個月**(c) Development Schedule 發展細節表**

Proposed uncovered land area 擬議露天土地面積	758	.....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	86	.....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	2	.....
Proposed domestic floor area 擬議住用樓面面積		.....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	116	.....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	116	.....sq.m <input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Refer to planning statement.

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	21	.....
Motorcycle Parking Spaces 電單車車位		.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位		.....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位		.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		.....
Others (Please Specify) 其他 (請列明)		.....

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	.....
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	.....

Proposed operating hours 擬議營運時間 From Monday to Sunday, including public holidays (24 hours)																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Sui Wan Road																															
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約																															
	No 否	<input checked="" type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>refer to supporting planning statement</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
 位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

refer to the supporting planning statement

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

HO JOSEPH JUNIOR

DIRECTOR

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☒ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

LCH Planning & Development Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

14/10/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	REMAINING PORTION OF SECTION A OF LOT NO. 1508 IN DD 83, LUNG YEUK TAU, FANLING 粉嶺龍躍頭第83約地段第1508號A分段餘段
Site area 地盤面積	843.1 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 龍躍頭及軍地南分區計劃大綱核准圖編號S/NE-LYT/19
Zoning 地帶	Agriculture
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Public Vehicle Park (Private Cars Only) for a period of 3 years 臨時公眾停車場(私家車) 為期三年

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	116 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.14 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	2	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	5.3 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		2 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	10 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		21
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		21
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Land Lot Boundary Plan, Outline Zoning Plan, Layout Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



**Section 16 Application for Temporary Public Vehicle Park
(Private Cars Only) at Lung Yeuk Tau, Fanling, for a period of 3
Years**

Supporting Planning Statement

Prepared by
Planning Consultant : LCH Planning & Development
Consultants Limited

October 2024
Report : Version 1.0



Executive Summary

(in case of discrepancy between English and Chinese versions, English version shall prevail)

This Application is submitted to the Town Planning Board (“**the Board**”) under Section 16 of the Town Planning Ordinance (“**the Ordinance**”) for a temporary “Public Vehicle Park (Private Cars Only)” use for a period of 3 years (“**the Development**”) at Lung Yeuk Tau, Fanling (“**the Application Site**”).

The Application Site falls within an area of “Agriculture” (“**AGR**”) zone on the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 (“**the OZP**”). According to the Notes of the OZP for “AGR” zone, ‘Public Vehicle Park’ is neither a Column 1 nor Column 2 use which requires planning permission from the Board. No change has been made with the previously approved application No. A/NE-LYT/777. The Development comprises 21 parking spaces for private cars (2.5m x 5m each), an open structure with ancillary solar panels at eastern part, and a two-storey container which will be provided as site office for storage of maintenance equipment at southeastern part of the Site. The existing building height of 5.3 m and the total floor area is 116 m² which conforms to the respective requirement under the OZP.

This Application aims to continue accommodating the high demand of the local villagers for car parking spaces. It is situated at a convenient location that is favourable to operate a public vehicle park and to serve the nearby residents and visitors. Given the high occupancy of current public vehicle park, it is reflected that the implementation of the proposed public vehicle park has improved the traffic condition by increasing the supply of proper parking spaces which reduces illegal roadside parking.

The Development does not hinder the long-term planning intention of “AGR” zone. Similar applications in the “AGR” zone in the Lung Yeuk Tau and Kwan Tei South area have also been considered and approved. There are no adverse traffic, visual, landscape, drainage and environmental impacts.

In view of the above justifications, we would sincerely seek the favourable consideration of the Board to approve this Application.



內容摘要

(如內文與其英文版本有差異，則以英文版本為準)

本規劃申請根據《城市規劃條例》第 16 條，就粉嶺龍躍頭 (下稱「**申請地點**」) 的用地，向城市規劃委員會 (下稱「**城規會**」) 申請作臨時「公眾停車場(只限私家車)」用途，為期 3 年 (下稱「**此發展**」)。

申請地點現時於《龍躍頭及軍地南分區計劃大綱核准圖編號 S/NE-LYT/19》(下稱「**大綱圖**」) 劃作「農業」地帶。根據大綱圖有關「農業」地帶的註釋，「公眾停車場(只限私家車)」不屬於「農業」地帶的第一欄或第二欄用途，需要獲得城規會的規劃許可，對比已獲批准的規劃申請 A/NE-LYT/777，此發展並沒有任何改變。此發展包括 21 個私家車專用停車位 (每個 2.5 米 x 5 米)、一個設有附屬太陽能電池設施的開放式建築物，以及一個兩層高的貨櫃作為辦公室和存放維修設備的用途。現有建築物位於申請地點的東部及東南部，高度不多於 5.3 米，總樓面面積約為 116 平方米，合乎大綱圖的相關要求。

是次規劃申請可以滿足當區居民對停車位的需求，其位置上的優勢更有利於公眾停車場的發展及運作，為附近的居民提供方便且合法的停車處。落實此臨時停車場能增加合法停車位的數量，紓緩違例泊車的問題，從而繼續改善當區的交通狀況。

此發展不會妨礙長遠規劃意向，於龍躍頭和軍地南的「農業」地帶亦有不少相關申請曾被批准。此臨時公眾停車場亦不會對交通、視覺、景觀、排水系統和環境造成不利影響。

鑒於以上提出的依據，我們真誠地尋求城規會批准該申請。

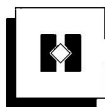


TABLE OF CONTENTS

1	Introduction	2
2	The Application site and Development Proposal	3
3	Planning Assessment	6
4	Planning Merits & Justifications	10
5	Conclusion	12

List of Figures

Figure 1	Location Plan
Figure 2	Land Lot Boundary Plan
Figure 3	Extract of Outline Zoning Plan No. S/NE-LYT/19

List of Annexes

Annex 1	Indicative Layout Plan
Annex 2	Drainage Proposal
Annex 3	Compliance of Approval Conditions for Planning Application No. A/NE-LYT/777
Annex 4	Relevant Documents for Excavation Permit

List of Diagrams

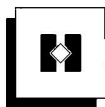
Diagram 1	Existing Village Clusters
Diagram 2	Public Transport Service



1 INTRODUCTION

1.1 The Application

- 1.1.1 We are commissioned by the Applicant to prepare and submit on its behalf this planning application for a temporary 'Public Vehicle Park (Private Cars Only)' use for a period of 3 years (hereinafter referred to as the "**Development**") in Lung Yeuk Tau, Fanling (**Figure 1**) (hereinafter referred to as the "**Application Site**") to the Town Planning Board ("**the Board**") under Section 16 of the Town Planning Ordinance ("**the Ordinance**").
- 1.1.2 The Application Site falls within an area designated as "Agriculture" ("**AGR**") zone on the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 ("**the OZP**") (**Figure 3**). According to the Notes of the OZP for "AGR" zone, 'Public Vehicle Park' is neither a Column 1 nor Column 2 use that may be permitted by the Board.
- 1.1.3 According to the Notes of the OZP, temporary use or development of any land or building not exceeding a period of three years requires permission from the Town Planning Board. Notwithstanding that the use or development is not provided for in terms of the Plan, the Town Planning Board may grant permission, with or without conditions, for a maximum period of three years, or refuse to grant permission.



2 THE APPLICATION SITE AND DEVELOPMENT PROPOSAL

2.1 Current Condition of the Application Site

- 2.1.1 The Application Site covers a total of about 843.1 square metres (“sq. m.”). The Application Site is currently paved with concrete and fenced off.
- 2.1.2 The Application Site is attached to Sui Wan Road that connects the site to Sha Tau Kok Road. The site is situated at the southeast of Sha Tau Kok Road (Lung Yeuk Tau) and Lung Yeuk Tau Heritage Trail. Besides, there is a river known as Ma Wat River which is located in the west of the site. It is also located in the southeast of San Uk Tsuen and the north of Wing Ling Wai.
- 2.1.3 **Figure 1** illustrates the location of the Application Site and its immediate vicinity, and the existing condition of the Site.
- 2.1.4 The site is located at the boundary of Lung Yeuk Tau and it was surrounded by the village houses on its north, west and south. Some temporary structures and a car park under approved application A/NE-LYT/747 are situated on the immediate east of the site. To the immediate west, there are village houses and village office. The village development of San Uk Tsuen is also located on the further west of the site, across Sha Tau Kok Road - Lung Yeuk Tau. Village houses of Wing Ning Wai are situated on the immediate south of the site.

2.2 Land Status

- 2.2.1 The Application Site falls within the boundary of the Remaining Portion of Section A of Lot No. 1508 in Demarcation District 83, Lung Yeuk Tau (“**the Lot**”) (**Figure 2**).

2.3 Surrounding Context

- 2.3.1 Lung Yeuk Tau is a sub-urban area located northeast of Luen Wo Hui in Fanling in the New Territories. The area is comprised of eleven villages and the major uses of land are parking of vehicles, storage, temporary structures, domestic structures and vacant land. Lung Yeuk Tau is located in between two major villages which are Wing Ning Wai and San Uk Tsuen. There is a major road (Sha Tau Kok Road) in Lung Yeuk Tau, and the major transportation mode is by bus or minibus, connecting Lung Yeuk Tau to Fanling MTR station.
- 2.3.2 The Application Site is located at the northern edge of Lung Yeuk Tau, with village houses and temporary structures surrounding the site. The run-in and out is located at the southern boundary of the Applications Site, and the site is accessible from Sha Tau Kok Road - Lung Yeuk Tau via Sui Wan Road.

2.4 Existing Village Clusters

- 2.4.1 At the northern edge of Lung Yeuk Tau, the San Uk Tsuen is just to the southwest across the Sha Tau Kok Road - Lung Yeuk Tau. Going south along the Sui Wan Road are the Wing Ning Wai and Wing Ning Tsuen, and further south are the Ma Wat Wai, Ma Wat Tsuen, Tung Kok Wai, Lo Wai and Tsz



Tong Tsuen.

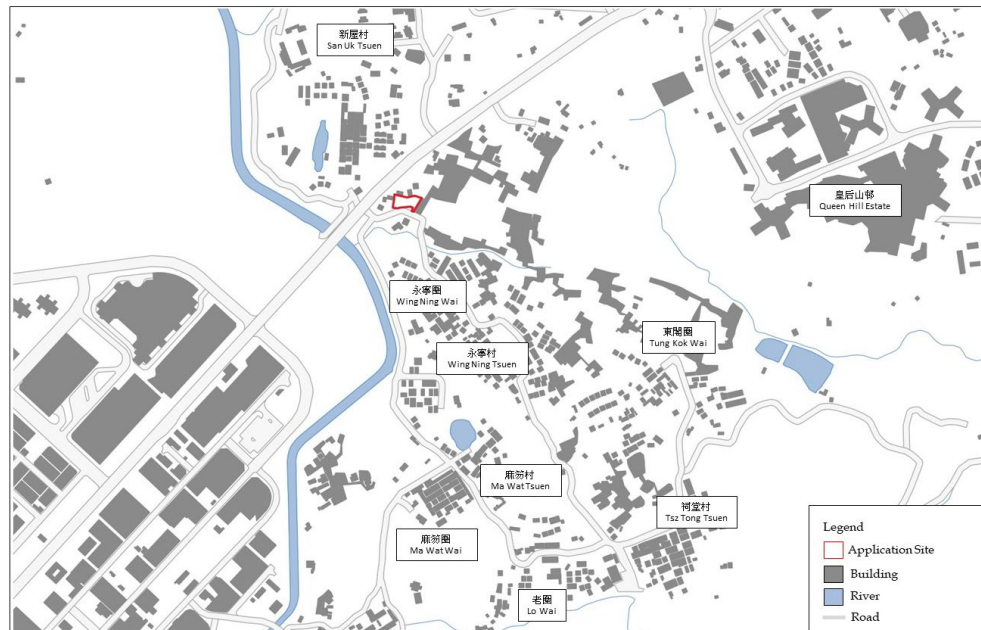


Diagram 1 Existing Village Clusters (Source: HK GEODATA STORE, HKSAR Government)

2.5 Temporary Public Vehicle Park for Private Car

2.5.1 The Application Site covers an area of about 843.1 sq.m. The Development provides a total of 21 parking spaces for private cars (2.5m x 5m each) within the Application Site. There will be a four-side open steel structure with a height of about 3 meters covering four car parking spaces along the eastern boundary, with an area of approximately 56 sq.m., with ancillary solar panels on top to supply electricity of the Development. There is a two-storey container as a site office for storage of maintenance equipment at the southeastern part of the Application Site, with a total floor area of 60 sq.m. and a height of about 5.3 meters.

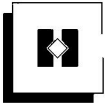
2.5.2 Short term waiver for all the concerned structures has been granted in 2023 already.

2.5.3 The indicative layout plan of the Development is shown in **Annex 1**.

2.6 Operation Arrangement

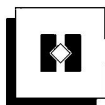
2.6.1 The car park operates on a monthly rental basis from Monday to Sunday, including public holidays for local residents and visitors 24 hours a day. Enter and exit of the car park will be through the existing gate opening along the Sui Wan Road with a width of 5.7m. The following traffic management measures are proposed to follow:

- No vehicle without valid licence issued under the Road Traffic Ordinance will be allowed to be parked/stored on or enter/exit the Site;
- Only private car as defined in the Road Traffic Ordinance will be allowed



to be parked/stored on or enter/exit the Site;

- No medium or heavy goods vehicle exceeding 5.5 tonnes, including container tractor/ trailer will be permitted to park at the Site;
- A notice should be posted at the ingress/ egress point of the site to indicate that no medium or heavy goods vehicle (i.e. exceeding 5.5 tonnes) including container trailers/tractors, as defined in the Road Traffic Ordinance, will be allowed to be parked/stored on the Site; and
- No car washing, vehicle repair or other workshop activities will be allowed on the Site.



3 PLANNING ASSESSMENT

3.1 Statutory Planning Context

- 3.1.1 The Application Site falls within an area designated as “Agriculture” zone on the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 (**Figure 3**) (also known as the “OZP”). The planning intention of the “AGR” zone is *“intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes”*.
- 3.1.2 According to Notes of “AGR” zone of OZP, ‘Public Vehicle Park’ is neither a Column 1 nor Column 2 use under “AGR” zone. According to the Notes of the OZP, temporary use not exceeding a period of three years within “AGR” zone requires planning permission from the Town Planning Board notwithstanding that the use is not provided for in terms of the Plan.
- 3.1.3 Approval of this application on a temporary basis for a period of 3 years would not jeopardize the long-term planning intention of the “AGR” zone.

3.2 Previously Approved Applications

- 3.2.1 The Application Site is subject to two applications No. A/NE-LYT/706 and 777 approved by the Town Planning Board on 6 September 2019 and 11 July 2024 respectively. Application No. A/NE-LYT/777 was approved on a temporary basis for a period of 3 years until 13 January 2026. The Applicant has tried his best effort to comply with approval conditions attached to the aforesaid planning application. Refer to **Annex 3**.
- 3.2.2 The existing nature of use, nos. of car parking, and operation arrangement in this Application follow the previously approved application. A table summarizing the Application No. A/NE-LYT/777 and the current applicant is as follow. No changes are made between them:

<u>Parameters</u>	<u>Application No.</u> <u>A/NE-LYT/777</u>	<u>Current</u> <u>Application</u>	<u>Difference</u>
Site Area	About 843.1 sq.m.	About 843.1 sq.m.	/
Floor Area for site office for covered CPS	About 116 sq.m. About 60 sq.m. About 56 sq.m	About 116 sq.m. About 60 sq.m. About 56 sq.m	 / /
No. of Structure(s)	2	2	/
Max. Height of Structures	5.3 meters	5.3 meters	/
No. of Private Car Parking Spaces	21	21	/



3.3 Similar Approved Applications for Public Vehicle Parks

- 3.3.1 There are several similar applications for temporary public vehicle park use in the vicinity of the Application Site, which falls within “AGR” zone.
- 3.3.2 There are nine similar applications of similar uses within the same “AGR” zone in the Lung Yeuk Tau and Kwan Tei South area, involving four different sites. The previous applications (No. A/NE-LYT/706 and 777) involving the Subject Application Site for temporary public vehicle park for private cars was approved on 2019 and 2024 respectively.
- 3.3.3 There are other ten similar applications (No. A/NE-LYT/462, 560, 577, 598, 662, 689, 693 704, 747 and 828) involving four sites for temporary public vehicle parks. Applications concerning two sites are all lapsed as at current date.

3.4 High Demand for Private Car Parking Spaces in the Vicinity

- 3.4.1 Existing public transport services from Fanling MTR Station to the vicinity are shown below:

<u>Mode</u>	<u>Route No.</u>	<u>Origin - Destination</u>	<u>Frequency</u>
Scheduled Green Minibus	52B	Fanling – Hok Tau Wai	15 – 25 minutes
	52K	Fanling – Ping Che	4 – 10 minutes
	54K	Fanling – Lung Yeuk Tau	10 – 20 minutes
	56B	Fanling – Tan Chuk Hang	20 – 30 minutes
	56K	Fanling – Luk Keng	30 minutes
Franchised Bus	78K	Tai Ping Bus Terminus – Sha Tau Kok Bus Terminus	15 - 20 minutes

- 3.4.2 Among the six scheduled green minibus and franchised bus routes, there are five routes which have stops along Sha Tau Kok Road - Lung Yeuk Tau, while scheduled green minibus No. 54K is the only route which provides direct access to the inner villages, such as Wing Ning Tsuen and Lo Wai, located far away from the existing public transport services along Sha Tau Kok Road - Lung Yeuk Tau.
- 3.4.3 As the public transport service to the surrounding village clusters is limited, private car is the major transportation mode. This results in a relatively high car ownership rate in the villages clusters, creating high demand for private car parking spaces. Villagers are in shortage of proper car parking spaces.

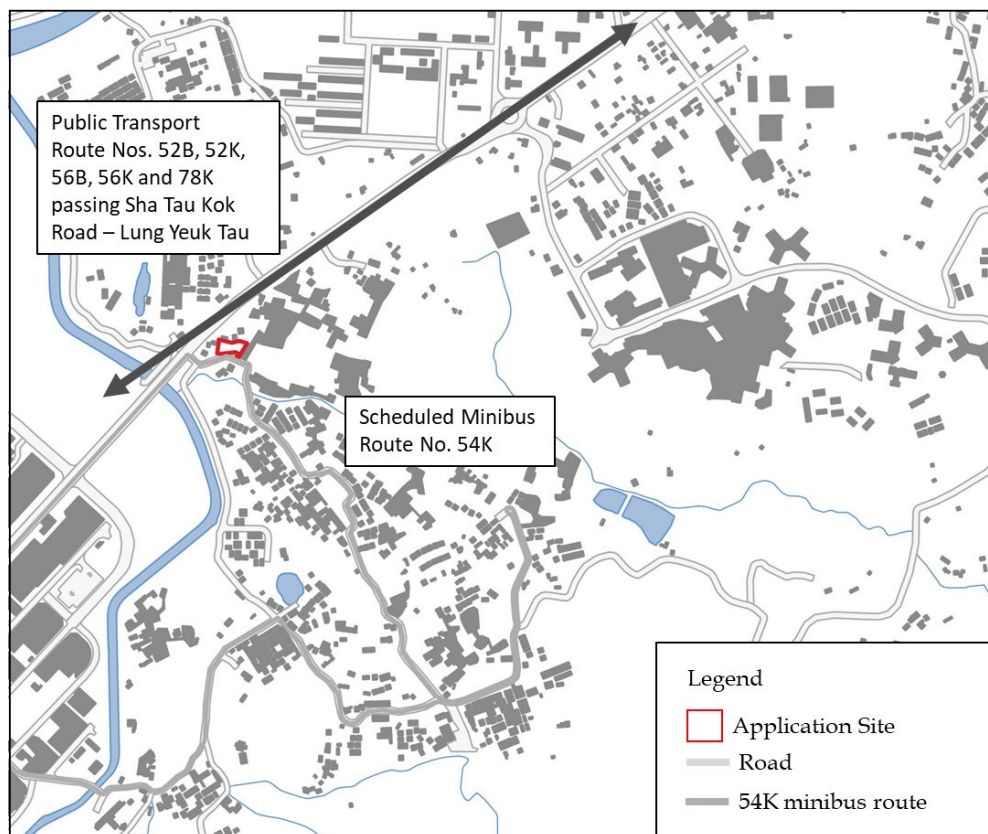
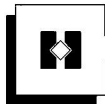
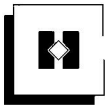


Diagram 2 Public Transport Service (Source: HK GEODATA STORE, HKSAR Government)

3.5 Drainage Consideration

- 3.5.1 The latest Drainage Proposal is attached at **Annex 2**. This is just the same as the latest approved drainage proposal under the approval condition of No. A/NE-LYT/777. The proposed drainage is adequate in respect of the requirements under “Technical Note to prepare a Drainage Submission” as published by Drainage Services Department.
- 3.5.2 The previous drainage proposal as approved by the Town Planning Board meeting of No. A/NE-LYT/777 in 2021 was submitted to the Planning Department for discharge of approval condition. However, Drainage Services Department, Highways Department and other relevant departments have raised additional discussion on the public road maintenance responsibility that was not the Applicant’s responsibility. Not until in April 2024 the updated proposal was finally approved, and the concerned Excavation Permit to execute the construction was just been approved by Lands Department in September 2024. There is no sufficient time for the Applicant to execute the excavation and construction within the approval period. Refer to **Annex 4**.
- 3.5.3 The existing drainage condition and pattern of the area will not be altered. Besides, the approved drainage system would improve the existing drainage conditions by diverting the flow away from the adjacent lot. Thus, the Development will not cause any adverse drainage impact onto the area.



3.6 Traffic Consideration

- 3.6.1 Existing temporary public vehicle park does not incur adverse traffic impact. The traffic volume generated by the existing temporary public vehicle park is low with an estimation of less than 25 vehicular trips per day, and most of the vehicles enter and exit the site approximately once per day only. This estimation is similar to the previously approved application.
- 3.6.2 Traffic management measures as required in approval conditions under No. A/NE-LYT/777 have been fully complied. No negative feedback is received from the Transport Department and surrounding residents.

3.7 Environmental Consideration

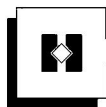
- 3.7.1 The Applicant will follow the relevant mitigation measures and requirements in the latest *"Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites"* to minimize any potential environmental impact. No negative feedback is received from Environmental Protection Department and surrounding residents.

3.8 Fire Safety Consideration

- 3.8.1 Previous approval condition for fire services installation has been complied in 2023. There is no fire safety concern for the Development.

3.9 Visual and Landscape Compatibility

- 3.9.1 The Application Site is situated in area of rural village landscape character which are surrounded by village houses, temporary structures and workshop activities. The current car park use is compatible with the surrounding use and will disturb the prevailing rural village landscape character.
- 3.9.2 The existing structures with a maximum height of about 5.3 metres is visually compatible with the 2-storey village houses in the north and west boundaries, and the temporary structures along the east boundary.



4 PLANNING MERITS & JUSTIFICATIONS

4.1 Satisfy the Local Needs by Catering the High Demand of Proper Parking Spaces

4.1.1 Intention of the existing temporary public vehicle park is to cater the high demand of parking spaces in the existing village clusters of Lung Yeuk Tau area. It primarily serves the local villagers and residents, as well as their visitors. High occupancy of the current parking spaces demonstrates its traffic demand to satisfy the local needs.

4.2 Improve Traffic Condition by Providing More Proper Parking Spaces

4.2.1 As observed, after the approval of No. A/NE-LYT/777, there is significant improvement regarding traffic condition. The development increases the supply of proper parking spaces, which can reduce illegal roadside parking along village roads and avoid traffic congestion resulting from improper parking of vehicles on the narrow local tracks of Sui Wan Road and adjacent village roads.

4.3 Situated at a Convenient Location for Public Vehicle Park

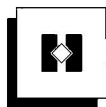
4.3.1 The Application Site is located in a convenient location which is situated near to the intersection of Sha Tau Kok Road - Lung Yeuk Tau and Sui Wan Road. Located at a highly accessible area, it is less time-consuming for villagers to drive along the narrow Sui Wan Road and to search for a free space. Meanwhile, it is surrounded by village houses which allows residents to park close to their homes within a short walking distance.

4.4 Would Not Jeopardize the Long-term Planning Intention

4.4.1 Approval of the application on a temporary basis for a period of 3 years would not jeopardize the long-term planning intention of the “AGR” zone. Also, the site does not require additional site formation works. Instead of not fully utilizing the land resources, continuing being used as a temporary public vehicle park can further accommodate the demand of the villagers for parking spaces which is compatible with the surrounding environment in the village.

4.5 Supported by Previous Planning Approvals of Similar Applications

4.5.1 There has been no change in the planning context of the Application Site and the surrounding in the past 10 years. There were eleven similar applications of temporary public vehicle park within the same “AGR” zone in the Lung Yeuk Tau and Kwan Tei South area (Nos. A/NE-LYT/462, 560, 577, 598, 662, 689, 704, 706, 747, 777 and 828) approved with conditions by the Committee in the past 10 years mainly on the considerations of several factors, including the high compatibility of the Developments with the surrounding land uses and the low possibility to cause significant impacts on the traffic, environment, drainage and landscape of the area. Therefore, with the support of previous project approvals under similar circumstances, the temporary public vehicle park is not inconsistent with the surrounding land uses and it



is unlikely to generate adverse impacts to the surrounding area.

4.6 Compatible with the Surrounding Development with No Adverse Visual and Landscape Impact

- 4.6.1 The temporary public vehicle park is visually compatible with the surrounding environment, which is mainly composed of village houses, temporary structures and workshops. There is no change to the rural village landscape character as well. No adverse visual and landscape impact is anticipated.

4.7 No Adverse Traffic Impact

- 4.7.1 The Development does not incur adverse traffic impact. The traffic volume generated by the proposed temporary public vehicle park is low with an estimation of less than 25 vehicular trips per day, and most of the vehicles enter and exit the site approximately once per day only. In addition, traffic management measures have also been proposed in order to ensure pedestrian safety. Therefore, it is expected that there will not be significant negative impacts regarding the safety of road users and the traffic network of the area concerned.

4.8 No Adverse Environmental Impact

- 4.8.1 The temporary public vehicle park is a monthly rental private car park. Related activities such as car washing, repairing or similar workshop activities would not be permitted on the site. Moreover, the latest “Code of Practice on Handling Environmental Aspects of Open Storage and Temporary Uses” issued by Environmental Protection Department will also be followed. Therefore, there is no negative feedback is received from the Environmental Protection Department including noise and air quality impacts.

4.9 No Adverse Drainage Impact

- 4.9.1 An updated Drainage Proposal with approval conditions granted in No. A/NE-LYT/777 has been fully compiled and can be reviewed in **Annex 2**. The previous drainage proposal as approved in No. A/NE-LYT/777 was subsequently amended following the comments from Drainage Services Department and other relevant departments. The proposal has taken a lengthy time to revised for further approval and proceeding to construction. However, there is no time for such construction because an Excavation Permit was just been approved recently by Lands Department.

The existing drainage condition and pattern of the area will not be altered. Besides, the latest approved drainage system would improve the existing drainage conditions by diverting the flow away from the adjacent lot. Thus, no adverse drainage impact is anticipated on to the area.

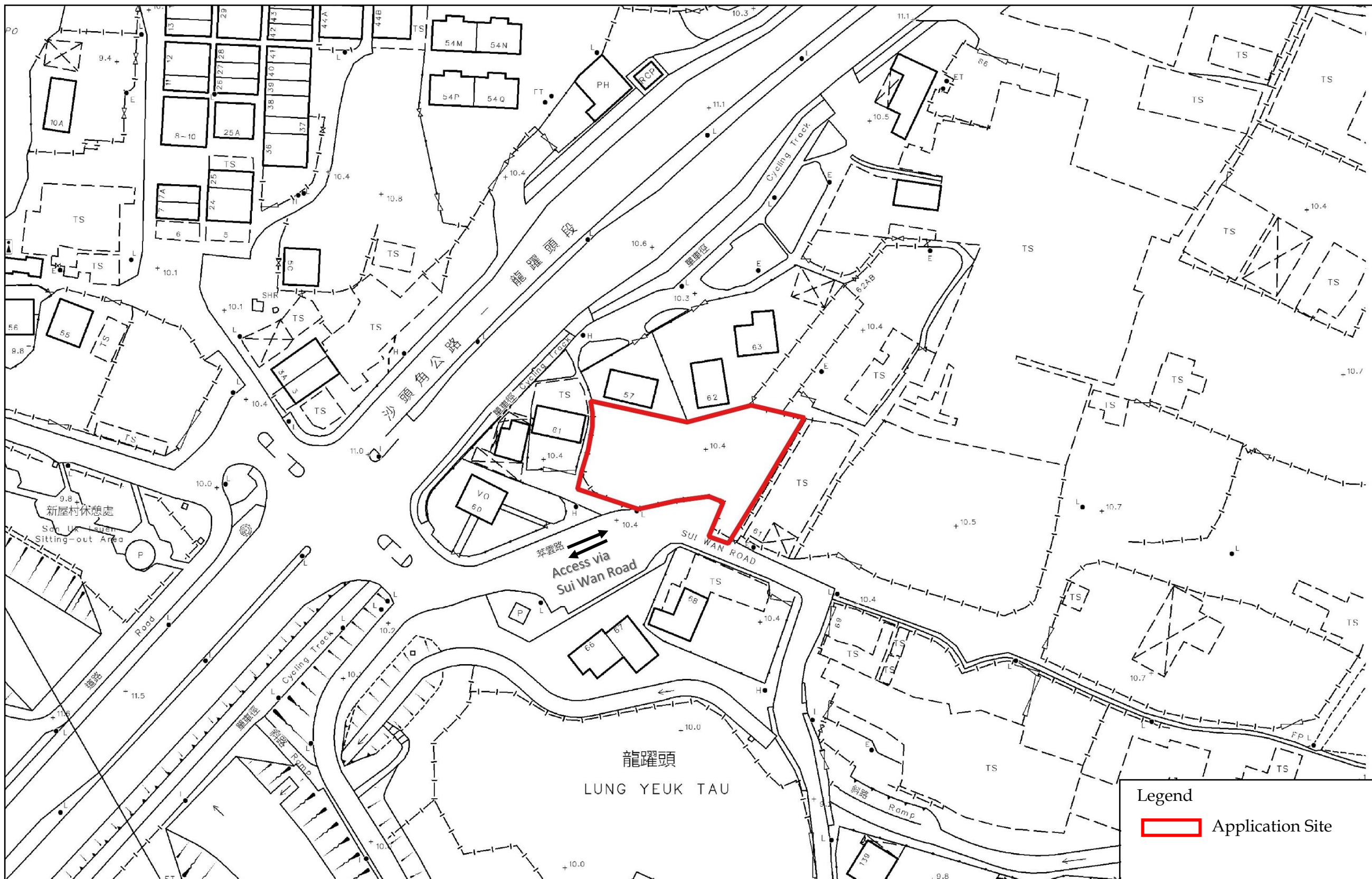


4.10 Commitment to Timely Compliance with Planning Conditions

- 4.10.1 The Applicant has tried its best effort to comply with the planning conditions granted on the application No. A/NE-LYT/777 in order to facilitate the process of getting the planning permission for the temporary public vehicle park for the benefit of local communities. This Application is required because the Government departments has taken a lengthy time to review its previously approved drainage proposal. Regarding the implementation of the drainage proposal, an Excavation Permit was just granted by Lands Department on 3 September 2024, and hereafter the proposed excavation work is approved to be implemented. Thus, only a few weeks time the drainage proposal could be implemented.

5 CONCLUSION

- 5.1.1 In view of the above, we respectfully request the Board Members to give favourable consideration on this planning application.



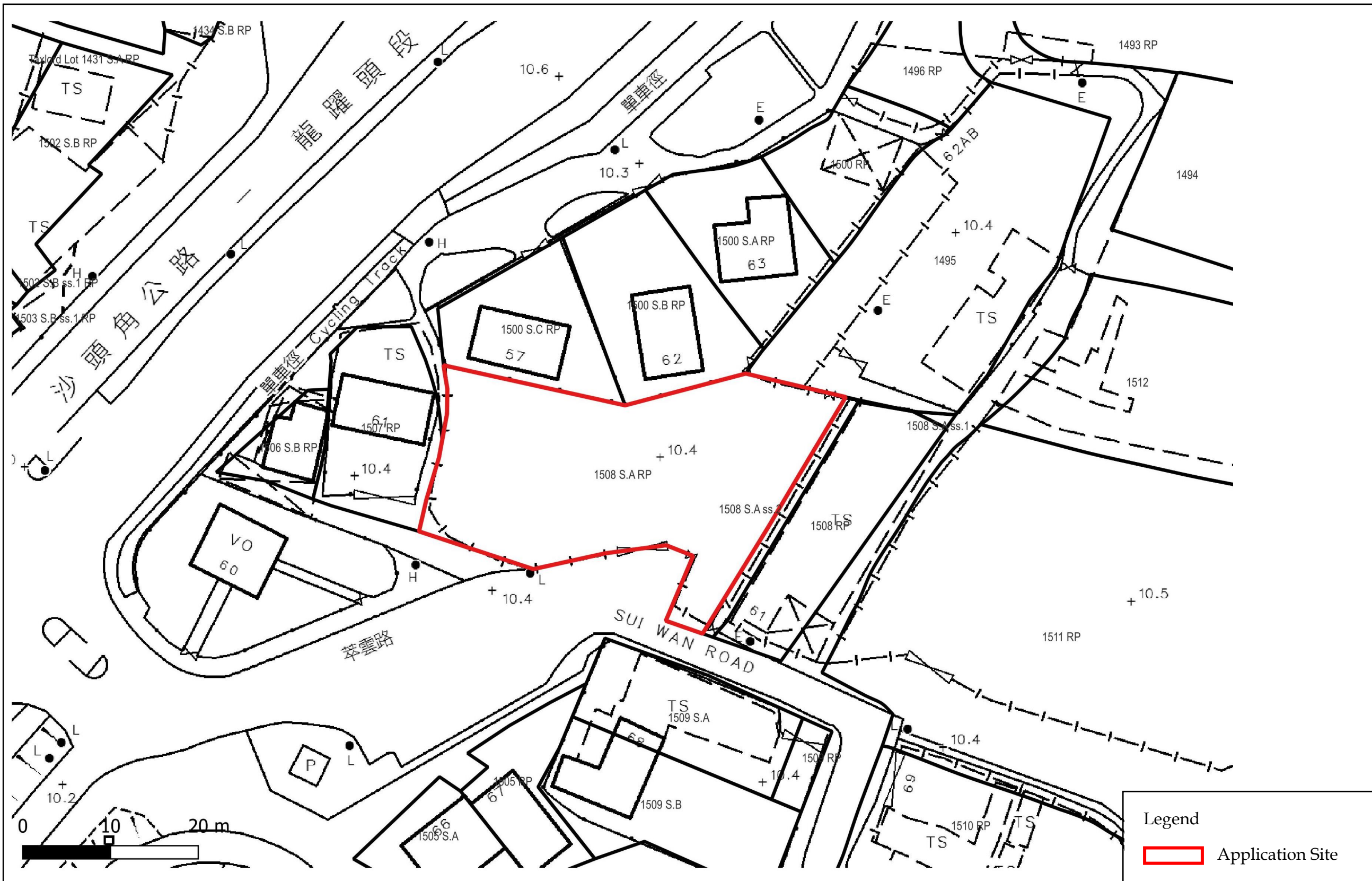
**LCH Planning and Development
Consultants Limited**

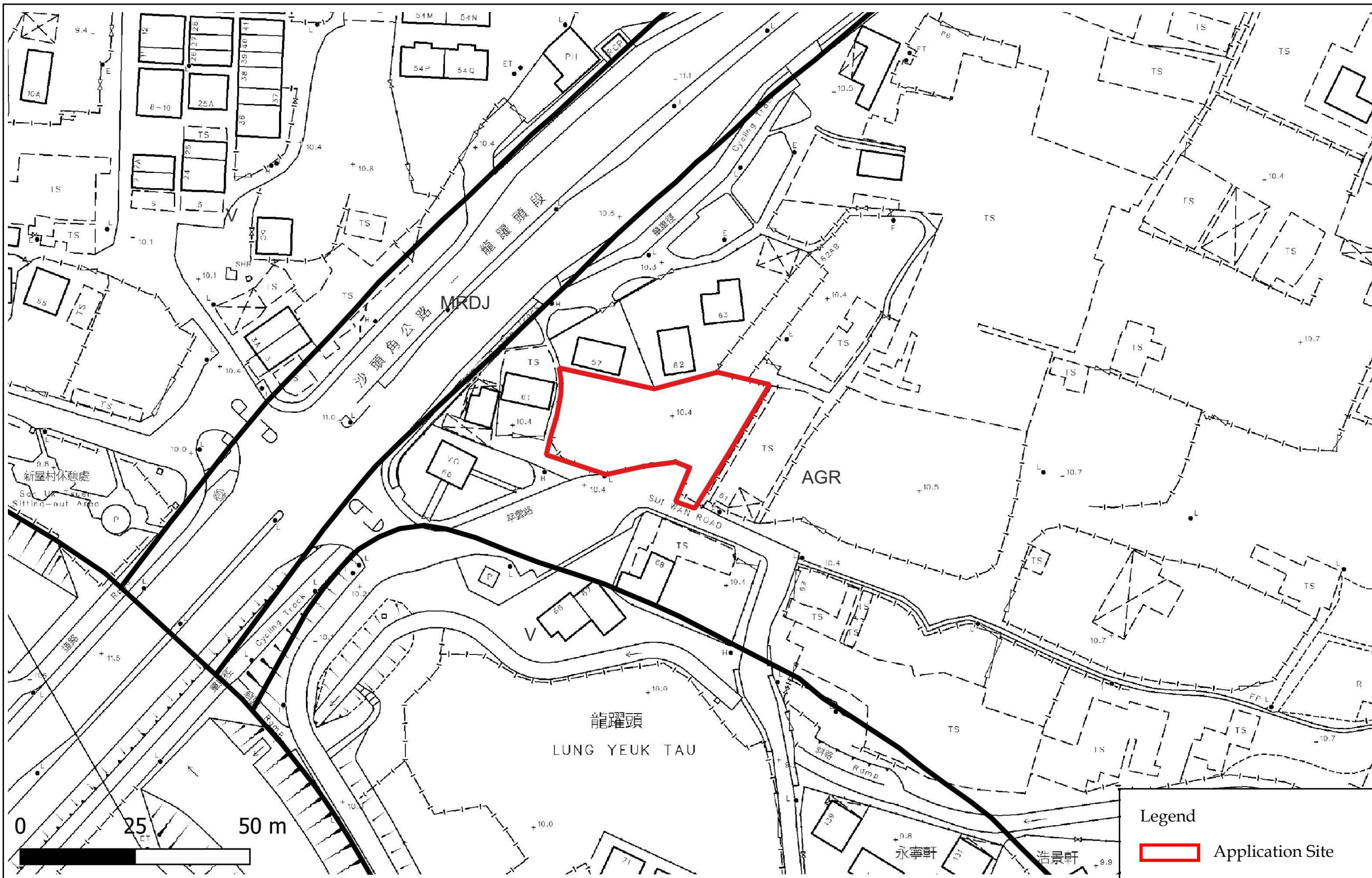
Figure 1 : Location Plan

(For reference only. Not to scale.)

Section 16 Application for Temporary Public Vehicle Park (Private Cars Only) at Lung Yeuk Tau, Fanling, for a period of 3 Years

(Source: HK GEODATA STORE, HKSAR Government)





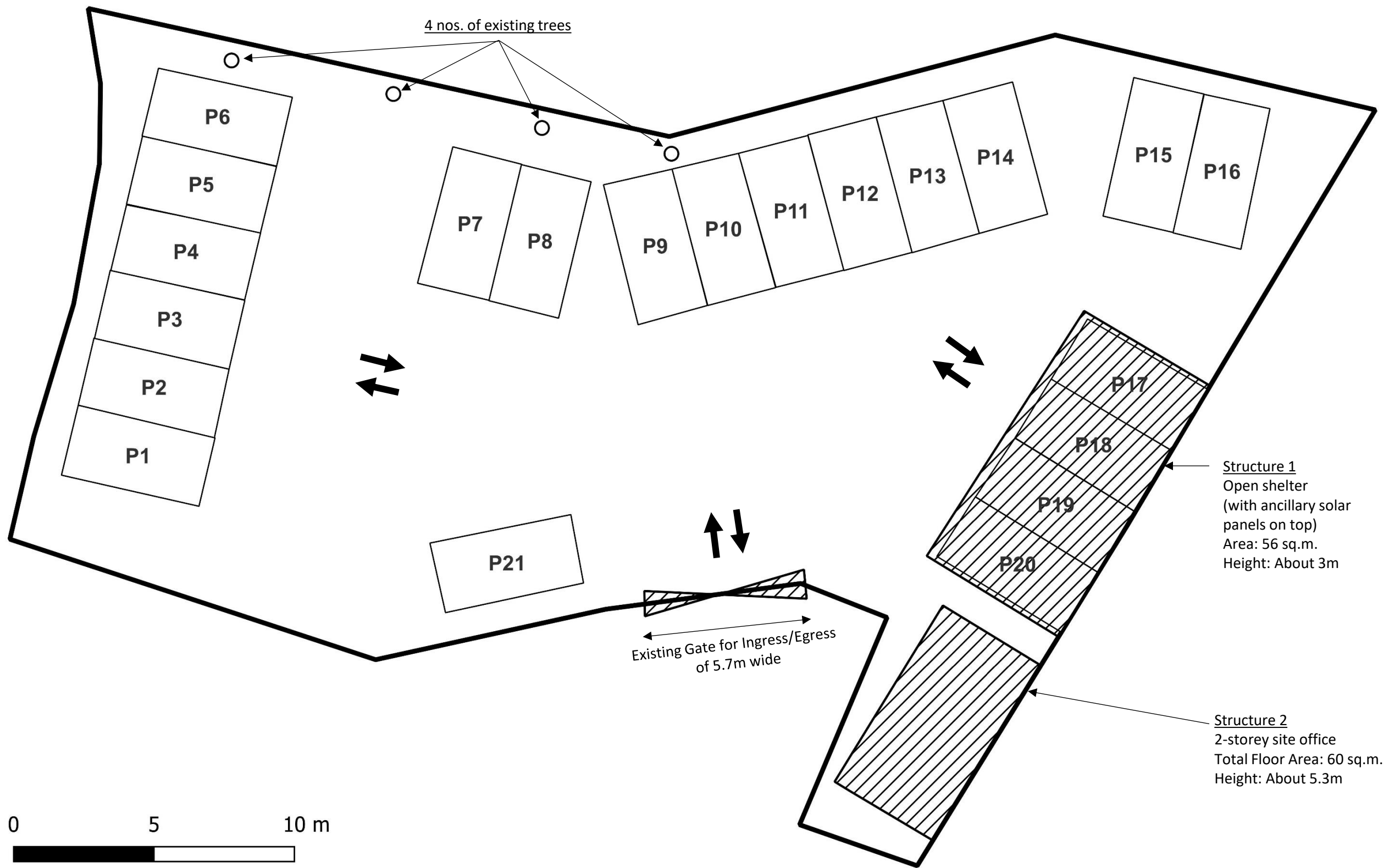
**LCH Planning and Development
Consultants Limited**

Figure 3 : Extract of Outline Zoning Plan No. S/NE-LYT/19

(For reference only. Not to scale.)

Section 16 Application for Temporary Public Vehicle Park (Private Cars Only) at Lung Yeuk Tau, Fanling, for a period of 3 Years

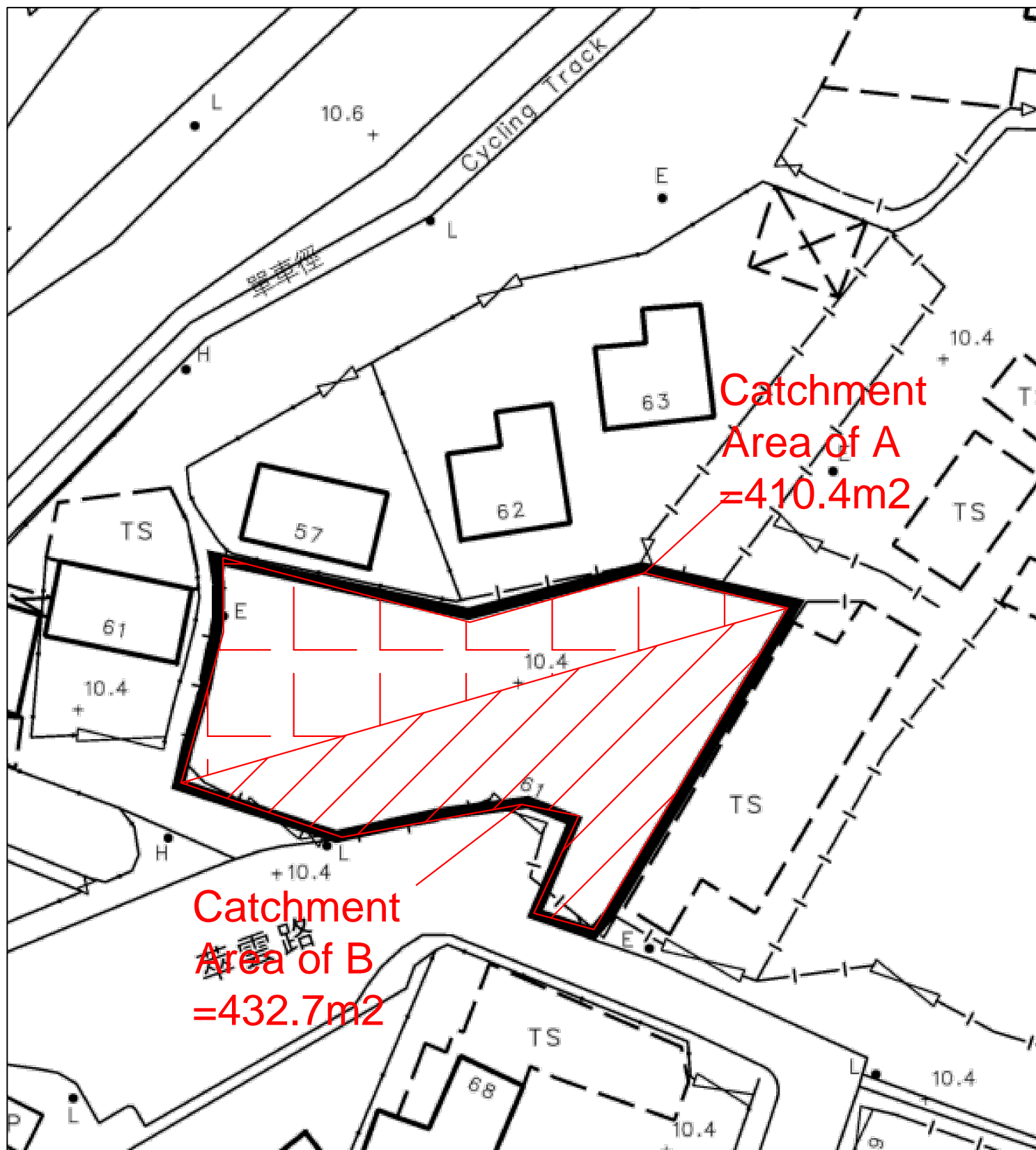
(Source: Town Planning Board and HK GEODATA STORE, HKSAR Government)



**LCH Planning and Development
Consultants Limited**

Annex 1 : Indicative Layout Plan

Section 16 Application for Temporary Public Vehicle Park (Private Cars Only) at
Lung Yeuk Tau, Fanling, for a period of 3 Years



光輝工程顧問公司

GLISTER ENGINEERING CONSULTANTS CO.

Project:

**Proposed Public Vehicle Park
(Private Car) at Lot 1508 S.ARP in
D.D.83**

Title:

Drainage Proposal:
Catchment Area

DD83(1058)-D02

Drawn by:

DM

Date:

28-6-2023

Check by:

DM

Scale:

<div>光輝工程顧問公司</div> <div>GLISTER ENGINEERING CONSULTANTS CO.</div>	Title:		Drainage Proposal	DD83(1058)–D01
	Drawn by:	Date:		
	DM	28–6–2023		
Project: Proposed Public Vehicle Park (Private Car) at Lot 1508 S.ARP in D.D.83	Check by:	Scale:		
	DM	-----		



由「地理資訊地圖」網站提供: <https://www.map.gov.hk>

注意: 使用此地圖受「地理資訊地圖」的使用條款及條件以及知識產權告示約束。

Company: 光輝工程顧問公司 GLISTER ENGINEERING CONSULTANTS CO.
Project : Proposed Temporary Public Vehicle Park (Private Car)
Lot 1508 S.ARP in D.D.83 (A/NE-LYT/706)
Date: 28/6/2023

Calculation for channels:

Catchment Zone A

Area = 410.4 m²
= 0.00041 km²

Peak runoff in m³/s = 0.278 x 0.95 x 250 mm/hr x 0.00041 km²
= 0.027097 m³/s
= 1626 liter/min

According to (Figure 8.7 - Chart for the Rapid Design of Channels),
For gradient 1:100, 225UC will be suitable for zone A

Catchment Zone B

Area = 432.7 m²
= 0.000433 km²

Peak runoff in m³/s = 0.278 x 0.95 x 250 mm/hr x 0.000433 km²
= 0.028569 m³/s
= 1714 liter/min

According to (Figure 8.7 - Chart for the Rapid Design of Channels),
For gradient 1:100, 225UC will be suitable for zone B

Check Existing 300mm dia pipe					
Peak runoff of whole site in m ³ /s	=	0.055666	m ³ /s		
	=	3340	liter/min		
Road catchment area	=	622.21			
	=	0.000622	km ²		
Peak runoff in m ³ /s	=	0.278	x	0.95	x 250 mm/hr x 0.000622 km ²
	=	0.041081	m ³ /s		
	=	2465	liter/min		
Total Q	=	1626	+	1714	+ 2465
	=	<u>5805</u>	liter/min		
Manning Equation	V	=	$R^{2/3} \cdot S_f^{0.5} / n$		
where	R	=	$\pi r^2 / 2 \pi r$	dia 300 mm	
		=	$r/2$	r= 0.15 m	
		=	0.075	m	
	n	=	0.012	s/m ^{1/3} (Talbe 13 of Stormwater Drainage Manual)	
1/ 100	S _f	=	0.01		
Therefore,	V	=	$0.075^{2/3} \cdot 0.01^{0.5} / 0.012$		
		=	1.48	m/sec	
Provide 300mm dia underground pipe (1:100)					
Maximum Capacity (Q _{max})		=	V * A		
		=	$1.48 \cdot \pi r^2$		
		=	0.1048	m ³ /sec	
1 nos of pipe		=	0.1048	m ³ /sec	
		=	6286	lit/min > 5805	OK

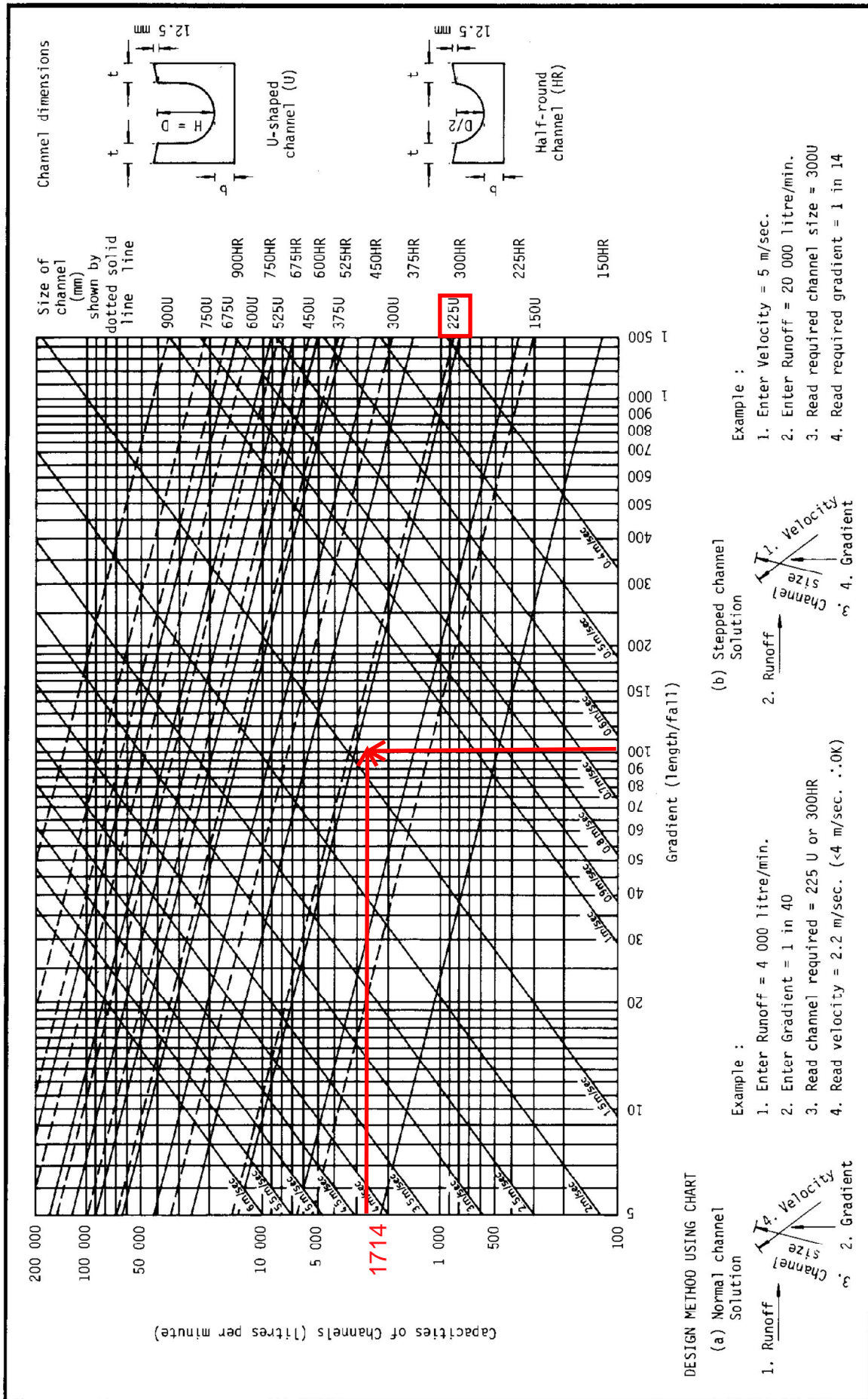
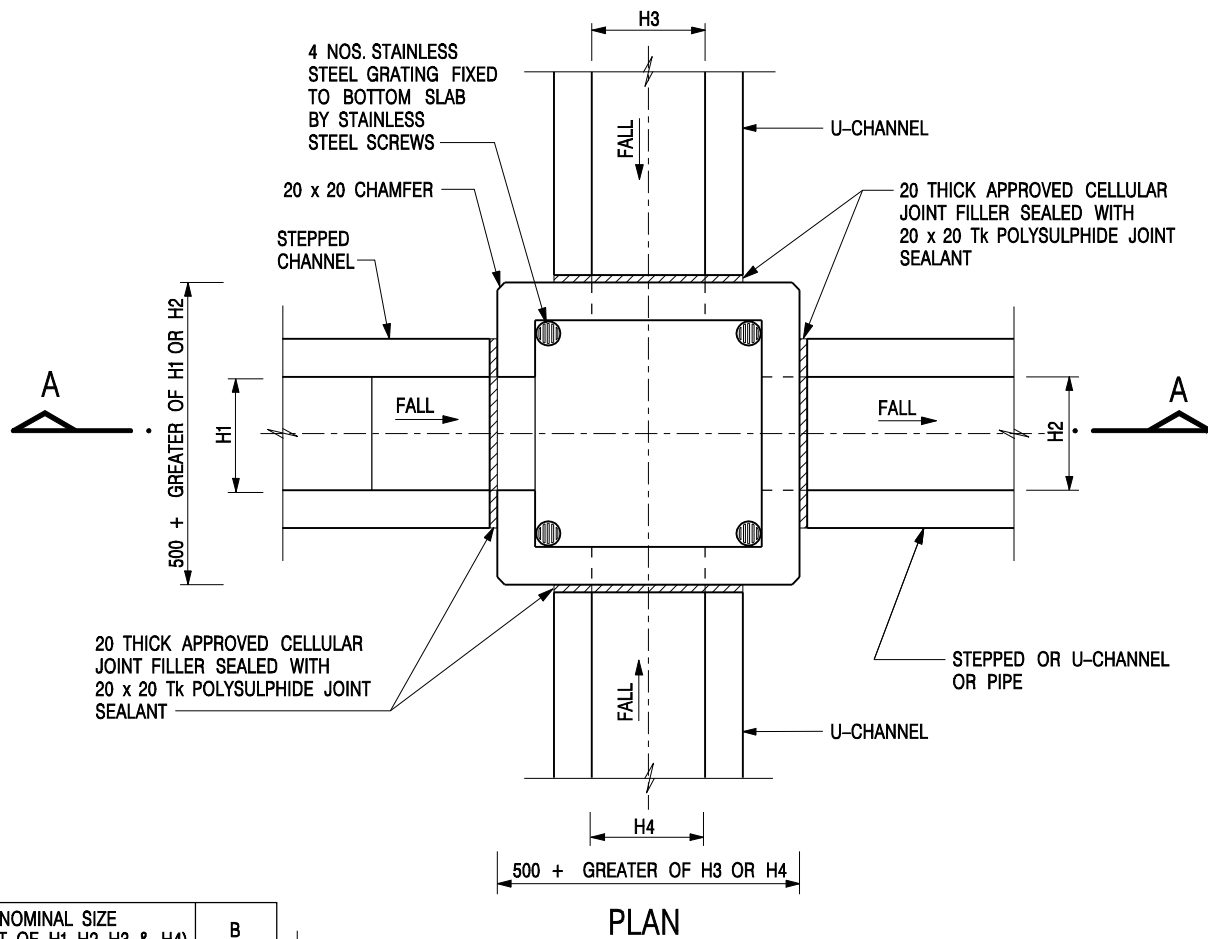
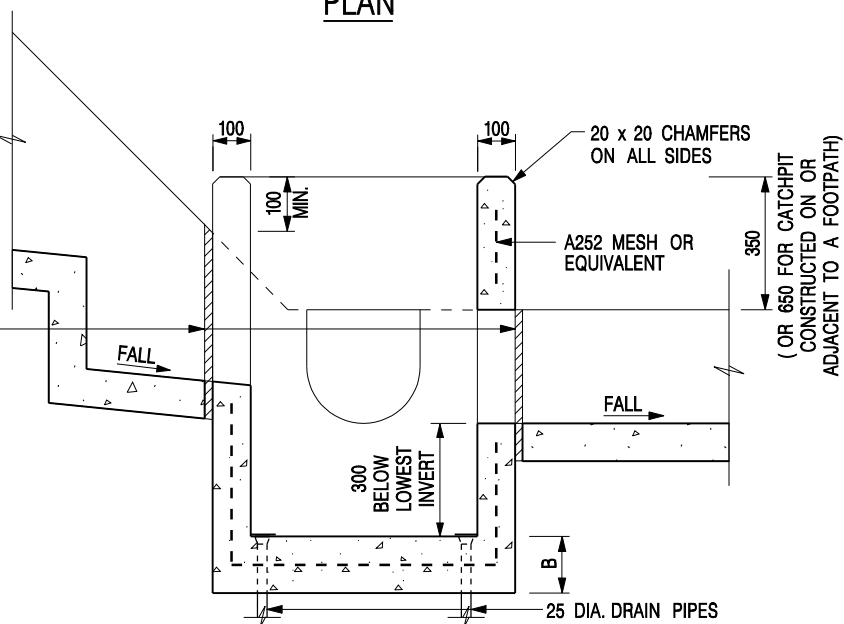


Figure 8.7 - Chart for the Rapid Design of Channels



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175


20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT

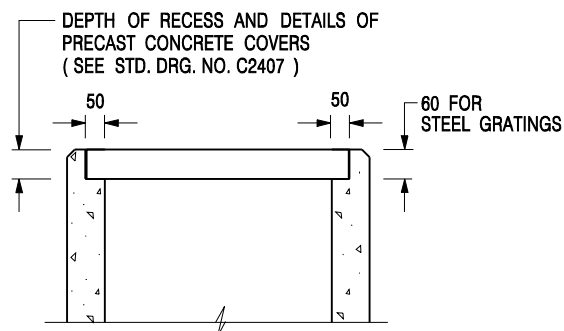


NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20 DATE JAN 1991	
		DRAWING NO. C2406 /1	



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2

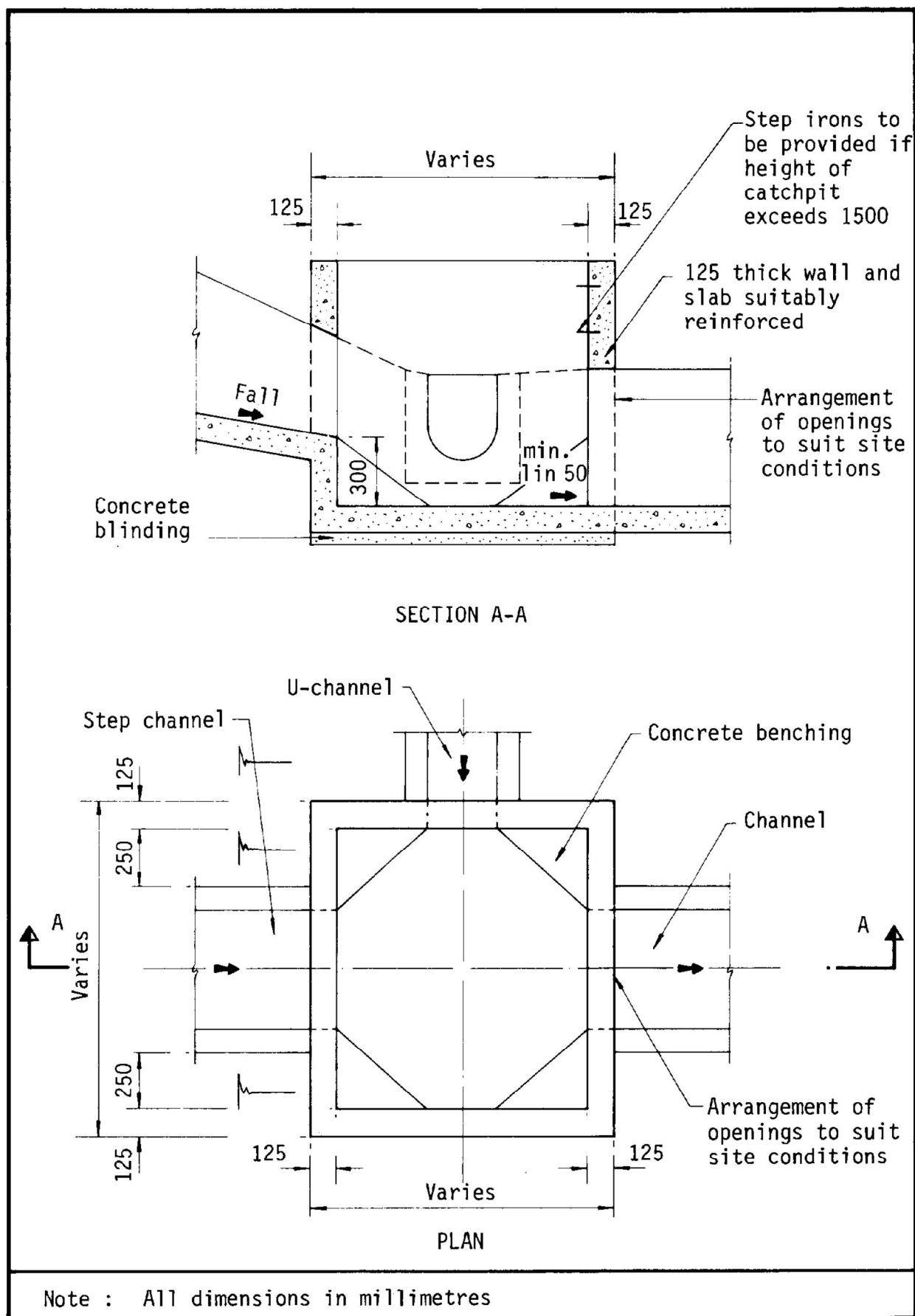
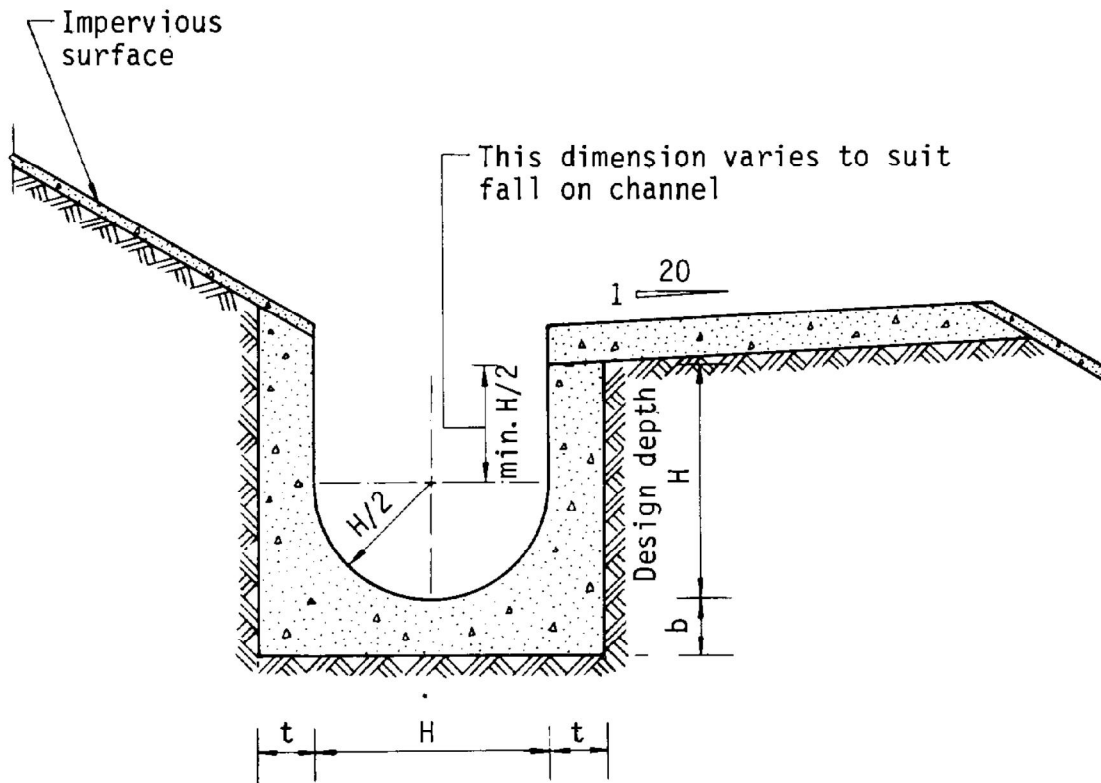


Figure 8.10 - Typical Details of Catchpits



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

**METHOD STATEMENT for the proposed 300mm dia.
underground concrete pipe**

1. Underground utility detection shall be carried out before excavation. Besides, excavation plan and temporary traffic diversion scheme shall be applied and executed.
2. Excavating to the required level and expose the external wall of the connection manhole.
3. Opening the cover of the connection manhole and place pump down to its base.
4. Coring 500mm dia. opening at the connection proposed connection point of the connection manhole.
5. Installing the proposed 300mm dia. pipe.
6. Sealing up the gap at connection point.
7. Carrying out leak test and arranging joint inspection with DSD.
8. Backfilling upon acceptance of the leak test.

Remarks:

1. Excavation permit shall be applied from Highways Department and the application procedures to deal with traffic aspects without causing any unacceptable traffic impact shall be followed.
2. Temporary Traffic Arrangement shall be applied.
3. All Confined Space operation must obey Code of Practice: Safety and Health at Work in Confined Spaces.
4. The works shall be monitored by Registered Professional Engineer.



Photo showing the internal of existing manhole to be connected

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District Planning Office
Rooms 1301-1314, 13/F.,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference:

本署檔號 Our Reference: () in TPB/A/NE-LYT/777

電話號碼 Tel. No. : 2158 6220

傳真機號碼 Fax No. : 2691 2806

By Email

junior@lchgroup.com

LCH Planning & Development Consultants Ltd.
17/F, Champion Building
287-291 Des Voeux Road Central
Hong Kong
(Attn.: Junior Ho)

8 April 2024

Dear Sir/Madam,

Proposed Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years in "Agriculture" Zone, Lot 1508 S.A RP in D.D. 83, Lung Yeuk Tau, Fanling
(Compliance with Approval Condition (c) for Planning Application No. A/NE-LYT/777)

I refer to your submission dated 13.3.2024 for compliance with approval condition (c) in relation to the submission of a drainage proposal under the captioned planning application.

Chief Engineer/Mainland North, Drainage Services Department (Contact person: Mr. Keith LIU; Tel.: 2300 1595) has been consulted and considered approval condition (c) has been complied with. His advisory comments are attached at **Appendix I**. Please proceed to implement the accepted drainage proposal for compliance with approval condition (d).

Should you have any queries related to planning, please feel free to contact Ms. Carman CHEUNG of this department at 2158 6229.

Yours faithfully,

(Margaret CHAN)
for Director of Planning

Appendix I

Advisory comments of the Chief Engineer/Mainland North, Drainage Services Department
(Contact person: Mr. Keith LIU; Tel.: 2300 1595):

1. The existing manhole proposed for discharge of the runoff from the subject site will be taken over by DSD subsequent to final CCTV inspection. The applicant is suggested to carry out the connection after the final inspection. The applicant is also reminded that the part of drainage system upstream to the existing manhole for the connection would be constructed and maintained by the applicant's expense.
2. Furthermore, I would like to draw the applicant's attention to the following general comments/requirements:
 - (a) The proposed drainage works, whether within or outside the lot boundary, should be constructed and maintained by the lot owner at his expense.
 - (b) The lot owner/developer is required to rectify/modify the drainage system if it is found to be inadequate or ineffective during operation. The lot owner/developer shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by failure of the system.
 - (c) For works to be undertaken outside the lot boundary, prior consent and agreement from DLO/N, DO/N and/or relevant private lot owners should be sought.
 - (d) The lot owner/developer should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing drainage facilities in the vicinity of the lot. In the event of any damage to the existing drainage facilities, the lot owner/developer would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom.
 - (e) The lot owner/developer should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot and all upstream catchments.

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference:
本署檔號 Our Reference: () in TPB/A/NE-LYT/777
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806

LCH Planning & Development Consultants Ltd.
17/F, Champion Building
287-291 Des Vaux Road Central
Hong Kong
(Attn.: Junior Ho)

By Email
junior@lchgroup.com
20 April 2023

Dear Sir/Madam,

Proposed Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years in "Agriculture" Zone, Lot 1508 S.A RP in D.D. 83, Lung Yeuk Tau, Fanling
(Compliance with Approval Condition (f) for Planning Application No. A/NE-LYT/777)

I refer to your submission received by this office on 12.4.2023 for compliance with approval condition (f) in relation to the submission of a fire service installations proposal under the captioned planning application.

Director of Fire Services (Contact person: Mr. WAH Chi-lut; Tel. No.: 2733 7735) has been consulted and advised that approval condition (f) is considered complied with. His advisory comments are attached in **Appendix I**.

Please proceed to implement the accepted FSIs proposal and submit FS 251 for compliance with approval condition (g). In order to facilitate compliance checking, you are required to inform this office and submit photographs for inspection.

Should you have any queries on the implementation of the fire service installations proposal, please contact Mr. WAH Chi-lut of Fire Services Department (FSD) at 2733 7735. Should you have any other queries, please feel free to contact Ms Carman C. Y. CHEUNG of this department at 2158 6229.

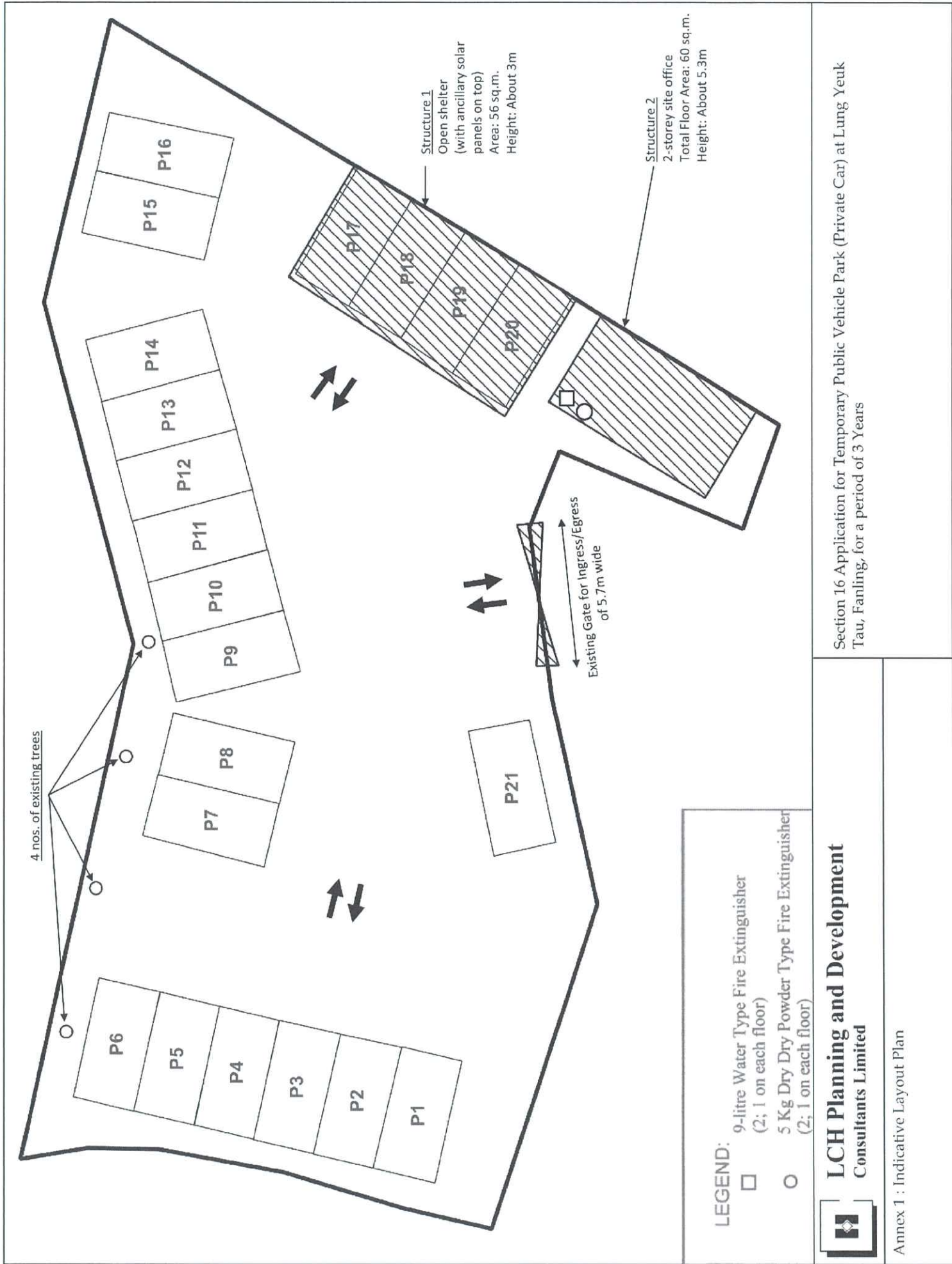
Yours faithfully,

(Margaret CHAN)
for Director of Planning

Appendix I

Advisory comments of the Director of Fire Services
(Contact person: Mr. WAH Chi-lut; Tel. No.: 2733 7735):

The applicant is advised that the installation /maintenance/ modification/ repair work of fire service installation (FSI) shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to the Director of Fire Services.



規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference:
本署檔號 Our Reference: () in TPB/A/NE-LYT/777
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806

LCH Planning & Development Consultants Ltd.
17/F, Champion Building
287-291 Des Vaux Road Central
Hong Kong
(Attn.: Junior Ho)

By Email
junior@lchgroup.com
25 October 2023

Dear Sir/Madam,

Proposed Temporary Public Vehicle Park (Private Cars Only) for a Period of 3 Years in "Agriculture" Zone, Lot 1508 S.A RP in D.D. 83, Lung Yeuk Tau, Fanling (Compliance with Approval Condition (g) for Planning Application No. A/NE-LYT/777)

I refer to your submission received by this office on 13.9.2023 for compliance with approval condition (g) in relation to the implementation of a fire service installations proposal under the captioned planning application.

Director of Fire Services (Contact person: Mr. WAH Chi-lut; Tel. No.: 2733 7735) has been consulted and advised that approval condition (g) is considered complied with.

Should you have any queries on the implementation of the fire service installations proposal, please contact Mr. WAH Chi-lut of Fire Services Department (FSD) at 2733 7735. Should you have any other queries, please feel free to contact Ms Carman C. Y. CHEUNG of this department at 2158 6229.

Yours faithfully,

(Margaret CHAN)
for Director of Planning



地政總署
北區地政處

DISTRICT LANDS OFFICE, NORTH
LANDS DEPARTMENT

電話 Tel: 2675 1535

圖文傳真 Fax: 2675 9224

電郵地址 Email:

本署檔號 Our Ref: (6) in DLON 253/122/24

來函檔號 Your Ref: CWC/DD83L1508ARP

來函請註明本署檔號

Please quote our reference in your reply

我們矢志努力不懈，提供盡善盡美的土地行政服務。
We strive to achieve excellence in land administration.

新界粉嶺璧峰路三號北區政府合署六樓
6/F., NORTH DISTRICT GOVERNMENT OFFICES
3 PIK FUNG ROAD, FANLING, NEW TERRITORIES

網址 Website : www.landso.gov.hk

03 SEP 2024

Dear Sirs,

Application No. CWC/DD83L1508ARP

I refer to your application dated 15.07.2024 and would like to inform you that there is no objection from this office to the proposed works. As the proposed works would affect Government land and land within the jurisdiction of other authority/authorities as listed in the schedule at Appendix I, you are advised to seek the necessary permission/comments from them, before starting excavation on the ground. Moreover, you are:

- i) required to report the actual commencement date of the excavation works with the submission of site photos showing that the excavation works had been commenced;
- ii) required to submit subsequent site photos every two months to show the progress of the excavation works; and
- iii) reminded that in case no excavation works are carried out within a reasonable period of time after the issue of the excavation permit or any irregularity is found during the permit period, this office has the discretion not to approve future applications or extend the excavation period unless convincing reasons are provided.

If private land is affected, I would advise that you should obtain the consent of the landowners prior to the commencement of works. The particulars of the landowners can be obtained in the Land Registry.

--- A copy of your plan and an excavation permit are enclosed herewith for your reference.

Yours faithfully,

(W C CHOW)
for District Lands Officer, North

SCHEDULE OF AUTHORITIES

Land Designation	Concerned Authority
Lot No. 1508 S.A RP in D.D. 83	Lot Owner(s)

Please submit 2 copies to
the District Lands Office.

COPY

X2

OFFICIAL USE



Ref.:

Permit No.:

EXTENSION OF EXCAVATION PERMIT

Section I

In accordance with Section 10A(3) of the Land (Miscellaneous Provisions) Ordinance I hereby apply for extension of Excavation Permit No. 22484 to excavate trenches for the purpose of

Stormwater Drain Connection

The proposed period of extension and my reasons are given as follows :-

Item	Proposed period of extension	Size of excavation			Reasons for extension
		Length	Width	Depth	
1.	16-9-2024 to 15-3-2025	5m	1m	1m	Time needed for coordination with village, construction & inspection
2.					
3.					
4.					
5.					

District Lands Office

File Ref.:

DLO/N 253/122/24

Signed :

[Signature]



Applicant's Reference : CWC/DD25 L1508/KP

Name in
block letters :

Date : 27-9-2024

Name of Utility

Undertaking: Anson Technology LTD

OFFICIAL USE

Section II

To Applicant,

In exercise of the authority vested in me, Excavation Permit No. _____ is hereby extended to _____ subject to the same conditions as stipulated therein.

Signed: _____
for Director of Lands

Date: _____

Name of Officer: _____



Our Ref.: PD2410001/01
Your Ref.: TPB/A/NE-LYT/837

13 December 2024

By Email

Town Planning Board Secretariat
15/F, North Point Government Offices,
333 Java Road,
North Point,
Hong Kong

Dear Sir/Madam,

APPLICATION NO. A/NE-LYT/837 FOR PERMISSION
UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE

Further Information

We refer to the comments regarding the captioned application. Please find attached our responses to departmental comments with related appendices.

Nevertheless, since this Further Information only technical clarification regarding proposed traffic management measures and responses to public comments without changing the scheme, and there is no major change in the assumption and methodologies and findings, according to TPB PG-No. 32B, this Further Information should be exempted from publication and recounting requirements.

Should you require further information or have any query, please feel free to contact the undersigned or Cherie Lee at 2586 1737.

Yours faithfully,
For and on behalf of
LCH Planning & Development Consultants Limited

Junior Ho
Director

c.c. the Applicant

Encl.

- Response to Comments Table



Section 16 Planning Application No. A/NE-LYT/837

Response to Comments Table

No.	Comments Received	Our Responses
1.	<i>Comments from Transport Department received on 11 December 2024</i>	
a	Paragraph 4.7.1 of the Planning Statement – The applicant shall elaborate the traffic management measures to be implemented to ensure pedestrian safety	<p>The following traffic management measures are proposed to follow:</p> <ul style="list-style-type: none">• No vehicle without valid licence issued under the Road Traffic Ordinance will be allowed to be parked/stored on or enter/exit the Site;• Only private car as defined in the Road Traffic Ordinance will be allowed to be parked/stored on or enter/exit the Site;• No medium or heavy goods vehicle exceeding 5.5 tonnes, including container tractor/ trailer will be permitted to park at the Site;• A notice should be posted at the ingress/ egress point of the site to indicate that no medium or heavy goods vehicle (i.e. exceeding 5.5 tonnes) including container trailers/tractors, as defined in the Road Traffic Ordinance, will be allowed to be parked/stored on the Site; and• No car washing, vehicle repair or other workshop activities will be allowed on the Site. <p>These traffic management measures will be implemented to ensure pedestrian safety.</p>
b	The vehicular access between the application site and Sha Tau Kok Road is not managed by the Transport Department. The applicant should seek comments from the responsible party.	Noted. We will seek comments from the concerned party accordingly.



2.	<i>Public Comments Received</i>	
	Previous Application was revoked just before the latest submission	<p>The Application Site is subject to two applications No. A/NE-LYT/706 and 777 approved by the Town Planning Board on 6 September 2019 and 11 July 2024 respectively. Application No. A/NE-LYT/777 was approved on a temporary basis for a period of 3 years until 13 January 2026. The Applicant has tried his best effort to comply with approval conditions attached to the aforesaid planning application.</p> <p>This Application is required because the Government departments has taken a lengthy time to review its previously approved drainage proposal.</p>



Our Ref.: PD2410001/02
Your Ref.: TPB/A/NE-LYT/837

16 December 2024

By Email

Town Planning Board Secretariat
15/F, North Point Government Offices,
333 Java Road,
North Point,
Hong Kong

Dear Sir/Madam,

APPLICATION NO. A/NE-LYT/837 FOR PERMISSION
UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE

Further Information

We refer to the comments regarding the captioned application. Please find attached our responses to departmental comments with related appendices.

Nevertheless, since this Further Information only technical clarification regarding proposed traffic management measures and responses to public comments without changing the scheme, and there is no major change in the assumption and methodologies and findings, according to TPB PG-No. 32B, this Further Information should be exempted from publication and recounting requirements.

Should you require further information or have any query, please feel free to contact the undersigned or Cherie Lee at

Yours faithfully,
For and on behalf of
LCH Planning & Development Consultants Limited

Junior Ho
Director

c.c. the Applicant

Encl.

- Response to Comments Table



Section 16 Planning Application No. A/NE-LYT/837

Response to Comments Table

No.	Comments Received	Our Responses
1.	<i>Comments from Transport Department received on 16 December 2024</i>	
	Please advise whether there will be any measures to remind pedestrians to be aware of vehicles entering into/exiting the subject site.	Warning signs will be provided at the run-in/out to remind pedestrians about the vehicles entering into/exiting the carpark, while also to remind drivers about the pedestrians near the entrance.

Previous s.16 Applications

Approved Applications

Application No.	Uses/Developments	Date of Consideration
A/NE-LYT/706	Temporary Public Vehicle Park (Private Car) for a Period of 3 Years	6.9.2019
A/NE-LYT/777	Temporary Public Vehicle Park (Private Car Only) for a Period of 3 Years	13.1.2023 (revoked on 13.10.2024)

Rejected Application

Application No.	Uses/Developments	Date of Consideration	Rejection Reasons
A/NE-LYT/281	Temporary Open Storage of Washroom Accessories for a Period of 3 Years	13.8.2004	R1 – R2

Rejection Reasons

- R1 There was insufficient information in the submission to demonstrate that the development under application would not degrade the rural village landscape character of the area.
- R2 The development under application did not comply with the then Town Planning Board Guidelines No. 13C for “Application for Open Storage and Port Back-up Uses” in that there was no previous planning approval granted to the application site and no technical assessments/proposals had been submitted to demonstrate that the subject development would not generate adverse impacts on the surrounding areas.

**Similar s.16 Applications in the vicinity of the Application Site
within “Agriculture” zone
on the approved Lung Yeuk Tau and Kwan Tei South OZP No. S/NE-LYT/19
in the Past Five Years**

Approved Applications

Application No.	Uses/Developments	Date of Consideration
A/NE-LYT/704	Temporary Public Vehicle Park for a Period of 3 Years	16.8.2019
A/NE-LYT/747 ¹	Renewal of Planning Approval for Temporary Public Vehicle Park for Private Cars and Light Goods Vehicles for a Period of 3 Years	11.6.2021
A/NE-LYT/820	Proposed Temporary Public Vehicle Park (Excluding Container Vehicle) for a Period of 3 Years and Associated Filling of Land	26.1.2024
A/NE-LYT/828 ¹	Temporary Public Vehicle Park for Private Cars and Light Goods Vehicles for a Period of 3 Years	5.7.2024

Remarks

^{*1}: Applications No. A/NE-LYT/747 and 828 are covering the same site.

Government Departments' General Comments

1. Lands Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- no objection to the application;
- the application site (the Site) comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land is granted to the Site;
- the Site is already being used for the applied use under the application; and
- the concerned private lot is covered by Short Term Waiver No. 1633 for the purpose of site office and ancillary facilities to a temporary public vehicle park and subject to, inter alia, built-over area not exceeding 86m² and height not exceeding 5.3m and not more than two storeys.

2. Traffic

Comments of the Chief Highways Engineer/New Territories East, Highways Department (CHE/NTE, HyD):

- no comment on the application from highways maintenance perspective; and
- his advisory comments are provided at **Appendix V**.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application from environmental perspective;
- there was no complaint case related to the Site in the past three years; and
- his advisory comments are provided at **Appendix V**.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from public drainage perspective;
- should the application be approved, conditions should be included to request the applicant to implement the accepted drainage proposal for the Site to ensure that it will not cause adverse drainage impact to the adjacent area, and the implemented drainage facilities at the Site shall be maintained at all times during the planning approval period; and
- her advisory comments are provided at **Appendix V**.

5. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations (FSIs) and water supplies for firefighting being provided to his satisfaction;
- the FSIs proposal submitted is considered acceptable; and
- his advisory comments are provided at **Appendix V**.

6. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no adverse comment on the application from landscape planning perspective;
- the Site is located in an area of rural inland plain landscape character comprising village houses, vehicle parks, clusters of tree groups and Ma Wat River at the southwest. The Site is hard paved and currently used as the applied use;
- based on the site layout plan (**Drawing A-1**), four existing trees are located at the northern periphery within the Site. Compared with the previously approved application (No. A/NE-LYT/777), there is no change on the layout. Significant adverse impact on existing landscape resources within the Site and the landscape character arising from the applied use is not anticipated; and
- her advisory comments are provided at **Appendix V**.

7. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application; and
- the applicant is advised to note his advisory comments under the BO appended at **Appendix V**.

8. **Other Departments**

The following government departments have no objection to/no comment on the application:

- Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD);
- Director of Director of Electrical & Mechanical Services (DEMS);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD); and
- Commissioner of Police (C of P).

Recommended Advisory Clauses

- (a) prior planning permission should have been obtained before commencing the applied use at the application site (the Site);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of the planning permission, sympathetic consideration will not be given to any further applications;
- (c) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land is granted to the Site; and
 - (ii) the concerned private lot is covered by Short Term Waiver No. 1633 for the purpose of site office and ancillary facilities to a temporary public vehicle park and subject to, inter alia, built-over area not exceeding 86m² and height not exceeding 5.3m and not more than two storeys;
- (d) to note the comments of the Commissioner for Transport (C for T) that the vehicular access between the Site and Sha Tau Kok Road – Lung Yuek Tau is not managed by the Transport Department (TD). The applicant should seek comments from the responsible party;
- (e) to note the comments of the Chief Highways Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
 - (i) the proposed access arrangement should subject to TD's review and approval;
 - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public road and drains; and
 - (iii) the access road connecting to the Site with the nearby public road is not and will not be maintained by his Office. His Office should not be responsible for maintaining any access connecting to the Site;
- (f) to note the comments of the Director of Environmental Protection (DEP) that the applicant should comply with all environmental protection/pollution ordinances, and follow the revised "Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites" issued by the Environmental Protection Department (EPD) in order to minimise any possible environmental nuisances;
- (g) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - (i) the Site is within an area where connection to existing public drainage network is available in the vicinity. It is noted that the applicant intends to connect his proposed drainage systems to DSD's networks, he shall submit a duly completed Form HBPI with a cross cheque covering the technical audit fee and a plan showing the details of the proposed connection works to her Division for formal application for the required connection. Upon

her acceptance of the connection application, the applicant shall carry out the proposed connection works in accordance with DSD Standard Drawings at the resources of the applicant. EPD should be consulted regarding the sewage treatment/disposal facilities for the applied use;

(ii) the applicant should note the following general requirements:

- the applicant is required to construct and maintain the proposed drainage works properly and rectify the drainage systems if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the systems. For works undertaken outside the lot boundary, prior consent and agreement from DLO/N, LandsD and/or relevant private lot owners should be sought;
- the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the Site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the Site any time during or after the works;
- the applicant shall take all precautionary measures to prevent any disturbance, damage and pollution from the applied use to any parts of the existing drainage facilities in the vicinity of the lots. In the event of any damage to the existing drainage facilities, the applicant shall be held responsible for the cost of all necessary repair works, compensation and any other consequences arising there from;
- the applicant shall allow all time free access for the Government and its agent to conduct site inspection on his completed drainage works, if necessary; and
- the applicant should also be advised that the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity; and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from his lot and all upstream catchments;

(h) to note the comments of the Director of Fire Services (D of FS) that:

- (i) the applicant is reminded that if the proposed structures are required to comply with the Buildings Ordinance (BO)(Cap. 123), detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans;
- (ii) the installation/maintenance/modification/repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/medication/repair work issue to the persons on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certification to D of FS; and
- (iii) if there is electric vehicle charging station involved, the requirement of Fireman's Emergency Switch is attached for reference (**Appendix Va**);

- (i) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department that the applicant should be advised that approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works; and
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained under BO, otherwise they are unauthorised building works (UBWs). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with BO;
 - (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulation (B(P)R) respectively;
 - (iii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iv) if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of BA, they are UBWs under BO and should not be designated for any proposed use under the application;
 - (v) for UBWs erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under BO;
 - (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of B(P)R;
 - (vii) the applicant's attention is also drawn to the provision under regulation 40 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of surface water; and
 - (viii) detailed checking under BO will be carried out at building plan submission stage.

Requirements for the Fireman's Emergency Switch

1. A fireman's emergency switch conforming EMSD's Code of Practice shall be provided to cut off the power supply of **all** EV charging facilities within the car parking facilities.
2. The switch shall be situated in a conspicuous position, yet out of reach of the public in general. Thus, switch(es) provided at vehicle entrance(s) shall be positioned no more than 3m but not less than 2.5 from ground level. Where more than one fireman's emergency switch is installed on any one building, such switches shall be clearly marked to distinguish one from another.
3. In case the switch is installed at a location other than the vehicle entrance, notice plate(s) shall be provided at conspicuous location(s) of vehicle entrance(s) acceptable to the Director of Fire Services to indicate the location of fireman's emergency switch.
4. The 'ON' and 'OFF' position of the fireman's emergency switch shall be conventional (i.e. push upward – 'OFF'; push downward – 'ON') and clearly indicated by lettering legible to a person standing on the ground at the intended site.
5. The switch is to be affixed on a board approximately 300 mm long by 250 mm wide, which is painted white and edged with a 50 mm red border. The inscription 'EV CHARGING FACILITIES - FIREMAN'S SWITCH' in English is to be painted on the top and '電動車充電設施 - 消防員開關掣' in Chinese at the bottom of the board in black. The switch is to be positioned in the middle of the board.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/837

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

無意見

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強議員

簽署 Signature



日期 Date

2024.11.19

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/837

意見詳情 (如有需要，請另頁說明)

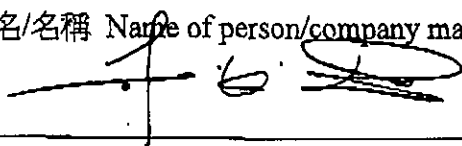
Details of the Comment (use separate sheet if necessary)

沒有意見

「提意見人」姓名/名稱 Name of person/company making this comment

葉樂成

簽署 Signature



日期 Date

26-11-2024

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From:
Sent: 2024-12-04 星期三 02:42:57
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/NE-LYT/837 DD 83 Lung Yeuk Tau

Dear TPB Members,

And again condtions not fulfilled so back with a fresh application.

As there is clearly no intention to comply with the regulations then members have a duty to the community to prioritize the public interest and reject the application.

Mary Mulvihill

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 26 December 2022 1:48 AM HKT
Subject: Re: A/NE-LYT/777 DD 83 Lung Yeuk Tau

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Friday, 23 December 2022 2:01 AM CST
Subject: A/NE-LYT/777DD 83 Lung Yeuk Tau

Dear TPB Members,

Small reduction in site area to 843.1. Members should inquire if conditions were eventually fulfilled.

Mary Mulvihill

From:
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 5 August 2019 3:30 AM CST
Subject: A/NE-LYT/706 DD 83 Lung Yeuk Tau

A/NE-LYT/706
Lots 1508 S.A. (Part) in D.D. 83, Lung Yeuk Tau, Fanling
Site area : About 895m²
Zoning : "Agriculture"
Applied Use: 21 Vehicle Parking

Dear TPB Members,

It is obvious from Google Maps that this is an application to legitimize a long existing brownfield use. It is already being operated as a parking lot.

Not only is this an inappropriate use of Agriculture site, it is also a most inefficient land use, 40sqmt per vehicle, larger than many residential units on sale.

No wonder so many folk are out protesting on our streets when such inefficient land uses are tolerated. Parking should be underground or in high rise facilities. Moreover as NET houses are 2,100sqft in size residents can easily accommodate one or even two parking bays on the ground floor as is common practice with villa style developments.

Mary Mulvihill