

2024年 12月 3 0日

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on **30 DEC 2024**
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Appendix I of
RNTPC Paper No. A/NE-LYT/842

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:**

- (i) Construction of "New Territories Exempted House(s)";
興建「新界豁免管制屋宇」;**
- (ii) Temporary use/development of land and/or building not exceeding 3 years in
rural areas or Regulated Areas; and
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時
用途/發展;及**
- (iii) Renewal of permission for temporary use or development in rural areas or
Regulated Areas
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期**

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

**General Note and Annotation for the Form
填寫表格的一般指引及註解**

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2403081

24/12/2024

By Hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-147/842
	Date Received 收到日期	30 DEC 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

Construction Division, Water Supplies Department

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Townland Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Government Land adjoining Lot 3 RP in D.D. 9, Tong Hang, Fanling, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 2,977.393 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 760 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) 2,977.393 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19
(e) Land use zone(s) involved 涉及的土地用途地帶	"Other Specified Uses (Amenity Area)", "Other Specified Uses (Petrol Filling Station) and "Agriculture"
(f) Current use(s) 現時用途	Construction Site, Cycle Track and Footpath, and Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☒ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]遞送要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 sq.m 平方米 <input type="checkbox"/> About 約		
	Non-domestic part 非住用部分 sq.m 平方米 <input type="checkbox"/> About 約		
	Total 總計 sq.m 平方米 <input type="checkbox"/> About 約		
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請	
(a) Operation involved 涉及工程	<div> <input type="checkbox"/> Diversion of stream 河道改道 </div> <div> <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 </div> <div> <input checked="" type="checkbox"/> Filling of land 填土 (<i>Within "AGR" zone only</i>) Area of filling 填土面積 436 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 up to 2.5 m 米 <input checked="" type="checkbox"/> About 約 </div> <div> <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 </div> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
(b) Intended use/development 有意進行的用途/發展	Proposed Public Utility Installation (Fresh Water Pumping Station)

(iii) For Type (iii) application 供第(iii)類申請													
(a) Nature and scale 性質及規模	<div> <input checked="" type="checkbox"/> Public utility installation 公用事業設施裝置 </div> <div> <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 </div> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td>Proposed Fresh Water Pumping Station (Pump Building)</td> <td>1</td> <td>Approx. 42m (L) x 22m (W) x 8m (H)</td> </tr> <tr> <td>Proposed Fresh Water Pumping Station (Electrical Building)</td> <td>1</td> <td>Approx. 22m (L) x 17m (W) x 5.41m (H)</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)	Proposed Fresh Water Pumping Station (Pump Building)	1	Approx. 42m (L) x 22m (W) x 8m (H)	Proposed Fresh Water Pumping Station (Electrical Building)	1	Approx. 22m (L) x 17m (W) x 5.41m (H)			
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											
Proposed Fresh Water Pumping Station (Pump Building)	1	Approx. 42m (L) x 22m (W) x 8m (H)											
Proposed Fresh Water Pumping Station (Electrical Building)	1	Approx. 22m (L) x 17m (W) x 5.41m (H)											

(iv) For Type (iv) application 供第(iv)類申請

(a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –

請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至 %
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米 ☐About 約

Proposed plot ratio 擬議地積比率 ☐About 約

Proposed site coverage 擬議上蓋面積 % ☐About 約

Proposed no. of blocks 擬議座數

Proposed no. of storeys of each block 每座建築物的擬議層數 storeys 層
☐ include 包括.....storeys of basements 層地庫
☐ exclude 不包括.....storeys of basements 層地庫

Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) ☐About 約
..... m 米 ☐About 約

☐ Domestic part 住用部分

GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積 sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☐ Non-domestic part 非住用部分

☐ eating place 食肆 sq. m 平方米 ☐ About 約

☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約

☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

政府、機構或社區設施

☐ other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

☐ Open space 休憩用地

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於

☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....

.....

.....

.....

.....

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Q3 2029

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行車通道安排**

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Tai Wo Service Road East</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>Please refer to the Supplementary Planning Statement.</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。


Please refer to the attached Supplementary Planning Statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Vincent Lau

Associate Director

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)

☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☒ RPP 註冊專業規劃師 RPP No. 378

Others 其他 MRTPI

on behalf of

代表

Townland Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）



Date 日期

24/12/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Government Land adjoining Lot 3 RP in D.D. 9, Tong Hang, Fanling, New Territories 新界粉嶺塘坑毗連丈量約份第 9 約地段第 3 號餘段的政府用地		
Site area 地盤面積	2,977.393 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 2,977.393 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 龍躍頭及軍地南分區計劃大綱核准圖編號S/NE-LYT/19		
Zoning 地帶	"Other Specified Uses (Amenity Area)", "Other Specified Uses (Petrol Filling Station) and "Agriculture" 「其他指定用途（美化市容地帶）」、「其他指定用途（加油站）」及「農業」		
Applied use/ development 申請用途／發展	Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land 擬議公用事業設施裝置（食水抽水站）及相關填土工程		
(i) Gross floor area and/or plot ratio 總樓面面積及／或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	760 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	-	
	Non-domestic 非住用	2	
	Composite 綜合用途	-	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	- m 米 <input type="checkbox"/> (Not more than 不多於)
		- mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		- Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	Pump Building 泵房: Approx. 8 Electrical Building 電力設施建築物: Approx. 5.41 m 米 <input type="checkbox"/> (Not more than 不多於)
		Pump Building 泵房: Approx. 25.9 Electrical Building 電力設施建築物: Approx. 23.31 mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Pump Building 泵房: 1 storey exclude 1 level of basement 1層不包括1層地庫 Electrical Building 電力設施建築物: 1 storey 層 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	- m 米 <input type="checkbox"/> (Not more than 不多於)
		- mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		- Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	27 % <input checked="" type="checkbox"/> About 約	
(v) No. of units 單位數目	-	
(vi) Open space 休憩用地	Private 私人	- sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	- sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>	-
	Total no. of vehicle loading/unloading bays/lays 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>	-

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<hr/>		
Tree Preservation and Landscape Proposal		
<hr/>		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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SECTION 16 PLANNING APPLICATION TOWN PLANNING ORDINANCE (CAP. 131)

**PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION)
IN GOVERNMENT LAND AT TONG HANG, FANLING**

- Supplementary Planning Statement -

PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION) IN GOVERNMENT LAND AT TONG HANG, FANLING

SECTION 16 PLANNING APPLICATION

SUPPLEMENTARY PLANNING STATEMENT

Client

Construction Division,
Water Supplies Department

Planning Consultant and Submitting Agent

Townland Consultants Limited

Engineering Consultant

Asia Infrastructure Solutions Limited

File Reference : WSD/WH5

For and on behalf of Townland Consultants Limited

Approved by :  _____

Position : Associate Director

Date : 24 December 2024

24 December 2024

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EXECUTIVE SUMMARY

This Section 16 Planning Application (“**S16**”) is submitted on behalf of Construction Division of Water Supplies Department (“**WSD**”) (the “**Applicant**”) to seek permission from the Town Planning Board (“**TPB**”/ the “**BOARD**”) for a Proposed Fresh Water Pumping Station (“**FWPS**”) (“**Proposed FWPS**”) in Government Land at Tong Hang, Fanling (the “**Site / Application Site**”).

The Application Site is zoned “Other Specified Uses (Amenity Area)” (“**OU(A)**”), “Other Specified Uses (Petrol Filling Station)” (“**OU(PFS)**”) and Agriculture (“**AGR**”) under the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 (“**Approved OZP**”). ‘Public Utility Installation’ is a Column 2 Use under the “**OU(A)**”, “**OU(PFS)**” and “**AGR**” zones that may be permitted with or without Conditions on application to the TPB.

The existing water treatment capacity of Sheung Shui Water Treatment Works (“**WTW**”) is not adequate to cater for the fresh water demand arising from the proposed developments in North District from 2030. To address the shortfall, improvement works for the trunk transfer system to convey fresh water from Tai Po WTW to North District is proposed under the Project 9377WF – Improvement of Water Supply to Northern New Territories. The Proposed FWPS forms an essential part of the improvement works for the trunk transfer system to convey fresh water to North District.

The Proposed FWPS comprises of two (2) separate one-storey (excluding basement) buildings, namely a Pump Building in the east and an Electrical Building in the west. The Proposed FWPS will serve as a booster pumping station to take treated water from the Tai Po Tau Fresh Water Primary Service Reservoir (“**FWPSR**”) to Tong Hang Fresh Water Service Reservoir (“**FWSR**”) and Tong Hang No. 2 FWSR, Table Hill FWSR, Ping Che FWSR, proposed Tong Hang No. 3 FWSR and proposed Table Hill No. 3 FWSR and via existing and proposed trunk water mains to the Tong Hang Fresh Water Service Reservoirs. The abovementioned FWSRs which will then convey the fresh water to the various supply zones.

This Supplementary Planning Statement (“**SPS**”) demonstrates that the Proposed FWPS is acceptable on the following grounds:

- The Proposed FWPS is an essential infrastructure to cater for the fresh water demand arising from the proposed developments in North Districts from 2030;
- Identification of a suitable site for the Proposed FWPS is heavily influenced by the water supply network and location of the fresh water service reservoirs. The Application Site is the most suitable location for the Proposed FWPS after a comprehensive consideration of operation requirements, site availability, potential interface issue and the recommendations by HKPSG;
- The Proposed FWPS will not result in adverse land use impact to the surrounding context;
- The Proposed FWPS as a low-rise public utility infrastructure is considered not incompatible with the surrounding rural setting; and
- The Proposed FWPS will not cause any undesirable landscape, visual, drainage or traffic impact.

In light of the above, Members of the BOARD are sincerely requested to give favourable consideration to this Planning Application.

行政摘要

(內文如有差異，以英文版本為準)

根據《城市規劃條例》第十六條，我司代表水務署建設部 (下稱「申請人」) 向城市規劃委員會 (下稱「城規會」) 呈交規劃申請書，請求批准於粉嶺塘坑的一幅政府用地 (下稱「申請地點」或「地盤」) 設置食水抽水站 (下稱「擬議食水抽水站」) 。

申請地點座落於《龍躍頭及軍地南分區計劃大綱核准圖編號 S/NE-LYT/19》(下稱「核准圖」) 的「其他指定用途 (美化市容地帶)」、「其他指定用途 (加油站)」及「農業」地帶。「公用事業設施裝置」於這些地帶中為第二欄用途，須先向城規會申請，並可能在有附帶條件或無附帶條件下獲准。

現時上水濾水廠的濾水量將不足以應付北區由 2030 年後擬議發展的食水需求。為解決食水供應不足的問題，工程項目編號 9377WF - 「新界北區食水供應改善工程」擬議就大埔濾水廠至北區的輸水幹管系統進行改善工程。擬議食水抽水站是輸水幹管系統改善工程中把食水輸送到北區不可或缺的一部分。

擬議食水抽水站由兩座單層 (不包括地庫) 建築物組成，包括位於東面的泵房及位於西面的電房。擬議食水抽水站將用作增壓抽水站，將經處理的食水從大埔頭食水主配水庫輸送至塘坑食水配水庫、塘坑二號食水配水庫、桌山食水配水庫、坪輦食水配水庫、擬議塘坑三號食水配水庫及擬議桌山三號食水配水庫。以上的食水配水庫將把食水再輸送至各供水區。

此補充規劃文件顯示擬議食水抽水站是可接受的，理由如下：

- 擬議食水抽水站是一項重要的基建，以應付 2030 年後北區擬議發展對食水日益增加的需求；
- 擬議食水抽水站的選址很大程度上受限於供水網絡及食水配水庫的位置影響。經全面考慮運作要求、用地可供發展的時間、潛在的土地銜接問題及《香港規劃標準與準則》的建議後，申請地點是擬議發展最理想的選址；
- 擬議食水抽水站將不會對周邊環境造成不良的土地用途影響；
- 擬議食水抽水站屬低層公用事業設施基建，與周邊的鄉郊地區並非不兼容；及
- 擬議食水抽水站不會為景觀、視覺、排水及交通帶來負面影響。

鑒於上述原因理由，我司懇請城規會考慮批准是次規劃申請。

Reference: WSD/WHS/KELVINHC/02
Date: 24 December 2024

TO THE TOWN PLANNING BOARD:

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)**

**PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION)
IN GOVERNMENT LAND AT TONG HANG, FANLING**

- SUPPLEMENTARY PLANNING STATEMENT -

1 INTRODUCTION

- 1.1 This Section 16 (“**S16**”) Planning Application is submitted on behalf of Construction Division of Water Supplies Department (“**WSD**”) (the “**Applicant**”) to seek permission from the Town Planning Board (“**TPB**”/ the “**BOARD**”) for a Proposed Fresh Water Pumping Station (“**FWPS**”) (“**Proposed FWPS**”) in Government Land at Tong Hang, Fanling (the “**Site / Application Site**”).
- 1.2 The existing water treatment capacity of Sheung Shui Water Treatment Works (“**WTW**”) is not adequate to cater for the fresh water demand arising from the proposed developments in North District from 2030. To address the shortfall, improvement works for the trunk transfer system to convey fresh water from Tai Po WTW to North District is proposed under the Project 9377WF – Improvement of Water Supply to Northern New Territories. The Proposed FWPS forms an essential part of the improvement works for the trunk transfer system to convey fresh water to North District.
- 1.3 This Supplementary Planning Statement (“**SPS**”) provides relevant information on the Proposed FWPS to facilitate the BOARD’s consideration. The following sections will provide a description of the Application Site and its surroundings, the planning context, details of the Proposed FWPS and justifications in support of the application.

2 SITE CONTEXT

2.1 Site Location and Existing Context

- 2.1.1 The Application Site, with a site area of about 2,977.393m², is located within Government Land at Tong Hang, Fanling (**Figures 2.1** refers). The western part of the Site is currently occupied by Civil Engineering and Development Department (“**CEDD**”) for the construction of Fanling Bypass (Eastern Section). Upon completion, the Fanling Bypass will be crossing above the western part of the Site. The eastern part of the Site is currently vacant and fenced off. A portion of the Site encroached into the adjacent public cycle track to the north (**Para. 4.3.3** refers).

2.2 Surrounding Land Uses

- 2.2.1 The Application Site is located within a rural setting predominately surrounded by existing villages, agricultural land and mountain ranges (**Figure 2.2** refers):
- The New Territories Cycle Track Network and East Rail Line, running in parallel to the Ma Wat River in northwest-southeast direction, are located to the north of the Site. Tong Hang Tsuen, Tong Hang Tung Tsuen and some squatters are located from the further north to the east of the Site at the foot of Lung Shan. Tong Hang Fresh Water Service Reservoir (“**FWSR**”), Tong Hang No. 2 FWSR and Tong Hang No. 3 FWSR (currently under construction with planning permission under Application No. A/NE-HT/8) are located to the further northeast of the Site.
 - Area to the east and southeast of the Site are the construction site of Fanling Bypass (Eastern Section) and the Fanling Highway.
 - Two (2) nurseries are abutting the southern boundary of the Site. Across Fanling Highway and to the further south of the Site comprises of the Wo Hop Shek Village and a planned public housing development at Fanling Area 48 approved by the TPB on 12 January 2024 (Application No. A/FSS/295).
 - A petrol filling station (“**PFS**”) (Caltex Kau Lung Hang Petrol Filling Station) is located to the west of the Site.

2.3 Land Status

- 2.3.1 The Application Site is situated on Government Land.

2.4 Accessibility

- 2.4.1 The Application Site can be accessed from Tai Wo Service Road East which conveniently connects to Fanling Highway.

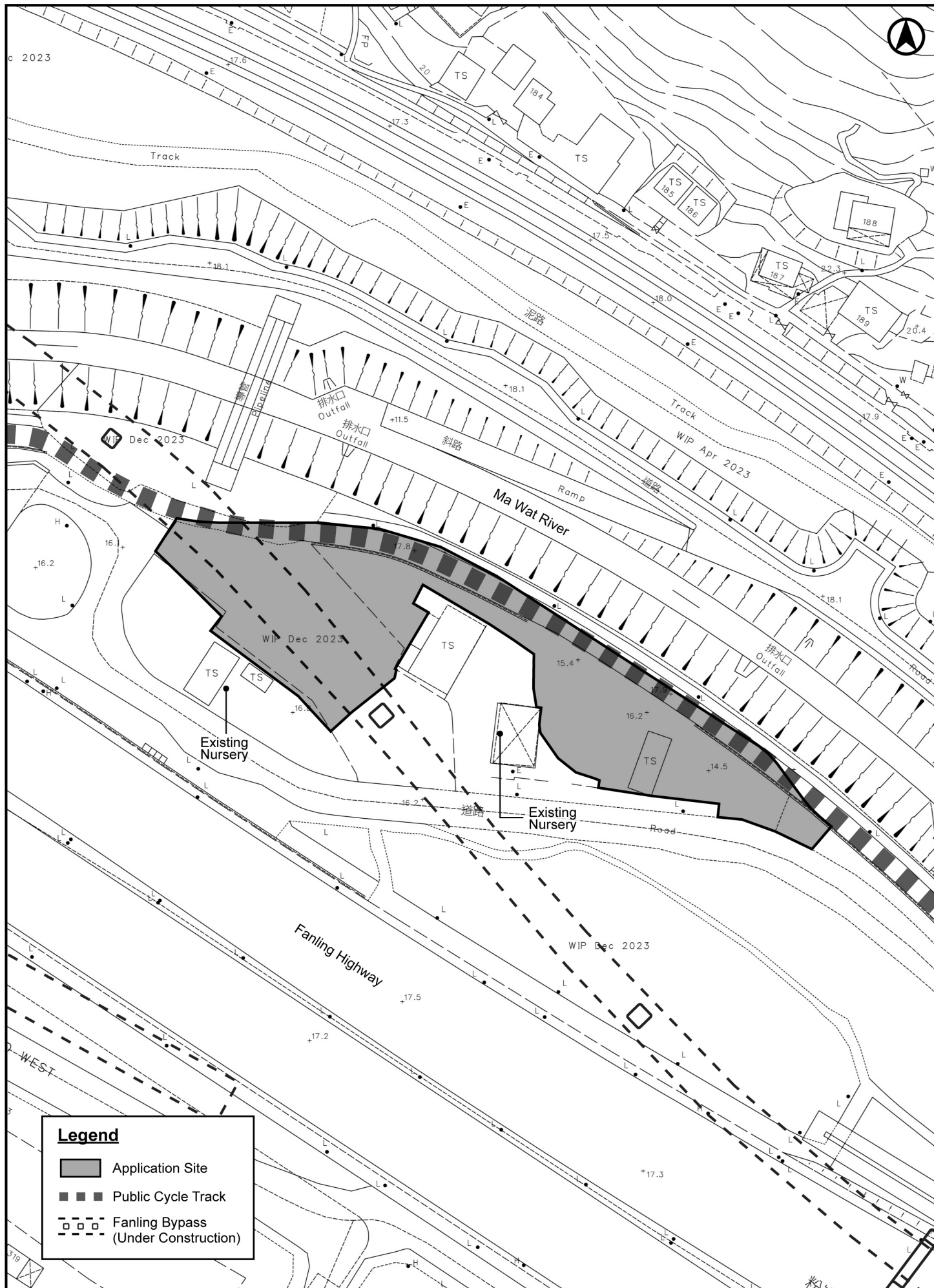




FIGURE 2.2 SITE LOCATION PLAN
SCALE 1 : 5,000

3 PLANNING CONTEXT

3.1 Statutory Planning Context

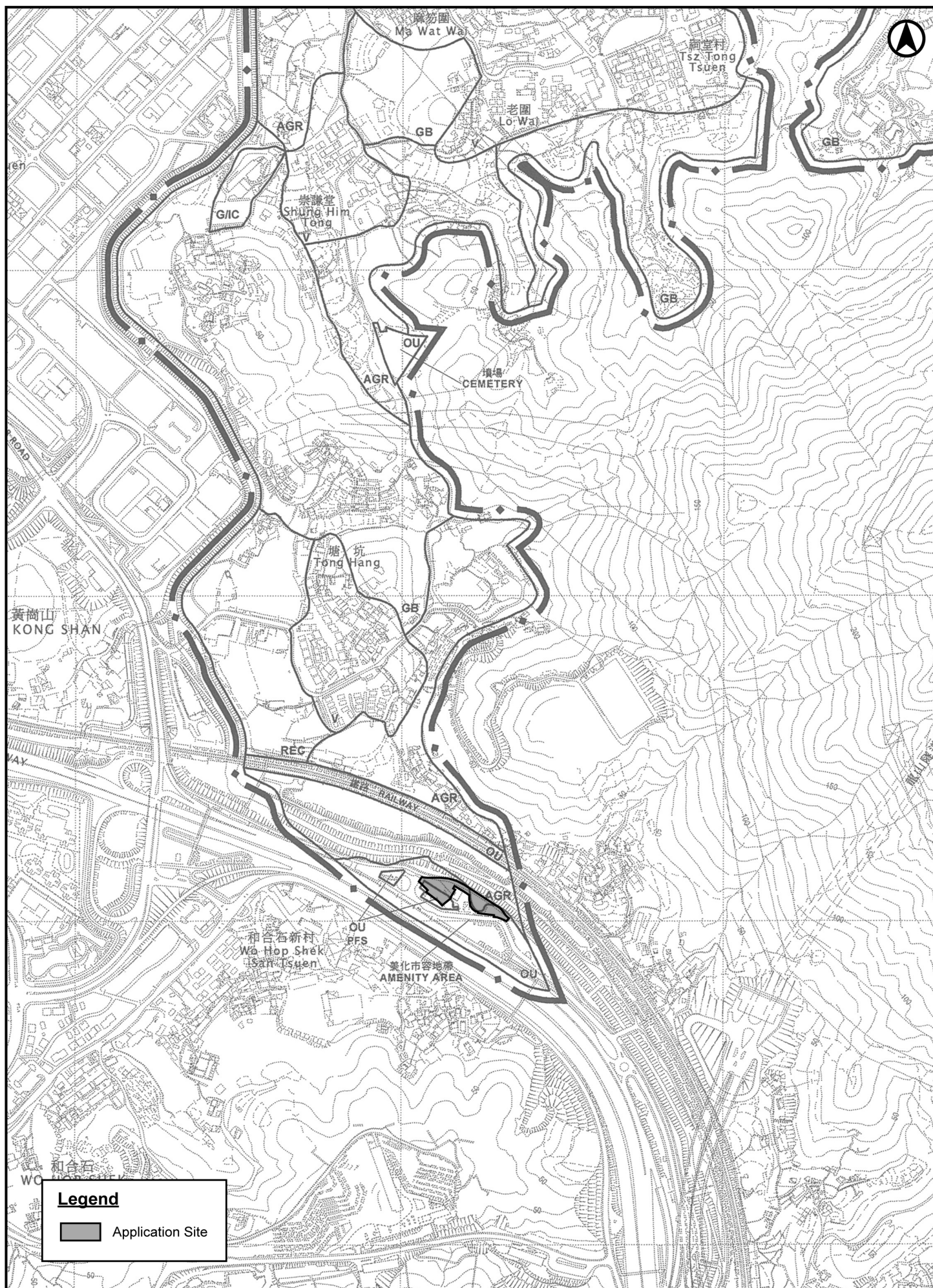
Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19

- 3.1.1 The Application Site falls within land zoned “Other Specified Uses (Amenity Area)” (“**OU(A)**”), “Other Specified Uses (Petrol Filling Station)” (“**OU(PFS)**”) and Agriculture (“**AGR**”) under the Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 (“**Approved OZP**”) (**Figures 3.1 and 3.2** refer).
- 3.1.2 According to the Statutory Notes of the Approved OZP, the planning intention of the “OU(A)” zone is “to designate land for the development of nursery garden, landscape and amenity area”, while the planning intention of “OU(PFS)” zone is “to allocate land for petrol filling station use”. The planning intention of the “AGR” zone is “intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes”. Developments involve filling of pond and/ or filling of land (except for purposes irrelevant to this Application) require planning permission.
- 3.1.3 ‘Public Utility Installation’ (“**PUI**”) is a Column 2 Use under the “OU(A)”, “OU(PFS)” and “AGR” zones that may be permitted with or without Conditions on application to the TPB.

3.2 Non-Statutory Planning Context

Northern Metropolis Development Strategy and Action Agenda

- 3.2.1 In 2021, the Government put forth the Northern Metropolis Development Strategy (“**NMDS**”) to develop the northern New Territories that covers new towns in Yuen Long, Tin Shui Wai, Fanling/Sheung Shui, various New Development Areas (“**NDAs**”) and development nodes into a metropolitan area good for people to live in, work and travel as well as a new economic engine of Hong Kong.
- 3.2.2 The Government then formulated the Northern Metropolis Action Agenda (“**NMAA**”) to set out development blueprint and implementation plan. Among the four major zones in NM, the northeastern part of NM is identified as Boundary Commerce and Industry Zone which comprises Fanling /Sheung Shui New Town, Kwu Tung North (“**KTN**”)/ Fanling North (“**FLN**”) NDA, Ma Tso Lung and New Territories North (“**NTN**”) New Town (covering Lo Wu/ Man Kam To, Ta Kwu Ling, Heung Yuen Wai, Ping Che, Hung Lung Hang, Queen’s Hill etc.). Substantial economic and residential uses are being planned/ proposed within this zone which require reliable infrastructure to support. According to NMAA, the existing new towns in this zone consists of about 92,300 residential units that house about 255,300 people and has an employment population of approx. 55,000 (**Section 4.2 of the NMAA** refers). The major development projects, excluding NTN New Town and Ma Tso Lung which are being studied, comprises of about 129,600 residential units that house about 340,100 people and providing employment opportunities of about 53,100 (**Section 4.2 of the NMAA** refers).



WSD/WH5

FIGURE 3.1 APPROVED LUNG YEUK TAU AND KWAN TEI SOUTH
OUTLINE ZONING PLAN NO. S/NE-LYT/19 (EXTRACT)
SCALE 1 : 7,500

OTHER SPECIFIED USES

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
<u>For “Railway” Only</u>	
Railway Track	Government Use Public Utility Installation
<u>Planning Intention</u>	
The planning intention of this zone is to reflect the land occupied by the railway tracks of Mass Transit Railway.	
<u>For “Petrol Filling Station” Only</u>	
Petrol Filling Station	Government Use Public Utility Installation
<u>Planning Intention</u>	
The planning intention of this zone is to allocate land for petrol filling station use.	
<u>For “Amenity Area” Only</u>	
Amenity Area	Government Use Public Utility Installation Utility Installation for Private Project
<u>Planning Intention</u>	
The planning intention of this zone is to designate land for the development of nursery garden, landscape and amenity area.	

(Please see next page)

AGRICULTURE

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Agricultural Use Government Use (Police Reporting Centre only) On-Farm Domestic Structure Public Convenience Religious Institution (Ancestral Hall only) Rural Committee/Village Office	Animal Boarding Establishment Barbecue Spot Burial Ground Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) House (New Territories Exempted House only, other than rebuilding of New Territories Exempted House or replacement of existing domestic building by New Territories Exempted House permitted under the covering Notes) Picnic Area Place of Recreation, Sports or Culture (Horse Riding School, Hobby Farm, Fishing Ground only) Public Utility Installation Religious Institution (not elsewhere specified) School Utility Installation for Private Project

Planning Intention

This zone is intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.

Remarks

- (a) Any filling of pond, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the interim development permission area plan without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance.

(Please see next page)

AGRICULTURE (Cont'd)

Remarks (Cont'd)

- (b) Any filling of land, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the draft Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/10 without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance. This restriction does not apply to filling of land specifically required under prior written instructions of Government department(s) or for the purposes specified below:
- (i) laying of soil not exceeding 1.2m in thickness for cultivation; or
 - (ii) construction of any agricultural structure with prior written approval issued by the Lands Department.

Policy Address

- 3.2.3 The Policy Address is the annual address made by the Chief Executive (“CE”) of Hong Kong outlining the policy objectives of the Government for the following year. In the CE’s 2021 Policy Address, NM was introduced as an international Innovation and Technology (“I&T”) hub to facilitate Hong Kong integrating into the overall development of the country. It was estimated that the NM will be able to accommodate a population of about 2.5 million with about 905,000 to 926,000 units (**Para. 30 of the 2021 Policy Address** refers).
- 3.2.4 In the CE’s 2022 Policy Address, the Government acknowledged the NM as the new engine for growth and recognised the need to enhance quantity, speed, efficiency and quality to implement the major development projects (**Para. 54 of the 2022 Policy Address** refers).
- 3.2.5 The CE’s 2023 Policy Address continued to emphasise on the importance of NM as the new engine for Hong Kong’s future growth and indicated the adoption of “industry-driven and infrastructure-led” approach as NM’s key planning axle (**Para. 78 of the 2023 Policy Address** refers).
- 3.2.6 While the NM will progressively enter the maturity phase, the latest CE’s 2024 Policy Address announced the Government will expedite the implementation of economic and housing-related projects in the NM (**Para. 138 of the 2024 Policy Address** refers).

Chapter 7 of Hong Kong Planning Standards and Guidelines – Utility Services

- 3.2.7 Recognising that the provision of utility services is fundamental to modern living and they are essential components of the basic infrastructure, the Hong Kong Planning Standards and Guidelines (“HKPSG”) recommends that the provision should be well coordinated and integrated to achieve a coherent and aesthetic design (**Para 1.1 of Chapter 7 of the HKPSG** refers). The size of the building/ structures of the utility installation should be minimised as far as practicable and the development potential of the sites identified should be utilised (**Para 1.3.1 and 1.3.2 of Chapter 7 of the HKPSG** refer).
- 3.2.8 For water pumping stations, sites located within reasonable proximity to the source of supply is preferred. The identified site should also have adequate vehicular access to facilitate maintenance and transportation of materials. To avoid adverse noise impact on sensitive uses (e.g. residential), the pumping stations should be located from the residential developments as far as practicable. Furthermore, landscape features should also be introduced to enable the pumping stations blending in with the surrounding environment (**Para 6.2.2 of Chapter 7 of the HKPSG** refers).

3.3 Planning History

- 3.3.1 The Site was originally zoned “Unspecified Use” under the Lung Yeuk Tau & Kwan Tei South Development Permission Area Plan No. DPA/NE-LYT/1 gazetted on 12 July 1991. A S16 Planning Application (Application No. A/DPA/NE-LYT/46) for PFS with associated approach road and nursery gardens at majority part of the Site was approved with conditions under a Section 17 Review on 8 October 1993.
- 3.3.2 On 1 July 1994, the Draft Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/1 was gazetted where the Site was zoned “Comprehensive Development Area” (“CDA”) and “AGR”. The planning intention of the “CDA” zone was for the development of a petrol filling station with plant nursery. Subsequently, two S16 Planning Applications (Application Nos. A/NE-LYT/197 and A/NE-LYT/220) for Proposed Petrol and Liquefied Petroleum Gas Filling (“LPG”) Station were approved with conditions on 17 March 2000 and 4 May 2001 respectively.
- 3.3.3 On 3 May 2002, the “CDA” zone was then rezoned to “OU(PFS)” and “OU(A)” under the Draft Lung Yeuk Tau & Kwan Tei South Outline Zoning Plan No. S/NE-LYT/6 to reflect the existing PFS and a proposed petrol and liquefied petroleum gas filling station and the intention of developing nursery garden, landscape and amenity area within the “CDA” zone.

- 3.3.4 The proposed petrol and liquefied petroleum gas filling station has never been implemented whilst the nursery was implemented but then fragmented due to resumption of land for the construction of Fanling Bypass (Eastern Section) (under Project Number 747CL - Advance Site Formation and Engineering Infrastructure Works at Kwu Tung North and Fanling North New Development Areas).
- 3.3.5 The Previous Planning Applications involving a portion of the Application Site is summarised in **Table 3.1**.

Table 3.1 Previous Planning Applications at the Application Site

Application No.	Applied Use	Address	Decision Date
A/DPA/NE-LYT/46	PFS with associated approach road and nursery gardens	Tai Po Road - Fanling	Approved with conditions on Section 17 Review on 8 Oct 1993
A/NE-LYT/197	Proposed Petrol and Liquefied Petroleum Gas Filling Station	Tong Hang, Fanling, New Territories	Approved with conditions on 17 March 2000
A/NE-LYT/220	Proposed Petrol and Liquefied Petroleum Gas Filling Station	Tong Hang, Fanling, New Territories	Approved with conditions on 4 May 2001

4 THE PROPOSED FWPS

4.1 Site Selection for Fresh Water Pumping Station

- 4.1.1 FWPS is a critical infrastructure in conveying fresh water with its primary function of pumping and conveying water from one source (e.g. WTW or reservoir) to the designated locations. To maximise energy efficiency and cost-effectiveness of construction, FWPSs are preferred to locate in proximity to either reservoirs or WTWs. In this context, FWPSs should also be located along the existing trunk water main between Tai Po Tau Fresh Water Primary Service Reservoir (“**FWPSR**”) and Tong Hang FWSR Group to avoid rerouting works.
- 4.1.2 To meet the planned population intake programme of various proposed developments in the North District (including but not limited to, Kwu Tung North NDA, Fanling North NDA, Lok Ma Chau Loop Development, Wa Shan Development, Fanling Zone 2 Greenbelt Site, Tai Tau Leng Development, etc.), potential sites which could allow for timely implementation of the FWPS are preferred. In this regard, sites situated on Government Land has been selected, instead of private land, to avoid the need of the land resumption process. With reference to HKPSG, FWPS are not recommended to be located in close proximity to major residential populations due to potential adverse noise impact (**Para. 3.2.8** refers). Furthermore, due to technical constraints, it will also not be feasible for the FWPS to co-locate with other uses. In this regard, sites with limited development potential and will not cause incompatible land use interfaces have been prioritised.
- 4.1.3 Based on the above considerations stated in **Para 4.1.1** and **4.1.2**, the Application Site, located on Government land and in proximity to Tong Hang FWSRs, is identified as the preferred Site for the Proposed FWPS. The Application Site can be conveniently accessed by Fanling Highway via Tai Wo Service Road East to facilitate ease of maintenance. It is also located away from residential population who would be sensitive to the potential noise impact by the Proposed FWPS. Furthermore, the Application Site has limited development potential due to its peculiar shape and the development restrictions rendered by the Fanling Bypass above and the PFS nearby. The Proposed FWPS will be able to utilise the unused space without compromising any development potential. The site selection is considered in line with Chapter 7 of the HKPSG.

4.2 The Proposed Fresh Water Pumping Station

- 4.2.1 The Proposed FWPS will serve as a booster pumping station to enable fresh water from the Tai Po Tau FWPSR to be transferred to existing Tong Hang FWSR and Tong Hang No. 2 FWSR, Table Hill FWSR, Ping Che FWSR, proposed Tong Hang No. 3 FWSR and proposed Table Hill No. 3 FWSR via existing and proposed fresh water trunk mains by increasing the water pressure. The abovementioned FWSRs will then distribute the fresh water to corresponding supply zones serving Fanling, Sheung Shui, Ping Che and Kau Lung Hang areas.
- 4.2.2 The Proposed FWPS comprises of two (2) separate one-storey (excluding basement) buildings, namely a Pump Building in the east and an Electrical Building in the west (**Appendix 1** refers). The Pump Building will house pump motors with pumping capacity of 404,000m³/day at 65m head, while the Electrical Building will be an ancillary building that support the operation of the Pump Building. The Proposed FWPS will be an unmanned facility and will not subject to the potential risk by the nearby PFS and town gas pipelines.
- 4.2.3 The proposed ingress/egress is located at the western-end of the Application Site. No parking space nor loading/unloading space will be provided on-site. Due to limited site area and site constraints, minor encroachment into the adjacent cycle track and footpath to the north to accommodate an emergency vehicular access (“**EVA**”) will be required. A local realignment of the adjacent footpath and cycling track (**Figure 4.1** refers) will be undertaken by WSD and then handed back to Highways Department (“**HyD**”) and Transport Department (“**TD**”) for maintenance and management respectively. TD and HyD were consulted and have no adverse view on the realignment proposal.

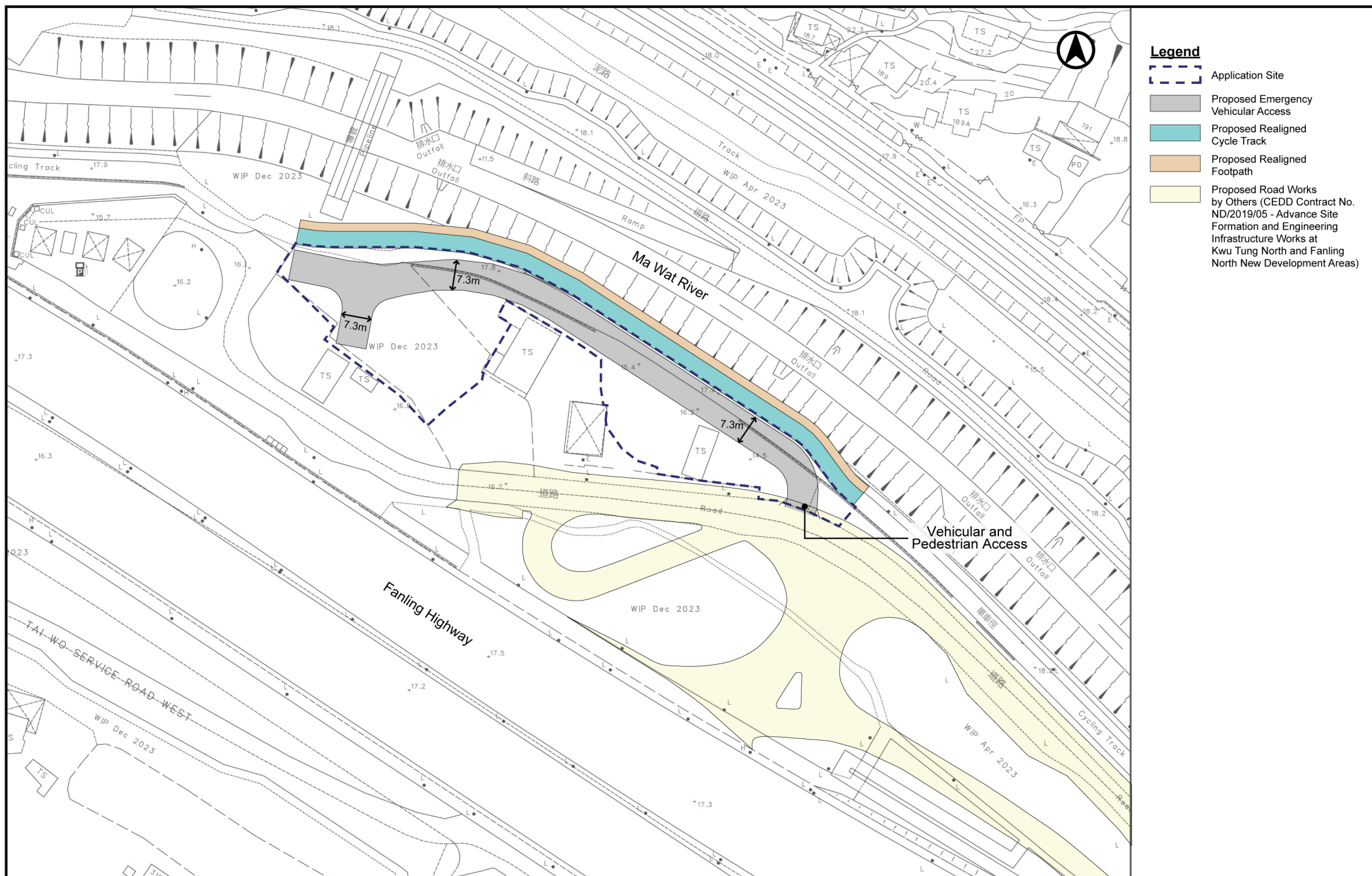


FIGURE 4.1 REALIGNMENT PROPOSAL OF EXISTING FOOTPATH AND CYCLE TRACK
NOT TO SCALE

- 4.2.4 The technical and accommodation schedules of the Proposed FWPS are summarised in **Table 4.1** below.

Table 4.1 Technical and Accommodation Schedules

Technical Schedule	Pump Building	Electrical Building
Site Area	Approx. 2,977.393m ²	
Gross Floor Area	440m ²	320m ²
Site Coverage	Approx. 27%	
No. of Storeys	1 storey (excluding 1 storey of basement)	1 storey
Building Height (at Main Roof Level)	Approx. 25.9mPD	Approx. 23.310mPD
Absolute Building Height	Approx. 8m	Approx. 5.410m
Accommodation Schedule		
B/F	Pump Motors	-
G/F	Pump Motors	Electrical Facilities

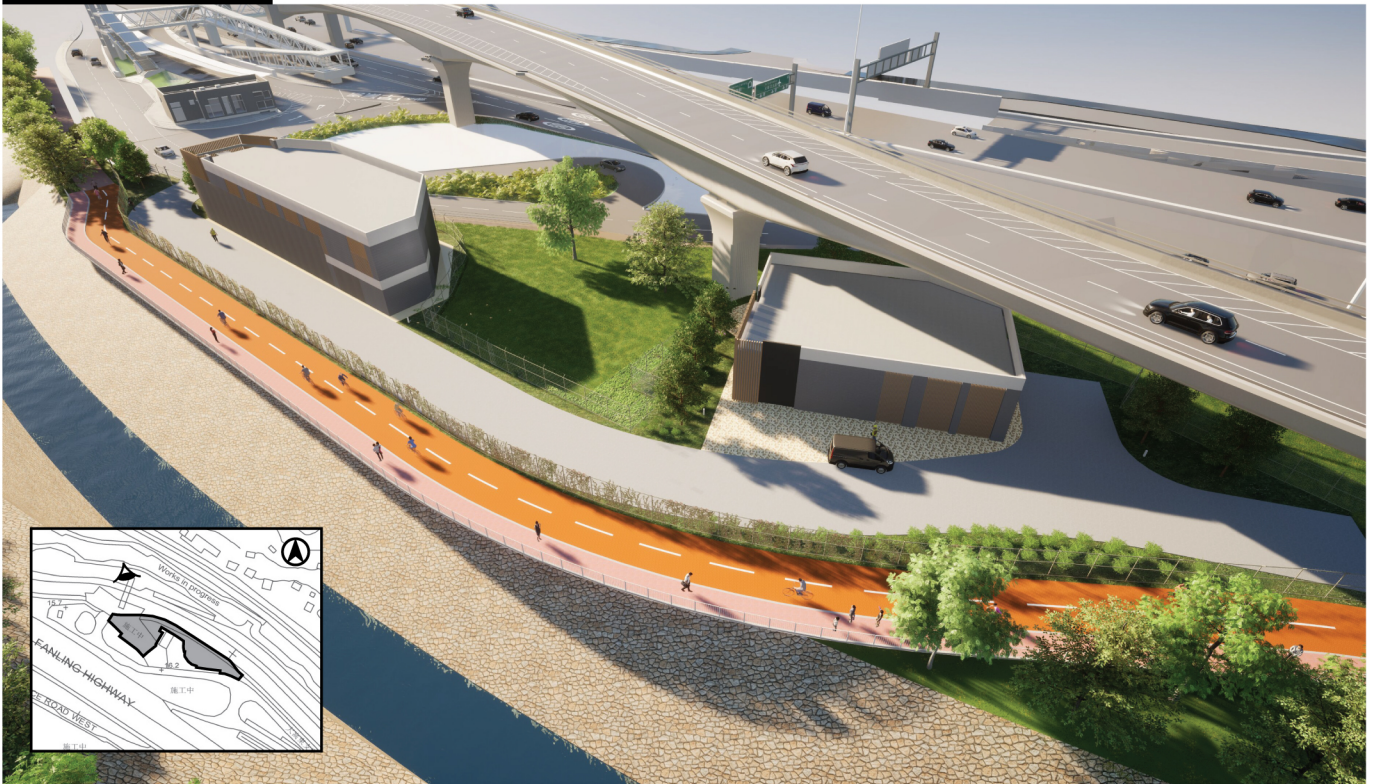
4.3 Design Considerations and Landscape Proposal

- 4.3.1 With the intention to avoid resumption of private land, the Application Site is in a peculiar shape which is not feasible to accommodate one sizeable building block. In addition, the requirement of EVA further limits the developable area within the Site. In terms of building height, the Fanling Bypass above the Application Site requires vertical clearance of not less than 4m between the soffit of the viaduct and the building structures below for the purpose of inspection and maintenance of the Fanling Bypass in future. As a result, two separate building blocks are needed to accommodate the necessary pumping and electrical facilities. Since the Pump Building requires high headroom to install cranes and air conditioning for the operation and maintenance of the pumps, it is proposed at the eastern portion of the Site where there is no viaduct above. The electrical facilities are proposed to be accommodated in a separate building block to allow convenient ground level access to the transformer room for ease of maintenance. Multi-storey structure in close proximity to the viaduct of Fanling Bypass can be avoided.
- 4.3.2 To minimise the visual impact of the building structures to the nearby pedestrian and cyclist, vertical greening is proposed along the fence wall to minimise the visibility of the Proposed FWPS. Quality landscape will also be provided within the Site to not only fulfil the greenery coverage requirement but also soften the man-made structure. Evergreen species are selected to provide greening effects all-year-round. Materials with earth tone for hardscape are selected to keep the structure and proposed works as harmonious as possible with the surrounding environment. As demonstrated in the artists' impressions (**Figures 4.2** and **4.3** refer), the Proposed FWPS will not be incompatible with the surrounding rural setting and the impact to the streetscape would be minimised.

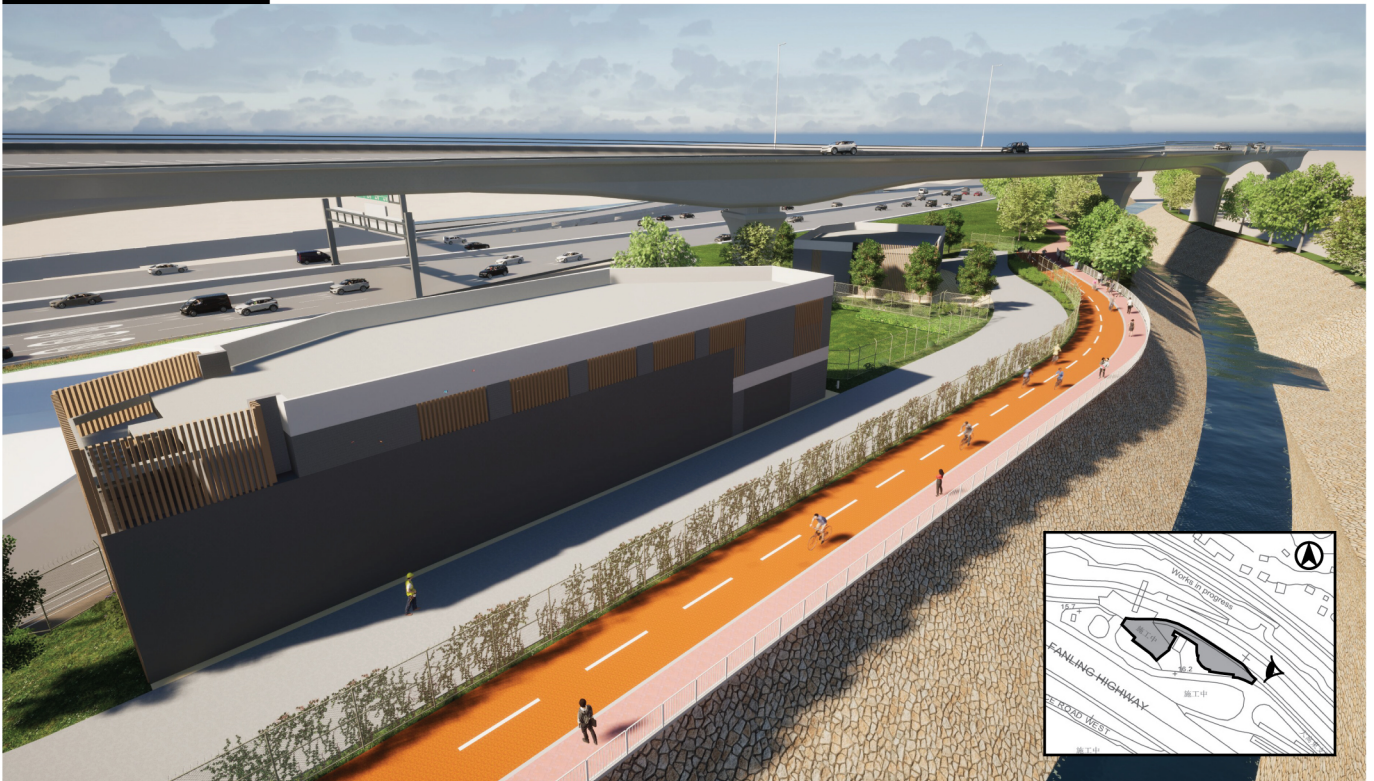
4.4 Development Programme

- 4.4.1 The construction of the Proposed FWPS is scheduled to commence in Q4 2025 and complete by Q3 2029 tentatively to tie in with the earliest anticipated date for population intake in Fanling North NDA in North District. Given the construction of the Fanling Bypass (Eastern Section) will be tentatively completed in 2025, there will be minimal interface issue between the construction of the Proposed FWPS and Fanling Bypass (Eastern Section). CEDD will also be consulted if there are any potential conflict with their works area.

BIRD'S EYE VIEW



BIRD'S EYE VIEW



VIEW FROM FOOTPATH NEXT TO MA WAT RIVER



VIEW FROM FOOTPATH NEXT TO MA WAT RIVER



5 PLANNING MERITS AND JUSTIFICATIONS

5.1 Catering the Rising Demand of Fresh Water in the Northern Metropolis

- 5.1.1 As outlined in the NMAA, the Boundary Commerce and Industry Zone in the northeastern part of NM is planned with substantial population intake in medium to long term under various NDAs and new housing developments in Fanling/ Sheung Shui (e.g. Wa Shan, Choi Shun Street and Fanling Area 17 etc). With the limitation to expand the Sheung Shui WTW, improvement works for the trunk transfer system to convey fresh water from Tai Po WTW to North District is proposed under the Project 9377WF – Improvement of Water Supply to Northern New Territories to support the substantial increase in fresh water demand arising from proposed developments in North District.
- 5.1.2 The Proposed FWPS is a necessary infrastructure to facilitate the transfer of fresh water from Tai Po WTW to the supply zones in North District. In particular, the Proposed FWPS will increase the water pressure to allow the fresh water transfer to different topographical levels and further locations (e.g. Ping Che FWSR which is 7.95km from the Proposed FWPS) to serve future populations, which would otherwise be impractical without the Proposed FWPS.

5.2 In Line with Government Policy Objectives

- 5.2.1 The Proposed FWPS aligns with the HK2030+ in creating infrastructural capacity for sustainable growth. In particular, it will support the NMDA by providing adequate water supply to the northeastern part of NM in a timely manner to enable various major developments.
- 5.2.2 In terms of site selection for the Proposed FWPS, reference has been made to HKPSG Chapter 7. The Application Site is in close proximity to the Tong Hang FWSRs which will maximise the energy efficiency. The Application Site also has adequate vehicular access via Tai Wo Service Road East to facilitate ease of maintenance. There is no major residential population in close proximity that would be subject to the potential noise impacts by the Proposed FWPS. As the Application Site is restricted by (i) its peculiar shape; (ii) the close proximity to the Fanling Highway and a PFS which are major environmental nuisance and potential fire risk respectively; and (iii) situating underneath the Fanling Bypass, the development potential of the Site is limited. In this regard, the Proposed FWPS is considered a suitable use to enable the utilisation the Application Site.

5.3 No Adverse Land Use Impact

- 5.3.1 While the “OU(PFS)” zone within the Application Site is intended for a proposed petrol and LPG filling station, this proposal has not been implemented since the approval the S16 Planning Application in 2001. In view that majority of the “OU(PFS)” zone has been resumed for the construction of Fanling Bypass (Eastern Section), it is unlikely a petrol and LPG filling station will be further implemented at the Site. Notwithstanding, the Proposed FWPS will not restrict the development of the petrol and LPG filling station nor is it incompatible with such use.
- 5.3.2 Similarly, the resumption of land and construction of Fanling Bypass (Eastern Section) and the widened Fanling Highway has also resulted in the fragmentation of the “OU(A)” zone. Nonetheless, the Application Site, encroaches on a minor portion of the “OU(A)” zone (about 1,781.63m² or 8.28% of the “OU(A)” zone) and will have minimal impact on the remaining part of the “OU(A)” zone. Suitable landscaping will also be introduced in the Proposed FWPS to serve as a similar function of amenity area.
- 5.3.3 In regards to the affected “AGR” zone within the Application Site, the concerned land is not an active agricultural land but partially paved with some vegetation. While it is understood that “AGR” zone is intended to retain the existing agricultural land since the gazettal of the Draft Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/1, due to the site works for channelization of the Ma Wat River in 2008, construction of New Territories Cycle Track Network in 2014, widening of Fanling Highway in 2019 and the current construction of Fanling Bypass, the agricultural character of the Site and its immediate surrounding has been significantly altered. Given the Application Site is also located at the fringe of the larger “AGR” zone, the Proposed FWPS is unlikely to result in significant impact to the remaining “AGR” zone.

- 5.3.4 In this regard, it is unlikely that the Proposed FWPS will result in significant changes or impacts to the current land use context of the Area. The Proposed FWPS is also an essential infrastructure with overriding needs to serve substantial population in the northern New Territories.

5.4 Land Use Compatibility

- 5.4.1 The Application Site is located within a rural setting and adjacent to various transport infrastructure (e.g. Fanling Highway, Fanling Bypass and New Territories Cycle Track Network). The Proposed FWPS being a low-rise public utility infrastructure is considered not incompatible with the immediate surrounding. The architectural design will also incorporate sensitive façade treatment and suitable landscaping to enable the building structure blending in with the surrounding and not being out-of-context. The local realignment of the cycle track will also cause minimal impact during the construction stage only.

5.5 No Adverse Landscape and Visual Impact

- 5.5.1 Based on the tree survey conducted, a total of eight (8) nos. of trees are identified within the Site, including one (1) *Leucaena leucocephala* which is an invasive and undesirable species (**Appendix 2** refers). All trees are common species and no Champion Trees or Old and Valuable Trees ("OVT") were found. In order to enable the Proposed FWPS, a total of eight (8) nos. of tree is proposed to be felled. The Applicant proposes to compensate seven (7) trees on-site which fulfils the 1:1 compensatory ratio requirement after excluding the *Leucaena leucocephala* as stipulated in Development Bureau Technical Circular (Work) No. 4/2020. In addition, two (2) compensatory trees arising from mainlaying works outside the Application Site is also proposed to be planted within the Site, totalling nine (9) new tree planting within the Site. At least 20% greenery coverage will be provided to mitigate potential landscape impact and to achieve overall negligible landscape impact per Development Bureau Technical Circular (Work) No. 3/2012.
- 5.5.2 Furthermore, the Proposed Greenery will serve as a visual screening to minimize the visibility of the man-made structure from the pedestrian perspective. Given the building structures are only one-storey in height, the Proposed FWPS is not incompatible with the surrounding rural setting and unlikely to result in any adverse visual impact.

5.6 No Adverse Drainage Impact

- 5.6.1 A Drainage Impact Assessment ("DIA") has been prepared for the Proposed FWPS (**Appendix 3** refers). With the proposed drainage pipes, the stormwater system has sufficient capacity to cater for the stormwater runoff from the Application Site and no potential drainage impact is anticipated. Relevant detailed design drawings will be submitted to Drainage Services Department ("DSD") during the detailed design stage.

5.7 No Adverse Traffic Impact

- 5.7.1 The Proposed FWPS would normally be unmanned and the traffic generated would be mainly for maintenance purpose. Based on the past experience, the trip generation generated by the maintenance vehicles for FWPS with similar scale and nature would be no more than 5 vehicle/week during operation stage. Since the traffic volume generated by the Proposed FWPS would be minimal, the traffic impact is anticipated to be negligible. The Traffic Impact Assessment ("TIA") under the Agreement No. CE 47/2023 (WS) - Updated Layout of Proposed Tong Hang Fresh Water Pumping Station also demonstrates that the Proposed FWPS would not induce significant adverse traffic impact on the surrounding areas.

6 CONCLUSION

6.1 This S16 Application seeks planning permission from the BOARD for the Proposed FWPS in Government Land at Tong Hang, Fanling. This SPS demonstrates that this S16 Planning Application deserves favourable consideration by the BOARD in light of the justifications that are summarised below:

- The Proposed FWPS is an essential infrastructure to support the substantial increase in fresh water demand arising from proposed developments in North District;
- Identification of a suitable site for the Proposed FWPS is heavily influenced by the water supply network and location of the fresh water service reservoirs. The Application Site is the most suitable location for the Proposed FWPS after a comprehensive consideration of operation requirements, site availability, potential interface issue and the recommendations by HKPSG;
- The Proposed FWPS will not result in adverse land use impact to the surrounding context;
- The Proposed FWPS as a low-rise public utility infrastructure is considered not incompatible with the surrounding rural setting; and
- The Proposed FWPS will not cause any undesirable landscape, visual, drainage or traffic impact.

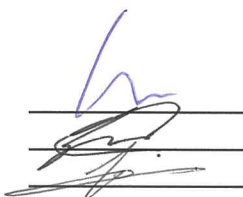
6.2 In light of the justifications presented in this SPS, Members of the BOARD are sincerely requested to give favourable consideration to this Planning Application.

Edited &

Approved by: Vincent Lau

Prepared by: Eric Chan

Kelvin Chung



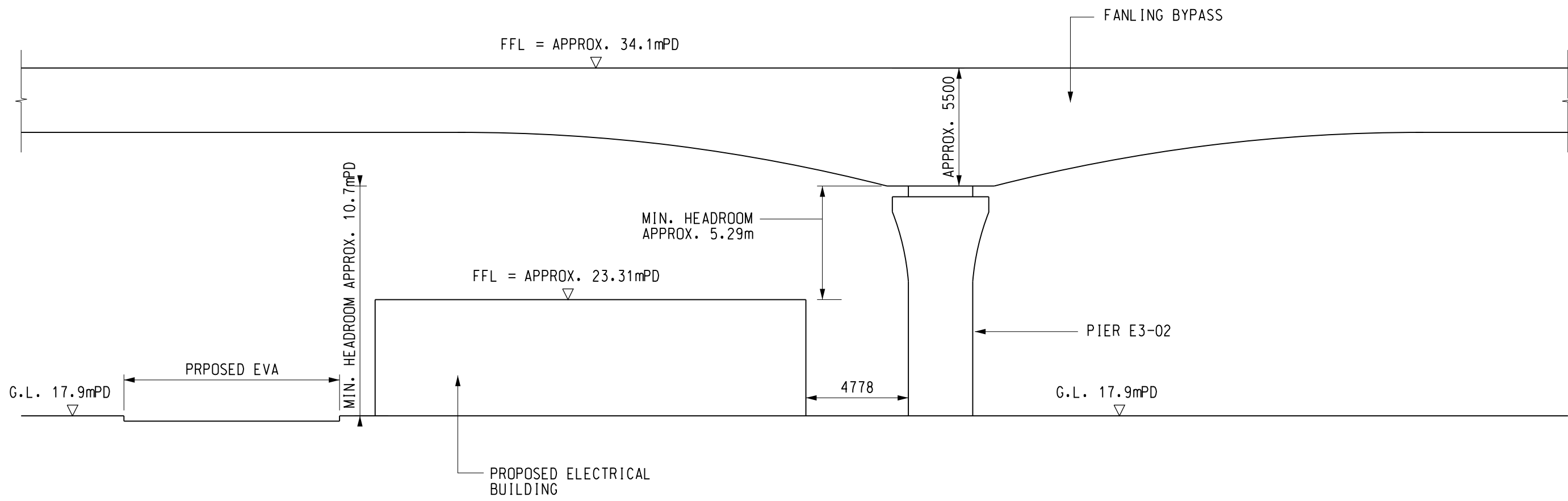
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Appendix 1

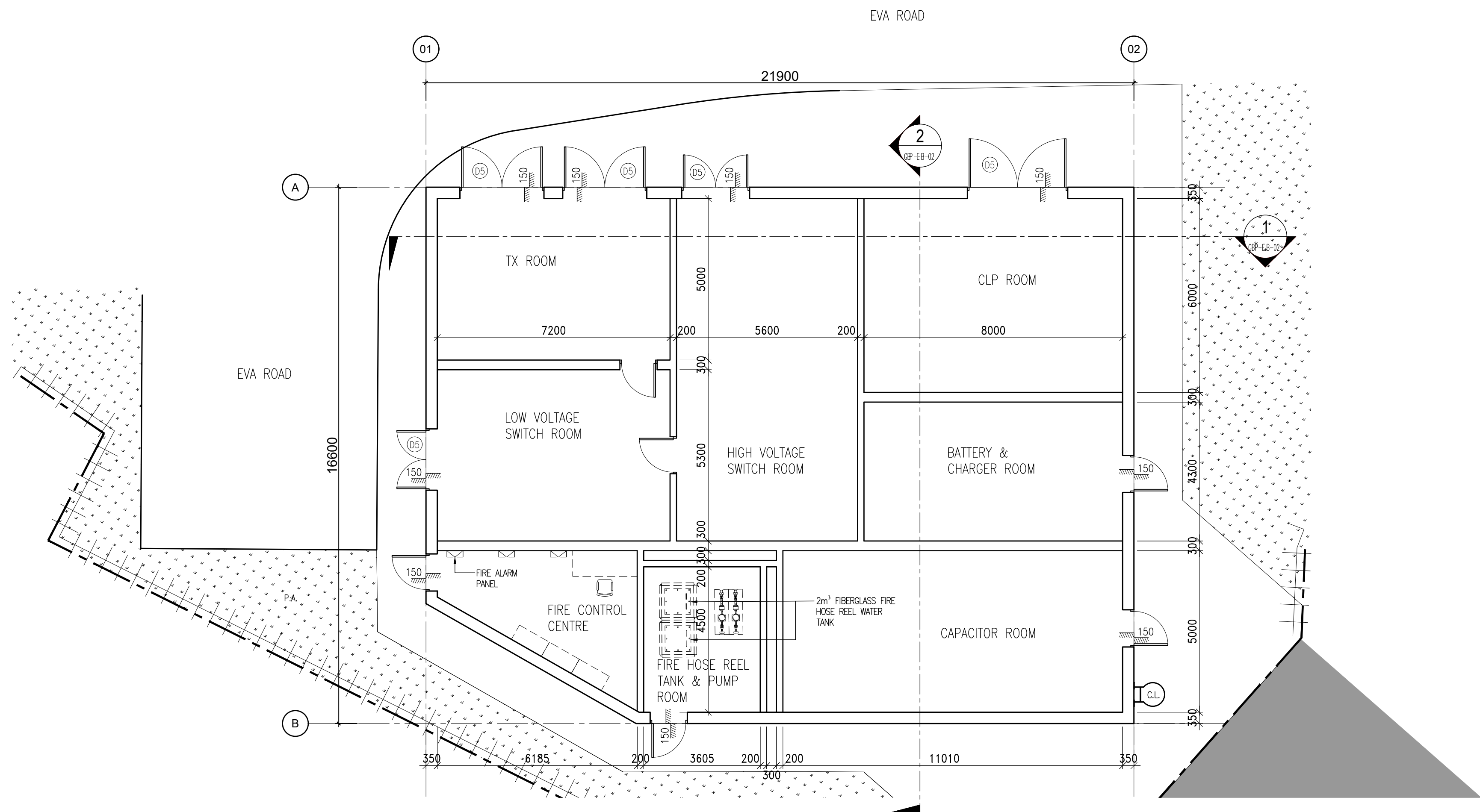
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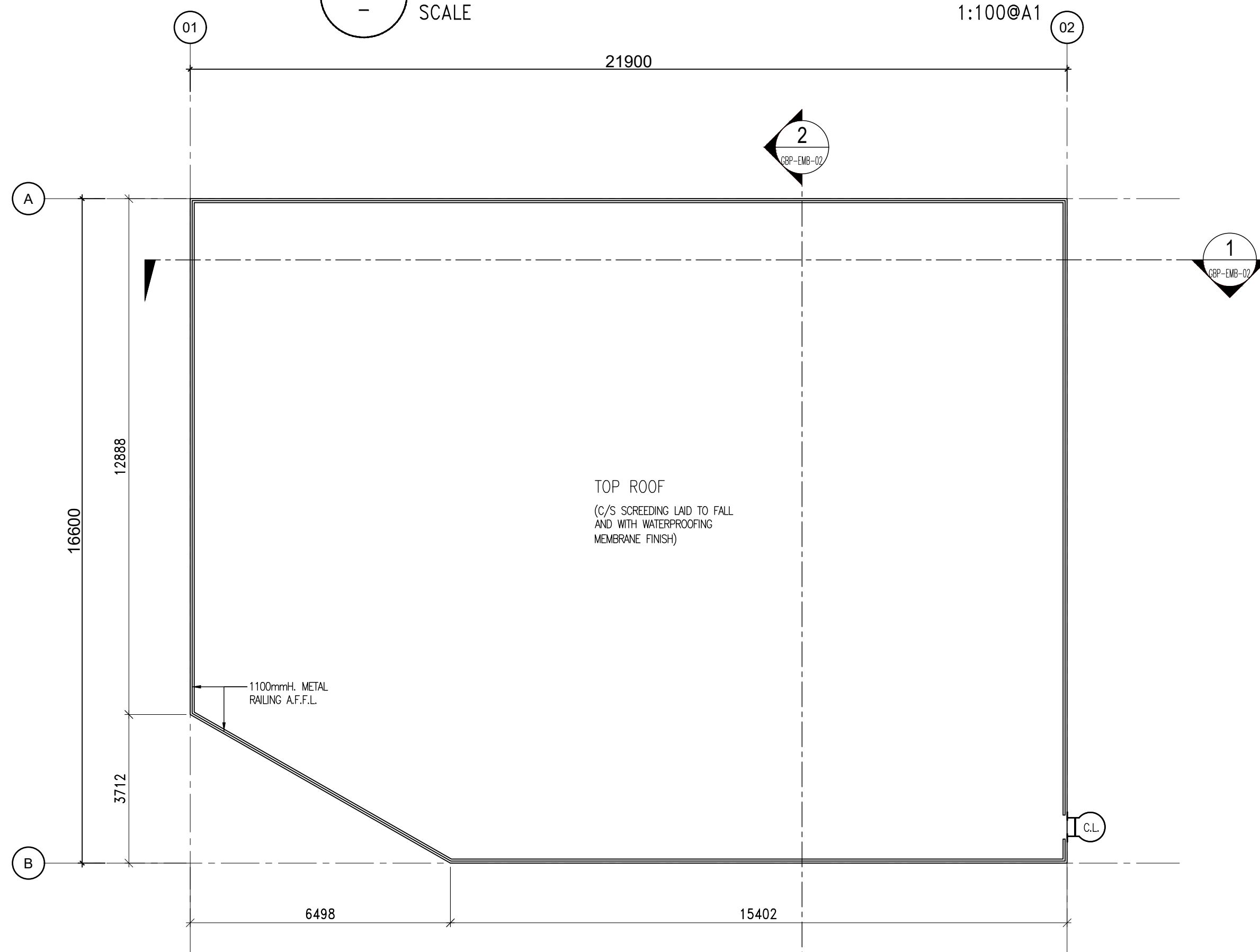


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Consultant			 asia infrastructure solutions		
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Drawn	CL	Approved	TKT		
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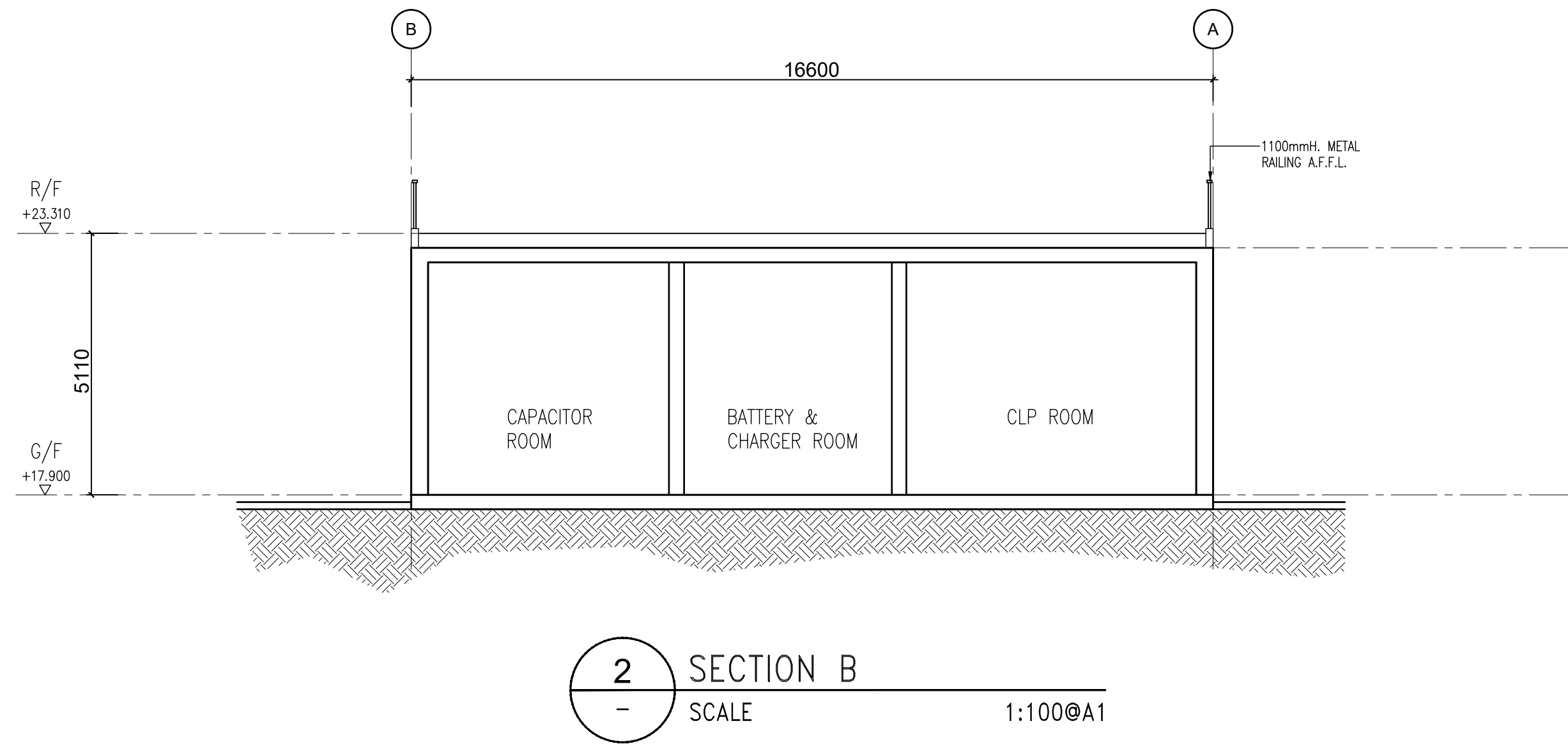
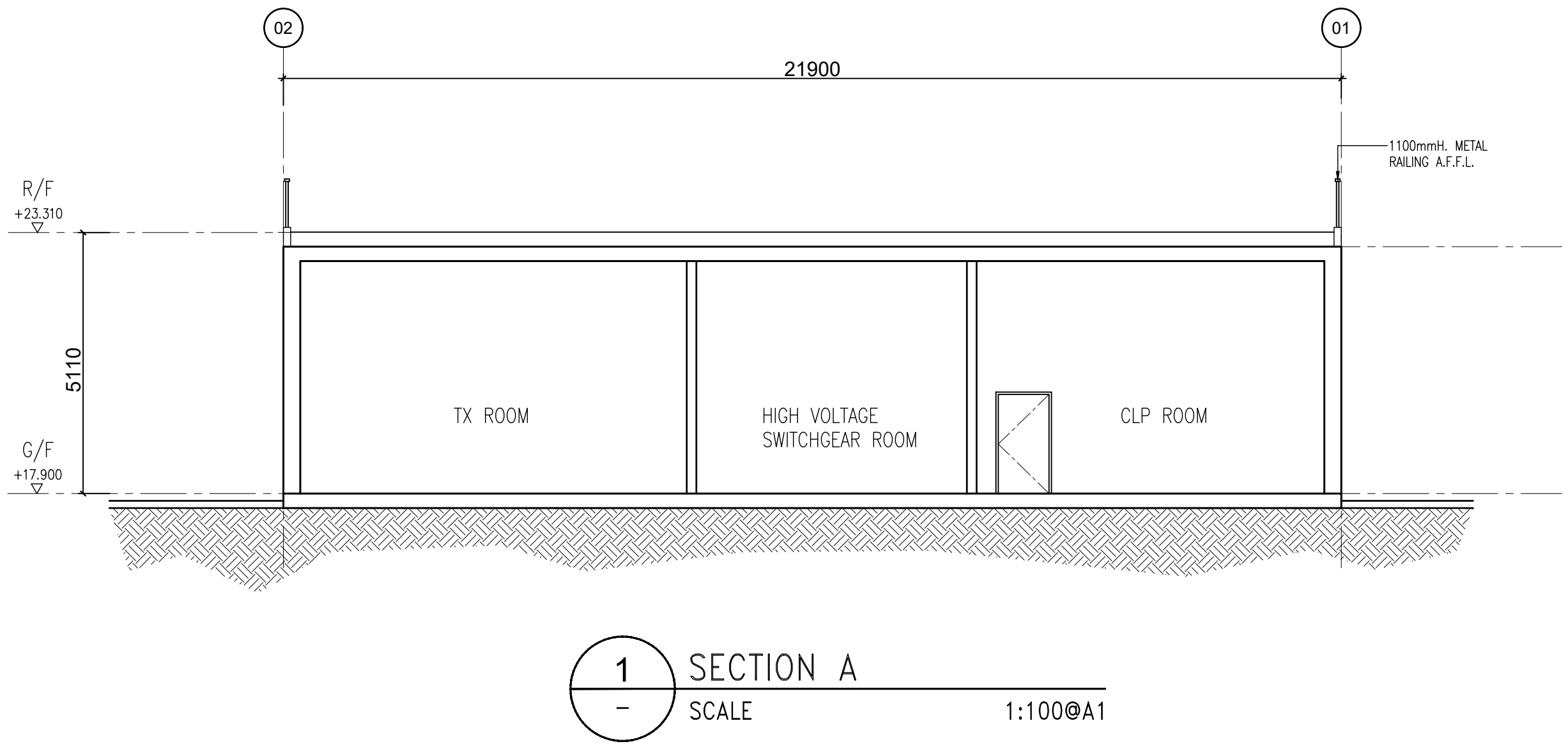
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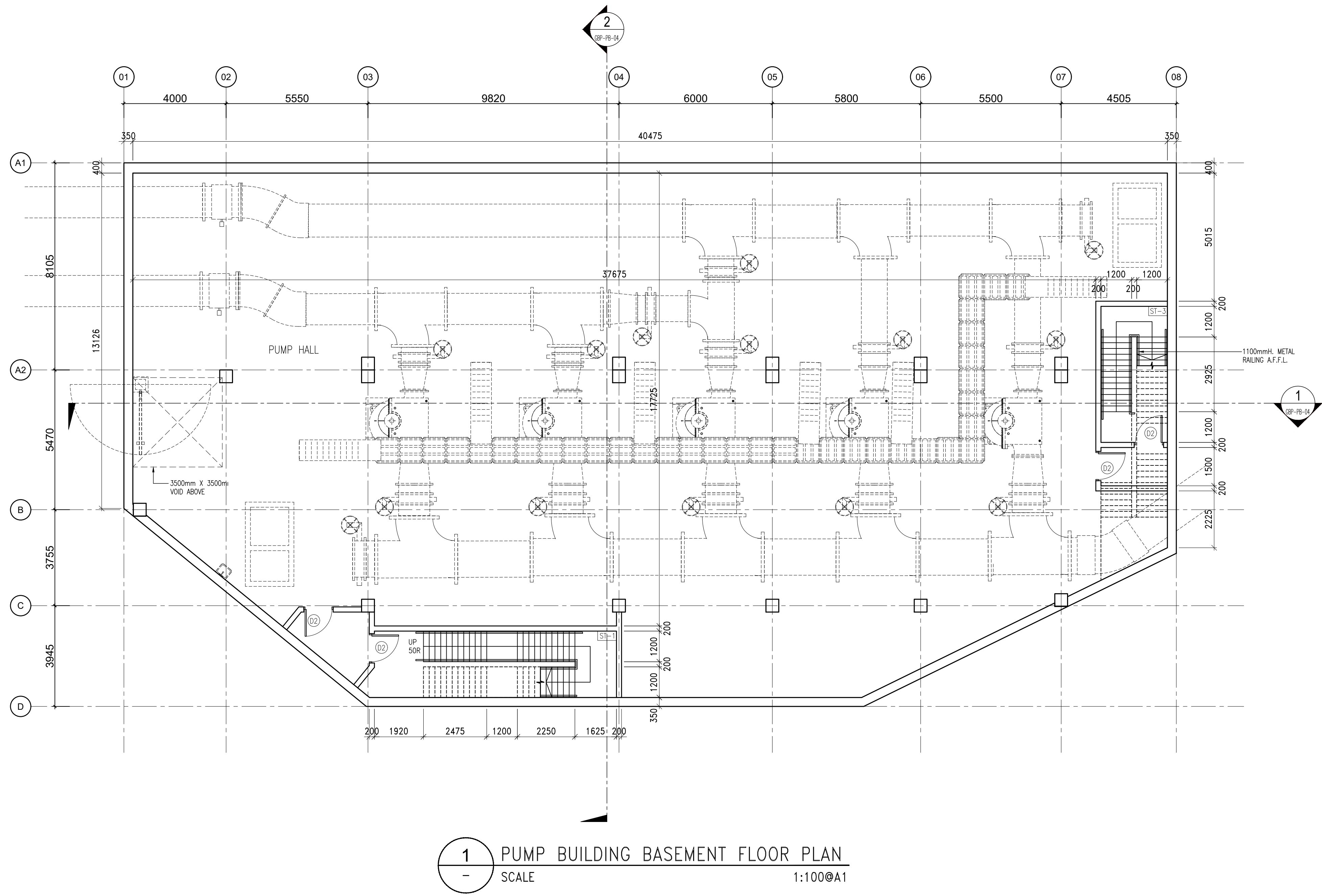
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ELECTRICAL BUILDING – PLANS					
Consultant					
<div><p>asia infrastructure solutions</p></div>					
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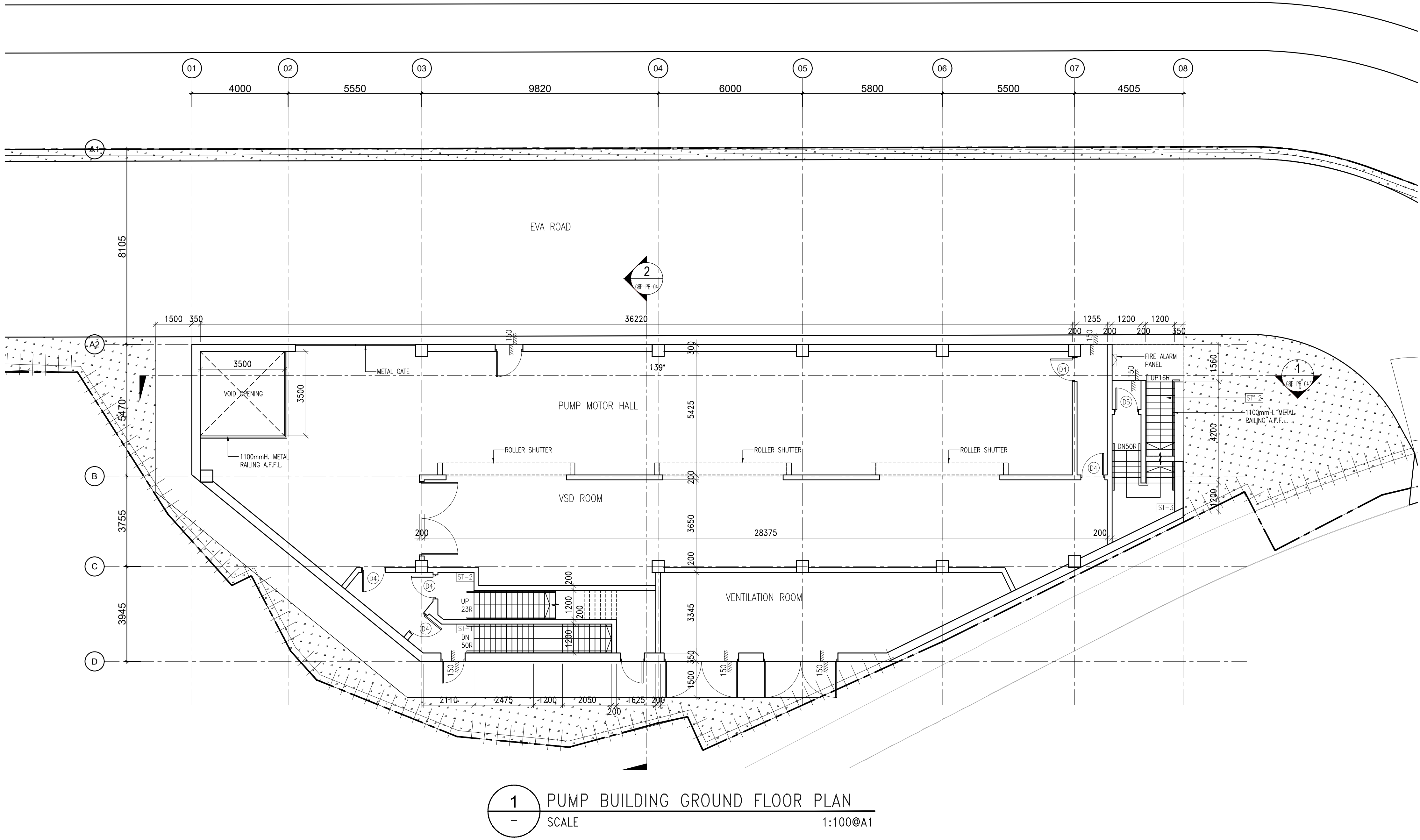




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Title											
ELECTRICAL BUILDING — SECTIONS											
Consultant											
<div><p>asia infrastructure solutions</p></div>											
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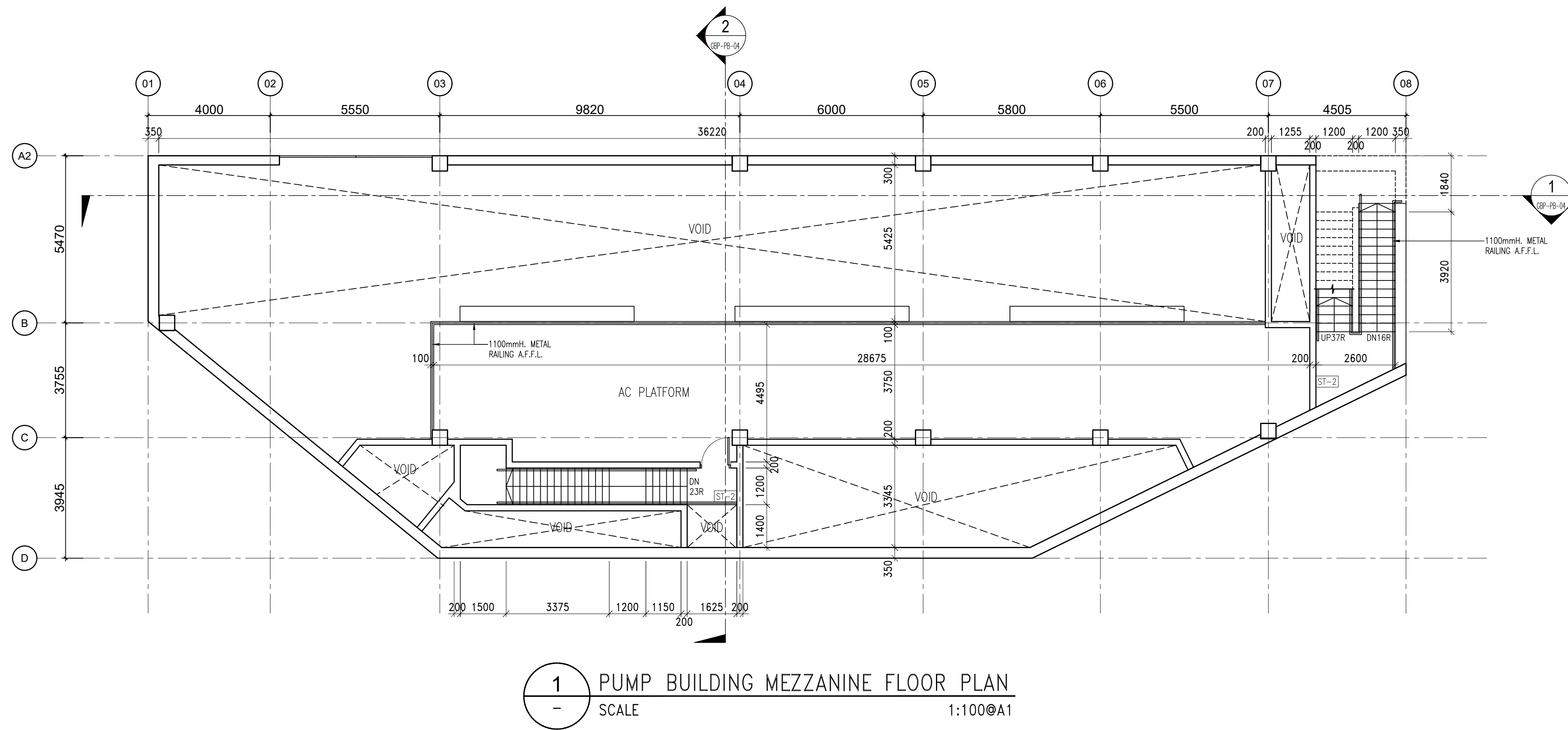


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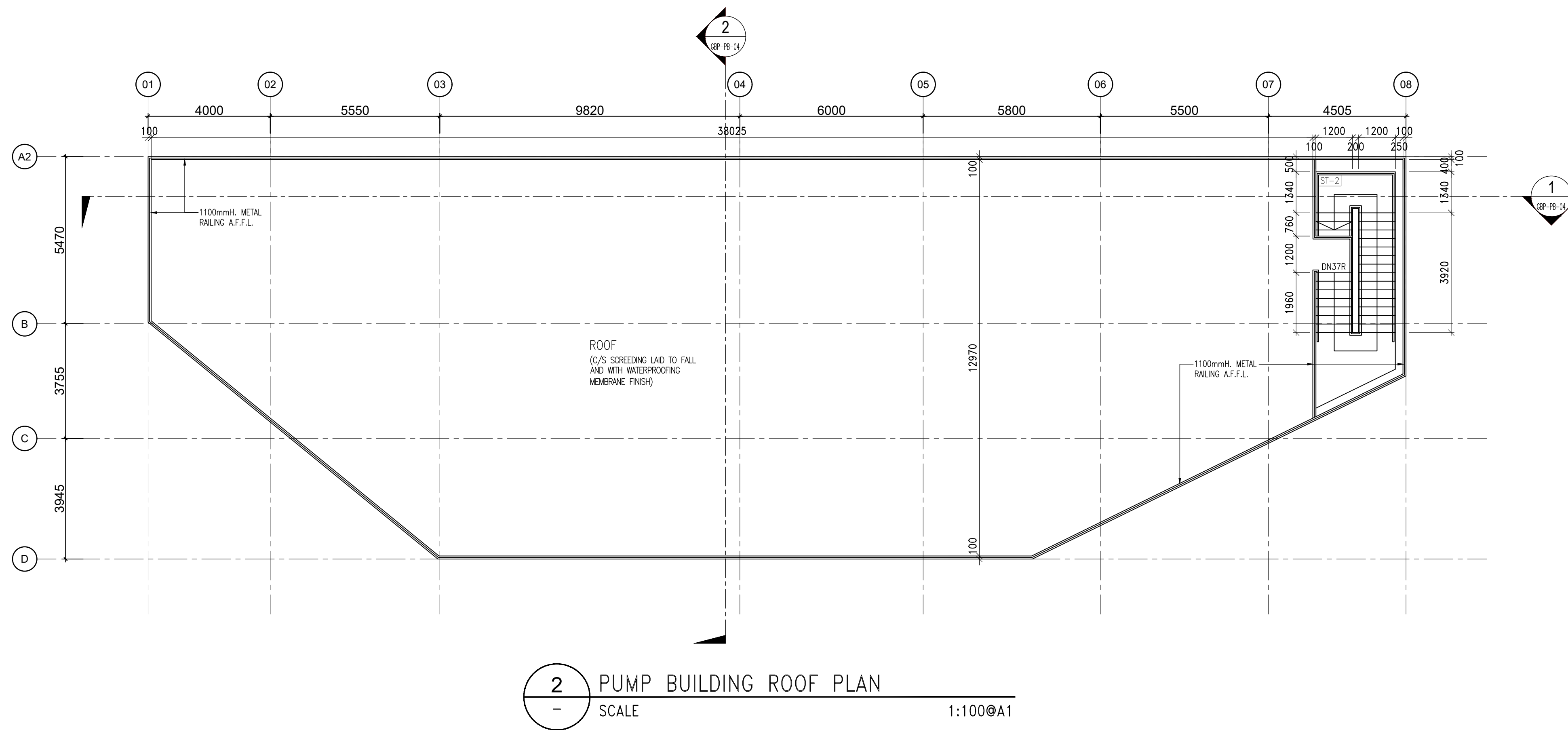
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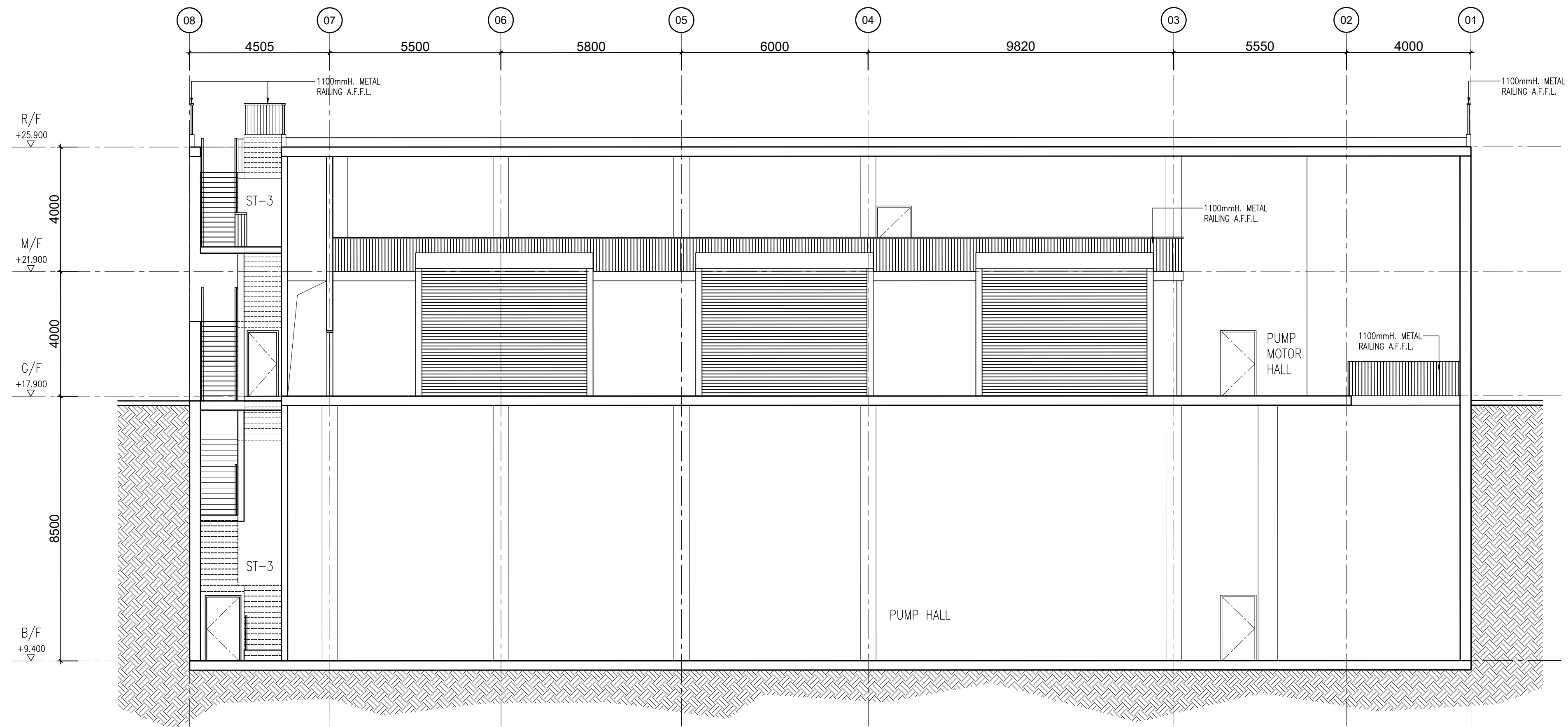


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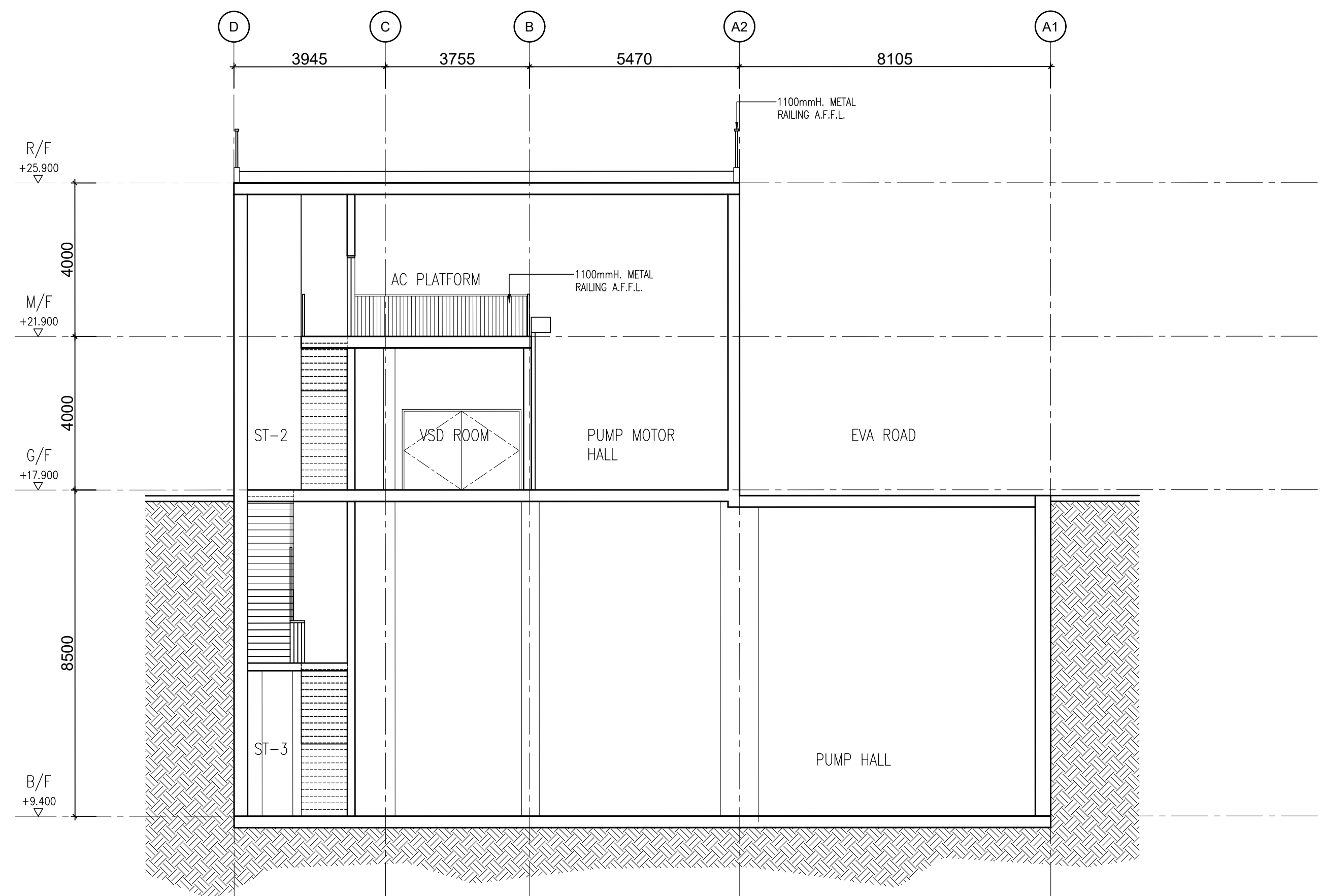


2 PUMP BUILDING ROOF PLAN
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Project					
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2 SECTION B
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Appendix 2

TREE PRESERVATION AND LANDSCAPE
PROPOSAL

FINAL TREE PRESERVATION AND LANDSCAPE PROPOSAL FOR PROPOSED TONG HANG FRESH WATER PUMPING STATION (ISSUE 1)

Dec 2024

Agreement No. CE 47/2023 (WS)

**Improvement of Water Supply to Northern New Territories
– Investigation, Design and Construction**

WATER SUPPLIES DEPARTMENT

REVISION HISTORY

Issue	Description of Revision	Date
1	Draft (Issue 1)	22 November 2024
2	Final (Issue 2)	23 December 2024

Author Candace LAM

Reviewer Jack CHANG

Approver T.K. TING

Date 23 December 2024




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KEB002406-T-GN-LA-01	COVER AND DRAWING LIST
KEB002406-T-GN-LA-02	GENERAL NOTES
KEB002406-T-GN-LA-03	SYMBOLS AND ABBREVIATIONS
KEB002406-T-GN-LA-04	MASTER LANDSCAPE PLAN
KEB002406-T-GN-LA-05	GENERAL ARRANGEMENT PLAN
KEB002406-T-GN-LA-06	SITE COVERAGE OF GREENERY
KEB002406-T-GN-LA-07	MATERIAL PLAN
KEB002406-T-GN-LA-08	PLANTING PLAN - TREE
KEB002406-T-GN-LA-09	PLANTING PLAN - SHRUBS AND GROUND COVER

APPENDICES

Appendix A – Tree Survey

1 INTRODUCTION

1.1 Background

- 1.1.1 This Tree Preservation and Landscape Proposal (TLP) Report is prepared in support of a Section 16 (S16) Planning Application for the Proposed Fresh Water Pumping Station (FWPS) in Government Land at Tai Wo Service Road East, Tong Hang, Fanling. This report describes the landscape design as well as tree preservation strategies of the proposed FWPS.
- 1.1.2 The Proposed FWPS comprises of two (2) separate one-storey (excluding basement) buildings, namely a Pump Building in the east and an E&M Building in the west. The Proposed FWPS will serve as a booster pumping station to take treated water from the Tai Po Tau Fresh Water Primary Service Reservoir ("FWPSR") to other Fresh Water Service Reservoirs (FWSRs).
- 1.1.3 This landscape proposal presents:
- (a) The existing tree vegetation;
 - (b) The Landscape Master Plan;
 - (c) Planting Proposal; and
 - (d) Tree Preservation Proposal

2 THE SITE AND ITS CONTEXT

- 2.1.1 The Site, with a site area of about 2,977.393m², is located within Government Land at Tong Hang, Fanling. The western part of the Site is currently occupied by Civil Engineering and Development Department ("CEDD") for the construction of Fanling Bypass (Eastern Section). Upon completion, the Fanling Bypass will be crossing above the western part of the Site. The eastern part of the Site is currently vacant and fenced off. A portion of the Site encroached into the adjacent public cycle track to the north.

3 EXISTING VEGETATION

- 3.1.1 A tree survey was carried out on 26 October, 2024 in accordance with DEVB TC(W) No. 4/2020. A total of 8 trees (2 nos. of individual trees, and 6 nos. of trees in 1 tree group) were recorded within the Application Site Boundary. The tree survey schedule, tree survey plan and photographic record of existing trees are shown in **Appendix A** and are outlined below:

Table 1.1 Species Composition of Existing Trees (Individual Trees)

Scientific Name	Chinese Name	Quantity	Tree No.
<i>Roystonea regia</i>	大王椰子	1	T-0756
<i>Sterculia lanceolata</i>	假蘋婆	1	T-0759
Total:		2	

Table 1.2 Species Composition of Existing Trees (Tree Group)

Scientific Name	Chinese Name	Quantity	Tree No.
<i>Leucaena leucocephala</i>	銀合歡	1	TG4
<i>Syzygium jambos</i>	蒲桃	4	TG4
<i>Clausena lansium</i>	黃皮	1	TG4
Total:		6	

- 3.1.2 The Site is dominated by *Syzygium jambos* (4 nos.), which is a common species beside villages in Hong Kong.
- 3.1.3 The health condition of the bulk of these trees is generally in Average condition (**100%**).
- 3.1.4 No OVTs, TPIs or protected species has been identified in accordance with the DEVB TCW No. 5/2020 - Registration and Preservation of Old and Valuable Tree and the Forests and Countryside Ordinance respectively.

Impact of the Proposed FWPS

- 3.1.5 Impact of the Proposed FWPS is generally caused by the site formation works, construction of the building, removal of existing vegetation for the build element and the related construction activities, excavation works for E&M reserves and structural footings.

Retention of Trees

- 3.1.6 The proposed building will be situated at **+17.9mPD**. All **8** surveyed existing trees within the Site, will be affected by the proposed works and **none** of them will be retained.

Felling and Transplantation of Trees

- 3.1.7 For trees that will be in conflict with the proposed works shall be proposed to be transplanted if they fulfil all the criteria below:
- (a) Trees with high amenity value;
 - (b) Trees with good form and health;
 - (c) Suitable access;
 - (d) Tree species able to be transplanted easily;
 - (e) Trees have suitable size and;
 - (f) Trees are young to semi-mature.
- 3.1.8 In this project, 8 of existing trees, including **1** invasive species within the Application Site Boundary are in direct conflict with the proposed works and cannot be retained in situ. None of the disturbed trees fulfil the above criteria and none of them are recommended for transplantation.



- 3.1.9 2 nos. of the affected individual trees, i.e. T-0756 - *Roystonea regia*, T-0759 - *Sterculia lanceolata*, and 6 nos. of the affected trees in tree group, i.e. 4 nos. of *Syzygium jambos*, and 1 no. of *Clausena lansium*, are found located at restricted growing conditions, and have technical difficulty in forming a rootball of appropriate shape and size for successful transplanting because the tree is rooted on slope or in close proximity to a slope and/or other tree/structure. Therefore, they are proposed to be removed.
- 3.1.10 1 no. of the affected tree in TG4 is found to be an invasive species, i.e. *Leucaena leucocephala*. Since it is an undesirable species, it is also proposed to be removed, in accordance with DEVB TC(W) No. 4/2020.

4 LANDSCAPE PROPOSALS (REFER TO APPENDIX B)

4.1 Landscape Proposals

- 4.1.1 The aim of the landscape proposals is to respond to site conditions and building forms, and to provide a quality landscape scheme, The main factors to be taken into consideration are:
- (a) Response to the site context, both in terms of landscape character and visual amenity;
 - (b) Response to the proposed building and its architectural style;
 - (c) Creation of a green setting by maximising the opportunity for soft landscape;
 - (d) Establishment of pleasant landscape areas; and
 - (e) Minimization of future maintenance requirements.
- 4.1.2 Landscape drawings showing the proposed landscape treatment for the Proposed Works Area, and their underlying principles have been attached for ease of reference.
- 4.1.3 The landscape design should consider the following relevant guidelines/ legislation:
- (a) Hong Kong Planning Standards and Guidelines;
 - (b) DEVB TC(W) No. 4/2020;
 - (c) PlanD's PNPP No. 1/2019 – Processing and Compliance Checking of Landscape Submissions related to Planning Applications; and
 - (d) Guidance Notes for Application for Permission under Section 16 of the Town Planning Ordinance (Cap. 131).

4.2 Landscape Design Concept

- 4.2.1 The Proposed FWPS are in proximity to a few major highways and roads, i.e. Fanling Highway, Fanling Bypass (under construction), and Tai Wo Service Road East. The design objective is to minimize the potential impacts towards the surrounding environment, and at the same time, maximizing the greenery opportunity to provide quality visual relief to passersby.

4.2.2

At-grade planting



- 4.2.3 At-grade planting is proposed surrounding the proposed building at **+17.9mPD**. The proposed planting aims to minimize the visual impact of the Proposed building structures to the surrounding environment. Passersby can enjoy the open ambience when walking by the structure, The enhanced paving and selection of plant combination enrich the colour complexity and visual gradation of the Site.

Planting Design

- 4.2.4 A majority of proposed plantings will be planted along the periphery of the Site. This will create a tranquil and harmonic environment for enjoyment of passersby. The use of tree planting in standard size and in good quality would be encouraged to provide a more instant effect. The selected species, *Garcinia subelliptica*, which is an evergreen species, would be able to provide an all-year-round greening and visual enhancement effect. Similarly, all shrubs and groundcover species are evergreen, also achieving the greening and visual enhancement effect all-year-round. For example, *Fagraea ceilanica*, *Monstera deliciosa* and *Lantana montevidensis*. Same criteria have been applied to the selection of climbers. The selected species is *Lonicera japonica*.

Hardscape

- 4.2.5 The selected hardscape materials are in earth tone to keep the structure and proposed works as harmonious as possible with the surrounding environment. Concrete pavers are in a pattern with a mix of different shades of beige (50% Light Beige, 25% Beige and 25% Dark Beige), such approach will help minimize the maintenance and replacement difficulty in the future.

4.3 Soil Depth and Drainage for Planting

- 4.3.1 The requirement of soil depth is directly related to the planting design and its associated loading requirement upon structure. In general, the 1200mm soil depth provided at planting area.
- 4.3.2 All Planting areas on slab shall be provided with sub-soil drainage system.

4.4 Irrigation

- 4.4.1 The proposed irrigation system will be by tap water pipe for manual operation. Lockable water points will be provided at 40m centres covering the entire site. The proposed source of water supply is subject to final approval from the Water Services Department.

4.5 Future Maintenance

Hard Landscape Elements

- 4.5.1 Maintenance for hard landscape elements shall be carried out by the future management office of the Proposed Development with maintenance intention as follows:
- (a) Routine Maintenance (Daily – Weekly)
- Sweeping and litter removal
 - Damage inspection

(b) Annual/Long Term Maintenance

- Resurfacing of worn pavements

Soft Landscape Element

- 4.5.2 The softworks contractor will be responsible for maintenance of the planting during the establishment period allowed for in the construction contract, usually for the first year after the beginning of the schemes operational phase. This will ensure that the soft landscape measures are in a healthy condition prior to the finished scheme being handed back to the lot owner.
- 4.5.3 Ultimately the future management office will employ skilled maintenance staff to take care of all landscape areas within the Site.

5 PLANTING PROPOSALS

- 5.1.1 In order to provide quality landscape for the Proposed Comprehensive Development, soft landscape works will be the major landscape element of the landscaping proposal and satisfy the following criteria:
- (a) To compensate the loss of affected trees;
 - (b) To screen the proposed building and reduce the visual impact to the nearby residents/visitors;
 - (c) To minimize future maintenance; and
 - (d) To be compatible with the surrounding environment.
- 5.1.2 Species are selected from *Pictorial Guide to Plant Resources for Skyrise Greenery in Hong Kong* issued by DEVB. Tree species selected are in small mature size and do not have aggressive root system. Soil volume has been taken into account, and soil corridor will be provided. Evergreen species with tolerance to pollutions, wind and shade are selected to provide all-year-round greening effect and to ensure the sustainable growth of plants given the Site is situated near Fanling Highway and beneath the future Fanling Bypass. The proposed planting species list is shown as follow.

Table 3.0 Proposed Plant Species

Scientific Name	Chinese Name	Native/Exotic	Size	Spacing (mm)
TREES				
<i>Garcinia Subelliptica</i>	菲島福木	Exotic	Standard	5000
SHRUBS				
<i>Fagraea ceilanica</i>	灰莉	Exotic	1000(mm)	1000
<i>Monstera deliciosa</i>	龜背竹	Exotic	800(mm)	800
<i>Philodendron selloum</i>	春羽	Exotic	800(mm)	800
GROUNDCOVERS				
<i>Hymenocallis littoralis</i>	水鬼蕉	Exotic	400(mm)	400



<i>Lantana montevidensis</i>	小葉馬纓丹	Exotic	300(mm)	300
<i>Ophiopogon japonicus</i>	麥冬	Native	300(mm)	300
CLIMBERS				
<i>Lonicera japonica</i>	金銀花	Native	Min. Height 1500(mm)	165

5.1.3 Within the Site Boundary, a total of 8 trees were recorded. None of them will be retained in-situ nor transplanted. 7 trees inside the Site will be removed due to direct conflict with the construction works and 1 tree inside the Site will be removed due to it being an undesirable species.

5.1.4 9 standard trees with average DBH approx. 60mm are proposed to be planted to compensate the loss of the 7 existing trees and 2 other existing trees that are impacted by the mainlaying works elsewhere. They will be planted at the at-grade planter surrounding the proposed building within the Site Boundary. All these new trees within the lot boundary will all be maintained by the future management office.

5.1.5 Upon the above, the compensation ratio for the affected trees within the Application Site in terms of quantity and quality is shown as follow:

Quantity of loss trees: 8 nos.

Quantity of loss trees discounting undesirable species: 7 nos.

Accumulated DBH loss of trees discounting undesirable species: 1597 mm

Quantity of compensatory trees: 7 nos.

Accumulated DBH of compensatory trees: 420 mm

Quantity compensation ratio: 1:1

Quality (DBH) compensation ratio: 1:0.26

Drawings

PROPOSED TONG HANG FRESH WATER
PUMPING STATION LAYOUT PLAN

LANDSCAPE PACKAGE

Drawing number	Drawing title	Scale A1	Scale A3
KEB002406-T-GN-LA-01	COVER AND DRAWING LIST	NTS	NTS
KEB002406-T-GN-LA-02	GENERAL NOTES	NTS	NTS
KEB002406-T-GN-LA-03	SYMBOLS AND ABBREVIATIONS	NTS	NTS
KEB002406-T-GN-LA-04	MASTER LANDSCAPE PLAN	1:250	1:500
KEB002406-T-GN-LA-05	GENERAL ARRANGEMENT PLAN	1:250	1:500
KEB002406-T-GN-LA-06	SITE COVERAGE OF GREENERY	1:250	1:500
KEB002406-T-GN-LA-07	MATERIAL PLAN	AS SHOWN	AS SHOWN
KEB002406-T-GN-LA-08	PLANTING PLAN - TREE	1:250	1:500
KEB002406-T-GN-LA-09	PLANTING PLAN - SHRUBS AND GROUNDCOVER	1:250	1:500

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Employer					
 水務署 Water Supplies Department					
Project					
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES — INVESTIGATION, DESIGN AND CONSTRUCTION					
Title					
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN COVER AND DRAWING LIST					
Consultant					
					
Designed		JC	Checked	MK	
Drawn		CL	Approved	TKT	
Scale		A1	Status		Rev
NTS			TENDER DRAWING		—
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GENERAL NOTES:

EXTENT

- 1.01 THESE GENERAL NOTES APPLY TO ALL DWGS LISTED IN DWG NOS. KEB002406-TD-GN-LA-01
- 1.02 THE MEANING OF ABBREVIATIONS ARE PROVIDED ON THIS SHEET.

PURPOSE

- 2.01 THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE LANDSCAPE DESIGN INTENT FOR TENDERING.
- 2.02 THE DRAWINGS SHOW THE GENERAL REQUIREMENTS OF THE DESIGN IN TERMS OF LAYOUT, FORM, MATERIALS AND COLOUR OF THE LANDSCAPE DESIGN ELEMENTS.
- 2.03 DETAILS SHOWN ARE INDICATIVE OF THE PROFILES AND TYPICAL DETAILS AND ARE NOT INTENDED TO INDICATE COMPONENTS, ASSEMBLY OR CONSTRUCTION DETAILS.
- 2.04 MATERIAL PLANS INDICATE MATERIAL LOCATIONS BY GENERAL HATCHING. PART PLANS SHOW THE ACTUAL PAVING PATTERNS INTENDED.
- 2.05 DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE INDICATED.

RULES/GUIDELINES



- 3.01 DIMENSIONS AND LEVELS SHALL GOVERN. DO NOT SCALE DRAWINGS.
- 3.02 ALL DIMENSIONS ARE IN MM UNIT UNLESS OTHERWISE STATED.
- 3.03 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTATION AND DRAWINGS
- 3.04 IF DISCREPANCIES EXIST BETWEEN THE LANDSCAPE DRAWINGS AND DRAWINGS OF THE OTHER DISCIPLINES, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROJECT MANAGER/ LANDSCAPE ARCHITECTS / CONTRACT ADMINISTRATOR(S).
- 3.05 LANDSCAPE INSTALLATIONS ARE DIMENSIONED TO THE FINISHED FACE UNO.
- 3.06 PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
- 3.07 ALL RC STRUCTURE SHALL BE PROVIDED WITH JOINTS AND CONNECTIONS TO ACCOMMODATE NATURALLY OCCURRING STRUCTURAL OR DIFFERENTIAL MOVEMENTS.
- 3.08 ALL JOINTS AND CONNECTIONS BETWEEN DISSIMILAR METALS TO BE ISOLATED TO AVOID BI-METALLIC CORROSION.
- 3.09 ALL MILD STEEL SHALL BE HOT-DIPPED GALVANIZED TO BS EN ISO 1461.
- 3.10 SS TO BE GRADE 1.4401 TO BS EN 10088 (PREVIOUSLY KNOWN AS "GRADE 316"), UNO.
- 3.11 ALL CONCEALED FIXINGS AND ANCHORS TO BE CONSTRUCTED FROM SS GRADE 1.4401 TO BS EN 10088 (PREVIOUSLY KNOWN AS "GRADE 316") OR OTHER APPROVED NON-CORROSIVE MATERIALS.
- 3.12 MATERIALS OR SUBSTANCES USED TO COMPLETE THIS CONTRACT THAT HAVE POTENTIAL NEGATIVE IMPACT TO THE ENVIRONMENT SHALL BE SUBSTITUTED AS ADVISED BY THE CONTRACTOR IN LIAISON WITH THE LANDSCAPE ARCHITECTS / CONTRACT ADMINISTRATOR(S). THE CONTRACTOR SHALL BE PRO-ACTIVE IN IDENTIFYING SUCH SUBSTANCES AND PROVIDE FEASIBLE ALTERNATIVES.
- 3.13 THE USE OF HAZARDOUS MATERIALS ARE TO BE AVOIDED. SUCH SUBSTANCES SHALL BE DISPOSED IN A CONTROLLED MANNER IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL AND/OR REGIONAL WATER & ENVIRONMENTAL MANAGEMENT AUTHORITIES.
- 3.14 SAMPLES OF ALL MATERIALS SHALL BE SUMMITTED TO THE PROJECT MANAGER/ LANDSCAPE ARCHITECTS / CONTRACT ADMINISTRATOR(S) FOR REVIEW.
- 3.15 REQUIRED MOCK-UPS SHALL BE IN FULL SIZE, ERECTED IN AGREED LOCATIONS AND SHALL BE SUMMITTED TO THE LANDSCAPE ARCHITECTS / CONTRACT ARCHITECTS / CONTRACT ADMINISTRATOR(S) FOR REVIEW AND APPROVAL.
- 3.16 FOR SYMBOLS AND ABBREVIATIONS, REFER TO KEB002406-TD-GN-LA-03. ALL DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH SPECIFICATION, ALL RELEVANT ARCHITECTURAL, STRUCTURAL AND SERVICE'S ENGINEER'S DWGS AND SPECIFICATIONS.
- 3.17 KERB AND EDGE DESIGN AND CONSTRUCTION OF FOOTWAY AND CYCLE WAY SHALL COMPLY WITH HIGHWAYS DEPARTMENT STANDARD DRAWINGS H1104C AND ANY RELEVANT STANDARD DRAWINGS PROVIDED BY HIGHWAYS DEPARTMENT.
- 3.18 LEVELS ARE SHOWN IN METERS ABOVE THE HONG KONG PRINCIPAL DATUM (HKPD). FOR GENERAL REFERENCE, THE MEAN SEA LEVEL IS ABOUT 1.3 METERS ABOVE THE HKPD.

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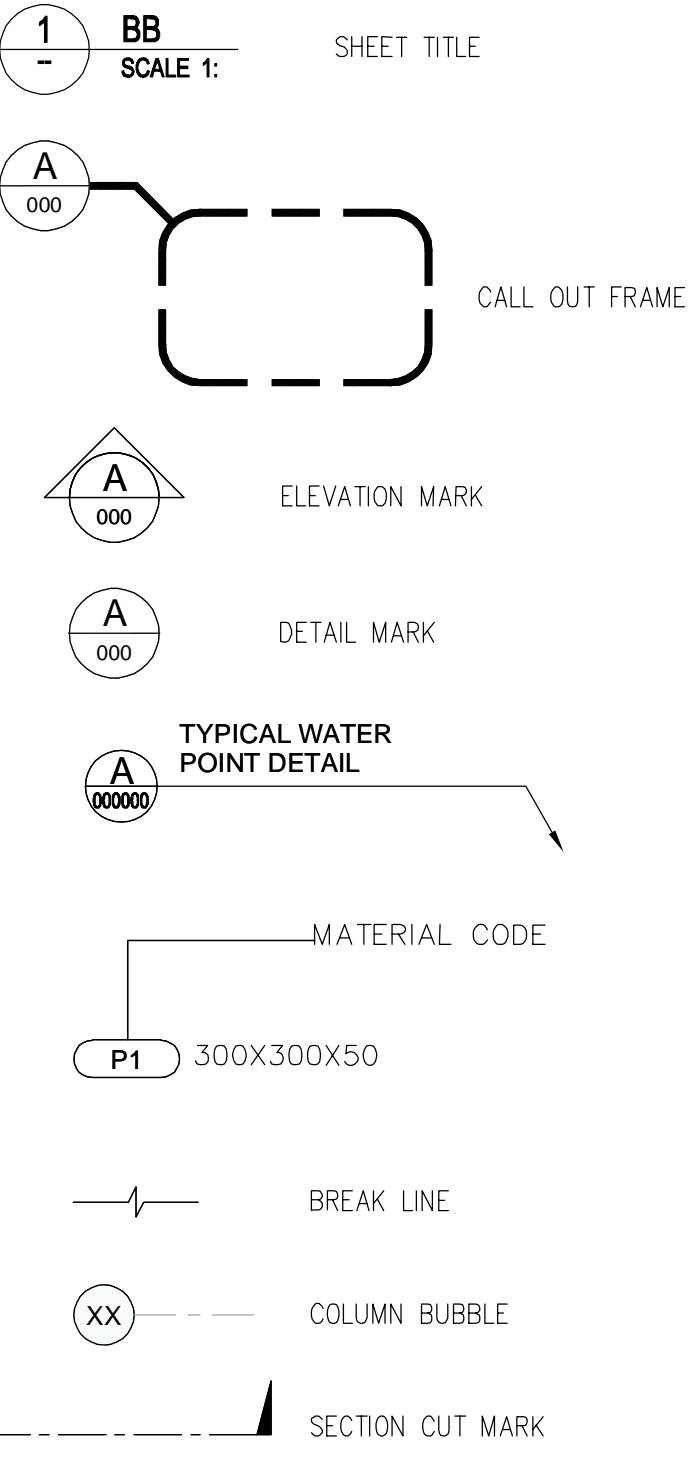
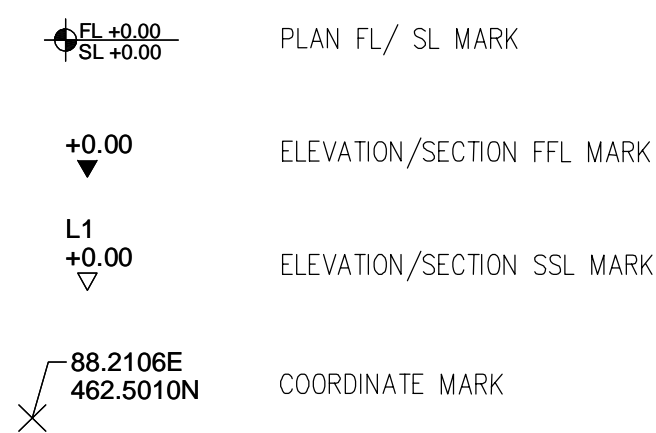
- 4.01 THE COPYRIGHT OF THE DESIGN AND INFORMATION CONTAINED WITHIN THE DRAWINGS BELONG TO ASIA INFRASTRUCTURE SOLUTIONS.

ABBREVIATIONS:

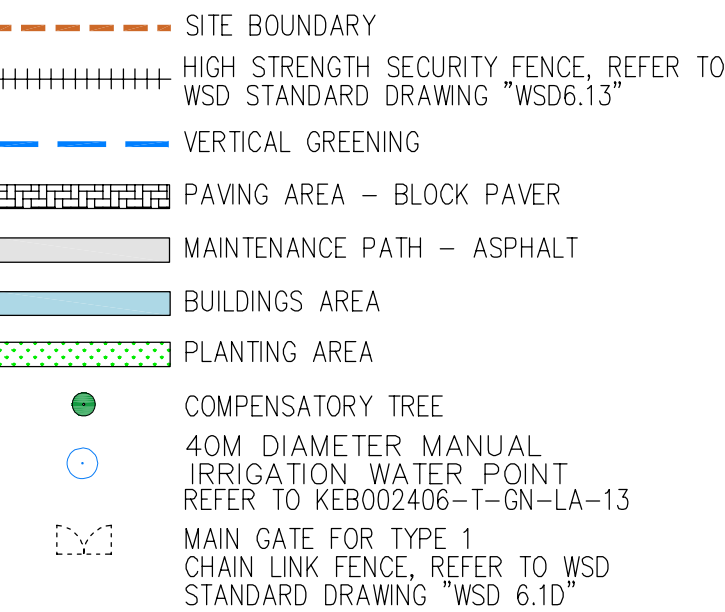
BK	- BOTTOM OF KERB	PPC	- POLYESTER POWDER COATING
C/S	- CEMENT SAND	R	- RADIUS
DIA	- DIAMETER	RC	- REINFORCED CONCRETE
EVA	- EMERGENCY VEHICLE ACCESS	REV	- REVISION
FG	- FINISH GRADE	RHS	- RECTANGULAR HOLLOW SECTION
FL	- FINISH LEVEL	RL	- ROAD LEVEL
GMS	- GALVANISED MILD STEEL	SHS	- SQUARE HOLLOW SECTION
H	- HEIGHT	SOP	- SETTING OUT POINT
L	- LENGTH	SQ	- SQUARE
M	- METER	SS	- STAINLESS STEEL
MAX	- MAXIMUM	TBC	- TO BE CONFIRMED
MIN	- MINIMUM	THK	- THICK
MM	- MILLIMETER	TK	- TOP OF KERB
PA	- PLANTING AREA	TW	- TOP OF WALL
PVC	- POLYVINYL CHLORIDE	TYP	- TYPICAL
PC	- PRE-CAST		

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Employer			<div> 水務署 Water Supplies Department</div>		
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Title					
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN					
GENERAL NOTES					
Consultant					
<div> asia infrastructure solutions</div>					
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Drawn	CL	Approved	TKT		
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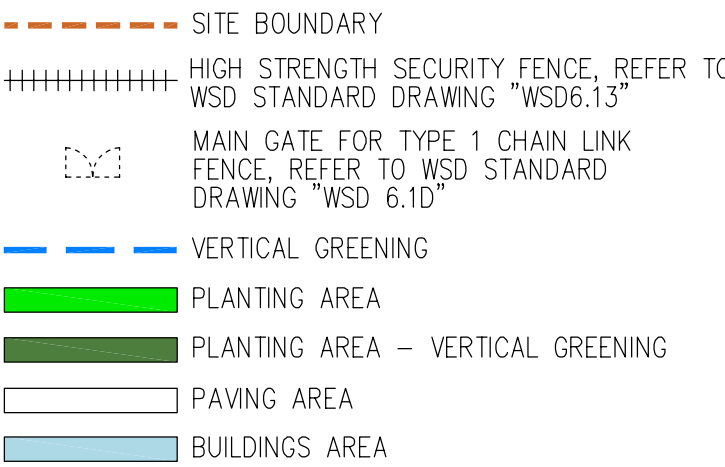
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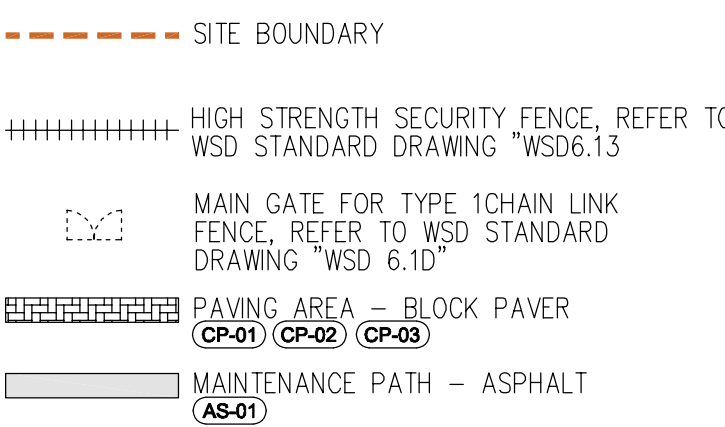
GENERAL ARRANGEMENT PLAN LEGEND



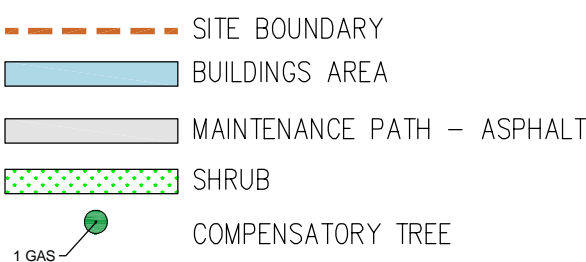
SITE COVERAGE OF GREENERY LEGEND



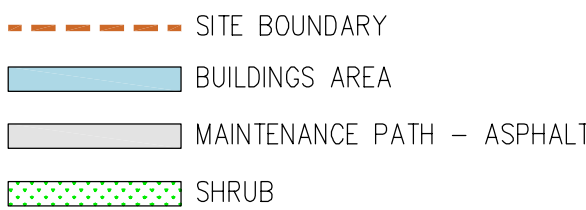
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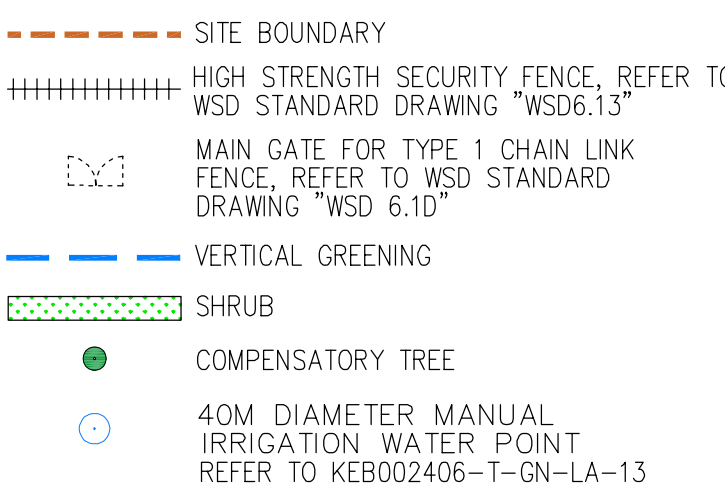
PLANTING PLAN - TREE LEGEND





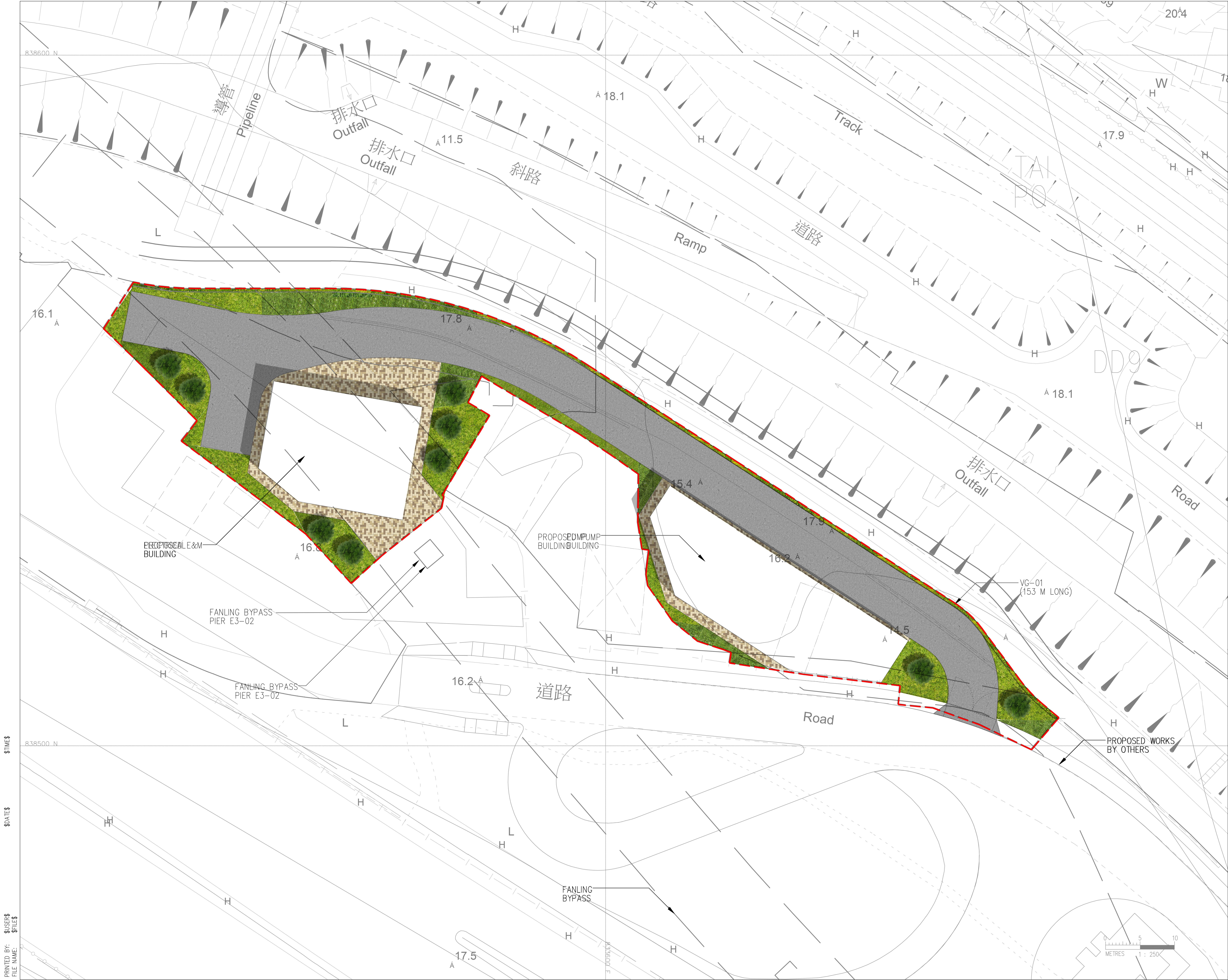
PLANTING PLAN - SHRUB LEGEND



MANUAL IRRIGATION PLAN LEGEND



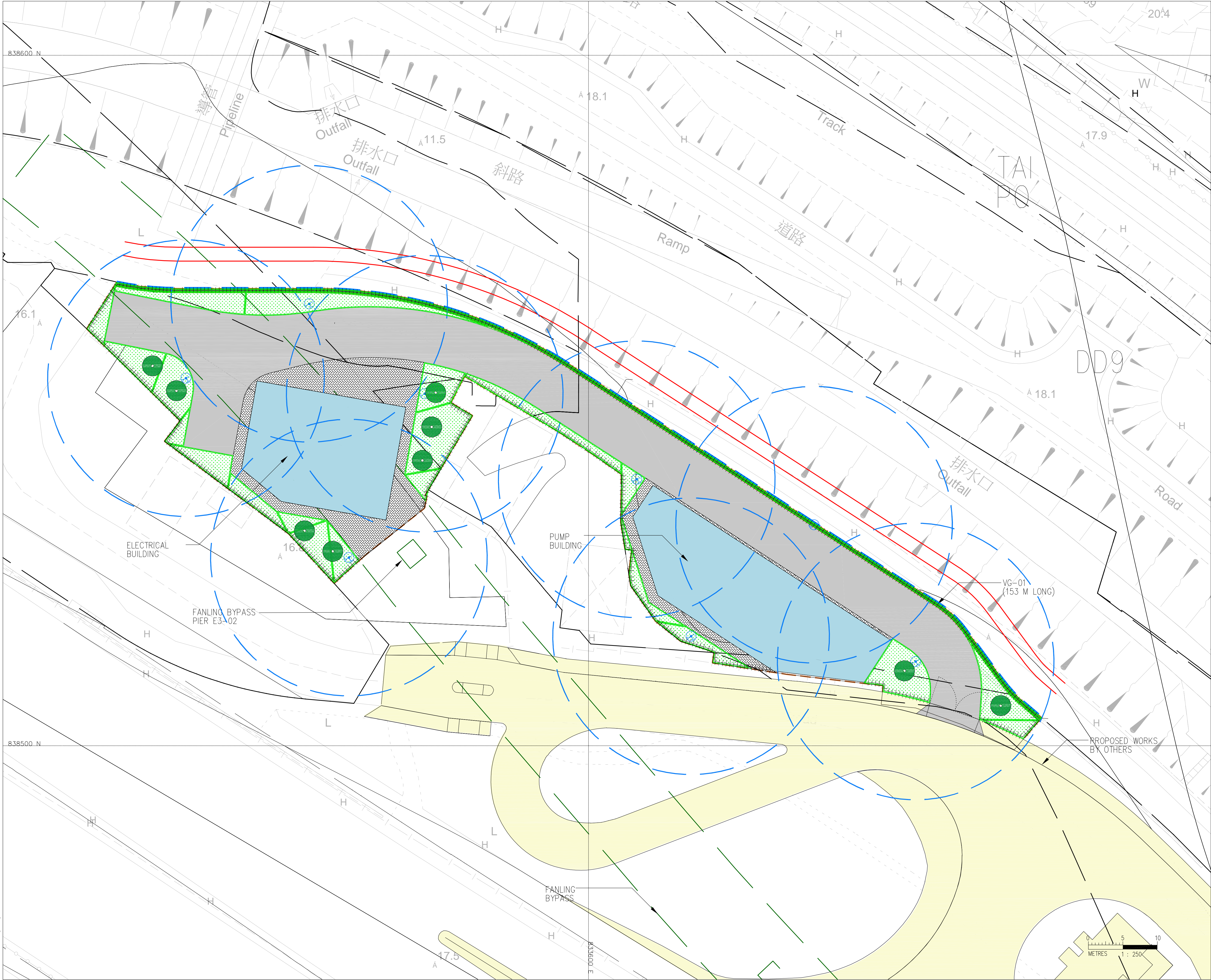
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Title			PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN – SYMBOLS AND ABBREVIATIONS			
Consultant			<div><p>asia infrastructure solutions</p></div>			
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- LEGEND
- SITE BOUNDARY
 - FENCE
 - PLANTING AREA
 - PAVING AREA
 - COMPENSATORY TREE
 - MAINTENANCE PATH - ASPHALT

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Title					
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN MASTER LANDSCAPE PLAN					
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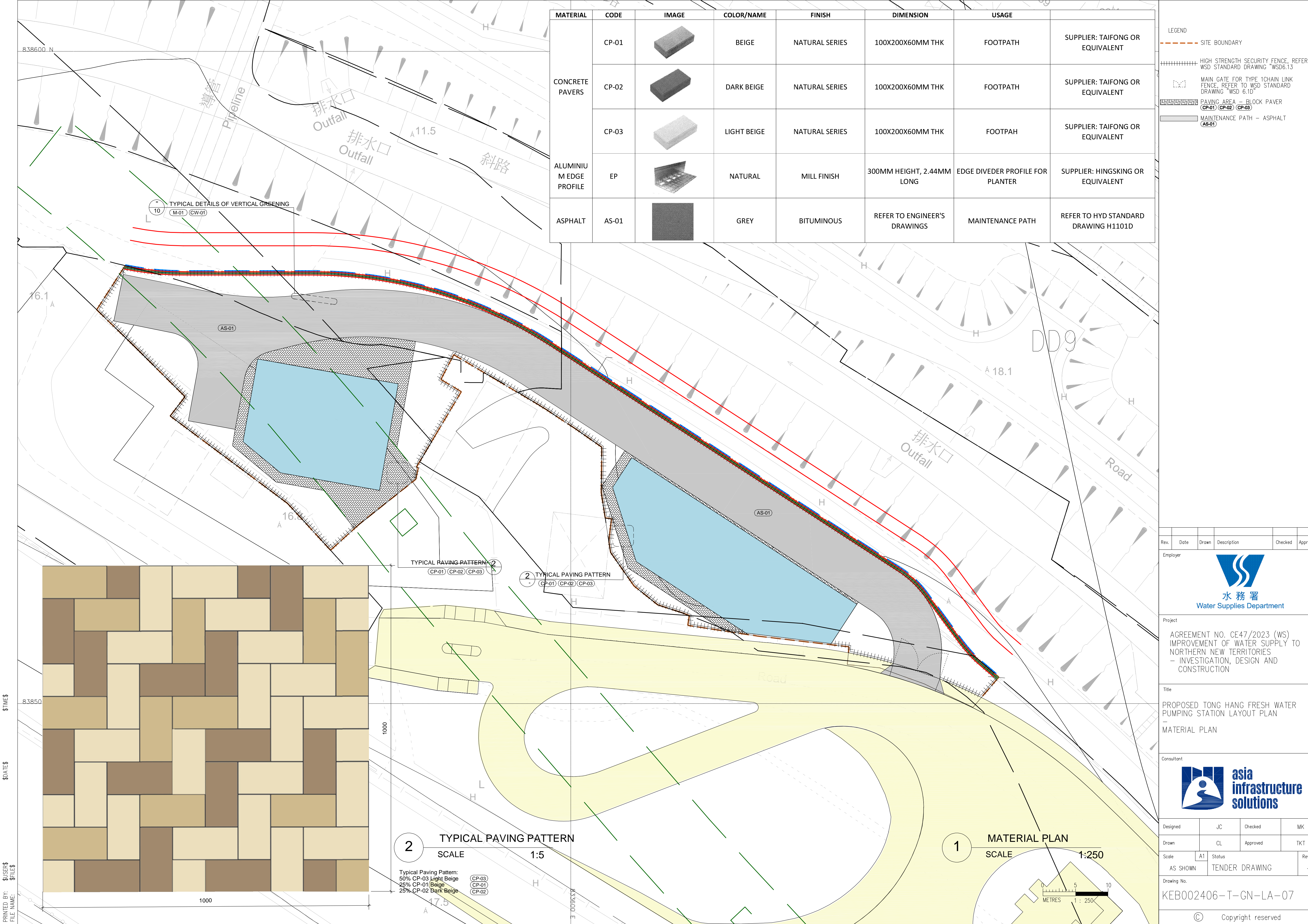


LEGEND

- SITE BOUNDARY
- HIGH STRENGTH SECURITY FENCE, REFER TO WSD STANDARD DRAWING "WSD6.13"
- VERTICAL GREENING
- PAVING AREA – BLOCK PAVER
- MAINTENANCE PATH – ASPHALT
- BUILDINGS AREA
- PLANTING AREA
- COMPENSATORY TREE
- 40M DIAMETER MANUAL IRRIGATION WATER POINT REFER TO KEB002406-T-GN-LA-13
- MAIN GATE FOR TYPE 1 CHAIN LINK FENCE, REFER TO WSD STANDARD DRAWING "WSD 6.1D"

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Title					
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN – GENERAL ARRANGEMENT PLAN					
Consultant					
					
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MATERIAL	CODE	IMAGE	COLOR/NAME	FINISH	DIMENSION	USAGE	
CONCRETE PAVERS	CP-01		BEIGE	NATURAL SERIES	100X200X60MM THK	FOOTPATH	SUPPLIER: TAIFONG OR EQUIVALENT
	CP-02		DARK BEIGE	NATURAL SERIES	100X200X60MM THK	FOOTPATH	SUPPLIER: TAIFONG OR EQUIVALENT
	CP-03		LIGHT BEIGE	NATURAL SERIES	100X200X60MM THK	FOOTPAH	SUPPLIER: TAIFONG OR EQUIVALENT
ALUMINIUM EDGE PROFILE	EP		NATURAL	MILL FINISH	300MM HEIGHT, 2.44MM LONG	EDGE DIVIDER PROFILE FOR PLANTER	SUPPLIER: HINGSKING OR EQUIVALENT
ASPHALT	AS-01		GREY	BITUMINOUS	REFER TO ENGINEER'S DRAWINGS	MAINTENANCE PATH	REFER TO HYD STANDARD DRAWING H1101D

- LEGEND
- SITE BOUNDARY
 - HIGH STRENGTH SECURITY FENCE, REFER TO WSD STANDARD DRAWING "WSD6.13"
 - MAIN GATE FOR TYPE 1CHAIN LINK FENCE, REFER TO WSD STANDARD DRAWING "WSD 6.10"
 - PAVING AREA – BLOCK PAVER (CP-01) (CP-02) (CP-03)
 - MAINTENANCE PATH – ASPHALT (AS-01)

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Title					
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN – MATERIAL PLAN					
Consultant					
 asia infrastructure solutions					
Designed	JC	Checked	MK		
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CODE	SCIENTIFIC NAME	CHINESE COMMON NAME	ENGLISH COMMON NAME	TREE SIZE	EVERGREEN	LOWEST BRANCH HEIGHT	CROWN SPREAD	QUANTITY	TOLERANCE	NATIVE / EXOTIC
GAS	<i>Garcinia subelliptica</i>	菲島福木	Common Garcinia	Standard Tree	Evergreen	1M	3M	9	Salt spray, wind and pollution and shade tolerant	Exotic



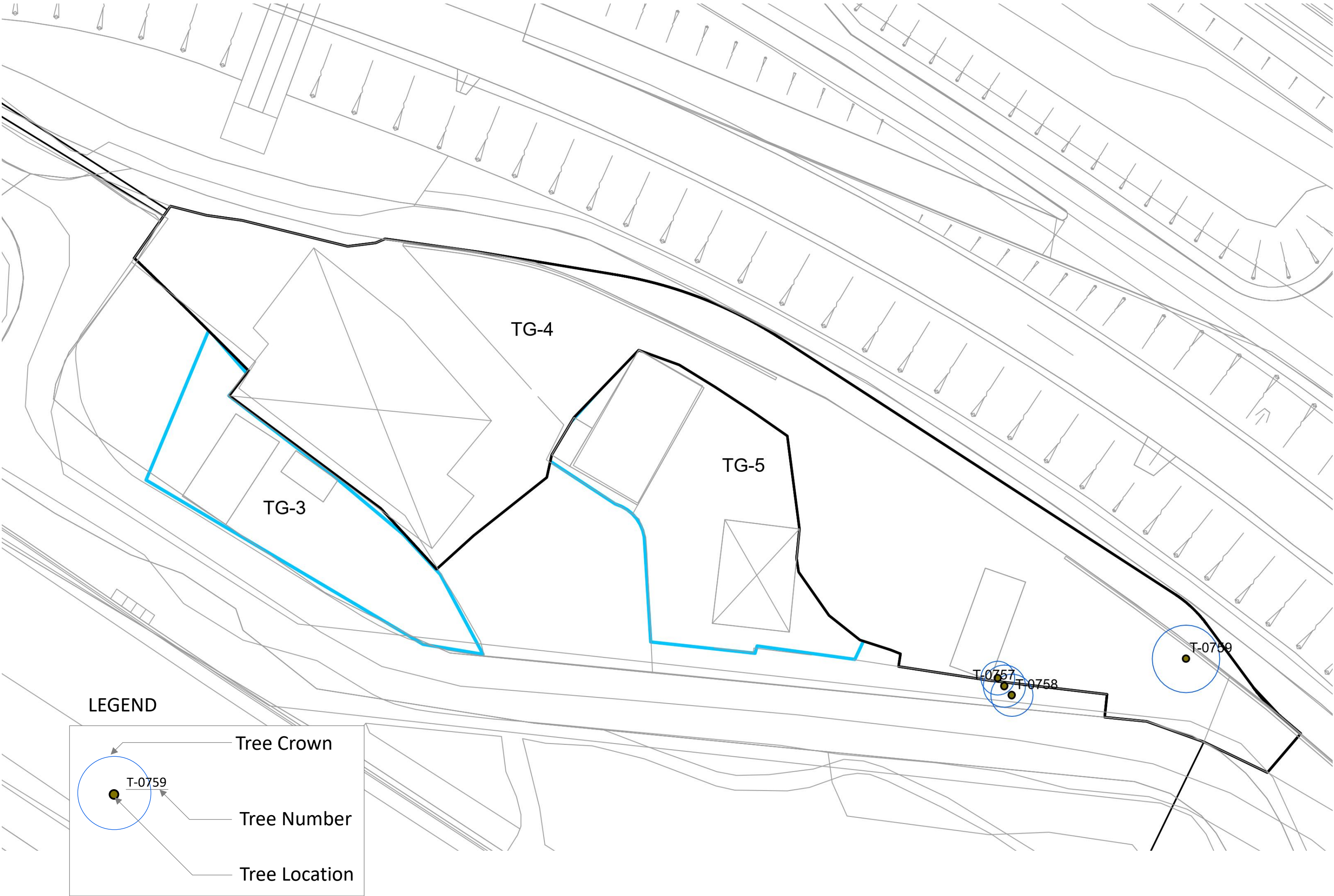
Garcinia subelliptica (GAS)

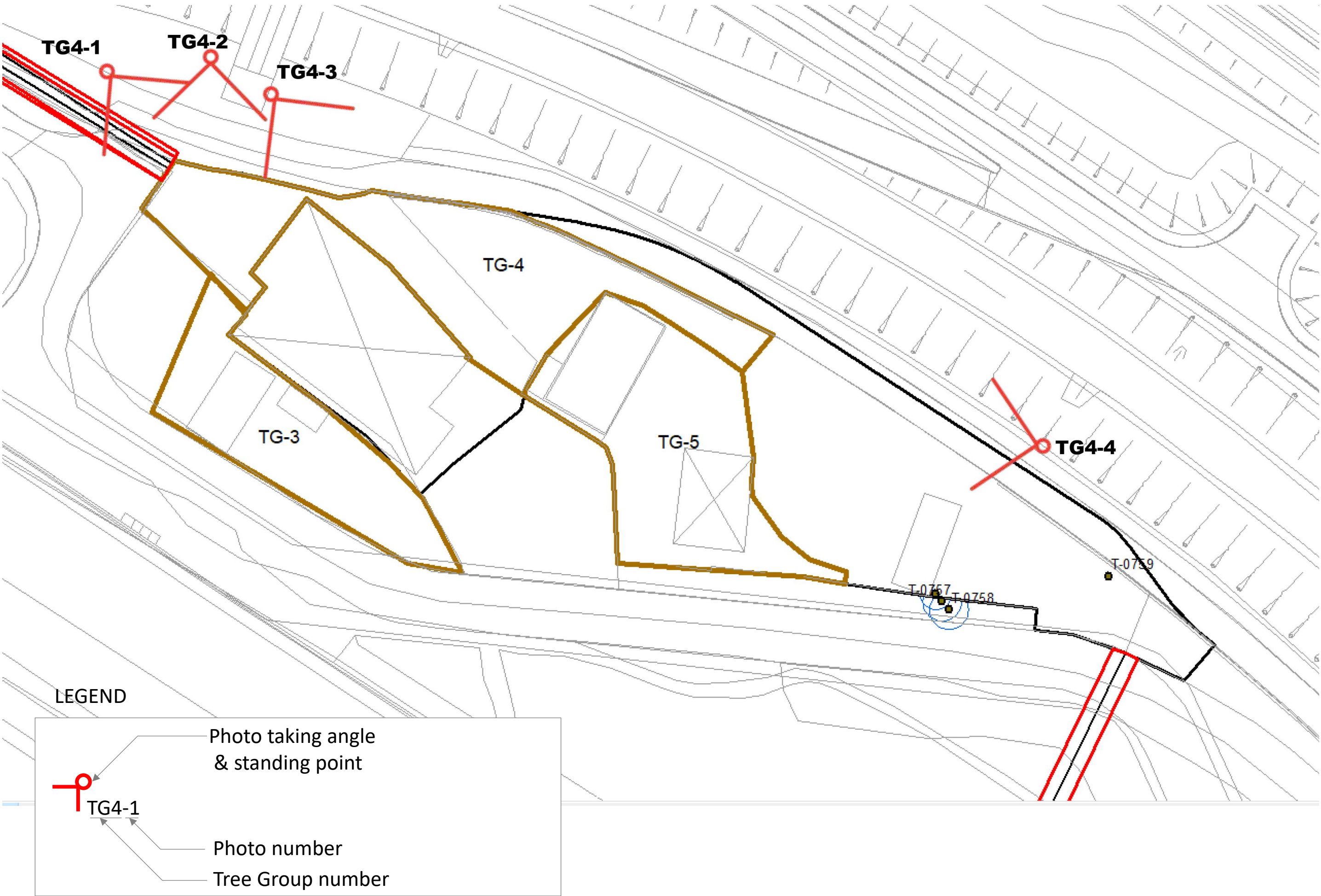
- LEGEND
- SITE BOUNDARY
 - BUILDINGS AREA
 - MAINTENANCE PATH - ASPHALT
 - SHRUB
 - COMPENSATORY TREE

Rev.	Date	Drawn	Description	Checked	Approved	
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Project						
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES – INVESTIGATION, DESIGN AND CONSTRUCTION						
Title						
PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN – PLANTING PLAN – TREE						
Consultant						
<div></div>			asia infrastructure solutions			
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Appendix A – Tree Survey





Appendix A3 - Tree Assessment Schedule

WSD Agreement No. CE 47/2023 (WS) Improvement of Water Supply to Northern New Territories – Investigation, Design and Construction
Tree Survey Schedule - undertaken by Wong Yim Wah (ISA-CA HK-0367A), updated to October 2024

Tree Ref. No.	Scientific Name	Common Chinese Name	Height (m)	Diameter at Breast Height (DBH) (mm)	Crown Spread (m)	Amenity Value	Health Condition	Structural condition	Form	Remarks on Tree Condition (Note 1)	Suitability for Transplanting	Remarks (Note 2)	Conservation Status	Recommendation	Justification	Maintenance department to provide comments on TPRP		N		E	
						High (H)/Medium (M)/Low (L)	Good (G)/Average (A)/Poor (P)				High (H)/Medium (M)/Low (L)					Before	After				
T-0756	<i>Roystonea regia</i>	大王椰子	5	156	4	M	A	A	A	rgs	L	7	nil	Fell	Direct landuse conflict	LandsD	n/a	838511		833630	
T-0759	<i>Sterculia lanceolata</i>	假蘋婆	8	341	8	M	A	A	A	rgs	L	7	nil	Fell	Direct landuse conflict	LandsD	n/a	838513		833652	

Tree Group No.	Location	Species Composition		QTY. (Note 1)	Dimension*			Amenity Value	Health*	Structural Condition*	Form*	Remarks on General Tree Condition (Note 1)	Suitability for Transplanting	Remarks (Note 2)	Conservation Status	Recommen- dation	Justification	Maintenance department to	
		Scientific Name	Common Chinese Name		Diameter at Breast Height (DBH) (mm)	Overall Height (m)	Crown Spread (m)	High (H)/Medium (M)/Low (L)	Good (G)/Average (A)/Poor (P)				High (H)/Medium (M)/Low (L)*			Retain/Transplant/Fell		Before	After
TG4	Cluster of tree scattered within a fenced up area	Leucaena leucocephala	銀合歡	1		8	6	L	A	A	P	l, ct, rgs	L	1, 2, 3, 7	Nil	Fell	Direct landuse conflict	Private	Private
		Syzygium jambos	蒲桃	4	150 - 400	7 - 9	5 - 8	M	A	A	A	ac, rgs	L	3, 7	Nil	Fell	Direct landuse conflict	Private	Private
		Clausena lansium	黃皮	1	120	4	2	L	A	A	A	ac, rgs	L	2, 4, 7	Nil	Fell	Direct landuse conflict	Private	Private

Note 1
rgs: Restricted growing condition
l_ Leaning
ct: Contorted Trunk
ac: Assymetrical crown

Note 2
1 - Poor health/form/structural condition
2 - Low amenity value
3 - Exotic species
4 - Fruit tree
5 - Technical difficulty in forming a rootball of appropriate shape and size for successful transplanting because the size (dbh) and/or age of the tree
6 - Sizeable tree, substantial financial and land resource would be required for successful on-site transplanting, and "off-site" transplanting" would require severe reduction in crown spread and height, and hence potentially jeopardize the chance of recovery or preserving the amenity value of the tree
7 - Technical difficulty in forming a rootball of appropriate shape and size for successful transplanting because the tree is rooted on slope or in close proximity to a slope and/or other tree/structure



T-756
Roystonea regia
- overall
(Remove)



T-756
Roystonea regia
- root flare
(Remove)



T-759
Sterculia lanceolata
- overall
(Remove)

Appendix A5 - Group Tree Photo



TG4-1



TG4-2



TG4-3



TG4-4



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Appendix 3

DRAINAGE IMPACT ASSESSMENT

FINAL DRAINAGE IMPACT ASSESSMENT REPORT FOR PROPOSED TONG HANG FRESH WATER PUMPING STATION (ISSUE 1)

December 2024

Agreement No. CE 47/2023 (WS)

**Improvement of Water Supply to Northern New Territories
– Investigation, Design and Construction**

WATER SUPPLIES DEPARTMENT

REVISION HISTORY

Issue	Description of Revision	Date
1	Draft (Issue 1)	7 November 2024
2	Draft (Issue 2)	21 November 2024
3	Final (Issue 1)	23 December 2024

Author Ray LO



Reviewer Morrie KWOK



Approver T. K. TING



Date 23 December 2024

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2	Existing Drainage Condition	5
2.1	Existing Drainage Network	5
2.2	Current Flooding Susceptibilities	5
2.3	Interfacing Projects.....	5
2.4	Land Characteristics	5
3	Drainage Impact Assessment.....	7
3.1	Proposed Drainage Works	7
3.2	Impact Assessment	7
3.3	Proposed Mitigation Measures	8
4	Conclusion.....	9

DRAWINGS

APPENDICES

Appendix A – Hydraulic Calculation



1 INTRODUCTION

1.1 Background

- 1.1.1 This Drainage Impact Assessment (DIA) is prepared in support of a Section 16 (S16) Planning Application for the Proposed Fresh Water Pumping Station (FWPS) in Government Land at Tai Wo Service Road East, Tong Hang, Fanling. The objective of the DIA is to introduce a structural and systematic approach to identifying, assessing and mitigating potential adverse drainage impacts which might arise from the proposed works of the Proposed FWPS.
- 1.1.2 The Proposed FWPS comprises of two (2) separate one-storey (excluding basement) buildings, namely a Pump Building in the east and an Electrical Building in the west. The Proposed FWPS will serve as a booster pumping station to take treated water from the Tai Po Tau Fresh Water Primary Service Reservoir (“FWPSR”) to other Fresh Water Service Reservoirs (FWSRs).



Figure 2.2 View A



Figure 2.3 View B



Figure 2.4 View C



3 DRAINAGE IMPACT ASSESSMENT

3.1 Proposed Drainage Works

- 3.1.1 As shown in **Drawing No. KEB002406-I-SD-20004**, some sections of the proposed works will conflict with the existing stormwater drains.
- 3.1.2 According to the hydraulic model provided by DSD, no catchment was allocated to the existing drains at the eastern end of the proposed site which comprise 225mm u-channel, Ø300 and Ø1500 pipes and the associated manhole structures (SCH1030403 and SBH1000320). These unused drains will be demolished for the construction of the proposed pump building.
- 3.1.3 The existing 300mm to 450mm u-channels will be realigned to match the proposed emergency vehicular access within site.
- 3.1.4 The Ø375 drainage pipe from the pier of Fanling Bypass and the associated manhole proposed by CEDD will be diverted for the construction of the proposed electrical building.
- 3.1.5 Approximately 150m of the realigned footpath and cycle track would encroach on the riverbed of Ma Wat River. The part of the structure would be overhung on top of the river in cantilever form, and the approximate maximum encroachment would be 4.5m. According to the hydraulic model provided by DSD, there would be approximately 2m-freeboard at the concerned area under 200-year return period. Therefore, it is considered that the structure would not affect the hydraulic performance of Ma Wat River.

3.2 Impact Assessment

- 3.2.1 As the change in land characteristics and the change in surface runoff would be minimal, it is anticipated that the drainage impact would be negligible.
- 3.2.2 Hydraulic assessment on the proposed drains has been conducted. The calculation is enclosed in **Appendix A** of the report. All proposed drains will be capable of handling a 50-year return period rainfall event.
- 3.2.3 To minimise the drainage impact and to mitigate flooding risk, the mitigation measures stated in Section 3.3 shall be implemented.



3.3 Proposed Mitigation Measures

- 3.3.1 Temporary mitigation measures such as temporary supporting shall be adopted to protect the existing drains from damages during construction. Since the proposed works may require drainage diversion, some appropriate temporary measures implemented for avoiding drainage impacts are shown as below:
- (1) If temporary diversion is necessary, the details of the diversion shall be designed with reference to actual site situation and agreed with DSD. Temporary drainage diversion to convey the surface runoff from the construction site to the existing drainage system shall comply with the requirements as stipulated in DSD's Technical Circular No. 14/2000 "Temporary Flow Diversion and Temporary Works Affecting Capacity in Stormwater Drainage System".
 - (2) The programme of the proposed diversion, re-provisioning works and/or modifications of existing drains should be further agreed with DSD to facilitate the Project to be implemented as schedule.
 - (3) All construction works shall be carried out in accordance with EPD's Practice Note ProPECC PN 2/23 "Construction Site Drainage".
 - (4) Adequately designed desilting facilities such as sand traps, silt traps and sediment basins with proper maintenance shall be provided for the temporary drainage system where applicable.
 - (5) Temporary works should not encroach on the drainage path during wet seasons unless otherwise approved by DSD.
 - (6) The temporary drainage works shall be monitored in accordance with the monitoring and audit requirements. Regular inspection should be carried out during construction near major drainage structures and DSD Regional staff should be notified prior to the commencement of works.

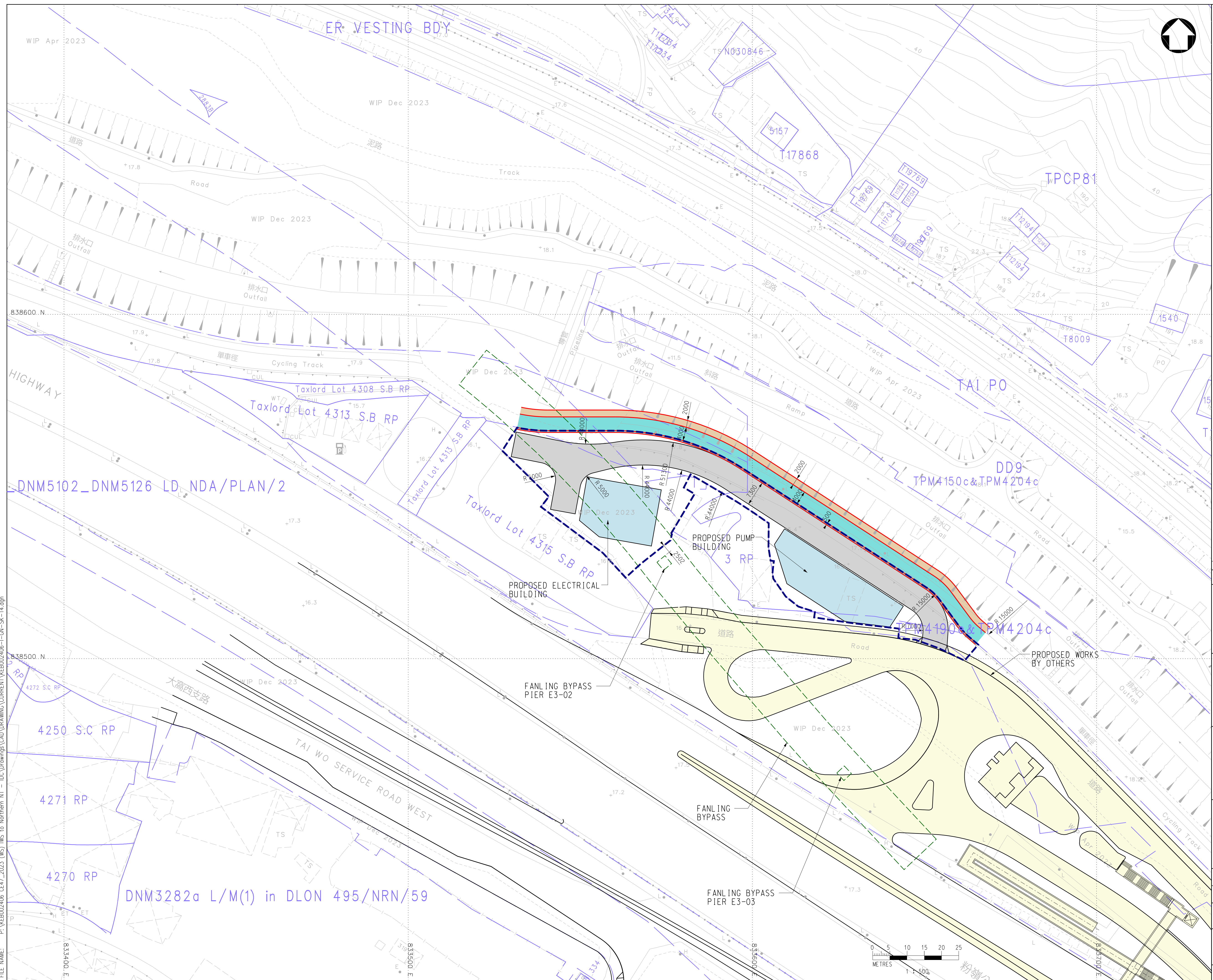


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


CONCLUSION




- 4.1.1 The Proposed FWPS would be constructed on the existing cycle track, footpath, hard paved area. Also, part of the Proposed FWPS would be located under CEDD's proposed Fanling Bypass.
- 4.1.2 With the implementation of the proposed drainage system and landscaping features, the change in land characteristics and surface runoff would be minimal. Therefore, the drainage impact due to the proposed works is considered insignificant.
- 4.1.3 While no permanent drainage impact is expected, there are some temporary drainage impact mitigation measures to be implemented during the construction phase in order to avoid any drainage impacts to the existing watercourse. The construction works shall comply with the EPD's Practice Note ProPECC PN 2/23 in respect of handling and disposal of construction site discharges.

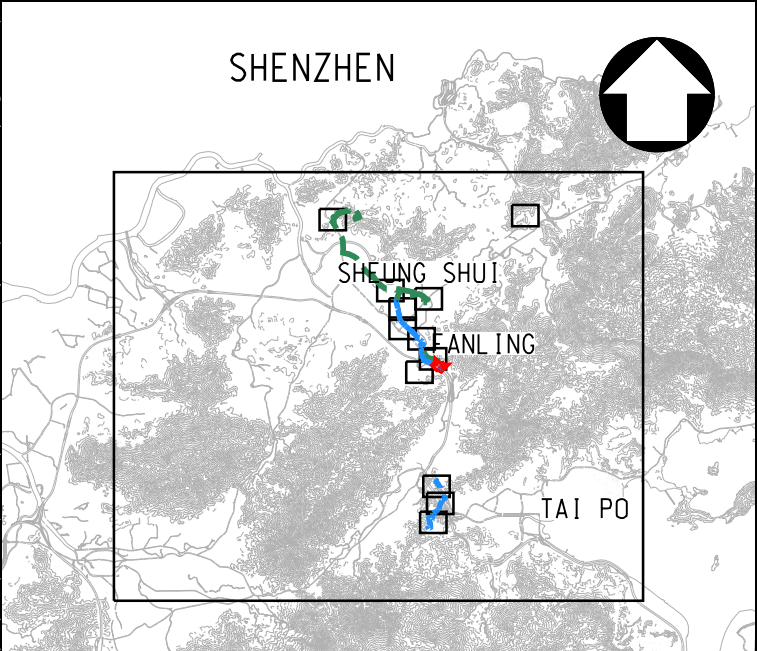
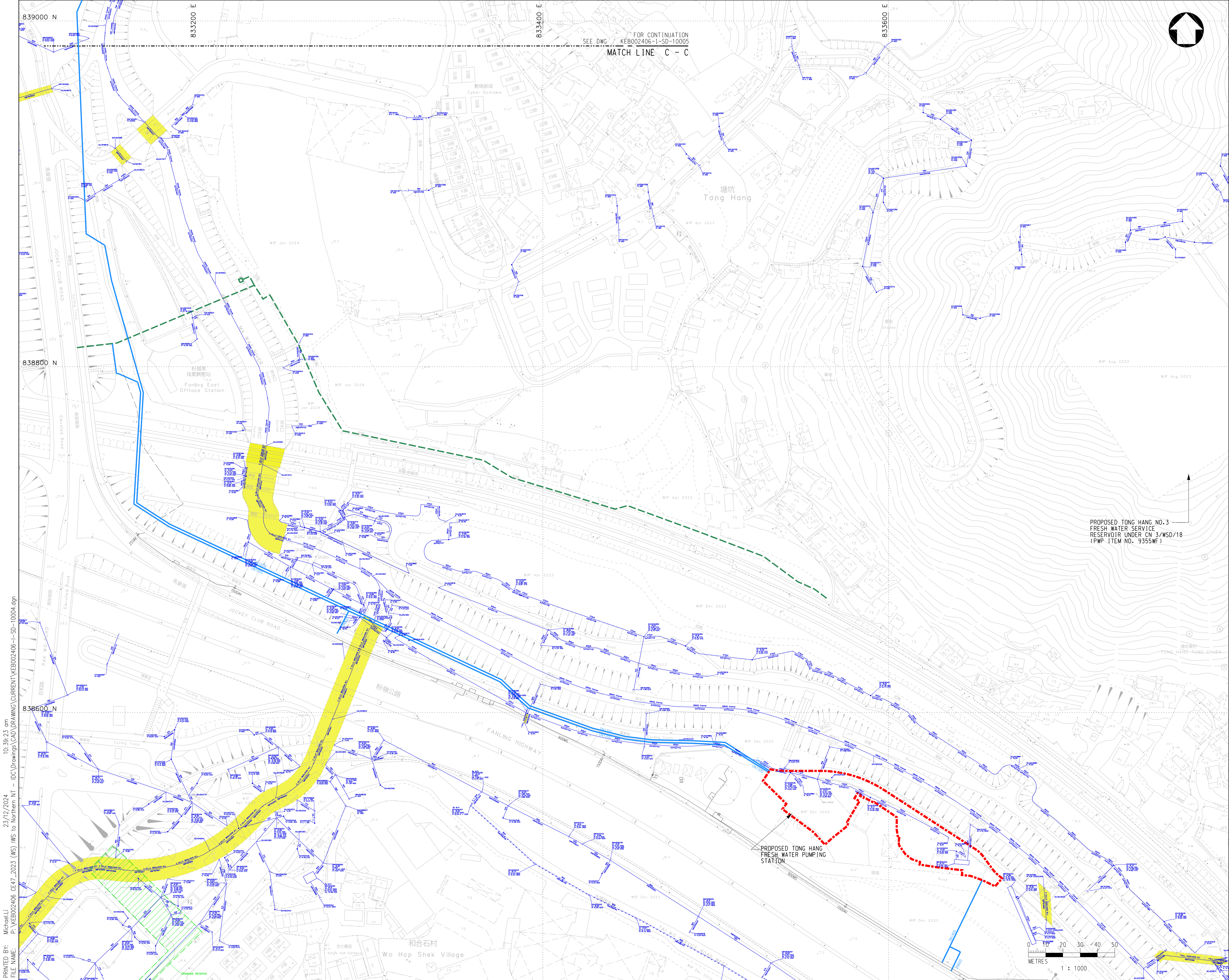
Drawings



LEGENDS:

-  PROPOSED FWPS SITE
-  LOT BOUNDARY
-  FANLING BYPASS STRUCTURE BY OTHERS
-  PROPOSED WORKS BY OTHERS
-  PROPOSED EMERGENCY VEHICULAR ACCESS
-  PROPOSED REALIGNED CYCLE TRACK
-  PROPOSED REALIGNED FOOTPATH
-  PROPOSED FWPS BUILDINGS

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Employer					
 <p style="text-align: center;">水務署 Water Supplies Department</p>					
Project					
<p>AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES - INVESTIGATION, DESIGN AND CONSTRUCTION</p>					
Title					
<p>PROPOSED TONG HANG FRESH WATER PUMPING STATION LAYOUT PLAN</p>					
Consultant					
			<p>asia infrastructure solutions</p>		
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KEY PLAN
SCALE 1:200,000

- LEGEND:
- PROPOSED WATERWORKS
 - WATERWORKS BY OTHERS
 - EXISTING STORM WATER PIPE
 - PROPOSED FRESH WATER PUMPING STATION SITE BOUNDARY

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- INVESTIGATION, DESIGN AND
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EXISTING DRAINAGE PLAN

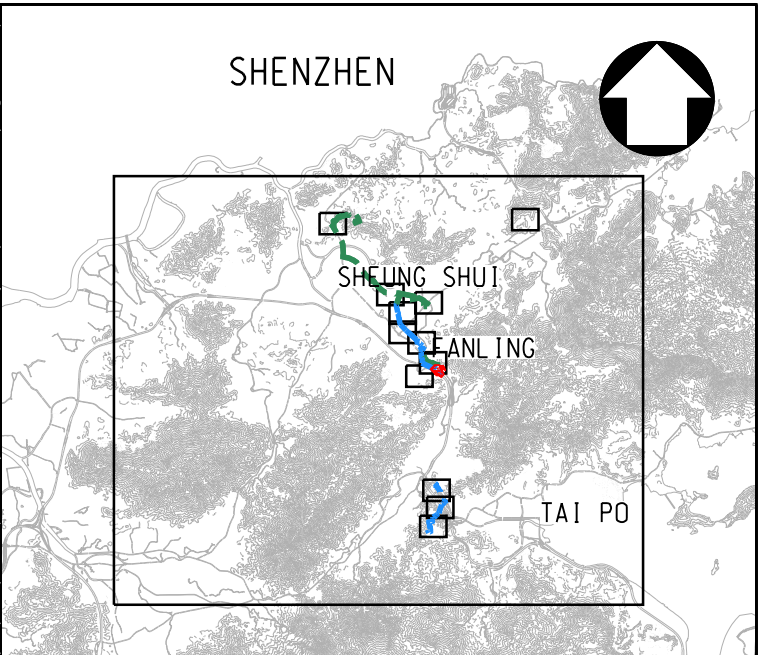
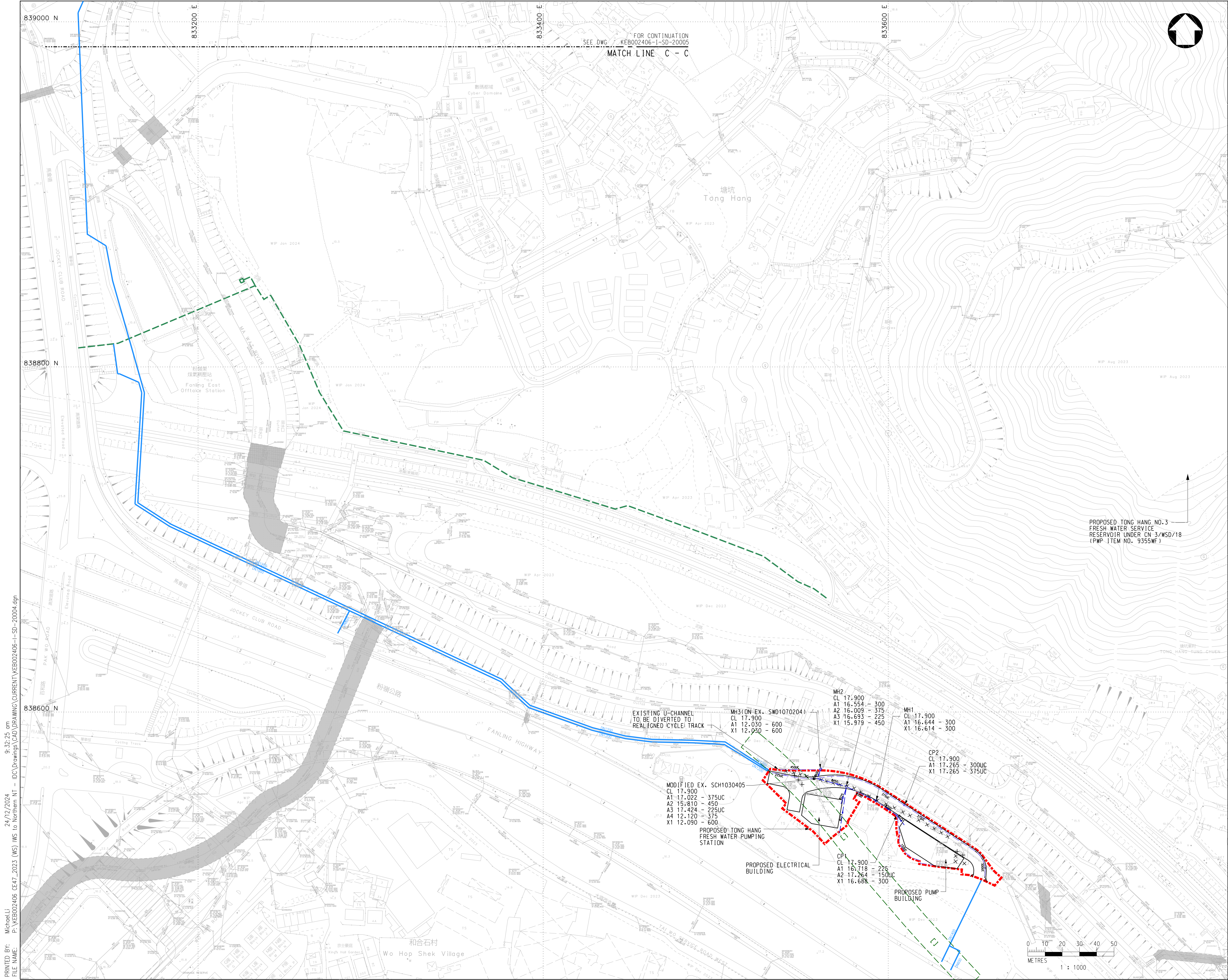
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- LEGEND:
- PROPOSED WATERWORKS
 - WATERWORKS BY OTHERS
 - EXISTING STORM WATER PIPE
 - PROPOSED STORM WATER PIPE
 - PROPOSED STORM WATER U-CHANNEL
 - PROPOSED STORM WATER MANHOLE
 - PROPOSED STORM WATER CATCHPIT
 - EXISTING DRAIN TO BE DEMOLISHED
 - PROPOSED FRESH WATER PUMPING STATION SITE BOUNDARY

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PROPOSED DRAINAGE PLAN

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Appendix A – Hydraulic Calculation

Runoff Estimation by Rational Method

Technical Manual	Stormwater Drainage Manual 2018, Corrigendum No. 1/2022, 1/2024 & 2/2024									
Site Location	North District									
Return period	50									
Storm Constants	a	474.60	b	2.90	c	0.371				
Rainfall Increase due to Viscosity	i) Climate Change Factor		1.160	for end of 21st Century		ii) Design Allowance		1.121	for end of 21st Century	
	1.00E-06 m ² /s									

Pipe Capacity Check by Colebrook White Equation:

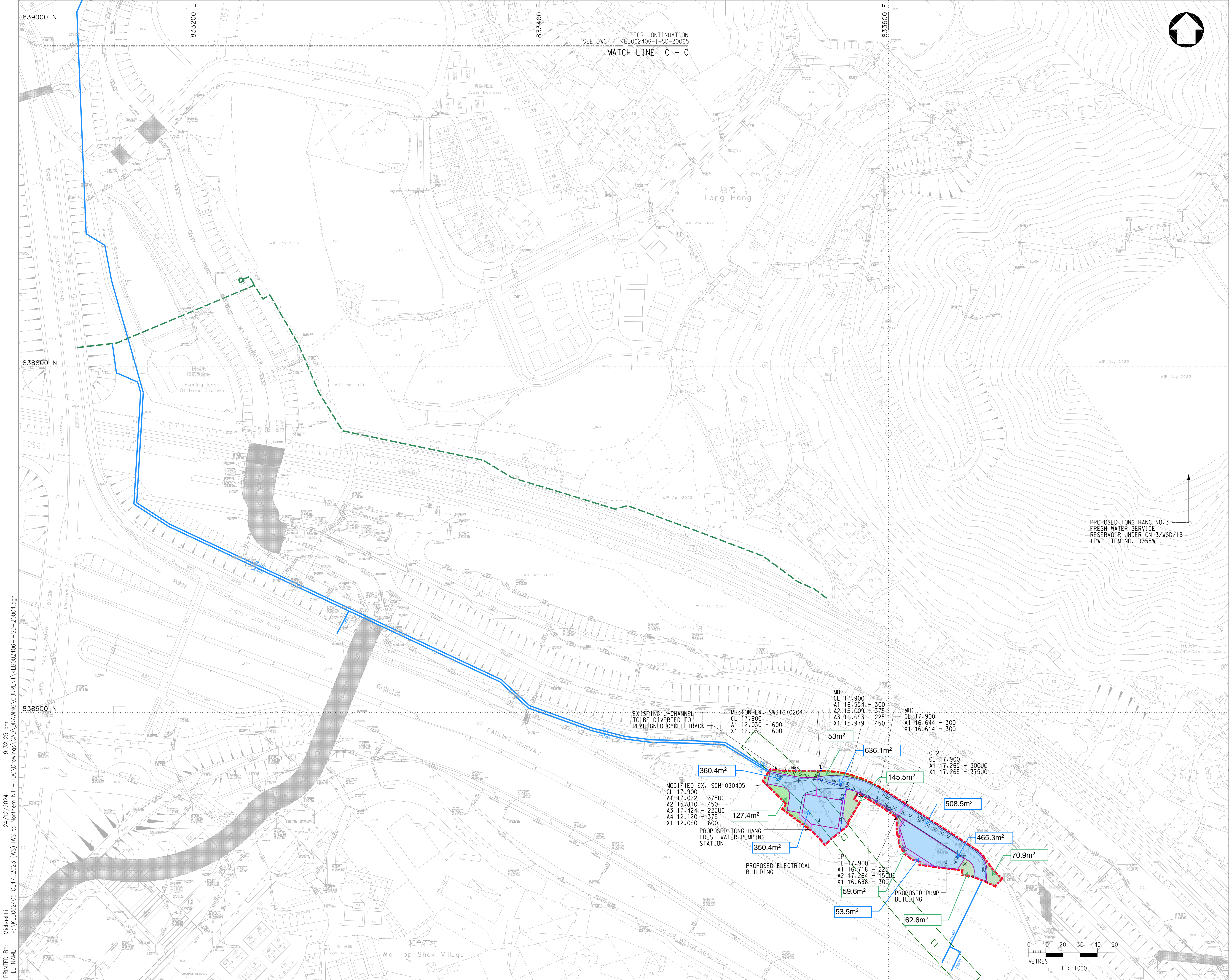
$$\bar{V} = -\sqrt{32gRS_f} \log \left[\frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

Pipe ID	US Node	DS Node	US GL	Cover	Length	Diameter	US IL	DS IL	Gradient		Material	Roughness ks	Sectional Area A	Perimeter P	R =A/P	Full Bore Velocity	Tf	Tc	Intensity	Paved	Unpaved	Cum. Paved	Cum. Unpaved	Total Drained Area	Runoff Coefficient		Weighted Runoff Coefficient	Flow	Additional Flow	Flow	Capacity	Percent of Flow to Pipe Capacity
	No.	No.	(mPD)	(m)	(m)	(mm)	(mPD)	(mPD)	(1 in x)	(m/m)	-	(m)	(m ²)	(m)	(m)	(m/sec)	(mins)	(mins)	(mm/hr)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	Paved	Unpaved		(l/sec)	(l/sec)	(l/sec)	(l/sec)	
P1	Pump Building	CP1	17.900	1.125	7.1	225	16.775	16.718	125	0.008	Concrete	0.0006	0.040	0.707	0.056	1.168	0.101	3.101	317.440	465.3	0	465.3	0	465	0.9	0.2	0.900	0.037	0.000	0.037	0.046	79.6%
P2	Elec. Building	MH2	17.900	1.125	10.3	225	16.775	16.693	125	0.008	Concrete	0.0006	0.040	0.707	0.056	1.168	0.147	3.147	316.549	350.4	0	350.4	0	350	0.9	0.2	0.900	0.028	0.000	0.028	0.046	59.8%
P3	BFL-8570-1	MH2	17.900	1.275	27.7	375	16.625	16.009	45	0.022	Concrete	0.0006	0.110	1.178	0.094	2.707	0.171	3.171	316.093	857	0	857.4	0	857	0.9	0.2	0.900	0.068	0.000	0.068	0.299	22.7%
P4	CP1	MH1	17.900	1.212	13.4	300	16.688	16.644	300	0.003	Concrete	0.0006	0.071	0.942	0.075	0.903	0.247	4.142	299.151	0	0	518.8	59.6	578	0.9	0.2	0.828	0.040	0.000	0.040	0.064	62.5%
P5	MH1	MH2	17.900	1.286	18	300	16.614	16.554	300	0.003	Concrete	0.0006	0.071	0.942	0.075	0.903	0.332	4.475	294.076	0	0	518.8	59.6	578	0.9	0.2	0.828	0.039	0.000	0.039	0.064	61.4%
P6	MH2	Ex. SCH1030405	17.900	1.921	16.9	450	15.979	15.810	100	0.010	Concrete	0.0006	0.159	1.413	0.113	2.033	0.139	4.613	292.052	0	0	1726.6	59.6	1786	0.9	0.2	0.877	0.127	0.000	0.127	0.323	39.3%
Ex. SWD1070204 - 1	Ex. SCH1030405	MH3	17.900	5.810	5.3	600	12.090	12.030	89	0.011	Concrete	0.0006	0.283	1.884	0.150	2.582	0.034	5.413	281.297	0	0	3231.6	519	3,751	0.9	0.2	0.803	0.236	0.000	0.236	0.730	32.3%
Ex. SWD1070204 - 2	MH3	Ex. SNF1010921	17.900	5.870	13.4	600	12.030	11.880	89	0.011	Concrete	0.0006	0.283	1.884	0.150	2.582	0.087	5.499	280.218	0	0	3231.6	519	3,751	0.9	0.2	0.803	0.235	0.000	0.235	0.730	32.2%

U-channel Capacity Check by Manning Equation:

$$\bar{V} = \frac{R^{2/3}}{n} \sqrt{RS_f}$$

UC ID	US Node	DS Node	US GL	Cover	Length	Diameter	US IL	DS IL	Gradient		Material	Roughness n	Sectional Area A	Perimeter P	R =A/P	Vel.@ full bore	Tf	Tc	Intensity	Paved	Unpaved	Cum. Paved	Cum. Unpaved	Total Drained Area	Runoff Coefficient		Weighted Runoff Coefficient	Flow	Additional Flow	Flow	Capacity	Percent of Flow to UC Capacity
	No.	No.	(mPD)	(m)	(m)	(mm)	(mPD)	(mPD)	(1 in x)	(m/m)	-	-	(m ²)	(m)	(m)	(m/sec)	(mins)	(mins)	(mm/hr)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	Paved	Unpaved		(l/sec)	(l/sec)	(l/sec)	(l/sec)	
UC1	-	CP1	17.900	0.070	41.6	150	17.680	17.264	100	0.010	Concrete	0.018	0.020	0.386	0.052	0.775	0.895	3.895	303.147	53.5	59.6	53.5	59.6	113	0.9	0.2	0.531	0.005	0.000	0.005	0.016	32.5%
UC2	-	CP2	17.900	0.070	66.3	300	17.530	17.265	250	0.004	Concrete	0.018	0.080	0.771	0.104	0.778	1.420	4.420	294.881	508.5	133.5	508.5	133.5	642	0.9	0.2	0.754	0.040	0.000	0.040	0.062	63.5%
UC3	CP2	Ex. SCH1030405	17.900	0.070	54.7	375	17.265	17.022	225	0.004	Concrete	0.018	0.126	0.964	0.130	0.952	0.958	5.379	281.728	636.1	198.5	1144.6	332	1,477	0.9	0.2	0.743	0.086	0.000	0.086	0.119	71.9%
UC4	-	Ex. SCH1030405	17.900	0.070	27.2	225	17.605	17.424	150	0.007	Concrete	0.018	0.045	0.578	0.078	0.829	0.547	3.547	309.118	360.4	127.4	360.4	127.4	488	0.9	0.2	0.717	0.030	0.000	0.030	0.037	80.2%



SHENZHEN

SHI LIN SHUI
SHAN LING
TAI PO

KEY PLAN

SCALE 1:200,000

LEGEND:

PROPOSED WATERWORKS

WATERWORKS BY OTHERS

EXISTING STORM WATER PIPE

PROPOSED STORM WATER PIPE

PROPOSED STORM WATER U-CHANNEL

PROPOSED STORM WATER MANHOLE

PROPOSED STORM WATER CATCHPIT

EXISTING DRAIN TO BE DEMOLISHED

PROPOSED FRESH WATER PUMPING STATION SITE BOUNDARY

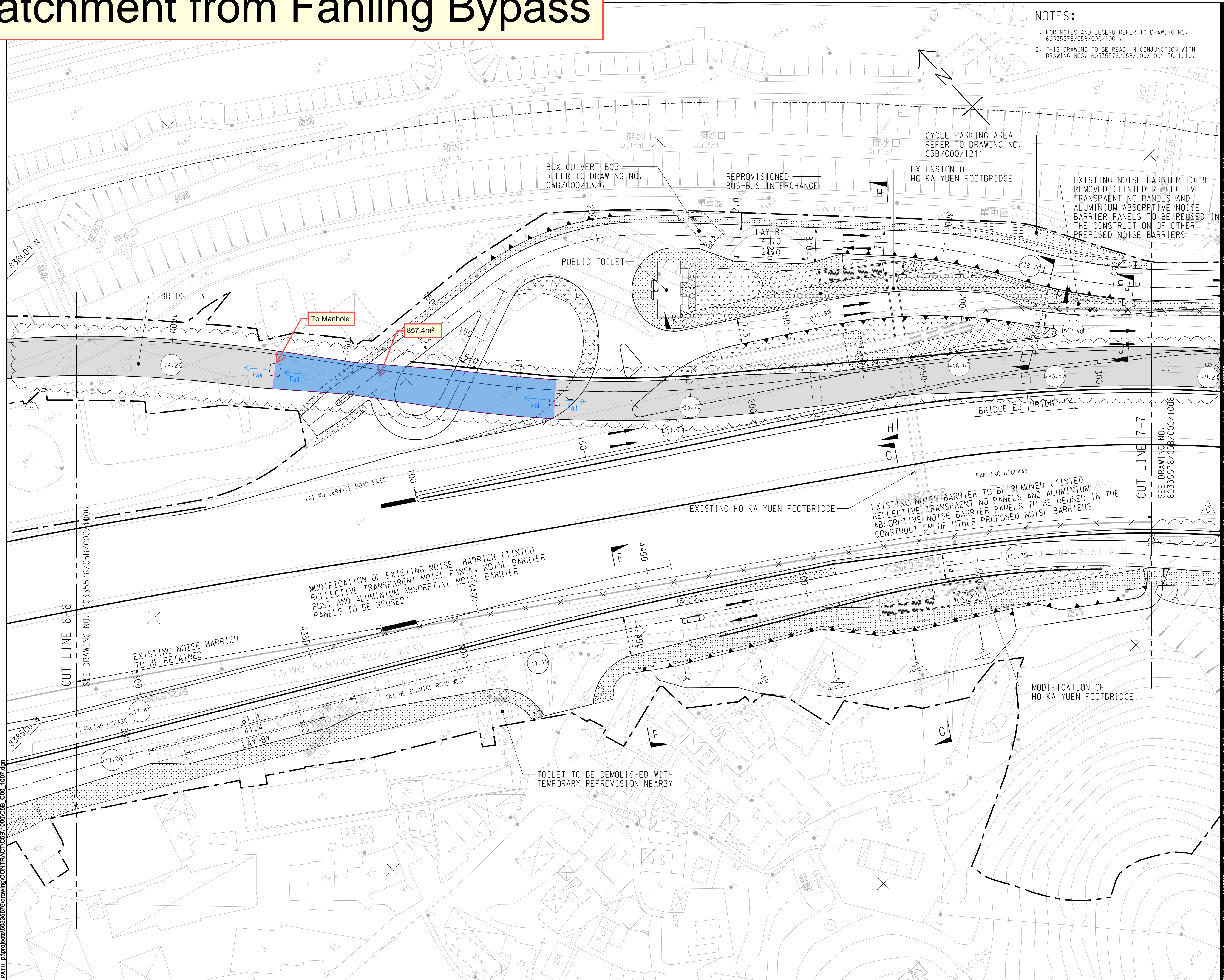
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PAVED AREA

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Consultant					
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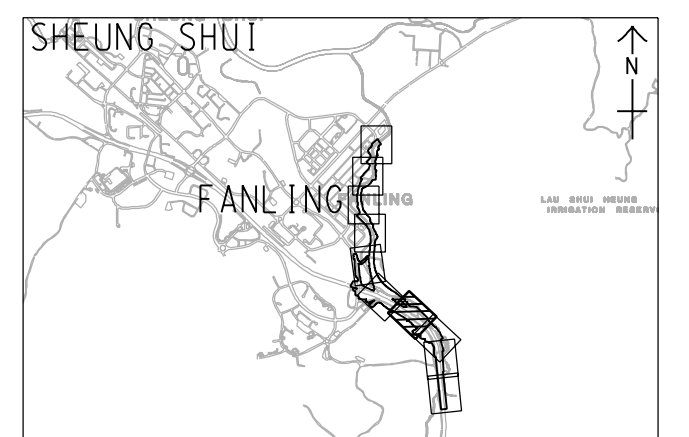
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分劃工程顧問公司

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修訂			
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B	AUG-19	TENDER ADDENDUM NO.3	RPCM
A	JUL-19	TENDER ADDENDUM NO.2	RPCM
-	JUN-19	TENDER DRAWING	RPCM
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			修訂

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KEY PLAN A1 1 : 70000
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PROJECT NO. 項目編號	CONTRACT NO. 合約編號
60335576	ND/2019/05

SHEET TITLE
圖紙名稱

GENERAL LAYOUT

SHEET NUMBER

60335576/C5B/C00/1007C

SHEET 7 OF 10



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Reference WSD/WHS/KELVINHC/03
Date 6 January 2025

By HAND and EMAIL

The Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices
333 Java Road, North Point, HONG KONG

Dear Sir / Madam,

**SECTION 16 PLANNING APPLICATION
THE TOWN PLANNING ORDINANCE (CHAPTER 131)**

**PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION)
WITH ASSOCIATED FILLING OF LAND IN GOVERNMENT LAND AT TONG HANG, FANLING**

We write regarding the captioned Planning Application submitted to the Town Planning Board ("TPB") on 24 December 2024.

Please find enclosed a supplementary figure to the Planning Application to illustrate the spatial relationship of the Proposed Fresh Water Pumping Station at the Application Site with the Tai Po Water Treatment Works and the Secondary Fresh Water Service Reservoirs for your information (**Attachment 1** refers).

Should there be any queries, please do not hesitate to contact the undersigned or Mr Eric Chan or Mr Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Vincent Lau
Associate Director

VIN/ERIC/KELVINHC/yv

Enc Figure – 4 copies

cc Client / Team

城
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ASSOCIATED COMPANIES :

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TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)

TOWNLAND CONSULTANTS PVT. LIMITED (India)

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For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件（倘有），送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會（下稱「委員會」）秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張，然後填寫此表格。該份文件可從委員會的網頁下載（網址：<http://www.tpb.gov.hk/>），亦可向委員會秘書處（香港北角渣華道 333 號北角政府合署 15 樓 – 電話：2231 4810 或 2231 4835）及規劃署的規劃資料查詢處（熱線：2231 5000）（香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓）索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載，亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全，委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

Construction Division, Water Supplies Department

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱（如適用）

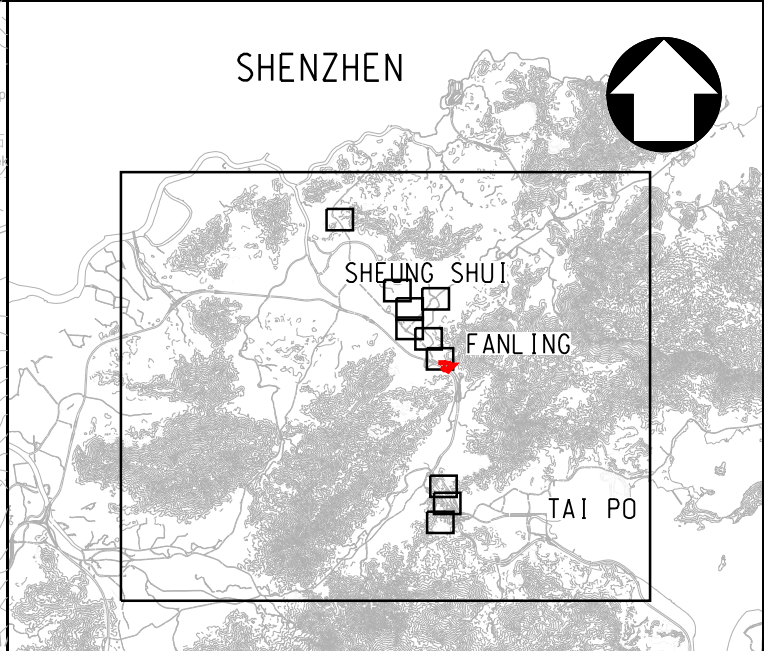
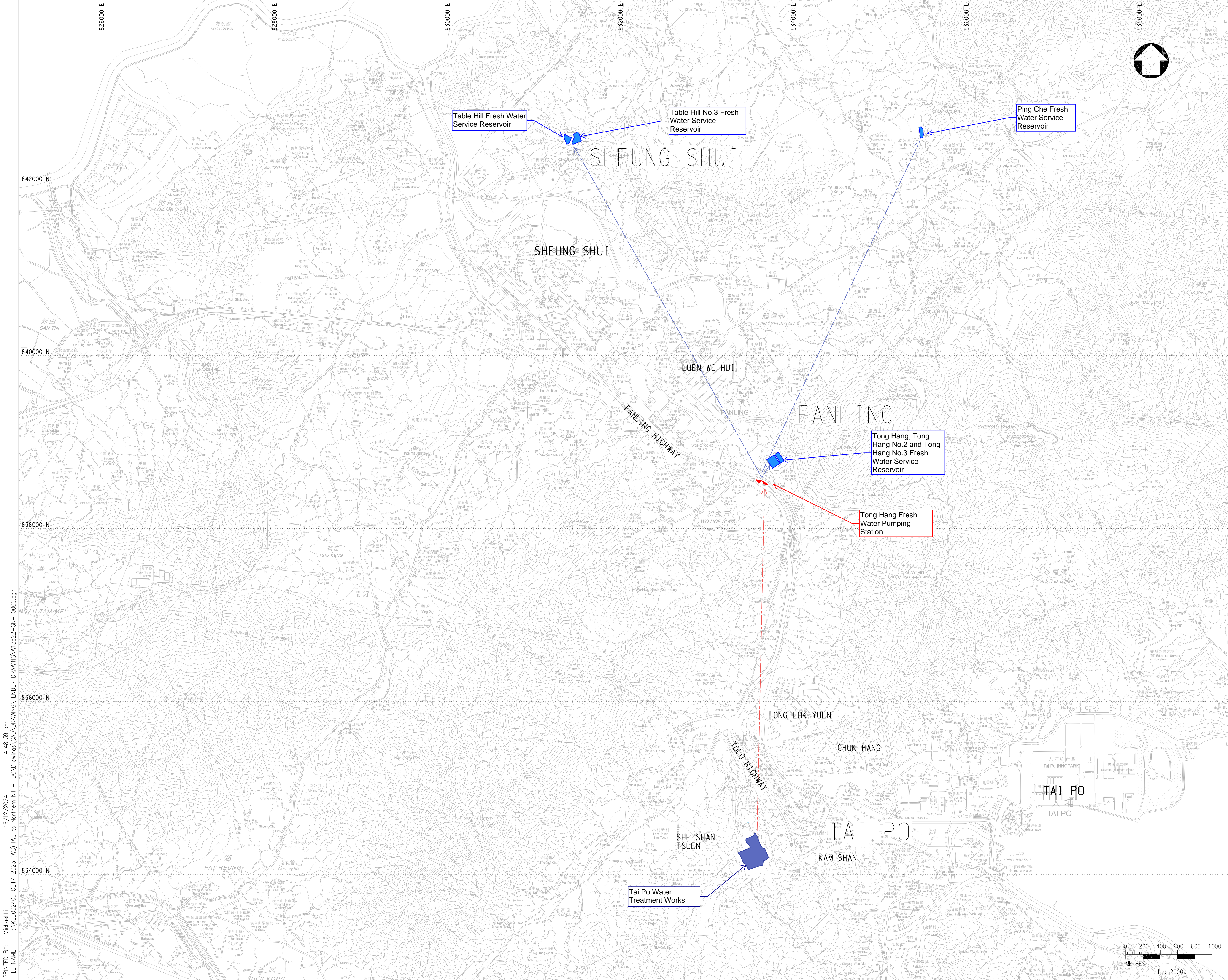
(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Townland Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址／地點／丈量約份及地段號碼（如適用）	Government Land at Tai Wo Service Road East, Tong Hang, Fanling, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及／或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 2,977.393 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 760 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積（倘有） 2,977.393 sq.m 平方米 <input checked="" type="checkbox"/> About 約

Gist of Application 申請摘要			
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Government Land at Tai Wo Service Road East, Tong Hang, Fanling, New Territories 新界粉嶺塘坑大窩東支路的政府用地		
Site area 地盤面積	2,977.393 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 2,977.393 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Approved Lung Yeuk Tau and Kwan Tei South Outline Zoning Plan No. S/NE-LYT/19 龍躍頭及軍地南分區計劃大綱核准圖編號S/NE-LYT/19		
Zoning 地帶	"Other Specified Uses (Amenity Area)", "Other Specified Uses (Petrol Filling Station) and "Agriculture" 「其他指定用途（美化市容地帶）」、「其他指定用途（加油站）」及「農業」		
Applied use/ development 申請用途／發展	Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land 擬議公用事業設施裝置（食水抽水站）及相關填土工程		
(i) Gross floor area and/or plot ratio 總樓面面積及／或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	760 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	- <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	-	
	Non-domestic 非住用	2	
	Composite 綜合用途	-	



KEY PLAN
SCALE 1:200,000

LEGEND:

--- Water Supply from Tai Po Water Treatment Works to Tong Hang Fresh Water Pumping Station

--- Water Supply from Tong Hang Fresh Water Pumping Station to Secondary Fresh Water Service Reservoirs

-	DEC 2024	CL	FIRST ISSUE	MK	TKT
Rev.	Date	Drawn	Description	Checked	Approved

Employer



水務署
Water Supplies Department

Project

CONTRACT NO. 6/WS/25
IMPROVEMENT OF WATER SUPPLY TO
NORTHERN NEW TERRITORIES

Title

PROPOSED WATER SUPPLY SCHEMATIC

Consultant



Designed	RL	Checked	MK
Drawn	CL	Approved	TKT
Scale	A1	Status	Rev
1 : 20000	DESIGN DRAWING		-
Drawing No.	-		
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16/12/2024

Reference WSD/WHK/KELVINHC/04
Date 7 February 2025

By HAND and EMAIL

The Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices,
333 Java Road, North Point, HONG KONG

Dear Sir / Madam,

**SECTION 16 PLANNING APPLICATION
THE TOWN PLANNING ORDINANCE (CHAPTER 131)**

**PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION)
WITH ASSOCIATED FILLING OF LAND IN GOVERNMENT LAND AT TONG HANG, FANLING
(TPB REF: A/NE-LYT/842)**

We write regarding the captioned Planning Application submitted to the Town Planning Board ("TPB") on 24 December 2024. Further to comments received from Electrical and Mechanical Services Department ("EMSD"), Transport Department ("TD"), Urban Design and Landscape Unit ("UD&L") and Sha Tin, Tai Po and North District Planning Office ("STNDPO") of Planning Department ("PlanD"), please find our responses provided in the enclosed Responses-to-Comments ("R-to-C") table in **Attachment 1** and the relevant supporting documents at **Attachments 2-4**, which have fully addressed the comments from the above-mentioned Government departments.

The Applicant also wishes to replace Appendix 1 of the Supplementary Planning Statement ("SPS") with **Attachment 4** due to some minor clarification on the scale of the drawings.

Please note that these responses are clarifications only and there are no changes to the S16 Planning Application. Should there be any queries, please do not hesitate to contact the undersigned or Mr Eric Chan or Mr Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Vincent Lau
Associate Director

VIN/ERIC/KELVINHC/yv

Enc Attachment 1: R-to-C table
Attachment 2: Replacement Pages for SPS
Attachment 3: Replacement Pages for TPLP
Attachment 4: Replacement Pages for Appendix 1 – Architectural Drawings
cc Client / Team

111

ASSOCIATED COMPANIES :

TOWNLAND CONSULTANTS (INTERNATIONAL) LIMITED (International)

TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)

TOWNLAND CONSULTANTS PVT. LIMITED (India)

PT TOWNLAND INTERNATIONAL (Indonesia)

HOWARD & SEDDON PARTNERSHIP (United Kingdom)



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Certificate No.: CC844

Attachment 1

	RESPONSES-TO-COMMENTS TABLE
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Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land in Government Land at Tong Hang, Fanling (TPB REF: A/NE-LYT/842)

Responses to Comments Table

Comments/ Suggestions		Applicant/ Consultant's Responses
A.	Comments from Electrical and Mechanical Services Department received from Planning Department on 20.01.2025: (Contact person: Ms. WONG Yu Hong, Simon, Tel no.: 2808 3229)	
	<u>Town Gas Safety</u>	
1.	Please note that there are high pressure (HP) and intermediate pressure (IP) town gas pipelines running along Fanling Highway in the vicinity of the subject site.	Noted.
2.	If the proposed public utility installation will induce a significant increase in working population adjacent to the HP pipelines, a Quantitative Risk Assessment (QRA) conducted by the project proponent is required to assess the potential risks associated with the HP pipeline and implement mitigation measures if necessary for compliance with the risk guidelines of the Hong Kong Planning Standards and Guidelines. In this regard, the project proponent should clarify if the buildings are to be manned on a routine basis and the estimated working population.	Please note that the Proposed Fresh Water Pumping Station ("FWPS") is an unmanned facility.
3.	The project proponent should liaise with The Hong Kong and China Gas Company Limited in respect of the exact locations of existing and planned gas pipes/gas installations in the vicinity to the site and any required minimum set back distance away from them during the planning, design and construction stages of the proposed development.	Noted.
4.	The designers/consultants/contractors and other involved parties are required to observe the Electrical and Mechanical Services Department's requirements on the "Avoidance of Damage to Gas Pipes 2nd Edition" for reference. The document can be downloaded from the following link: https://www.emsd.gov.hk/filemanager/en/content_286/CoP_gas_pipes_2nd_(Eng).pdf	Noted.

Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land in Government Land at Tong Hang, Fanling (TPB REF: A/NE-LYT/842)

Responses to Comments Table

Comments/ Suggestions		Applicant/ Consultant's Responses
B.	Comments from Transport Department received from Planning Department on 27.01.2025: (Contact person: Mr. LAM To Lun, Jeffery, Tel no.: 2399 2549)	
1.	Since the design of the interned road, cycle track and footpath on the western part of the application site (the Site) of the proposed scheme under the current application is different from those in the pre-submission stage and the discussion under Agreement No. CE 47/2023 (WS) – Updated Layout of Proposed Tong Hang Fresh Water Pumping Station, the applicant is required to provide the updated information about the geometry of the internal road, cycle track and footpath, including but not limited to the turning radii, width and headroom, for assessment.	Please refer to Attachment 2 for the replacement page for Figure 4.1 of the Supplementary Planning Statement (“SPS”) which has indicated the geometry of the internal road, cycle track and footpath and the elevation at Attachment 4 for the headroom of the internal road.
2.	Upon receipt of further information, the Transport Department may offer further comments on the application.	Noted.
C.	Comments from Landscape Unit, Urban Design & Landscape Section of Planning Department received from Planning Department on 27.01.2025: (Contact person: Ms. CHAN Wai Chu, Catrina, Tel no.: 3565 3953)	
1.	Annotation of existing tree T-0756 is missing on Appendix A1- Tree Survey Plan and Appendix A2 – Tree Group Survey viewing angle of photos of the Tree Preservation and Landscape Proposal.	Please refer to Attachment 3 for the replacement pages of the Tree Preservation and Landscape Proposal.
D.	Comments from Urban Design Unit, Urban Design & Landscape Section of Planning Department received from Planning Department on 06.02.2025: (Contact person: Ms. KO Oi Ching, Charlotte, Tel no.: 3565 3946)	
1.	Figure 4.2 – Artist Impression (1) – A major portion of the green area in between the proposed Electrical Building and Pump Building is outside the Site. Annotation of the site boundary on the figure may avoid misleading interpretation.	Please refer to Attachment 2 for the replacement page for Figure 4.2 of the SPS.
2.	Electrical Building – Section (Drawing No. IWS-GBP-EB-02 in Appendix 1) – With reference to Table 4.1, the BH of Electrical Building should be 5.41m instead of 5.11m.	Please be confirmed that the BH of Electrical Building is approx. 5.41m. The Architectural Drawings and Table 4.1 have been updated (Attachment 4 and Attachment 2 refers respectively).

Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land in Government Land at Tong Hang, Fanling (TPB REF: A/NE-LYT/842)

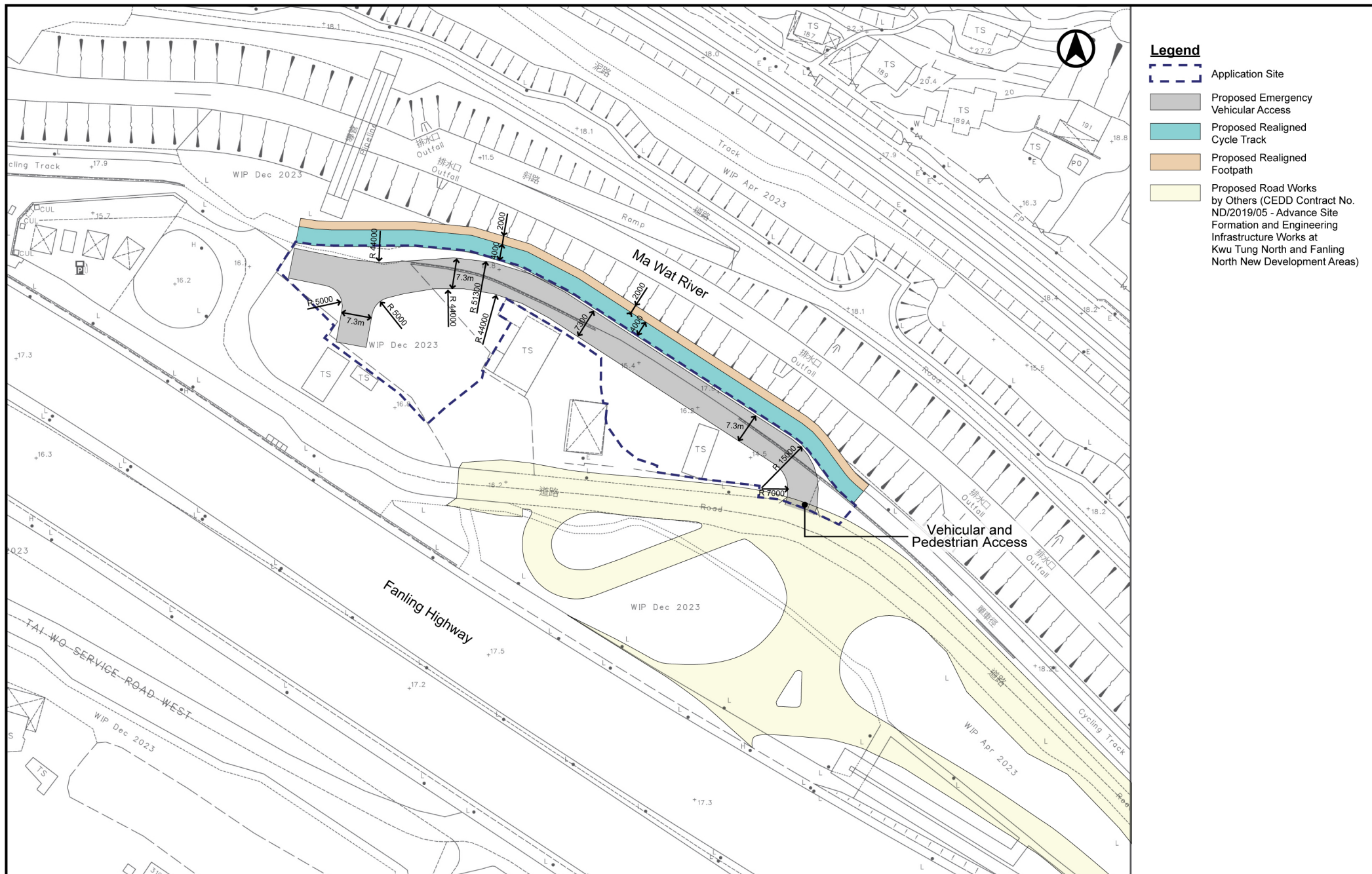
Responses to Comments Table

Comments/ Suggestions		Applicant/ Consultant's Responses
E.	Comments from Sha Tin, Tai Po and North District Planning Office of Planning Department received from Planning Department on 06.02.2025: (Contact person: Mr. NGAN Pak Lun, Peter, Tel no.: 2158 6094)	
1.	Please advise if there is any local consultation for the proposed development.	The proposed works were supported by Tai Po District Council on 8 January 2025 and North District Council on 3 February 2025.
2.	Please explore the opportunity of providing greenery elements on the façade or at the rooftop of the structures.	As the buildings house essential electrical plants that are crucial for the water supply, rooftop plantings is not proposed to minimise any potential seepage risks that could adversely affect these electrical plants. Nonetheless, sensitive façade treatment and/or aesthetic painting finishes will be adopted to add visual interest to the buildings. Please refer to Attachment 2 for the updated Artist Impressions. The exterior design of the buildings will be subject to further review at the detailed design stage with reference to WSD's operation, maintenance requirements and relevant design guidelines.
3.	Please advise if there is any interim re-routing arrangement during the construction phase of the footpath/cycling realignment works.	Please note that temporary traffic arrangement will be set up during the construction phase where cyclists will be advised to dismount and pass through Site. No interim re-routing arrangement will be proposed. The Applicant will nonetheless request the future contractor to prioritise the realignment of the cycle track to shorten the disruption period as far as practicable.
4.	Please advise if there is environmental nuisance for the proposed development.	The design had optimised the orientation of the louvres to minimise any potential noise impacts. As a result, no adverse environmental nuisances are expected.
5.	Please annotate the eight fell trees (including the undesirable species) with the application site (the Site) in the Tree Survey Plan at Appendix A1 of the Tree Preservation and Landscape Proposal. Besides, please advise the location the two fell trees outside the Site.	Please refer to Attachment 3 for replacement pages of the Tree Preservation and Landscape Proposal annotating the eight (8) fell trees within the Application Site. The two (2) fell trees that are affected by the mainlaying works outside the Application Site are located to the further west of the Site.

Date: February 2025
File Ref: WSD/WHS

Attachment 2

REPLACEMENT PAGES FOR
SUPPLEMENTARY PLANNING STATEMENT



WSD/WHS

FIGURE 4.1 REALIGNMENT PROPOSAL OF EXISTING FOOTPATH AND CYCLE TRACK
NOT TO SCALE

- 4.2.4 The technical and accommodation schedules of the Proposed FWPS are summarised in **Table 4.1** below.

Table 4.1 Technical and Accommodation Schedules

Technical Schedule*	Pump Building	Electrical Building
Site Area	Approx. 2,977.393m ²	
Gross Floor Area	440m ²	320m ²
Site Coverage	Approx. 27%	
No. of Storeys	1 storey (excluding 1 storey of basement)	1 storey
Building Height (at Main Roof Level)	Approx. 25.9mPD	Approx. 23.310mPD
Absolute Building Height	Approx. 8m	Approx. 5.410m
Accommodation Schedule		
B/F	Pump Motors	-
G/F	Pump Motors	Electrical Facilities

*Subject to further review at the detailed design stage.

4.3 Design Considerations and Landscape Proposal

- 4.3.1 With the intention to avoid resumption of private land, the Application Site is in a peculiar shape which is not feasible to accommodate one sizeable building block. In addition, the requirement of EVA further limits the developable area within the Site. In terms of building height, the Fanling Bypass above the Application Site requires vertical clearance of not less than 4m between the soffit of the viaduct and the building structures below for the purpose of inspection and maintenance of the Fanling Bypass in future. As a result, two separate building blocks are needed to accommodate the necessary pumping and electrical facilities. Since the Pump Building requires high headroom to install cranes and air conditioning for the operation and maintenance of the pumps, it is proposed at the eastern portion of the Site where there is no viaduct above. The electrical facilities are proposed to be accommodated in a separate building block to allow convenient ground level access to the transformer room for ease of maintenance. Multi-storey structure in close proximity to the viaduct of Fanling Bypass can be avoided.
- 4.3.2 To minimise the visual impact of the building structures to the nearby pedestrian and cyclist, vertical greening is proposed along the fence wall to minimise the visibility of the Proposed FWPS. Quality landscape will also be provided within the Site to not only fulfil the greenery coverage requirement but also soften the man-made structure. Evergreen species are selected to provide greening effects all-year-round. Materials with earth tone for hardscape are selected to keep the structure and proposed works as harmonious as possible with the surrounding environment. As demonstrated in the artists' impressions (**Figures 4.2** and **4.3** refer), the Proposed FWPS will not be incompatible with the surrounding rural setting and the impact to the streetscape would be minimised.

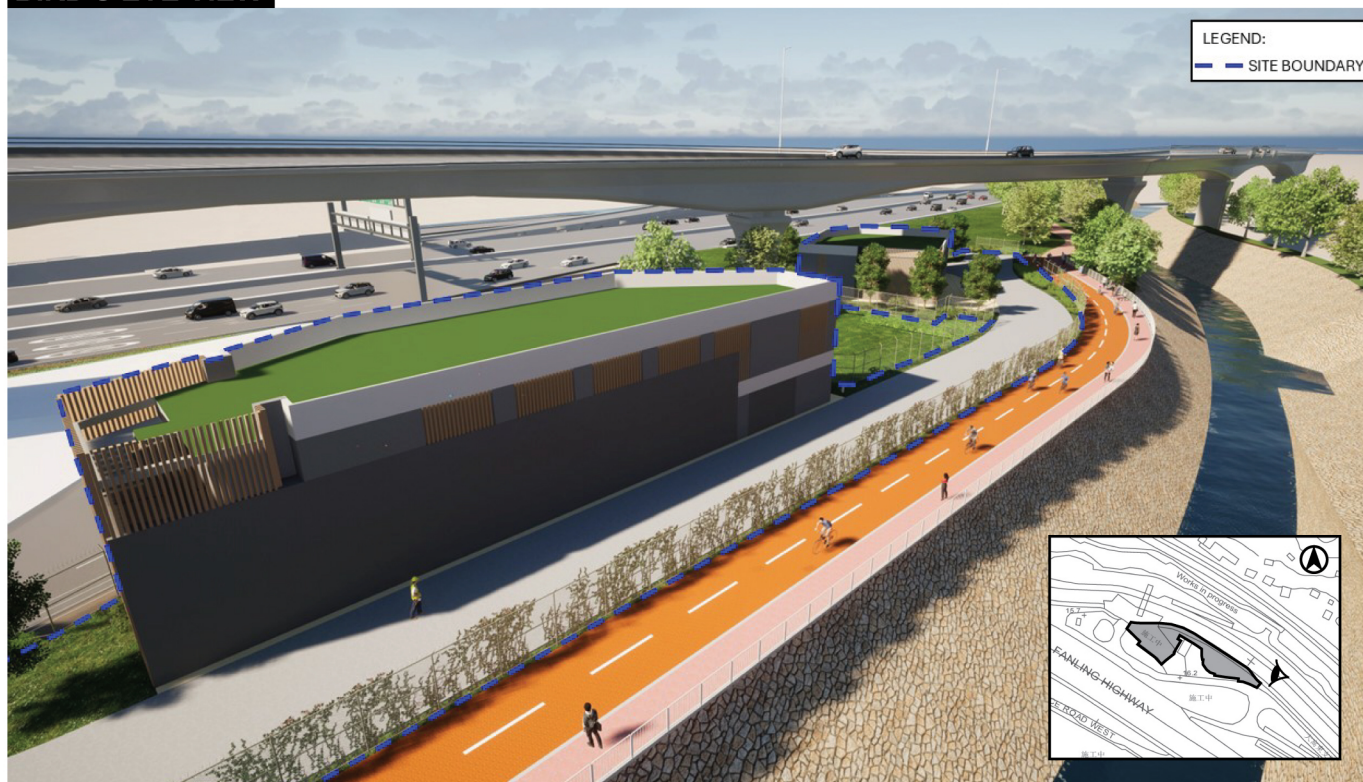
4.4 Development Programme

- 4.4.1 The construction of the Proposed FWPS is scheduled to commence in Q4 2025 and complete by Q3 2029 tentatively to tie in with the earliest anticipated date for population intake in Fanling North NDA in North District. Given the construction of the Fanling Bypass (Eastern Section) will be tentatively completed in 2025, there will be minimal interface issue between the construction of the Proposed FWPS and Fanling Bypass (Eastern Section). CEDD will also be consulted if there are any potential conflict with their works area.

BIRD'S EYE VIEW

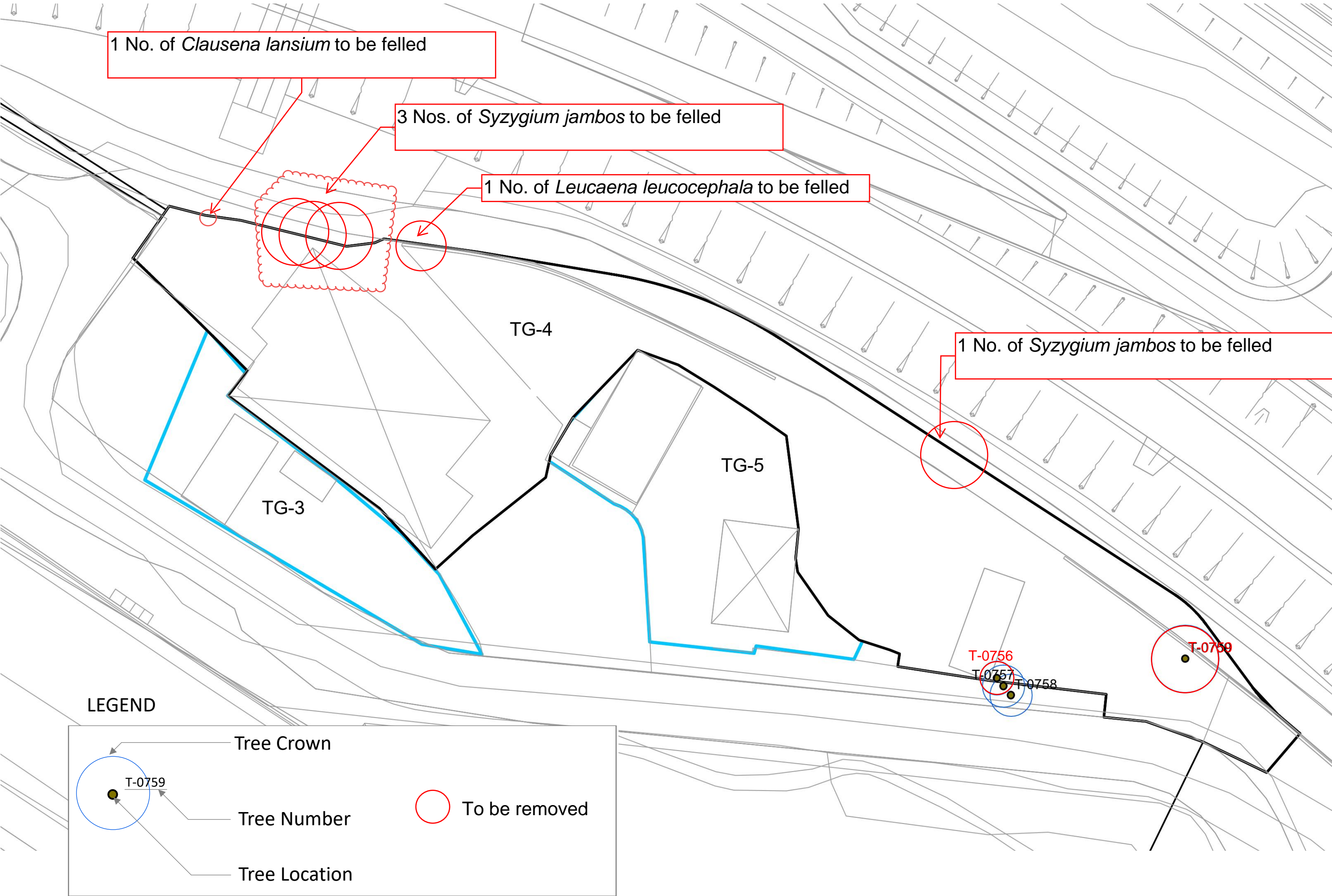


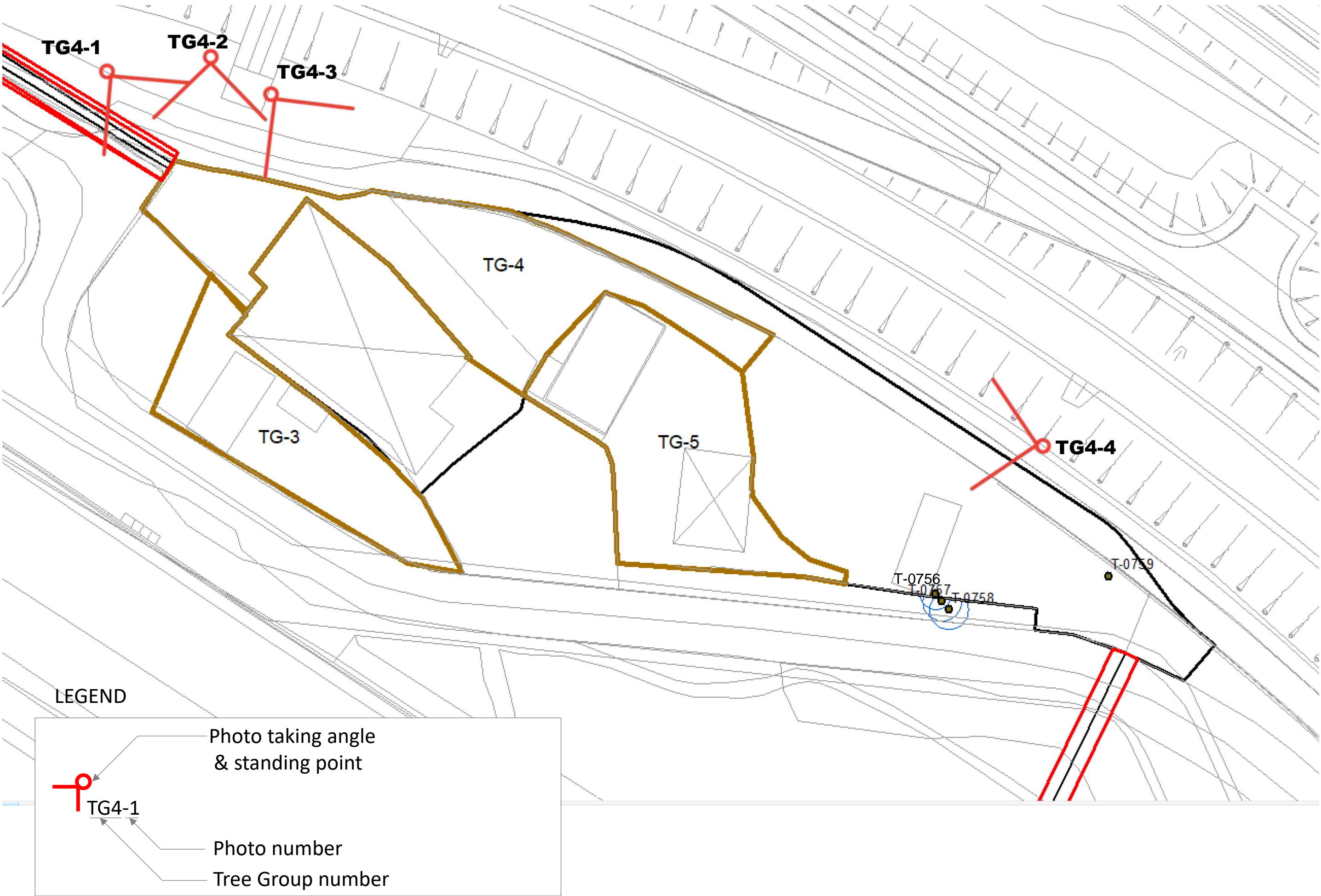
BIRD'S EYE VIEW



Attachment 3

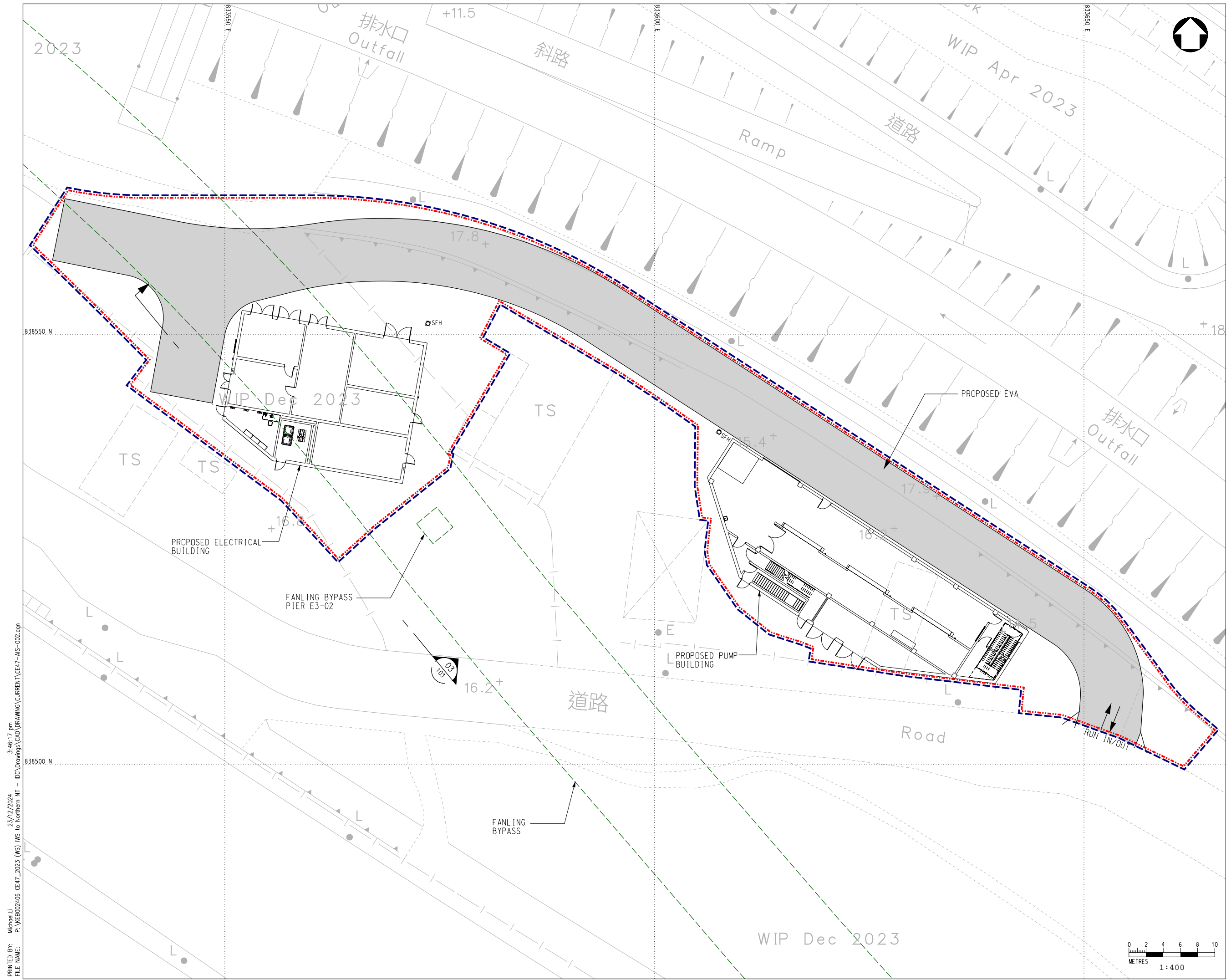
REPLACEMENT PAGES FOR TREE
PRESERVATION AND LANDSCAPE
PROPOSAL







Attachment 4

REPLACEMENT PAGES FOR APPENDIX 1 –
ARCHITECTURAL DRAWINGS



LEGENDS:

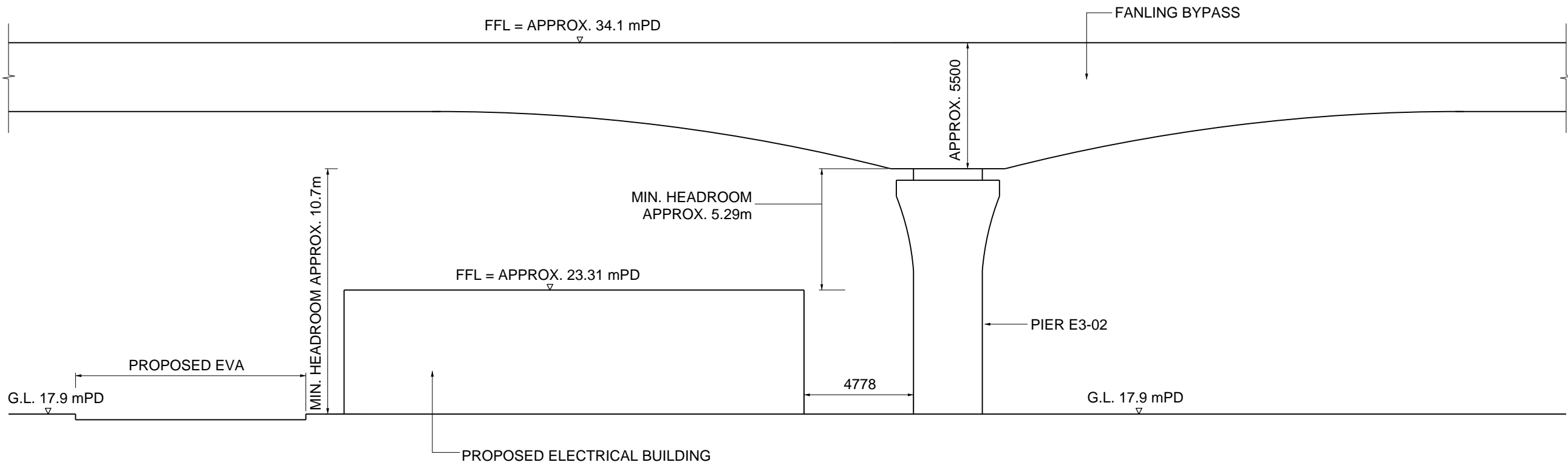
- PROPOSED FWPS SITE
- EXTENT OF EXCAVATION / FILLING OF LAND
- FANLING BYPASS STRUCTURE BY OTHERS
- PROPOSED EVA

Rev.	Date	Drawn	Description	Checked	Approved
Employer					
 水務署 Water Supplies Department					
Project					
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES - INVESTIGATION, DESIGN AND CONSTRUCTION					
Title					
MASTER LAYOUT PLAN					
Consultant					
					
Designed	RL	Checked	MK		
Drawn	CL	Approved	TKT		
Scale	A3	Status	Rev		
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Drawing No.					
CE47-AIS-002					
© Copyright reserved					



A3 297 x 420

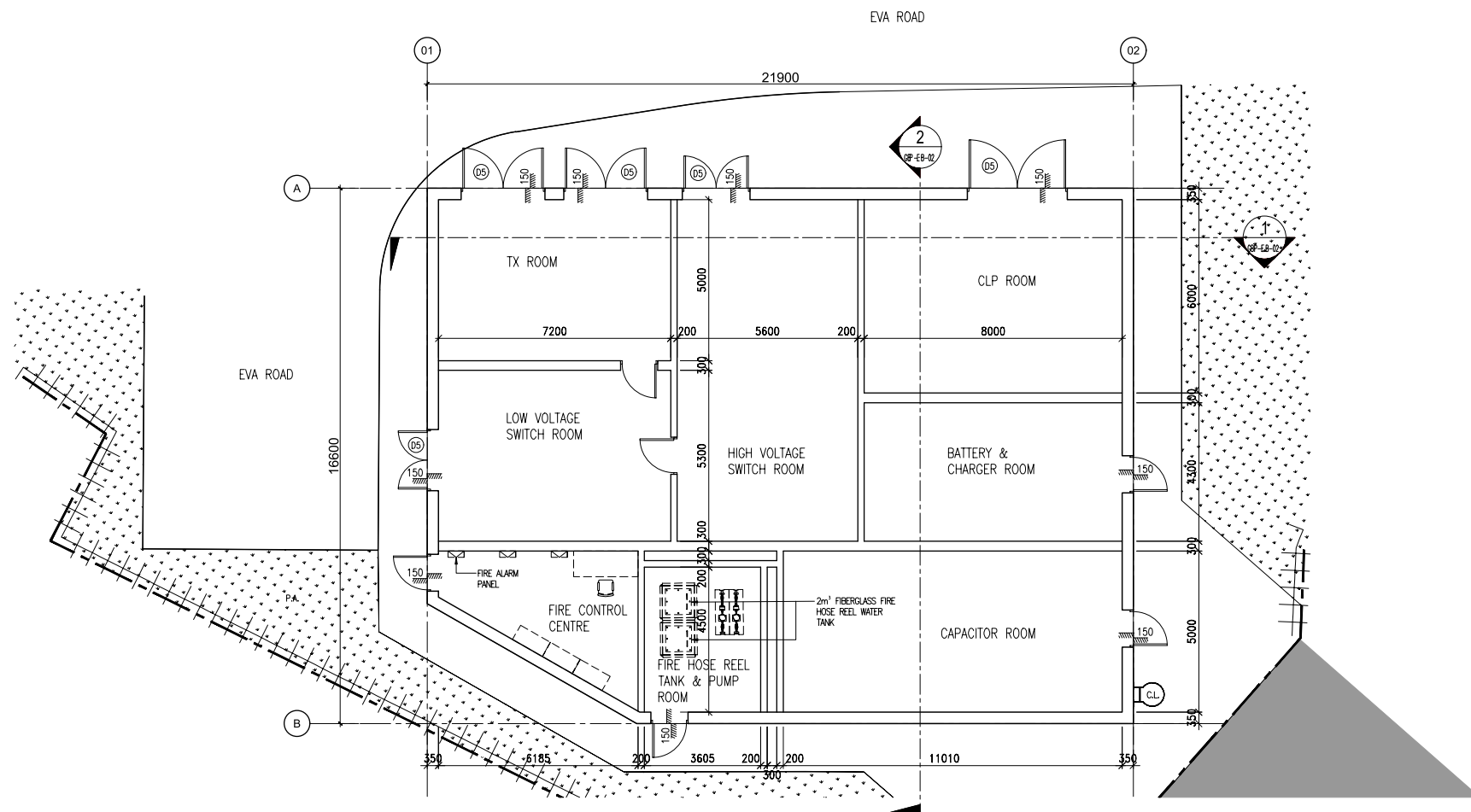
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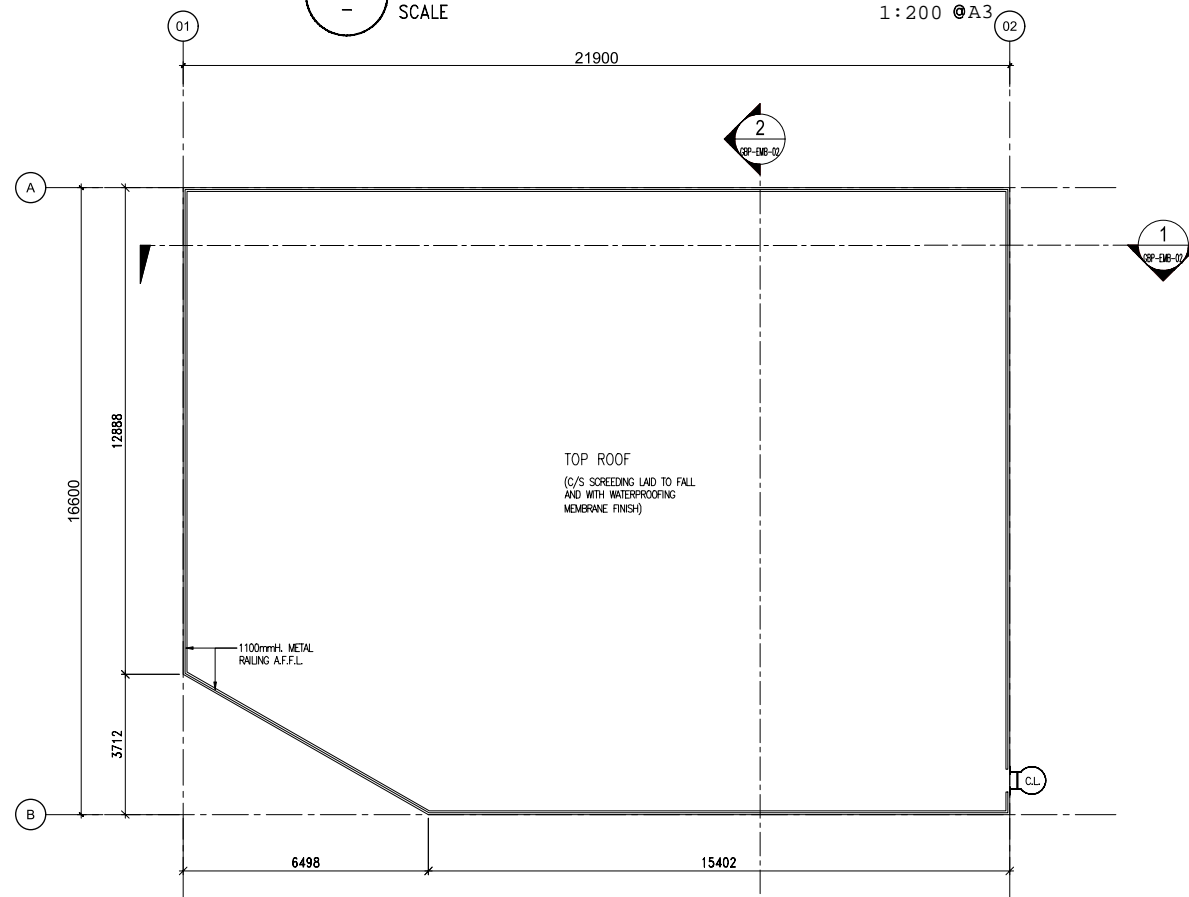


SECTION 03
SCALE 1 : 200 AIS-002

Rev.	Date	Drawn	Description	Checked	Approved
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<div><p>水務署 Water Supplies Department</p></div>					
Project					
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES - INVESTIGATION, DESIGN AND CONSTRUCTION					
Title					
ELECTRICAL BUILDING ELEVATION					
Consultant					
<div><p>asia infrastructure solutions</p></div>					
Designed		RL		Checked	MK
Drawn		CL		Approved	TKT
Scale		A3	Status		
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CE47-AIS-103					
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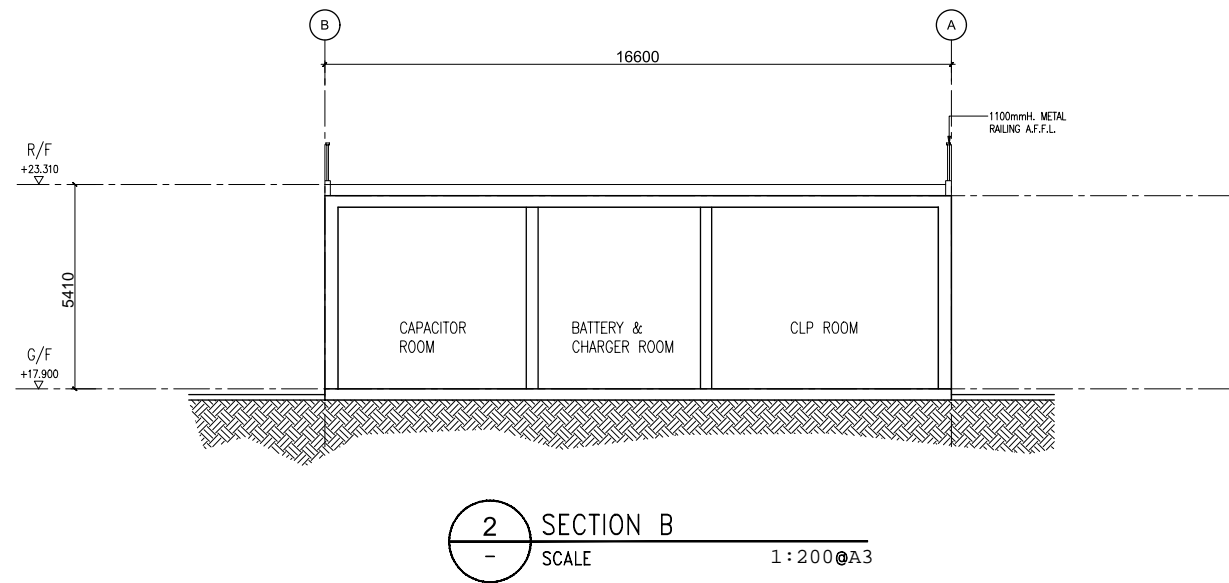
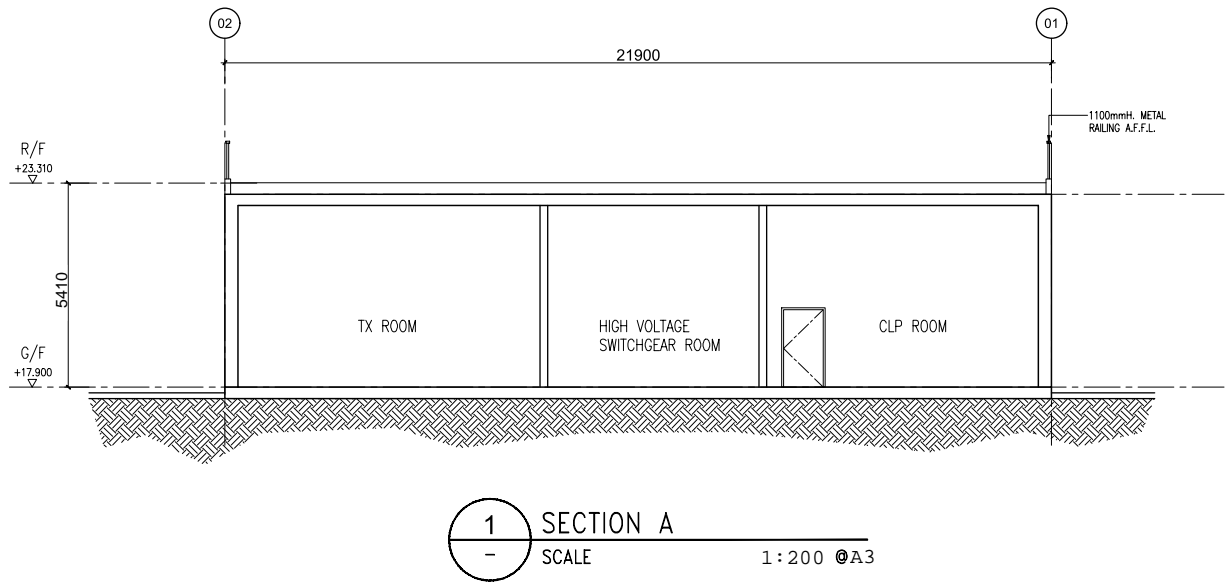
1 ELECTRICAL BUILDING GROUND FLOOR PLAN
SCALE 1:200 @ A3





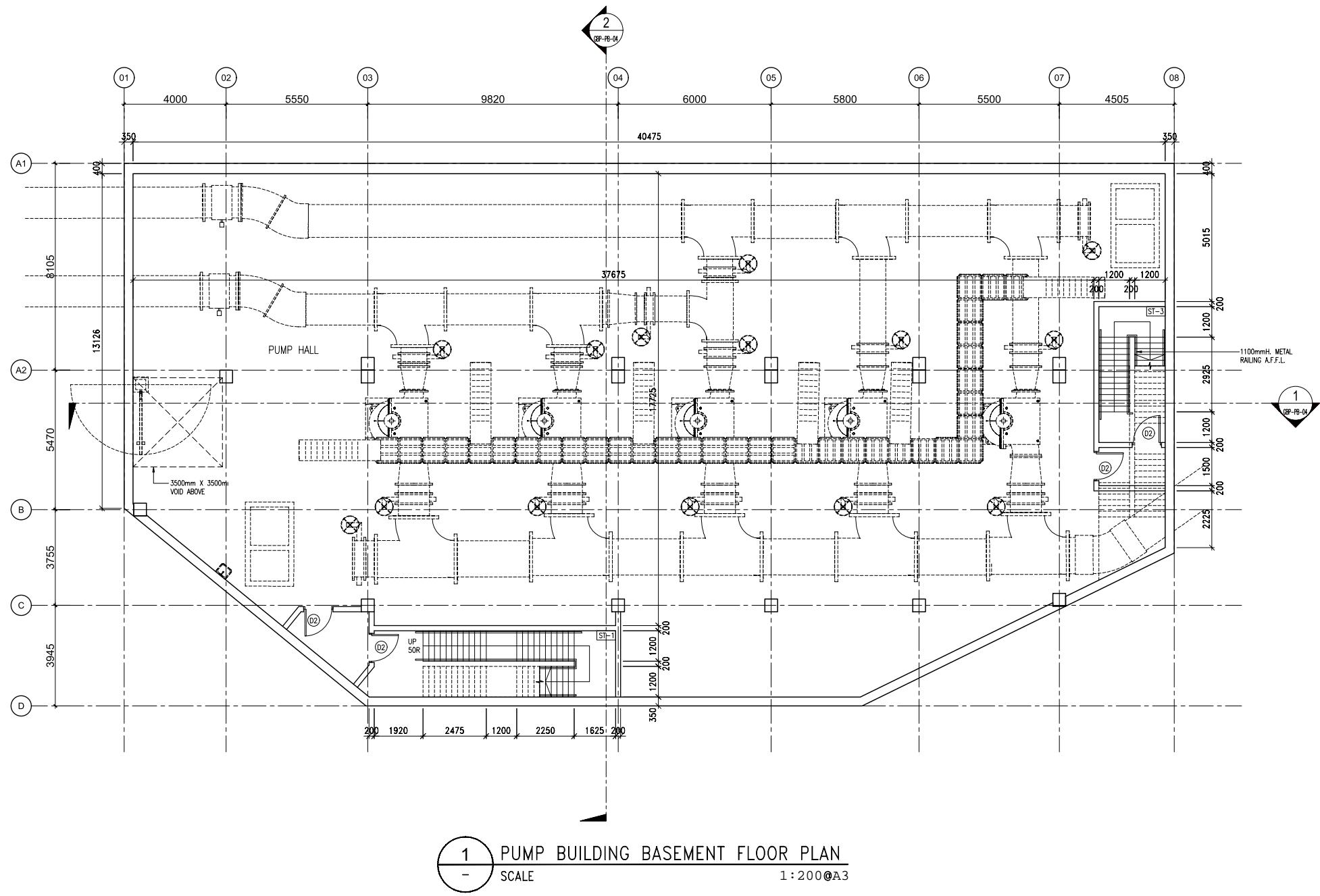
2 ELECTRICAL BUILDING ROOF PLAN
SCALE 1:200 @ A3





Rev.	XX/12/24	JL	FIRST SUBMISSION	Checked	Approved
Employer			 水務署 Water Supplies Department		
Project			AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES - INVESTIGATION, DESIGN AND CONSTRUCTION		
Title			ELECTRICAL BUILDING - PLANS		
Consultant					
Designed	—	Checked	KB		
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			© Copyright reserved		

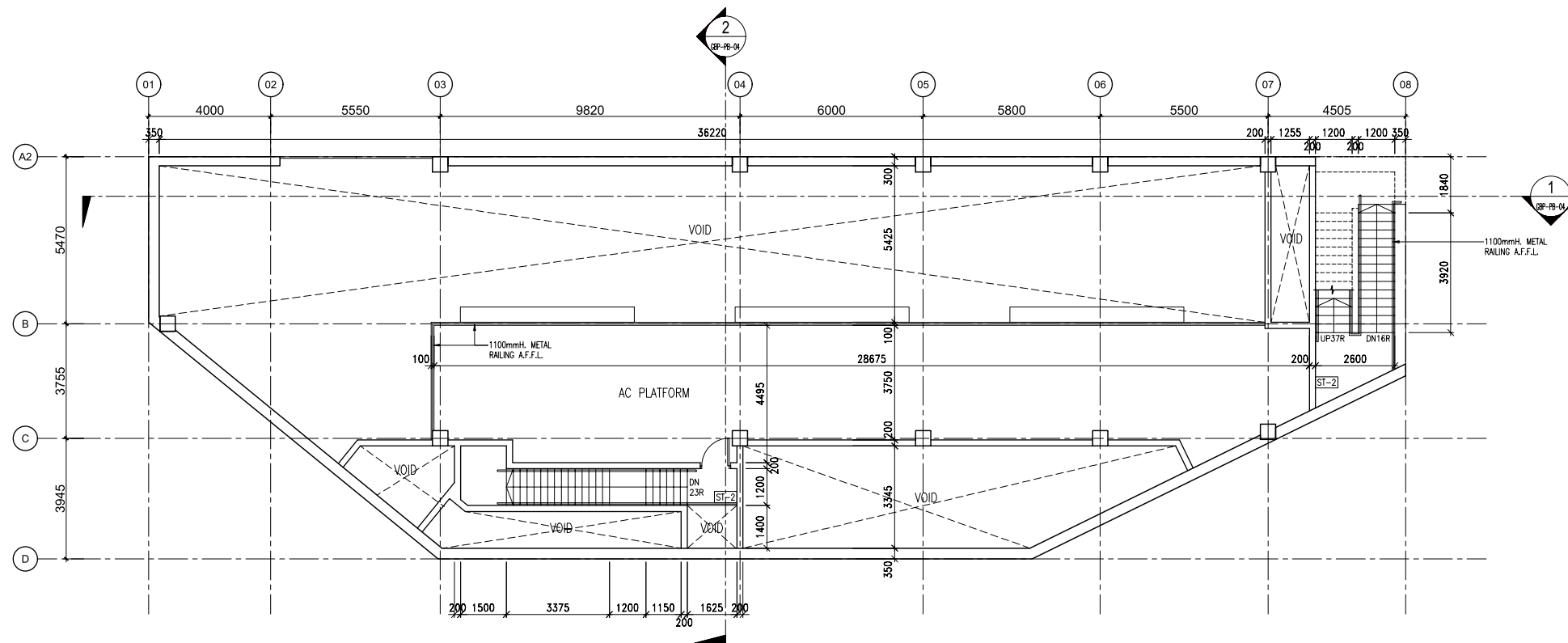


	XX/12/24	JL	FIRST SUBMISSION		
Rev.	Date	Drawn	Description	Checked	Approved
Employer					
<div></div> <div>水務署</div> <div>Water Supplies Department</div>					
Project					
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES – INVESTIGATION, DESIGN AND CONSTRUCTION					
Title					
ELECTRICAL BUILDING – SECTIONS					
Consultant					
<div><div></div><div>asia infrastructure solutions</div></div>					
Designed	—		Checked	KB	
Drawn	JL		Approved	KB	
Scale	A3	Status			Rev
1:200		DESIGN			—
Drawing No.					
IWS-GBP-EB-02					
© Copyright reserved					

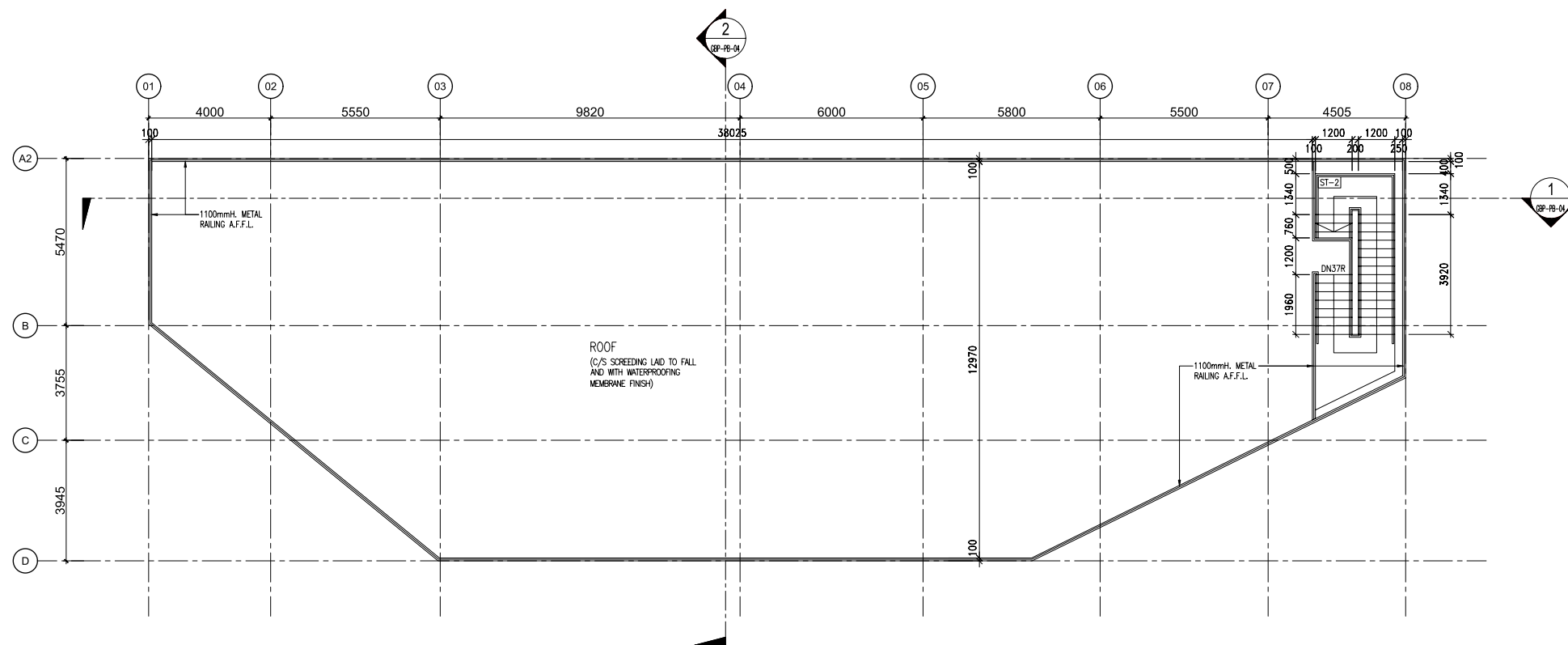


1 PUMP BUILDING BASEMENT FLOOR PLAN
SCALE 1:200 @ A3



Rev.	XX/12/24	JL	FIRST SUBMISSION		
Employer			<div><p>水務署 Water Supplies Department</p></div>		
Project					
AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES — INVESTIGATION, DESIGN AND CONSTRUCTION					
Title					
PUMP BUILDING – BASEMENT FLOOR PLAN					
Consultant					
<div><p>asia infrastructure solutions</p></div>					
Designed	—		Checked	KB	
Drawn	JL		Approved	KB	
Scale	A3	Status			Rev
1 : 200		DESIGN			—
Drawing No.					
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© Copyright reserved					

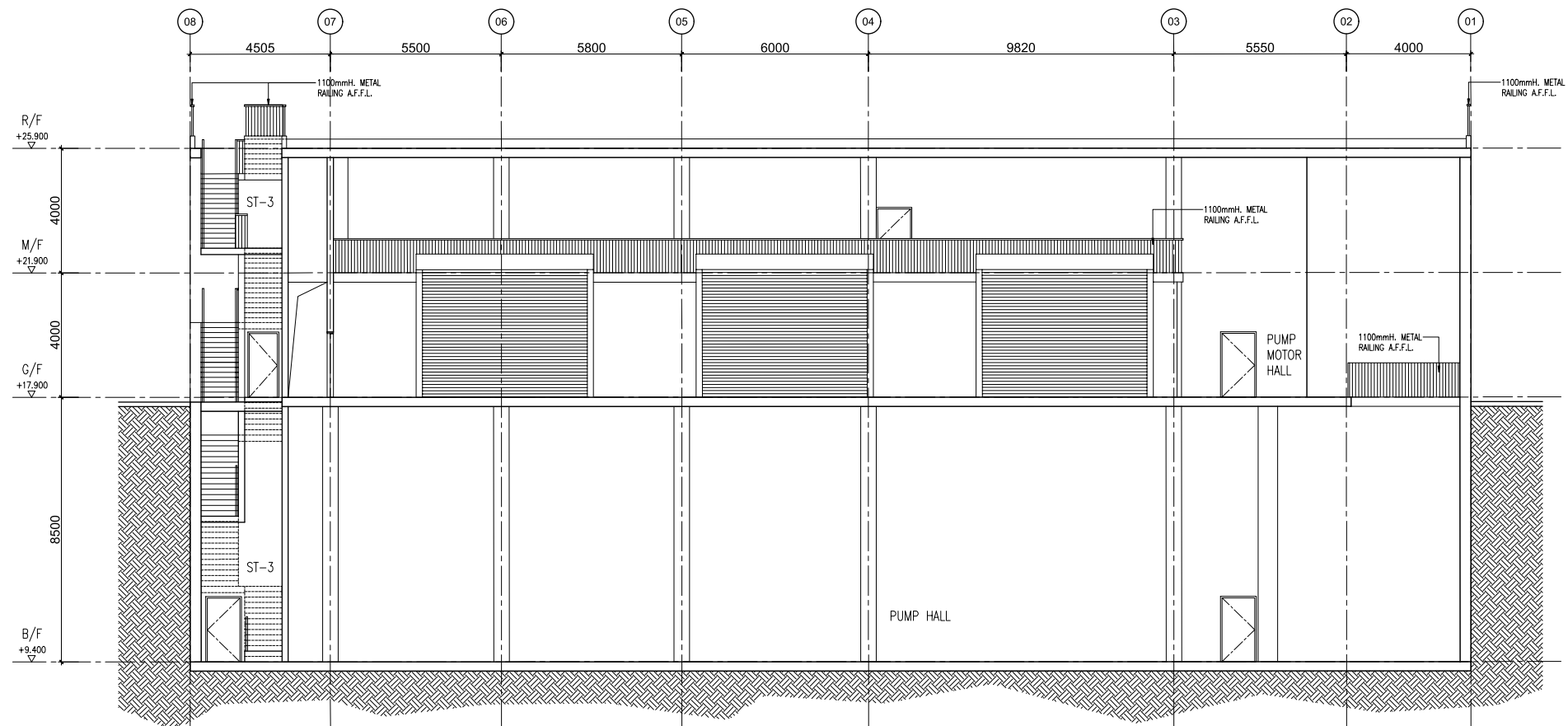


1 PUMP BUILDING MEZZANINE FLOOR PLAN
SCALE 1:200 @ A3

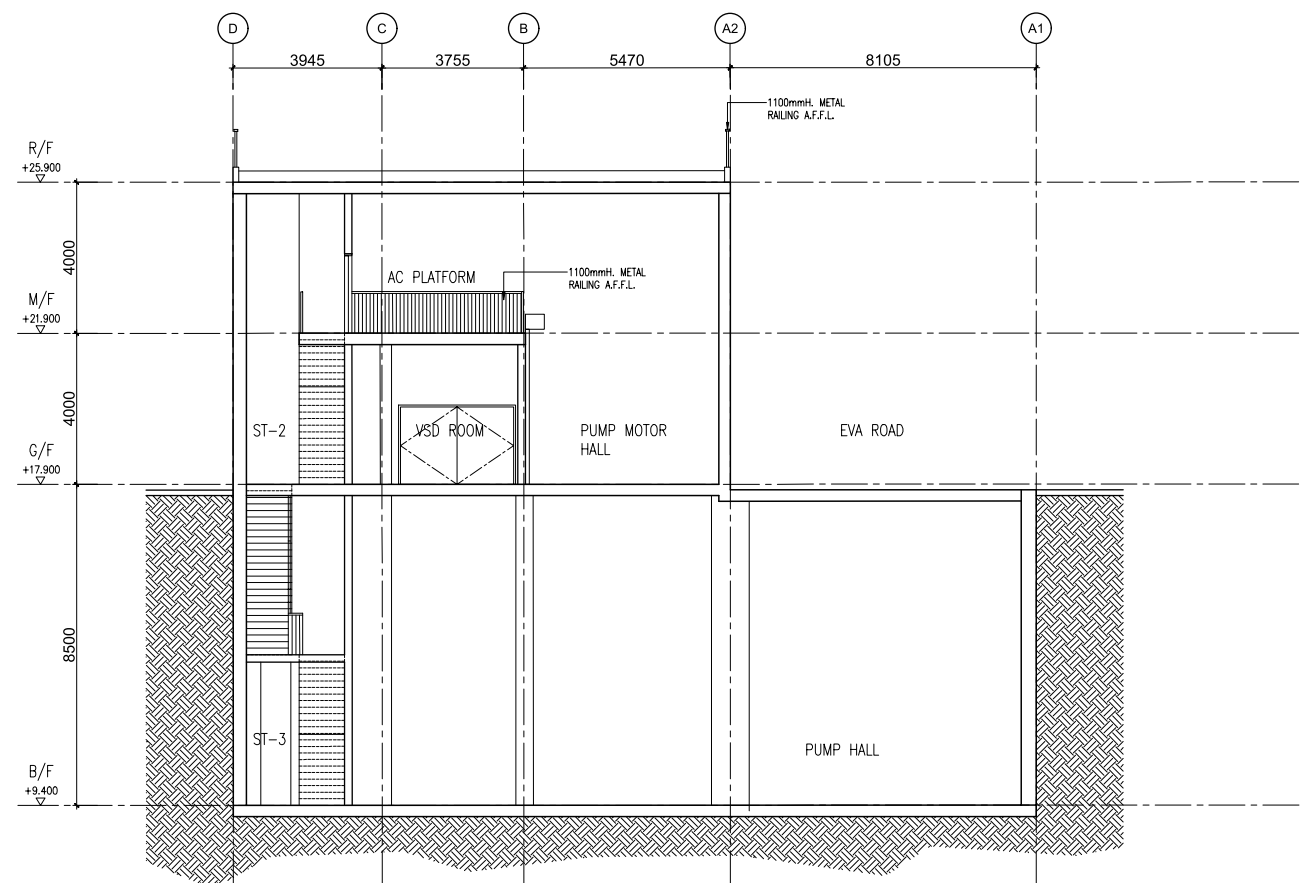


2 PUMP BUILDING ROOF PLAN
SCALE 1:200 @ A3

—	XX/12/24	JL	FIRST SUBMISSION		
Rev.	Date	Drawn	Description	Checked	Approved
Employer			<div><p>水務署 Water Supplies Department</p></div>		
Project			AGREEMENT NO. CE47/2023 (WS) IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES — INVESTIGATION, DESIGN AND CONSTRUCTION		
Title			PUMP BUILDING — MEZZANINE FLOOR AND ROOF PLAN		
Consultant			<div><p>asia infrastructure solutions</p></div>		
Designed	—		Checked	KB	
Drawn	JL		Approved	KB	
Scale	A3	Status			Rev
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Drawing No.					
IWS-GBP-PB-03					
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1 SECTION A
SCALE 1:200 @ A3



2 SECTION B
SCALE 1:200 @ A3

Rev.	Date	Drawn	Description	Checked	Approved
—	XX/12/24	JL	FIRST SUBMISSION		



Project

AGREEMENT NO. CE47/2023 (WS)
IMPROVEMENT OF WATER SUPPLY TO
NORTHERN NEW TERRITORIES
— INVESTIGATION, DESIGN AND
CONSTRUCTION

Title

PUMP BUILDING — SECTIONS



Designed	—	Checked	KB
Drawn	JL	Approved	KB
Scale	A3	Status	Rev
1:200	DESIGN		—

Drawing No.

IWS-GBP-PB-04

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Reference WSD/WHK/KELVINHC/05
Date 10 February 2025

By HAND and EMAIL

The Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices,
333 Java Road, North Point, HONG KONG

Dear Sir / Madam,

**SECTION 16 PLANNING APPLICATION
THE TOWN PLANNING ORDINANCE (CHAPTER 131)**

**PROPOSED PUBLIC UTILITY INSTALLATION (FRESH WATER PUMPING STATION)
WITH ASSOCIATED FILLING OF LAND IN GOVERNMENT LAND AT TONG HANG, FANLING
(TPB REF: A/NE-LYT/842)**

We write regarding the captioned Planning Application submitted to the Town Planning Board ("TPB") on 24 December 2024 and the Further Information (our ref: WSD/WHK/KELVINHC/04) dated 7 February 2025. Further to comments received from Transport Department ("TD") and the Public, please find our responses provided in the enclosed Responses-to-Comments ("R-to-C") table in **Attachment 1**. Supplementary diagrams in support of responses to TD's comments are enclosed in **Attachment 2**.

Please also find enclosed an updated Tree Survey Plan for the Tree Preservation and Landscape Proposal (**Attachment 3** refers) (superseding that submitted under our letter dated 7 February 2025 (Our Ref: WSD/WHK/KELVINHC/04) and an updated supplementary figure provided under our letter dated 6 January 2025 (Our Ref: WSD/WHK/KELVINHC/03) (**Attachment 4** refers).

Please note that these responses are clarifications only and there are no changes to the S16 Planning Application. Should there be any queries, please do not hesitate to contact the undersigned or Mr Eric Chan or Mr Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED


Vincent Lau
Associate Director

VIN/ERIC/KELVINHC/yv

Enc Attachment 1: R-to-C table
Attachment 2: Supplementary figures – illustration of visibility at bends
Attachment 2: Updated Tree Survey Plan
Attachment 3: Updated supplementary figure - spatial relationship illustration

cc Client / Team

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市
規
劃
顧
問

ASSOCIATED COMPANIES :

TOWNLAND CONSULTANTS (INTERNATIONAL) LIMITED (International)

TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)

TOWNLAND CONSULTANTS PVT. LIMITED (India)

PT TOWNLAND INTERNATIONAL (Indonesia)

HOWARD & SEDDON PARTNERSHIP (United Kingdom)



ISO 9001:2015
Certificate No.: CC844

Attachment 1

	RESPONSES-TO-COMMENTS TABLE
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Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land in Government Land at Tong Hang, Fanling (TPB REF: A/NE-LYT/842)

Responses to Comments Table

Comments/ Suggestions		Applicant/ Consultant's Responses
A.	Comments from Transport Department received from Planning Department on 07.02.2025: (Contact person: Mr. LAM To Lun, Jeffrey, Tel no.: 2399 2549)	
1.	Please advise the sight lines at bends on the proposed realigned cycle track, the proposed realigned footpath and the proposed internal road. Please also advise their gradients.	<p>The visibility of the proposed realigned cycle track at bends is around 17m to 23m as presented in Attachment 2 – SK1, which complies with TPDM's standards (i.e. minimum 15m visibility).</p> <p>For the proposed realigned footpath, taking into considerations that there is no specific sightline requirement for footpath at bends as required by TPDM and there would be no physical obstruction around the above footpath section, pedestrians would be able to see each other on footpath at bends and there shall be no sight line issue after realignment.</p> <p>The visibility of the proposed internal road at bends is around 32m to 48m as shown in Attachment 2 - SK2. Taking into consideration the speed limit of the internal road is around 8km/hr (i.e. much lower speed than other public roads of which the visibility requirement is 50m for 50km/hr), it is thus considered acceptable.</p> <p>The gradient of the footpath, cycle track and the internal road would be designed to comply with TPDM's standard and match with the existing / future finishes level of the surrounding during detailed design stage.</p>
B.	Public Comments:	
	Three (3) public comments were received during the formal publication period of the S16 Planning Application. Two (2) of them have no comments on the S16 Planning Application and the remaining comment is summarised below:	
1.	The layout design should minimise the requirement of an extensive EVA.	Please be advised that the design layout of the Proposed Development is limited by specific site constraints. The use of nearby roads as potential EVA for the Site has been explored. Nevertheless, the nearby roads do not comply with relevant fire services requirements and hence the EVA is required to be designed and constructed in a way to comply with the minimum fire services requirements and guidelines.
2.	No parking spaces are provided within the Site.	Please be noted that no parking spaces will be provided within the Site. The EVA has been designed and reserved for the access and manoeuvring of engineering vehicles.

Proposed Public Utility Installation (Fresh Water Pumping Station) and Associated Filling of Land in Government Land at Tong Hang, Fanling (TPB REF: A/NE-LYT/842)

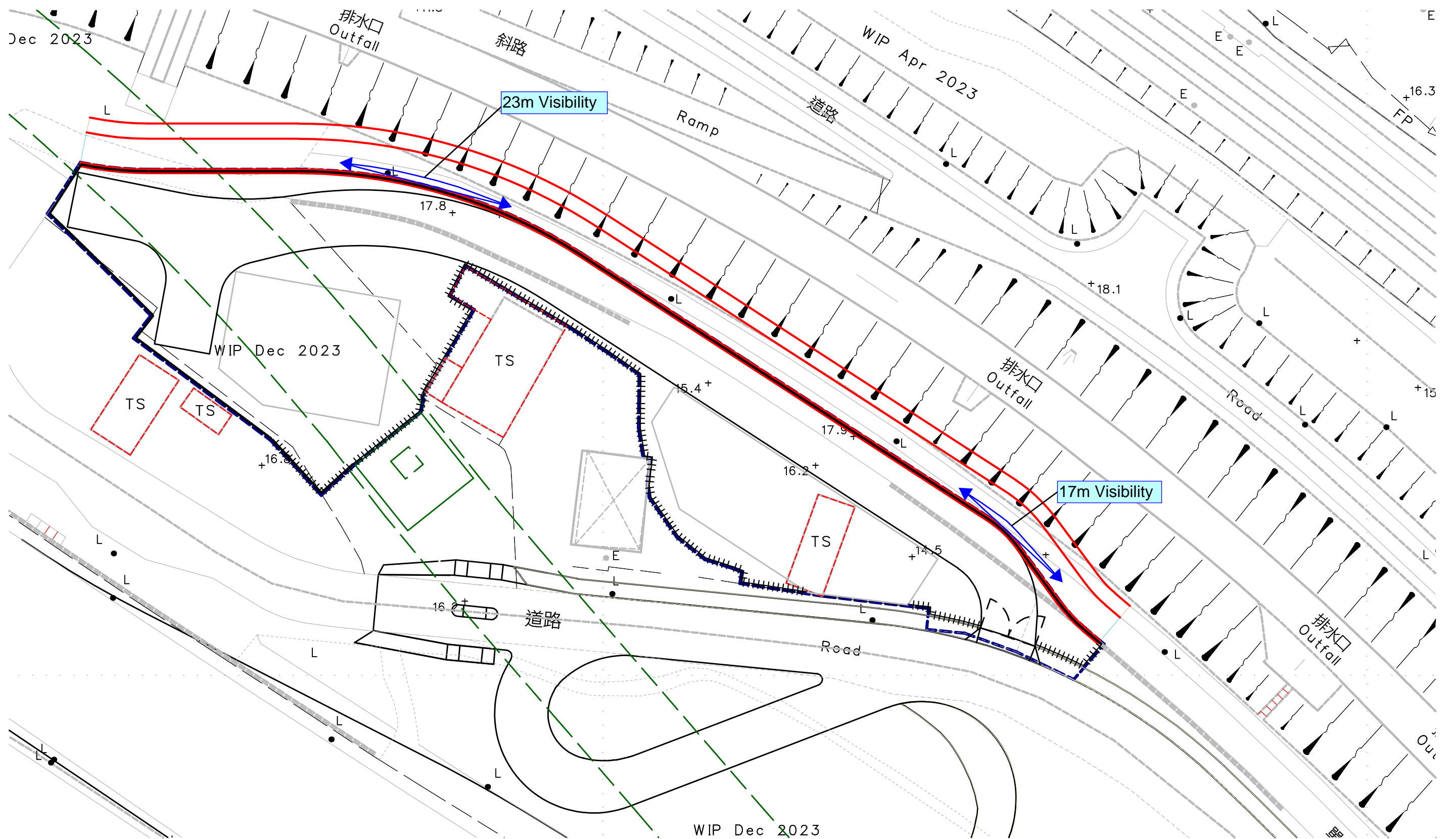
Responses to Comments Table

Comments/ Suggestions		Applicant/ Consultant's Responses
3.	The Applicant should explore the installation of solar panels at the rooftop and vertical greening at the façade of the buildings.	<p><u>Solar Panel:</u></p> <p>The installation of solar panels for the Proposed Development is not feasible due to the Site's close proximity to the Fanling Bypass. The effectiveness of solar panels may be limited and may also result in glare to traffic.</p> <p><u>Vertical Greening:</u></p> <p>The Proposed Development contain gates and louvre openings that limit the growth of vertical greenings at the façade of the building, as such, vertical greening has been proposed at the continuous fencings instead.</p>
4.	Local tree species should be proposed to compensate the felled trees.	<p>The species of <i>Garcinia subelliptica</i> is proposed with the considerations listed below:</p> <ol style="list-style-type: none"> 1. Evergreen to provide year-round greening effect; 2. Tolerance to roadside pollution and wind makes <i>Garcinia subelliptica</i> suitable for planting next to the Fanling bypass and close adjacent to the pump building with numbers of ventilation louvers; 3. The species selected is also tolerance to shade, which can cater the shading cast by the Fanling Bypass; 4. The ornamental character could also provide visual interest as the project site's northern periphery is close to the future public pedestrian walkway and cycle path; 5. Listed in the recommended tree list for North District GMP based on "Street Tree Selection Guide", matching the North District's overall planting character; and <p>The site also has limited on grade planting area.</p>

Date: February 2025
File Ref: WSD/WHS

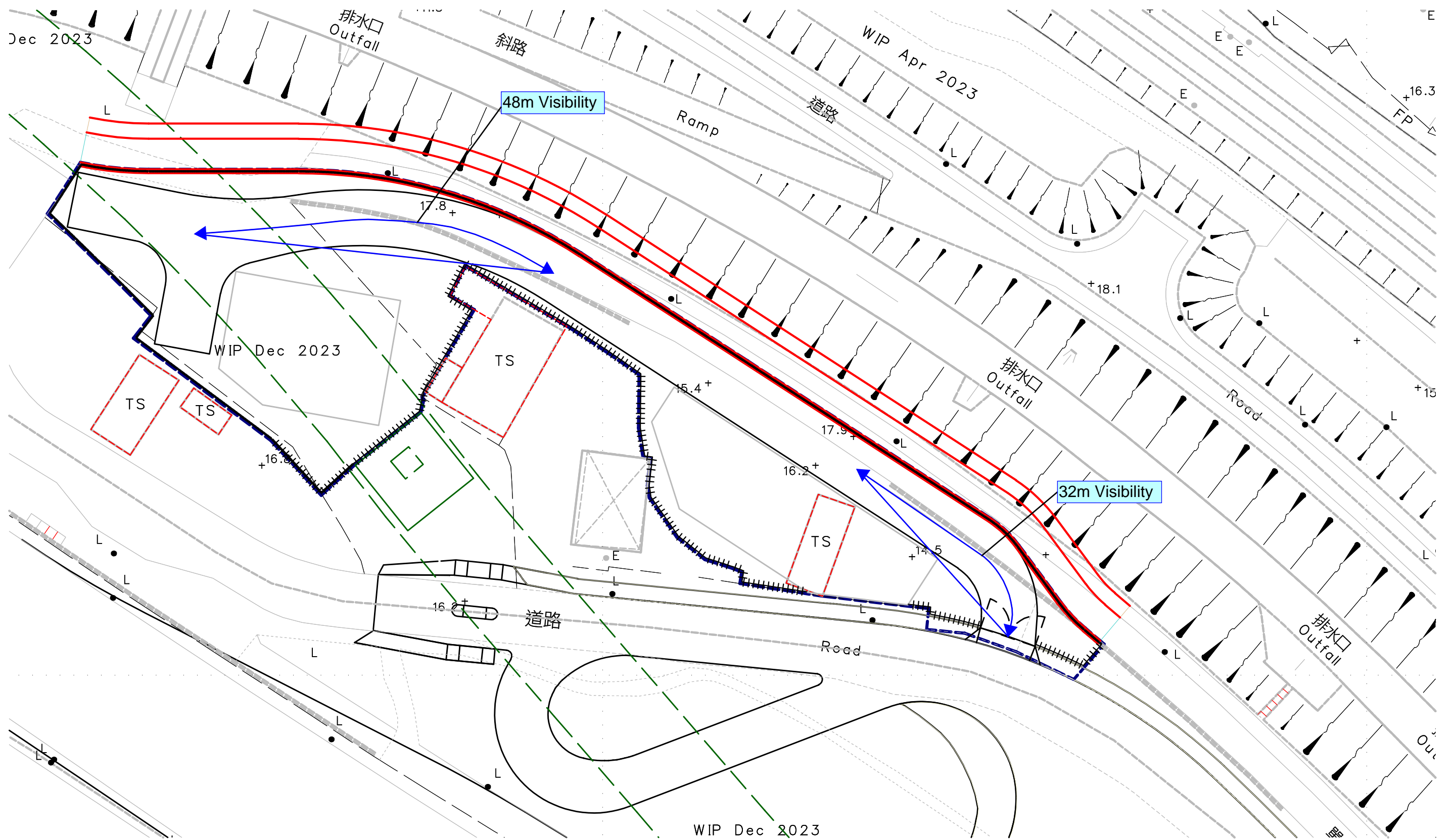
Attachment 2

SUPPLEMENTARY FIGURES –
ILLUSTRATION OF VISIBILITY AT BENDS



SK1 - Visibility of the Proposed Re-aligned Cycle Track at Bends

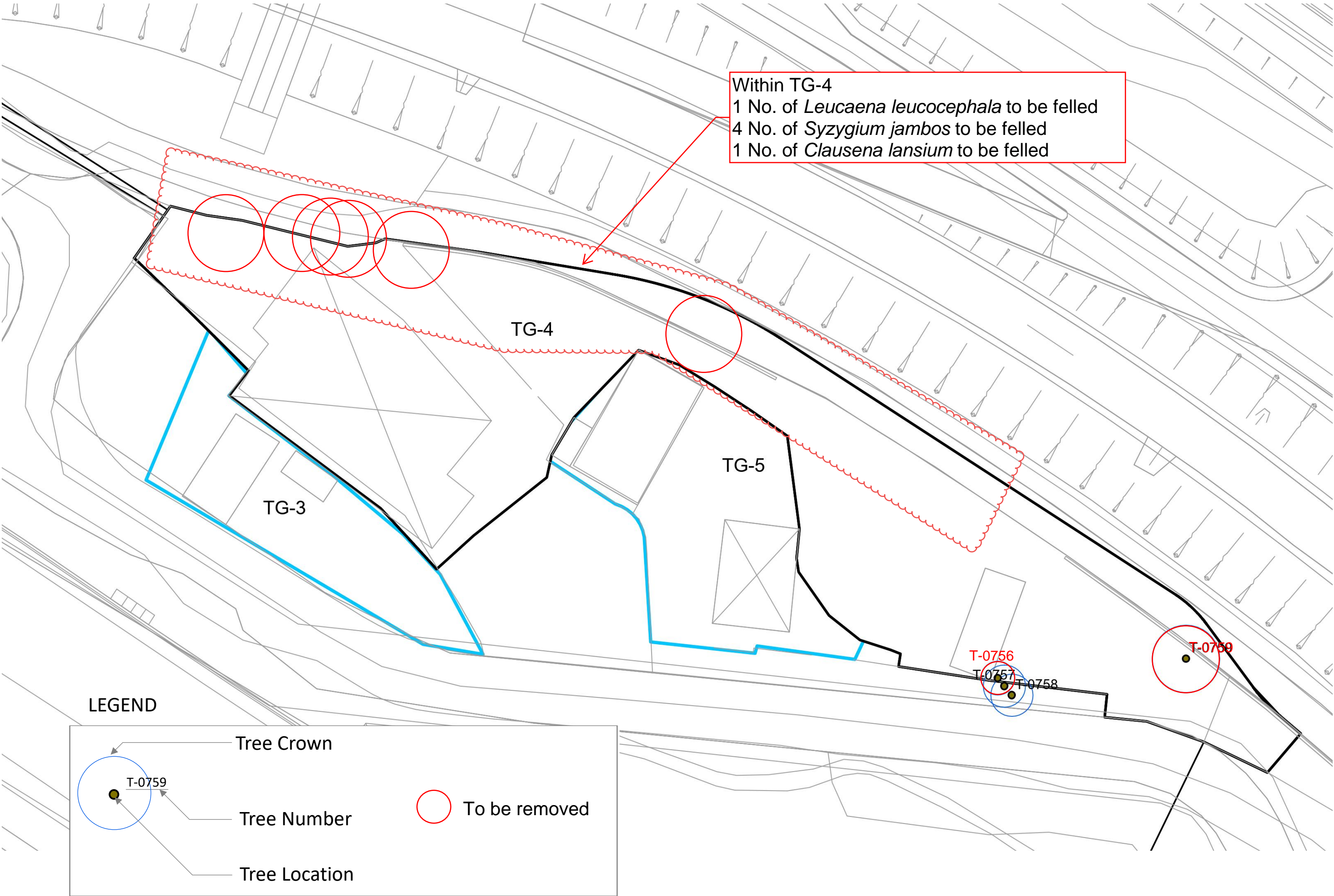
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SK2 - Visibility of the Proposed Internal Road at Bends

Attachment 3

UPDATED TREE SURVEY PLAN



Attachment 4

UPDATED SUPPLEMENTARY FIGURE –
SPATIAL RELATIONSHIP ILLUSTRATION



SHENZHEN

↑

KEY PLAN

SCALE 1:200,000

LEGEND:

Water Supply from Tai Po Water Treatment Works to Tong Hang Fresh Water Pumping Station

Water Supply from Tong Hang Fresh Water Pumping Station to Secondary Fresh Water Service Reservoirs

-	DEC 2024	CL	FIRST ISSUE	MK	TKT
Rev.	Date	Drawn	Description	Checked	Approved
Employer			 水務署 Water Supplies Department		
Project			CONTRACT NO. 6/WS/25 IMPROVEMENT OF WATER SUPPLY TO NORTHERN NEW TERRITORIES		
Title			PROPOSED WATER SUPPLY SCHEMATIC		
Consultant					
Designed	RL	Checked	MK		
Drawn	CL	Approved	TKT		
Scale	A1	Status	Rev		
1 : 20000	DESIGN DRAWING				-
Drawing No.			-		
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16/12/2024

Previous s.16 Applications

Approved Applications

Application No.	Uses/ Development	Date of Consideration
A/NE-LYT/197	Proposed Petrol and Liquefied Petroleum Gas Filling Station	17.3.2000
A/NE-LYT/220	Proposed Petrol and Liquefied Petroleum Gas Filling Station	4.5.2001

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/North, the Lands Department (DLO/N, LandsD) that:
 - (i) the Site comprises (1) Government Land (GL) allocated to the Civil Engineering and Development Department (CEDD) under Simplified Temporary Land Allocation (STLA) TDN No. 4207 for site formation and infrastructural works for the Public Works Project (PWP) Item No. 7747CL – Advance Site Formation and Engineering Infrastructure Works at Fanling North New Development Area and Fanling Bypass Eastern Section; (2) GL allocated to the Water Supplies Department (WSD) under STLA No. STLA-TTP 250 for site investigation works at Tong Hang for PWP No. 9377WF Improvement of Water Supply to Northern New Territories – Tai Po Station; (3) a section of existing cycling track and public footpath; and (4) unleased and unallocated GL;
 - (ii) the area of the Site has not been verified and will be subject to detailed site survey. CEDD, Transport Department (TD), Highways Department (HyD) should be consulted on the interfacing issues on the interfacing issue on the modification works on the cycle track and public footpath;
 - (iii) no restriction of gross floor area (GFA) and site coverage of the proposed fresh water pumping station shall be imposed under the Permanent Government Land Allocation (PGLA) upon application from the applicant; and
 - (iv) the applicant should submit to this office a PGLA application of the Site for implementing the proposed fresh water pumping station which will be subject to such terms and conditions as considered appropriate (if approved);
- (b) to note the comments of the Chief Highways Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
 - (i) the proposed access arrangement should be subject to TD's review and approval;
 - (ii) the run-in/out should be designed and constructed in accordance with the prevailing HyD Standard Drawings to the satisfaction of HyD;
 - (iii) the realignment proposed of the existing cycle track and footpath should be subject to TD's comment and approval;
 - (iv) subject to TD taking over the management responsibility, his office should only take over roadworks and the associated street furniture and structures for maintenance, provided that they are designed and constructed to the satisfaction of TD and HyD pursuant to the prevailing Transport Planning and Design Manual and HyD standards. The applicant is reminded to submit detailed engineering drawings, M&M matrix, etc. to TD and HyD for comment;
 - (v) if the usage of the land underneath the concerned flyover/footbridge poses a hazard to the flyover/footbridge in respect of vehicular impact, adequate protective measures to the abutments and columns shall be provided by the applicant. HyD Standard Drawings No. H2128 and H2129C using untensioned corrugated beam barriers for protection of columns shall be followed. Additional protective measures may be required for parking of lorries and container trucks; and

- (vi) 4m of clearance below soffit and 2m of clearance around columns and abutments shall be made available at all times for the purpose of inspection and maintenance of the concerned flyover/footbridge;
- (c) to note the comments of the Director of Environmental Protection that the applicant is reminded to strictly comply with relevant pollution control ordinances, follow appropriate mitigation measures as set out in the Recommended Pollution Control Clauses for Construction Contracts and ProPECC PN 2/24 “Construction Site Drainage” to minimise any potential environmental impacts during construction stage;
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - (i) detailed method statement should be prepared for the necessary temporary diversion or supporting, etc.;
 - (ii) detailed design should be provided for the proposed new drainage system within the pumping station and justification of demolition of the existing drainage facilities; and
 - (iii) schematic drawings of the realigned footpath and cycle track in cantilevered form, in particular its spatial relation with Ma Wat River shall be provided;
- (e) to note the comments of the Director of Fire Services (D of FS) that detailed fire services requirements will be formulated upon receipt of a formal submission of PGLA. Furthermore, the emergency vehicular access provision in the captioned work shall comply with the requirements as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by the Building Authority;
- (f) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that the applicant should be advised that approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works;
- (g) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
 - (i) no Food and Environmental Hygiene Department’s (FEHD) facilities and their operation will be affected;
 - (ii) if provision of cleansing service for new roads, streets, cycle tracks, footpaths, paved areas etc, is required, FEHD should be separately consulted. Prior consent from FEHD must be obtained and sufficient amount of recurrent cost must be provided; and
 - (iii) the proposed work and operation should generate no environmental nuisance to the surroundings. Its state should not be a nuisance or injurious or dangerous to health and surrounding environment. For any waste generated from the such activity/operation, the applicant should arrange disposal properly at his own expenses; and
- (h) to note the comments of the Electrical and Mechanical Services Department (DEMS) that:
 - (i) there are high pressure (HP) and intermediate pressure (IP) town gas pipelines running

along Fanling Highway in the vicinity of the Site;

- (ii) the applicant should liaise with The Hong Kong and China Gas Company Limited in respect of the exact locations of existing and planned gas pipes/gas installations in the vicinity to the Site and any required minimum set back distance away from them during the planning, design and construction stages of the proposed development; and
- (iii) the applicant is required to observe the Electrical and Mechanical Services Department's requirements on the "Avoidance of Damage to Gas Pipes 2nd Edition" for reference. The document can be downloaded from the following link:
[https://www.emsd.gov.hk/filemanager/en/content_286/CoP_gas_pipes_2nd_\(Eng\).pdf](https://www.emsd.gov.hk/filemanager/en/content_286/CoP_gas_pipes_2nd_(Eng).pdf).

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-LYT/842

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

「提意見人」姓名/名稱 Name of person/company making this comment

侯志強議員

簽署 Signature



日期 Date

2025.1.9

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

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A/NE-LYT/842

意見詳情 (如有需要，請另頁說明)

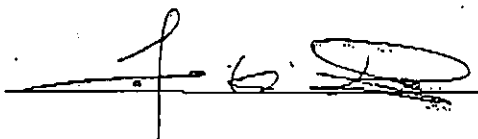
Details of the Comment (use separate sheet if necessary)

沒有意見

「提意見人」姓名/名稱 Name of person/company making this comment

葉奕成

簽署 Signature



日期 Date

20-1-2005

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From:
Sent: 2025-01-26 星期日 03:27:36
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/NE-LYT/842 Tai Wo Service Road East WSD

A/NE-LYT/842 WSD

Government Land at Tai Wo Service Road East, Tong Hang, Fanling

Site area: About 2,977.393sq.m

Zoning: "Other Specified Uses" annotated "Amenity Area" and "Petrol Filling Station" and "Agriculture"

Applied use/ development: Fresh Water Pumping Station / ??? Vehicle Parking / **Filling of Land**

Dear TPB Members,

While the application is a mere formality perhaps members could question:

Why so much asphalt, half the site. No parking mentioned. The building to the left should be designed in a way that does not require the additional EVA. The road does not appear to be a through road?

Rooftops, why no solar panels? And as the building is windowless why no creeping plants on the exterior like the Tai Hang Tung Stormwater Storage Tank

Why *Garcinia subelliptica*? This is an ornamental tree, is not indigenous and grows to only about 2mts. As the trees are not planted on the roof top but beside the buildings there should be no problem with providing room for the roots to expand.

The excuse for chopping down trees is often that they are invasive, and then they are replaced with another non local variety.

Questions please.

Mary Mulvihill