

2021年 8月 3 日

APPENDIX I

此文件在 收到・城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

31 AUG 2021

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of
Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal
of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年
的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a '✓' at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE - TKL/688
	Date Received 收到日期	31 AUG 2021

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

長城機械工程有限公司 Cheung Shing Machinery Engineering Co. Ltd

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	新界粉嶺軍地北村第 76 約地段第 2195 號餘段(部份) 和毗鄰政府土地
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 709.14 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 448.74 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... 89 sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	坪輦及打鼓嶺分區計劃大綱核准圖編號 S/NE-TKL/14
(e) Land use zone(s) involved 涉及的土地用途地帶	「露天貯物」及「道路」
(f) Current use(s) 現時用途	臨時露天存放五金製品及物料和存放五金鋼鐵配件製品 連附屬工場 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 2021 年 7 月 26 日的記錄，這宗申請共牽涉 3 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☒ has obtained consent(s) of "current land owner(s)"[#].
已取得 3 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
3	丈量約 第76約地段第 2195號餘段 (部份)	26/7/2021

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)"[#] notified 已獲通知「現行土地擁有人」[#]的詳細資料

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)
	不適用	

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B)) (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	臨時露天存放五金製品及物料和存放五金鋼鐵配件製品連附屬工場 (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 <u>3</u> <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	291.50 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	417.64 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	4
Proposed domestic floor area 擬議住用樓面面積	不適用 .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	448.74 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	448.74 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)	
構築物A 約 6.8米高：存放車床及工場。 構築物B 兩層約 6米高：由4只20呎貨櫃組成，上層辦公室，下層存放物件。 構築物C 約2.6米高：員工休息室。 構築物D 約2.5米高：存放工具及物料。	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	.....
Motorcycle Parking Spaces 電單車車位	.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	.....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	.....
Others (Please Specify) 其他 (請列明)	.....
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	.....
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	.....

Proposed operating hours 擬議營運時間 星期一至星期六早上八時至下午六時，星期日及法定假期除外。																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <hr/> <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input checked="" type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁表示可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情 <input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是 No 否	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table style="width: 100%;"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas 位於鄉郊地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<div style="border: 1px solid black; padding: 5px;"> <input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明) </div>
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 <input type="checkbox"/> month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

我們此次申請本應為 A/NE-TKL/605 的續期申請，在收到有附帶條件的臨時許可後已立即開展履行附帶條件的工作，當中已履行樹木及園境組和消防處的附帶條件。

但在落實排水建議的工程時我方早於2020年9月初已就有關雨水渠改善工程相關之挖掘准許向地政總署作出申請。惟及後該署一直因疫情下人手分配問題，直至2021年2月22日才能按正常程序於現場張貼告示展開公眾諮詢期(18/2/2021~8/3/2021)，而公眾諮詢期完結後亦相隔了2個星期後方正式發出挖掘通知。由於現時政府並沒有就挖掘准許申請的處理時間定立服務標準，期間我方亦只能盡力多次以電話及電郵形式向地政總署跟進挖掘申請的處理狀況(見下列時序)。

- a. (to LandsD) Application for Excavation Permit - 1 Sept 2020.
- b. (to LandsD) Request for Case Progress - 24 Sept 2020
- c. (fr LandsD) Reply on Case Progress - 20 Oct 2020
- d. (to LandsD) Request for Case Progress - 23 Dec 2020
- e. (fr LandsD) Reply on Case Progress - 28 Dec 2020
- f. (to LandsD) Request for Case Progress - 18 Feb 2021
- g. (to LandsD) Request for Case Progress - 22 Mar 2021
- h. (fr LandsD) Excavation Permit Approval - 23 Mar 2021 (Received on 26 Mar 2021)

在獲得挖掘准許後我們已加緊工程進行展開前期工作(如地下設施探測、安全保護等)，

雖能趕及在餘下限期前個多星期完成工程。但其後由於渠務署要求補充資料固未能在限期前獲得履行條件確認。

今次是第四個三年規劃許可申請，第一及第二個申請均獲批許可及在限期內履行所有附帶條件。

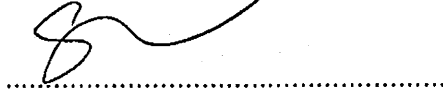
此外，由第一個申請至今個申請的用途均未有改變。

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in an application to the Board and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

黃美珊

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

長城機械工程有限公司 Cheung Shing Machinery Engineering Co. Ltd.

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

30/07/2021

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in an application to the Board and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and deposited at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及存放於規劃署規劃資料查詢處以供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	新界粉嶺軍地北村第 76 約地段第 2195 號餘段 (部份) 和毗鄰政府土地
Site area 地盤面積	709.14 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 89 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	坪輦及打鼓嶺分區計劃大綱核准圖編號 S/NE-TKL/14
Zoning 地帶	「露天貯物」及「道路」
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 <input type="checkbox"/> Month(s) 月
Applied use/ development 申請用途/發展	臨時露天存放五金製品及物料和存放五金鋼鐵配件製品 連附屬工場

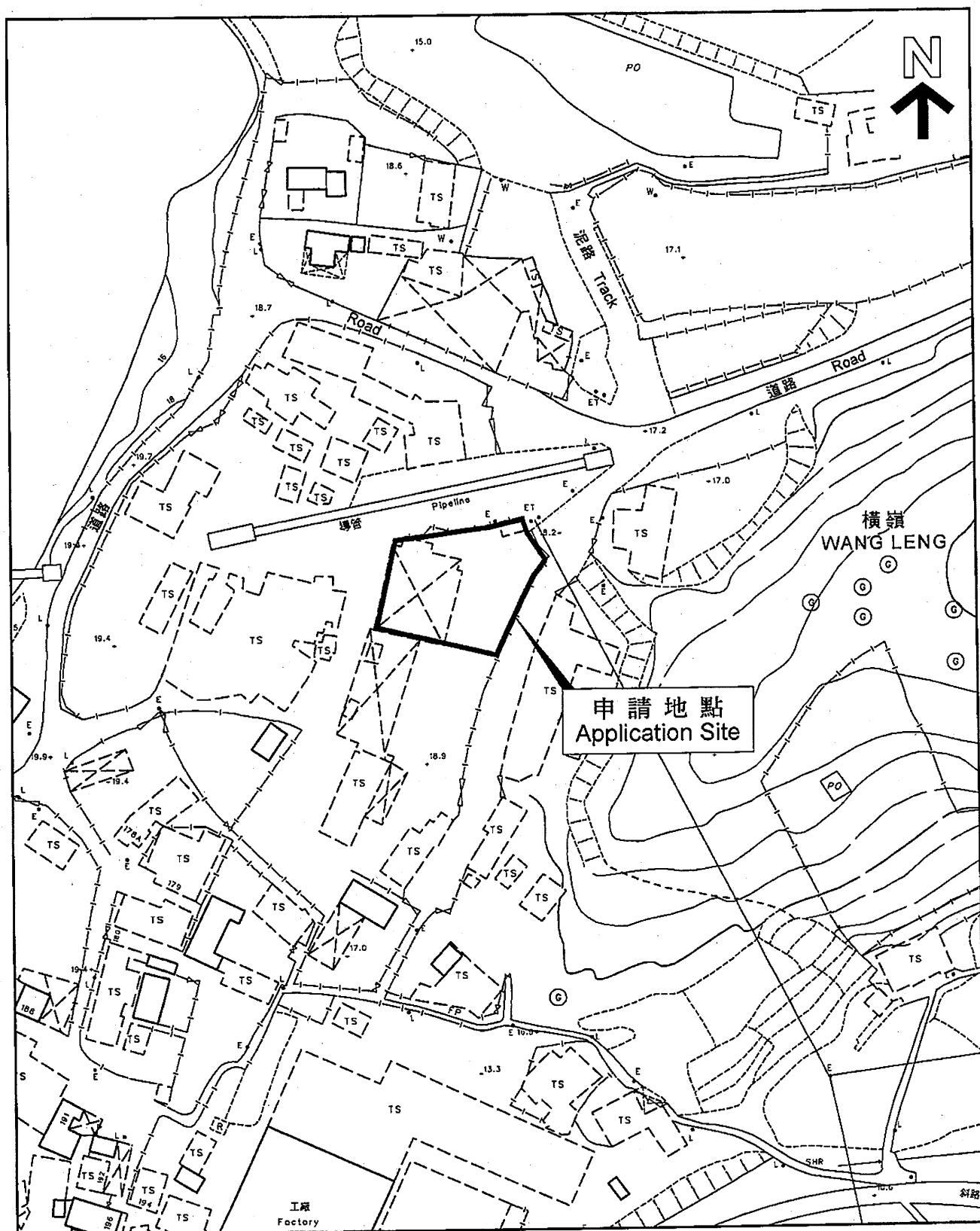
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	448.74 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用		
	Non-domestic 非住用	4	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	<input type="checkbox"/> m 米 <input type="checkbox"/> (Not more than 不多於)	
		<input type="checkbox"/> Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	2.5 - 6.8 <input checked="" type="checkbox"/> m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 - 2 <input checked="" type="checkbox"/> Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

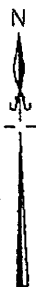
Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

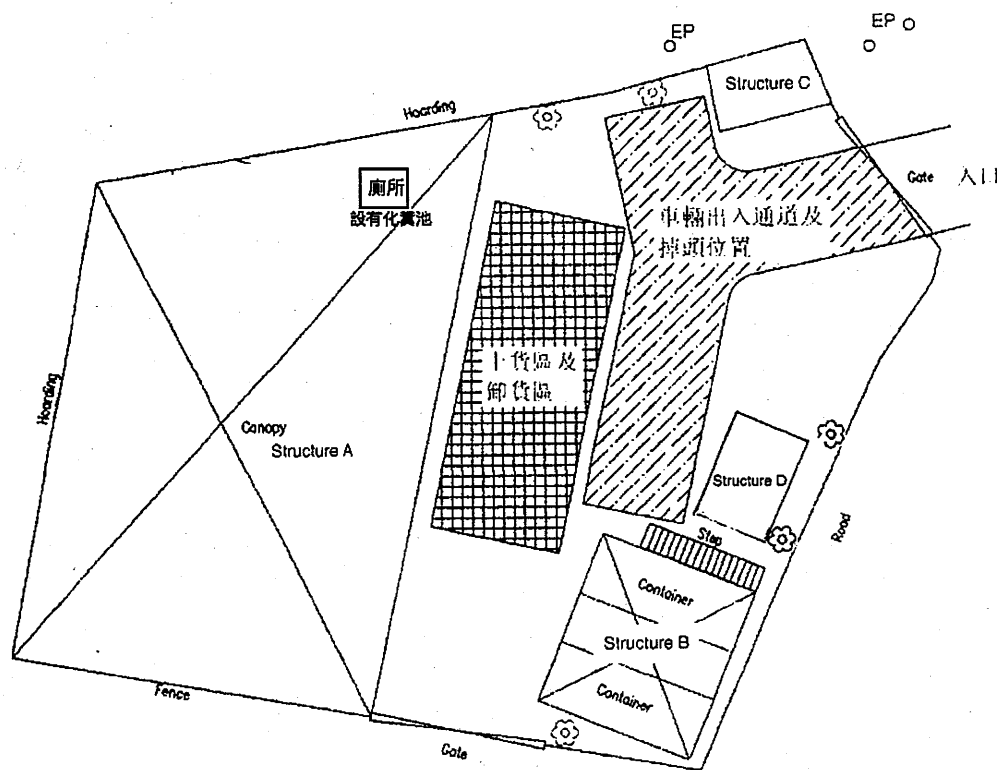
註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

A/NE-TKL/605





SITE PLAN



SYMBOLS :

- CANOPY
- ⊗ TREE
- ++ FENCE/HOARDING
- ⌵ GATE
- ▤ 上貨區及卸貨區
- ▨ 車輛出入通道及掉頭位置

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

G/F, No. 21A, Luen Hing Street, Luen Wo Hui, Fanling, N.T.
Telephone : 26831600 Mobile : [REDACTED] Fax : 26831380
E-mail : [REDACTED]

Project Title LOT 198 RP (PART) IN B.D. 76 AND ADJOINING GOVERNMENT LAND,
KWAI TEI NORTH VILLAGE, FANLING, N.T.

Figure Title

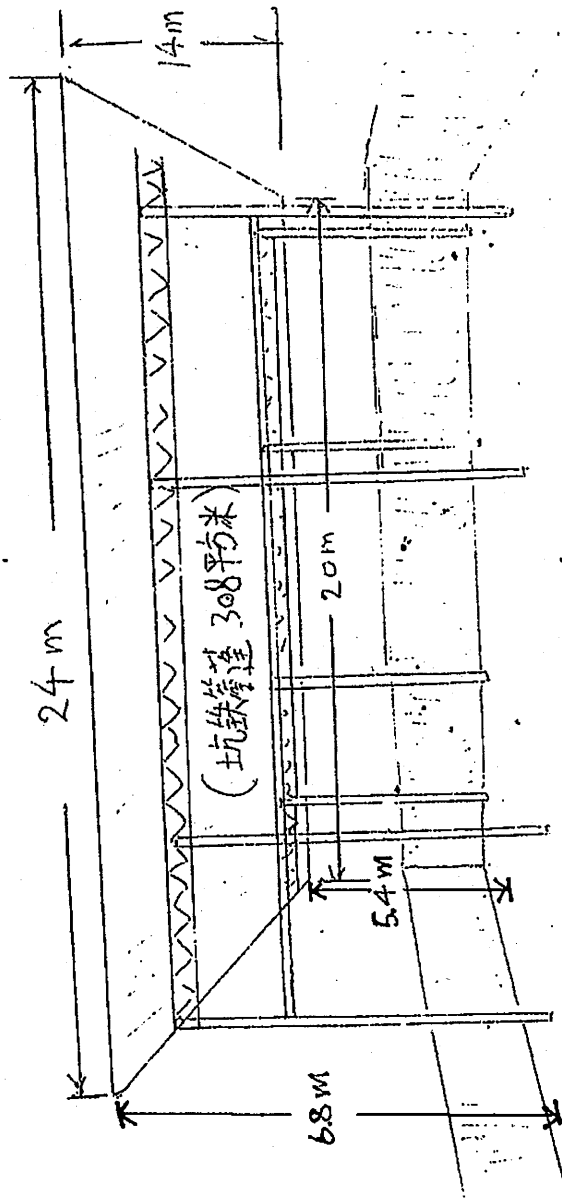
SITE PLAN

Scale
1 : 250

Date
11-11-2012

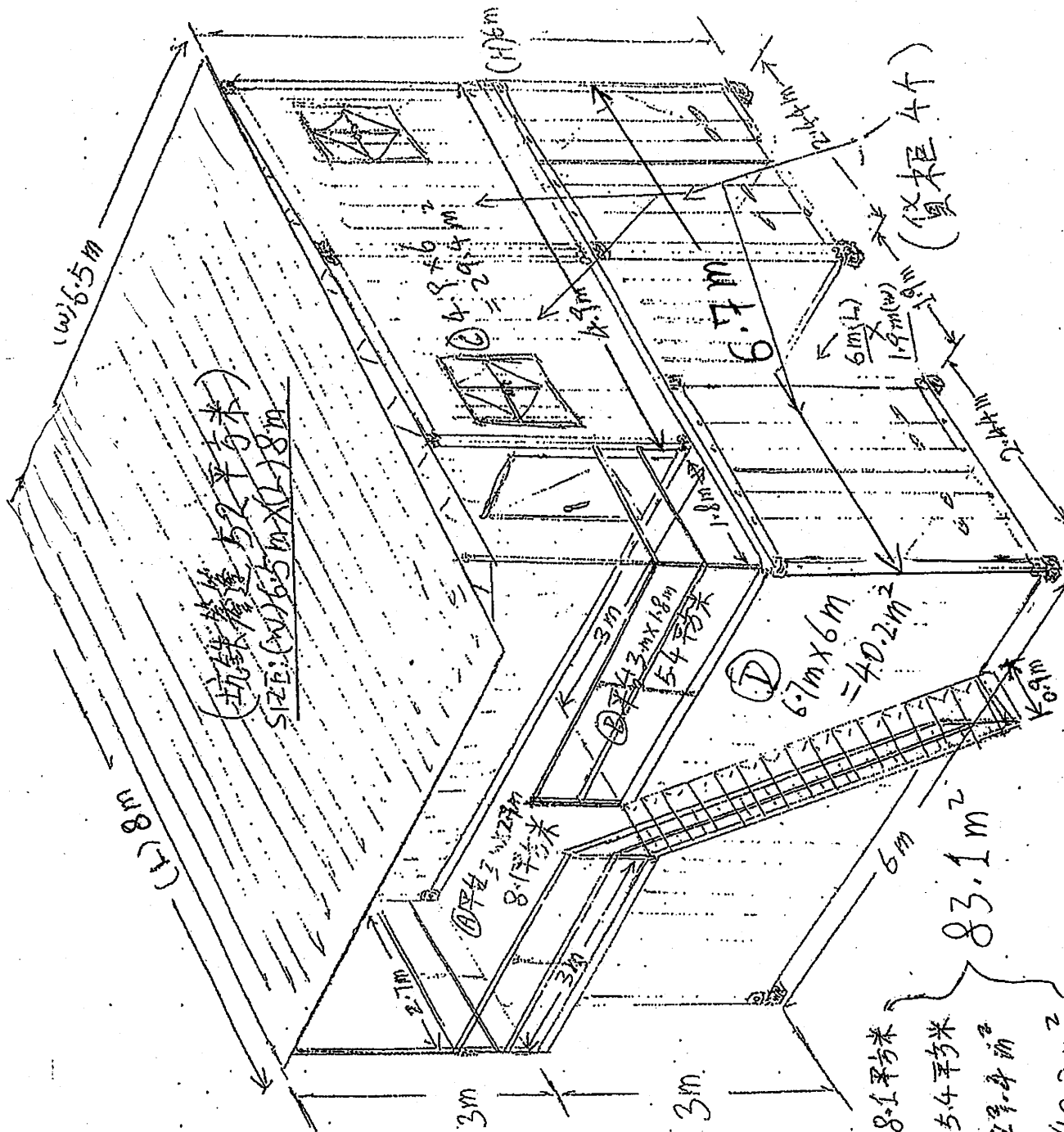
Figure No.
2B

Revision



Ref.
A/NE-TKL/389
A/NE-TKL/534

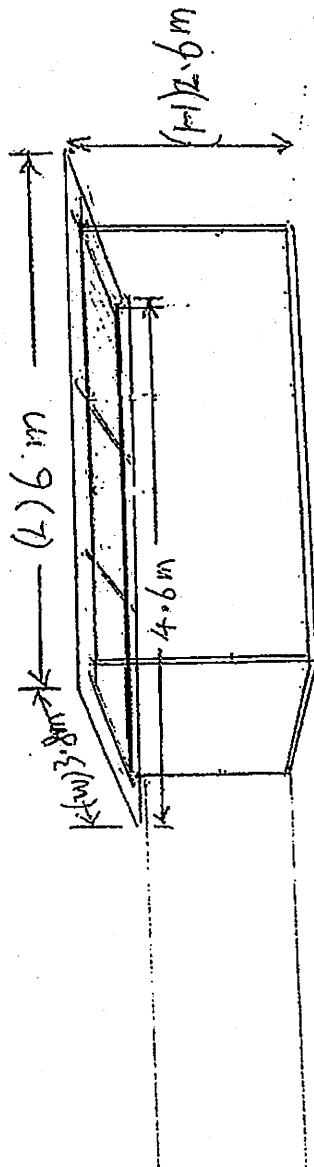
Structure A
 $(20 \times 14) + (4 \times 14/2) = 308$ 平方米



$$\begin{aligned}
 & \textcircled{A} 3 \times 2.7 = 8.1 m^2 \\
 & + \textcircled{B} 3 \times 1.8 = 5.4 m^2 \\
 & + \textcircled{C} 4.9 \times 6 = 29.4 m^2 \\
 & + \textcircled{D} 6.7 \times 6 = 40.2 m^2 \\
 & \underline{\underline{= 83.1 m^2}}
 \end{aligned}$$

Ref.
ANE-TKL/389
ANE-TKL/534
Structure B

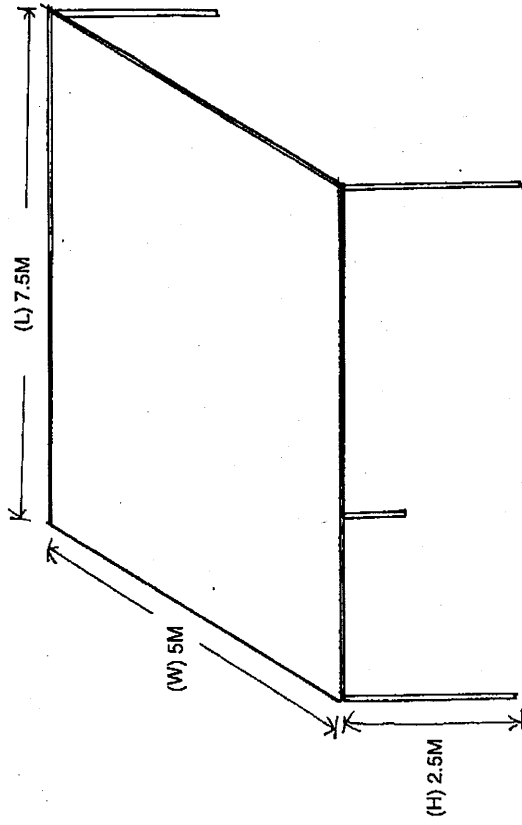
$$(4.6 \times 3.8) + (1.4 \times 3.8 / 2) = (20.14 \text{ 平方米})$$



Ref.
ANE-TKL/389
ANE-TKL/534

Structure C

面積 37.5 平方米

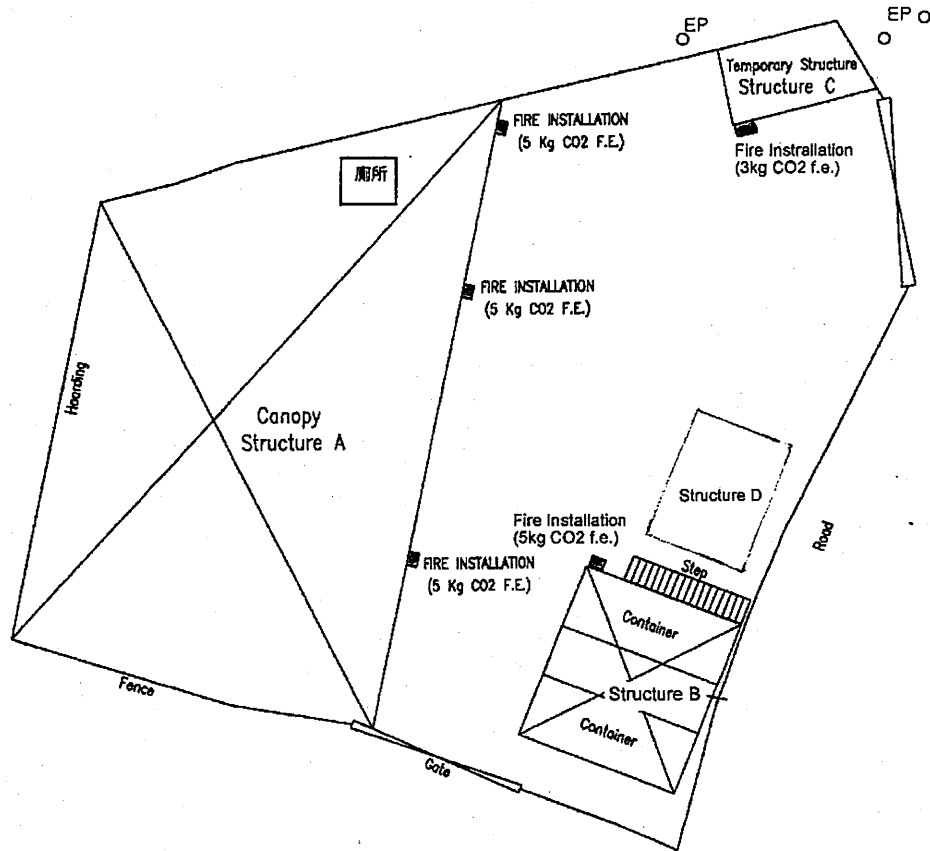


Ref.
ANE-TKL/389
ANE-TKL/534

Structure D

消防裝置

露天存放五金製品及物料和存放五金鋼鐵配件製品連附屬工場



■ FIRE INSTALLATION

備註：此為第四個向城規會申請3年臨時許可申請，期間申請用途未有變更

現設置共5只滅火器 (1 no 3kg CO2 gas f.e.) (4 nos 5kg CO2 gas f.e.)

構築物 A：坑鐵簷蓬 上蓋面積308平方米 用作存放車床及工場。

構築物 B：兩層上蓋面積52平方米由4只20呎貨櫃組成，上層辦公室，下層存放物件。

構築物 C：一層上蓋面積20.14平方米 員工休息室。

構築物 D：一層鐵架上蓋面積37.5平方米 存放工具及物料。

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

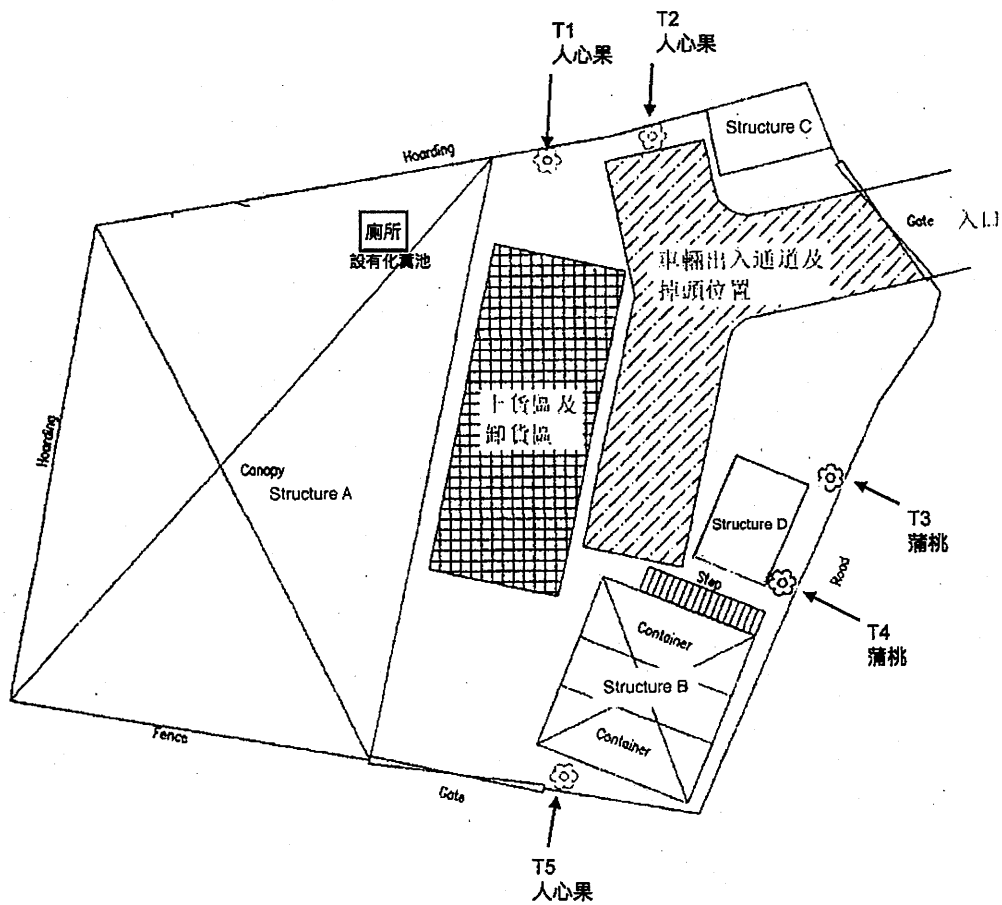
G/F, No.21 A, Luen Hong Street, Luen Wo Hui, Fanling, N.T.
Telephone: 26831600 Mobile: [REDACTED] Fax: 26831380
E-mail: [REDACTED]

Project: LOT 2195 RP (PART) IN D.D. 76 AND ADJOINING GOVERNMENT LAND,
KWAI TEI NORTH VILLAGE, FANLING, N.T.

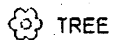
Figure: LOCATION OF FIRE INSTALLATIONS

Scale	1
Date	
Revised	

露天存放五金製品及物料和存放五金鋼鐵配件製品連附屬工場



備註：
此為第四個向城規會申請3年臨時許可申請，
期間申請用途未有變更



卓弘測量服務公司
CHUO WANG SURVEY SERVICES COMPANY

G/F, No. 21A, Luca Hing Street, Luca Wo Hui, Fooking, N.T.
Telephone: 26831600 Mobile: [REDACTED] Fax: 26831380
E-mail: [REDACTED]

Project Title
LOT 1, 35 RP (PART) IN D.D. 76 AND ADJOINING GOVERNMENT LAND,
KWAI TEI NORTH VILLAGE, FANLING, N.T.

Scale
1:250

Page No.
28

Figure Title
現有樹木布局圖

Date
7-11-2012

Revision
-

☐ Urgent ☐ Return receipt ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public groups



S16-III_TKL 長城機械 - 提交補充資料
02/09/2021 15:50

From:

To: mltchan@pland.gov.hk

Cc:

History: This message has been forwarded.

2 attachments



TKL 長城機械_雨水渠.pdfTKL 長城機械_S16-III_2021 (修正第8頁).pdf

致 陳小姐

附件請見 現有雨水渠的平面圖及相片，另外修正第8頁。而消防FS251安排下星期年度檢驗。

謝謝

黃小姐

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

我們此次申請本應為 A/NE-TKL/605 的續期申請，在收到有附帶條件的臨時許可後已立即開展履行附帶條件的工作，當中已履行樹木及園境組和消防處的附帶條件。

但在落實排水建議的工程時我方早於2020年9月初已就有關雨水渠改善工程相關之挖掘准許向地政總署作出申請。惟及後該署一直因疫情下人手分配問題，直至2021年2月22日才能按正常程序於現場張貼告示展開公眾諮詢期(18/2/2021~8/3/2021)，而公眾諮詢期完結後亦相隔了2個星期後方正式發出挖掘通知。由於現時政府並沒有就挖掘准許申請的處理時間定立服務標準，期間我方亦只能盡力多次以電話及電郵形式向地政總署跟進挖掘申請的處理狀況(見下列時序)。

- a. (to LandsD) Application for Excavation Permit - 1 Sept 2020.
- b. (to LandsD) Request for Case Progress - 24 Sept 2020
- c. (fr LandsD) Reply on Case Progress - 20 Oct 2020
- d. (to LandsD) Request for Case Progress - 23 Dec 2020
- e. (fr LandsD) Reply on Case Progress - 28 Dec 2020
- f. (to LandsD) Request for Case Progress - 18 Feb 2021
- g. (to LandsD) Request for Case Progress - 22 Mar 2021
- h. (fr LandsD) Excavation Permit Approval - 23 Mar 2021 (Received on 26 Mar 2021)

在獲得挖掘准許後我們已加緊工程進行展開前期工作(如地下設施探測、安全保護等)，雖能趕及在餘下限期前個多星期完成工程。但其後由於渠務署要求補充資料固未能在限期前獲得履行條件確認。

今次是第四個三年規劃許可申請，第一及第二個申請均獲批許可及在限期內履行所有附帶條件。

此外，由第一個申請至今個申請的用途均未有改變。

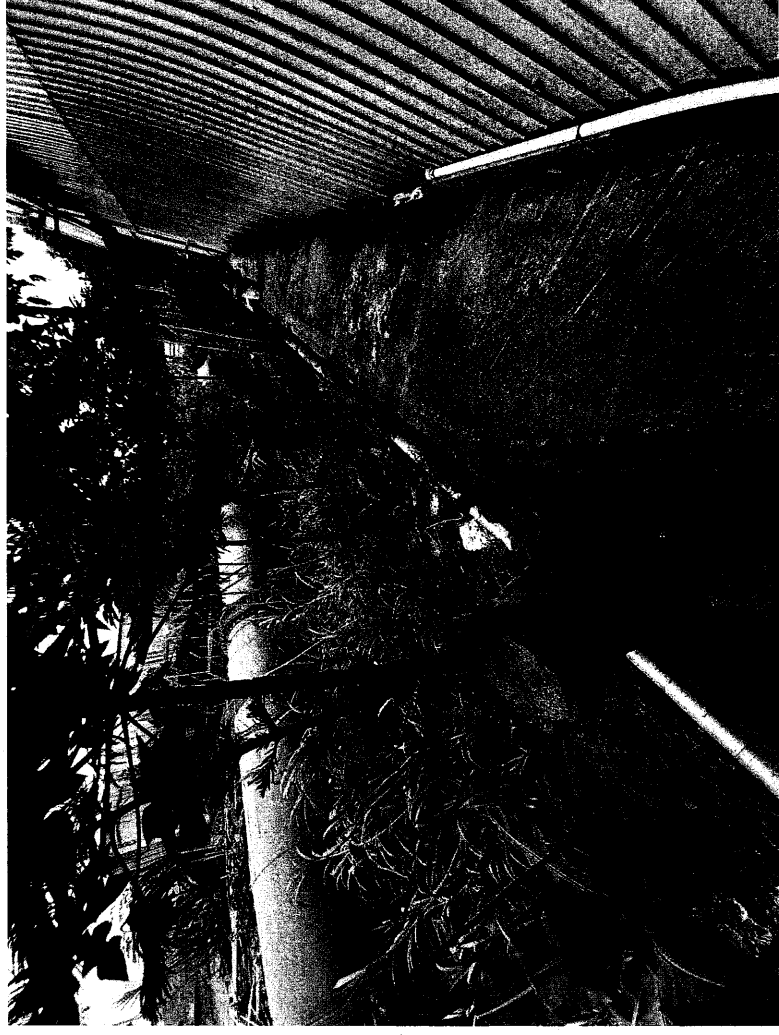
今次的申請無論在發展參數及場地布局對比起 TKL605 均完全沒有改變。

Town Planning Application: _____

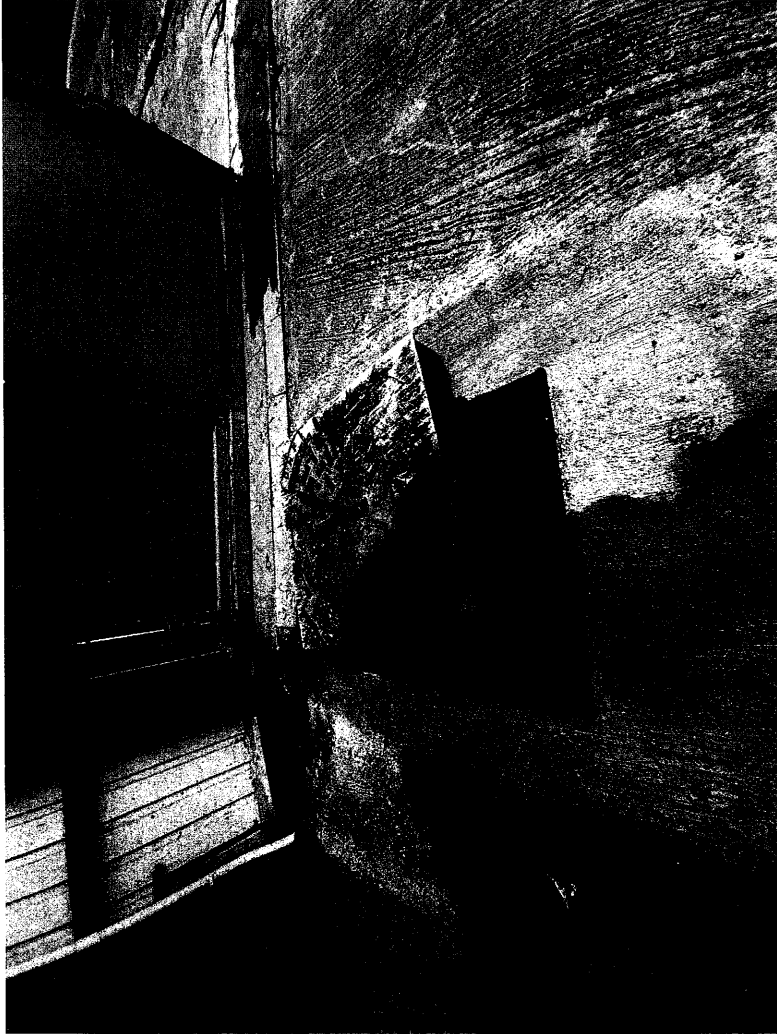
Photos of Existing Rainwater Drainage System



Existing Pumps (3 Nos.)



Existing Pipe (from Water tank to Catchpit 1)



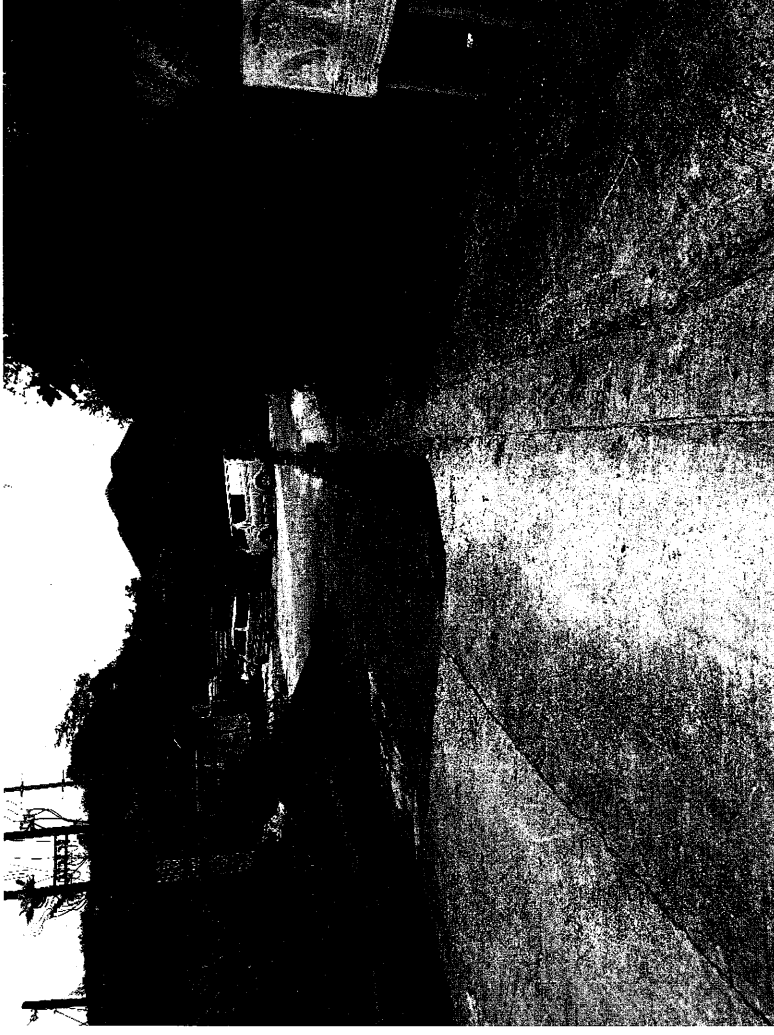
Existing Catchpit 1



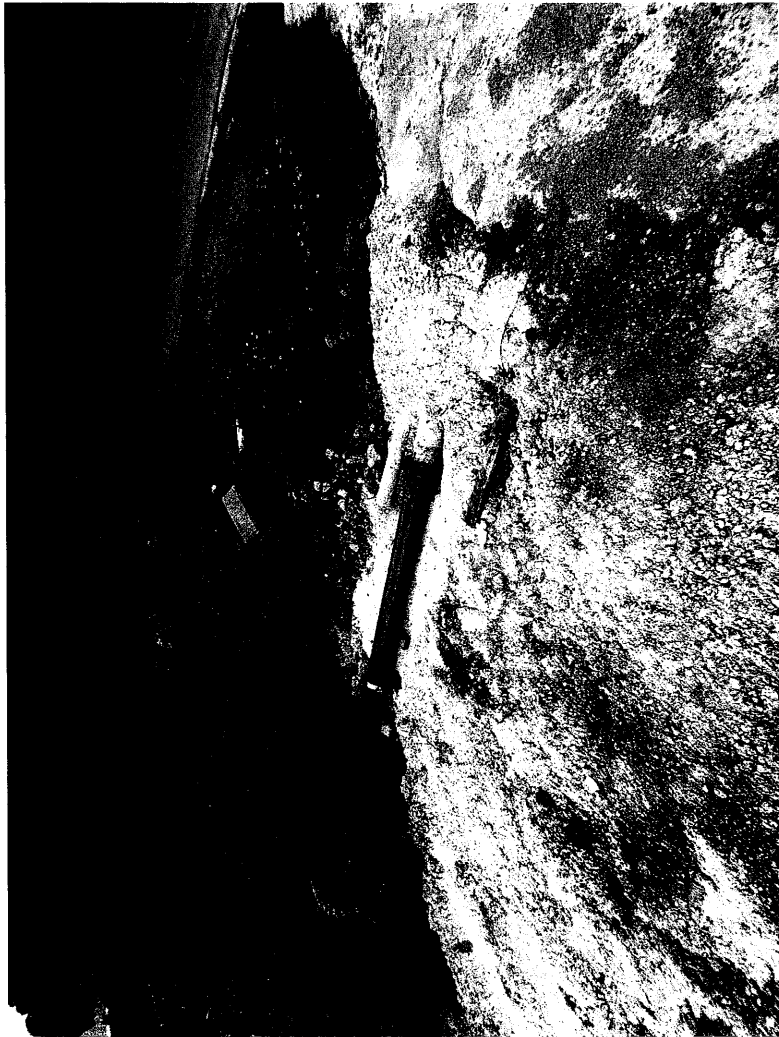
Existing Pipeline buried underground



Existing Catchpit 2



Existing Pipeline buried underground



Final Discharge Point

EXISTING STORMWATER PIPE(Ø150) (FROM PUMP HOUSE TO OUT FALL)

EXISTING CATCHPIT WITHIN BOUNDARY LINE



EXISTING PVC PIPE

B
DETAIL

EXISTING UNDERGROUND CAST IRON PIPE (Ø150)

A
DETAIL

EXISTING PUMP HOUSE ON EXISTING WATER TANK

CONTROL PANEL AND CCTV

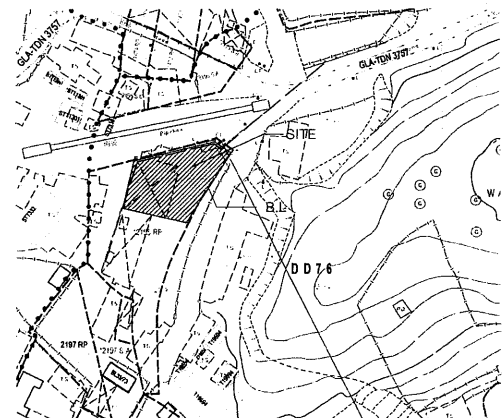
EXISTING LOCATIONS OF THREE EXISTING PUMPS (TWO FOR DUTY AND ONE FOR STANDBY)

LEGEND :

- CATCHPIT
- + 13.50 SPOT LEVEL
- +IL13.50 INVERT LEVEL
- MH MANHOLE
- FB FLOWER BED
- UC, 0.30 METRE IN DIAMETER
- EXISTING UC, 0.30 METRE IN DIAMETER

LEGEND FOR EXISTING STORM WATER DRAINAGE SYSTEM:

- ▶ DIRECTION OF WATER FLOW
- ▨ CCTV AND CONTROL PANEL
- N EXISTING CATCHPIT
- EXISTING UNDERGROUND CAST IRON PIPE (Ø150)
- EXISTING GALVANIZED IRON PIPE (Ø150)



BLOCK PLAN SCALE: 1:2000

1

EXISTING LAYOUT PLAN

1:250

aaanpl

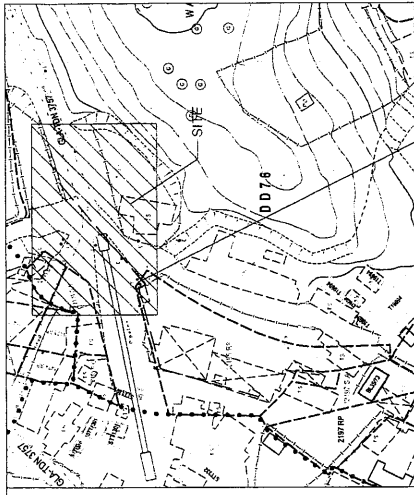
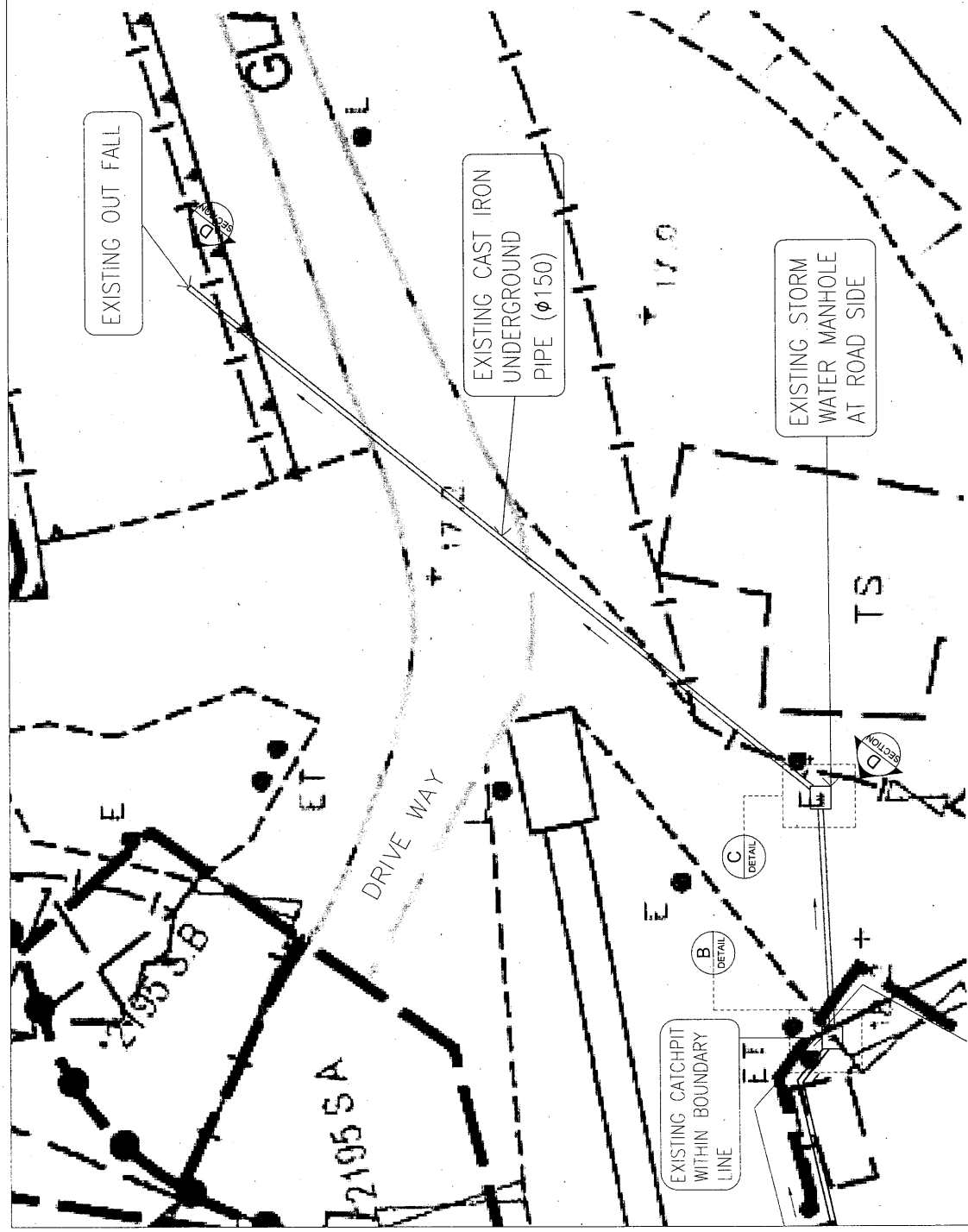
-/-

Title
EXISTING STORM WATER
DRAINAGE SYSTEM

Project
臨時露天存放五金製品及物料和存放五金鋼鐵配件製品連附屬工場
許可續期

A 1 9 1 0 9

Size:- A3
Scale:- AS SHOWN
Date:- 27/07/21
DWG. NO. A19109/JT/01 (R)



BLOCK PLAN SCALE: 1:2000

LEGEND FOR EXISTING STORM WATER DRAINAGE SYSTEM:

→ DIRECTION OF WATER FLOW

N

EXISTING CATCHPIT

EXISTING UNDERGROUND CAST IRON PIPE (ø150)

EXISTING GALVANIZED IRON PIPE (ø150)

3 EXISTING LAYOUT PLAN

1:250

aaaeapl		-/-		-/-		Title EXISTING STORM WATER DRAINAGE SYSTEM		Project 臨時露天存放五金製品及物料和存放五金鐵機配件製品連附屬工 場及臨時倉庫(存放架空天線工程工具)及廁所的規劃許可範圍		<table><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><</tr></table>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	

☐ Urgent ☐ Return receipt ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public groups



Re: TKL686_ 提交運輸署補充資料
07/10/2021 15:01

From:

To: mlitchan@pland.gov.hk

Cc:

History: This message has been forwarded.

1 attachment



TKL686_ 回覆運輸署補充資料.pdf

陳小姐
已將資料合併作一個PDF附件予審閱。
黃小姐

長城機械工程有限公司

新界粉嶺軍地北村第 76 約地段第 2195 號餘段 (部份)和毗鄰政府土地
臨時露天存放五金製品及物料和存放五金鋼鐵配件製品連附屬工場
第 16 條規劃申請編號 A/NE-TKL/686

致陳小姐：

關於：回覆運輸署提問

公司只有一部私家車類別車輛供主管在工作日每日往返申請場地共兩次，而員工則乘坐公共交通工具往返。而訪客車輛主要是輕型貨車濶度為 1.8 米，往來場地約每日共兩次在時段上午 11 時至下午 4 時前之間。

由坪輦路轉入小路，路口及頭 50 米路面濶約為 8 米，而 50 米後路面濶度約為 5.2 米，但沿路則有位置可供避車。再轉入第二路口濶度約為 13 米，而在之後 150 米路段，路面濶度約為 7 米，而在最後路段，路面濶度約 4.5 米，但有足夠位置供避車。因此上述的車輛通道大部份足夠雙線行車，而在該路段沿路有多個多供避車的位置，所以並不會對該段路面構成阻塞。公司的日常車流量如前述都是少量，固未有特地規劃出固定泊車位。

我們其實由 2013 年已開始城規 S-16 的申請，並獲得之後的續期許可申請。而此次的新申請是由於對上的許可期內未能趕及在限期前獲得渠務署對我們已完成的雨水渠的修改工程。固須作出新申請。我們的業務運作一直都沒有改變。我們相個對相關路段其他道路使用者一直未有造成影響。

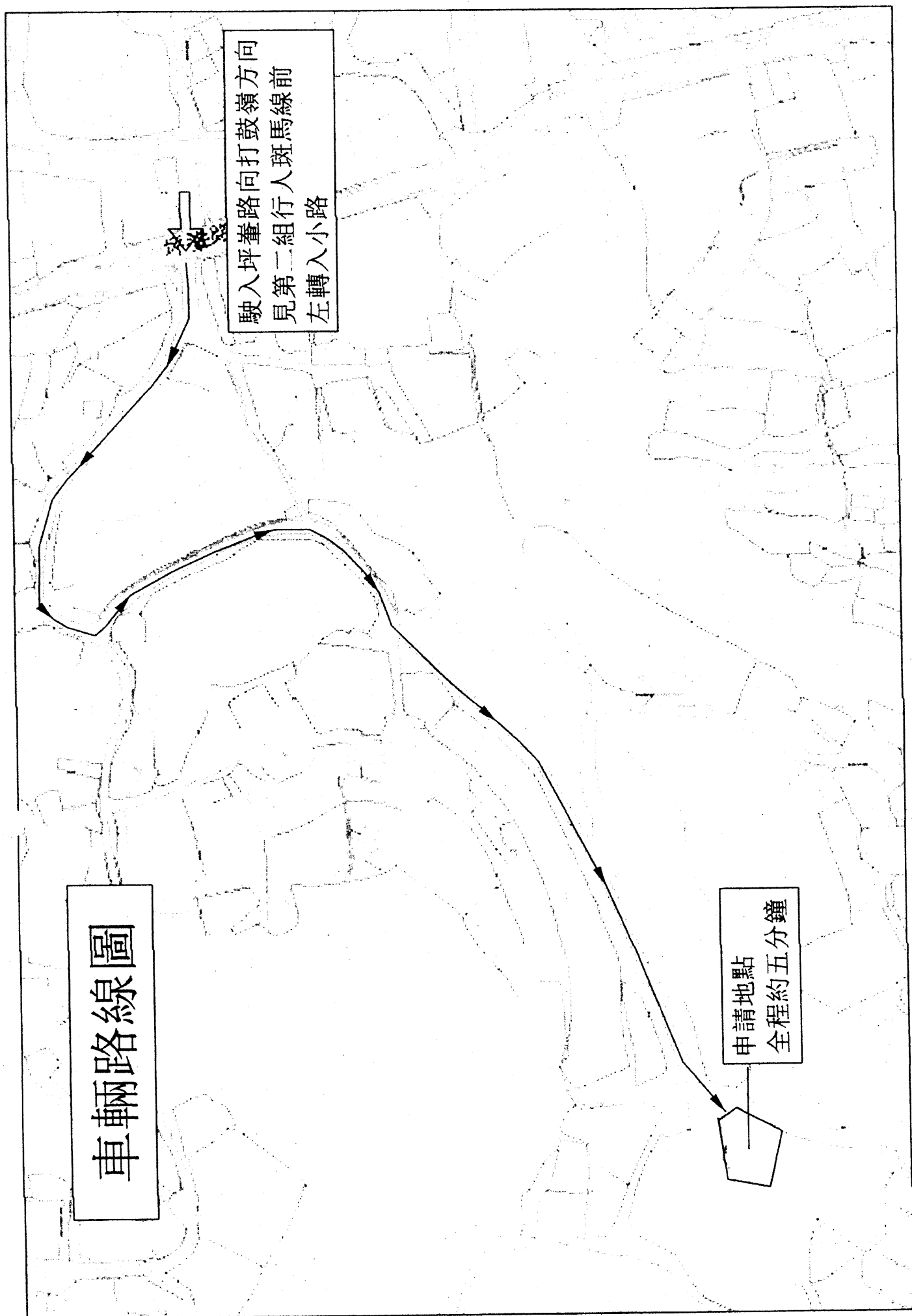
另附上相關圖表 5 份供審核。

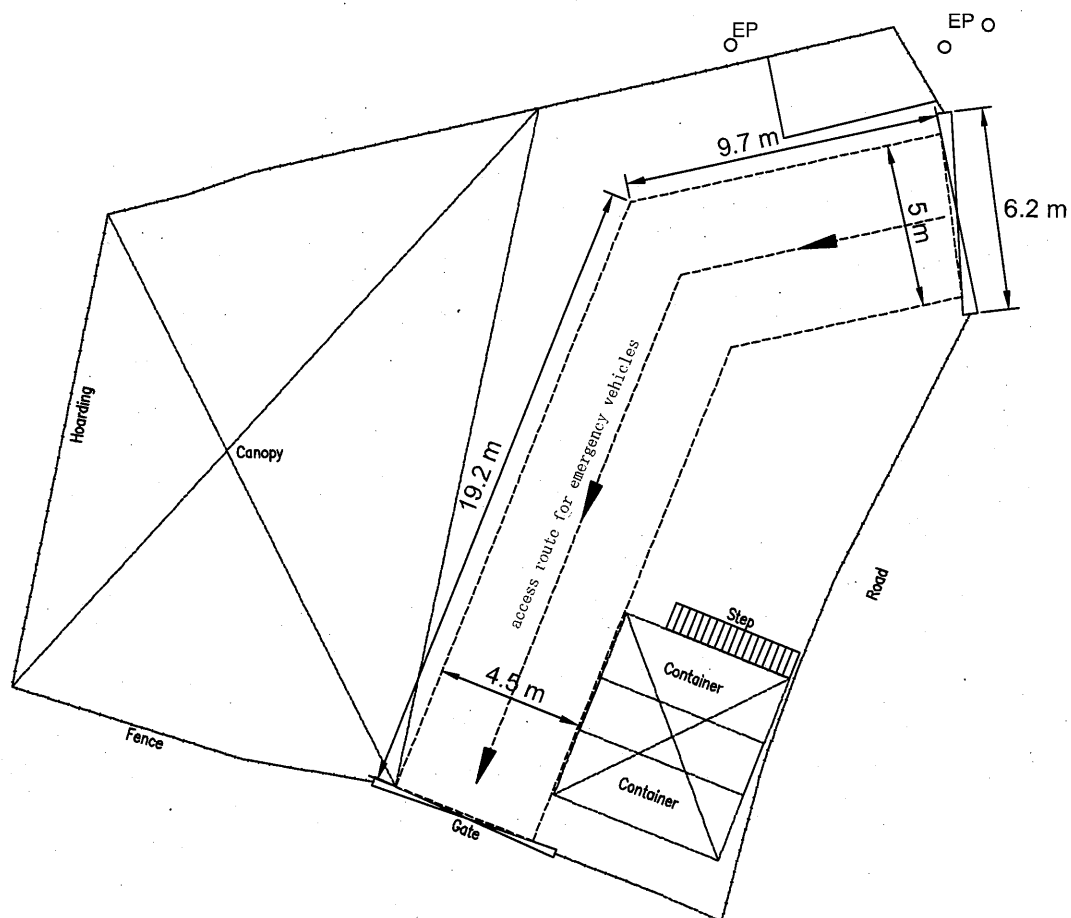
黃小姐

車輛路線圖

駛入坪輦路向打鼓嶺方向
見第二組行人斑馬線前
左轉入小路

申請地點
全程約五分鐘





☐ EMERGENCY VEHICLES ACCESS

卓 弘 測 量 服 務 公 司
CHUO WANG SURVEY SERVICES COMPANY

G/F, No.21 A, Luen Hing Street, Luen Wo Hui, Fanling, N.T.
Telephone : 26831600 Mobile Fax : 26831380
E-mail :

Project Title LOT 2195 RP (PART) IN D.D. 76 AND ADJOINING GOVERNMENT LAND,
KWAI TEI NORTH VILLAGE, FANLING, N.T.

Figure Title EMERGENCY VEHICLES ACCESS LAYOUT PLAN

Scale --

Date 04-07-2013

Figure No. 6

Revision --

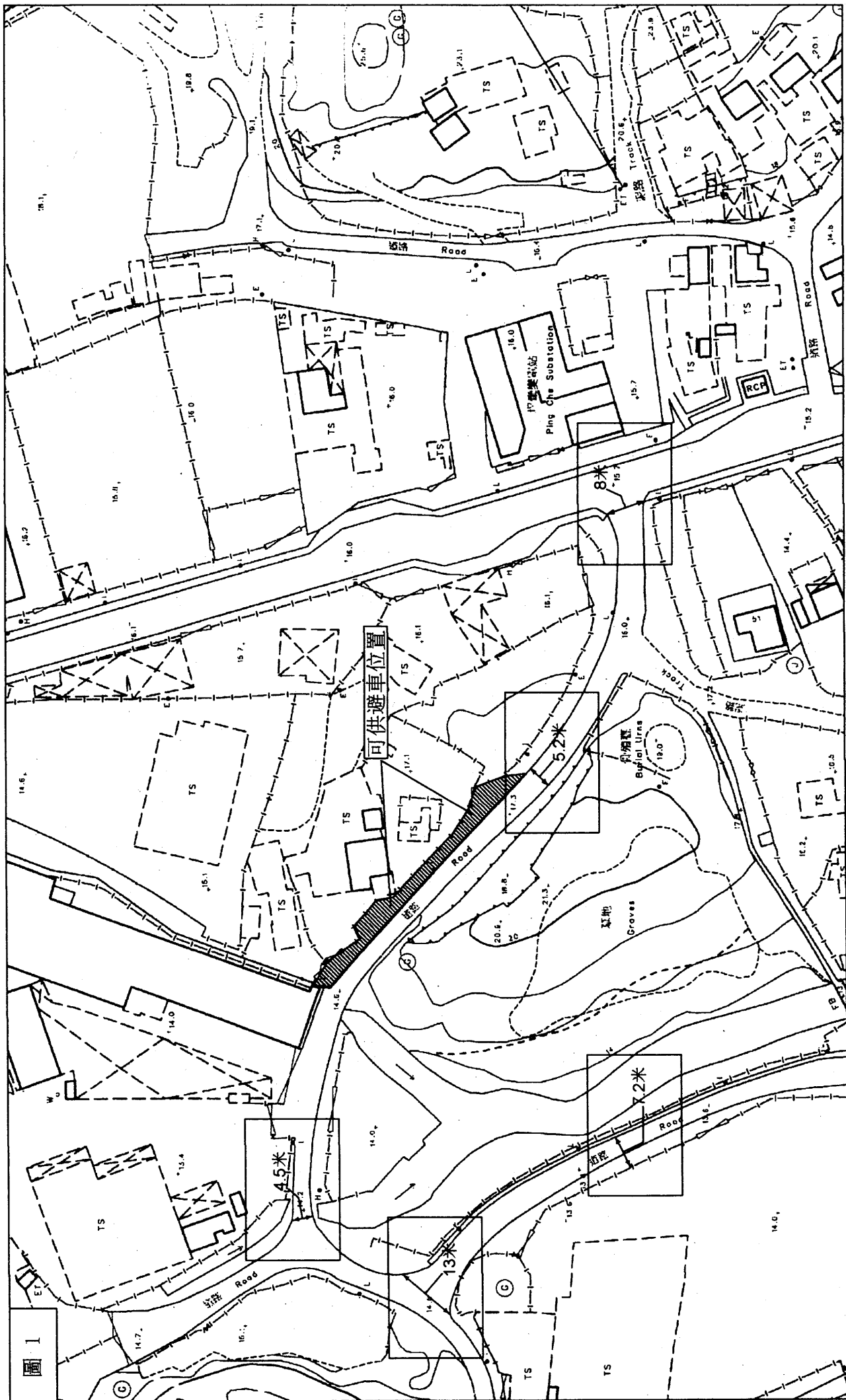


圖 1

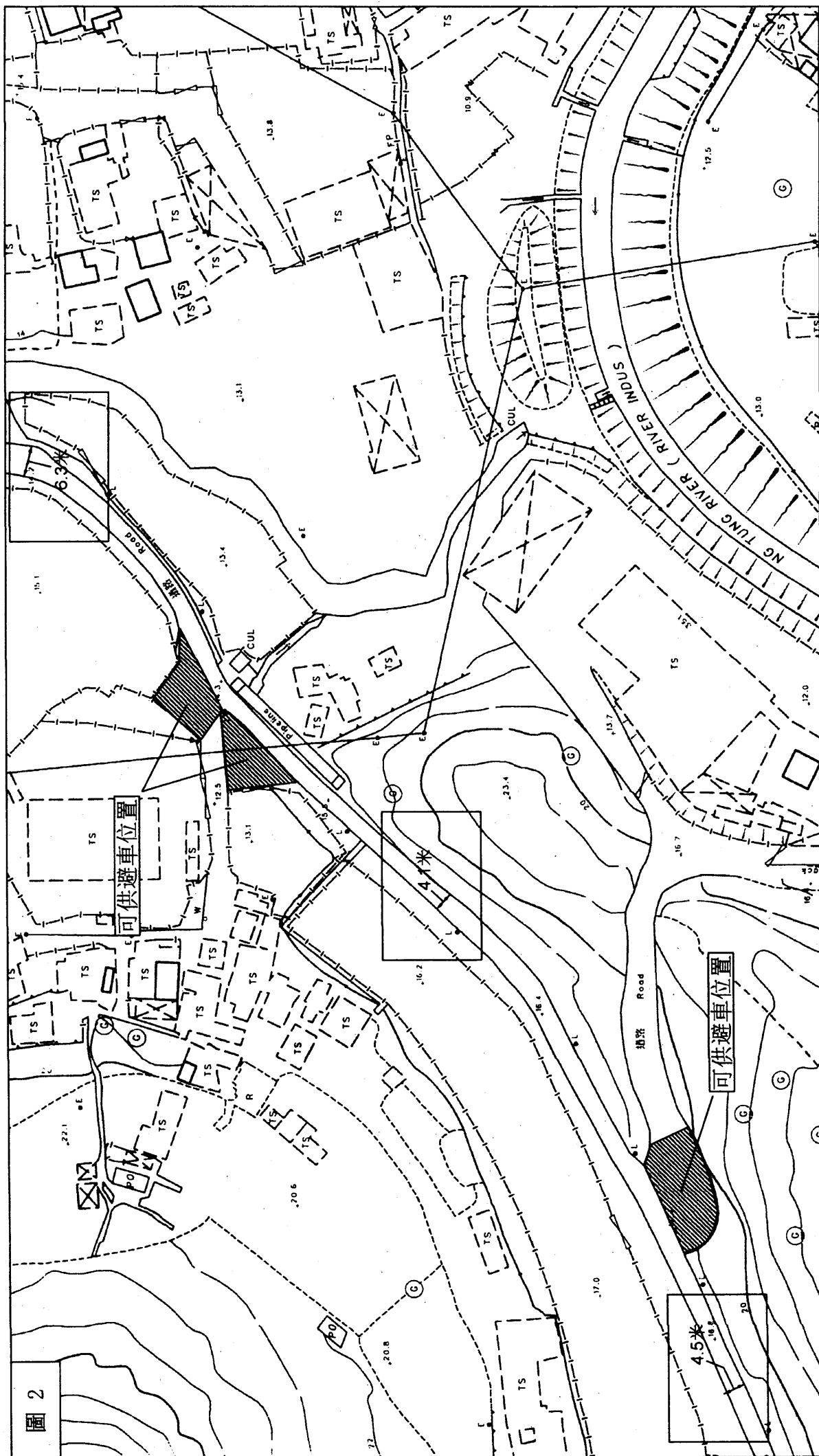


圖 2

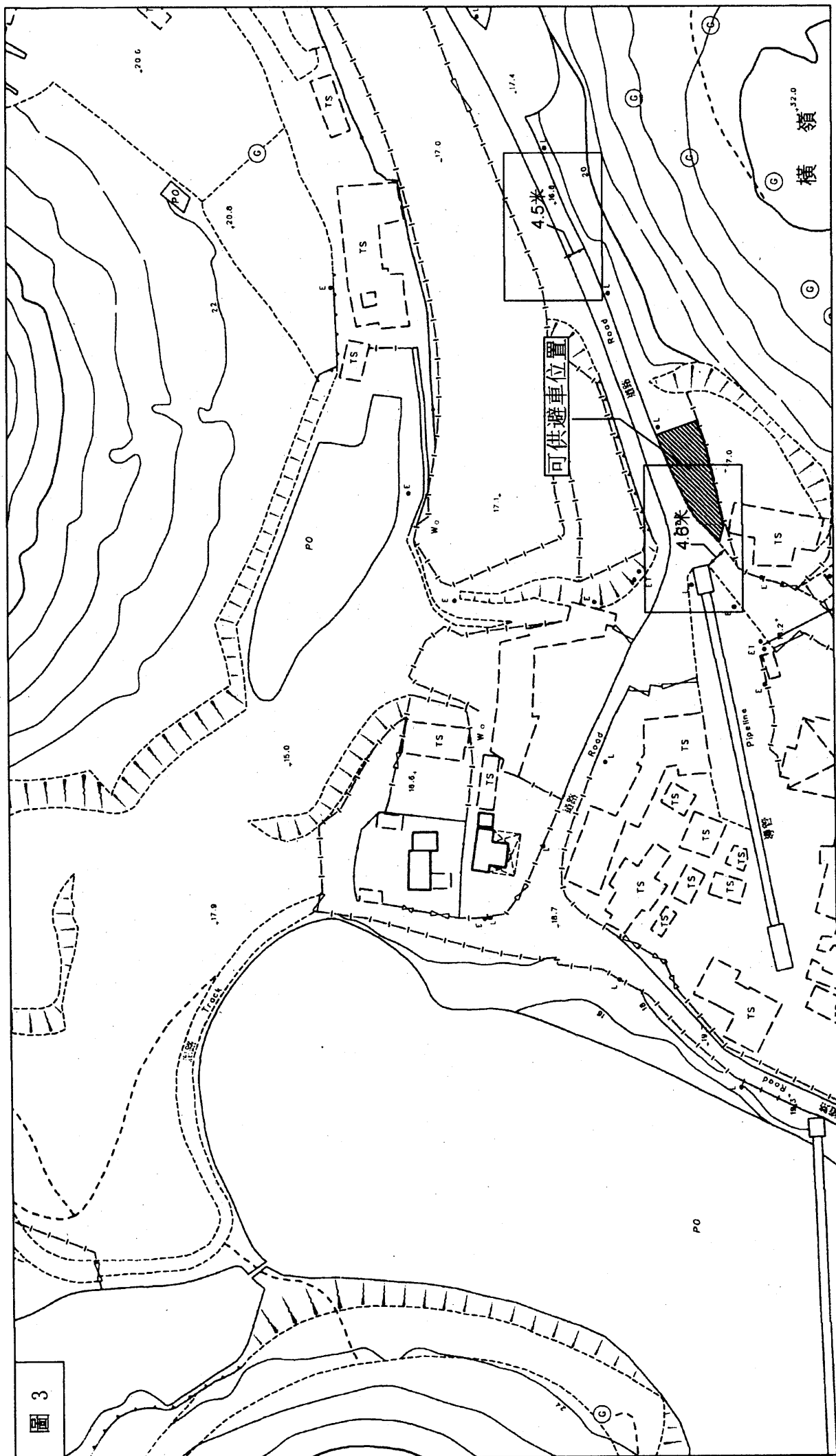


圖 3

☐ Urgent ☐ Return receipt ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public groups



Fwd: A/NE-TKL/686 : Proposed Modification to Existing Rainwater Drainage System

11/10/2021 17:56

From:

To: mltchan@pland.gov.hk

Cc:

History: This message has been forwarded.

1 attachment



211011-to-DPO-Proposed-Pipe-Modification (1).pdf

致陳小姐

請見附上 規劃申請TKL686 最新雨水渠道資料。
黃小姐

aaaenpl

T +852 2177 0277 | F: +852 2177 0901
E general@aaaenpl.com
W www.aaaenpl.com

Unit 14,6/F, Wah Shing Centre
11 Shing Yip Street, Kwun Tong, Hong Kong

Your Ref.: TPB/A/NE-TKL/686
Our Ref: A19109/DPO/04
Date: 11 Oct 2021

Sha Tin, Tai Po and North District Planning Office, Planning Department

13/F, Sha Tin Government Offices,
1 Sheung Wo Che Road,
Sha Tin, N.T.

(Attn : Ms. CHAN Lok-ting, Michelle/ Town Planner - North 3)

Dear Sir/ Madam,

Subject: Proposed Modification to Existing Rainwater Drainage System

Project: **S.16 Town Planning Application No. A/NE-TKL/686 for
Lot 2195 RP (Part) in D.D. 76 and Adjoining Government Land, Kwan Tei North Village,
Fanling, New Territories**

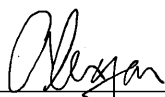
Although the existing rainwater drainage system at the subject lot has been functioning properly during recent heavy rainstorms and typhoons, to further improve the drainage capacity of the existing system, we hereby propose to carry out the modification to the existing system as per the design attached (see Dwg. No. A19109/N/01) for your consideration of the captioned Town Planning Application, in which the existing pipes are proposed to be linked-up with flange fittings at the two existing manholes.

Please contact the undersigned at
the above.

or our Ms. Carmen Chiu at 2177-0277 for any queries concerning

Yours faithfully,

For and on behalf of
Alexyau And Associates
Engineers And Planning Limited



Yau Wing Keung, Alex
Project Director (Chartered Civil Engineer)

Encl.
c.c.

Gearwin Development Ltd. – Ms. Wong (w/ ecopy)

aaanpl

T: +852 21770277 F: +852 1770901
E: general@aaanpl.com
W: www.aaanpl.com

A: Unit 14, 6/F, Wah Shing Centre, 11 Shing Yip Street,
Kwun Tong, Kowloon, Hong Kong

SUBJECT:

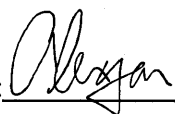
Proposed Modification to Existing Rainwater
Drainage System for Town Planning Application

(Ref.: TPB/A/NE-TKL/686)

ADDRESS:

Lot 2195 R.P. (Part) in D.D. 76,
Kwan Tei North Village, Fanling

SIGN:



YAU WING KEUNG

Chartered Civil Engineer

VERSION:

1.0

DATE:

11 Oct 2021

REMARK:

Client: Gearwin Development Limited

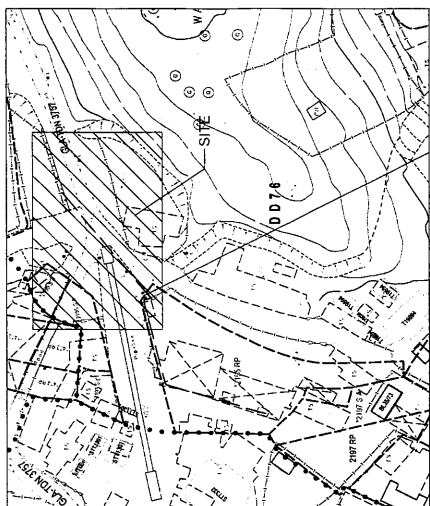
Contents

1.0	Existing Rainwater Drainage System	P.1-6
2.0	Proposed Modification to Existing System (Link-up of Existing Pipes)	P.7
3.0	Calculation for the Proposed Modification	P.8-12

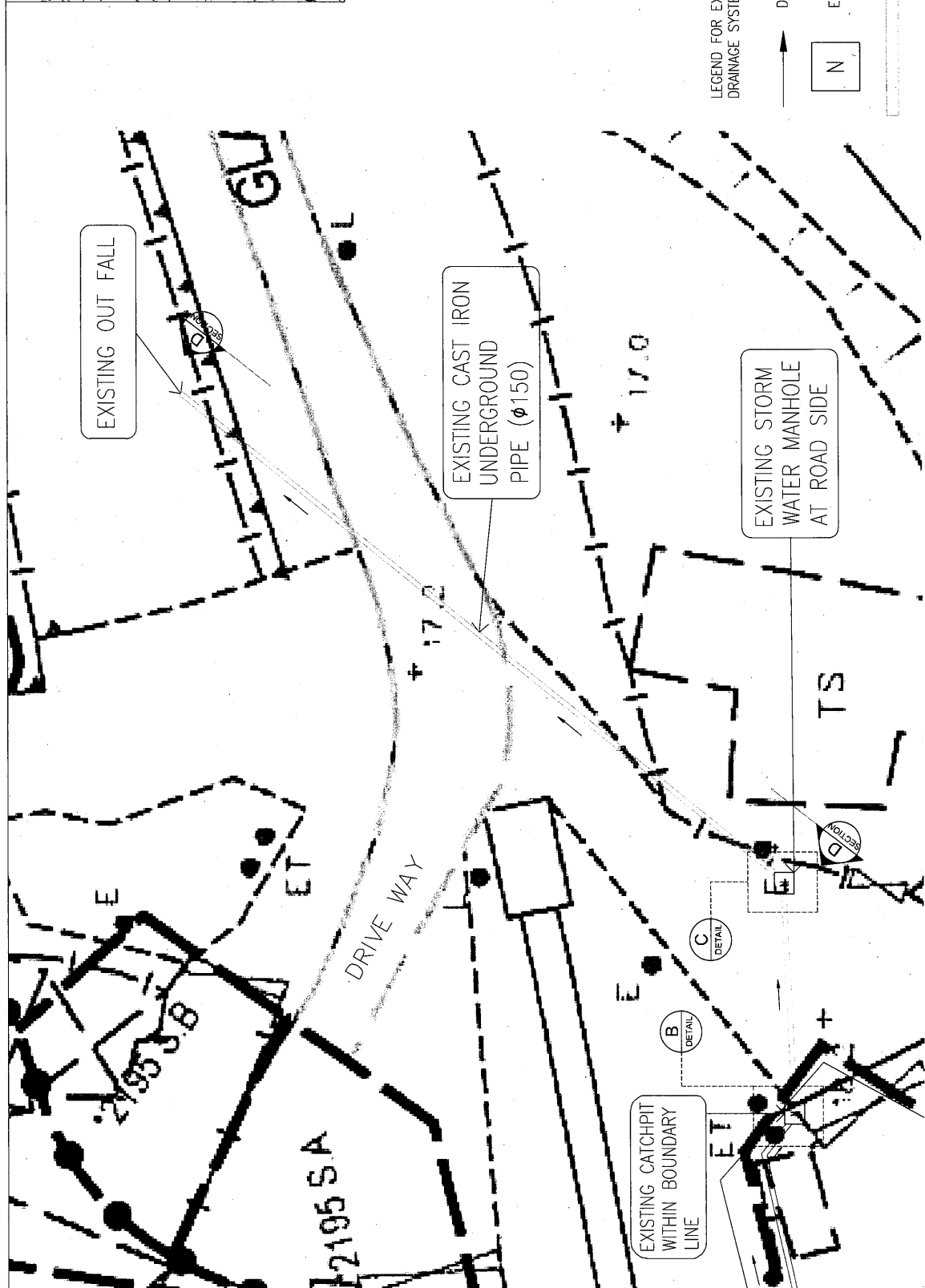
Prepared By: Joe Wang

Checked By: Alex Yau

1.0 Existing Rainwater Drainage System



BLOCK PLAN SCALE: 1:2000



LEGEND FOR EXISTING STORM WATER DRAINAGE SYSTEM:

→ DIRECTION OF WATER FLOW

N

EXISTING CATCHPIT

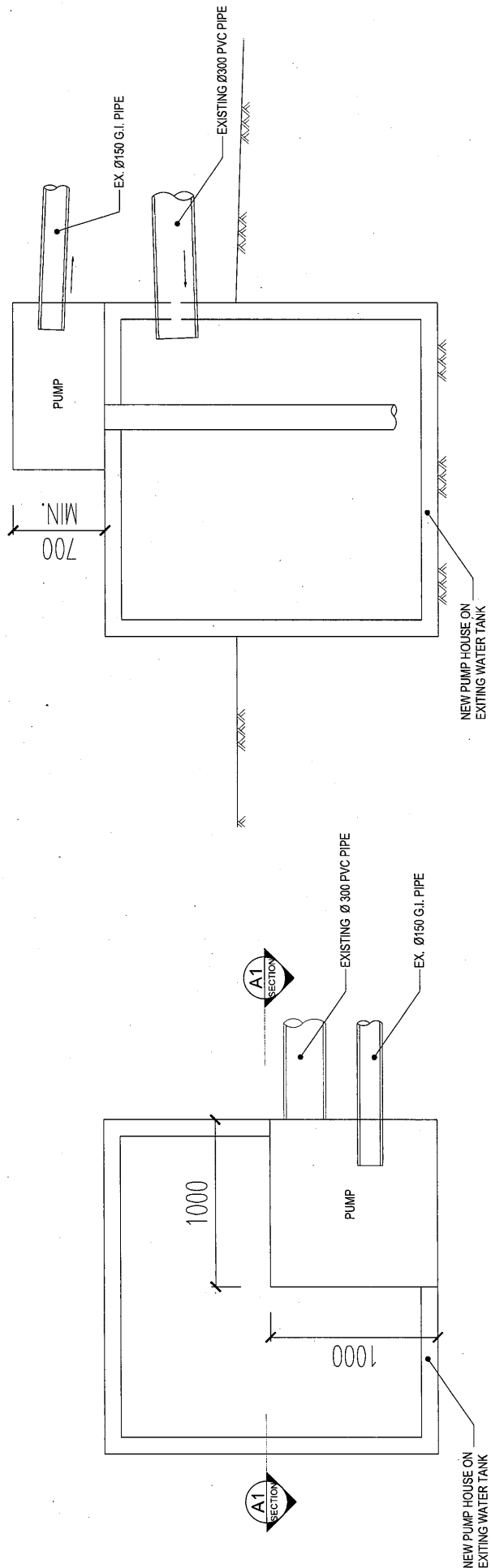
EXISTING UNDERGROUND CAST IRON PIPE (ø150)

EXISTING GALVANIZED IRON PIPE (ø150)

3 EXISTING LAYOUT PLAN

1:250

<p>aaa</p> <p>M: +852 2177 0277 T: +852 2177 0277 E: 09062200@gmail.com A: 15, HING YIP ROAD, LUN TUNG, HONG KONG</p>	<p>Project</p> <p>臨時露天存放五金製品及物料和存放五金鋼鐵配件產品建築工程 場及臨時倉庫(存放鋼管、鋼板、鋼材)的規劃許可編制</p>	<p>Title</p> <p>EXISTING STORM WATER DRAINAGE SYSTEM</p>	<p>-/-</p>	<p>-/-</p>	<p>Sheet</p> <p>AS SHOWN</p> <p>Date</p> <p>27/07/21</p> <p>DWG. NO.</p> <p>A19/09/07/03 (R)</p>
---	--	--	------------	------------	--



SECTION
A1-A1

DETAIL
A

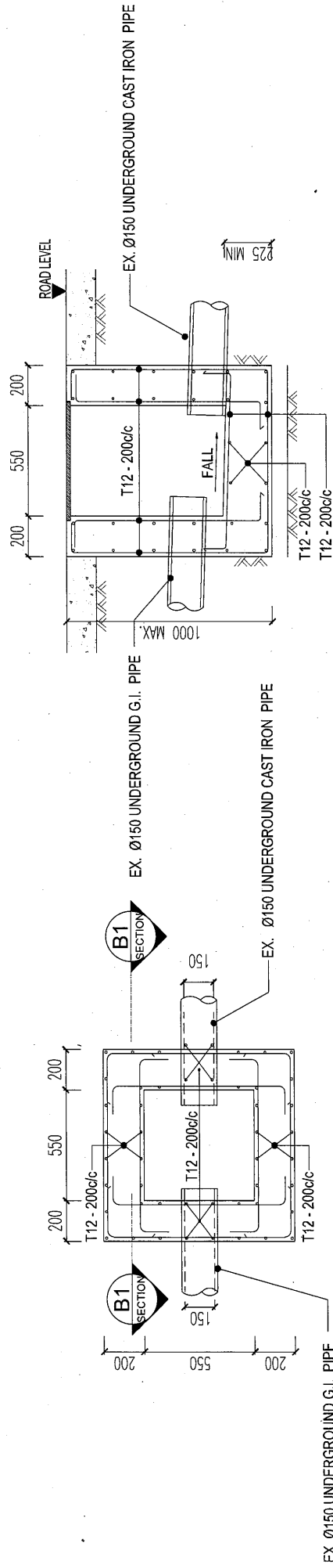
1:25

1:25

GENERAL NOTES:

1. ALL LEVELS ARE REFERRED TO PRINCIPAL DATUM IN METRE.
2. ALL INVERT LEVELS (EXCEPT THE TERMINAL MANHOLE) SHOWN ON MANHOLES ARE THE INVERT LEVEL AT THE CENTRE OF MANHOLES.
3. STEEL REINFORCEMENT FOR CONCRETE SHALL COMPLY WITH THE CONSTRUCTION STANDARD CS2:2012 MINIMUM CHARACTERISTIC STRENGTH OF: 500 MPa FOR HIGH YIELD STEEL BAR GRADE 500 B/C.
4. CONCRETE TO BE DESIGNED MIX CONCRETE AS SPECIFIED IN THE FOLLOWING SCHEDULE TO CS1:2010 AND THE GRADE DESIGNATIONS GIVEN ARE THE CHARACTERISTIC CUBE STRENGTH AT 28 DAYS AND THE MAXIMUM AGGREGATE SIZE 20mm UNLESS OTHERWISE STATED ON THE DRAWING THE CONCRETE IS C30/20.

aaenpl M: +852 2177 0277 F: +852 2177 0901 E: oymc2009@gmail.com A: UNIT 614, WAH SHING CENTRE, 11 SHING YIP STREET, KWUN TONG, KOWLOON, HONG KONG	-/-	-/-	-/-	Title DETAIL & SECTIONS (1 OF 4)	Project 臨時露天存放五金製品及物料和存放五金鋼鐵製品 運附屬上場許可證	A 1 9 1 0 9 Size: A3 Scale: AS SHOWN Date: 10/06/21 DWG. NO. A19109/E/01 (3)
---	-----	-----	-----	--	---	--



SECTION

1:20

DETAIL

1:20

Project

臨時露天存放五金雜品及物料和存放五金雜品配件專用場及臨時石庫
(存放零件、雜工、材料、的場設計可備期)

Title

DETAIL & SECTIONS (2 OF 4)

-/-

-/-

-/-

aaadenpl
M: +852 2177 0277
T: +852 2177 0277
F: +852 2177 0901 E: aymc2009@gmail.com
A: UNIT 614, WAH SHING CENTRE, 11 SHING YIP STREET,
KWUN TONG, KOWLOON, HONG KONG

Size:

Scale:

Date:

DWG. NO.

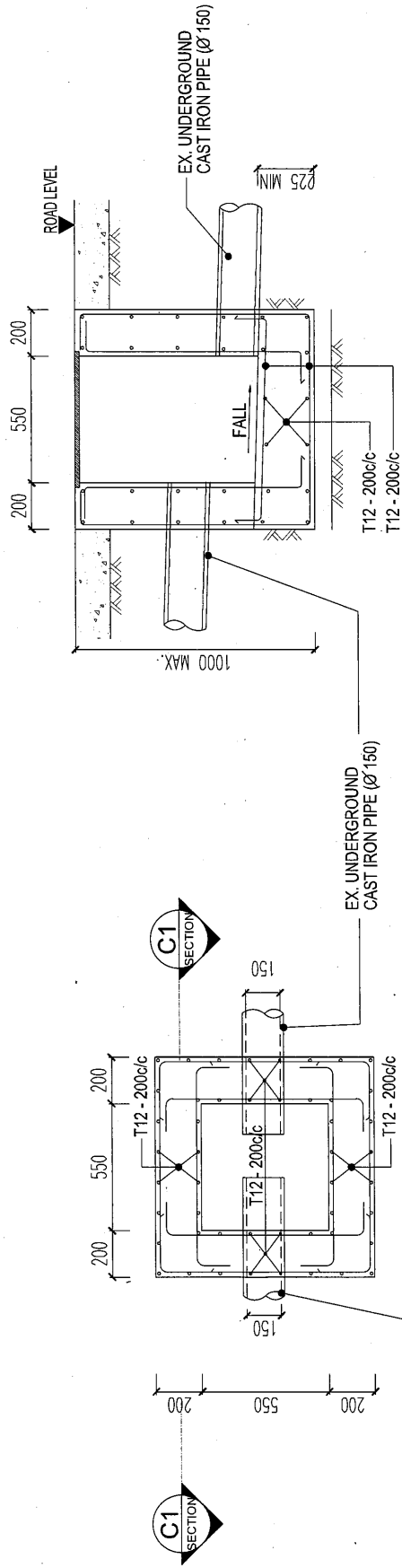
A 1 9 1 0 9

A3

AS SHOWN

10/06/21

A19109/E/02 (R)



C

C1-C1

1:20

1:20

aaenpl
 M: +852 2177 0277
 F: +852 2177 0901 E: aymc2009@gmail.com
 A: UNIT 614, WAH SHING CENTRE, 11 SHING YIP STREET,
 KWUN TONG, KOWLOON, HONG KONG

Title
 DETAIL & SECTIONS (3 OF 4)

Project
 臨時露天存放五金製品及物料和存放五金鋼鐵配件製品通關工場及臨時倉庫
 (待建築完竣後上層1層11樓作機器貯庫)

Size: A3
 Scale: AS SHOWN
 Date: 10/06/21
 DWG NO. A19109/E/03 (R)

2.0 Proposed Modification to Existing System (Link-up of Existing Pipes)

3.0 Calculation for the Proposed Design

Calculation for Peak Runoff with ratinoal method

$$Q_p = 0.278 C i A$$

where Q_p = peak runoff in m³/s
 C = runoff coefficient (dimensionless)
 i = rainfall intensity in mm/hr
 A = catchment area in km²

Runoff coefficient, C (Concrete) = 0.9
 rainfall intensity i 50-year event = 101 mm/hr
 catchment area = 0.001755 km²
 Peak runoff = 0.0443 m³/s

Table 2d – Intensity-Duration-Frequency (IDF) Relationship of North District Area for durations not exceeding 240 minutes

Duration (min)	Extreme Intensity x (mm/h) for various Return Periods						
	T(year)						
	2	5	10	20	50	100	200
240	28.5	37.7	43.4	48.6	54.9	59.4	63.6
120	42.2	54.7	62.5	69.6	78.4	84.7	90.8
60	61.0	75.7	84.3	92.0	101	108	114
30	84.0	100	110	118	128	135	142
15	106	127	139	150	163	173	182
10	119	141	155	168	184	196	208
5	138	161	177	193	216	234	254

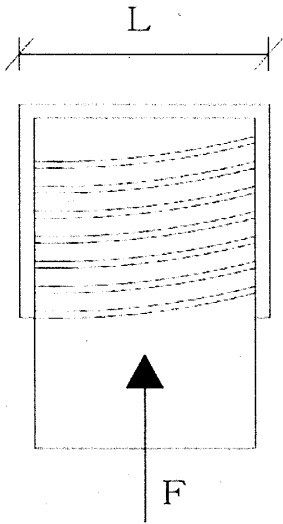
Water Velocity in Pumped Pipe

Pipe section from Pump (P) and discharge to Manhole (N).

Pipe material : Galvanized Iron Pipe

Peak Runoff	0.0443 m ³ /s
Pipe Inner Diameter	150 mm
Pipe Sectional Area	0.0177 m ²
Water Velocity in Pipe	2.51 m/s
	< 3 m/s
(5.1.3) Sewerage Manual 2013 OK	

	Contract:			Job ref.
	Title: Drainage system calculation			Cal. Sheet no.
	Drawing ref.	Calculation by	Checked by	Date
Members ref.	CALCULATIONS			OUTPUT
Checking of pipe flow drive by pump				
<div><div><div><div><div></div><div>PUMP</div></div><div><div>POINT 1</div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div></div></div></div></div></div>				

	Contract:			Job ref.
	Title: Drainage system calculation			Cal. Sheet no.
	Drawing ref.	Calculation by	Checked by	Date
Members ref.	CALCULATIONS			OUTPUT
<div>Checking of screw cap</div> <div><div></div><div><div>Cap thickness; t = 5 mm</div><div>F = 1.21 kN</div><div>Ff, Factored ,1.6 xF = 1.93 kN</div><div>l = 160 mm</div><div>fy design strength = 165 Mpa</div><div>Vf = Ff/2 = 0.965 kN</div><div>Vc = fy x t x l / 3^0.5 = 76.21 kN</div><div>> Vf</div><div>= 0.97 kN</div><div>OK</div><div>Mf = Ff x l/4 = 0.08 kNm</div><div>Mc = fy x l x t^2/6 = 0.11 kNm</div><div>> Mf</div><div>= 0.08 kNm</div><div>OK</div></div></div>				

aaaenpl

T: +852 21770277
F: +852 21770901
E: general@aaaenpl.com

A: Unit 14, 6/F, Wah Shing Centre,
11 Shing Yip Street, Kwun Tong Kln. H.K.

CALCULATION SHEET

Project:

Item:

CONT. NO:

SHEET NO:

DATE:

Prepared:

Check:

Check the pitch shear

Shear Force on pitch

$$F_{vp} = F_{tb}$$

$$= 1.21 \text{ kN}$$

Diameter of screw

$$d = 150 \text{ mm}$$

Serration pitch

$$p = 10 \text{ mm}$$

Thickness of the base material

$$t = 30 \text{ mm}$$

Number of serrations

$$N_p = [t - (5p/16) - (p/4)]/p$$

$$= 2.44$$

$$= 3.0 \text{ nos}$$

Shear height of each serration

$$H_p = p - (p/8)$$

$$= 8.75 \text{ mm}$$

Shear Area

$$A = \pi \cdot d \cdot H_p \cdot N_p$$

$$= 12370.02 \text{ mm}^2$$

Shear Strength of base material

$$p_v = 220 \text{ MPa}$$

Shear capacity

$$F_{cv} = A \cdot p_v / 1.4$$

$$= 1943.86 \text{ kN}$$

Check

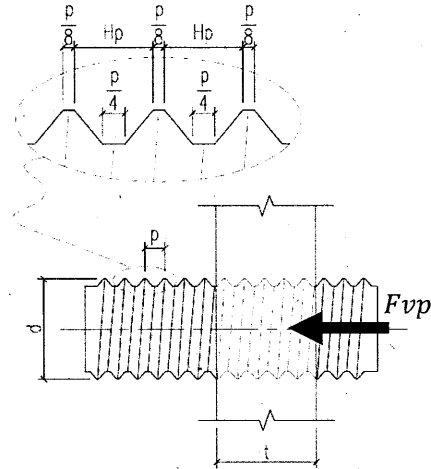
$$k = \frac{1.6F_{vp}}{F_{cv}}$$

$$= 0.001$$

<

1

OK



☐ Urgent ☐ Return receipt ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public groups



A/NE-TKL/686

19/10/2021 17:07

From:

To: mltchan@pland.gov.hk

Cc:

History: This message has been forwarded.

致陳小姐

關於規劃申請編號 TKL686，就早前已遞的修正雨水排水道建議予渠務處及消防設置建議予消防處，已獲通知有關建議已獲得相關部門批准。我們會根據遞交的建議落實執行相關工程及設置。

黃小姐

Previous S.16 Applications

Approved Applications

Application No.	Proposed Developments	Date of Consideration	Approval Conditions
A/NE-TKL/389	Temporary Open Storage of Metal Products and Materials and Storage of Metal and Hardware Products with Ancillary Workshop for a Period of 3 Years	11.1.2013	A1 - A9
A/NE-TKL/534	Renewal of Planning Permission for Temporary Open Storage of Metal Products and Materials and Storage of Metal and Hardware Products with Ancillary Workshop for a Period of 3 Years	18.12.2015	A1 - A5 & A7 - A11
A/NE-TKL/605	Renewal of Planning Approval for Temporary Open Storage of Metal Products and Materials and Storage of Metal and Hardware Products with Ancillary Workshop for a Period of 3 Years	21.12.2018 (revoked on 12.6.2021)	A1 - A4, A6 - A9, A12 & A13

Approved Conditions

- A1 No night time operation between 6:00 p.m. and 8:00 a.m. should be allowed
- A2 No operation on Sundays and statutory holidays should be allowed
- A3 No medium and heavy goods vehicle exceeding 5.5 tonnes as defined in the Road Traffic Ordinance was allowed for the operation of the application site
- A4 The peripheral fencing and paving of the site should be maintained
- A5 The submission and the implementation of tree preservation and landscape proposal
- A6 The submission and the implementation of drainage proposal
- A7 The provision of fire extinguisher(s)
- A8 The submission and the implementation of proposal for water supplies for fire fighting and fire service installations
- A9 Revocation clause
- A10 The existing drainage facilities implemented under application no. A/NE-TKL/389 on the site should be maintained

A11 The submission of a condition record of the existing drainage facilities

A12 The existing trees and landscape planting on site should be maintained

A13 The implemented drainage facilities on the site should be maintained

Similar S.16 Application

Rejected Application

<u>Application No.</u>	<u>Uses/ Development</u>	<u>Date of Consideration</u>	<u>Rejection Reasons</u>
A/NE-TKL/419	Temporary Storage of Electrical Appliances and Metalware for a Period of 3 Years	11.1.2013	R1

Rejection Condition

- R1 The development was not in line with the Town Planning Board Guidelines No. 13E for Application for Open Storage and Port Back-up Uses in that there were adverse departmental comments on the application and the applicant had failed to demonstrate that the development would not generate adverse environmental and traffic impacts on the surrounding area.

5-1

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

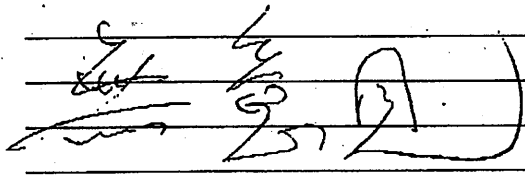
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-TKL/686

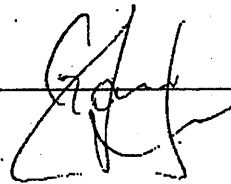
意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)



「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date

2021.9.9

寄件者: [REDACTED]
寄件日期: 2021年09月27日星期一 3:33
收件者: tpbpd
主旨: A/NE-TKL/686 DD 76 KWAN tEI

A/NE-TKL/686

Lot 2195 RP (Part) in D.D. 76 and Adjoining Government Land, Kwan Tei North Village, Fanling

Site area : About 709.14sq.m Includes Government Land of about 89sq.m

Zoning : "Open Storage" and area shown as 'Road'

Applied use : Open Storage of Metals / ?? Parking

Dear TPB Members,

After a whopping TEN extensions of time and almost three years procrastination, approval of 605 was revoked. Details not provided on OZP website so members should inquire into the matter.

Covid should drive some the lesson that operations that can negatively impact the environment, be it via discharges, fire hazard, pollution, etc, can no longer be ignored and applicants allowed to rely on a 3-year roll over approval regardless of the circumstances.

Mary Mulvihill

Recommended Advisory Clauses

- (a) shorter compliance periods are imposed to monitor the progress of compliance. Should the applicant fail to comply with the approval condition resulting in the revocation of the planning permission, sympathetic consideration may not be given by the Committee to any further application;
- (b) to note the comments of the District Lands Officer/North, Lands Department on the following:
 - (i) the Site comprises a private lot and the adjoining Government land (GL). The lot is an Old Schedule lot held under the Block Government Lease (demised for agriculture use) without any guarantee of right of vehicular access. The applicant should make his own arrangement for acquiring access to the Site, and there is no guarantee that any adjoining GL will be allowed for the vehicular access to the Site for the applied use;
 - (ii) it is noted that there are unauthorized structures erected within the application lot and outside the application boundary. Portions of adjoining GL are occupied without approval from her office. Her office reserves the right to take necessary lease enforcement actions against the structures on the lot and land control action against the irregularities on GL as appropriate;
 - (iii) the existing total built-over area and the number of structures erected on Site do not tally with those mentioned in the planning parameters of the application;
 - (iv) it is noted that a toilet has been constructed within one of the structures. The applicant should note that any proposed toilet facility should meet the current health requirements; and
 - (v) the owners of the lot concerned has submitted an application to her office for a Short Term Tenancy (STT) to cover the occupation of GL within the Site. Should the application be approved, the owners of the lot concerned shall apply to her office for a Short Term Waiver (STW) to regularize the unauthorized structures erected on the application lot. The STT and STW applications will be considered by Government in its landlord's capacity and there is no guarantee that they will be approved. If they are approved, the commencement date would be backdated to the first date of occupation and they will be subject to such terms and conditions to be imposed including payment of waiver fee/rent and administrative fees as considered appropriate by her office;
- (c) to note the comments of the Director of Fire Services that detailed fire safety requirements will be formulated upon receipt of formal submission of general building plans;
- (d) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) as follows:
 - (i) if the existing structures (not being a New Territories Exempted House) are erected on leased land without approval of the Buildings Department (BD), they are unauthorised building works (UBW) under the Buildings Ordinance (BO) and should not be

designated for any proposed use under the application;

- (ii) before any new building works (including containers/open sheds as temporary buildings) are to be carried out on the Site, the prior approval and consent of BD should be obtained, otherwise they are UBW. An Authorised Person (AP) should be appointed as the coordinator for the proposed building works in accordance with the BO;
 - (iii) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with BD's enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (iv) any temporary shelters or converted containers for storage or other uses are considered as temporary buildings subject to control under the Building (Planning) Regulations (B(P)Rs) Pt. VII;
 - (v) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of B(P)Rs respectively;
 - (vi) if the Site does not abut a specified street of not less than 4.5m wide, its permitted development intensity shall be determined under Regulation 19(3) of the B(P)Rs at the building plan submission stage; and
 - (vii) formal submission under the BO is required for any proposed new works, including any temporary structures and site formation works like filling of pond and land. Detailed comments under the BO will be provided at the building plan submission stage;
- (e) to note the comments of the Chief Engineer/Construction, Water Supplies Department (WSD) that part of the Site encroaches upon WSD's waterworks reserve where no structure shall be erected over the waterworks reserve and such area shall not be used for storage purposes;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that:
- (i) the applicant is required to construct and maintain the proposed drainage works properly and rectify the drainage systems if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by a failure of the systems. For works undertaken outside the lot boundary, prior consent and agreement from LandsD and/or relevant private lot owners should be sought;
 - (ii) the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drain, channels and watercourses on or in the vicinity of the subject site any time during or after the works;
 - (iii) the lot owner / developer shall take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of the existing

drainage facilities in the vicinity of the lots. In the event of any damage to the existing drainage facilities, the developer shall be held responsible for the cost of all necessary repair works, compensation and any other consequences arising there from; and

- (iv) the applicant shall allow all time free access for the government and its agent to conduct site inspection on his completed drainage works, if necessary;
- (g) to note that comments of the Executive Secretary (Antiquities & Monuments), Antiquities and Monuments Office that no excavation is allowed without the permission of his office; and
- (h) to follow the environmental mitigation measures as set out in the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and comply with requirements of ProPECC PN 5/93 in order to minimize any possible environmental nuisances.