

2023年 6月 1日

此文件在 收到·城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on - 1 JUN 2023
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of "New Territories Exempted House(s)";**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas; and**
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas**
位於鄉郊地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2301149

28/4 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-TKL/732
	Date Received 收到日期	- 1 JUN 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

EXA FIRE PROTECTION (HK) Limited 滙澤防火(香港)有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

PlanPlus Consultancy Limited 思雋顧問有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點 丈量約份及地段號碼(如適用)	Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories		
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積	147.61	sq.m 平方米 <input checked="" type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Gross floor area 總樓面面積	38.5	sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有) sq.m 平方米 <input type="checkbox"/> About 約		

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14
(e) Land use zone(s) involved 涉及的土地用途地帶	"Open Storage"
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"¹ (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」¹ (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"² (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」² (請夾附業權證明文件)。
- ☒ is not a "current land owner"³.
並不是「現行土地擁有人」³。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"⁴.
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」⁴。

(b) The applicant 申請人 -

- ☒ has obtained consent(s) of¹ "current land owner(s)"⁵.
已取得¹ 名「現行土地擁有人」⁵ 的同意。

Details of consent of "current land owner(s)" ⁶ obtained 取得「現行土地擁有人」 ⁶ 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	Lot No. 93 in D.D. 83	24/04/2023

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址:	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)[&]
於 (日/月/年)向每一名「現行土地擁有人」[&]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)[&]
於 (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on (DD/MM/YYYY)[&]
於 (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on (DD/MM/YYYY)[&]
於 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他：(請指明)

Note: May insert more than one '✓'.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置／私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one '✓'.

註 1: 可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2: 如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數	Number of units involved 涉及單位數目		
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 sq.m 平方米 <input type="checkbox"/> About 約		
	Non-domestic part 非住用部分 sq.m 平方米 <input type="checkbox"/> About 約		
	Total 總計 sq.m 平方米 <input type="checkbox"/> About 約		
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	m 米	<input type="checkbox"/> About 約
	<input type="checkbox"/> Filling of land 填土		
Area of filling 填土面積	sq.m 平方米	<input type="checkbox"/> About 約	
Depth of filling 填土厚度	m 米	<input type="checkbox"/> About 約	
<input type="checkbox"/> Excavation of land 挖土			
Area of excavation 挖土面積	sq.m 平方米	<input type="checkbox"/> About 約	
Depth of excavation 挖土深度	m 米	<input type="checkbox"/> About 約	
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)			
(b) Intended use/development 有意進行的用途/發展			

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input checked="" type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度		
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長x闊x高)
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)			

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and also fill in the proposed use/development and development particulars in part (v) below –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至%
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Proposed Temporary Dangerous Goods Godown (for Class 2.2 Dangerous Goods) and Industrial Use for a Period of 5 Years

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- Proposed gross floor area (GFA) 擬議總樓面面積 38.5 sq.m 平方米 ☒ About 約
- Proposed plot ratio 擬議地積比率 0.26 ☒ About 約
- Proposed site coverage 擬議上蓋面積 26.08 % ☒ About 約
- Proposed no. of blocks 擬議座數 2
- Proposed no. of storeys of each block 每座建築物的擬議層數 1 storeys 層
- ☐ include 包括 NA storeys of basements 層地庫
- ☐ exclude 不包括 NA storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) ☐ About 約
Maximum: 4.25 m 米 ☒ About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積 sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☒ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 sq. m 平方米 ☐ About 約☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約☐ Government, institution or community facilities (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

政府、機構或社區設施

.....
.....
.....☒ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積/總樓面面積)

Dangerous Good Godown: 13.475 sq.m.

Manufacturing workshop: about 25.025 sq.m.

.....
.....☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
A1	G/F	Dangerous Goods Manufacturing Workshop
.....
A2	G/F	Dangerous Goods Godown
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

1 LGV Loading/ Unloading Bay and internal circulation

.....
.....
.....
.....

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

End of 2023 tentatively

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行車通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) A local access connecting Sha Tau Kok Road (Lung Yeuk Tau) <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?	Yes 是 No 否	<input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 NA Coach Spaces 旅遊巴車位 NA Light Goods Vehicle Spaces 輕型貨車車位 1 Medium Goods Vehicle Spaces 中型貨車車位 NA Heavy Goods Vehicle Spaces 重型貨車車位 NA Others (Please Specify) 其他 (請列明) NA _____

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tbody> <tr> <td>On environment 對環境</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On traffic 對交通</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On water supply 對供水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On drainage 對排水</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>On slopes 對斜坡</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Affected by slopes 受斜坡影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Landscape Impact 構成景觀影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Tree Felling 砍伐樹木</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Visual Impact 構成視覺影響</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td><td>Yes 會 <input type="checkbox"/></td><td>No 不會 <input checked="" type="checkbox"/></td></tr> </tbody> </table> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>Please refer to the Planning Statement.</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the Planning Statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

KENNITH CHAN

MANAGING DIRECTOR

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

PlanPlus Consultancy Limited



☒ Company 公司 / ☒ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

12/04/2023

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

@ Ash interment capacity in relation to a columbarium means --

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該靈灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories		
Site area 地盤面積	147.61	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	N.A.	sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14		
Zoning 地帶	"Open Storage"		
Applied use/ development 申請用途/發展	Proposed Temporary Dangerous Goods Godown (for Class 2.2 Dangerous Goods) and Industrial Use for a Period of 5 Years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	38.5 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.26 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用		
	Non-domestic 非住用	2	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	4.25	m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積		26.08	% <input checked="" type="checkbox"/> About 約
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人		sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾		sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	1 - - 1 - -

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

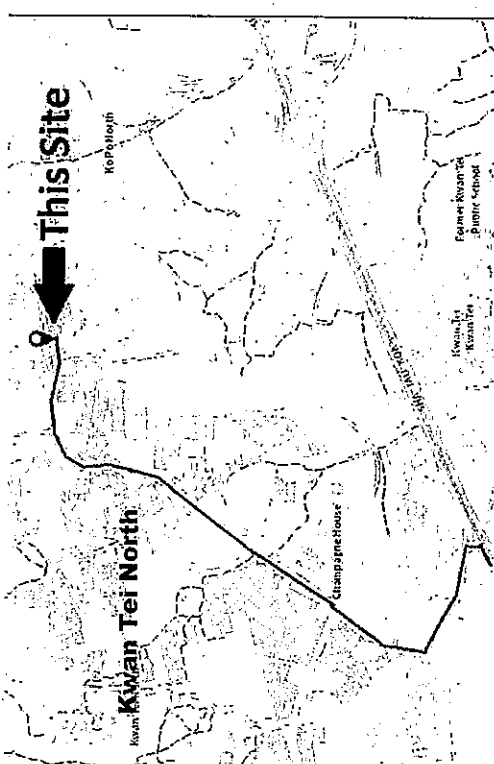
	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swept Path Analysis		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
A1	New Schedule 2 Class 2 D.O. Manufacturing Workshop	25,025 m ² (ABOUT)	25,025 m ² (ABOUT)	4.25m (ABOUT) (1-STORY)
A2	New Schedule 2 Class 2 D.O. Godown	13,475 m ² (ABOUT)	13,475 m ² (ABOUT)	2.75m (ABOUT) (1-STORY)
TOTAL		38.5 m ² (ABOUT)	38.5 m ² (ABOUT)	

Application Site area: 147.61m² (about)
 Covered area: 38.5m² (about)
 Uncovered area: 109.11m² (about)
 Site Coverage: 35.29% (about)
 No. of structure: 2
 Building Height: maximum 4.25m (about)
 No. of Storey: 1

Site Location (Not to Scale)

Existing
Main Switch Room
(previous named
Transformer Room)

Existing
open CLP
Electricity sub-station
No. 04513-2

Existing
Swan neck hydrant
No. 1052

Road

DD88 Lot 93 Area

DD88 Lot 92 Area

DD88 Lot 91 Area

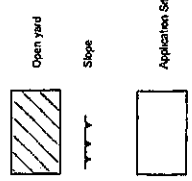
Road

Road

11.8

PLAN

LEGEND



Rev Date Description

DRN
CHK
APP.

Client

Project Title

PROPOSED TEMPORARY DANGEROUS GOODS GODOWN
 FOR CLASS 2.2 DANGEROUS GOODS (FLAMMABLE LIQUID)
 USE FOR A PERIOD OF 5 YEARS IN "OPEN STORAGE"
 ZONE AT LOT NO. 90 (PART) IN D.D.83, KWAN TEI NORTH,
 FANLING, NEW TERRITORIES

Drawing Title

SITE LAYOUT PLAN

Drawn D.C. 1:300 (A3)
 Date 2 APR 2023
 Checked A.C. Approved
 Client Ref. G.L.

DWG. No. EXA-PA-S101
 ACAD Ref. DD83Lot93-DGStore
 Issue

Section 16 Planning Application for Proposed Temporary Dangerous Goods Godown (for Class 2.2 Dangerous Goods) and Industrial Use for a Period of 5 Years in “Open Storage” Zone at Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories

Planning Statement

Prepared by
Planning Consultant : PlanPlus Consultancy Limited

Associated with
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April 2023
Reference : PPC-PLG-10114
Report : Version 1.0

EXECUTIVE SUMMARY

(In case of discrepancy between English and Chinese versions, English shall prevail)

This Planning Statement is submitted to the Town Planning Board ("**the Board**") on behalf of EXA FIRE PROTECTION (HK) Limited ("**the Applicant**") in support of a Section 16 planning application for Proposed Temporary Dangerous Goods Godown (for Class 2.2 Dangerous Goods) and Industrial Use for a period of 5 years ("**the Proposed Development**") at Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories ("**the Application Site**"). The application site falls within the "Open Storage" ("**OS**") zone on the Approved Ping Che And Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14 ("**the OZP**"). According to the Notes of the OZP, 'Dangerous Goods Godown' and 'Industrial Use' (not elsewhere specified) are Column 2 uses which require planning permission from the Board. A planning application is therefore submitted by the Applicant.

The Application Site covers a total site area of about 147.61m² to be occupied by two one-storey structures (with maximum building height not more than 4.25m) and a total floor area of 38.5m² for dangerous goods storage and manufacturing workshop. A loading/unloading space for light goods vehicle will be provided at the Site. The operation hours of the Proposed Development will be 9:00 am to 6:00 pm from Mondays to Fridays. No operation will be carried out at weekends and on public holidays. The Site is accessible from Sha Tau Kok Road via local access.

The proposed dangerous goods to be stored and processed on the Application Site are non-flammable, non-toxic gases for fire extinguishers. They are classified as Class 2.2 substances listed in Schedule 2 of the Dangerous Goods (Application and Exemption) Regulation 2012 (Cap. 295E). The proposed industrial use is a workshop that carries out agent extraction and refill work for the extinguishing receptacle.

The Proposed Development is fully supported by the planning justifications below:

- The Proposed Development is considerably in line with the planning intention of "OS" Zone in the OZP
- The Proposed Development is in compliance with Town Planning Board Guidelines (TPG PG-No.13G)
- The Proposed Development will not jeopardise the long-term development and planning of New Territories North New Town
- The Proposed Development is not incompatible with the surrounding uses
- No significant adverse traffic, landscape, visual, drainage and noise impacts are anticipated

Based on the above justifications, we sincerely wish that the Board can give favourable consideration to this application.

內容摘要

(如內文與其英文版本有差異，則以英文版本為準)

本規劃申請謹代表滙澤防火(香港)有限公司(下稱「申請人」)，根據《城市規劃條例》第16條，懇請城市規劃委員會(下稱「城規會」)批准位於新界粉嶺軍地北丈量約份第83約地段第93號(部分)作擬議臨時「危險品倉庫」(第2.2類危險品)及「工業用途」(為期五年)(下稱「擬議發展」)。申請地點位於《坪輦及打鼓嶺分區大綱核准圖編號S/NE-TKL/14》之「露天貯物」地帶之內。根據核准圖有關「露天貯物」地帶的註釋，「危險品倉庫」及「工業用途」屬於第二欄用途，須先向城規會申請。申請人遂向城規會遞交是次規劃申請。

申請範圍地點面積約147.61平方米，將設有2個1層(高度不超過4.25米)以及總樓面面積約38.5平方米的構築物，用作危險品存放及工場。申請地點將提供一個輕型貨車上落貨車位。擬議發展營運時間為星期一至五上午九時至下午六時，週末及公眾假期休息。申請地點可以從沙頭角道經小路前往。

本規劃申請擬議在申請地點存放和處理的危險品為用於滅火裝置中的非易燃及無毒氣體。該氣體被列為第295E章《2012年危險品(適用及豁免)規例》附表2危險品所指明的第2.2危險品。擬議工業用途是為滅火容器進行滅火劑提取及再填充工作的工場。

擬議之臨時設施有充分的理據支持，包括以下規劃考量因素：

- 擬議發展大致符合「露天貯物」地帶之規劃意向；
- 擬議發展符合城市規劃委員會規劃指引編號13G；
- 擬議發展項目不會妨礙新界北新市鎮的長遠發展和規劃；
- 擬議發展申請之用途與附近之發展相容；以及
- 擬議發展不會為附近環境帶來不良的交通、景觀、視覺、排水和噪音影響。

擬議發展符合所有的規劃考量因素，申請人懇請城規會委員給予考慮並批准是次規劃申請。

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1. INTRODUCTION

1.1 Background & Purpose

- 1.1.1 We are commissioned by the Applicant to prepare and submit on their behalf this planning application for the Proposed Dangerous Goods Godown (for Class 2.2 Dangerous Goods) and Industrial Use ("**the Proposed Development**") at Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories ("**the Application Site**") under Section 16 of the Town Planning Ordinance ("**the Ordinance**").
- 1.1.2 The Application Site falls entirely within an area zoned "Open Storage" ("**OS**") under the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14 ("**the OZP**"). According to the Covering Notes of the OZP, 'Dangerous Goods Godown' and 'Industrial Uses' are Column 2 uses which require permission from the Town Planning Board ("**the Board**"); therefore, a Section 16 planning application under the Ordinance is submitted.
- 1.1.3 The purpose of this planning application is to seek the approval from the Town Planning Board ("**the Board**") for the Applicant in setting up a Storage and Workshop Area for Extracting and Refilling Class 2.2 agent listed in Schedule 2 of the Dangerous Goods (Application and Exemption) Regulation 2012 (Cap. 295E) at the Application Site.

1.2 Structure of the Planning Statement

- 1.2.1 In support of this planning application, this Planning Statement is divided into six chapters for the consideration of the Board members.
- 1.2.2 **Chapter 1** is the above introduction outlining the purpose of the current application. **Chapter 2** gives the background details of the Application Site in terms of the current land-use characteristics and the surrounding developments. **Chapter 3** provides an overview of the planning context of the Application Site. **Chapter 4** explains the development proposal and technical aspects of the Proposed Development. Finally, justifications for approval of the application are provided in **Chapter 5**, and the planning submission is summarised in **Chapter 6**.

2. THE APPLICATION SITE AND SURROUNDINGS

2.1 Current Condition of the Application Site

- 2.1.1 The Application Site occupies an area of 147.61m² and is located in Kwan Tei North Village in Ping Che, which is situated to the north of the Sha Tau Kok Road (Lung Yeuk Tau) and Ng Tung River. **Figure 1** shows the location of the Application Site. The Site is accessible from Sha Tau Kok Road via a local access.

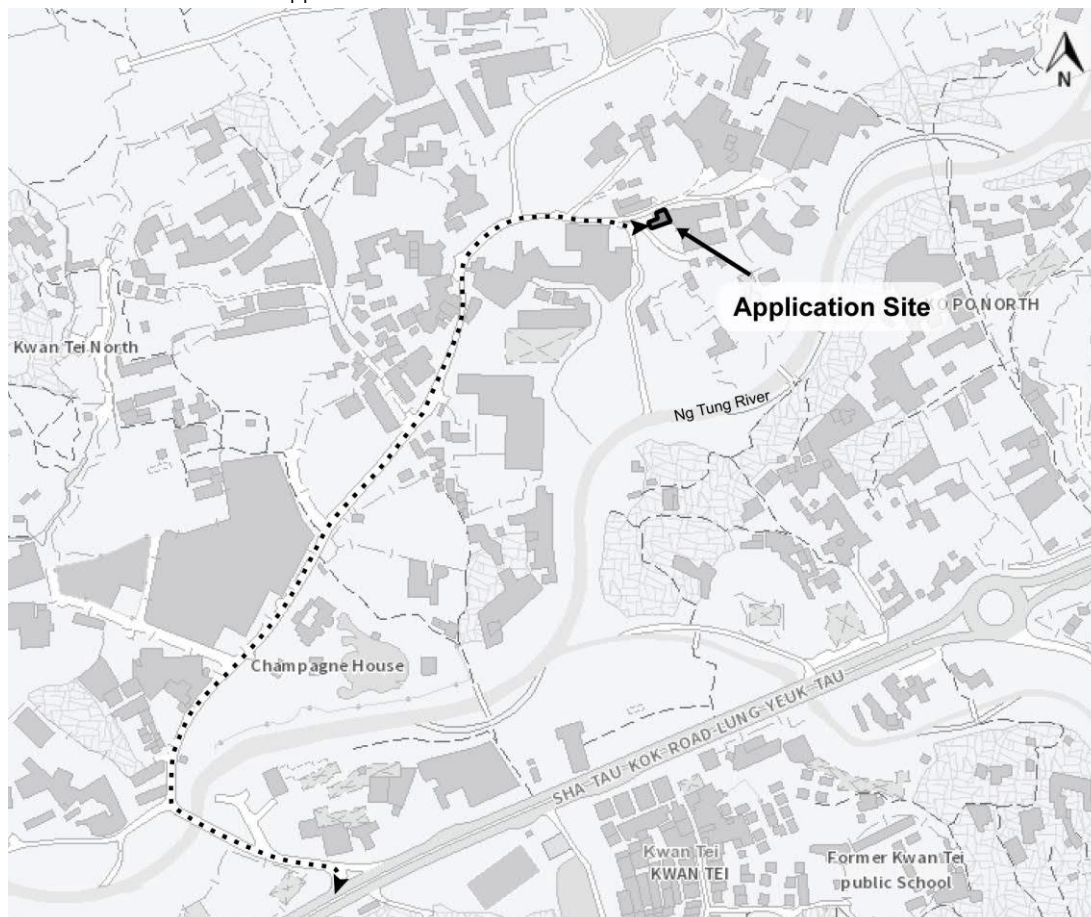


Figure 1 Location Plan (for indicative only)

- 2.1.2 The local access diverges at the western side of the Application Site and divides into 2 roads with a 2m level difference. The Application Site, along with the CLP electricity sub-station No. 04513-2 and existing Transformer Room, sits between the diverged road and at the toe of a slope (Ref. No.: 3SW-B/C 394).

2.2 Site Status

- 2.2.1 While no planning applications have been previously conducted on the Application Site, the site was initially used as a dyeing factory for clothes and garments. The entire Application Site has been hard paved and is currently vacant.

2.3 Surrounding Context

- 2.3.1 The surrounding areas are predominantly warehouses, open storage facilities and vacant lands spanning across the village. To the east and west of the Application Site are warehouses, cold storage and open

storage sites. To its north across the local access is a residential dwelling surrounded by dense tree groups. To its immediate south is vacant sites, and further south across the local access is a residential dwelling and vacant open storage site.

2.4 Land Lease

- 2.4.1 The Application Site covering a portion of the Lot 93 in D.D. 83, including the local access, is on private landholdings (**Figure 2**). The Applicant has notified the current land owner about the Planning Application, who has no objection to the Proposed Development.

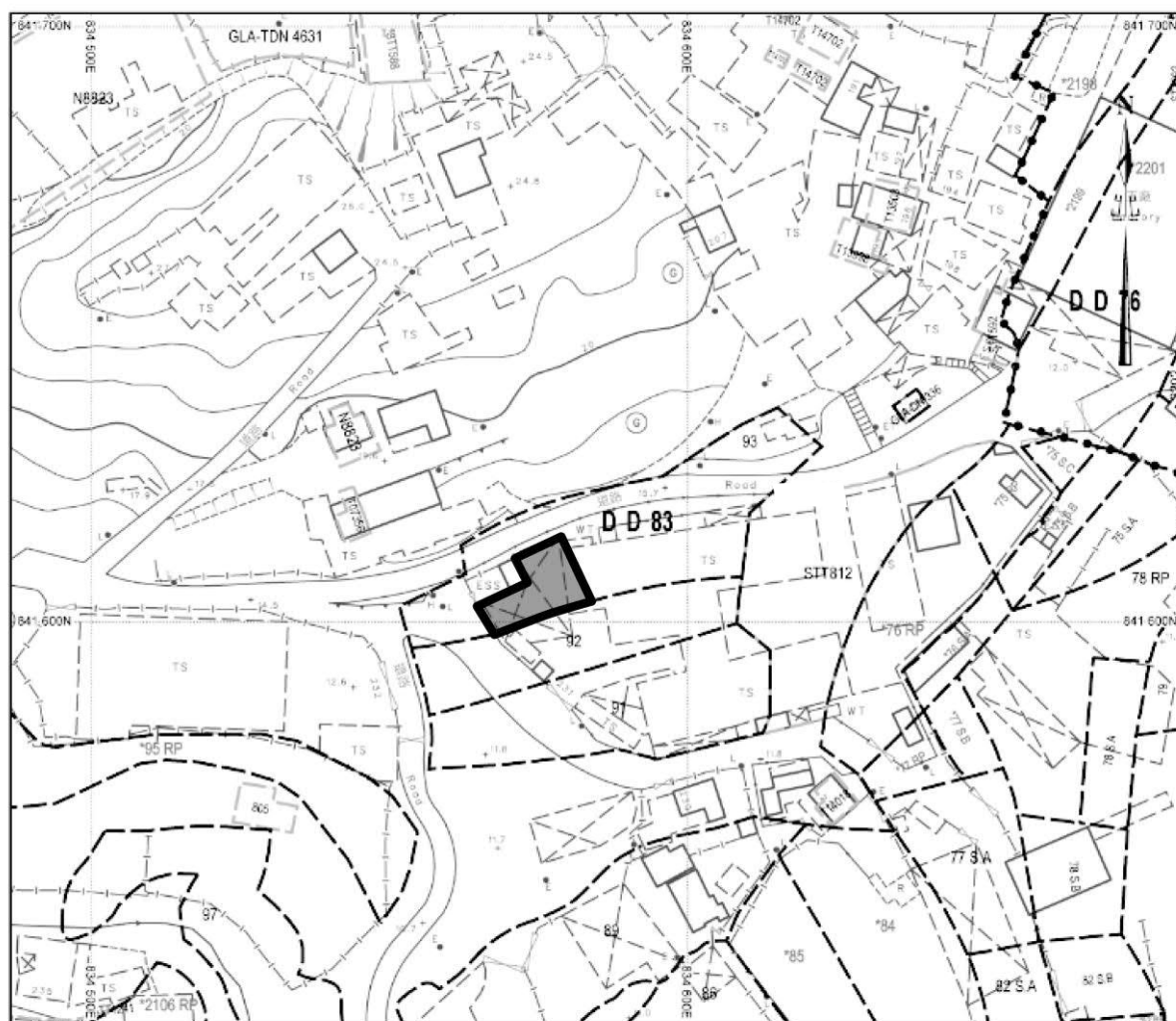


Figure 2 Application Site on Lot Index Plan (for indicative only)

3. PLANNING CONTEXT

3.1 Statutory Planning Context

3.1.1 The Application Site falls entirely within the "OS" zone on the OZP. According to the Notes of the OZP, dangerous goods godown and industrial use (not elsewhere specified) are Column 2 uses which require permission from the Board.

3.1.2 The planning intention of the "OS" zone is primarily for the provision of land for appropriate open storage uses and to regularise the already haphazard proliferation of open storage uses. It provides for the orderly development of land for open storage uses that cannot be accommodated in conventional godown premises. While the Proposed Development may be considered not entirely in line with the planning intention of the "OS" zone, a temporary permission for a development with a very similar nature could be tolerated.

3.2 Town Planning Board Guideline

3.2.1 Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No.13G) is relevant to the Application. According to the guideline, the Application Site falls within Category 1 area, which are areas considered suitable for open storage and port back-up uses. Favourable consideration will normally be given to applications within these areas subject to no adverse department comments and local concerns.

3.3 Long-Term Planning of the New Territories North Development

3.3.1 Proposed by the Chief Executive in the Northern Metropolis Development Strategy for the Policy Address 2021, the Application Site falls within the premises of the New Territories North (NTN) New Town, which is designated to contribute to accommodating residential population and creating new job opportunities in its various development nodes, which include the extension of Northern Link and other ancillary facilities. As suggested in the Final Recommendation of the "Hong Kong 2030+ Study", the NTN New Town will also be optimised for a range of economic uses, including industrial uses, innovation and technology, commercial/business and modern logistics.

3.4 Similar Planning Applications for Dangerous Good Godown

3.4.1 There are three preceding cases for proposed temporary dangerous goods godowns in the Ping Che and Ta Kwu Ling OZP within the "OS" zone approved by the Board. The list of similar applications is shown in Table 1 below.

Table 1 Previous Approved Applications of Similar Use on the Same OZP

No.	Application No.	Applied Use	Decision by the Board
1	A/NE-TKL/305	Temporary Dangerous Goods Godown (for Storage of Category 2 Dangerous Goods, mainly Industrial Oxygen and Acetylene) for a Period of 3 Years	Approved with condition(s) on a temporary basis on 27.6.2008 (Revoked on 7.3.2009)
2	A/NE-TKL/463	Temporary Dangerous Goods Godown (for Storage of Category 4 and Category 5 Dangerous Goods) for a Period of 3 Years	Approved with condition(s) on a temporary basis on 7.3.2014 (Revoked on 7.9.2014)

3	A/NE-TKL/580	Proposed Temporary Dangerous Goods Godown (for Storage of Category 2 Dangerous Goods) and Industrial Use for a Period of 5 Years	Approved with condition(s) on a temporary basis on 18.5.2018 (Revoked on 18.11.2018)
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3.4.2 The aforementioned applications were approved with conditions by the Board mainly on the considerations that approval of the development would not frustrate the planning intention of the "OS" zone on the OZP; the application complied with the then TPB PG-No. 13E in that there were no major adverse departmental comments received and local objections could be addressed through the implementation of approval conditions; the proposed development formed an essential part in the manufacturing process of the concerned rural workshop and the proposed godown could not be accommodated elsewhere or in conventional godown premises; and the proposed development was small size in nature.

3.4.3 After careful consideration to find an adequate site for satisfying the anticipated approval conditions, the Applicant would be committed to enabling necessary measures swiftly in compliance with the possible approval conditions from the Board.

3.5 Previous Planning Applications

3.5.1 The Application Site is not subject to any previous planning applications.

4. THE DEVELOPMENT PROPOSAL

4.1 Development Scheme

- 4.1.1 The Proposed Development, as shown in the Layout Plan in **Appendix 1**, comprises two one-storey enclosed structures for a Schedule 2 Class 2.2 Dangerous Goods Godown and manufacturing workshop, with 1 Loading/Unloading Bay for Light Goods Vehicles. The key development parameters of the Proposed Development are summarised in **Table 2** below, and the summary of the development proposal of the Application Site is shown in **Table 3**.

Table 2 Major Development Parameters

Parameters	Proposed Use
Site Area	About 147.61m ²
Total Gross Floor Area (Individual Structure Height) Dangerous Goods Godown Manufacturing Workshop	About 38.5m ² (Maximum building height not more than 4.25m) About 13.475m ² (about 2.75m) About 25.025m ² (about 4.25m)
No. of Structures	2
No. of Storey	1
No. of Loading/Unloading Space for Light Goods Vehicle (7m x 3.5m)	1

Table 3 Description of Proposed Development

Uses	Description
Manufacturing Workshop (Structure A1)	Workshop area for extraction and refilling class 2.2 dangerous goods in pressure receptacles, portal equipment for hydraulic pressure test and maintenance work
Dangerous Goods Godown (Structure A2)	Private storage of fire extinguishers
1 LGV Loading/ Unloading Bay	For loading/unloading of dangerous goods within the application site

- 4.1.2 The proposed structures will be built with 2 hours of fire-resistance block walls, metal roofs and doors. The site is currently well-paved. No site formation works would be required for the Proposed Development. A 2m high wire mesh fence will be erected on the south side of the site boundary to separate it from the neighbouring site. Details refer to **Appendix 2**.

4.2 Operation Arrangement

- 4.2.1 The operation hours for the Proposed Development are 9:00 am to 6:00 pm, from Mondays to Fridays. No operation will be carried out at weekends and on public holidays. An average of 3 staff is anticipated during the operation hours. The operation hours are in line with the nearby industrial uses and open storage facilities. No sales activities will be conducted on the Application Site; thus, visitors will not be allowed there.
- 4.2.2 The Applicant will strictly comply with all relevant licensing requirements regarding fire safety, hygiene, and noise nuisance upon obtaining the planning permission from the Board.

4.3 Dangerous Goods Storage

- 4.3.1 The Schedule 2 Dangerous Goods involved in this application are non-flammable, non-toxic gases designed for fire suppression. They are classified as Class 2.2 substances listed in Schedule 2 of the Dangerous Goods (Application and Exemption) Regulation 2012 (Cap. 295E). The complete list of

Dangerous Goods to be stored and processed in the facility is shown in **Table 4** below. 18 receptacles with a total volume of 3,418L will be stored in the enclosed storeroom.

Table 4 List of Dangerous Goods

Un. No.	Shipping Name of the Gas	Class
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)	2.2
3296	HEPTAFLUOROPROPANE (HFC-227ea)	2.2
1009	BROMOTRIFLUOROMETHANE (Halon 1301)	2.2
1974	CHLORODIFLUOROBROMOMETHANE (Halon 1211)	2.2
3163	LIQUEFIED GAS, N.O.S (NAFS-III)	2.2
1021	CHLORO-1,2,2,2-TETRAFLUOROETHANE (HCFC-124)	2.2
1956	COMPRESSED GAS, N.O.S. (HCFC-123)	2.2
1984	TRIFLUOROMETHANE (HCFC-23)	2.2
1066	NITROGEN, COMPRESSED	2.2
1013	CARBON DIOXIDE	2.2

4.4 Agent Extraction and Pressurizing Process

- 4.4.1 The proposed industrial use is a workshop that carries out agent extraction and refill work for the extinguishing receptacle. The used or expired extinguishing receptacles will be emptied by extracting the agent and temporarily stored in a dedicated receptacle. After the hydraulic pressure test is passed, the receptacles will be refilled with the originally extracted agent and pressurised with gas to the designed standard. The equipment involved and working procedures are detailed in **Appendices 3 and 4**.

4.5 Traffic Arrangements

- 4.5.1 Vehicular access to the Application Site utilises an existing track off Sha Tau Kok Road (Lung Yeuk Tau), with traffic coming either from Lung Shan Tunnel of Heung Yuen Wai Highway or Wo Hap Shek Interchange via Jockey Club Road. A total of 1 loading/unloading space for a light goods vehicle ("LGV") will be provided to meet the operational needs. Vehicles will enter and/or exit the Application Site through the ingress/egress point, as shown in **Appendix 5**. The Application Site is surrounded by warehouses with low traffic. Therefore, queueing of vehicles outside the Application Site will unlikely result.
- 4.5.2 The Proposed Development is expected to generate insignificant traffic impact on the adjacent road network. There will only be 2-3 roundtrips for delivering the fire extinguishing receptacles per week on average. The Proposed Development's estimated maximum traffic attraction and generation are minimal (**Table 5** refers). Thus, no adverse impact on Sha Tau Kok Road (Lung Yeuk Tau) and local access is anticipated.

Table 5 Estimated Traffic Figures for the Proposed Development

Type of Vehicles	Average No. of Vehicles / Day	Maximum No. of Vehicles / Day
No. of LGV (in)	0.4	0.6
No. of LGV (out)	0.4	0.6

Note: The peak hours of the Proposed Development are 9 am to 6 pm from Mondays to Fridays (excluding weekends and public holidays).

- 4.5.3 While the LGV parking space is exclusively for operational use, the staff will commute by public transport. The Proposed Development is served by numerous franchised bus routes and public minibuses operating within 700 metres (i.e., about 9 minutes of walking), which is connected via a local footpath (Figure 3 refers).

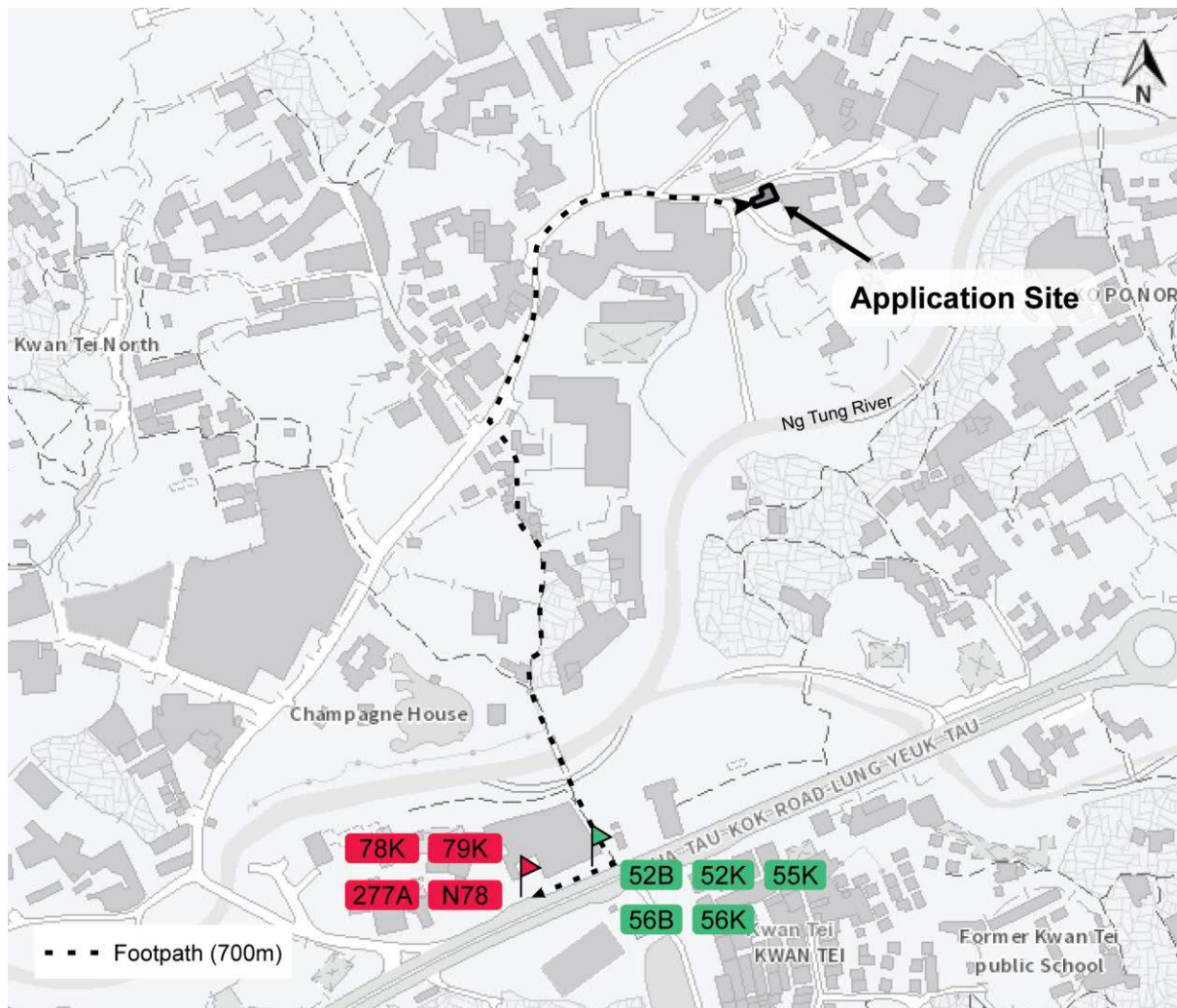


Figure 3 Public Transit Facilities

4.6 Drainage Arrangements

- 4.6.1 While the operation of the Proposed Development does not require water, the existing 220mm width surface drainage channel and catch pit remains unchanged for the Proposed Development. Surface runoff within the Application Site is naturally diverted and discharged via the existing U-channels, effectively preventing surface water from flowing from the Application Site to the nearby public roads. Therefore, a significant adverse drainage impact is not anticipated to be generated from the Proposed Development.

5. PLANNING JUSTIFICATIONS

5.1 Considerably in Line with the Planning Intention of "OS" Zone in the prevailing OZP

- 5.1.1 The Application Site falls entirely within the area zoned "OS" under the Approved OZP, with the planning intention primarily for the provision of land for appropriate open storage uses and to regularise the already haphazard proliferation of open storage uses. It provides for the orderly development of land for open storage uses that cannot be accommodated in conventional godown premises. Providing that open storage of chemical products or dangerous goods could induce environmental nuisance and safety hazards, planning permission is required from the Board to enable such uses. With the proposed use of a temporary Dangerous Goods Godown and a workshop of industrial use, the planning application is lodged to seek the Board's approval on such uses, and to meet the prevailing planning intention of "OS" zoning to regularise the haphazard proliferation of open storage uses in the surrounding of the Application Site.

5.2 Compliance with Town Planning Board Guideline (TPG PG-No.13G)

- 5.2.1 According to Town Planning Board Guideline No.13G, the Application Site is situated within the Category 1 areas, which are considered suitable for open storage and port back-up uses. As mentioned in the Guidelines, *"Proposed uses which may cause significant environmental and traffic concerns require planning permission from the Board in accordance with the notes of the plans. Favourable consideration will normally be given to applications within these areas, subject to no major adverse departmental comments and local objections, or the concerns of the departments and local residents can be addressed through the implementation of approval conditions".* The Proposed Development involving a processing workshop complies with the Guidelines and thus is suitable within the Application Site.

5.3 The Proposed Development Will Not Jeopardize the Long-Term Development and Planning of NTN New Town

- 5.3.1 While the development direction surrounding the Application Site is well noted, the above description of the speculative development of NTN New Town is currently in the preliminary inception stages. CEDD recently commissioned the Planning and Engineering Study of NTN New Town and Man Kam To in November 2021, and the study period is estimated for 36 months. Including the subsequent statutory plan making process, other technical studies (Engineering, Planning), and the construction of infrastructures, the development of NTN New Town would not materialise for at least another 10 years. The proposed 5-year period of the development of Dangerous Goods Godown would not jeopardize the long-term planning of the Application Site or any developments currently in place around the Application Site.

5.4 Not Incompatible with the Surrounding Uses

- 5.4.1 Considering the Application Site is surrounded by rural uses intermixed with warehouses, cold storage and vacant/operating open storage facilities, the Proposed Development is not incompatible with the surrounding areas, which are rural in character.

5.5 No Significant Adverse Traffic, Landscape, Visual, Drainage and Noise Impacts

- 5.5.1 The Proposed Development would not generate any unfavourable changes to surrounding areas. The operation would not induce any heavy vehicles to cause a nuisance to nearby residents and industrial sites. Given the small scale of operation, adverse traffic impact arising from the Proposed Development is not anticipated.

- 5.5.2 The Application Site has been hard-paved, and there is no existing landscape. The proposed structures within the current storage yard will not induce any notable changes in place, and the Proposed Development is expected to generate no landscape and visual impacts.
- 5.5.3 Additionally, the Proposed Development is non-polluting and would not produce any contaminated waste. While there is a noise-sensitive use located across the local access path, the Application Site is fenced by an existing 2-metre-high concrete wall with a level difference of about 3-4 metres from the abutting access road. The workshop operation will not generate notable drainage and sound impacts to its surrounding, where the Proposed Development is technically feasible for its surrounding residents.

6. CONCLUSION

6.1.1 This Planning Statement serves to provide information and planning justifications in support of the Proposed Development. As detailed in the previous chapters, the Proposed Development is well justified on the grounds that:

- Considerably in Line with the Planning Intention of "OS" Zone in the prevailing OZP;
- Compliance with Town Planning Board Guideline (TPG PG-No.13G);
- The Proposed Development Will Not Jeopardize the Long-Term Development and Planning of NTN New Town;
- Not Incompatible with the Surrounding Uses; and
- No Significant Adverse Traffic, Landscape, Visual, Drainage and Noise Impacts

6.1.2 To conclude, we sincerely wish that the Board can give favourable consideration to this Application.

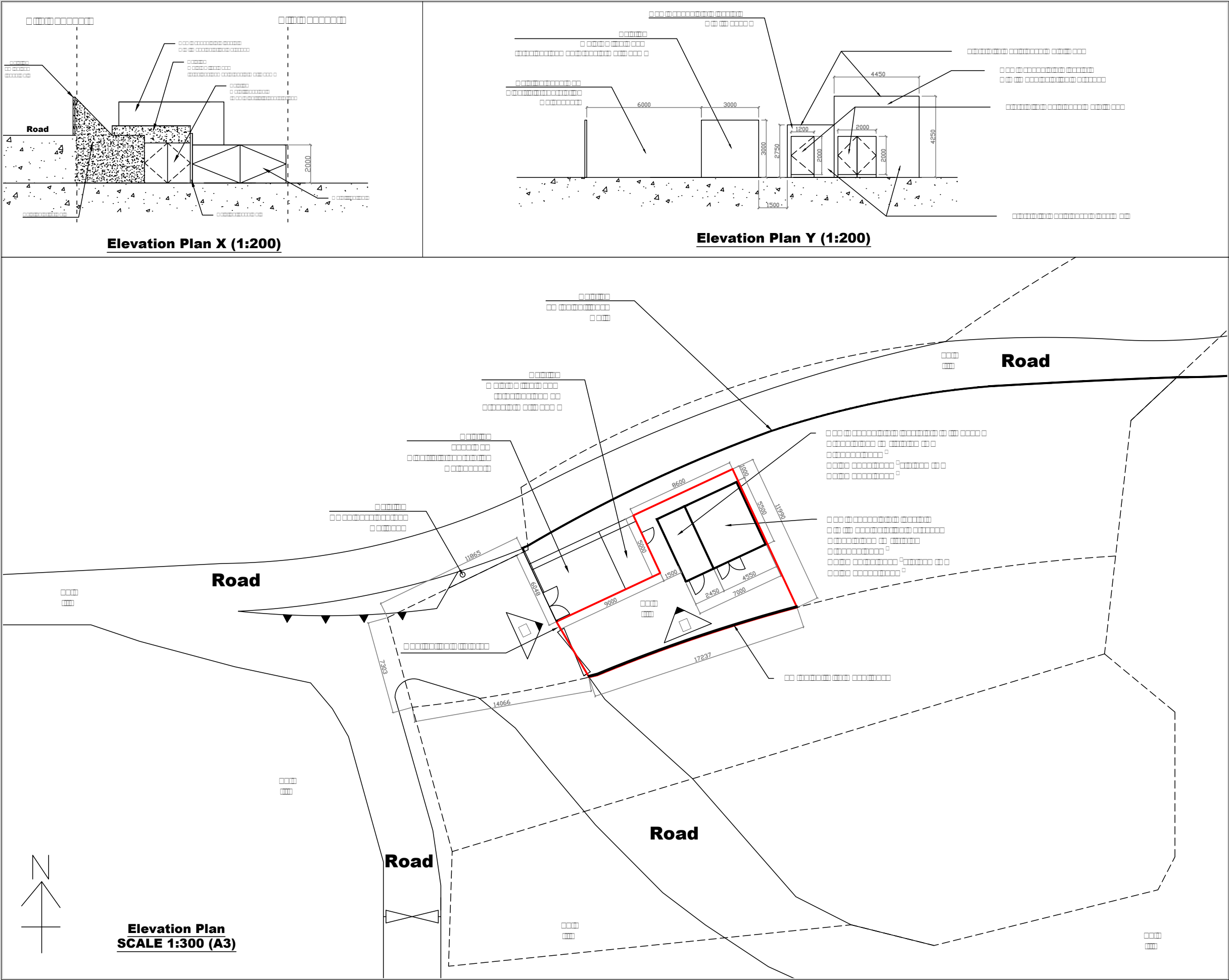
April 2023
PlanPlus Consultancy Limited

Appendix 1

Layout Plan

Appendix 2

Elevation Plan



LEGEND

Rev	Date	Description	DRN. CHK. APP.
Client			
Project Title			
Drawing Title			
Drawn D.C.	Scale AS SHOWN	Checked A.C.	
Date 2 APR 2023	Client Ref.	Approved G.L.	

DWG. No.
EXA-PA-S104

ACAD Ref.
DD83Lot93-DGStore

Rev

Appendix 3

Details of Dangerous Goods and Equipment

A.Name of Agent

<u>S2DG LIST</u>	
UN NO.	Shipping Name
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)
3296	HEPTAFLUOROPROPANE (HFC-227ea)
1009	BROMOTRIFLUOROMETHANE (Halon 1301)
1974	CHLORODIFLUOROBROMOMETHANE (Halon 1211)
3163	LIQUEFIED GAS, N.O.S (NAFS-III)
1021	CHLORO-1,2,2,2-TETRAFLUOROETHANE (HCFC-124)
1956	COMPRESSED GAS, N.O.S. (HCFC-123)
1984	TRIFLUOROMETHANE (HCFC-23)
1066	NITROGEN, COMPRESSED
1013	CARBON DIOXIDE

B. Storage Requirement

Storage Capacity in DG Store			
Un No.	Shipping Name	QTY	LITER
1044	FIRE EXTINGUISHERS CONTAINING COMPRESSED OR LIQUEFIED GAS (FK-5-1-12)	3 x 243L	729L
3296	HEPTAFLUOROPROPANE (HFC-227ea)	3 x 243L + 1000L	1729L
1013	CARBON DIOXIDE	4 x 80L	320L
1066	NITROGEN, COMPRESSED	8 x 80L	640L
		Aggregate	3418L

C. Facilities that use the agent

1. CO2 transfer pump
2. Clean agent transfer pump

D. Noise level of the equipment

1. CO2 transfer pump
no data
2. Clean agent transfer pump
≤80db
3. Air Compressor
68db ± 2db



Unità di travaso Novec1230



Transfer unit for Novec1230



Unité de transfert pour Novec1230



Model **100/103-N1230**

Code **MFBE003**

User Manual

10. Dati tecnici / Technical data / Données techniques



Prodotti ammessi per il riempimento:

Alimentazione elettrica:

Potenza motore pompa riempimento:

Olio pompa riempimento:

Pressione max. di lavoro:

Pressione max. di alimentazione N₂:

Rumorosità (a 0,5 m, frontale):

Potenza pompa vuoto:

Portata pompa vuoto:

Massimo vuoto:

Ingombro totale massimo:

Peso:

Peso pompa vuoto:

Novec12030	
vedi schema elettrico	
4	KW
SAE20/40	
60	bar
50	bar
<80	dB
1,5	KW
41	m ³ /h
0,5	mbar
1500 x 800 x (h) 1585	mm
100	Kg
45	Kg



Products allowed for filling:

Power supply:

Filling pump motors power:

Filling pump oil:

Max. working pressure:

Max. N₂ inlet pressure:

Noise (at 0,5 m, frontal):

Vacuum pump power:

Vacuum pump inlet capacity:

Vacuum max:

Total dimensions:

Weight:

Vacuum pump weight

Novec1230	
See wiring diagram	
4	KW
SAE20/40	
60	bar
50	bar
<80	dB
1,5	KW
41	m ³ /h
0,5	mbar
1500 x 800 x (h) 1585	mm
100	Kg
45	Kg



Produit acceptées pour remplissage:

Alimentation électrique:

Puissance moteur pompe de remplissage :

Huile pompes:

Pression maximale de travail:

Pression maximale d'alimentation N₂:

Bruit (a 0,5 m, frontale):

Puissance pompe vide:

Débit pompe vide:

Vide max.:

Dimension total maximum:

Poids:

Poid pompe vide:

Novec12030	
voir schéma électrique	
4	KW
SAE20/40	
4	KW
<80	dB
1,5	KW
41	m ³ /h
0,5	mbar
1500 x 800 x (h) 1585	mm
100	Kg
45	Kg



Dotazione standard:

- ☒ Manuale di uso e manutenzione.
- ☒ Manichette di alimentazione prodotto.
- ☒ Manichette di riempimento
- ☒ Manichetta di alimentazione N₂.

A richiesta:

- ☐ Interfaccia per bilancia.
- ☐ Sistema per la creazione del vuoto.



Standard dotation:

- ☒ User manual.
- ☒ Product supply hoses.
- ☒ Filling hoses.
- ☒ N₂ supply hose.

On demand:

- ☐ Scale interface.
- ☐ Vacuum creation system.



Dotation standard:

- ☒ Manuel de l'utilisateur.
- ☒ Tuyaux d'alimentation produit.
- ☒ Tuyaux de remplissage.
- ☒ Tuyau pour l'alimentation du N₂.

Sur demande:

- ☐ Interface avec balance
- ☐ Système du vide.



皮带传动系列螺杆式空气压缩机技术参数

机 型	MT-5	MT-7.5	MT-10	MT-15	MT-20	MT-25	MT-30	MT-40	MT-50	MT-60	MT-75	MT-100	
排气量 / 排气压力 (m ³ /min/Mpa)	0.65/0.7	0.85/0.7	1.3/0.7	1.8/0.7	2.6/0.7	3.0/0.7	3.8/0.7	5.3/0.7	6.4/0.7	7.4/0.7	10.3/0.7	13.6/0.7	
	0.55/0.8	0.75/0.8	1.2/0.8	1.6/0.8	2.4/0.8	2.8/0.8	3.6/0.8	5.0/0.8	6.2/0.8	7.2/0.8	9.6/0.8	13.0/0.8	
	0.40/1.0	0.56/1.0	1.0/1.0	1.3/1.0	2.2/1.0	2.4/1.0	3.0/1.0	4.5/1.0	5.8/1.0	6.8/1.0	8.5/1.0	10.9/1.0	
	0.35/1.2	0.48/1.2	0.8/1.2	1.2/1.2	1.7/1.2	2.0/1.2	2.6/1.2	3.6/1.2	4.6/1.2	6.0/1.2	7.6/1.2	9.8/1.2	
冷却方式	风冷												
排气温度 (°C)	〈环境温度+15°C							风冷型: 〈环境温度+15°C ~ 18°C					
润滑油容量 (L)	12	12	12	14	14	16	16	16	18	18	54	72	
噪 音	62±2 dB(A)			65±2 dB(A)			68±2 dB(A)			72±2 dB(A)			
传动方式	皮 带												
电动机	功率 Power (Kw)	4	5.5	7.5	11	15	18.5	22	30	37	45	55	75
	启动方式	Y-△启动											
电 源	三相四线制 380V/50Hz					三相 380V/50Hz							
外型尺寸	长 (MM)	750	800	800	1000	1000	1100	1100	1200	1300	1300	1500	1750
	宽 (MM)	600	600	600	800	800	900	900	900	1100	1100	1300	1350
	高 (MM)	950	980	980	1280	1280	1400	1400	1380	1480	1480	1680	1750
重 量 (kg)	220	280	310	450	480	550	580	680	840	920	1450	1760	
出口管径 (inch)	3/4	3/4	3/4	1"	1"	1"	1"	1 1/4	1 1/2	1 1/2	2"	2"	

皮带变频系列螺杆式空气压缩机技术参数

机 型 Model No.		MT-7.5VF	MT-10VF	MT-15VF	MT-20VF	MT-25VF	MT-30VF	MT-40VF	MT-50VF	MT-60VF	MT-75VF	MT-100VF
排气量 / 排气压力 (m ³ /min/Mpa)		0.85/0.7	1.3/0.7	1.8/0.7	2.6/0.7	3.0/0.7	3.8/0.7	5.3/0.7	6.4/0.7	7.4/0.7	10.3/0.7	13.6/0.7
		0.75/0.8	1.2/0.8	1.6/0.8	2.4/0.8	2.8/0.8	3.6/0.8	5.0/0.8	6.2/0.8	7.2/0.8	9.6/0.8	13.0/0.8
		0.56/1.0	1.0/1.0	1.3/1.0	2.2/1.0	2.4/1.0	3.0/1.0	4.5/1.0	5.8/1.0	6.8/1.0	8.5/1.0	10.9/1.0
		0.48/1.2	0.8/1.2	1.2/1.2	1.7/1.2	2.0/1.2	2.6/1.2	3.6/1.2	4.6/1.2	6.0/1.2	7.6/1.2	9.8/1.2
冷却方式		风冷										
排气温度 (℃)		〈环境温度+15℃						风冷型 〈环境温度+15℃ ~ 18℃				
润滑油容量 (L)		12	12	16	16	16	16	18	18	18	54	72
噪 音		65±2 dB(A)	68±2 dB(A)			70±2 dB(A)				72±2 dB(A)		
传动方式		皮 带										
电动机	功率 (Kw)	5.5	7.5	11	15	18.5	22	30	37	45	55	75
	启动方式	变频启动										
电 源		三相四线制 380V/50Hz										
外型尺寸	长 (MM)	850	850	1150	1150	1200	1200	1200	1300	1300	1500	1750
	宽 (MM)	800	800	850	850	1000	1000	1000	1300	1300	1450	1500
	高 (MM)	1120	1120	1300	1300	1400	1400	1400	1480	1480	1680	1750
重 量 (kg)		280	380	580	590	620	650	760	920	1080	1650	1880
出口管径 (inch)		3/4	3/4	1"	1"	1"	1"	1 1/4	1 1/2	1 1/2	2"	2"

注: 以上技术参数如有改动, 恕不另行通知。

Appendix 4

Work Instruction for Extracting and Refilling Dangerous Goods

Work Instruction for extract and refill

Schedule 2 Dangerous Goods in

pressure receptacle and portable

equipment for hydraulic pressure

test and maintenance work

<u>Schedule 2 Dangerous Goods (S2DG) List</u>	
UN NO.	Shipping Name
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)
3296	HEPTAFLUOROPROPANE (HFC-227ea)
1009	BROMOTRIFLUOROMETHANE (Halon 1301)
1974	CHLORODIFLUOROBROMOMETHANE (Halon 1211)
3163	LIQUEFIED GAS, N.O.S (NAFS-III)
1021	CHLORO-1,2,2,2-TETRAFLUOROETHANE (HCFC-124)
1956	COMPRESSED GAS, N.O.S. (HCFC-123)
1984	TRIFLUOROMETHANE (HCFC-23)
1066	NITROGEN, COMPRESSED
1013	CARBON DIOXIDE

Work Instruction for receptacle agent extraction and refill, and receptacle valve overhauling service

1. Works methodology – All works to be carried out in licensed Workshop

- 1.1 The agent extraction and refill work legally require the premises by Fire Services department to be licensed for S2DG storage and for manufacturing, renewed annually.
- 1.2 Receptacle must be emptied by extracting the agent and temporary stored in a dedicated receptacle for refill into the receptacle on successful passing the hydraulic pressure test.
- 1.3 The receptacle valve will be stripped for servicing to prevent unwanted receptacle discharge or non-discharge on a discharge signal from the automatic fire alarm system.
- 1.4 Refill the receptacle with originally extracted agent temporary stored in a receptacle to the original designed quantity and super-pressurise with N2 to the designed working pressure.
- 1.5 After refilling the receptacle, the receptacle will be stored in D.G. Store.

2. Agent Extraction

- 2.1 Allocate a receptacle sufficient in size to receive agent extracted from receptacles of the batch, and label the receptacle for client.
- 2.2 Place one pressure receptacle on the electronic weighing scale from the batch of receptacles to be worked on. Remove the discharge port blank cap and immediately apply the extraction adapter to the discharge port. Connect the inlet flexible hose of the pump to the discharge adapter connector, valve to be closed at this stage.

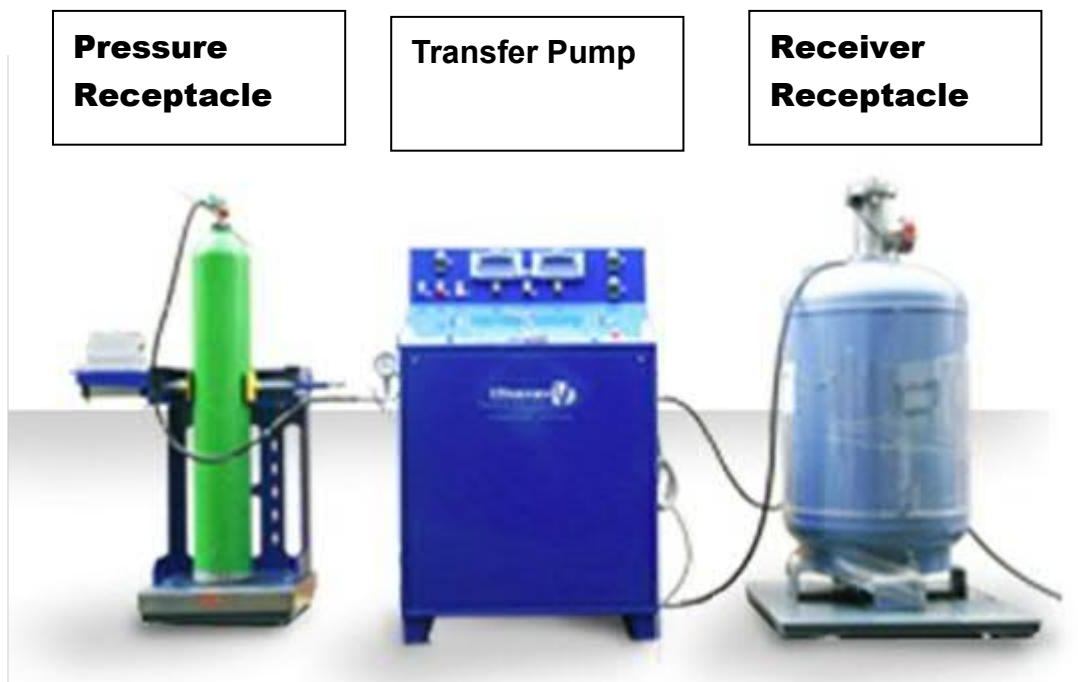


Figure 1.7 – Agent extract from pressure receptacle
to receiver receptacle

- 2.3 Connect the pump discharge flexible hose to the dedicated agent receiving receptacle and all valves to be closed at this stage. Check all connections are properly done.
- 2.4 First open the valves of the agent receiving receptacle and the valve of pump discharge side.
- 2.5 With the discharge port valve still in close position, open the receptacle valve by operating the top discharge tyre valve by poking the centre stem with a small screw driver.
- 2.6 Slowly open the discharge port valve. The weighing scale reading should be showing decreasing weight.
- 2.7 When the decreasing weight value still not reaching the agent net weight as recorded, turn on the pump machine slowly to continue with

the extraction..

- 2.8 When the weight of the electronic scale shows the loss weight being close to the agent net weight, the receptacle has been emptied.
- 2.9 Stop the pump and close all valves of the extracted receptacle and the receiving receptacle. Remove the empty receptacle from the weighing scale and place another receptacle to be extracted on the pump machine and repeat procedures from item 2.1 to 2.8 to continue extracting the batch of receptacles.
- 2.10 Remove the empty receptacle to the pneumatic belt vise for receptacle valve removal.

3. Receptacle Valve Removal and Overhauling

- 3.1 Place the receptacle at the pneumatic belt vise and clamp tight the receptacle with the belt.
- 3.2 With a suitable wrench unscrew loose the receptacle valve, and keep slowly unscrew to let the residual vapour pressure to be released gradually.
- 3.3 When all residual pressure has been released, remove the receptacle valve taking care not to damage the dip tube. The receptacle is then taken to hydraulic pressure test station for carrying out hydraulic pressure test.
- 3.4 The receptacle valve is taken to the work table and remove the dip tube.
- 3.5 Remove the top of the valve to expose the valve plunger, and push out the plunger from below.
- 3.6 Remove all rubber O rings of the plunger and the valve and discard immediately.

- 3.7 Polish the plunger and the internal receptacle wall of the valve with brass polish liquid applied on the pneumatic polisher until all signs of oxides have been removed. The polished surfaces shall be rubbed thoroughly to remove the residual brass polish liquid.
- 3.8 Replace all O rings with brand new ones. It is imperative not to re-apply used O rings so that air tightness of the valve is preserved.
- 3.9 O ring lubricant is thinly applied to the plunger and internal receptacle wall.
- 3.10 Re-assemble the valve, ensuring the plunger is freely movable inside the receptacle body. Re-fit the dip tube as the last step before fitting the receptacle valve back to the receptacle after successfully passing the hydraulic pressure test.
- 3.11 Place the receptacle at the pneumatic belt vise and clamp tight. Re-fit the receptacle valve slowly and carefully so as not to damage the screw threads of both the valve and the receptacle. Tighten the valve with the appropriate wrench. Stamp the mark for passing the hydraulic test with the number of the month and the year at the neck or the foot ring of the receptacle. Never stamp at the receptacle body. The receptacle is ready for agent refill.

4. Agent Refill

- 4.1 Place the receptacle on an electronic weighing scale, take and record the receptacle serial number and tare weight together with the blank caps.
- 4.2 With the receptacle remaining on the scale, connect the refill adapter (same as the extract adapter) and the filling flexible hose from the pump machine to the refill adapter, then set the scale to "0" reading, and write

down the agent quantity to be fill into the receptacle on the pump whiteboard.



Figure 4.2 – Agent refill to receiver receptacle

- 4.3 Connect the pump extract flexible hose to the receptacle containing the previously extracted agent of Client with all valves closed at this stage.
- 4.4 Check all connections to be properly fitted, receptacle serial number and the amount of agent to be filled on the whiteboard are correctly. Open first the receptacle filling valve, then the supply receptacle valve to confirm filling process is in progress. The weight of the filling receptacle should now be increasing.
- 4.5 At this stage, check for leakage of the receptacle by applying soapy water to all joints of the receptacle, including the tyre valve. If bubbles are emitting, disconnect the receptacle and return it to the pneumatic belt vise to clamp tight to tighten up the leaking joint.

- 4.6 For the leaking tyre valve, repeat procedures from item 2.1 to 2.8 to extract all agent and replace the tyre valve with a new one.
- 4.7 Continue with the receptacle filling after no further leak detected first by natural differential, then turn on the pump to continue the filling.
- 4.8 When the predetermined amount of agent has reached, stop the pump and shut the valves of the flexible hoses and at the filling adapter, and remove the filling flexible hose.
- 4.9 For S2DG - CO2:

Close the valve by operating handle for manual operation. Open the filling adapter valve slowly to check. If there is only a puff of air flow and stop, it means the receptacle valve has been successfully closed. If unsuccessful closing the valve, the entire procedure of extraction, valve overhauling and refill will have to be repeated to find out the cause during valve overhauling process.



Figure 4.9 – Typical CO2 Valve and operating handle for manual operation

- 4.10 For S2DG other than CO2:
- 4.10.1 Connect a flexible hose from a N2 receptacle with a pressure gauge to the valve of the receptacle filling adapter.

4.10.2 For 25-bar working pressure receptacle:

Turn on the N₂ receptacle and set the N₂ receptacle regulator to receptacle working pressure 25-bar supply pressure. Open gently the agent receptacle adapter valve to commence the super-pressurising process. When N₂ supply pressure gauge has reached the receptacle working pressure 25-bar reading, close the adapter valve and then the N₂ supply valve.

4.10.3 For 34.5-bar working pressure receptacle:

Turn on the N₂ receptacle and set the N₂ receptacle regulator to receptacle working pressure 34.5-bar supply pressure. Open gently the agent receptacle adapter valve to commence the super-pressurising process. When N₂ supply pressure gauge has reached the receptacle working pressure 34.5-bar reading, close the adapter valve and then the N₂ supply valve.

4.10.4 For 42-bar working pressure receptacle:

Turn on the N₂ receptacle and set the N₂ receptacle regulator to receptacle working pressure 42-bar supply pressure. Open gently the agent receptacle adapter valve to commence the super-pressurising process. When N₂ supply pressure gauge has reached the receptacle working pressure 42-bar reading, close the adapter valve and then the N₂ supply valve.

4.10.5 Remove the N₂ supply flexible hose from the filling adapter and connect to the tyre valve through another adapter having a control valve to close the receptacle valve.



Figure 4.10.5 – Adapter for closing the receptacle valve

- 4.10.6 With the adapter control valve closed, adjust the N₂ supply to receptacle working pressure plus 2-bar pressure. Open the control valve to apply pressure to close the receptacle valve. A sound can be heard during the valve closing. After the closing sound, open the filling adapter valve slowly to check. If there is only a puff of air flow and stop, it means the receptacle valve has been successfully closed.
- 4.10.7 If the filling adapter valve has a continuous discharge, close the valve and reapply pressure to the tyre valve with additional 2-bar pressure.
- 4.10.8 If still unsuccessful closing the valve, the entire procedure of extraction, valve overhauling and refill will have to be repeated to find out the cause during valve overhauling process.

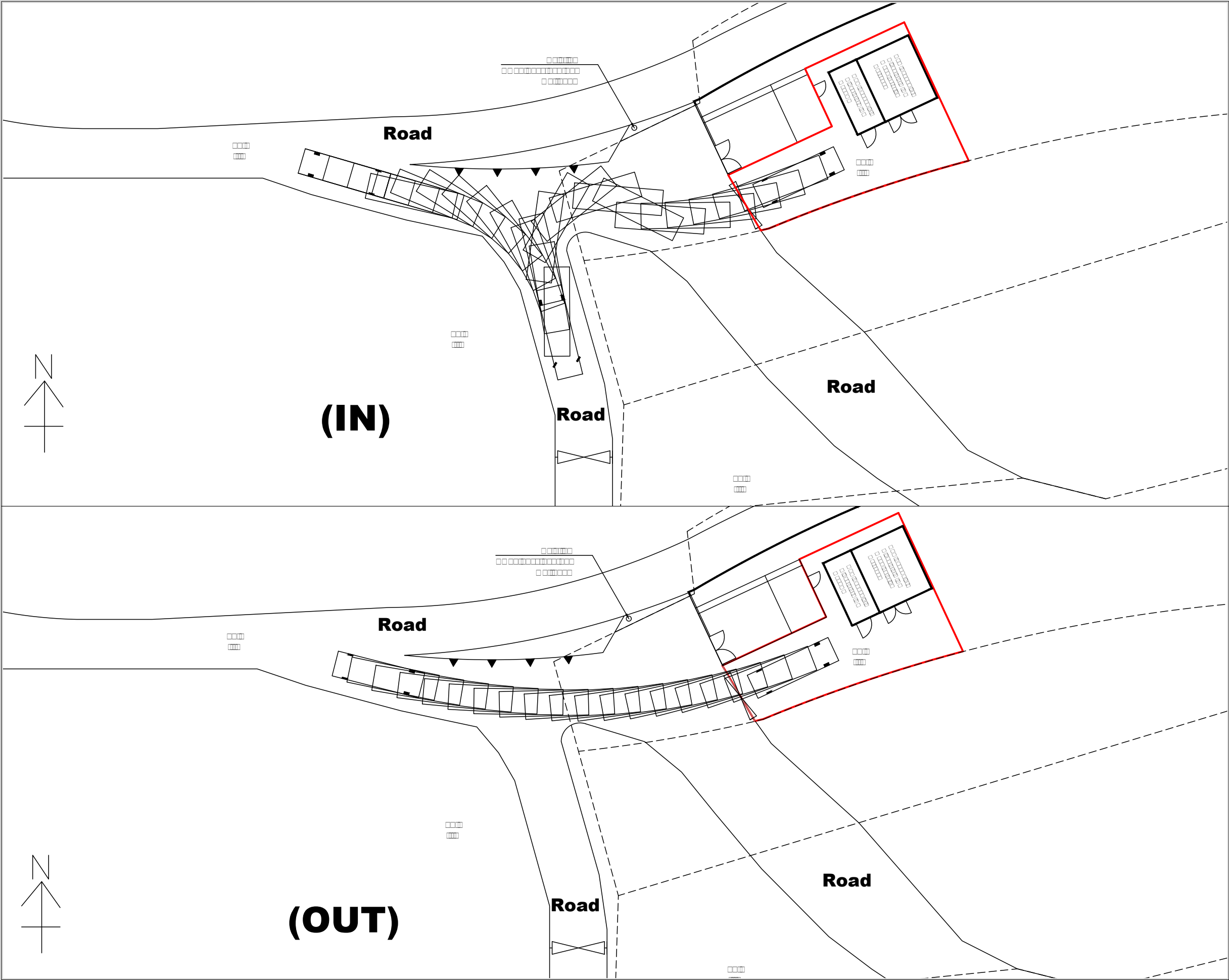
5. References:

Codes and Standards

- Code of Practice for Minimum Fire Services installation and equipment and inspection and testing of installation and equipment, September 2022 , issued by Fire Services Department
- Dangerous Goods (Control) Regulations Cap 295G
- NFPA Standard 2001 (2022 Edition)
- NFPA Standard 10 (2018 Edition)
- BS5306-3 (2017 Edition)
- Material Safety Data Sheet of the agent

Appendix 5

Swept Path Analysis



LEGEND

Rev	Date	Description	DRN. CHK. APP.
Client			
Project Title			
Drawing Title			
Drawn D.C.	Scale 1:300 (A3)	Checked A.C.	
Date 2 APR 2023	Client Ref.	Approved G.L.	
DWG. No. EXA-PA-S102 ACAD Ref. DD83Lot93-DGStore			Issue



Date : 11th September 2023
Our Ref. : PPC/PLG/10114/L003

Town Planning Board Secretariat,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road, North Point,
Hong Kong

Attention: The Secretary of the Town Planning Board

By Email and By Hand

Dear Sir/Madam,

**Section 16 Application for Proposed Temporary Dangerous Goods Godown (for Class 2.2
Dangerous Goods) and Industrial Use for a Period of 5 Years in “Open Storage” Zone
at Lot 93 (Part) in D.D. 83, Kwan Tei North, Fanling, New Territories
Planning Application No. A/NE-TKL/732**

Submission of 1st Further Information

We refer to the departmental comments regarding the subject application. On behalf of the Applicant, we submit herewith 70 hardcopies of the Further Information (“FI”), in support of the captioned application, for the consideration of the Town Planning Board. The enclosed FI includes the following documents:

- Response to Comments Table
- Annex 1 – Revised Layout Plan
- Annex 2 – Revised Elevation Plan
- Annex 3 – Revised Swept Path Analysis
- Annex 4 – Revised Details of Dangerous Goods and Equipment Involved
- Annex 5 – Fire Services Notes

The above submissions do not result in a material change of the nature of the captioned application. Thus, this FI should be accepted by the Secretary of the Town Planning Board for inclusion and be processed as part of the application, in accordance with the relevant provisions of the Town Planning Ordinance. Should you have any queries, please feel free to contact our Raymond Ng at _____.

Yours faithfully,
For and on behalf of
PlanPlus Consultancy Limited


Kenneth Chan
Managing Director

Encl. As above
c.c. Ms. Sheren Lee (Town Plnr/North 3)
The Applicant

Responses-to-Comments

Item	Departmental Comments	Applicant's Responses																																																																					
Comments from the Commissioner for Transport received on 6.7.2023:																																																																							
1.(i)	The applicant should substantiate traffic generation and attraction from and to the site and the traffic impact to the nearby road links and junctions;	<p>The operation hours of the proposed development are from 9:00 am to 6:00 pm from Mondays to Fridays. The Application Site is accessible from Sha Tau Kok Road via local access. A loading/unloading space for light goods vehicles (“LGV”) at the site is exclusively reserved for operational use only. Based on the standard practice of the operator, there will be <u>a maximum of 3 roundtrips for delivering the fire extinguishing receptacles per week</u>. There will be <u>a maximum of 1 trip per day during non-peak hours for the proposed use</u>. The breakdown of the estimated vehicular trips is as follows:</p> <table><tr><th rowspan="3">Time Period 1-hour Interval</th><th colspan="5">Trip Generation and Attraction</th></tr><tr><th colspan="2">Private Car</th><th colspan="2">LGV</th><th rowspan="2">2-Way Total</th></tr><tr><th>In</th><th>Out</th><th>In</th><th>Out</th></tr><tr><td>09:00 - 10:00 (Peak Hour)</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>10:00 - 11:00</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>11:00 - 12:00</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>12:00 - 13:00</td><td>0</td><td>0</td><td>1</td><td>0</td><td>0.5</td></tr><tr><td>13:00 - 14:00</td><td>0</td><td>0</td><td>0</td><td>1</td><td>0.5</td></tr><tr><td>14:00 - 15:00</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>15:00 - 16:00</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>16:00 - 17:00</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr><tr><td>17:00 - 18:00 (Peak Hour)</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td></tr></table>	Time Period 1-hour Interval	Trip Generation and Attraction					Private Car		LGV		2-Way Total	In	Out	In	Out	09:00 - 10:00 (Peak Hour)	0	0	0	0	0	10:00 - 11:00	0	0	0	0	0	11:00 - 12:00	0	0	0	0	0	12:00 - 13:00	0	0	1	0	0.5	13:00 - 14:00	0	0	0	1	0.5	14:00 - 15:00	0	0	0	0	0	15:00 - 16:00	0	0	0	0	0	16:00 - 17:00	0	0	0	0	0	17:00 - 18:00 (Peak Hour)	0	0	0	0	0
Time Period 1-hour Interval	Trip Generation and Attraction																																																																						
	Private Car			LGV		2-Way Total																																																																	
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09:00 - 10:00 (Peak Hour)	0	0	0	0	0																																																																		
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11:00 - 12:00	0	0	0	0	0																																																																		
12:00 - 13:00	0	0	1	0	0.5																																																																		
13:00 - 14:00	0	0	0	1	0.5																																																																		
14:00 - 15:00	0	0	0	0	0																																																																		
15:00 - 16:00	0	0	0	0	0																																																																		
16:00 - 17:00	0	0	0	0	0																																																																		
17:00 - 18:00 (Peak Hour)	0	0	0	0	0																																																																		

1.(ii)	The applicant shall justify the adequacy of the parking spaces and loading/unloading spaces so provided by relating to the number of vehicles visiting the subject site;	The Application Site covers an area of about 147.61m ² only, and it is intended for a small operation. Based on the standard practice of the operator, there will be a maximum of 3 roundtrips for delivering the fire extinguishing receptacles per week. While the loading/unloading space for LGVs is exclusively for operational use, the parking spaces will not be provided as staff will commute by public transport. The Application Site will have no sales activities and will not be open to visitors; Hence no parking spaces are provided for visitors.
1.(iii)	Regarding the swept path analysis as shown in dwg no. EXA-PA-S102, please also demonstrate the swept path from the subject site to Sha Tau Kok Road – Lung Yeuk Tau with the concerned goods vehicles;	Noted. Please refer to Annex 3 .
1.(iv)	The applicant shall advise the management/control measures to be implemented to ensure no queueing of vehicles outside the subject site;	There is sufficient space for vehicles to manoeuvre from the local access into the Site. The path for inbound manoeuvring is short, and it takes limited time for vehicles to complete the manoeuvring. In addition, staff will manage the lead time of LGVs and ensure they arrive during non-peak hours. Staff will also guide the vehicles to enter the Site smoothly. The loading/unloading activities will take place within the Site and queueing of vehicles outside the subject Site is not anticipated.
1.(v)	The applicant shall advise the provision and management of pedestrian facilities to ensure pedestrian safety; and	The manoeuvring of vehicles will be supervised by the staff to ensure pedestrian safety. The local access road connecting to Sha Tau Kok Road is at least 4.5m wide. Since it takes limited time for vehicles to complete the manoeuvring, pedestrian risk is not anticipated.
1.(vi)	The vehicular access between Sha Tau Kok Road – Lung Yeuk Tau and the application site is not managed by TD. The applicant should seek comment from the responsible party.	Noted.

Comments from the Corporate Strategy Command (CS) of Fire Services Department (FSD) received on 10.7.2023:		
2.(i)	Based on the submitted information, please be informed that the proposed siting of the Dangerous Goods Godown (Class 2.2 Dangerous Goods) is considered undesirable in the point of view of dangerous goods licensing due to the application site immediately adjacent to an existing main switch room and an existing CLP electricity substation.	<p>To address the concern regarding fire due to the close proximity of the Dangerous Goods ("DG") Godown to the existing main switch room and CLP electricity substation, several additional fire safety measures have been implemented:</p> <ol style="list-style-type: none"> 1. A new 2-hour fire-resistant block wall with a height of 3m will be erected along the site boundary between the Application Site and the existing main switch room/CLP electricity substation to prevent the potential fire hazards resulting from the proposed DG Godown (Annexes 1, 2 and 5 refer). 2. All openings (i.e. louvers and doors) of the DG store and the manufacturing workshop will be constructed facing away from the public road to eliminate the potential danger to the public road users (Annexes 1, 2 and 5 refer). 3. The existing door facing towards the main switch room will be replaced with a new 2-hour fire resistance door to mitigate potential fire hazards (Annexes 1, 2 and 5 refer). 4. The layout has been rearranged, and the location of the manufacturing workshop has been swapped with the DG store. This rearrangement ensures that the DG store, which poses a higher potential fire risk than the manufacturing workshop, is situated further away from the existing switch room and substation (Annexes 1, 2 and 5 refer). 5. The manufacturing workshop will also be constructed with 2-hour fire-resistant block wall to mitigate potential fire hazards (Annexes 2 and 5 refer). 6. A 1.4m wide corridor is added between the proposed DG Manufacturing Workshop/DG Store and the existing main switch room/CLP electricity substation as a fire buffer (Annexes 2 and 5 refer).

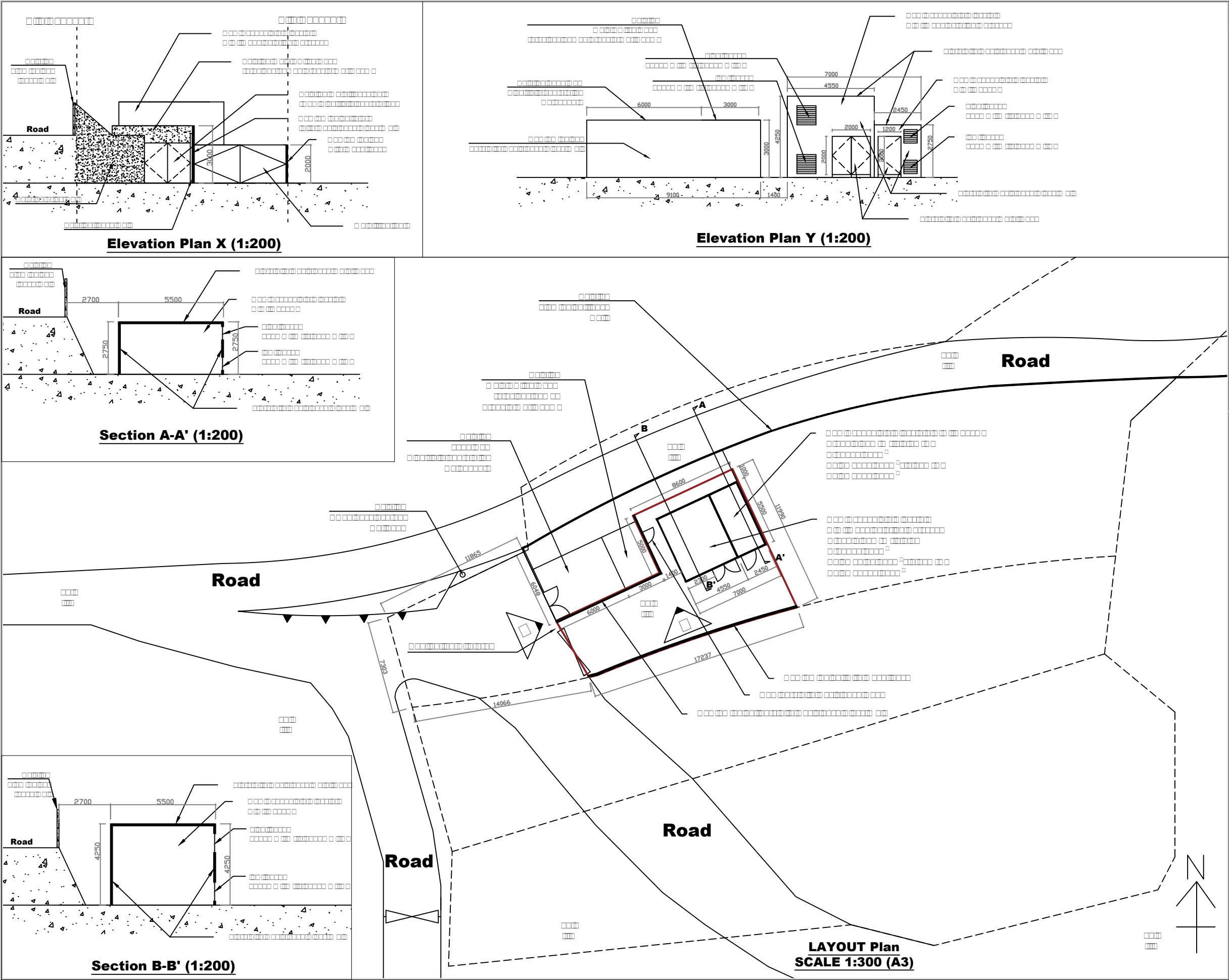
2.(ii)	Furthermore, should the subject application be required to comply with the Buildings Ordinance (Cap. 123), detailed fire services requirements will be formulated upon receipt of the formal submission of general building plans. Licensing requirement will be formulated upon receipt of formal application via relevant licensing authority.	Noted. The relevant fire services requirements will be complied with upon receipt of formal submission of general building plans and formal DG License application in the later stage.
Comments from Lands Department (LandsD) received on 5.9.2023 and 7.9.2023:		
3.(i)	A Short Term Waiver (STW) No. 1072 for the purpose of a dyeing factory covers the application lot and the adjacent lot nos. 75, 76, 77 RP and 91 all in D.D. 83. The applicant is not the waivee of the STW. The existing site situation do not tally with the proposed development parameters of the subject planning application and those permitted under the STW. It is advised that upon approval of the captioned application, the lot owner should apply for a new STW so as to better reflect the existing/proposed use on the relevant lots.	Noted. The relevant land application will be submitted by the lot owner(s) after the planning stage.

Annex 1

Revised Layout Plan

Annex 2

Revised Elevation Plan



LEGEND

A	31/8/2023	Revised internal layout	D.C. A.C. G.L.
Rev	Date	Description	DRN. CHK. APP.

Client

Project Title

Drawing Title

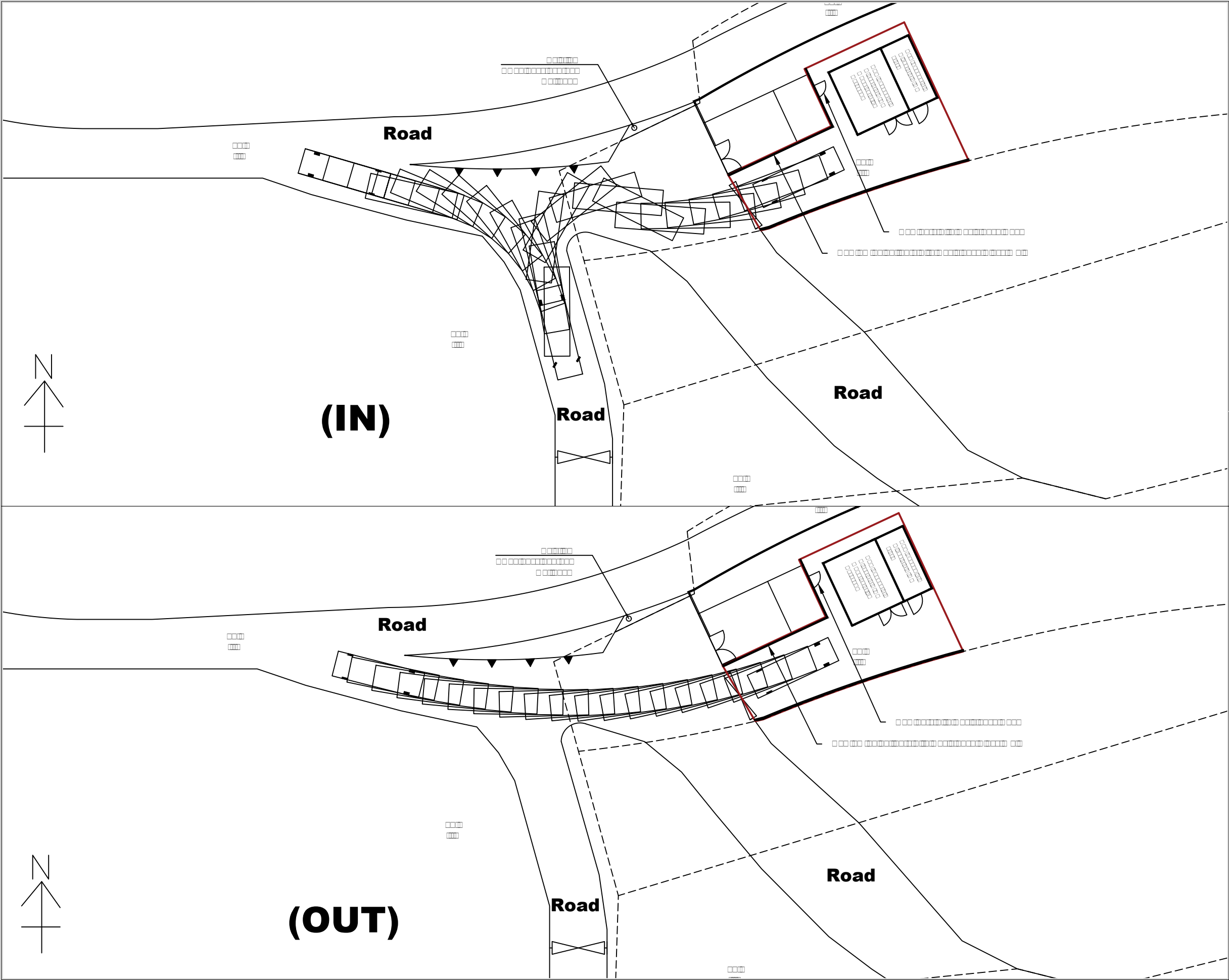
Drawn	Scale	Checked
D.C.	AS SHOWN	A.C.
Date	Client Ref.	Approved
2 APR 2023		G.L.

DWG. No.
EXA-PA-S104
ACAD Ref.
DD83Lot93-DGStore

Rev
A

Annex 3

Revised Swept Path Analysis



LEGEND

A	31/8/2023	Revised internal layout	D.C. A.C. G.L.
Rev	Date	Description	DRN. CHK. APP.

Client

Project Title

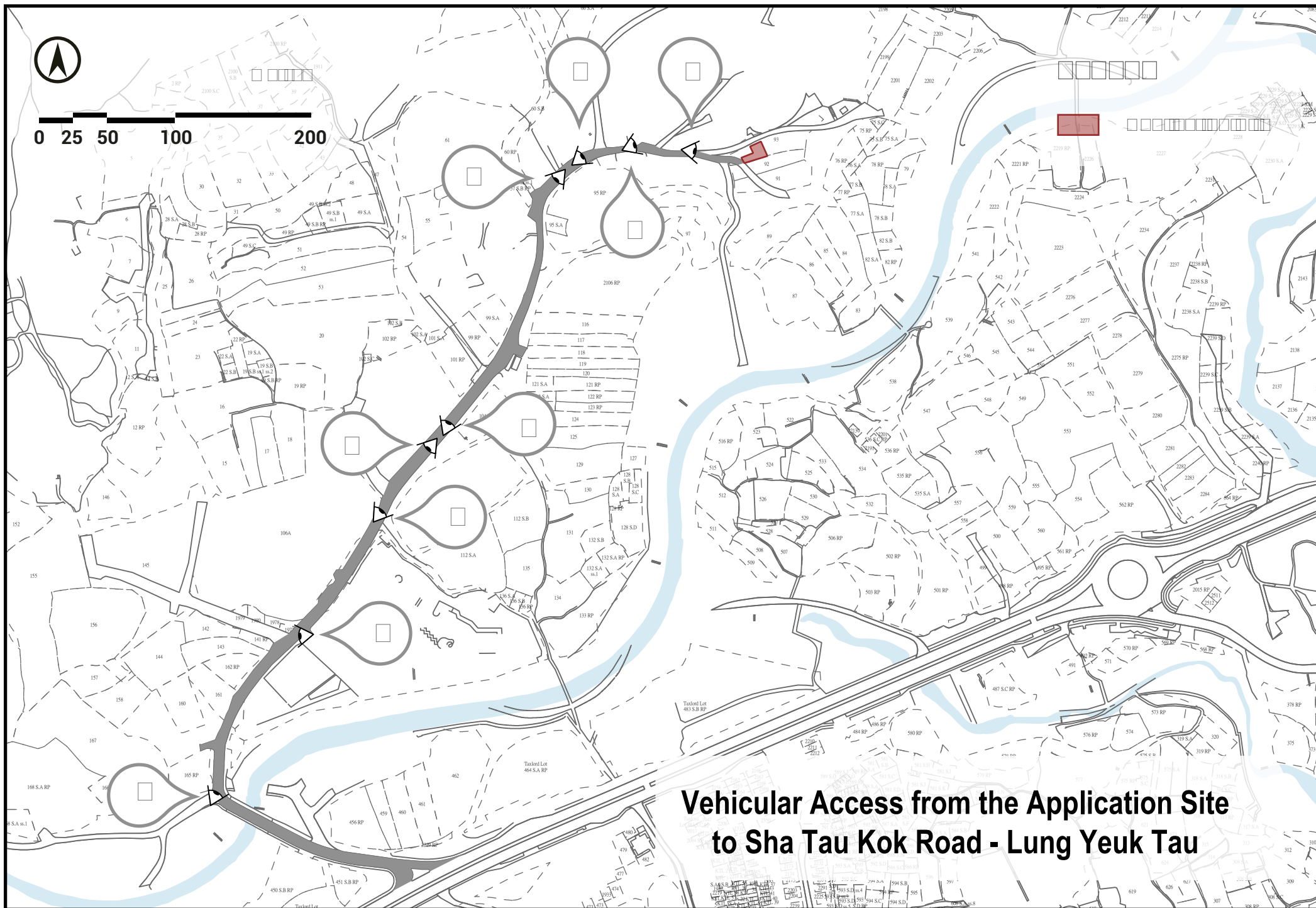
Drawing Title

Drawn D.C.	Scale 1:300 (A3)	Checked A.C.
Date 2 APR 2023	Client Ref.	Approved G.L.

DWG. No.
EXA-PA-S102

ACAD Ref.
DD83Lot93-DGStore

Rev
A





Spot 1



Spot 2



Spot 3



Spot 4



Spot 5



Spot 6



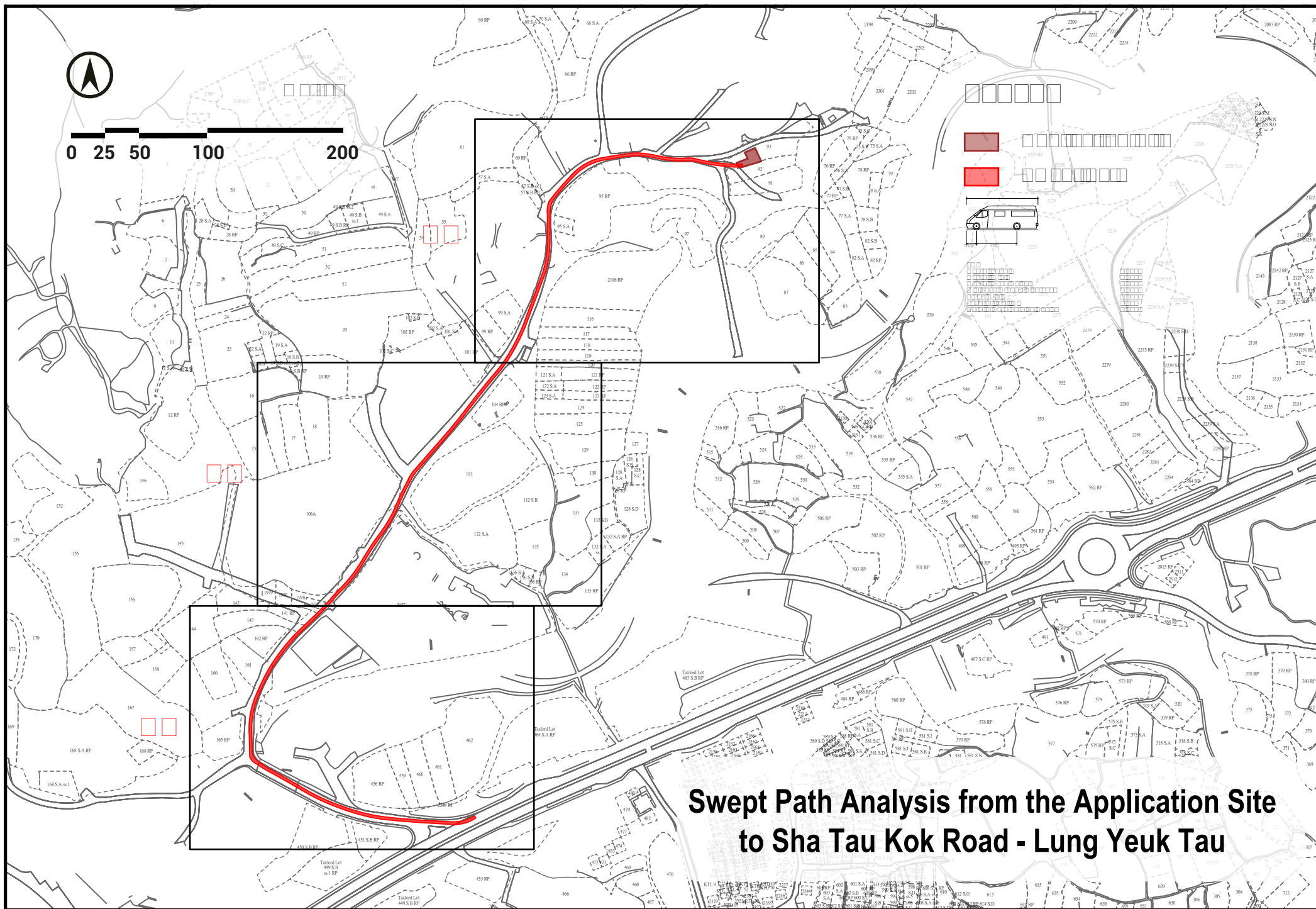
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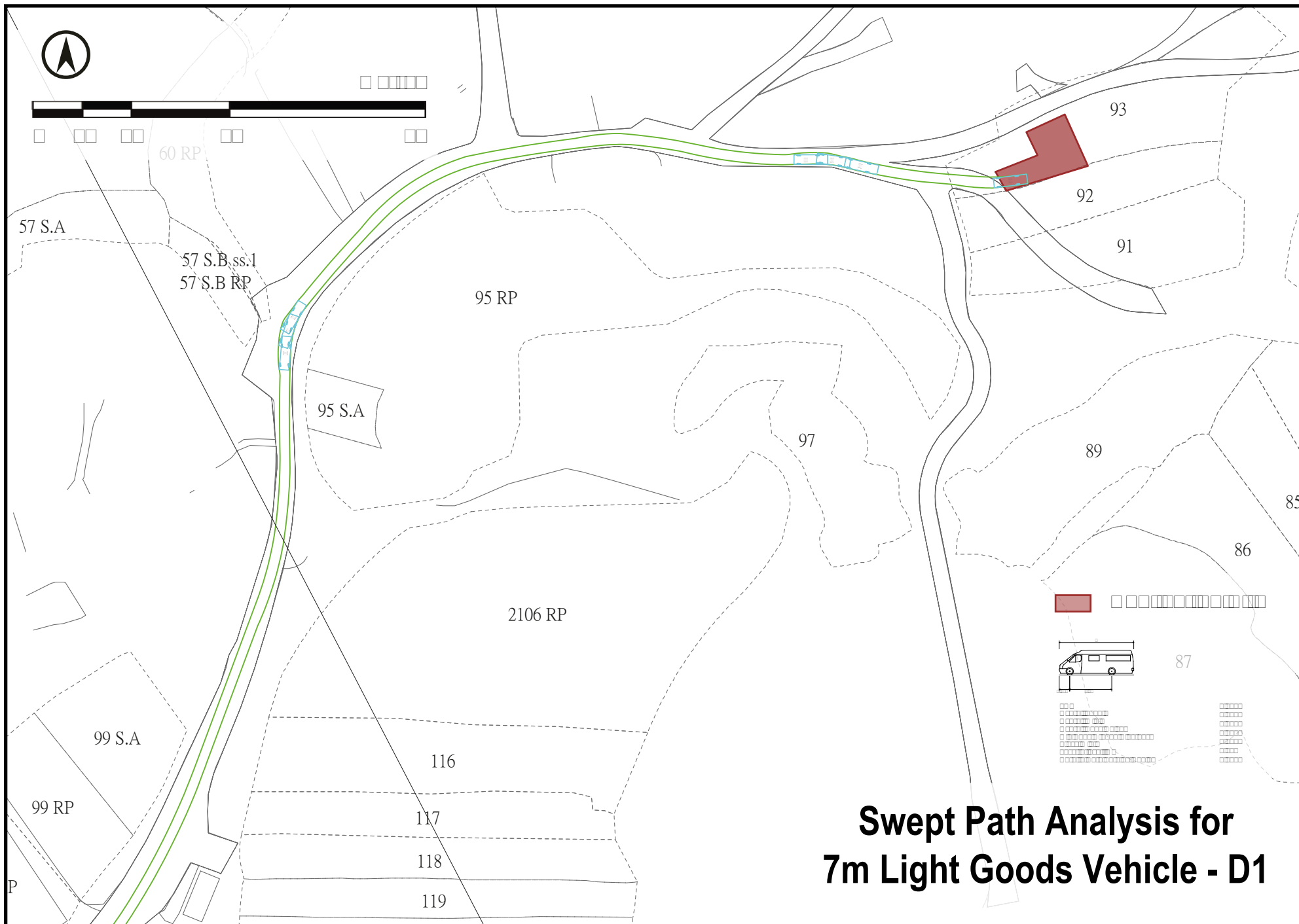


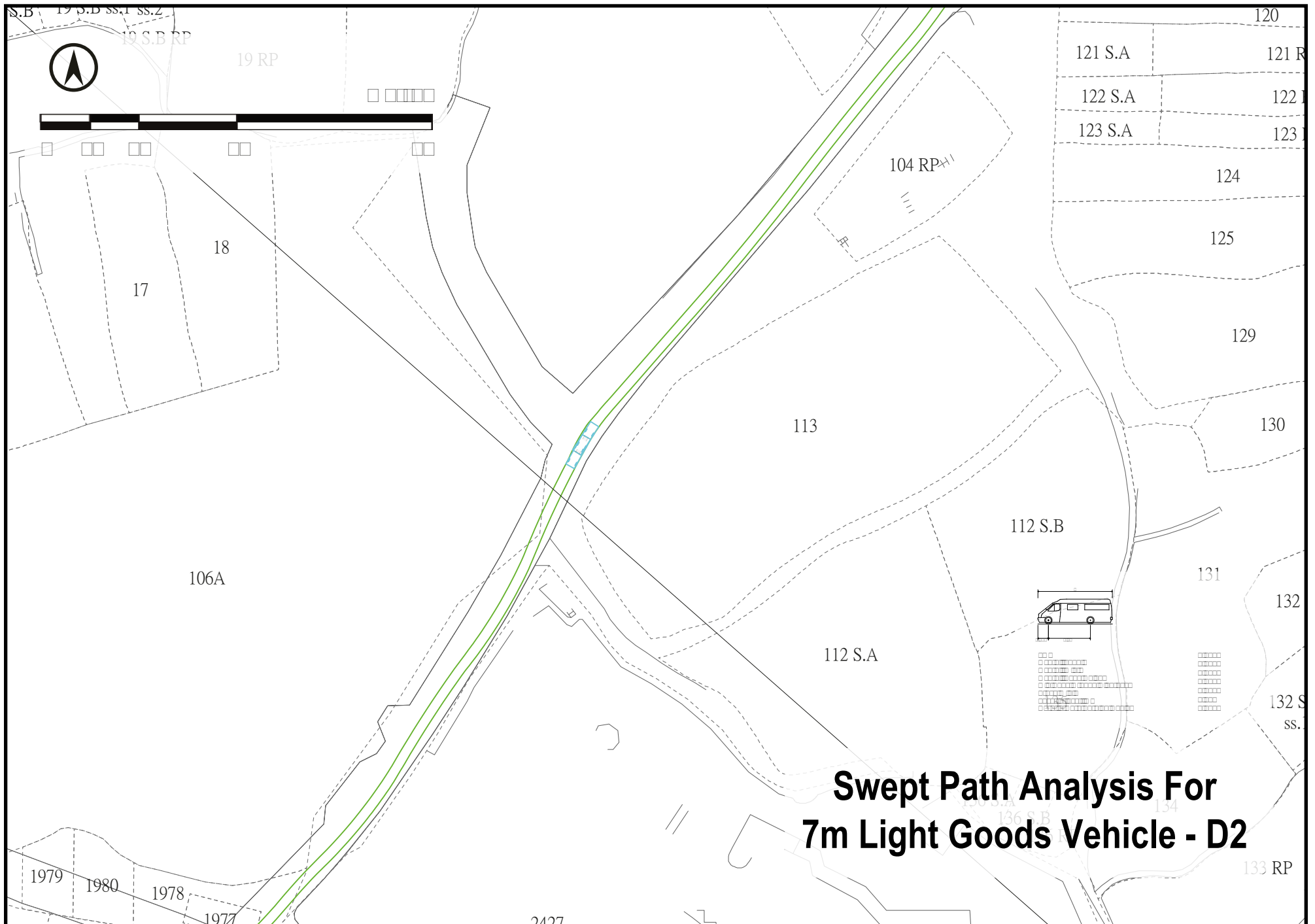
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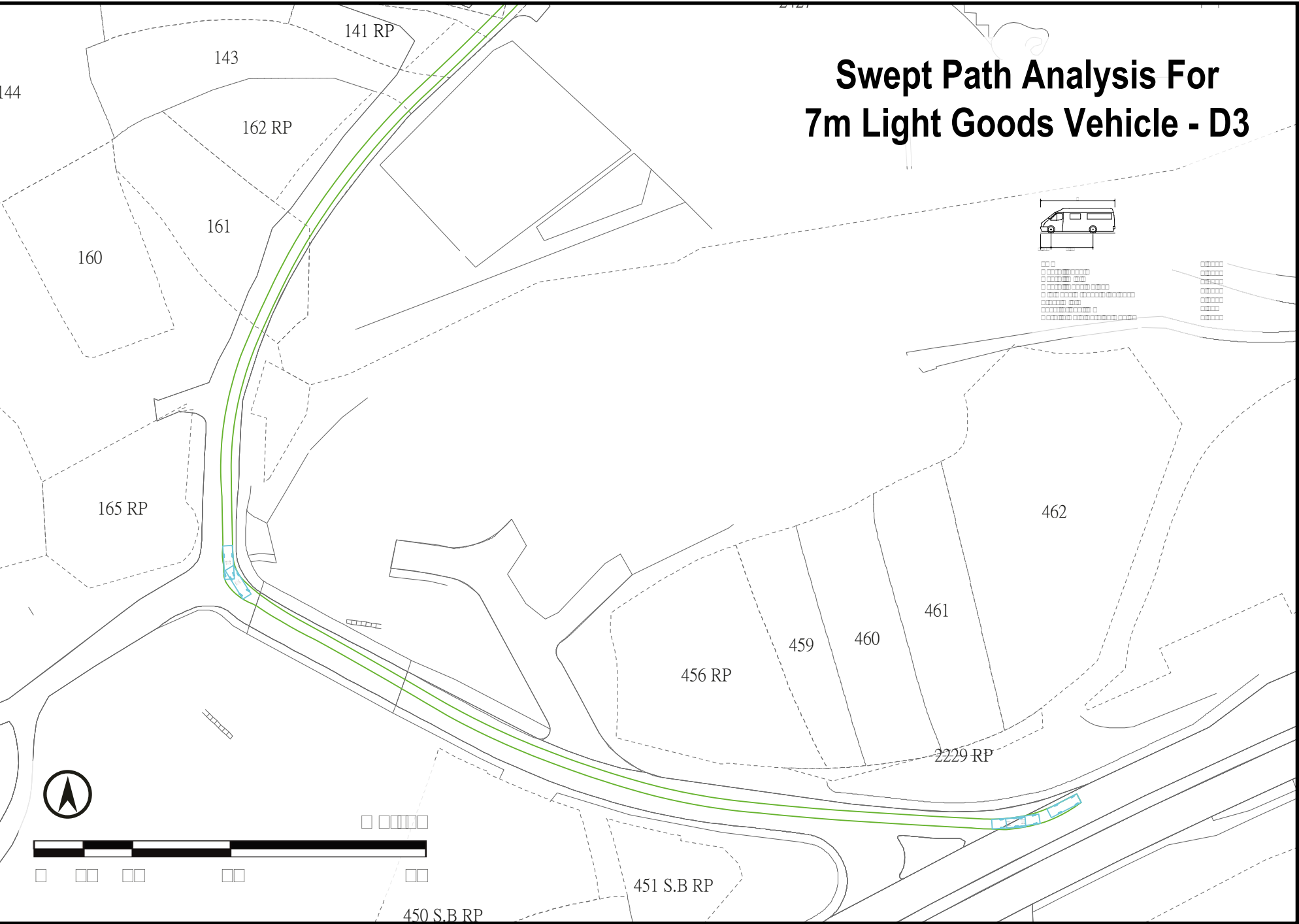


Spot 9









Annex 4

Revised Details of Dangerous Goods and Equipment Involved

A. Schedule 2 Class 2.2 D.G. Manufacturing workshop DG LIST

<u>Schedule 2 Class 2.2 D.G. Manufacturing workshop DG LIST</u>	
UN NO.	Shipping Name
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)
3296	FIRE EXTINGUISHERS containing HEPTAFLUOROPROPANE, COMPRESSED (HFC-227ea)
1009	FIRE EXTINGUISHERS containing BROMOTRIFLUOROMETHANE, COMPRESSED (Halon 1301)
1974	FIRE EXTINGUISHERS containing CHLORODIFLUOROBROMOMETHANE, COMPRESSED (Halon 1211)
3163	FIRE EXTINGUISHERS containing LIQUEFIED GAS, N.O.S, COMPRESSED (NAFS-III)
1021	FIRE EXTINGUISHERS containing CHLORO-1,2,2,2- TETRAFLUOROETHANE, COMPRESSED (HCFC-124)
1956	FIRE EXTINGUISHERS containing COMPRESSED GAS, N.O.S. , COMPRESSED (HCFC-123)
1984	FIRE EXTINGUISHERS containing TRIFLUOROMETHANE, COMPRESSED (HCFC-23)
1066	CYLINDER containing NITROGEN, COMPRESSED
1013	CYLINDER containing CARBON DIOXIDE, COMPRESSED

B. Storage Requirement

Storage Capacity in DG STORE			
UN No.	Shipping Name	QTY	SUB-TOTAL (LITER)
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)	3 X 243L	729L
3296	CYLINDER containing HEPTAFLUOROPROPANE, COMPRESSED (HFC-227ea)	3 X 243L + 1 X 1000L	1729L
1013	CYLINDER containing CARBON DIOXIDE, COMPRESSED	4 X 80L	320L
1066	CYLINDER containing NITROGEN, COMPRESSED	8 X 80L	640L
		Aggregate	3418L

C. Facilities that uses the agent

1. CO2 transfer pump
2. Clean agent transfer pump

D. Noise level of the equipment

1. CO2 transfer pump
No data
2. Clean agent transfer pump
≤80db
3. Air Compressor
68db ± 2db

Annex 5

Fire Services Notes

1. THE PROPOSED SCHEDULE 2 CLASS 2.2 DANGEROUS GOODS (D.G.) STORE AND THE PROPOSED SCHEDULE 2 CLASS 2.2 D.G. MANUFACTURING WORKSHOP ARE CONSTRUCTED WITH 2 HOUR FIRE RESISTANCE BLOCK WALL AND METAL ROOF.
2. THE TYPE AND QUANTITY OF DANGEROUS GOODS STORED IN THE D.G. STORE ARE TABULATED IN TABLE 'A' AS INDICATED ON PLAN.
3. ONLY RECYCLING AND RECHARGING PROCESSES OF FIRE EXTINGUISHERS/CYLINDERS CONTAINING FIRE EXTINGUISHING AGENTS ARE CONDUCTED INSIDE THE PROPOSED D.G. MANUFACTURING WORKSHOP. THE TYPE OF DANGEROUS GOODS INVOLVED IN THE PROCESSES ARE TABULATED IN TABLE 'B' AS INDICATED ON PLAN.
4. ALL UNPROTECTED OPENINGS OF THE D.G. STORE AND MANUFACTURING WORKSHOP ARE CONSTRUCTED AT THE FAR WALL FACING AWAY FROM THE PUBLIC ROAD TOWARDS THE OPEN YARD TO ALLOW MAXIMUM DEGREE OF DISPERSING OF UNWANTED HAZARDOUS GASES AND TO ELIMINATE DANGER TO THE PUBLIC ROAD USERS AND EQUIPMENT.
5. A NEW 3M HIGH 2 HOUR FIRE RESISTANCE BLOCK WALL IS CONSTRUCTED ALONG THE ENTIRE SITE BOUNDARY BETWEEN THE PROPOSED SITE AND THE EXISTING MAIN SWITCH ROOM/EXISTING OPEN CLP ELECTRICITY SUBSTATION TO PREVENT THE DANGER OF IGNITION OF HAZARDOUS GASES AND THERMAL RADIATION FROM POSSIBLE FIRE. FURTHER, A 1.4M WIDE CORRIDOR IS ALLOWED BETWEEN THE PROPOSED D.G. MANUFACTURING WORKSHOP/D.G. STORE BUILDING AND THE EXISTING MAIN SWITCH ROOM AS A BUFFER SEPARATION.
6. THE EXISTING DOOR FACING TOWARDS THE MAIN SWITCH ROOM WILL BE REPLACED WITH A NEW 2-HOUR FIRE RESISTANCE DOOR TO MITIGATE POTENTIAL FIRE HAZARDS.
7. ALL OTHER DANGEROUS GOODS LICENSING REQUIREMENTS IMPOSED BY THE LICENSING AUTHORITIES WILL BE IMPLEMENTED ONCE ISSUED.

Storage Capacity in DG STORE			
UN No.	Shipping Name	QTY	SUB-TOTAL (LITER)
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)	3 X 243L	729L
3296	CYLINDER containing HEPTAFLUOROPROPANE, COMPRESSED (HFC-227ea)	3 X 243L + 1 X 1000L	1729L
1013	CYLINDER containing CARBON DIOXIDE, COMPRESSED	4 X 80L	320L
1066	CYLINDER containing NITROGEN, COMPRESSED	8 X 80L	640L
		Aggregate	3418L

UN NO.	Shipping Name
1044	FIRE EXTINGUISHERS containing compressed or liquefied gas (FK-5-1-12)
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1984	FIRE EXTINGUISHERS containing TRIFLUOROMETHANE, COMPRESSED (HCFC-23)
1066	CYLINDER containing NITROGEN, COMPRESSED
1013	CYLINDER containing CARBON DIOXIDE, COMPRESSED

A	31/8/2023	FIRST INITIAL	D.C.
			A.C.
			G.L.
Rev	Date	Description	DRN.
			CHK.
			APP.

Project Title

[illegible]

Drawn D.C.	Scale N.A.	Checked A.C.
Date 31 AUG 2023	Client Ref.	Approved G.L.

DWG. No.	EXA-PA-S105
ACAD Ref.	DD83Lot93-DGStore

Rev
A

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD):

- the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land (GL) is granted to the Site; and
- a Short Term Waiver (STW) No. 1072 for the purpose of a dyeing factory covers the application lot and the adjacent Lots 75, 76, 77 RP & 91 all in D.D. 83. The applicant is not the waiveree of the STW. The existing site situation do not tally with the proposed development parameters of the subject planning application and those permitted under the STW. This office reserves the rights to take necessary enforcement action against the breaches of STW condition(s) without separated notice.

2. Traffic

Comments of the Commissioner for Transport (C for T):

- having reviewed the further information (**Appendix Ia**) submitted by the applicant, she has no comments on the application from traffic engineering point of view.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection to the application from public drainage viewpoint; and
- the applicant is requested to submit and implement a drainage proposal for the Site to ensure that it will not cause adverse drainage impact to the adjacent area, and the implemented drainage facilities at the Site shall be maintained at all times during the planning approval period.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations (FSIs) being provided to the satisfaction of his department.

5. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application from environmental perspective; and
- there was no substantiated environmental complaint received in the past three years.

6. Building Matters

Comments of Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- there is no record of approval granted by the Building Authority (BA) for the existing structures at the Site. He is not in a position to offer comments to their suitability for the use proposed in the application.

7. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no significant landscape impact arising from the proposed development is anticipated; and
- the Site falls within “Open Storage”(“OS”) zone which is a non-landscape sensitive zoning.

8. Other Departments

- the following government departments have no comment on/no objection to the application:
 - (i) Project Manager (North), North Development Office, Civil Engineering and Development Department (PM(N), CEDD);
 - (ii) Director of Agriculture, Fisheries and Conservation (DAFC);
 - (iii) Director of Electrical and Mechanical Services (DEMS);
 - (iv) Chief Highway Engineer/New Territories East, Highway Department (CHE/NTE, HyD);
 - (v) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD); and
 - (vi) Commissioner of Police (C of P).

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that the application for STW submitted by the lot owner will be considered by the LandsD acting in the capacity of the lessor at its sole discretion. Given the proposed use is temporary in nature, only application for regularization or erection of temporary structure(s) will be considered. There is no guarantee that the application will be approved. If such application is approved, their commencement date would be the first date of the occupation and it will be subject to such terms and conditions, including among others the payment of fee and administrative fee, as may be imposed by the LandsD;
- (b) to note the comments of the Commissioner for Transport (C for T) that the access road between the Site and Sha Tau Kok Road – Lung Yeuk Tau is not managed by TD;
- (c) to note the comments of the Chief Highway Engineering/New Territories East, Highways Department (CHE/NTE, HyD) that the access road adjacent to the Site is not maintained by HyD;
- (d) to note the comments of the Director of Environmental Protection (DEP) that the applicant is advised to follow the requirements stipulated in “Code of Practice on Handling Environmental Aspects of Temporary Use and Open Storage Site”;
- (e) to note the following comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - (i) the Site is in an area where no public sewerage connection is available;
 - (ii) the applicant is advised on the following general requirements in the drainage proposal:
 - surface channel with grating covers should be provided along the site boundary;
 - a drainage plan should be provided clearly showing the size, levels and routes of the proposed drainage. The details (invert level, gradient, general sections etc.) of the proposed drain/ surface channel, catchpits and the discharge structure shall be provided;
 - the cover levels of proposed channels should be flush with the existing adjoining ground level;
 - a catchpit with covers should be provided where there is a change of direction of the channel/drain. The details of the catchpit with covers shall be provided;
 - catchpits with sand trap shall be provided at the outlets of the proposed drainage system. The details of the catchpit with sand trap should be provided;
 - the applicant should check and ensure that the existing drainage downstream to which the proposed connection will be made have adequate capacity and satisfactory condition to cater for the additional discharge from the Site. The applicant should also ensure that the flow from the Site will not overload the existing drainage system;

- the applicant is reminded that where walls are erected or kerbs are laid along the boundary of the same, peripheral channels should be provided on both sides of the walls or kerbs, and/or adequate openings should be provided at the walls/kerbs to allow existing overland flow passing through the Site to be intercepted by the drainage system of the Site with details to be agreed by DSD, unless justified not necessary;
- the applicant is reminded that all existing flow paths as well as the run-off falling onto and passing through the Site should be intercepted and disposed of via proper discharge points. The applicant shall also ensure that no works, including any site formation works, shall be carried out as may adversely interfere with the free flow condition of the existing drains, channels and watercourses on or in the vicinity of the Site any time during or after the works;
- the proposed drainage works, whether within or outside the site boundary, should be constructed and maintained properly by the applicant and rectify the system if it is found to be inadequate or ineffective during operation at his/her own expense;
- for works to be undertaken outside the lot boundary, the applicant should obtain prior consent and agreement from DLO/N and/or relevant private lot owners;
- the applicant should make good all the adjacent affected areas upon the completion of the drainage works;
- the applicant shall allow all time free access for the Government and its agent to conduct site inspection on his completed drainage works;
- the applicant and the successive lot owners shall allow connections from the adjacent lots to the completed drainage works on Government Land when so required; and
- photos should be submitted clearly showing the current conditions of the area around the Site, the existing drainage/flowpaths around the Site, the proposed drainage from the Site to the downstream existing watercourse and the existing watercourse at about 20m intervals. The locations of the camera and the direction of each photo should also be indicated on a plan;

(f) to note the following comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

- (i) noting that the proposed development involves dangerous goods storage and manufacturing workshop, the applicant's attention is drawn to the fire safety requirements under the Code of Practice for Fire Safety in Buildings 2011;
- (ii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations [B(P)R] respectively;
- (iii) if the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under by Regulation 19(3) of the

B(P)R at building plan submission stage;

- (iv) if the existing structures (not being a New Territories Exempted House) are erected on leased land without approval of the Building Authority (BA), they are unauthorized building works (UBW) under the Buildings Ordinance (BO) and should not be designated for any proposed use under the captioned application;
 - (v) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (vi) before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBW under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (vii) any temporary shelters or converted containers for office, storage, washroom, or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (viii) detailed checking under the BO will be carried out at building plan submission stage.
- (g) to note the following comments of the Director of Fire Services (D of FS) that:
- (i) in consideration of the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to FSD for approval. In addition, the applicant should also be advised on the following points:
 - the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy; and
 - the location of where the proposed FSI to be installed should be clearly marked on the layout plans.
 - (ii) the applicant is reminded that if the proposed structures are required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;
 - (iii) the applicant should submit a formal application for Dangerous Goods Licence to the this office;
 - (iv) detailed fire services requirement will be formulated upon receipt of referral from relevant licensing authority; and
- (h) to note the following comments of the Director of Electrical and Mechanical Services (DEMS) that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the

electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

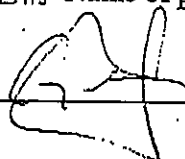
有關的規劃申請編號 The application no. to which the comment relates
A/NE-TKL/732

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date

2023 6.14