

This document is received on 24 APR 2024  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\*

\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2400975

19/4

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-TKL/757
	Date Received 收到日期	24 APR 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

Luck Great Global Engineering Limited 興盛環球工程有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構 )

R-riches Property Consultants Limited 盈卓物業顧問有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 5, 6 S.A, 6 S.A ss.1, 7, 8 S.A, 8 S.B, 9 S.A (Part), 9 S.B (Part), 10 S.B (Part) and 11 (Part) in D.D. 84, Ta Kwu Ling, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 7,508 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 6,804 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... N/A ..... sq.m 平方米 <input type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" and "Industrial (Group D)" zones
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼／處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of “Current Land Owner(s)” 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>

- ☒ posted notice in a prominent position on or near application site/premises on  
01/04/2024 - 15/04/2024 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>

- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on 05/04/2024 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



<b>6. Type(s) of Application 申請類別</b>					
<b>(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas</b> 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)					
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)				
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 ..... <input type="checkbox"/> month(s) 個月 .....				
<b>(c) Development Schedule 發展細節表</b>					
Proposed uncovered land area 擬議露天土地面積	..... 4,106 .....sq.m <input checked="" type="checkbox"/> About 約				
Proposed covered land area 擬議有上蓋土地面積	..... 3,402 .....sq.m <input checked="" type="checkbox"/> About 約				
Proposed number of buildings/structures 擬議建築物/構築物數目	..... 1 .....				
Proposed domestic floor area 擬議住用樓面面積	..... N/A .....sq.m <input type="checkbox"/> About 約				
Proposed non-domestic floor area 擬議非住用樓面面積	..... 6,804 .....sq.m <input checked="" type="checkbox"/> About 約				
Proposed gross floor area 擬議總樓面面積	..... 6,804 .....sq.m <input checked="" type="checkbox"/> About 約				
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)					
<b>STRUCTURE</b>	<b>USE</b>	<b>COVERED AREA</b>	<b>GFA</b>	<b>BUILDING HEIGHT</b>	.....
B1	WAREHOUSE (EXCLUDING D.G.G.), SITE OFFICE, WASHROOM	3,402 m <sup>2</sup> (ABOUT)	6,804 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(2-STOREY)	.....
<b>TOTAL</b>		<b>3,402 m<sup>2</sup> (ABOUT)</b>	<b>6,804 m<sup>2</sup> (ABOUT)</b>		.....
Proposed number of car parking spaces by types 不同種類停車位的擬議數目					
Private Car Parking Spaces 私家車車位		..... 4 (Private Car) .....			
Motorcycle Parking Spaces 電單車車位		.....			
Light Goods Vehicle Parking Spaces 輕型貨車泊車位		.....			
Medium Goods Vehicle Parking Spaces 中型貨車泊車位		.....			
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		.....			
Others (Please Specify) 其他 (請列明)		.....			
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目					
Taxi Spaces 的士車位		.....			
Coach Spaces 旅遊巴車位		.....			
Light Goods Vehicle Spaces 輕型貨車車位		.....			
Medium Goods Vehicle Spaces 中型貨車車位		..... 3 (Medium Goods Vehicle) .....			
Heavy Goods Vehicle Spaces 重型貨車車位		.....			
Others (Please Specify) 其他 (請列明)		..... 3 (Container Vehicle) .....			

Proposed operating hours 擬議營運時間 Monday to Saturday from 07:00 to 19:00, no operation on Sunday and public holiday																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))  <u>Accessible from Ping Che Road via a local access</u>																															
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)  <input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)  <input type="checkbox"/> Diversion of stream 河道改道  <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約  <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... 7,508 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 ..... not more than 2.1 m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約																															
	No 否	<input type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															



	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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<b>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas</b> <b>位於鄉郊地區或受規管地區臨時用途/發展的許可續期</b>	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<div style="border: 1px solid black; padding: 5px;"> <input type="checkbox"/> The permission does not have any approval condition          許可並沒有任何附帶條件       </div> <div style="border: 1px solid black; padding: 5px;"> <input type="checkbox"/> Applicant has complied with all the approval conditions          申請人已履行全部附帶條件       </div> <div style="border: 1px solid black; padding: 5px;"> <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s):          申請人仍未履行下列附帶條件：         <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> </div> <div style="margin-top: 10px;">         Reason(s) for non-compliance:          仍未履行的原因：         <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-top: 5px;"></div> </div> <div style="margin-top: 10px;">         (Please use separate sheets if the space above is insufficient)          (如以上空間不足，請另頁說明)       </div>
(f) Renewal period sought 要求的續期期間	<div style="margin-bottom: 10px;"> <input type="checkbox"/> year(s) 年 .....         </div> <div> <input type="checkbox"/> month(s) 個月 .....         </div>





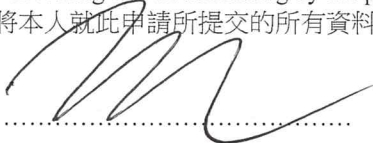
**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

- ☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /  
☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /  
☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會  
☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

R-riches Property Consultants Limited 盈卓物業顧問有限公司

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

15/4/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
 (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 5, 6 S.A, 6 S.A ss.1, 7, 8 S.A, 8 S.B, 9 S.A (Part), 9 S.B (Part), 10 S.B (Part) and 11 (Part) in D.D. 84, Ta Kwu Ling, New Territories
Site area 地盤面積	7,508 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ping Che and Ta Kwu Ling Outline Zoning Plan No. S/NE-TKL/14
Zoning 地帶	"Agriculture" and "Industrial (Group D)" zones
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	6,804 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.91 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A m 米 <input type="checkbox"/> (Not more than 不多於)	
		N/A Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	13 (about) m 米 <input type="checkbox"/> (Not more than 不多於)	
		2 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	45 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		4
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		4 (Private Car)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		6
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicle _____ _____		3 (Medium Goods Vehicle)  3 (Container Vehicle)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Plan showing the land status, zoning and land filling area of the application site, Swept path analysis		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lots 5, 6 S.A, 6 S.A ss.1, 7, 8 S.A, 8 S.B, 9 S.A (Part), 9 S.B (Part), 10 S.B (Part) and 11 (Part) in D.D. 84, Ta Kwu Ling, New Territories* (the Site) for '**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land**' (proposed development) (**Plan 1** to **3**).
- 1.2 Due to the increasing demand for warehouse floorspace in recent years, the applicant would like to use the Site for warehouse in order to support the local warehousing and storage industry.

### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned as "Agriculture" ("AGR") and "Industrial (Group D)" ("I(D)") Zones on the Approved Ping Che and Ta Kwu Ling Outline Zoning Plan (OZP) No.: S/NE-TKL/14. According to the Notes of the OZP, the applied use is not a column one nor two uses within the "AGR" zone, which requires planning permission from the Board (**Plan 2**).
- 2.2 Although the Site falls within area zoned as "AGR", there is no active agricultural use within the Site. The Site is also surrounded by sites occupied by open storage yards and some low-rise temporary structures; hence, the proposed development is considered not incompatible with the surrounding area. Therefore, approval of the current application on a temporary basis of 3 years would better utilize deserted agricultural land in the New Territories and would not jeopardize the long-term planning intention of the "AGR" zone.
- 2.3 Portion of the Site is the subject of a previous S.16 planning application (No. A/NE-TKL/306) for '*temporary open storage of metal goods and equipment*', however, the application was rejected by the Board in 2008. As the proposed development is in different nature and was rejected by the Board 16 years ago, the previous rejected application is considered irrelevant. Furthermore, similar S.16 planning application (No. A/NE-TKL/737) for the same use was approved within the same "AGR" zone by the Board, hence, approval of the current application is in line with the Board's previous decisions and would not set undesirable precedent within the "AGR" zone.

### 3) Development Proposal

- 3.1 The Site occupied an area of 7,508 m<sup>2</sup> (about) (**Plan 3**). The operation hours of Site are Monday to Saturday from 07:00 to 19:00. No operation on Sunday and public holiday. One 2-storey structure is proposed at the Site for warehouse (excluding dangerous goods godown), site office and washroom with total GFA of 6,804 m<sup>2</sup> (about) (**Plan 4**). The ancillary site office is intended to provide indoor workspace for administrative staff to support the daily operation of the Site. It is estimated that the Site would be able to accommodate 8 staff. As the Site is proposed for 'warehouse' use with no shopfront, no visitor is anticipated at the Site. Details of development parameters are shown at **Table 1** below:

**Table 1 – Major Development Parameters**

<b>Application Site Area</b>	7,508 m <sup>2</sup> (about)
<b>Covered Area</b>	3,402 m <sup>2</sup> (about)
<b>Uncovered Area</b>	4,106 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.91 (about)
<b>Site Coverage</b>	45 % (about)
<b>Number of Structure</b>	1
<b>Total GFA</b>	6,804 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	6,804 m <sup>2</sup> (about)
<b>Building Height</b>	13 m (about)
<b>No. of Storey</b>	2

- 3.2 The proposed warehouse is intended for storage of miscellaneous goods (including but not limited to packaged food, apparel, footwear, electronic goods, furniture etc.). No dangerous goods and workshop activities will be stored/conducted at the Site at any time during the planning approval period.
- 3.3 The Site is proposed to be filled wholly with concrete of not more than 2.1 m (about) in depth for site formation of structures, parking space, loading/unloading (L/UL) spaces and circulation area (**Plan 5**). As heavy loading of structures and vehicles would compact the existing soiled ground and weaken the ground surface, concrete site formation is required to meet the operation needs and the extent of filling has been kept to minimal. The applicant will

reinstate the Site to an amenity area after the planning approval period.

3.4 All the proposed works will be carried out at 3 m away from the top bank of the existing Ping Yuen River that is located at the west of the Site (**Plans 1, 3 and 4**). All the proposed works will not create any adverse impact both during and after the construction to the existing Ping Yuen River.

3.5 The Site is accessible from Ping Che Road via a local access (**Plan 1**). A total of 10 parking and L/UL spaces are provided at the Site, details are shown at **Table 2** below:

**Table 2 – Parking and L/UL Provisions**

Type of Space	No. of Space
Private Car (PC) Parking Space for Staff - 2.5 m (W) x 5 m (L)	4
L/UL Space for Medium Goods Vehicle (MGV) - 3.5 m (W) x 11 m (L)	3
L/UL Space for Container Vehicle (CV) - 3.5 m (W) x 16 m (L)	3

3.6 Private car parking spaces are provided for staff to commute to the Site. MGVs and CV are deployed for transportation of goods to be stored at the Site, hence, L/UL spaces for the aforesaid vehicles are provided (**Plan 4**). Sufficient space is also provided for vehicle to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 6**). Staff is also deployed at the ingress/ egress of the Site to direct vehicle entering/exiting the Site to enhance pedestrian safety. As traffic generated and attracted by the proposed development is minimal (as shown at **Table 3** below), adverse traffic impact to the nearby road network should not be anticipated.

**Table 3 – Trip Generation and Attraction of the Site**

Time Period	PC		MGV		CV		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (07:00 – 08:00)	1	0	2	2	2	2	9
Trips at <u>PM peak</u> per hour (15:00 – 16:00)	1	1	2	2	2	2	10
Traffic trip per hour (average)	1	1	1	1	1	1	6



3.7 The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by Environmental Protection Department (EPD) to minimise adverse environmental impacts and nuisance to the surrounding area. The applicant will strictly comply with all environmental protection / pollution control ordinances, i.e. Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance etc. at any time during the planning approval period. The applicant will follow the Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs) for sewage treatment at the Site.

#### **4) Conclusion**

- 4.1 The proposed development will not create significant nuisance to the surrounding areas. Adequate mitigation measures will be provided, i.e. submission of drainage and fire service installations proposals to mitigate any adverse impact arising from the proposed development after planning permission has been granted from the Board.
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land**'.

**R-riches Property Consultants Limited**

**April 2024**

## **LIST OF PLANS**

<b>Plan 1</b>	Location Plan
<b>Plan 2</b>	Plan Showing the Zoning of the Application Site
<b>Plan 3</b>	Plan Showing the Land Status of the Application Site
<b>Plan 4</b>	Layout Plan
<b>Plan 5</b>	Plan Showing the Filling of Land Area of the Application Site
<b>Plan 6</b>	Swept Path Analysis

# LOCATION OF THE APPLICATION SITE

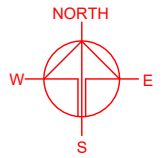
APPLICATION SITE AREA : 7,508 m<sup>2</sup> (ABOUT)

## VEHICULAR ACCESS

ACCESSIBLE FROM PING CHE ROAD VIA LOCAL ACCESS

APPLICATION SITE

ACCESSIBLE FROM PING CHE ROAD VIA A LOCAL ACCESS



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY

MN

DATE

5.4.2024

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LOCATION PLAN

DWG NO.

PLAN 1

VER.

001

## LEGEND



APPLICATION SITE

\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

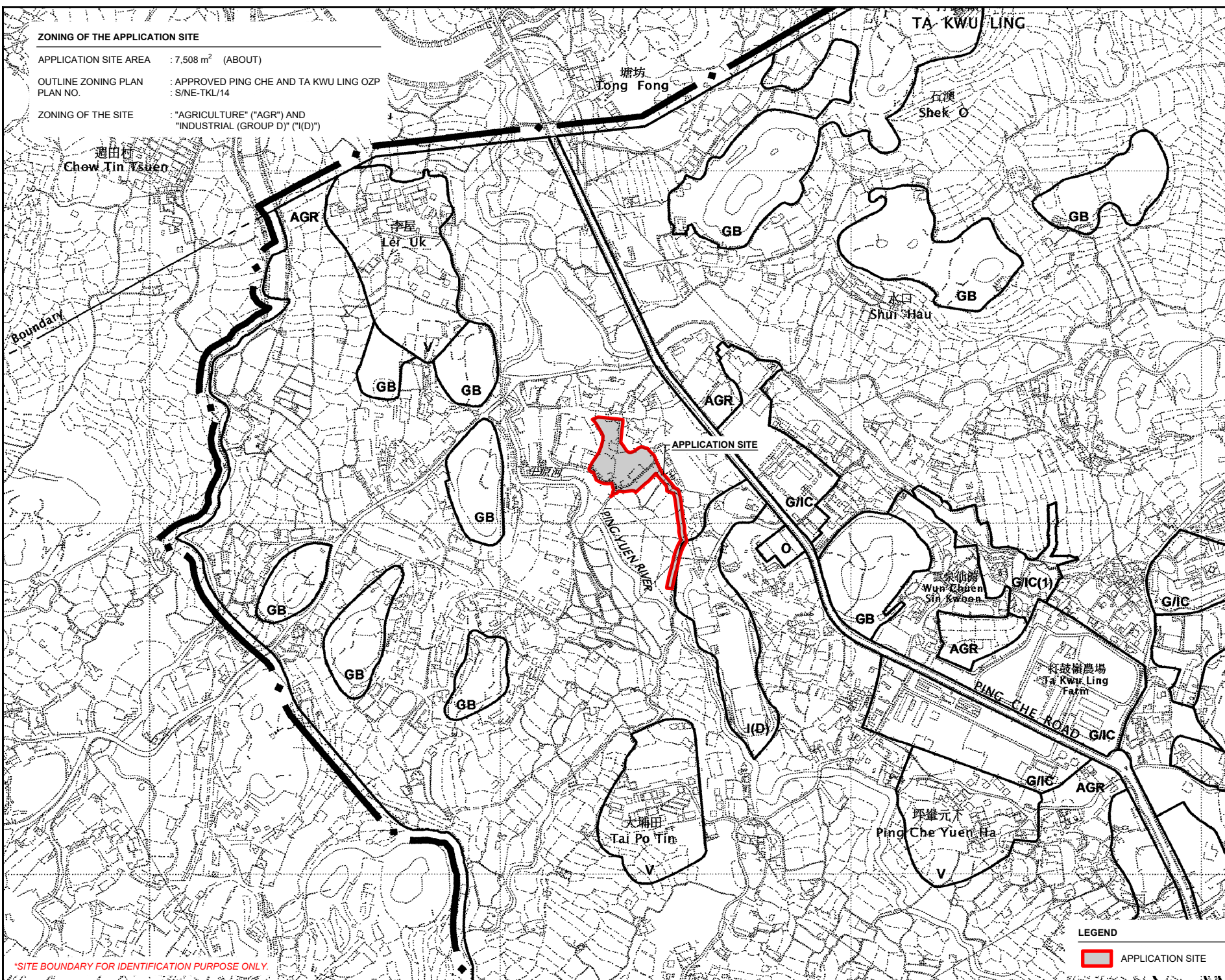


# ZONING OF THE APPLICATION SITE

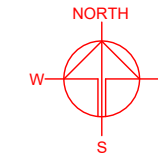
APPLICATION SITE AREA : 7,508 m<sup>2</sup> (ABOUT)

OUTLINE ZONING PLAN PLAN NO. : APPROVED PING CHE AND TA KWU LING OZP S/NE-TKL/14

ZONING OF THE SITE : "AGRICULTURE" ("AGR") AND "INDUSTRIAL (GROUP D)" ("I(D)")



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE

1 : 7000 @ A4

DRAWN BY

MN

DATE

15.4.2024

REVISED BY

DATE

APPROVED BY

DATE

LEGEND



APPLICATION SITE

DWG. TITLE

ZONING OF THE SITE

DWG. NO.

PLAN 2

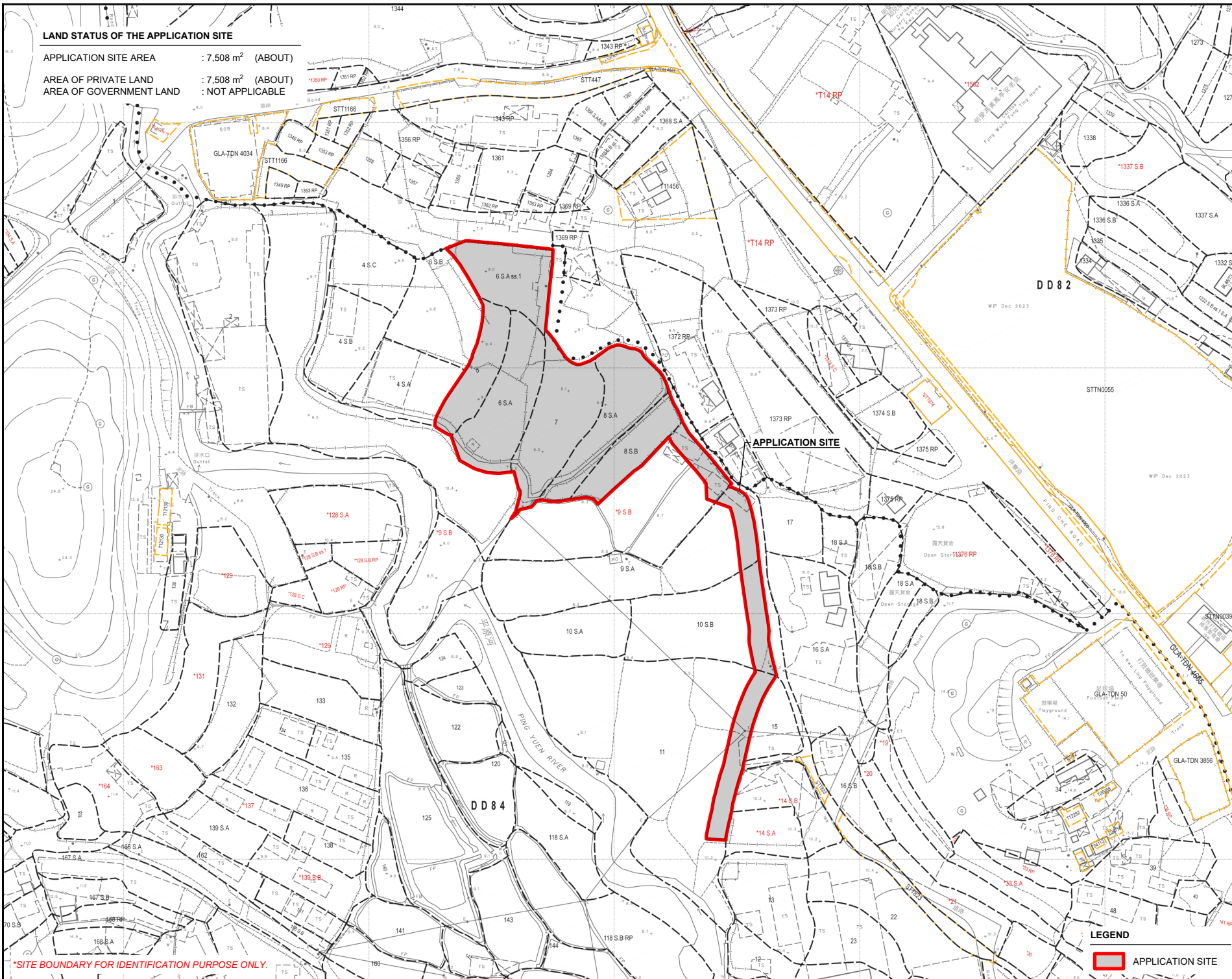
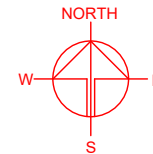
VER.

001



# LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 7,508 m<sup>2</sup> (ABOUT)  
 AREA OF PRIVATE LAND : 7,508 m<sup>2</sup> (ABOUT)  
 AREA OF GOVERNMENT LAND : NOT APPLICABLE



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY

MN

DATE

5.4.2024

REVISED BY

DATE

APPROVED BY

DATE

LEGEND



APPLICATION SITE

DWG. TITLE

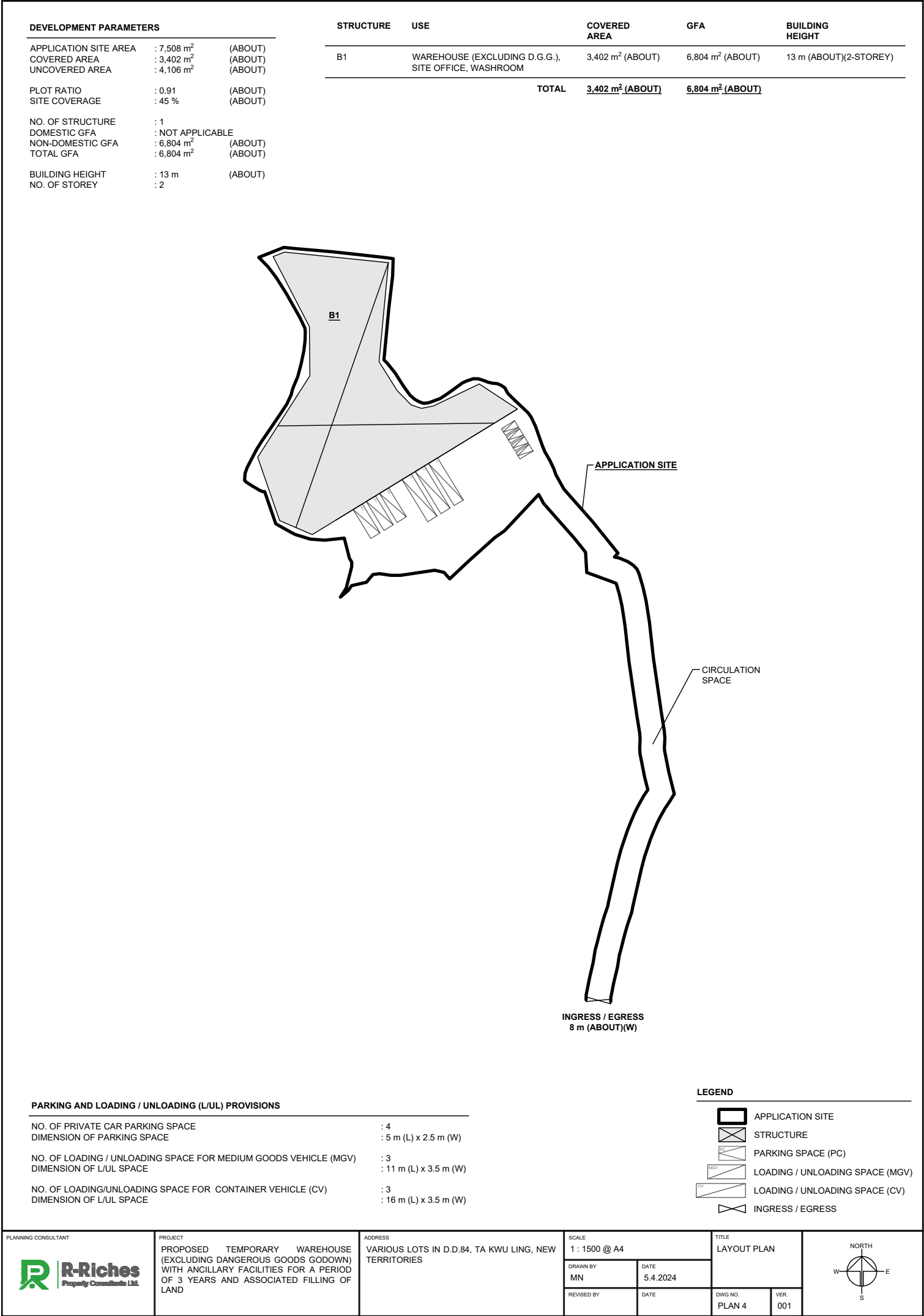
LAND STATUS OF THE SITE

DWG. NO.

PLAN 3

VER.

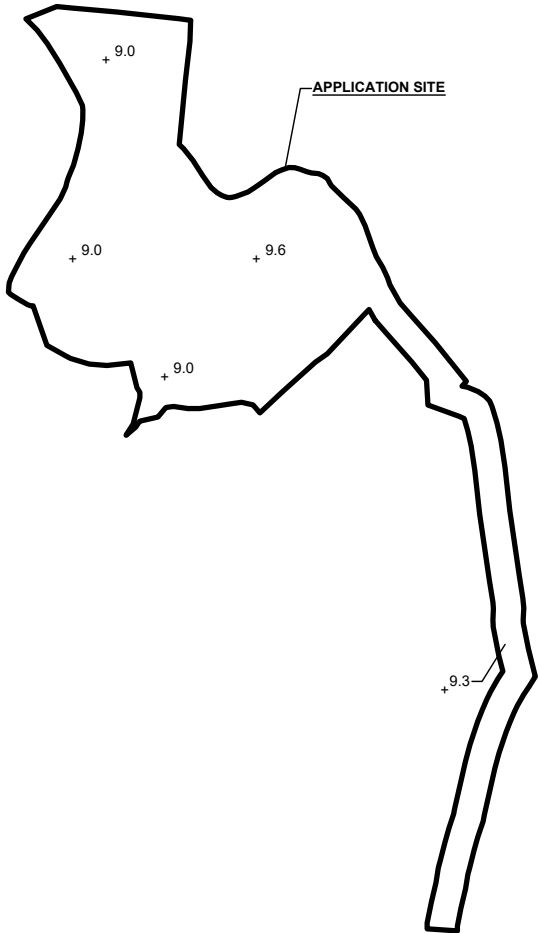
001





APPLICATION SITE BEFORE FILLING OF LAND

APPLICATION SITE AREA : 7,508 m<sup>2</sup> (ABOUT)  
SITE LEVELS BEFORE FILLING OF LAND : +8.1 mPD - 9.6 mPD (ABOUT)  
EXISTING SITE CONDITION : SOILED GROUND

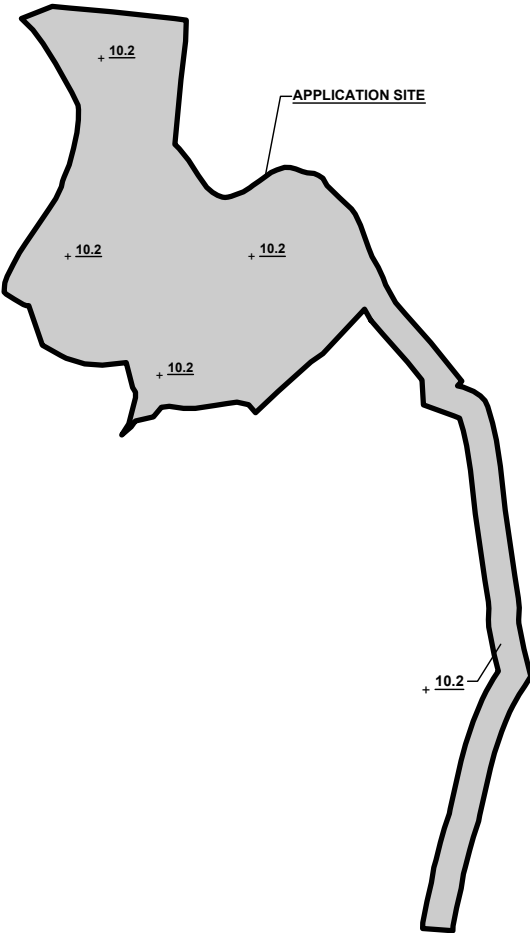


**LEGEND**  
 APPLICATION SITE  
 EXISTING SITE LEVEL

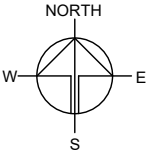
\*SITE LEVELS ARE FOR REFERENCE ONLY.

EXISTING FILLING OF LAND AREA

APPLICATION SITE AREA : 7,508 m<sup>2</sup> (ABOUT)  
COVERED BY STRUCTURE : 3,402 m<sup>2</sup> (ABOUT)  
PROPOSED LAND FILLING AREA : 7,508 m<sup>2</sup> (ABOUT)  
DEPTH OF LAND FILLING : NOT MORE THAN 2.1 m  
PROPOSED SITE LEVELS : +10.2 mPD (ABOUT)  
MATERIAL OF LAND FILLING : CONCRETE  
USE : SITE FORMATION OF STRUCTURES,  
PARKING AND LOADING / UNLOADING  
AND CIRCULATION AREA



**LEGEND**  
 APPLICATION SITE  
 LAND FILLING AREA  
 PROPOSED SITE LEVEL



PLANNING CONSULTANT

**R-Riches**  
Property Consultants Ltd.

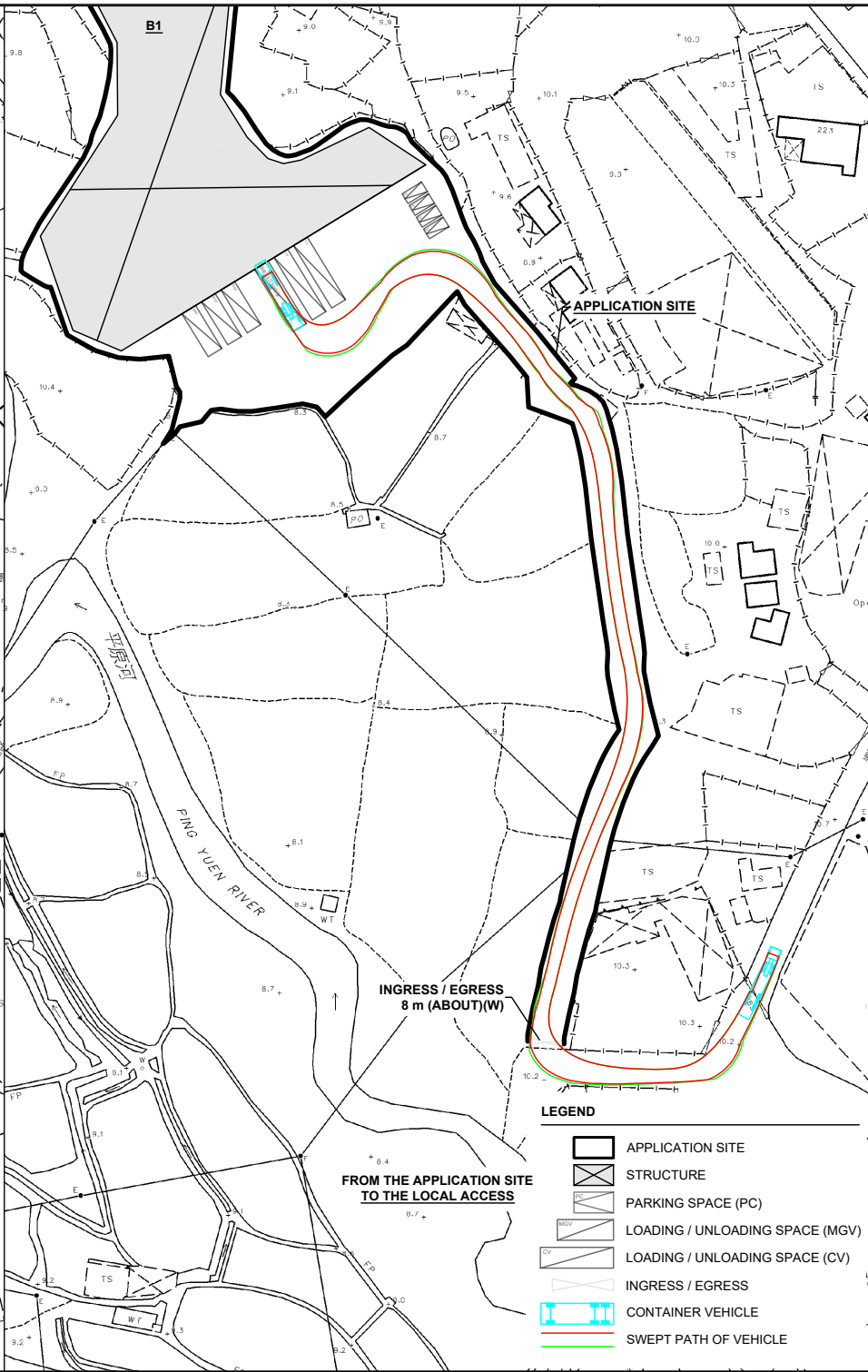
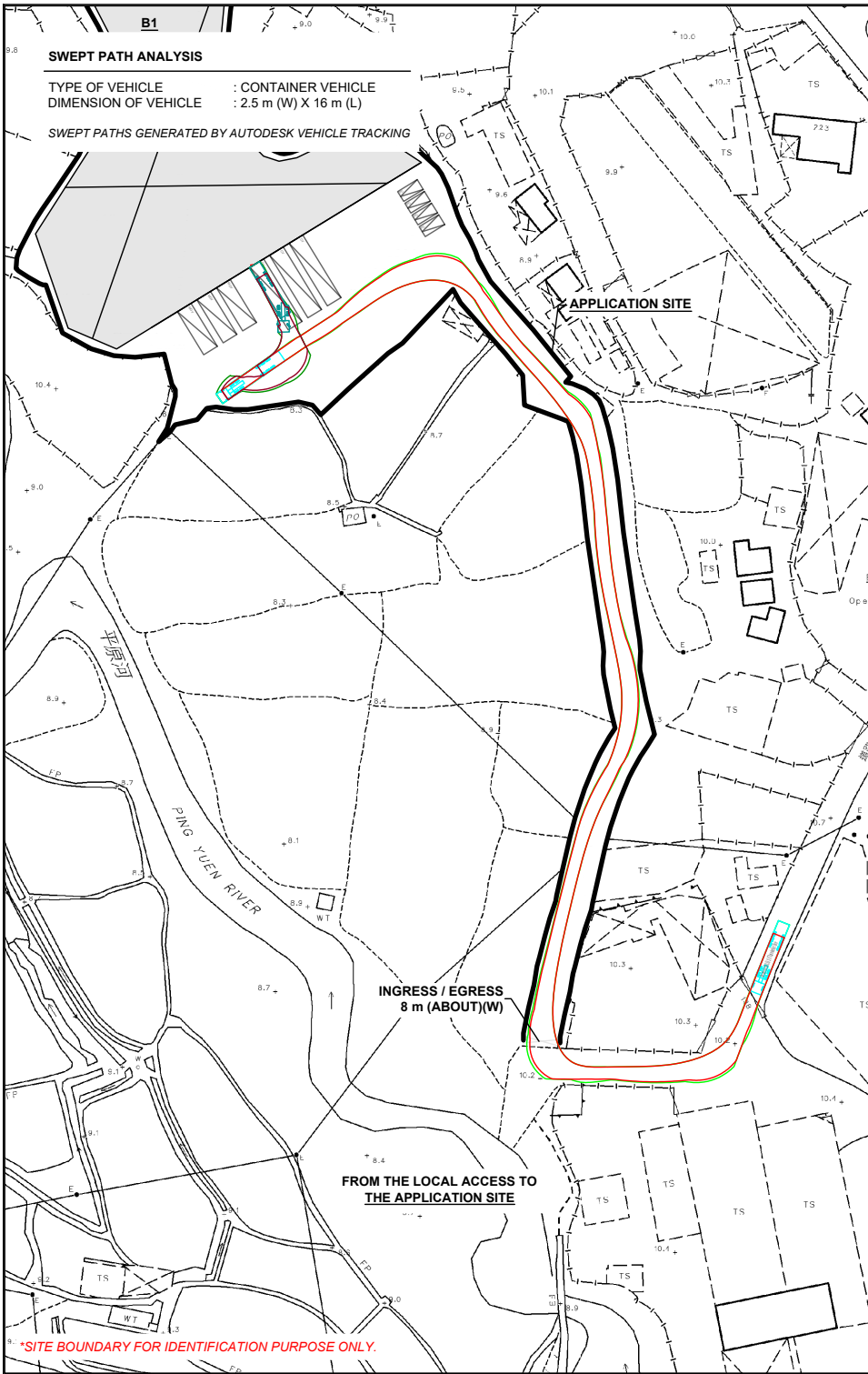
PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE 1 : 2000 @ A4	
DRAWN BY MN	DATE 5.4.2024
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE FILLING OF LAND	
DWG NO. PLAN 5	VER. 001



**NORTH**

W E  
S

PLANNING CONSULTANT

**R-Riches**  
Property Consultants Ltd.

PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

TEMPORARY (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE

1: 1500 @ A4

DRAWN BY

MN

CHECKED BY

APPROVED BY

DATE

5.4.2024

DATE

DATE

DWG. TITLE

SWEPT PATH ANALYSIS

DWG NO.

PLAN 6

VER.

001

Our Ref.: DD84 Lot 5 & VL  
Your Ref.: TPB/A/NE-TKL/757

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

13 June 2024

Dear Sir,

**1<sup>st</sup> Further Information**

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown)  
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land  
in "Agriculture" and "Industrial (Group D)" Zones,  
Various Lots in D.D. 84, Ta Kwu Ling, New Territories**

**(S.16 Planning Application No. A/NE-TKL/757)**

We are writing to submit further information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Christian CHIM at (852) 2339 0884 / christianchim@r-riches.com.hk or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**



**Louis TSE**  
Town Planner

cc DPO/STN, Pland

(Attn.: Ms. Sheren LEE  
(Attn.: Ms. Katie LEUNG

email: sswlee@pland.gov.hk )  
email: kyyleung@pland.gov.hk )





## Responses-to-Comments

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in “Agriculture” and “Industrial (Group D)” Zones, Various Lots in D.D. 84, Ta Kwu Ling, New Territories**

**(Application No. A/NE-TKL/757)**

(i) A RtoC Table:

Departmental Comments		Applicant’s Responses
<b>1. Comments of the Director of Agriculture, Fisheries and Conservation (DAFC)</b>		
(a)	<p><u>From agricultural perspective</u></p> <p>The subject site falls mostly within the “AGR” zone and part of the site is generally abandoned or under cultivation. The agricultural activities are active in the vicinity, and agricultural infrastructures such as road access and water source are also available. The subject site can be used for agricultural activities such as open-field cultivation, greenhouses, plant nurseries, etc. As the subject site possesses potential for agricultural rehabilitation, the proposed development is not supported from agricultural perspective.</p>	<p>Although the application site (the Site) partially falls within area zoned as “Agriculture” (“AGR”), there is no active agricultural use within the Site. The proposed use is considered not incompatible with surrounding land uses which is dominated by open storage yards and some low-rise temporary structures. Therefore, approval of the current application on a temporary basis of 3 years would better utilize deserted agricultural land in the New Territories and would not jeopardize the long-term planning intention of the “AGR” zone.</p>
(b)	<p><u>From nature conservation perspective</u></p> <p>I noted the boundary is revised by comparing that to the previous planning application No. A/NE-TKL/750 and is set slightly away from Ping Yuen River. However, the Ping Yuen River is still located close to the southwestern boundary of the subject site. The applicant should clarify whether Ping Yuen River will be affected by the proposed development during the construction and operation stage and</p>	<p>Boundary fencing will be placed along the Site during the planning approval period to avoid adverse impact to the Ping Yuen River. The boundary fencing will be installed properly by licensed contractor and maintenance will be conducted regularly to prevent misalignment of walls and to ensure that there is no gap or silt on the boundary fencing.</p>

	proposed measures to avoid adverse impact to the Ping Yuen River nearby.	
<b>2. Comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD)</b>		
(a)	We have no comment on the captioned planning application. Please note that the access road adjacent to the site is not maintained by HyD.	Noted.
<b>3. Comments of Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&amp;L, PlanD)</b>		
(a)	Based on the aerial photo of 2023, the site is located in an area of miscellaneous rural fringe landscapes character comprising of open storages, temporary structures, vegetated areas, farmlands, clusters of trees and woodlands within the “Green Belt” zones at the west. The proposed use under this application is considered not incompatible with its surrounding environment. Based on our site record taken on 25.3.2024, the site is mostly fenced off and vacant. Tree groups of common and self-seeded invasive species are observed along the boundary within the northern portion of the site. In comparison with the aerial photo of Feb 2023, vegetation in the centre of the site have been cleared. Several piles of felled tree branches and scattered burnt plants were observed. Impact on the landscape resources within the site has been taken place. According to Para. 3.3 of the Supplementary Statement, the site is proposed to be filled wholly with concrete of not more than 2.1m (about) in depth. Noting that no information on existing trees within and along the site boundary, proposed tree treatment, and mitigation measures/ landscape proposal are provided in the application,	A landscape proposal is submitted by the applicant to provide landscape mitigation measures for the proposed development ( <b>Plan 1</b> ). <u>18</u> new trees (N1 to N18) are proposed to be planted along the southeast boundary of the application site (the Site) to enhance the landscape quality. All these new trees within the Site will be maintained by the applicant during the planning approval period.

	potential adverse impact on the existing landscape resources within the site arising from the proposed use cannot be reasonably ascertained.	
(b)	The applicant is advised to provide basic information (e.g. species, size, general conditions and tree photos) on existing trees within and along the site boundary, proposed tree treatments and mitigation measures for TPB's consideration.	
<b>4. Comments of the Commissioner for Transport (C for T)</b>		
(a)	The applicant should conduct traffic count surveys to the nearby road links and junctions, advise and substantiate the additional traffic flow generated by the development will not cause substantial traffic impact to the surrounding road network;	Traffic count surveys were conducted at the key locations on 29/5/2024 (Wednesday) PM and 30/5/2024 (Thursday) AM with survey period of 07:00 – 10:00 and 16:00 – 19:00. The AM and PM peak hours are identified to occur at 08:00 – 09:00 and 17:00 – 18:00 respectively. The results of the survey have shown that all the link flows in the vicinity of the application site (the Site) would be operating within capacity during the AM and PM peak hour even with the estimated peak hours trips from the proposed development ( <b>Annexes I and II</b> ).
(b)	The applicant shall advise the management/control measures to be implemented to ensure no queuing of vehicles outside the subject site;	The Site is proposed for 'warehouse' use, which only the company fleets of the applicant would be allowed to access the Site. To facilitate the smooth entry of vehicles to the Site, an ingress/egress gate with vehicle detection sensors will be implemented to initiate the pre-opening sequence based on the detection of the approaching vehicles. Staff will also be deployed at the ingress/egress of the Site to direct vehicle entering/exiting the Site to ensure no queuing of vehicle outside the Site. Furthermore, sufficient passing areas are also provided along the local access connecting the Site to Ping Che Road, therefore, queuing of vehicle outside the Site will not be anticipated ( <b>Annex</b>

		III).
(c)	The applicant shall advise the provision and management of pedestrian facilities to ensure pedestrian safety; and	Staff will be deployed by the applicant to direct vehicle entering/exiting the Site. Lighting and alarm systems will be installed at ingress/egress to regulate traffic flow. 'Stop and give way' and 'beware of pedestrians' signs would also be erected to ensure pedestrian safety to/from the Site.
(d)	The applicant shall advise measure in preventing illegal parking by visitors to the subject site; and	The Site is proposed for 'warehouse' use with no shopfront, hence, no visitor is anticipated at the Site. If illegal parking is observed at the local access connecting the Site to Ping Che Road, it would be reported to respective Government Departments.
(e)	The proposed vehicular access between Ping Che Road and the application site is not managed by TD. The applicant should seek comments from the responsible party.	Noted.
<b>5. Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>		
(a)	Flooding incidents have been recorded in the area in the vicinity of the application site. The applicant should submit a drainage proposal for the site to ensure flooding susceptibility of the adjoining areas would not be adversely affected by the proposed development and to propose measures to mitigate the flooding susceptibility of the area. The applicant is required to assess whether the downstream for drainage connection would have sufficient capacity to receive the stormwater runoff. Flood mitigation measures proposed in the drainage proposal and any other storm-water drainage facilities should be provided and maintained by the applicant to the satisfaction of this Division.	A drainage layout plan, with provision of peripheral u-channels, catchpits and storage tank, is submitted by the applicant to mitigate adverse drainage impact generated by the proposed development ( <b>Annex IV</b> ). The applicant will submit a drainage proposal to the satisfaction of CE/MN, DSD after planning approval has been granted by the Town Planning Board (the Board). The applicant will commence the construction works or operations, including site formation works, only after the drainage proposal is considered acceptable by CE/MN, DSD.



**S.16 Planning Application No. A/NE-TKL/757**

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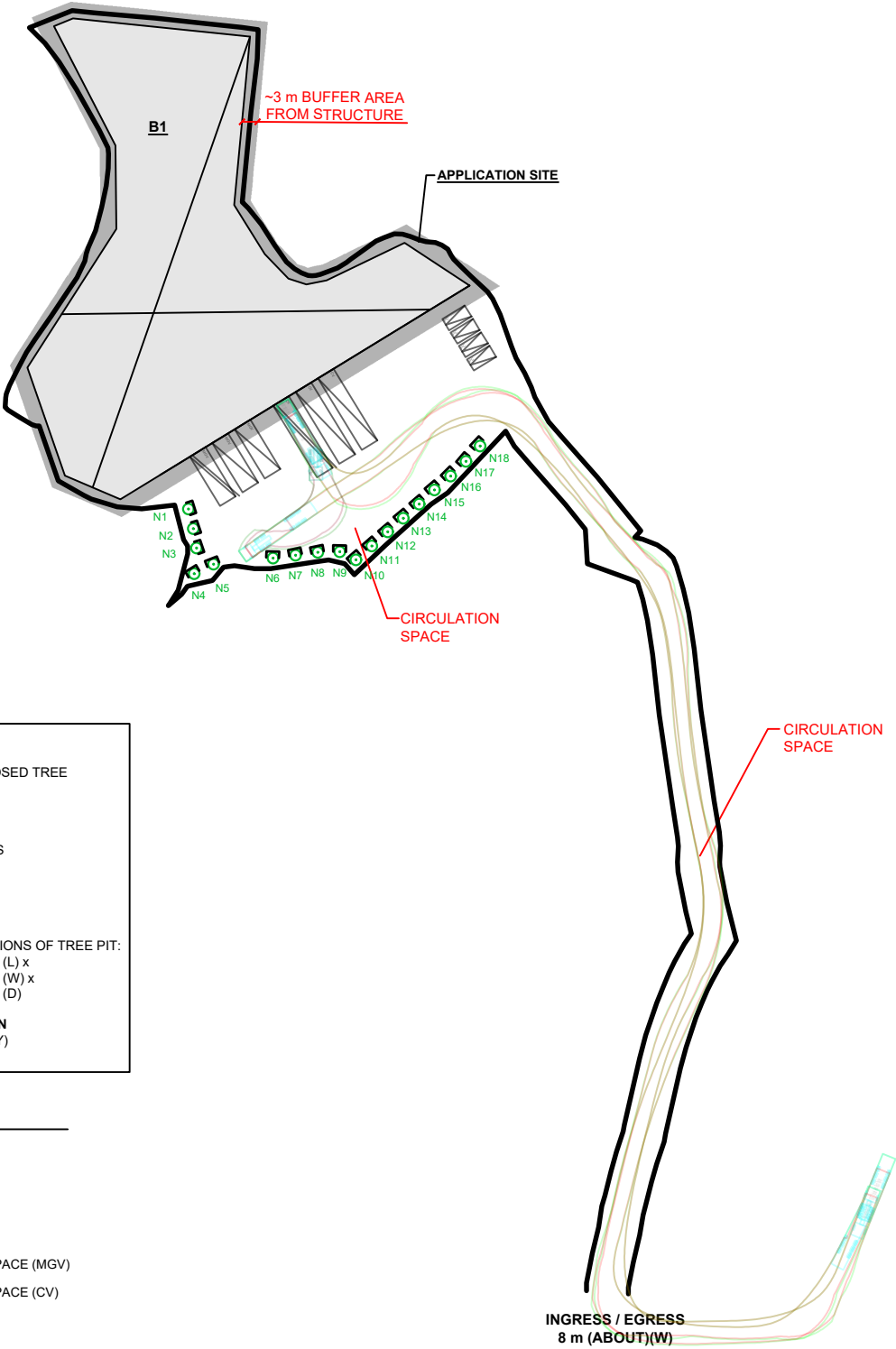
(b)	No land filling on site shall be allowed until the flood mitigation measures have been implemented to the satisfaction of DSD.	Noted.
(c)	The site is in an area where no public sewerage connection is available. EPD should be consulted regarding the sewage treatment/disposal facilities for the proposed development.	Noted.

LANDSCAPE PROPOSAL

APPLICATION SITE AREA	: 7,508 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 3,402 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,106 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.91	(ABOUT)
SITE COVERAGE	: 45 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 6,804 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 6,804 m <sup>2</sup>	(ABOUT)

NO. OF NEW TREES WILL BE PLANTED : 18 (N1 TO N18)  
SPECIES OF NEW TREES : *SENNA SURATTENSIS*  
HEIGHT OF NEW TREES : NO LESS THAN 2.75 m  
SPACING OF NEW TREES : NOT LESS THAN 3 m  
DIMENSION OF TREE PITS : 1 m (W) X 1 m (L) X 1.2 m (D)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	WAREHOUSE (EXCLUDING D.G.G.), SITE OFFICE, WASHROOM	3,402 m <sup>2</sup> (ABOUT)	6,804 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(2-STOREY)
TOTAL		3,402 m <sup>2</sup> (ABOUT)	6,804 m <sup>2</sup> (ABOUT)	



LEGEND

- PROPOSED NEW TREES
- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (MGV)
- LOADING / UNLOADING SPACE (CV)
- INGRESS / EGRESS
- CONTAINER VEHICLE
- SWEPT PATH OF VEHICLE

**Annex I – Result of The Traffic Count Survey****1) Existing Nearby Road Network**

- 1.1 The application site (the Site) is accessible from Ping Che Road via the aforesaid local access.
- 1.2 The existing local access that connects the Site to Ping Che Road is a village track. Ping Che Road is district distributor which provides major access for traffic commuting to/from Ta Kwu Ling and other areas of North East New Territories.

**2) Existing Traffic Flows with the Proposed Development**

- 2.1 In order to gain understanding of the existing traffic condition of the vicinity of the Site, traffic count surveys were conducted at the key locations on 29/5/2024 (Wednesday) PM and 30/5/2024 (Thursday) AM with survey period of 07:00 – 10:00 and 16:00 – 19:00. The AM and PM peak hours are identified to occur at 08:00 – 09:00 and 17:00 – 18:00 respectively. The survey results are shown at **Tables 1 and 2** below and **Figures 1 and 2**:

**Table 1: 2024 Peak Hour Junction Capacity Performance (w/o the proposed development)**

Junction No.	Location	DFC for AM Peak	DFC for PM Peak
J1	Ping Che Road / Local Access	0.04 <sup>#</sup>	0.03 <sup>#</sup>

<sup>#</sup>Please refer to the junction capacity performance calculation at **Annex II**.

**Table 2: 2024 Peak Hour Road Link Performance (w/o the proposed development)**

Link No.	Location	Direction	Design Capacity	AM Peak		PM Peak	
				Flows <sup>#</sup> (veh/hr)	P/Df	Flows (veh/hr)	P/Df
L1	Ping Che Road	NB	400*	193	0.48	183	0.46
		SB	400*	184	0.46	175	0.44
L2	Ping Che Road	NB	400*	195	0.49	185	0.46
		SB	400*	185	0.46	176	0.44
L3	Local Access	2-way	100	37	0.37	31	0.31

\*According to TPDM 2.4.1.1, the design flow of a 2-lane single carriageway may be taken as 800 veh/h

<sup>#</sup>According to TPDM 2.3.1.1, flow (vehicle/hr) has been converted to passenger car units

- 2.2 The traffic count results indicate that the key link flows in the vicinity of the proposed development are currently operating within capacity during the AM and PM peak hour.

**3) Trip Generation and Attraction of the Proposed Development**

- 3.1 The applicant has been a warehouse operator for decades and intends to operate the proposed development at the Site to provide more local storage space to support the local warehousing and logistics industry. According to the applicant, the below **Table 3** is the estimated trip

generation and attraction of the proposed development at 08:00 – 09:00 and 17:00 – 18:00, details are as follows:

**Table 3:** Trip Generation and Attraction of the Proposed Development

Time Period	Trip Generation and Attraction						
	PC		MGV		CV/T		2-Way Total
	In	Out	In	Out	In	Out	
Trips at 08:00 – 09:00	2	0	0	2	0	3	7
Trips at 17:00 – 18:00	0	2	2	0	3	0	7

<sup>#</sup>According to TPDM 2.3.1.1, flow of vehicle has been converted to passenger car units

#### 4) Future Traffic Situation with the Proposed Development

- 4.1 Based on the results of the traffic count survey on the existing peak hours traffic flows with the accumulation of the estimated peak hour traffic generation and attraction by the proposed development, the peak hour traffic flows with the proposed development are shown at **Tables 4 and 5** below and **Figure 2**:

**Table 4:** 2024 Peak Hour Junction Capacity Performance (with the proposed development)

Junction No.	Location	DFC for AM Peak	DFC for PM Peak
J1	Ping Che Road / Local Access	<u>0.05</u> <sup>#</sup>	<u>0.04</u> <sup>#</sup>

<sup>#</sup>Please refer to the junction capacity performance calculation at **Annex II**.

**Table 5:** 2024 Peak Hour Road Link Performance (with the proposed development)

Link No.	Location	Direction	Design Capacity	AM Peak		PM Peak	
				Flows (veh/hr)	P/Df	Flows (veh/hr)	P/Df
L1	Ping Che Road	NB	400*	<u>198</u> (+5)	<u>0.50</u>	183	0.41
		SB	400*	184	0.41	<u>180</u> (+5)	<u>0.45</u>
L2	Ping Che Road	NB	400*	<u>197</u> (+2)	<u>0.49</u>	185	0.42
		SB	400*	185	0.41	<u>178</u> (+2)	<u>0.45</u>
L3	Local Access	2-way	100	<u>44</u> (+7)	<u>0.44</u>	<u>38</u> (+7)	<u>0.38</u>

\*According to TPDM 2.4.1.1, the design flow of a 2-lane single carriageway may be taken as 800 veh/h

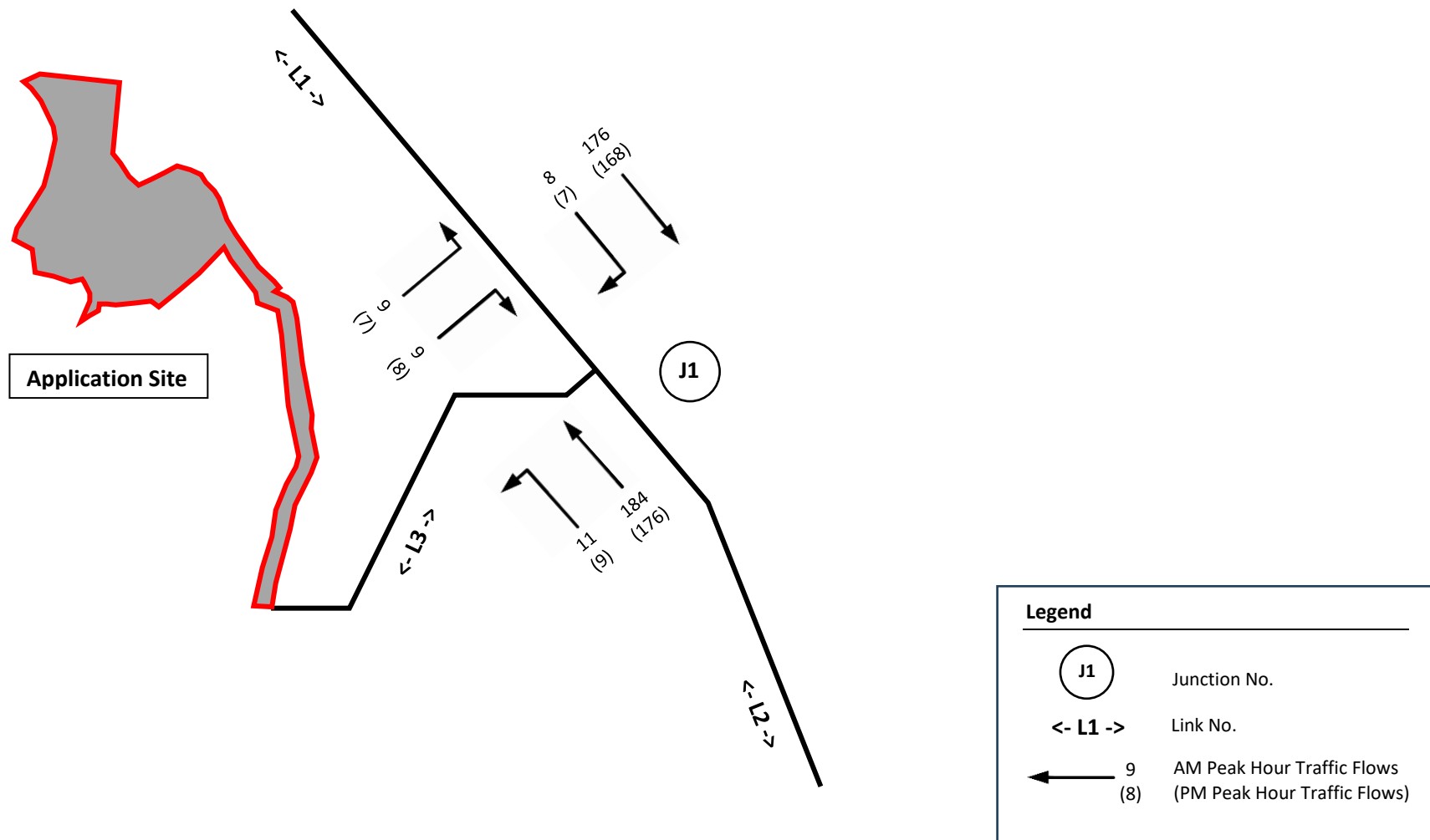
- 4.2 As advised by the applicant, goods vehicle would likely enter/leave the Site from/towards Heung Yuen Wai Highway, while private car would likely enter/leave the Site from/towards Sha Tau Kok Road (Ma Mei Ha). Therefore, vehicular trips are added to respective road links at AM and PM peak.



- 4.3 The results shown at **Tables 4, 5** and **Annex II** indicate that all the link flows in the vicinity of the proposed development would be operating within capacity during the AM and PM peak hour even with the estimated peak hours trips from the proposed development.
- 4.4 Furthermore, passing areas are also provided along the local access connecting the Site to Ping Che Road, hence, adverse traffic impact arisen from the proposed development to the surrounding road network should not be anticipated (**Annex III**).

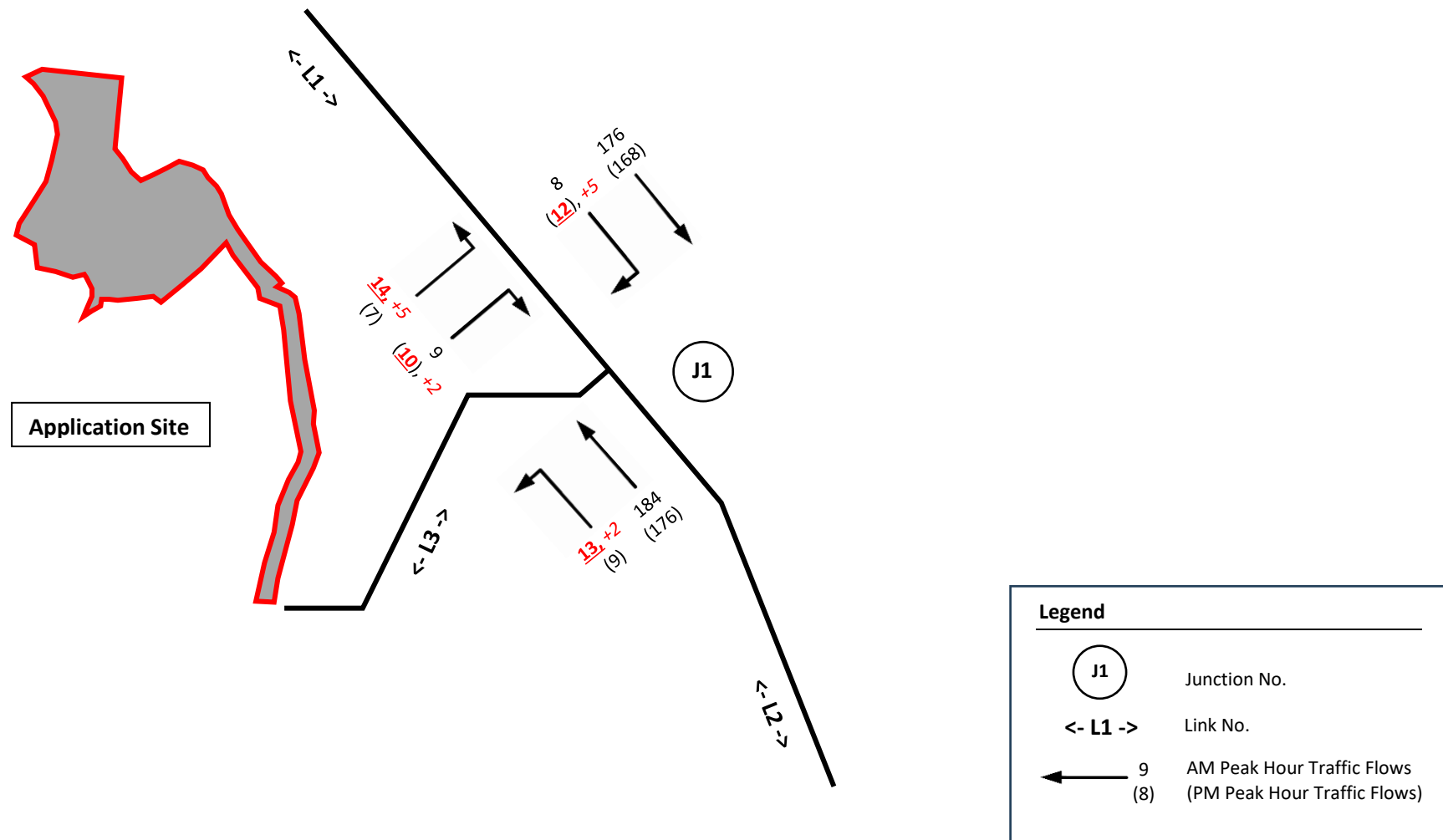
**Figure 1 – Observed 2024 Peak Hour Traffic Flows (without the Proposed Development)**

1) The AM and PM peak hours are identified to occur at 08:00 – 09:00 and 17:00 – 18:00 respectively.



**Figure 2 – Future 2024 Peak Hour Traffic Flows (with the Proposed Development)**

1) The AM and PM peak hours are identified to occur at 08:00 – 09:00 and 17:00 – 18:00 respectively.



**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Industrial (Group D)" Zones, Various Lots in D.D. 84, Ta Kwu Ling, New Territories**  
**S.16 Planning Application No. A/NE-TKL/757**

**Priority Junction Calculation**

2024 AM Peak (w/o the proposed development)

**Geomatic details:**

**Major Road (Arm A)**

W	=	6.3	metres
W cr	=	0	metres
q a-b	=	11	pcu/hr
q a-c	=	184	pcu/hr

**Major Road (Arm C)**

W c-b	=	3.1	metres
Vr c-b	=	22	metres
q c-a	=	176	pcu/hr
q c-b	=	8	pcu/hr

**Minor Road (Arm B)**

W b-a	=	3	metres
W b-c	=	3	metres
VI b-a	=	105	metres
Vr b-a	=	62	metres
Vr b-c	=	62	metres
q b-a	=	9	pcu/hr
q b-c	=	9	pcu/hr

**Geometric factors:**

D	=	0.8659
E	=	0.8899
F	=	0.8647
Y	=	0.7827

**The capacity of movement:**

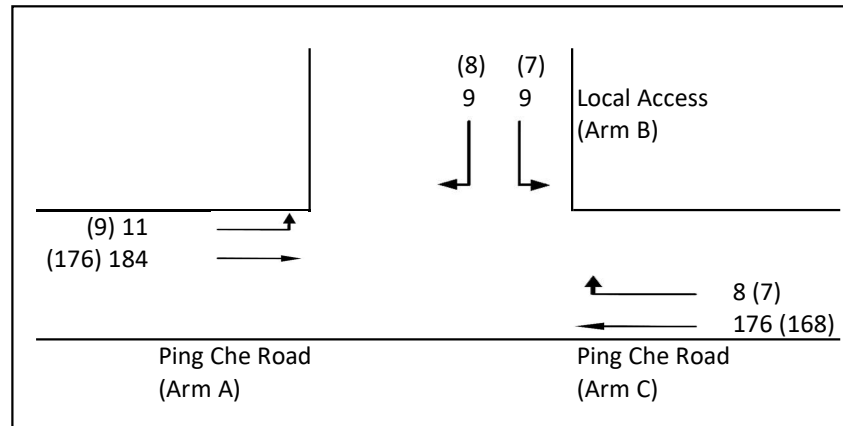
Q b-a	=	466.3031
Q b-c	=	615.2175
Q c-b	=	596.1376
Q b-ac	=	466.3031

**Comparison of design flow to capacity:**

DFC b-a	=	0.0193
DFC b-c	=	0.0146
DFC c-b	=	0.0134
DFC b-ac (share lane)	=	0.0386

Total flow = 397 pcu/hr

**Critical DFC** = 0.04



W	=	Major Road Width
W cr	=	Central Reserve Width
W b-a	=	Lane width available to vehicle waiting in stream b-a
W b-c	=	Lane width available to vehicle waiting in stream b-c
W c-b	=	Lane width available to vehicle waiting in stream c-b
VI b-a	=	Visibility to the left for vehicles waiting in stream b-a
Vr b-a	=	Visibility to the right for vehicles waiting in stream b-a
Vr b-c	=	Visibility to the right for vehicles waiting in stream b-c
Vr c-b	=	Visibility to the right for vehicles waiting in stream c-b

D	=	Stream-specific B-A
E	=	Stream-specific B-C
F	=	Stream-specific C-B
Y	=	(1-0.0345W)



**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Industrial (Group D)" Zones, Various Lots in D.D. 84, Ta Kwu Ling, New Territories**  
**S.16 Planning Application No. A/NE-TKL/757**

**Priority Junction Calculation**

2024 PM Peak (w/o the proposed development)

**Geomatic details:**

**Major Road (Arm A)**

W	=	6.3	metres
W cr	=	0	metres
q a-b	=	9	pcu/hr
q a-c	=	176	pcu/hr

**Major Road (Arm C)**

W c-b	=	3.1	metres
Vr c-b	=	22	metres
q c-a	=	168	pcu/hr
q c-b	=	7	pcu/hr

**Minor Road (Arm B)**

W b-a	=	3	metres
W b-c	=	3	metres
VI b-a	=	105	metres
Vr b-a	=	62	metres
Vr b-c	=	62	metres
q b-a	=	8	pcu/hr
q b-c	=	7	pcu/hr

**Geometric factors:**

D	=	0.8659
E	=	0.8899
F	=	0.8647
Y	=	0.7827

**The capacity of movement:**

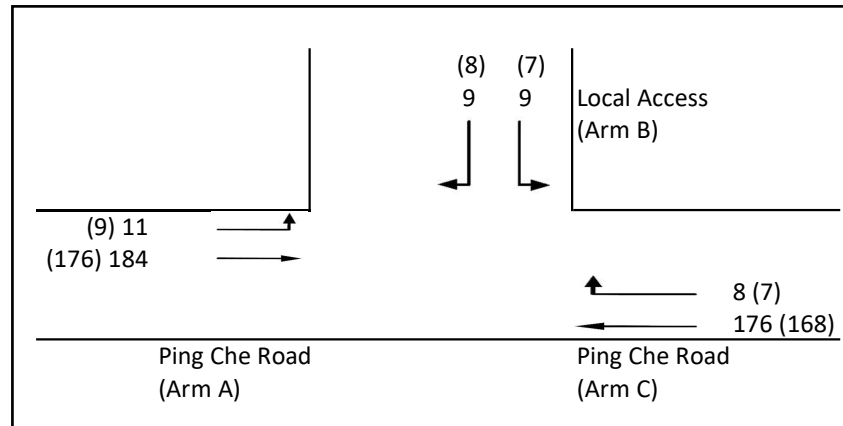
Q b-a	=	470.0655
Q b-c	=	617.4462
Q c-b	=	598.6009
Q b-ac	=	470.0655

**Comparison of design flow to capacity:**

DFC b-a	=	0.0170
DFC b-c	=	0.0113
DFC c-b	=	0.0117
DFC b-ac (share lane)	=	0.0319

Total flow = 375 pcu/hr

**Critical DFC** = 0.03



W	=	Major Road Width
W cr	=	Central Reserve Width
W b-a	=	Lane width available to vehicle waiting in stream b-a
W b-c	=	Lane width available to vehicle waiting in stream b-c
W c-b	=	Lane width available to vehicle waiting in stream c-b
VI b-a	=	Visibility to the left for vehicles waiting in stream b-a
Vr b-a	=	Visibility to the right for vehicles waiting in stream b-a
Vr b-c	=	Visibility to the right for vehicles waiting in stream b-c
Vr c-b	=	Visibility to the right for vehicles waiting in stream c-b

D	=	Stream-specific B-A
E	=	Stream-specific B-C
F	=	Stream-specific C-B
Y	=	(1-0.0345W)

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Industrial (Group D)" Zones, Various Lots in D.D. 84, Ta Kwu Ling, New Territories**  
**S.16 Planning Application No. A/NE-TKL/757**

**Priority Junction Calculation**

2024 AM Peak (with the proposed development)

**Geomatic details:**

Major Road (Arm A)

W	=	6.3	metres
W cr	=	0	metres
q a-b	=	<u>13</u>	pcu/hr
q a-c	=	184	pcu/hr

Major Road (Arm C)

W c-b	=	3.1	metres
Vr c-b	=	22	metres
q c-a	=	176	pcu/hr
q c-b	=	8	pcu/hr

Minor Road (Arm B)

W b-a	=	3	metres
W b-c	=	3	metres
VI b-a	=	105	metres
Vr b-a	=	62	metres
Vr b-c	=	62	metres
q b-a	=	9	pcu/hr
q b-c	=	<u>14</u>	pcu/hr

**Geometric factors:**

D	=	0.8659
E	=	0.8899
F	=	0.8647
Y	=	0.7827

**The capacity of movement:**

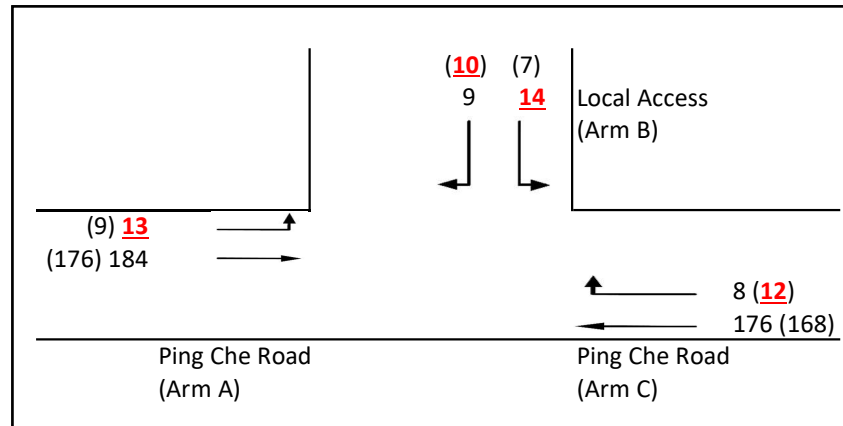
Q b-a	=	466.1079
Q b-c	=	615.0169
Q c-b	=	595.6450
Q b-ac	=	466.1079

**Comparison of design flow to capacity:**

DFC b-a	=	0.0193
DFC b-c	=	0.0228
DFC c-b	=	0.0134
DFC b-ac (share lane)	=	0.0493

Total flow = 404 pcu/hr

**Critical DFC** = 0.05



W	=	Major Road Width
W cr	=	Central Reserve Width
W b-a	=	Lane width available to vehicle waiting in stream b-a
W b-c	=	Lane width available to vehicle waiting in stream b-c
W c-b	=	Lane width available to vehicle waiting in stream c-b
VI b-a	=	Visibility to the left for vehicles waiting in stream b-a
Vr b-a	=	Visibility to the right for vehicles waiting in stream b-a
Vr b-c	=	Visibility to the right for vehicles waiting in stream b-c
Vr c-b	=	Visibility to the right for vehicles waiting in stream c-b

D	=	Stream-specific B-A
E	=	Stream-specific B-C
F	=	Stream-specific C-B
Y	=	(1-0.0345W)

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land in "Agriculture" and "Industrial (Group D)" Zones, Various Lots in D.D. 84, Ta Kwu Ling, New Territories**  
**S.16 Planning Application No. A/NE-TKL/757**

**Priority Junction Calculation**

2024 PM Peak (with the proposed development)

**Geomatic details:**

**Major Road (Arm A)**

W	=	6.3	metres
W cr	=	0	metres
q a-b	=	9	pcu/hr
q a-c	=	176	pcu/hr

**Major Road (Arm C)**

W c-b	=	3.1	metres
Vr c-b	=	22	metres
q c-a	=	168	pcu/hr
q c-b	=	<u>12</u>	pcu/hr

**Minor Road (Arm B)**

W b-a	=	3	metres
W b-c	=	3	metres
VI b-a	=	105	metres
Vr b-a	=	62	metres
Vr b-c	=	62	metres
q b-a	=	<u>10</u>	pcu/hr
q b-c	=	7	pcu/hr

**Geometric factors:**

D	=	0.8659
E	=	0.8899
F	=	0.8647
Y	=	0.7827

**The capacity of movement:**

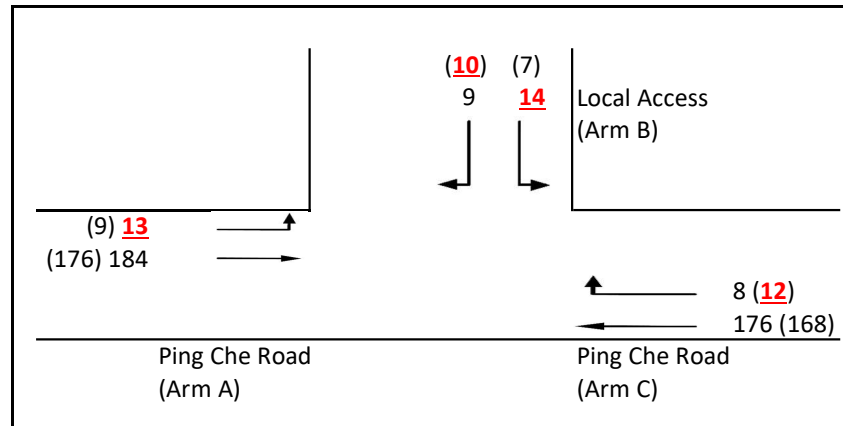
Q b-a	=	468.3035
Q b-c	=	617.4462
Q c-b	=	598.6009
Q b-ac	=	468.3035

**Comparison of design flow to capacity:**

DFC b-a	=	0.0214
DFC b-c	=	0.0113
DFC c-b	=	0.0200
DFC b-ac (share lane)	=	0.0363

Total flow = 382 pcu/hr

**Critical DFC** = 0.04

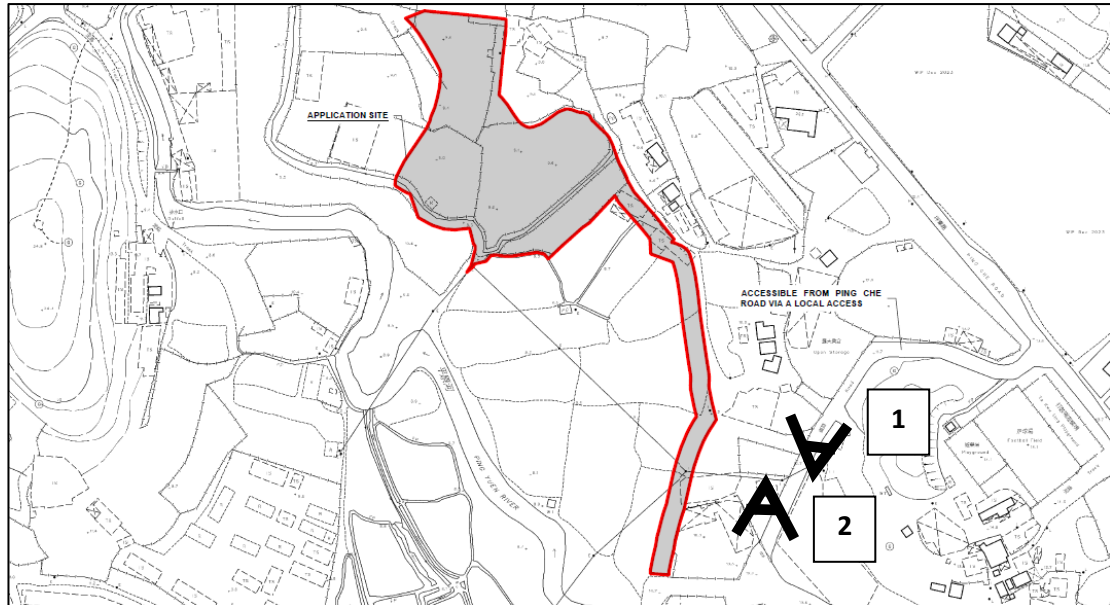


W	=	Major Road Width
W cr	=	Central Reserve Width
W b-a	=	Lane width available to vehicle waiting in stream b-a
W b-c	=	Lane width available to vehicle waiting in stream b-c
W c-b	=	Lane width available to vehicle waiting in stream c-b
VI b-a	=	Visibility to the left for vehicles waiting in stream b-a
Vr b-a	=	Visibility to the right for vehicles waiting in stream b-a
Vr b-c	=	Visibility to the right for vehicles waiting in stream b-c
Vr c-b	=	Visibility to the right for vehicles waiting in stream c-b

D	=	Stream-specific B-A
E	=	Stream-specific B-C
F	=	Stream-specific C-B
Y	=	(1-0.0345W)

**Annex III – Passing Areas at the Local Access**

- (i) Adequate passing areas are also provided along the local access connecting the Site to Ping Che Road, details are as follows:





PROPOSED DRAINAGE LAYOUT PLAN FOR S.16  
PLANNING APPLICATION NO. A/NE-TKL/757

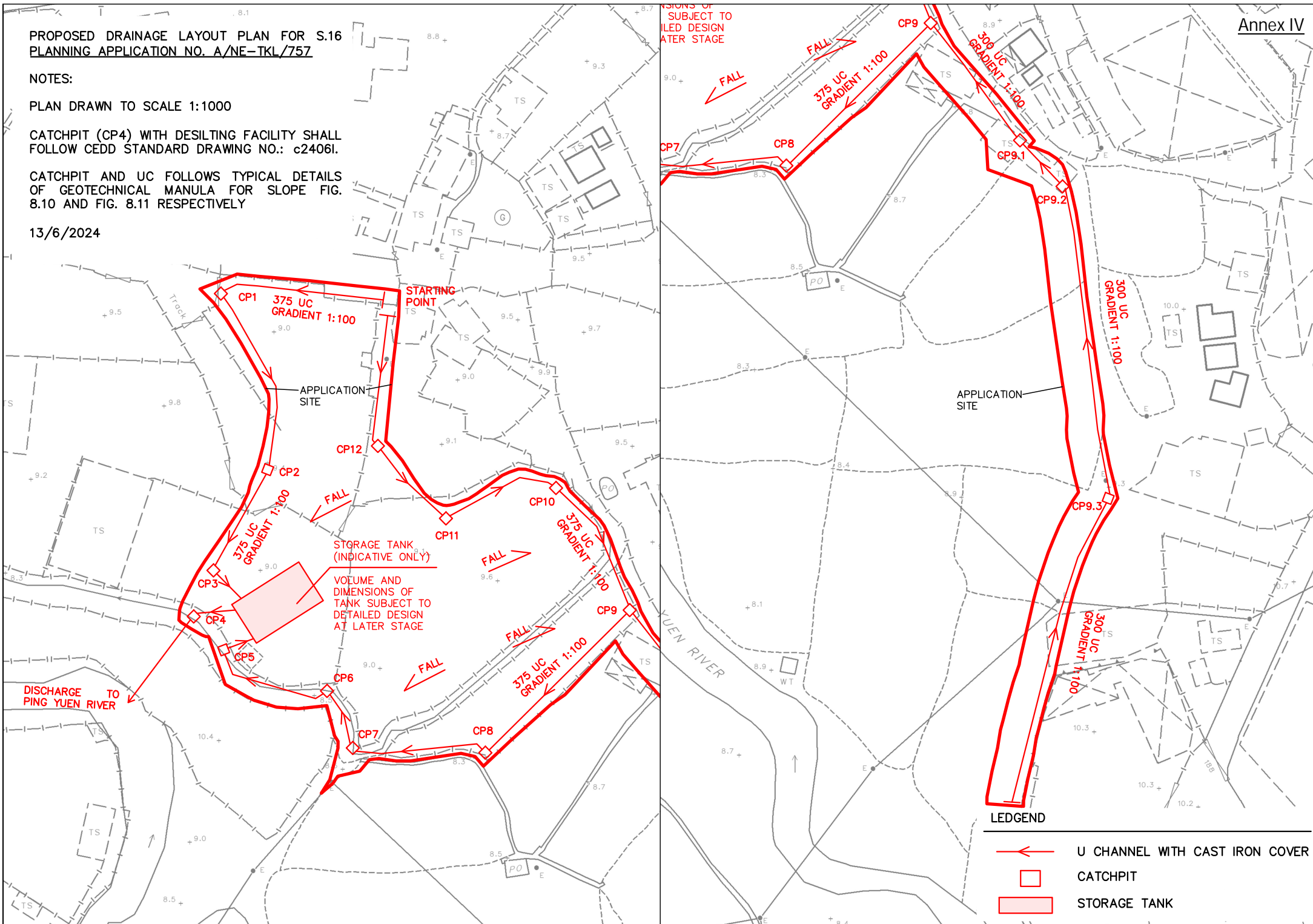
NOTES:

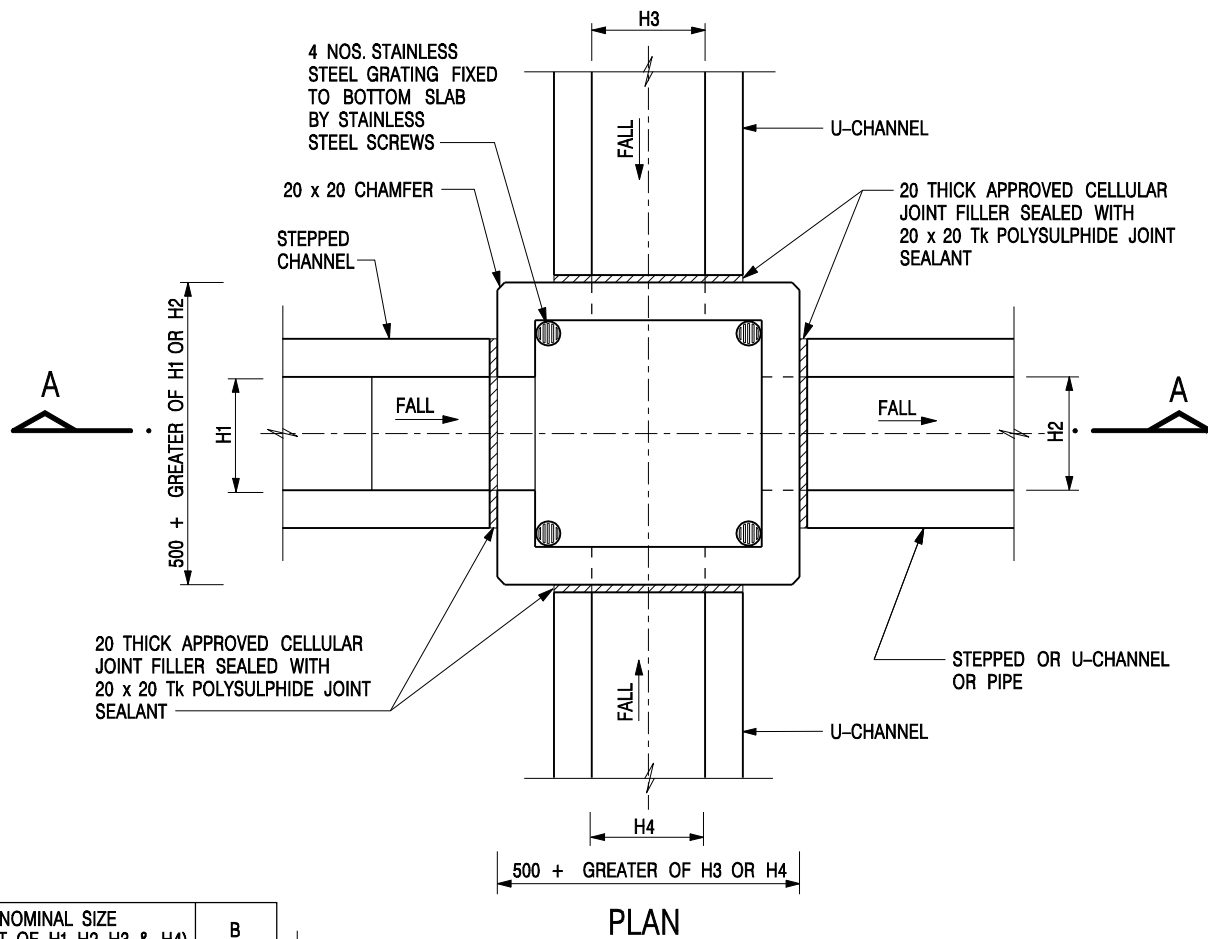
PLAN DRAWN TO SCALE 1:1000

CATCHPIT (CP4) WITH DESILTING FACILITY SHALL FOLLOW CEDD STANDARD DRAWING NO.: c2406I.

CATCHPIT AND UC FOLLOWS TYPICAL DETAILS OF GEOTECHNICAL MANULA FOR SLOPE FIG. 8.10 AND FIG. 8.11 RESPECTIVELY

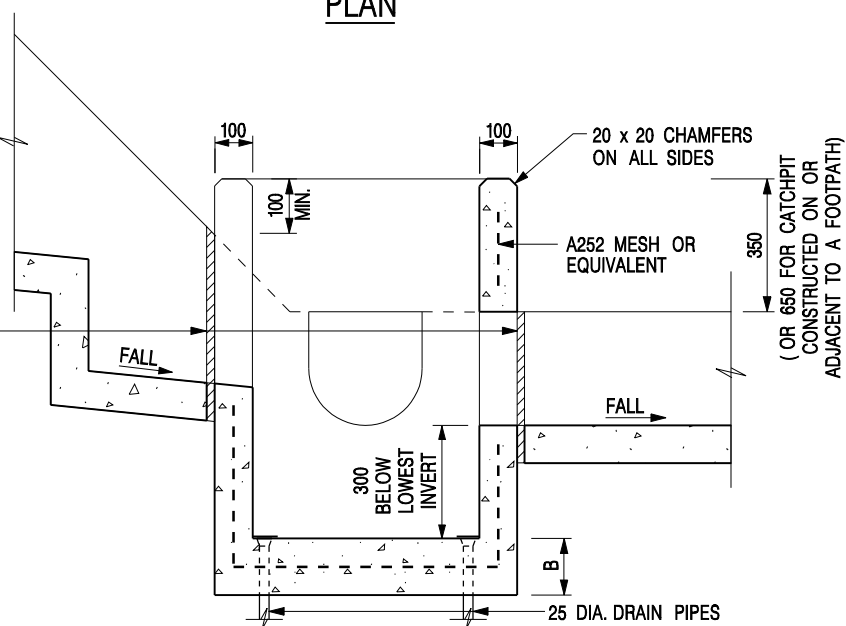
13/6/2024





NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



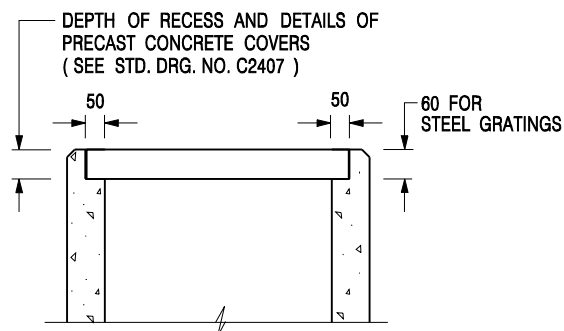
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /1**



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2**

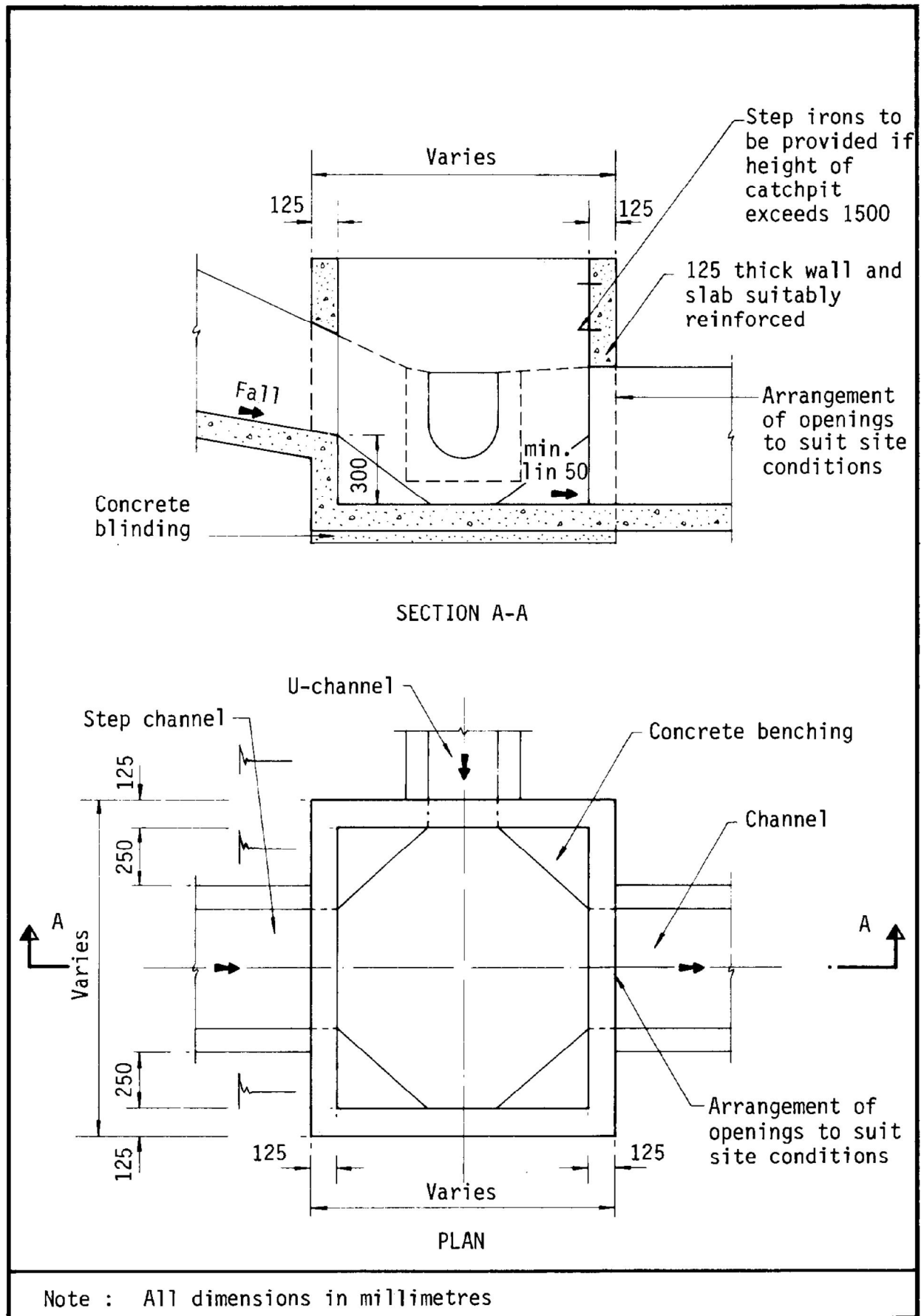
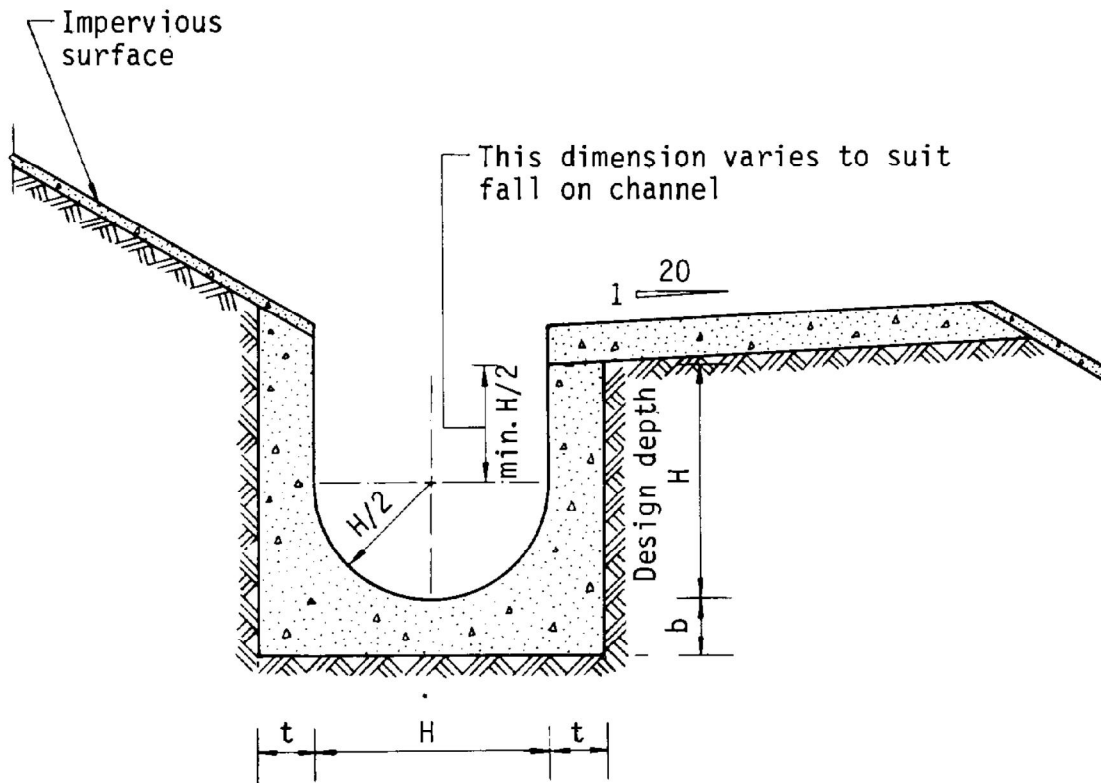


Figure 8.10 - Typical Details of Catchpits





Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

Our Ref.: DD84 Lot 5 & VL  
Your Ref.: TPB/A/NE-TKL/757

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

14 June 2024

Dear Sir,

**2<sup>nd</sup> Further Information**

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown)  
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land  
in "Agriculture" and "Industrial (Group D)" Zones,  
Various Lots in D.D. 84, Ta Kwu Ling, New Territories**

**(S.16 Planning Application No. A/NE-TKL/757)**

We are writing to submit further information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Christian CHIM at (852) 2339 0884 / christianchim@r-riches.com.hk or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**



**Louis TSE**  
Town Planner

cc DPO/STN, Pland

(Attn.: Ms. Sheren LEE  
(Attn.: Ms. Katie LEUNG

email: sswlee@pland.gov.hk )  
email: kyyleung@pland.gov.hk )



**Responses-to-Comments**

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown)  
with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land  
in “Agriculture” and “Industrial (Group D)” Zones,  
Various Lots in D.D. 84, Ta Kwu Ling, New Territories**

**(Application No. A/NE-TKL/757)**

- (i) The majority of the application site (the Site) (i.e. about 7,493m<sup>2</sup>, 99.8% of the Site) falls within an area zoned as “Agriculture”. The remaining area (i.e. about 15m<sup>2</sup>, 0.2% of the Site) falls within “Industrial (Group D)” zone (**Plan 1**).
- (ii) All the proposed works will be carried out 3 m away from the top bank of the existing Ping Yuen River that is located at the west of the Site.
- (iii) No dismantling, maintenance, repairing, cleansing, paint spraying or other workshop activities will be carried out within the Site at any time during the planning approval period.
- (iv) A RtoC Table

Departmental Comments		Applicant’s Responses
<b>1. Comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD)</b>		
(a)	The application site comprises Old Schedule Agriculture Lots held under the Block Government Lease which contains the restrictions that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land (GL) is granted to the application site.	Noted. The applicant will submit Short Term Waiver (STW) application to rectify the applied use erected on the concerned lots after planning approval has been obtained from the Town Planning Board (the Board). The unauthorised structures erected on the concerned lots will be demolished by the applicant after planning approval has been obtained from the Board to facilitate the proposed scheme.
(b)	I must point out that the following irregularities covered by the subject planning application have been detected by this office:  <u>Unauthorised structures within the said private lot covered by the planning application</u> There are unauthorised structures on Lot Nos. 9 S.A and 9 S.B in D.D.84. As access is not available, the above mentioned unauthorised structures may not be exhaustive. The lot owners should immediately rectify the lease breaches and this office reserves the right to	

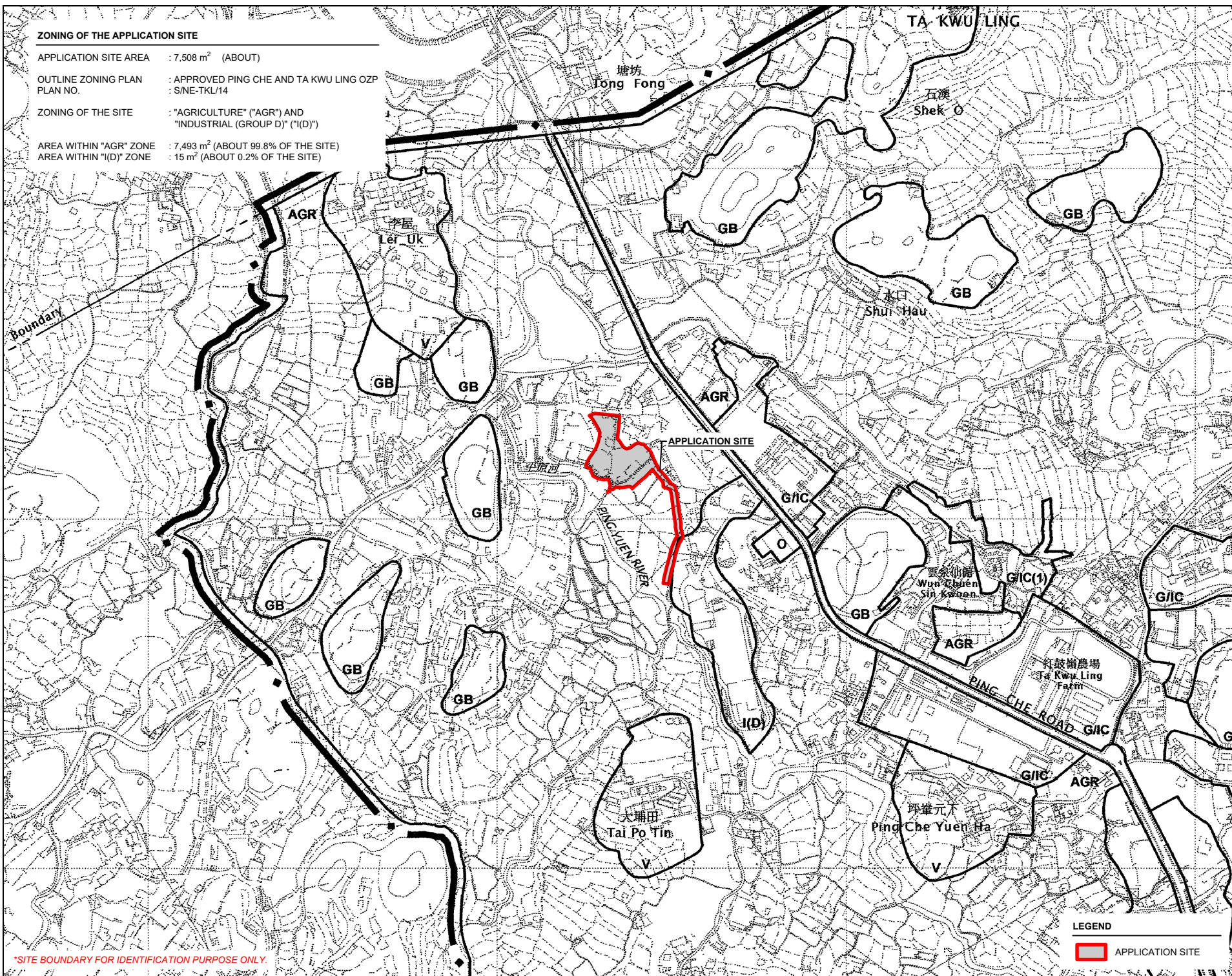
	take necessary lease enforcement action against the breaches without further notice.	
(c)	<p>The following irregularities <u>not</u> covered by the subject application have been detected by this office:</p> <p><u>Unauthorised structures within the said private lot not covered by the planning application</u></p> <p>There are unauthorised structures within Lot No. 9 S.B in D.D. 84, which is not covered by the subject planning application but covered by another planning application (No. A/NE-TKL/755) referred to this office for comments on 30 April 2024. The access is also not available, the above mentioned unauthorised structure may not be exhaustive. The lot owner should immediately rectify the lease breaches and this office reserves the rights to take necessary lease enforcement action against the breaches without further notice.</p>	Noted.
(d)	<p>The STW application (if submitted) referred in para.5 below will be considered on Lot basis. There is no information provided to show the subject planning is related to planning application (No. A/NE-TKL/755) mentioned in para.3 above. The graphical division of the lot submitted in the 2 separate planning application may create complication to the STW application(s) and the Applicant should resolve the complication in submitting the STW application(s).</p>	<p>The applicant will consult the applicant of planning application (No. A/NE-TKL/755) to resolve the complication in submitting the STW application(s) after planning approval has been obtained from the Board.</p>
(e)	<p>The lot owners shall <u>either</u> (i) remove the unauthorised structures pr provide any evidence for these are tolerated structures; <u>or</u> (ii) include the unauthorised structures in the subject planning application for the further consideration by the relevant departments <u>and</u>, subject to the approval of the Town Planning Board to the planning application which shall have reflected the rectification or amendment as aforesaid required, apply to this office for an STW to permit the structures</p>	<p>Noted. The applicant will apply for relevant approval to rectify the applied use accordingly.</p>

	<p>erected/to be erected. The applications for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate to be imposed by LandsD. In addition, LandsD reserves the right to take enforcement action against the lot owners for any breach of the lease conditions, including the breaches already in existence or to be detected at any point of time in future. Besides, given the proposed use is temporary in nature, only erection of temporary structures will be considered.</p>	
(f)	<p>The applicant should comply with all the land filling requirements imposed by relevant Government department. GL should not be disturbed unless with prior approval.</p>	<p>Noted. The applicant will comply with all the land filling requirements imposed by relevant Government department. No GL will be disturbed.</p>

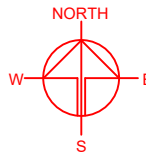


# ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA	: 7,508 m <sup>2</sup> (ABOUT)
OUTLINE ZONING PLAN PLAN NO.	: APPROVED PING CHE AND TA KWU LING OZP S/NE-TKL/14
ZONING OF THE SITE	: "AGRICULTURE" ("AGR") AND "INDUSTRIAL (GROUP D)" ("I(D)")
AREA WITHIN "AGR" ZONE	: 7,493 m <sup>2</sup> (ABOUT 99.8% OF THE SITE)
AREA WITHIN "I(D)" ZONE	: 15 m <sup>2</sup> (ABOUT 0.2% OF THE SITE)



\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

VARIOUS LOTS IN D.D.84, TA KWU LING, NEW TERRITORIES

SCALE

1 : 7000 @ A4

DRAWN BY

MN

DATE

15.4.2024

REVISED BY

DATE

APPROVED BY

DATE

LEGEND



APPLICATION SITE

DWG. TITLE

ZONING OF THE SITE

DWG. NO.

PLAN 1

VER.

001

**Previous S.16 Applications**

**Rejected Applications**

<b>Application No.</b>	<b>Proposed Developments</b>	<b>Date of Consideration</b>	<b>Rejection Reasons</b>
A/NE-TKL/306	Proposed Temporary Open Storage of Metal Goods and Equipment for a Period of 3 Years	7.3.2008 (Reviewed on 28.11.2008)	R1
A/NE-TKL/308	Proposed Temporary Open Storage of Construction Materials and Equipment for a Period of 3 Years	6.6.2008	R2

**Rejection Reasons**

- R1      The application did not comply with the Town Planning Board Guidelines for 'Application for Open Storage and Port Back-up Uses' in that no previous planning approval had been granted to the application site and there were adverse departmental comments on the application. Insufficient information had been submitted to demonstrate that the proposed use would not generate adverse environmental, traffic and landscape impacts on the surrounding areas.
- R2      The application did not comply with the Town Planning Board Guidelines for 'Application for Open Storage and Port Back-up Uses' in that no previous planning approval had been granted to the application site and there were adverse departmental comments and local objection to the application. Insufficient information had been submitted to demonstrate that the proposed use would not generate adverse environmental, drainage and landscape impacts on the surrounding areas.

**Similar S.16 Applications for Temporary Warehouse  
(excluding Dangerous Goods Godown) with Ancillary Facilities  
within the same “Agriculture” Zone in the vicinity of the Application Site  
in the Ping Che and Ta Kwu Ling Area**

**Approved Applications**

<b>Application No.</b>	<b>Uses/ Development</b>	<b>Date of Consideration</b>
A/NE-TKL/695	Proposed Temporary Open Storage and Warehouse for Storage of Timber and Wooden Parts for a Period of 3 Years	18.3.2022 (Revoked on 18.9.2023)
A/NE-TKL/721	Proposed Temporary Warehouse for Storage of Construction Materials and Electronic Products for a Period of 3 Years	19.5.2023
A/NE-TKL/737	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land	11.9.2023

**Government Departments' General Comments**

**1. Traffic**

Comments of Commissioner for Transport (C for T):

- no comment on the application upon reviewing the Further Information (FI) submitted by the applicant (**Appendix Ia**); and
- approval conditions on the implementation of traffic management measures as proposed by the applicant within 9 months from the date of planning approval and maintenance of the implemented traffic management measures to the satisfaction of the Commissioner for Transport or of the Town Planning Board shall be imposed.

**2. Fire Safety**

Comments of the Director of Fire Services (D of FS):

- no in-principle objection to the proposal subject to fire service installations and water supplies for firefighting being provided to the satisfaction of the D of FS.

**3. Project Interface**

Comments of the Project Manager (North), North Development Office, Civil Engineering and Development Department:

- it is noted that the proposed temporary warehouse (excluding dangerous goods godown) with ancillary facilities on a 3-year basis and associated filling of land (the subject development) is located within the proposed New Territories North (NTN) New Town under the Planning and Engineering (P&E) Study for NTN New Town and Man Kam To. Please note that the P&E Study already commenced on 29 Oct 2021. While the implementation programme of NTN New Town will be formulated under the P&E Study, the site formation works will likely commence soon after the completion of detailed design in next stage. Hence, please be reminded that subject to the land use planning in the P&E Study, the subject development, if approved, may need to be vacated for the site formation works.

**4. Other Departments**

The following government departments have no comments on the application:

- (a) Chief Highway Engineer/New Territories East, Highways Department;
- (b) Chief Building Surveyor/New Territories West, Buildings Department; and
- (c) Chief Engineer/Construction, Water Supplies Department.

**Recommended Advisory Clauses**

(a) to note the following comments of the District Lands Officer/North, Lands Department (DLO/N, LandsD) that:

- (i) the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. No right of access via Government land (GL) is granted to the application site;
- (ii) the following irregularity covered by the subject planning application has been detected by his office:

Unauthorized structures within the said private lot covered by the planning application

there are unauthorized structures on Lots 9 S.A and 9 S.B in D.D. 84. As access is not available, the above mentioned unauthorised structures may not be exhaustive. The lot owners should immediately rectify the lease breaches and his office reserves the rights to take necessary lease enforcement action against the breaches without further notice;

- (iii) the following irregularity not covered by the subject planning application has been detected by his office:

Unauthorized structure within the said private lot not covered by the planning application

there are unauthorized structures within Lot 9 S.B in D.D. 84 not covered by the subject planning application but covered by another planning application (No. A/NE-TKL/755) referred to this office for comments on 30 April 2024. The access is also not available, the above mentioned unauthorized structure may not be exhaustive. The lot owner should immediately rectify the lease breaches and his office reserves the rights to take necessary lease enforcement action against the breaches without further notice;

- (iv) the STW application (if submitted) referred in (v) below will be considered on Lot basis. There is no information provided to show the subject planning application is related to planning application No. A/NE-TKL/755 mentioned in (iii) above. The graphical division of the lot submitted in the two separate planning applications may create complication to the STW application(s) and the applicant should resolve the complication in submitting the STW application(s);
- (v) the lot owners shall either (i) remove the unauthorized structures or provide evidence to demonstrate they are tolerated structures; or (ii) include the unauthorized structures in the subject planning application for the further consideration by the relevant departments and, subject to the approval of the Board to the planning application which shall have reflected the rectification or amendment as aforesaid required, apply to his office for a STW to permit the structures erected/to be erected. The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate to be imposed by LandsD. In addition, LandsD reserves the right to take enforcement action against the lot owners for any breach of the lease conditions, including the breaches already in existence or to be detected at any point of time in future. Besides, given the proposed use is temporary in nature, only erection of temporary structures will be considered; and



- (vi) the applicant should comply with all the land filling requirements imposed by relevant Government departments. GL should not be disturbed unless with prior approval.
- (b) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that the access road adjacent to the Site is not maintained by HyD.
- (c) to note the comments of the Commissioner for Transport (C for T) that the vehicular access between Ping Che Road and the Site is not managed by TD and the applicant should seek comment from the responsible party.
- (d) to note the comments of the Director of Environmental Protection (DEP) that:
  - (i) the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” issued by EPD should be followed to minimize potential environmental nuisance to the surrounding area;
  - (ii) adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use should be provided. If septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of EPD’s Practice Note for Professional Person (ProPECC) PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department” including percolation test;
  - (iii) the applicant should observe the Water Pollution Control Ordinance and follow the mitigation measures as required under Environment, Transport and Works Bureau Technical Circular (Works) (ETWB TC(Works)) No. 5/2005 “Protection of natural streams/rivers from adverse impacts arising from construction works” for the land filling works during construction phase; and
  - (iv) it is the obligation of the applicant to meet the statutory requirements under relevant pollution control ordinances.
- (e) to note the comments of the Chief Town Planner/ Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the application does not imply approval of tree works such as pruning, transplanting and felling. The applicant should seek approval for any proposed tree works from relevant departments prior to commencement of the works.
- (f) to note the comments of the Director of Fire Services (D of FS) that:
  - (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his Department for approval. In addition, the applicant should also be advised on the following points:
    - (i) the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy;
    - (ii) the location of where the proposed FSI to be installed should be clearly marked on the layout plans; and

- (ii) if the proposed structures are required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans.
- (g) to note the following comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):
- the Site shall be provided with means of obtaining access thereto from a street under the regulation 5 of the Building (Planning) Regulations (B(P)R) and emergency vehicular access shall be provided under the regulation 41D of the B(P)R;
  - the Site is not abutting on a specified street having a width not less than 4.5m, the development intensity shall be determined by the Building Authority (BA) under regulation 19(3) of the B(P)R at building plan submission stage;
  - it is noted that a new structure had been proposed in the application. Before any new building works are to be carried out on the application site, prior approval and consent of the BA should be obtained unless they are exempted building works, designated exempted works or minor works commenced under the simplified requirements under the BO. Otherwise they are Unauthorized Building Works (UBW). An Authorized Person (AP) should be appointed as the coordinator for the proposed building works in accordance with the BO;
  - for UBW erected on leased land, enforcement action may be taken by the BA to effect their removal in accordance with BD's enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under the BO;
  - any temporary shelters or converted containers for storage or office, canteen or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R;
  - in general there is no requirement under the BO in respect of provision of car parking spaces for a proposed development. However, the applicant's attention is drawn to the provision of accessible car parking spaces designated for the use of persons with a disability as per the requirements under the regulation 72 of the B(P)R and Division 3 of Design Manual: Barrier Free Access 2008;
  - the applicant's attention is drawn to the provision under regulations 40 and 41 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations in respect of disposal of foul water and surface water respectively; and
  - formal submission under the BO is required for any proposed new works, including any temporary structures, site formation works like filling of ponds and land and site formation drainage works. Detailed comments under BO on individual sites for private developments such as permissible plot ratio, site coverage, emergency vehicular access,

private streets and/or access roads, barrier free access and facilities, compliance with the sustainable building design guidelines (SBD), etc. will be formulated at the formal building plan submission stage.

- (h) to note the comments of the Project Manager (North), North Development Office, Civil Engineering and Development Department (PM(N), CEDD) that the proposed temporary warehouse (excluding dangerous goods godown) with ancillary facilities on a 3-year basis and associated filling of land (the subject development) is located within the proposed New Territories North (NTN) New Town under the Planning and Engineering (P&E) Study for NTN New Town and Man Kam To. Please note that the P&E Study already commenced on 29 Oct 2021. While the implementation programme of NTN New Town will be formulated under the P&E Study, the site formation works will likely commence soon after the completion of detailed design in next stage. Hence, please be reminded that subject to the land use planning in the P&E Study, the subject development, if approved, may need to be vacated for the site formation works.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

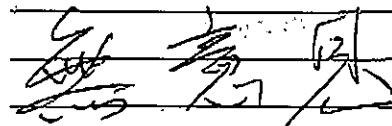
By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/NE-TKL/757

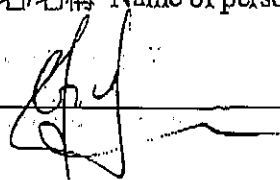
意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

「提意見人」姓名/名稱 Name of person/company making this comment 侯志強

簽署 Signature



日期 Date

2024.5.8

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

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**From:** [REDACTED]  
**Sent:** 2024-05-24 星期五 13:36:04  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** KFBG's comments on SIX planning applications  
**Attachment:** 240524 s16 KTN 104.pdf; 240524 s16 TKL 756 & 757.pdf;  
240524 s12a LFS 13c.pdf; 240524 s16 KTS 1003.pdf; 240524 s16  
PH 1008.pdf

Dear Sir/ Madam,

Attached please see our comments regarding SIX applications. There are FIVE pdf files attached to this email. If you cannot see/ download/ open these files, please notify us through email.

Also, please do not disclose our email address.

Thank You and Best Regards,

Ecological Advisory Programme  
Kadoorie Farm and Botanic Garden

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嘉道理農場暨植物園公司  
Kadoorie Farm & Botanic Garden Corporation

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333, Java Road, North Point,  
Hong Kong.  
(Email: tpbpd@pland.gov.hk)

24th May, 2024.

By email only

Dear Sir/ Madam,

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a  
Period of 3 Years and Associated Filling of Land**

**(A/NE-TKL/756)**

&

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with  
Ancillary Facilities for a Period of 3 Years and Associated Filling of Land**

**(A/NE-TKL/757)**

1. We refer to the captioned.
2. Both application sites are within or largely within Agriculture (AGR) zone. We would like the Board to investigate with relevant authorities the latest site status and as to whether the sites are involved in any ongoing unauthorised activities/ enforcement cases.
3. The proposed uses are unlikely to be in line with the planning intention of the AGR zone and we urge the Board to reject these applications.
4. Thank you for your attention.

Ecological Advisory Programme  
Kadoorie Farm and Botanic Garden



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**From:** [REDACTED]  
**Sent:** 2024-05-24 星期五 14:49:01  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** [REDACTED]  
**Subject:** Comments on the Section 16 Application No. A/NE-TKL/757  
**Attachment:** TPB20240524(TKL757).pdf

Dear Sir/Madam,

Please refer to the attachment for the captioned.

Yours faithfully,  
Ng Hei Man (Mr.)  
Campaign Manager  
The Conservancy Association  
[REDACTED]

Registered Name 註冊名稱 : The Conservancy Association 長春社  
(Incorporated in Hong Kong with limited liability by guarantee 於香港註冊成立的擔保有限公司)

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長春社

Since 1968

The Conservancy Association

23<sup>rd</sup> May 2024

Town Planning Board  
15/F North Point Government Offices  
333 Java Road  
North Point  
Hong Kong

By e-mail: [tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)

Dear Sir/Madam,

Comments on the Section 16 Application No. A/NE-TKL/757

The Conservancy Association (CA) OBJECTS to the captioned application.

**1. Not in line with the planning intention of Agriculture (AGR) zone**

According to the draft Ta Kwu Ling Outline Zoning Plan (OZP) No. S/NE-TKL/14, the planning intention of AGR zone “*primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes*”. From the figures in the application, it seems that the entire site is covered by structures. Meanwhile, the aerial photo (Figure 1) demonstrates that there are agricultural activities in the northern periphery of the application site. No sufficient details are available to demonstrate how these measures can ensure protection of agricultural land. We do not think such plan is in line with the planning intention.

**2. Adverse environmental impact**

We worry that there would be several potential adverse environmental impacts:



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## The Conservancy Association

- No plans on land recovery: The warehouse is intended for storage of miscellaneous goods (including but not limited to packaged food, apparel, footwear, electronic goods, furniture etc.). However, no details are available to illustrate how the land would be recovered after the proposed temporary use.

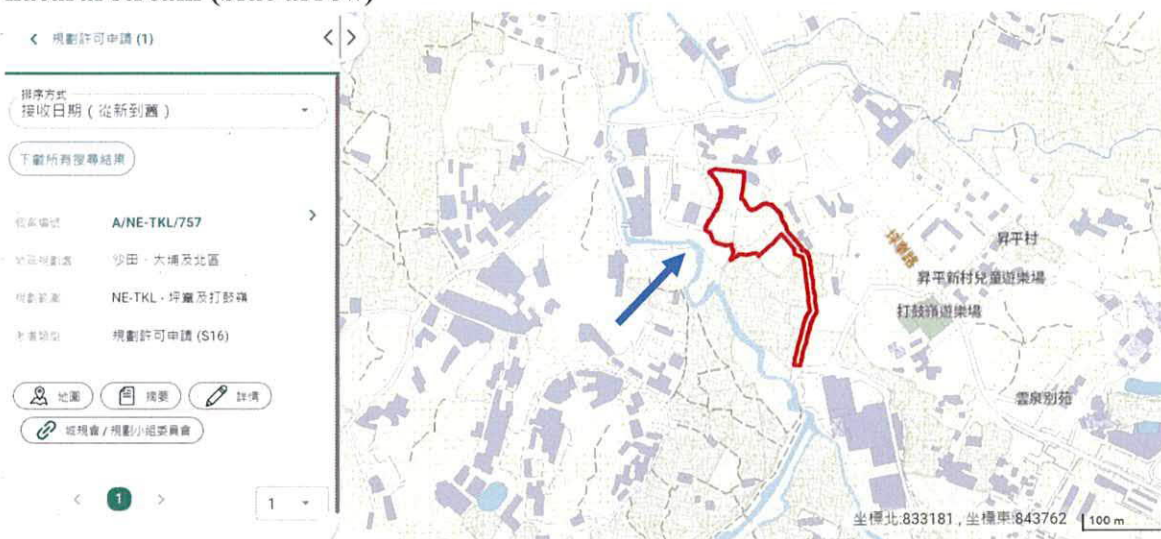
- Potential adverse drainage impact: No details are available to demonstrate that drainage impact would be properly handled. We worry that the proposed land filling activity would largely change the hydrology of the site, and such change would affect the adjacent temporary uses.

- Disturbance on natural stream: The application site is located very close to a natural stream (Figure 1). No details are available to demonstrate that no deterioration in water quality would be resulted during both construction and operation phase. Regarding the proposed staff washroom, we cannot see any details such as design; collection, treatment and disposal of sewage, and so on. We especially worry that it is very close to the natural stream. Leaking of human sewage can cause serious environmental and hygiene problems.

Yours faithfully,

The Conservancy Association

**Figure 1** The application site (marked in red) is located very close to a natural stream (blue arrow)





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From: [REDACTED]  
Sent: 2024-05-24 星期五 02:50:33  
To: tpbpd/PLAND <tpbpd@pland.gov.hk>  
Subject: A/NE-TKL/757 DD 84 Ping Che

A/NE-TKL/757

Lots 5, 6 S.A, 6 S.A ss.1, 7, 8 S.A, 8 S.B, 9 S.A (Part), 9 S.B (Part), 10 S.B (Part) and 11 (Part) in D.D. 84, Ping Che

Site area : About 7,508sq.m

Zoning: "Agriculture" and "Industrial (Group D)"

Applied use: Warehouse / 10 Vehicle Parking / Filling of Land

Dear TPB Members,

750 withdrawn, back with some slight modification.

Previous objections relevant and upheld.

Mary Mulvihill

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From: [REDACTED]  
To: tpbpd <tpbpd@pland.gov.hk>  
Date: Wednesday, 10 April 2024 2:54 AM HKT  
Subject: A/NE-TKL/750 DD 84 Ping Che

A/NE-TKL/750

Lots 5, 6 S.A, 6 S.A ss.1, 7, 8 S.A, 8 S.B, 9 S.A (Part), 9 S.B (Part), 10 S.A (Part) and 11 (Part) in D.D. 84, Ping Che

Site area : About 7,630sq.m

Zoning: "Agriculture"

Applied use: Warehouse / 10 Vehicle Parking / Filling of Land

Dear TPB Members,

Strong objections, no previous history of approvals and the justification is 'increasing demand for warehouse space'??? **As our economy is shrinking and retail and dining operations are closing down, this claim is not justified.**

The site is adjacent to 721 approved 19 May 2023, conditions not yet fulfilled, for similar use. That site was considered under the 'streamline' formula even though the site was subject to extensive tree removal before the application was considered.

To further approve tree felling and encroachment and filling in of land along the river course is unacceptable. Reading the minutes indicates that there is no consideration re the long term negative impact of filling in significant tracts of land when drainage will be a major consideration re the looming issues of climate change. No data provided on number of trees to be removed.

***The Site is proposed to be filled wholly with concrete of not more than 2.1 m (about) in depth for site formation of structures, parking space, loading/unloading (L/UL) spaces and circulation.***

The administration pledged to phase out the inefficient land use brownfield operations via the development of high rise, high tech and custom built industrial parks. But the reality is that there is no onus on operators to upgrade and invest in such premises when under the 'streamline' formula EVERY APPLICATION FOR FILLING IN OF AGRICULTURE LAND IS AUTO APPROVED.

Mary Mulvihill